

















NIGHT CLUB MIAMI

PLANNING BOARD — FINAL SUBMITTAL—NIGHTCLUB

323 23 STREET MIAMI BEACH, FLORIDA 33139

PROJECT DESCRIPTION & SCOPE OF WORK:

THIS WORK INCLUDES NON-SUBSTANTIAL INTERIOR & EXTERIOR IMPROVEMENTS OF AN EXISTING 4,164 SQ.FT. NIGHT CLUB, GROUP (A-2). DETAILED DESCRIPTION PER TRADE BELOW, REF FOLLOWING SHTS FOR MORE INFO:

- EXTERIOR IMPROVEMENTS FOR INCLUSION OF PERSONS WITH DISABILITY (BRING EXTERIOR AREAS INTO COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT) AND RESPOND TO THE CITY OF MIAMI BEACH CODE OF ORDINANCES SECTION 7.1.2.4 OF THE CITY RESILIENCY CODE ("SEA LEVEL RISE AND RESILIENCY CODE").
- ADDITION OF SHADING DEVICES ON EXTERIOR, INCLUDING CLADDING, PERGOLAS AND AWNINGS.
- MODERNIZATION OF EXTERIOR ILLUMINATION TO MEET LIFE SAFETY AND EGRESS REQUIREMENTS.
- OUTDOOR FOOD HANDLING AND PREPARATION.

APPLICABLE CODES & REGULATIONS:

| | | | |
|------------------------|-----------------------|------------------|------------------|
| FLORIDA BUILDING CODE: | FBC 2023 | PLUMBING CODE: | FBC 2023 EDITION |
| ELECTRICAL CODE: | NEC 2020 | MECHANICAL CODE: | FBC 2023 EDITION |
| FIRE PROTECTION: | FFPC 2020 8th EDITION | ENERGY CODE: | FBC 2023 EDITION |

CODE CLASSIFICATION:

OCCUPANCY GROUP.....ASSEMBLY GROUP (A-2), SECTION 303.3

CONSTRUCTION CLASSIFICATIONS.....FBC 504: EXIST BUILDING INT LEVEL 2 ALTERATION

FFPC 101: MODIFICATION, 43.5.1.1

COMPLIANCE METHOD.....FBC 301.1.2: WORK AREA COMPLIANCE METHOD ALTERATIONS, COMPLYING WITH CHAPTERS 5 THROUGH 13

BUILDING TYPE.....TYPE III-B UNPROTECTED NON-COMBUSTIBLE

FIRE SPRINKLERS.....YES, EXISTING SYSTEM MONITORED

FOLIO NUMBER.....02-3226-001-0540

ZONING LEGEND:

COMMERCIAL - ZONING DATA SHEET

ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY RESULT IN A FAILED REVIEW

| ITEM # | Project Information | Required | Existing | Proposed | Deficiencies |
|----------------------------------|---|---------------|-----------------------------------|------------------------|--------------|
| 1 | Address: 323 23 ST Miami Beach FL 33139 | | Folio number(s): 02-3226-001-0540 | Year built: 1925 | |
| 2 | Board file number(s), Determination of Architectural Significance: | N/A | | Lot Area: 8,890 Sq.Ft. | |
| 3 | Located within a Local Historic District (Yes or No): | NO | Zoning District: CD-3 | Lot width: 46'-6" | |
| 4 | Individual Historic Site (Yes or No): | NO | | Lot Depth: 223'-6" | |
| 5 | Base Flood Elevation: | - | Grade value in NGVD: | - | |
| 6 | Adjusted grade (BFE+Grade / 2): | N/A | Free board: | N/A | |
| 7 | Proposed Use: | N/A NO CHANGE | | | |
| 8 | Proposed Accessory Use: | N/A NO CHANGE | | | |
| 9 | Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan): | N/A NO CHANGE | | | |
| ZONING INFORMATION / CALCULATION | | | | | |
| 13 | Floor Area Ratio (FAR) | 2.25 | | NO CHANGE | NONE |
| 14 | Building Height | 75' MAX | 15'-9" | NO CHANGE | NONE |
| 15 | At grade parking lot on the same lot | N/A | N/A | N/A | N/A |
| a | Front setbacks | 5' | 10'-1" | NO CHANGE | NONE |
| b | Side interior setback | 5' | 8'-8" | NO CHANGE | NONE |
| c | Side facing street setback | 5' | N/A | N/A | N/A |
| d | Rear setback | 5 feet | 57'-9" | NO CHANGE | NONE |
| 16 | Subterranean, Pedestal & Tower (non-Oceanfront) | Required | Existing | Proposed | Deficiencies |
| a | Front setbacks | N/A | N/A | N/A | N/A |
| b | Side interior setback | N/A | N/A | N/A | N/A |
| c | Side facing street setback | N/A | N/A | N/A | N/A |
| d | Rear setback | N/A | N/A | N/A | N/A |
| 17 | Subterranean, Pedestal & Tower (non-Oceanfront) | Required | Existing | Proposed | Deficiencies |
| a | Front setbacks | N/A | N/A | N/A | N/A |
| b | Side interior setback | N/A | N/A | N/A | N/A |
| c | Side facing street setback | N/A | N/A | N/A | N/A |
| d | Rear setback | N/A | N/A | N/A | N/A |
| 18 | Minimum Apartment Unit Size | Required | Existing | Proposed | Deficiencies |
| a | New Construction | N/A | N/A | N/A | N/A |
| b | Rehabilitated Buildings | N/A | N/A | N/A | N/A |
| c | Hotel Unit | N/A | N/A | N/A | N/A |
| 19 | Average Apartment Unit Size | Required | Existing | Proposed | Deficiencies |
| a | New Construction | N/A | N/A | N/A | N/A |
| b | Rehabilitated Buildings | N/A | N/A | N/A | N/A |
| c | Hotel Unit | N/A | N/A | N/A | N/A |
| 20 | Required Open-space ratio (RPS, CPS) | N/A | N/A | N/A | N/A |
| 21 | Parking | N/A | N/A | N/A | N/A |
| 22 | Loadings | N/A | N/A | N/A | N/A |

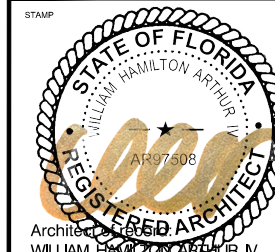
SHEET INDEX:

NOT ALL SHEETS MAY NOT BE BY CERTIFIED BY THE SAME DESIGN PROFESSIONAL.

| |
|---|
| T-100.....COVERSHEET. |
| PHO-1.....EXISTING SITE PHOTOGRAPHS. |
| PHO-2.....PROPOSED SITE PHOTOGRAPHS. |
| SUR.....SURVEY. |
| SPD.....EXISTING SITE PLAN. |
| SP-100.....SITE PLAN. |
| D-101.....EXISTING SOUTH ELEVATION. |
| A-000.....PROPOSED INTERIOR PLAN. |
| A-001.....PROPOSED EXTERIOR CEILING PLAN. |
| A-002.....PROPOSED ROOF PLAN. |
| A-100.....ENLARGED FLOOR PLAN. |
| A-101.....ENLARGED ILLUMINATION PLAN. |
| A-102.....ENLARGED CEILING. |
| A-103.....SOUTH ELEVATION. |
| A-104.....WEST ELEVATION. |
| A-105.....OVERALL WEST ELEVATION.. |
| A-106.....OVERALL SECTION. |
| A-107.....ENLARGED ELEVATIONS. |
| A-108.....ENLARGED ELEVATIONS. |
| A-109.....ENLARGED SECTIONS. |
| A-110.....ENLARGED PIZZA OVEN. |
| A-111.....EXTERIOR BAR COUNTER DETAIL. |
| A-200.....FINISH SCHEDULE. |
| A-201.....RENDERINGS. |



Architect of record: WILLIAM HAMILTON ARTHUR IV
License No. AR97508
2920 Ponce de Leon Blvd
Coral Gables, Florida 33134-8811



DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

| | | |
|-------------|--------------|------------|
| PROJECT No: | 23-01H | |
| DATE: | 07-25-2025 | |
| DRAWN BY: | WHAIV | |
| # | ISSUE | DATE |
| 1 | HPB Comments | 08/22/2025 |
| 2 | PB Comments | 11/20/2025 |

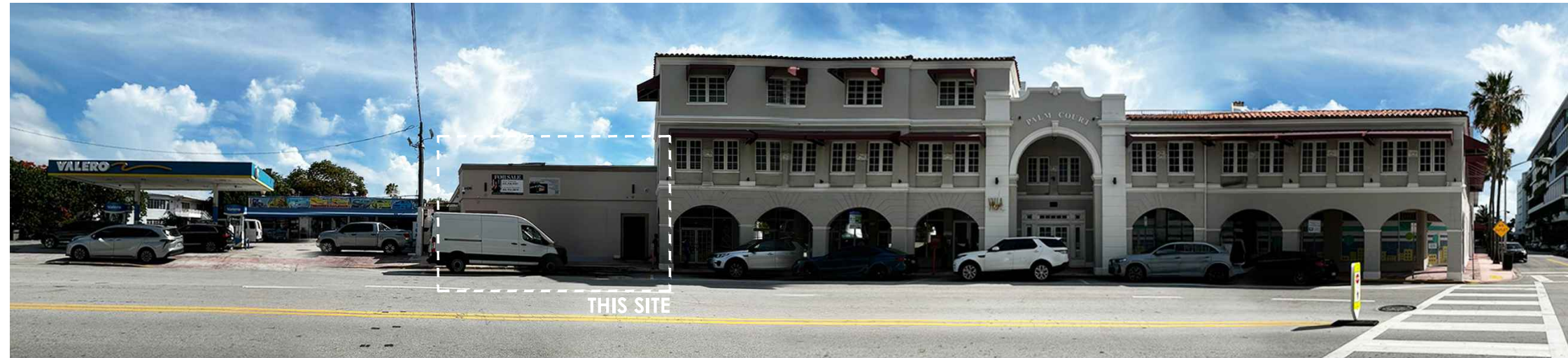
SHEET TITLE
COVERSHEET

SHEET NO
T-100
file:
23-01h-2025-11-20-pb-rev-1.dwg

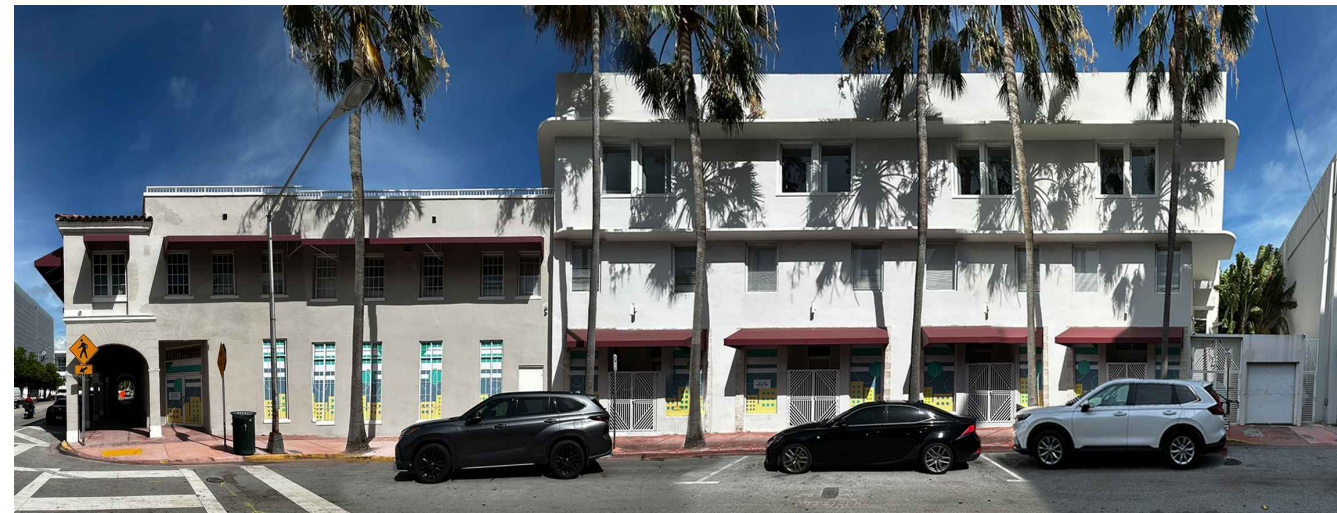
PROJECT LOCATION: NOT TO SCALE

NOTE: THIS PROPERTY IS LOCATED IN AN AREA THAT MAY BE AFFECTED BY SPECIAL FLOOD AREA.





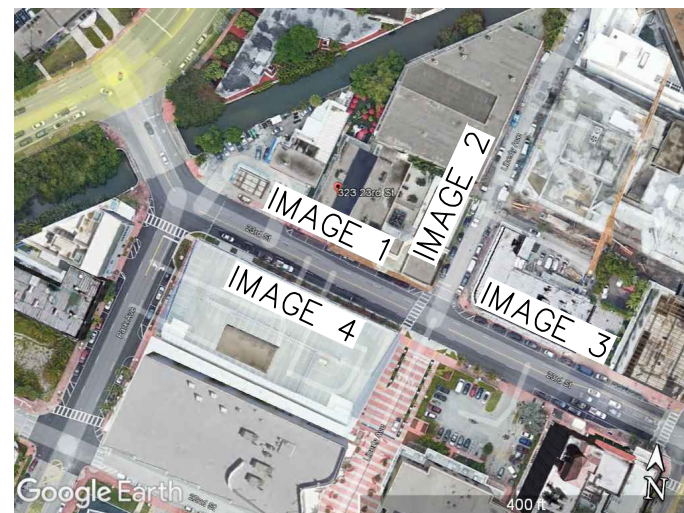
1 CONTEXT IMAGE
NTS



2 CONTEXT IMAGE
NTS



3 CONTEXT IMAGE
NTS



4 CONTEXT IMAGE
NTS

RAIN
NIGHT CLUB MIAMI

WHAA
Architect of record: WILLIAM HAMILTON ARTHUR IV
License No. AR97508
2920 Ponce de Leon Blvd
Coral Gables, Florida 33134-8811

STAMP

Architect of record:
WILLIAM HAMILTON ARTHUR IV
License No. AR97508

DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

| PROJECT No: | 23-01H | |
|-------------|--------------|------------|
| DATE: | 07-25-2025 | |
| DRAWN BY: | WHAIV | |
| # | ISSUE | DATE |
| 1 | HPB Comments | 08/22/2025 |
| | | |
| | | |

SHEET TITLE
EXISTING SITE PHOTOGRAPHS.
SHEET NO
PHO-1
file:
23-01h-2025-08-22-hpb-rev-1.dwg



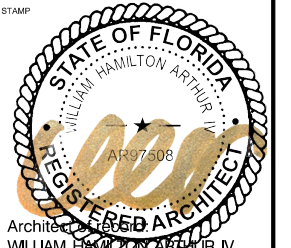
1 CONTEXT IMAGE
NTS

RAIN
NIGHT CLUB MIAMI

WHAA

Architect of record: WILLIAM HAMILTON ARTHUR IV
License No. AR97508
2920 Ponce de Leon Blvd
Coral Gables, Florida 33134-8811

STAMP



Architect of record:
WILLIAM HAMILTON ARTHUR IV
License No. AR97508

DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD
HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED
COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED
& SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED
USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

PROJECT No: 23-01H
DATE: 07-25-2025
DRAWN BY: WHAIV

| # | ISSUE | DATE |
|---|--------------|------------|
| 1 | HPB Comments | 08/22/2025 |
| | | |
| | | |

SHEET TITLE

PROPSOED SITE
PHOTOGRAPHS.

SHEET NO

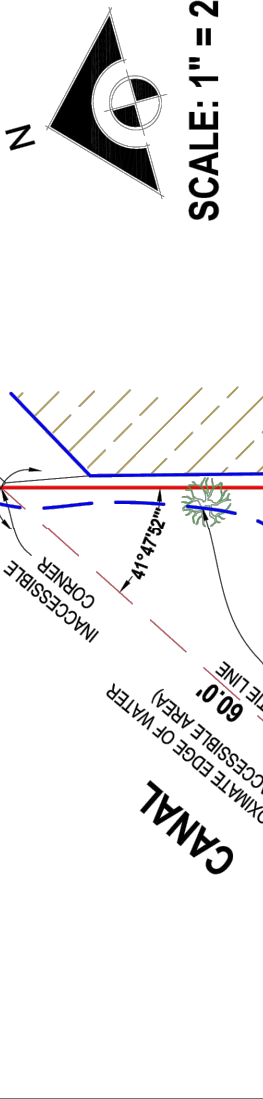
PHO-2

file:
23-01h-2025-08-22-hpb-rev-1.dwg

MAP OF SURVEY



LOCATION MAP
(NOT TO SCALE)



SCALE: 1" = 20'

TYPE OF SURVEY: BOUNDARY SURVEY ONLY

PROPERTY ADDRESS: 323 23rd STREET MIAMI BEACH, FL. 33139

LEGAL DESCRIPTION: LOT 10 AND THE WEST 6 FEET OF LOT 9, BLOCK 3, OF "AMENDED MAP OF THE OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT COMPANY", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, AT PAGES 7 AND 8 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

FLOOD ZONE INFORMATION:
 COMMUNITY NO. 120651 PANEL NO. 0317 SUFFIX: L
 FIRM DATE: 09-11-2009 FLOOD ZONE: AE BASE FLOOD: 8' (NGVD)

SURVEYOR'S NOTES:
 LEGAL DESCRIPTION WAS FURNISHED BY THE CLIENT.

LEGAL DESCRIPTION SUBJECT TO ANY DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR RECORDED EASEMENTS.

THERE MAY BE LEGAL RESTRICTIONS ON THE SUBJECT PROPERTY THAT ARE NOT SHOWN ON THE MAP OF SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, OR THE RECORDS OF ANY OTHER PUBLIC AND PRIVATE ENTITIES AS THEIR JURISDICTIONS MAY APPEAR.

THE ELEVATIONS OF WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED VERTICAL POSITIONAL ACCURACY OF 0.2 FOOT FOR NATURAL GROUND SURFACES AND 0.1 FOOT FOR HARDSCAPE SURFACES, INCLUDING PAVEMENTS, CURBS AND OTHER MAN-MADE FEATURES AS MAY EXIST.

WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 0.1 FOOT UNLESS OTHERWISE SHOWN.

THE MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT THE STATED GRAPHIC SCALE IN ENGLISH UNITS OF MEASUREMENT. ATTENTION IS BROUGHT TO THE FACT THAT SAID DRAWING MAY BE ALTERED IN SCALE BY THE REPRODUCTION PROCESS

ALL MEASUREMENTS SHOWN ARE IN THE UNITED STATES STANDARD FEET SHOWN ELEVATIONS ARE REFERRED TO N.A.V.D. OF 1988

THE SURVEYOR MAKES NO REPRESENTATION AS TO OWNERSHIP, POSSESSION OR OCCUPATION OF THE SUBJECT PROPERTY BY ANY ENTITY OR INDIVIDUAL.

SUBSURFACE IMPROVEMENTS AND/OR ENCROACHMENTS WITHIN, UPON, ACROSS, ABUTTING OR ADJACENT TO THE SUBJECT PROPERTY WERE NOT LOCATED AND ARE NOT SHOWN.

NOT VALID WITHOUT THE ELECTRONIC SIGNATURE AND DIGITAL SEAL AND/OR THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS AND DELETIONS TO THIS MAP OF SURVEY BY OTHER THAN THE SIGNING PARTY ARE PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY.

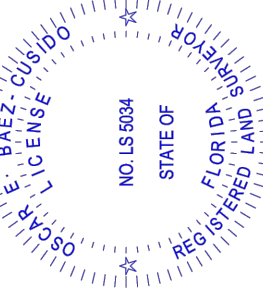
THIS MAP OF SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREIN AND THE CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTY.

CERTIFY TO:
 323 SOBE LLC

SURVEYOR'S CERTIFICATION:
 IN MY PROFESSIONAL OPINION, THIS "BOUNDARY SURVEY" IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND IT MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5A-17.05 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

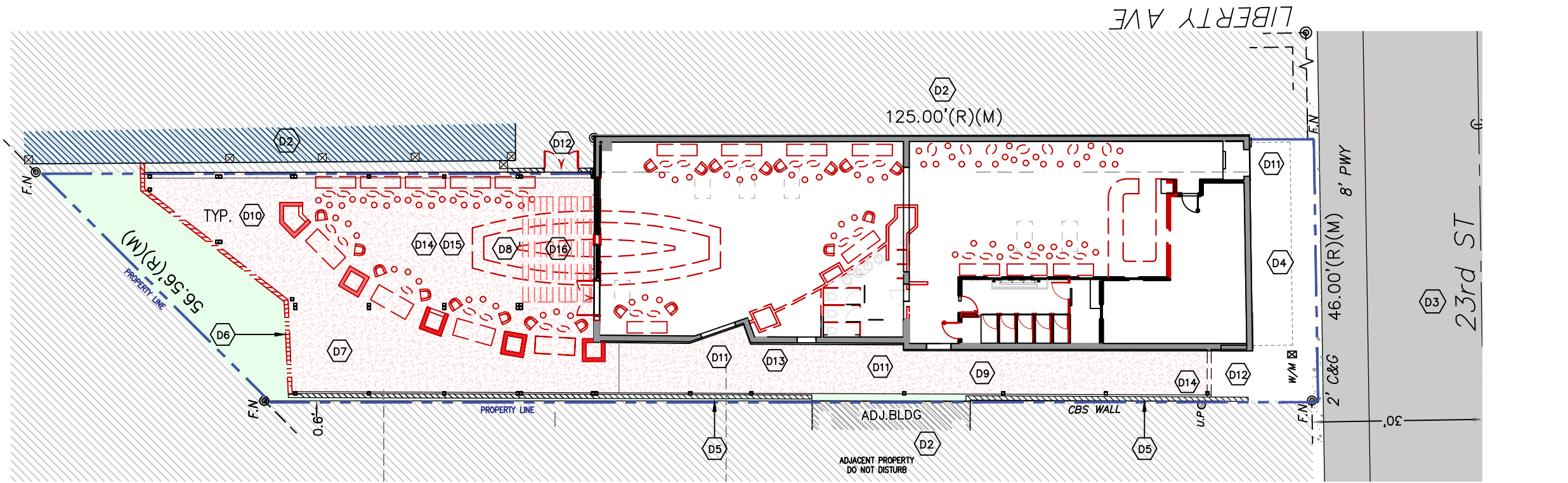
360° SURVEYING AND MAPPING, LLC
 FLORIDA CERTIFICATE OF AUTHORIZATION NO. LB 6356
 Digitally signed by Oscar E Baez
 Date: 2023.09.03 14:23:54 -04'00'

Oscar E. BAEZ-CUSIDO, P.L.S.
 REGISTERED SURVEYOR AND MAPPER NO. 5034
 STATE OF FLORIDA.

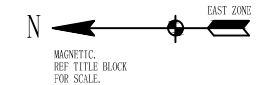


LEGEND OF SURVEY ABBREVIATIONS

| | | | | | | | |
|-----------------------|---------------------|---------------------------|---------------------------|-----------------------|-----------------------|---------------------------|---------------------------|
| AC = ARC LENGTH | AMH = MAN HOLE | ASPHALT = ASPHALT | BM = ELECTRIC METER (CAN) | CC = CONC. LIGHT POLE | CONC. = CONCRETE | BLDG = BUILDING | CONC. = CONCRETE |
| CL = CHAIN LINK FENCE | CH = CENTERLINE | CATCH BASIN = CATCH BASIN | CONC. = CONCRETE BLOCK | CL = CENTERLINE | CL = CHAIN LINK FENCE | CATCH BASIN = CATCH BASIN | CATCH BASIN = CATCH BASIN |
| CP = CENTERLINE | CH = CHORD DISTANCE | CONC. = CONCRETE | CH = CHORD DISTANCE | CP = CENTERLINE | CP = CENTERLINE | CH = CHORD DISTANCE | CH = CHORD DISTANCE |
| CT = CONCRETE | CH = CHORD DISTANCE | CH = CHORD DISTANCE | CH = CHORD DISTANCE | CP = CENTERLINE | CP = CENTERLINE | CH = CHORD DISTANCE | CH = CHORD DISTANCE |
| CP = CENTERLINE | CH = CHORD DISTANCE | CH = CHORD DISTANCE | CH = CHORD DISTANCE | CP = CENTERLINE | CP = CENTERLINE | CH = CHORD DISTANCE | CH = CHORD DISTANCE |



ALL LIFE SAFETY SYSTEMS SHALL REMAIN OPERATIONAL WHILE WORK IS BEING DONE.



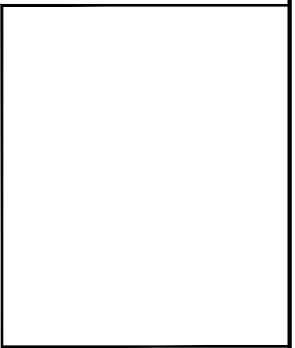
DEMOLITION LEGEND: D

1. SHADED OUTLINED AREA REPRESENTS EXISTING 1-LEVEL BUILDING FOOTPRINT TO REMAIN; DO NOT DISTURB AS PART OF THIS WORK OR PERMIT. ANY EXIST SLAB, SUPPORTING ELEMENTS, COLUMNS, BEAMS & PILASTERS BELONGING TO BUILDING & EXTERIOR ENVELOPE TO REMAIN, DO NOT DISTURB AS PART OF THIS WORK OR PERMIT. SHOULD ANY PORTION OF EXIST STRUCTURE APPEAR DAMAGED, UNSAFE OR YOU ARE UNCERTAIN WHICH ITEMS ARE LOAD-BEARING OR NOT, NOTIFY ARCHITECT IMMEDIATELY (305) 770-6100.
2. EXIST STRUCTURE ON ADJACENT PROPERTY TO REMAIN, DO NOT DISTURB.
3. EXIST PUBLIC ROADWAY, DO NOT DISTURB, ENCROACH OR OBSTRUCT.
4. EXIST PUBLIC SIDEWALK TO REMAIN, DO NOT DISTURB, ENCROACH OR OBSTRUCT.
5. LOCATION OF EXIST C.B.S. PRIVACY WALL, DO NOT DISTURB.
6. LOCATION OF EXIST C.B.S. PRIVACY WALL, TO BE REPAIRED. REMOVE ANY LOOSE PORTIONS OF STUCCO TO FOUNDATION IN PREPARATION FOR ARCHITECT SITE OBSERVATIONS & REPAIRS.
7. CAREFULLY REMOVE THIS PORTION OF EXIST REINF CONCRETE SLAB-ON-GRADE (4" ASSUMED) IN PREPARATION FOR ADA-COMPLIANCE WORK.
8. EXIST OUTDOOR BAR & MILLWORK TO BE RELOCATED TO IMPROVE PATH OF EGRESS. REMOVE PORTION IN PREPARATION FOR LIFE SAFETY & ADA-COMPLIANCE WORK, REF SHT SP300 FOR MORE INFO.
9. EXIST REINF CONCRETE SLAB-ON-GRADE (4" ASSUMED) SLAB TO BE REMOVED. REPORT ANY DAMAGE TO EXIST FINISH MATERIAL, SUBSTRATE INCLD "ALL TILE, WATERPROOFING, CEMENT BOARD GYPSUM BOARD, FLOOR DRAIN COVERS ETC. ON INT SIDE VISUALLY INSPECT & IDENTIFY FOR INCONSISTENCIES, CONTACT ARCHITECT IF ANY IRREGULARITIES ARE FOUND.
10. EXIST FREE-STANDING BLOCK COLUMNS TO BE COMPLETELY REMOVED TO 6" BELOW GRADE. IN PREPARATION FOR ADA-COMPLIANCE WORK, REF SHT SP-100 FOR MORE INFO.
11. EXIST EXT STOREFRONTS, WINDOWS & FENESTRATION TO BE PREPARED FOR NEW WORK.
12. DEMO EXIST DOORS LEADING TO ADJACENT PROPERTY. PREPARE OPNG FOR INFILL.
13. EXIST ELEC PANELS TO REMAIN. VERIFY CLEAR ACCESS PER NEC 110.26(F)(1)(A) MAINTAINED AT ALL TIMES.
14. EXIST FIRE SPRINKLERS, & STAND PIPE TYP. ANY MODIFICATIONS OR DISRUPTION MUST COMPLY 2013 NFPA 13,14,20, BE PERFORMED BY AN APPROVED AUTOMATIC FIRE SPRINKLER CONTRACTOR WHO PROVIDES SHOP DWGS FOR OWNER, ARCHITECT & CITY OF MIAMI BEACH FIRE DEPARTMENT (CMBFD) APPROVAL.
15. EXIST LUMINARY & EGRESS ILLUMINATION TO BE REPLACED.
16. LOCATION OF EXISTING REAR PERGOLA TO BE REMOVED.

2

HATCH & SYMBOL LEGEND:

| SYMBOL | DESCRIPTION |
|--------|---|
| | EXIST CONCRETE MASONRY UNIT BUILDING TO REMAIN. |
| | REPLACEMENT 8" REINF CONCRETE SLAB-ON-GRADE. |
| | REPLACEMENT 4" REINF CONCRETE SLAB-ON-GRADE. |
| | EXIST REINF CONCRETE PUBLIC SIDEWALK TO REMAIN. |
| | EXIST GREEN SPACE & LANDSCAPED AREAS TO REMAIN. |
| | ADJACENT PROPERTY DO NOT DISTURB. |



WHAA
 Architect of record: WILLIAM HAMILTON ARTHUR IV
 License No. AR97508
 2920 Ponce de Leon Blvd
 Coral Gables, Florida 33134-6811

STAMP

Architect of record:
 WILLIAM HAMILTON ARTHUR IV
 License No. AR97508

DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED USING THE ELECTRONIC DOCUMENT.

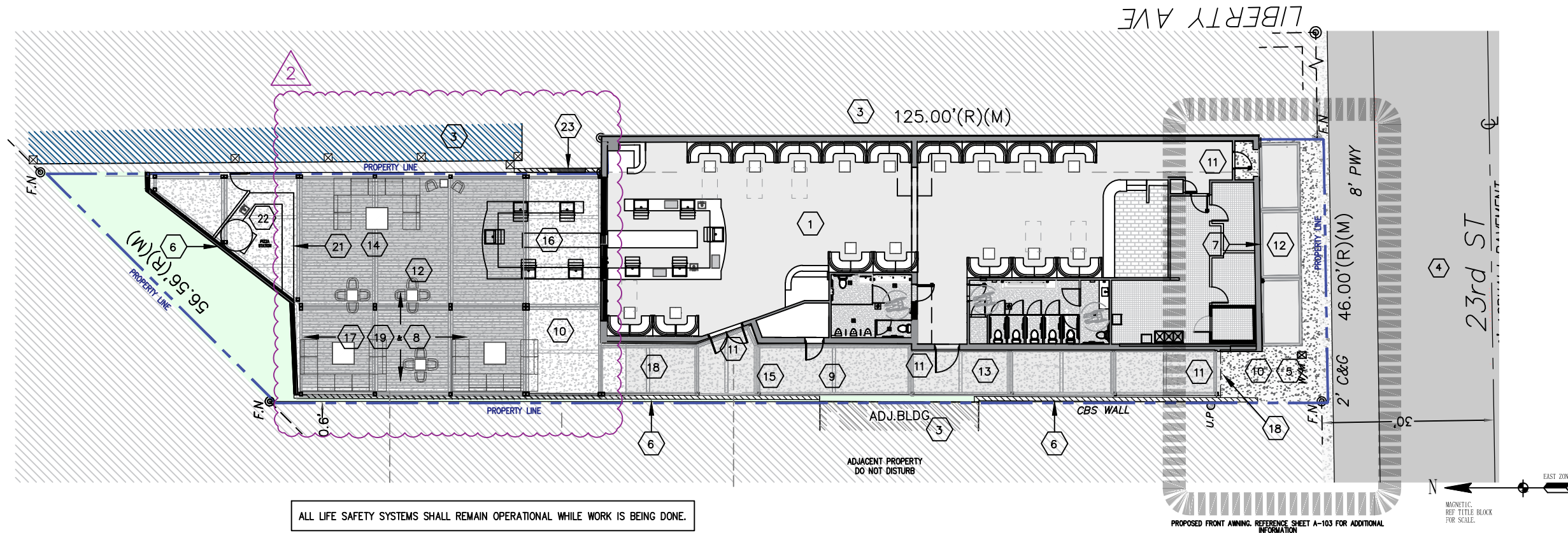
Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA), Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

PROJECT No: 23-01H
 DATE: 07-25-2025

| # | ISSUE | DATE |
|---|--------------|------------|
| 1 | HPB Comments | 08/22/2025 |
| 2 | PB Comments | 11/20/2025 |

SHEET TITLE
EXISTING SITE PLAN
 SCALE: 3/64" = 1'-0"

SHEET NO
SPD
 file:
 23-01h-2025-11-20-pb-rev-1.dwg



WHAA
 Architect of record: WILLIAM HAMILTON ARTHUR IV
 License No. AR97508
 2920 Ponce de Leon Blvd
 Coral Gables, Florida 33134-6811

STAMP

PLAN KEYNOTE LEGEND:

1. SHADED OUTLINED AREA REPRESENTS EXISTING 1-LEVEL BUILDING FOOTPRINT TO REMAIN. DO NOT DISTURB AS PART OF THIS WORK OR PERMIT. ANY EXIST SLAB SUPPORTING ELEMENTS, COLUMNS, BEAMS & PILASTERS BELONGING TO BUILDING & EXTERIOR ENVELOPE TO REMAIN. DO NOT DISTURB AS PART OF THIS WORK OR PERMIT. EXIST STUCCO FINISH TO BE PATCHED & REPAIRED IN "LIKE-NEW" CONDITION. THE WORK SHALL NOT MAKE THE BUILDING LESS CONFORMING WITH ENERGY REQUIREMENTS THAN IT WAS BEFORE THE REPAIR WAS UNDERTAKEN PER FBC EB601.2.
2. SHOULD ANY PORTION OF EXIST STRUCTURE APPEAR DAMAGED, UNSAFE OR YOU ARE UNCERTAIN WHICH ITEMS ARE LOAD-BEARING OR NOT, NOTIFY ARCHITECT IMMEDIATELY (305) 770-6100.
3. EXIST STRUCTURE ON ADJACENT PROPERTY TO REMAIN, DO NOT DISTURB.
4. EXIST PUBLIC ROADWAY, DO NOT DISTURB, ENCROACH OR OBSTRUCT.
5. EXIST PUBLIC SIDEWALK TO REMAIN, DO NOT DISTURB, ENCROACH OR OBSTRUCT.
6. LOCATION OF EXIST C.B.S. PRIVACY WALL.
7. PROVIDE SIGNAGE, CONVENIENCE OUTLETS & ASTROLOGICAL TIMER AS PART OF SEPARATE BUILDING PERMIT APPLICATION.
8. PROVIDE NEW ALUMINUM PERGOLA AND FOUNDATION BY SPECIALTY ENGINEER. SEPARATE BUILDING PERMIT APPLICATION. PERGOLA TO BE LOUVERED AND OPEN TO THE SKY. ENSURE MINIMUM HEIGHT & HEADROOM CLEARANCE OF +80" AFF. PROVIDE DEFERRED SUBMITTAL TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION PER FBC B107.3.4.1.
9. SIMILAR TO KEYNOTE (8) ABOVE EXCEPT REPLACEMENT 8" SLAB ON GRADE.
10. PROVIDE REPLACEMENT ADA-COMPLIANT SLAB-ON-GRADE, ADA-COMPLIANT STORM WATER DRAIN & SUBTERRANEAN TRENCH. REF CIVIL DWGS FOR MORE INFO.
11. EXIST OUTSWING ENTRY DOOR & PANIC HARDWARE. ENSURE SMOOTH, REFURBISHED SURFACES ARE DELIVERED IN CLEAN & "LIKE-NEW" CONDITION. COLOR & TEXTURE CONTIGUOUS WITH SURROUNDING AREAS. ENSURE MAXIMUM OF 1/2" DIFFERENCE IN LEVEL BTW NEW & OPPOSITE SIDES OF ALL EXIT DOORS PER FFPC 101 7.1.6.2.
12. PROVIDE NEW FRONT PERGOLA. PROVIDE DEFERRED SUBMITTAL PER FBC B107.3.4.1.
13. LOCATION OF NEW REAR AND SIDE PERGOLA.
14. EXIST WAITERS STATION TO BE RELOCATED.
15. EXIST ELEC PNLBRD, METER & SWITCHGEAR. OBSERVE MIN 36x36 CLEAR FLOOR & ACCESS ALL TIMES NEC 110.26(F)(1)(A)!

16. BAR TENDERS STATION. ENSURE EXIST 30x48 CLEAR FLOOR APPROACH PER FBC AC306, AC604.8.1.6 & FBC AC213.3.4 IS MAINTAINED. REF ADA SPECIFICATIONS ON SHT A-100. PROVIDE SHOP DRAWINGS OF ALL CABINERY FOR ARCHITECT APPROVAL PRIOR TO FABRICATION. ENSURE PLACEMENT DOES NOT INTERFERE WITH EGRESS PATH.
17. ANY FUTURE TEXTILES, PRIVACY CURTAINS OR ANY HANGING FABRIC MUST BE NON-COMBUSTIBLE AND SHALL NOT BE INSTALLED IN THE PATH OF EGRESS. SUBMIT PRODUCT DATA TO ARCHITECT & CMBFD FOR APPROVAL, COMPLY WITH FBC B803.5.
18. EXTERIOR SITE LIGHTING MAY NOT BE SPECIFICALLY IDENTIFIED IN THESE DWGS HOWEVER FULL COVERAGE OF COMMON AREAS, SECURITY, SAFETY & CIRCULATION LIGHTING IS REQ. EM. ILLUMINATION & SIGNAGE: SHALL BE WIRED TO LOCAL LIGHT CIRCUIT, AHEAD OF ANY SWITCH PER NEC 700.12(F). *EMERGENCY ILLUMINATION MUST PROVIDE MINIMUM 1FC IN THE PATH OF EGRESS LEADING TO THE PUBLIC WAY PER FBC 1006.1.1.
19. TIME-SWITCH CONTROLS: EACH AREA OF BUILDING NOT PROVIDED WITH OCCUPANT SENSOR CONTROLS COMPLYING WITH FBC C405.2.1.1 SHALL BE PROVIDED WITH TIME SWITCH CONTROLS PER FBC C405.2.2.1.
20. AUTOMATIC EXTERIOR SIGNAGE: SEPARATE PLANING APPLICATION REQ'D. PROVIDE DEFERRED SUBMITTAL PER FBC B107.3.4.1.
21. PROVIDE 8" CMU KNEE WALL FOR ELECTRICAL PANEL.
22. PROVIDE SOLID FUEL BURNING PIZZA OVEN, WITH EXHAUST DISCHARGE OUT THE TOP MIN 4" ABOVE FUTURE PERGOLA. PIZZA OVEN MUST COMPLY WITH NFPA 96 CHAPTER 14.
23. INFILL EXT OPNG. PROVIDE 8x16x8 CMU. MATCH EXIST TEXTURED 7/8" STUCCO AND PAINT.

HATCH & SYMBOL LEGEND:

| SYMBOL | DESCRIPTION |
|-------------------------|---|
| [Hatched Pattern] | EXIST CONCRETE MASONRY UNIT BUILDING TO REMAIN. |
| [Dotted Pattern] | REPLACEMENT 8" REINF CONCRETE SLAB-ON-GRADE. |
| [Stippled Pattern] | REPLACEMENT 4" REINF CONCRETE SLAB-ON-GRADE. |
| [Cross-hatched Pattern] | EXIST REINF CONCRETE PUBLIC SIDEWALK TO REMAIN. |
| [Green Pattern] | EXIST GREEN SPACE & LANDSCAPED AREAS TO REMAIN. |
| [Diagonal Line Pattern] | ADJACENT PROPERTY DO NOT DISTURB. |

OCCUPANCY CALCULATIONS:

PER FBC PER NFPA 101: 42.3, 7.3.1.2:
 REFER TO TABLE FBC B1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT
 OUTDOOR DINING/ ASSEMBLY AREA (A-2) PER FBC B303.3.....
 1 PERSON PER 15 SQ.FT. (UNCONCENTRATED)= 2,390 SQ.FT./15 SQ.FT.= 159 PERSONS
 OUTDOOR BAR/COUNTERTOP CALCULATION AS SIMULTANEOUS ASSEMBLY USE PER FFPC 12.1.3.2:36.....
 1 PERSON PER 18 LINEAR INCHES= 504 LINEAR IN/18= 28 PERSONS
TOTAL PROPOSED EXTERIOR OCCUPANCY: 187 PERSONS

Architect of record:
 WILLIAM HAMILTON ARTHUR IV
 License No. AR97508

DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED USING THE ELECTRONIC DOCUMENT.

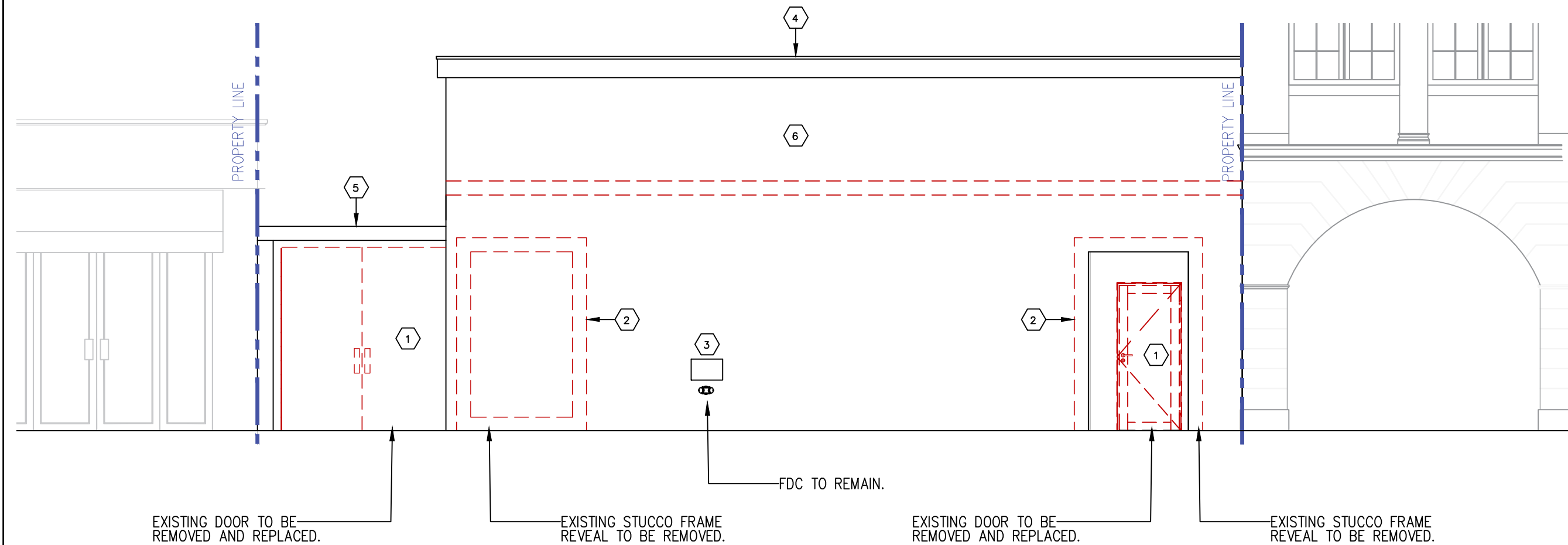
Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

PROJECT No: 23-01H
 DATE: 07-25-2025

| # | ISSUE | DATE |
|---|--------------|------------|
| 1 | HPB Comments | 08/22/2025 |
| 2 | PB Comments | 11/20/2025 |

SHEET TITLE
SITE PLAN
 SCALE: 3/64" = 1'-0"

SHEET NO.
SP-100
 file:
 23-01h-2025-11-20-pb-rev-1.dwg



EXISTING DOOR TO BE REMOVED AND REPLACED.

EXISTING STUCCO FRAME REVEAL TO BE REMOVED.

FDC TO REMAIN.

EXISTING DOOR TO BE REMOVED AND REPLACED.

EXISTING STUCCO FRAME REVEAL TO BE REMOVED.

PLAN KEYNOTE LEGEND:

1. EXISTING DOOR TO BE REMOVED AND REPLACED.
2. EXISTING STUCCO FRAME REVEAL TO BE REMOVED.
3. LOCATION OF FDC TO REMAIN, DO NOT DISTURB.
4. EXISTING FLASHING TO REMAIN, VERIFY CONDITION IN FIELD.
5. EXISTING ENTRYWAY TO REMAIN, DO NOT DISTURB.
6. EXISTING STUCCO TO REMAIN, PREP SURFACE FOR NEW CLADDING.



WHAA
 Architect of record: WILLIAM HAMILTON ARTHUR IV
 License No. AR97508
 2920 Ponce de Leon Blvd
 Coral Gables, Florida 33134-8811



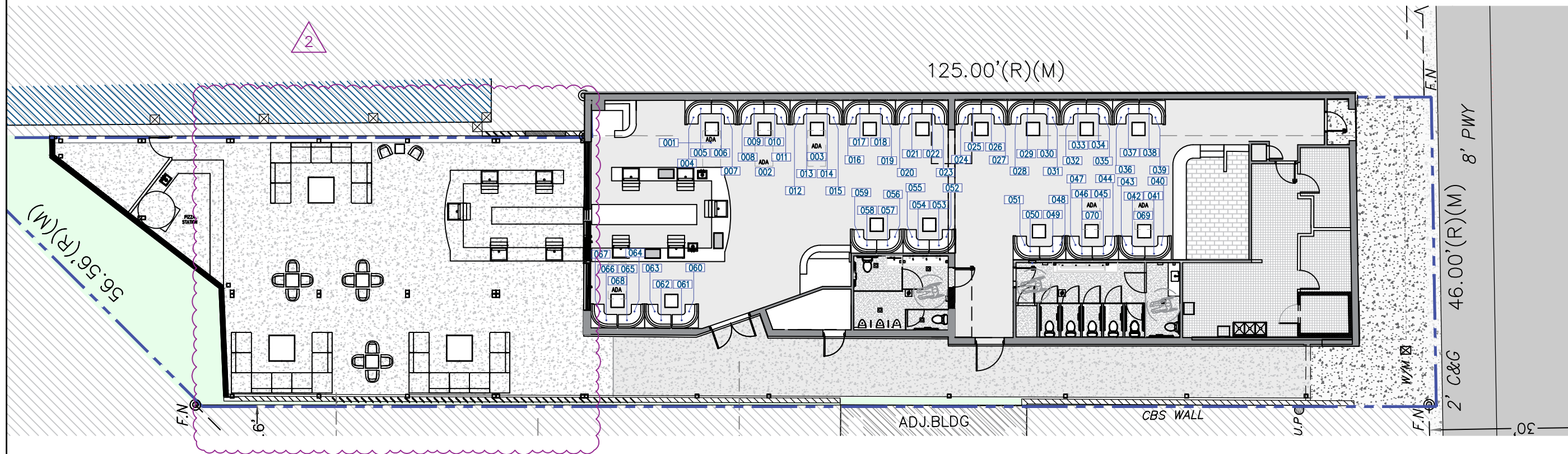
DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

| PROJECT No: 23-01H | | |
|--------------------|--------------|------------|
| DATE: 07-25-2025 | | |
| DRAWN BY: WHAIV | | |
| # | ISSUE | DATE |
| 1 | HPB Comments | 08/22/2025 |
| | | |
| | | |

SHEET TITLE
EXISTING SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"

SHEET NO
D-101
 file:
 23-01h-2025-08-22-hpb-rev-1.dwg



PROVIDE CLEAR FLOOR SPACE COMPLYING WITH 305 POSITIONED FOR A FORWARD APPROACH.

5% OF TABLES & SEATING COMPLY WITH FBCACC 2020 SECTION 226.1
REF NOTES & DETAILS PROVIDED SHT A-200

| | |
|----------------------------------|----------|
| INDOOR SEAT COUNT: | |
| MARKED LOCATION | SEATS |
| ASSEMBLY AREA 1 | 40 SEATS |
| ASSEMBLY AREA 2 | 30 SEATS |
| TOTAL: | 70 SEATS |
| ADA SEAT COUNT: (5% OF TOTAL) | 4 SEATS |

| | |
|--|-------------------|
| OCCUPANCY CALCULATIONS (EXTERIOR): ACCORDING TO FFPC 101: TABLE 7.3.1.2: | |
| REFER TO TABLE FBC B1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT | |
| OUTDOOR DINING/ ASSEMBLY AREA (A-2) PER FBC B303.3..... | 2,390 SQ.FT. |
| 1 PERSON PER 15 SQ.FT. (UNCONCENTRATED)= 2,390 SQ.FT./15 SQ.FT.= | 159 PERSONS |
| OUTDOOR BAR/COUNTERTOP CALCULATION AS SIMULTANEOUS ASSEMBLY USE PER FFPC 12.1.3.2: 36..... | 504 LINEAR INCHES |
| 1 PERSON PER 18 LINEAR INCHES= 504 LINEAR IN/18= | 28 PERSONS |
| TOTAL PROPOSED EXTERIOR OCCUPANCY: | 187 PERSONS |

| | |
|--|------------------|
| OCCUPANCY CALCULATIONS (INTERIOR): ACCORDING TO FFPC 101: TABLE 7.3.1.2: | |
| DINING/ ASSEMBLY AREA (A-2) PER FBC B303.3..... | 1,986 NET SQ.FT. |
| 1 PERSON PER 7 SQ.FT. (CONCENTRATED)= 1,986 SQ.FT./7 SQ.FT.= | 284 PERSONS |
| FIXED SEATING..... | 70 SEATS. |
| 1 PERSON PER 1 SEAT 70 SEATS/1 PERSON PER SEAT= | 70 PERSONS. |
| STAGES..... | 60 SQ.FT. |
| 1 PERSON PER 15 SQ.FT.= 60 SQ.FT./15SQ.FT.= | 4 PERSONS |
| BAR/COUNTERTOP CALCULATION AS SIMULTANEOUS ASSEMBLY USE PER FFPC 12.1.3.2: 36..... | 609 LIN. IN |
| 1 PERSON PER 18 LINEAR INCHES= 609 LINEAR IN/18= | 34 PERSONS |
| KITCHEN AREAS/PREP..... | 500 SQ.FT. |
| 1 PERSON PER 100 SQ.FT. (Storage, kitchen, prep areas)= 112 SQ.FT./100 SQ.FT.= | 5 PERSONS |
| TOTAL ALL BUSINESS AREAS..... | 148 GROSS SQ.FT. |
| 1 PERSON PER 150 SQ.FT. GROSS= 569 SQ.FT./150 SQ.FT.= | 1 PERSONS |
| STORAGE..... | 71 SQ.FT |
| 1 PERSON PER 500 SQ.FT= 71 SQ.FT./500 SQ.FT | 1 PERSON |
| TOTAL PROPOSED OCCUPANCY: | 399 PERSONS |

WHAA
Architect of record: WILLIAM HAMILTON ARTHUR IV
License No. AR97508
2920 Ponce de Leon Blvd
Coral Gables, Florida 33134-8811

STAMP

Architect of record:
WILLIAM HAMILTON ARTHUR IV
License No. AR97508

DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED USING THE ELECTRONIC DOCUMENT.

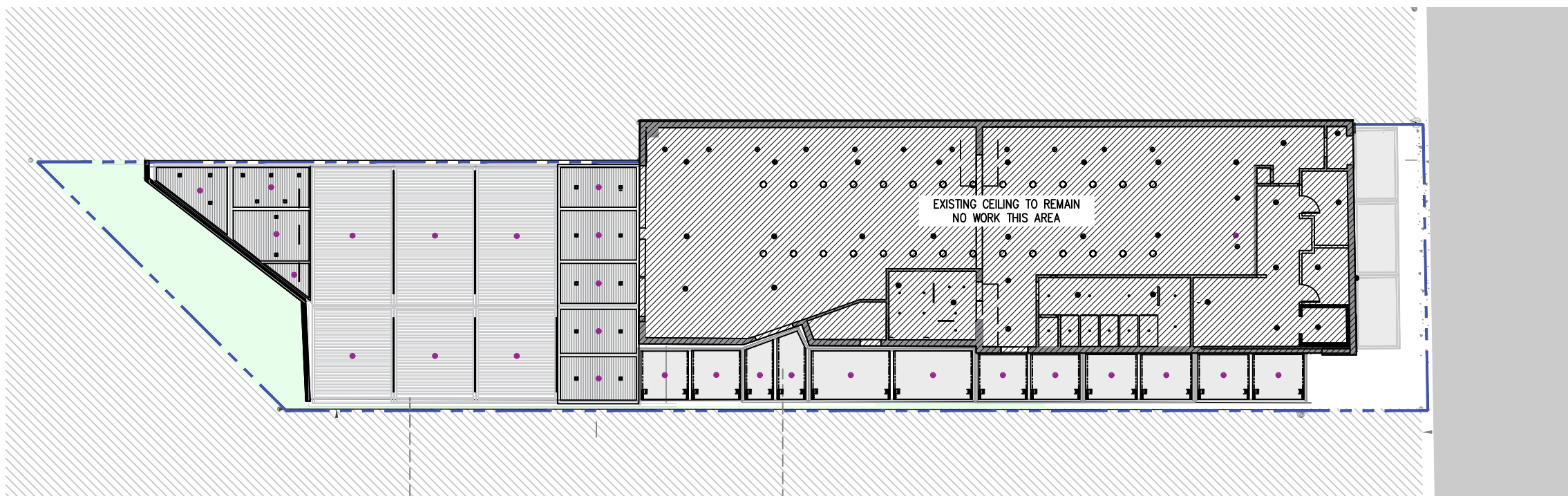
Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

| | |
|-------------|------------|
| PROJECT No: | 23-01H |
| DATE: | 07-25-2025 |
| DRAWN BY: | WHAIV |

| # | ISSUE | DATE |
|---|--------------|------------|
| 1 | HPB Comments | 08/22/2025 |
| 2 | PB Comments | 11/20/2025 |

SHEET TITLE
PROPOSED INTERIOR PLAN
SCALE: 1/16" = 1'-0"

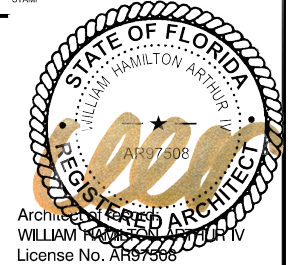
SHEET NO.
A-000
file:
23-01h-2025-11-20-pb-rev-1.dwg



WHAA

Architect of record: WILLIAM HAMILTON ARTHUR IV
 License No. AR97508
 2920 Ponce de Leon Blvd
 Coral Gables, Florida 33134-6811

STAMP



DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD
 HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED
 COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED
 & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED
 USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

PROJECT No: 23-01H
 DATE: 07-25-2025
 DRAWN BY: WHAIV

| # | ISSUE | DATE |
|---|--------------|------------|
| 1 | HPB Comments | 08/22/2025 |
| | | |
| | | |

SHEET TITLE
PROPOSED CEILING PLAN

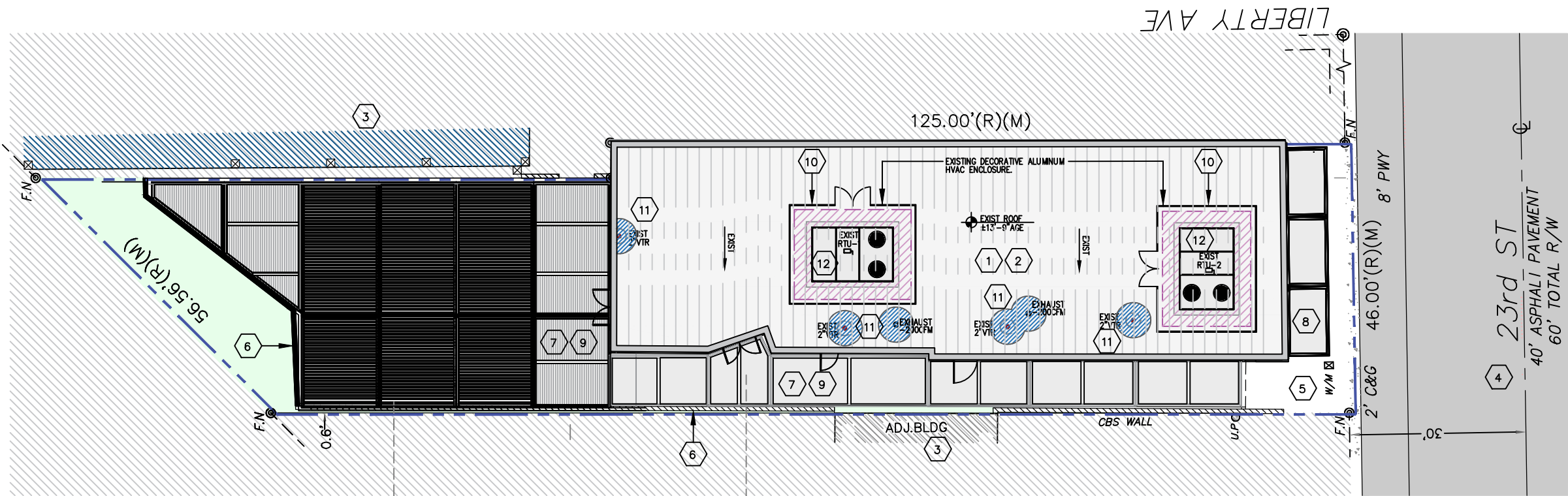
SCALE: 1/16" = 1'-0"

SHEET NO.
A-001
 file:
 23-01h-2025-08-22-hpb-rev-1.dwg

CEILING LEGEND:

| SYMBOL | DESCRIPTION |
|--------|---|
| | PROPOSED EXTERIOR FIRE SPRINKLERS. TO BE DESIGNED BY SPECIALTY ENGINEER AND SUBMITTED AS A DEFERRED SUBMITTAL PER FBC B107.3.4.1. |
| | LOW-PROFILE 4"SQ RECESSED DOWNLIGHT PROVIDED BY OWNER UTILIZES 120V 23W (A19) LAMP. INSTALL PER MANF SPEC. ENSURE "DAMP" RATING WHEN USED IN ALL MOISTURE EXPOSED FIXTURES. ALL RECESSED FIXTURES OR LIGHTING IN THE THERMAL ENVELOPE MUST BE IC RATED AND MEETING ASTM E 283 FOR LEAKAGE LABELED "AIR TIGHT" AND HOUSING SHALL BE SEALED WITH A GASKET OR CAULK TO CEILING OR WALL FBC R402.4.1.1 (ALL FIXTURES UL LISTED).* |
| | LED COVE LIGHTING UTILIZES 120V SOURCE COMPLYING WITH NEC 410. MUST COMPLY WITH SPACING REQ IN NEC 410.18. |
| | LED STRIP LIGHT |
| | |

1

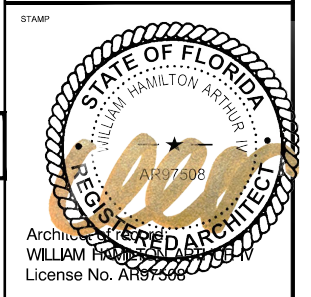


PLAN KEYNOTE LEGEND:

1. SHADED OUTLINED AREA REPRESENTS EXISTING 1-LEVEL BUILDING FOOTPRINT TO REMAIN: DO NOT DISTURB AS PART OF THIS WORK OR PERMIT. ANY EXIST SLAB, SUPPORTING ELEMENTS, COLUMNS, BEAMS & PILASTERS BELONGING TO BUILDING & EXTERIOR ENVELOPE TO REMAIN, DO NOT DISTURB AS PART OF THIS WORK OR PERMIT. EXIST STUCCO FINISH TO BE PATCHED & REPAIRED IN "LIKE-NEW" CONDITION. THE WORK SHALL NOT MAKE THE BUILDING LESS CONFORMING WITH ENERGY REQUIREMENTS THAN IT WAS BEFORE THE REPAIR WAS UNDERTAKEN PER FBC EB601.2.
2. SHOULD ANY PORTION OF EXIST STRUCTURE APPEAR DAMAGED, UNSAFE OR YOU ARE UNCERTAIN WHICH ITEMS ARE LOAD-BEARING OR NOT, NOTIFY ARCHITECT IMMEDIATELY (305) 770-6100.
3. EXIST STRUCTURE ON ADJACENT PROPERTY TO REMAIN, DO NOT DISTURB.
4. EXIST PUBLIC ROADWAY, DO NOT DISTURB, ENCROACH OR OBSTRUCT.
5. EXIST PUBLIC SIDEWALK TO REMAIN, DO NOT DISTURB, ENCROACH OR OBSTRUCT.
6. LOCATION OF EXIST C.B.S. PRIVACY WALL.
7. PROVIDE NEW ALUMINUM PERGOLA AND FOUNDATION BY SPECIALTY ENGINEER, SEPARATE BUILDING PERMIT APPLICATION. PERGOLA TO BE LOUVERED AND OPEN TO THE SKY. ENSURE MINIMUM HEIGHT & HEADROOM CLEARANCE OF +80" AFF. PROVIDE DEFERRED SUBMITTAL TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION PER FBC B107.3.4.1.
8. PROVIDE NEW FRONT PERGOLA. PROVIDE DEFERRED SUBMITTAL PER FBC B107.3.4.1.
9. LOCATION OF NEW REAR AND SIDE PERGOLA.
10. EXISTING DECORATIVE ALUMINUM HVAC ENCLOSURE TO REMAIN, DO NOT DISTURB.
11. EXISTING PLUMBING/MECHANICAL ROOF PENETRATION TO REMAIN, DO NOT DISTURB.
12. EXISTING RTU TO REMAIN, DO NOT DISTURB.



WHAA
 Architect of record: WILLIAM HAMILTON ARTHUR IV
 License No. AR97508
 2920 Ponce de Leon Blvd
 Coral Gables, Florida 33134-6811



DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD
 HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED
 COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED
 & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED
 USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur,
 Architect, Inc. (WHAA). Drawings, specifications
 and other documents prepared by the Architect
 are instruments of service and are for the Owner's
 use solely with respect to this project. The
 Architect shall retain all common law, statutory
 and other reserved rights, including the
 copyright. Any unauthorized reproduction,
 modification, disclosure, and/or use of these
 materials without prior written consent is strictly
 prohibited and punishable by law.

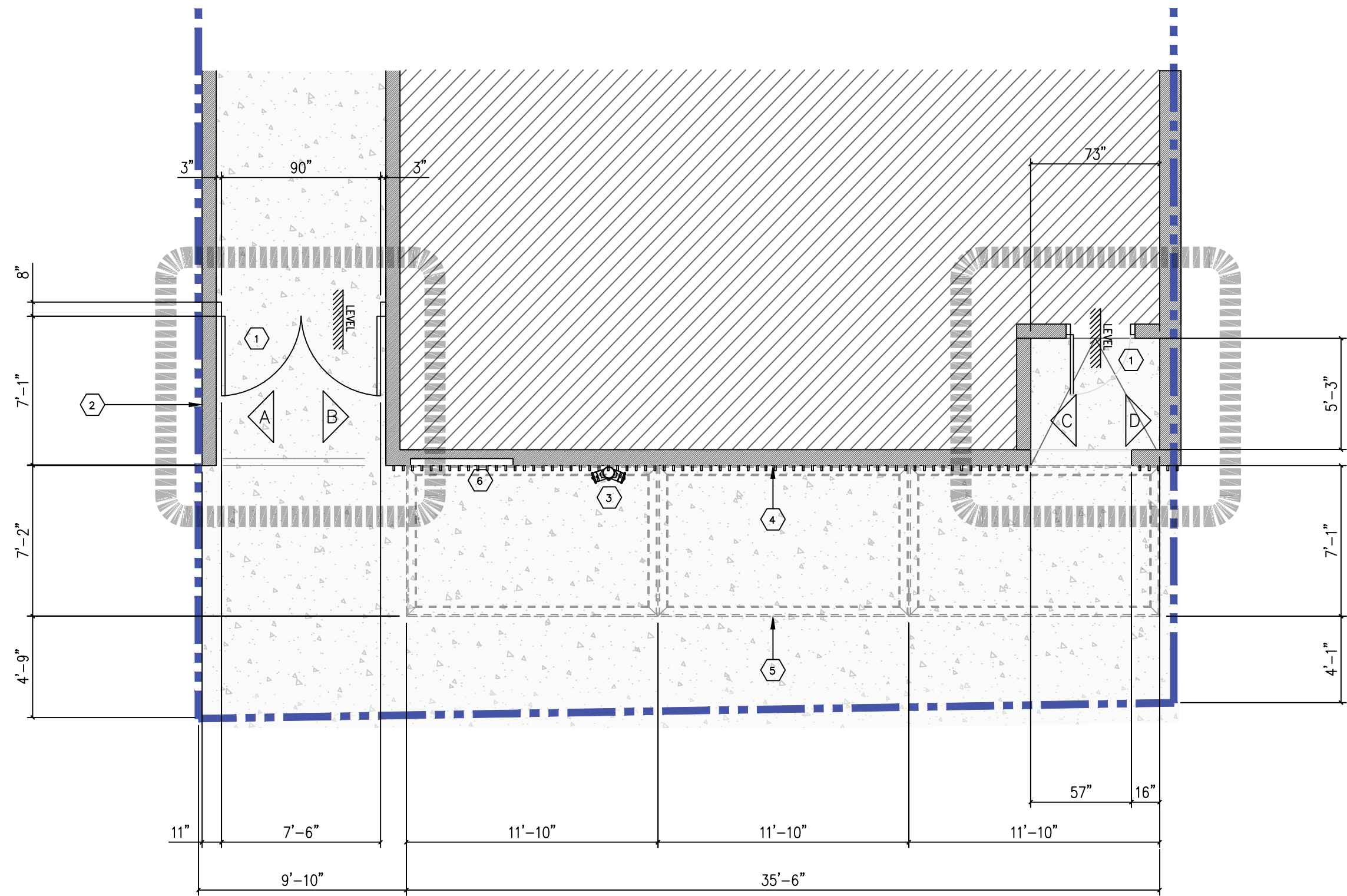
PROJECT No: 23-01H
 DATE: 07-25-2025
 DRAWN BY: WHAIV

| # | ISSUE | DATE |
|---|--------------|------------|
| 1 | HPB Comments | 08/22/2025 |
| | | |
| | | |
| | | |

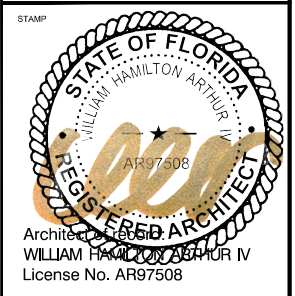
SHEET TITLE
**PROPOSED ROOF
 PLAN**
 SCALE: 1/16" = 1'-0"

SHEET NO
A-002
 file:
 23-01h-2025-08-22-hpb-rev-1.dwg

1



WHAA
 Architect of record: WILLIAM HAMILTON ARTHUR IV
 License No. AR97508
 2920 Ponce de Leon Blvd
 Coral Gables, Florida 33134-8811



DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

| | | |
|--------------------|--------------|------------|
| PROJECT No: 23-01H | | |
| DATE: 07-25-2025 | | |
| DRAWN BY: WHAIV | | |
| # | ISSUE | DATE |
| 1 | HPB Comments | 08/22/2025 |
| | | |
| | | |

SHEET TITLE
ENLARGED FLOOR PLAN
 SCALE: 3/16" = 1'-0"

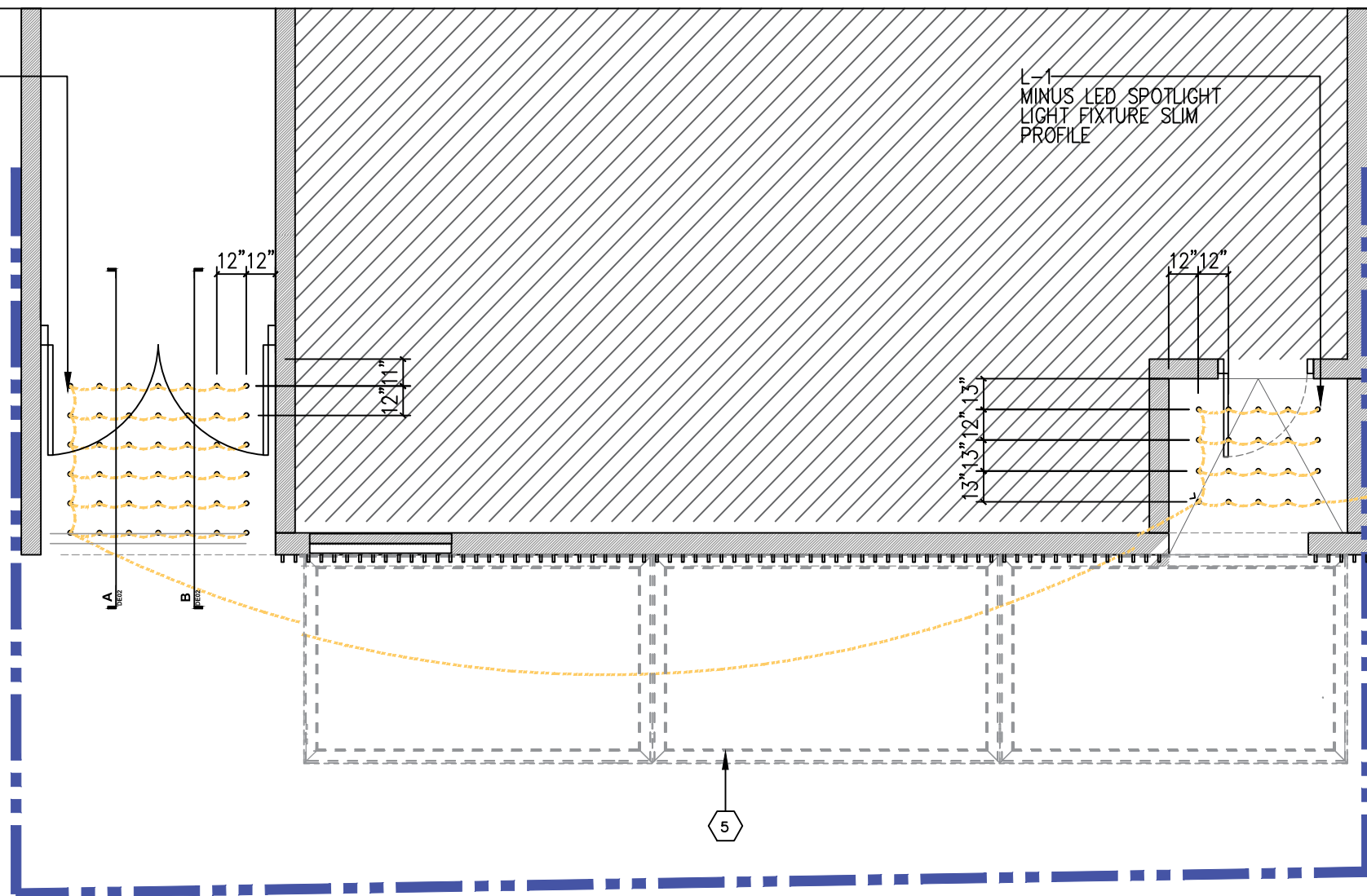
SHEET NO
A-100
 file:
 23-01h-2025-08-22-hpb-rev-1.dwg

PLAN KEYNOTE LEGEND:

1. PROVIDE REPLACEMENT DOOR WITHIN EXISTING OPENING.
2. EXISTING ENTRYWAY TO REMAIN, DO NOT DISTURB.
3. LOCATION OF EXISTING FDC TO REMAIN. DO NOT DISTURB.
4. PROVIDE PAINTED STUCCO, AND VERTICAL SHADING DEVICES. COLOR PER FINISH LEGEND SHEET A-200.
5. PROVIDE NEW FRONT PERGOLA. PROVIDE DERRERED SUBMITTAL PER FBC B107.3.4.1.
6. EXISTING SETBACK IN STRUCTURE TO REMAIN. DO NOT DISTURB.

L-1
MINUS LED SPOTLIGHT
LIGHT FIXTURE SLIM
PROFILE

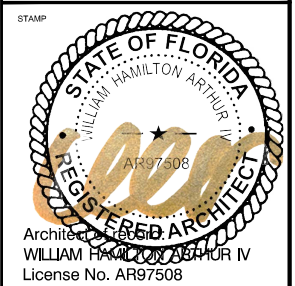
L-1
MINUS LED SPOTLIGHT
LIGHT FIXTURE SLIM
PROFILE



TO
ELECTRIC
PANEL



WHAA
Architect of record: WILLIAM HAMILTON ARTHUR IV
License No. AR97508
2920 Ponce de Leon Blvd
Coral Gables, Florida 33134-6811



DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD
HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED
COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED
& SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED
USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

PLAN KEYNOTE LEGEND:

1. PROVIDE REPLACEMENT DOOR WITHIN EXISTING OPENING.
2. EXISTING ENTRYWAY TO REMAIN, DO NOT DISTURB.
3. LOCATION OF EXISTING FDC TO REMAIN. DO NOT DISTURB.
4. PROVIDE PAINTED STUCCO, COLOR PER FINISH LEGEND SHEET A-200.
5. PROVIDE NEW FRONT PERGOLA. PROVIDE DERRERED SUBMITTAL PER FBC B107.3.4.1.
6. EXISTING SETBACK IN STRUCTURE TO REMAIN. DO NOT DISTURB.

PROJECT No: 23-01H
DATE: 07-25-2025
DRAWN BY: WHAIV

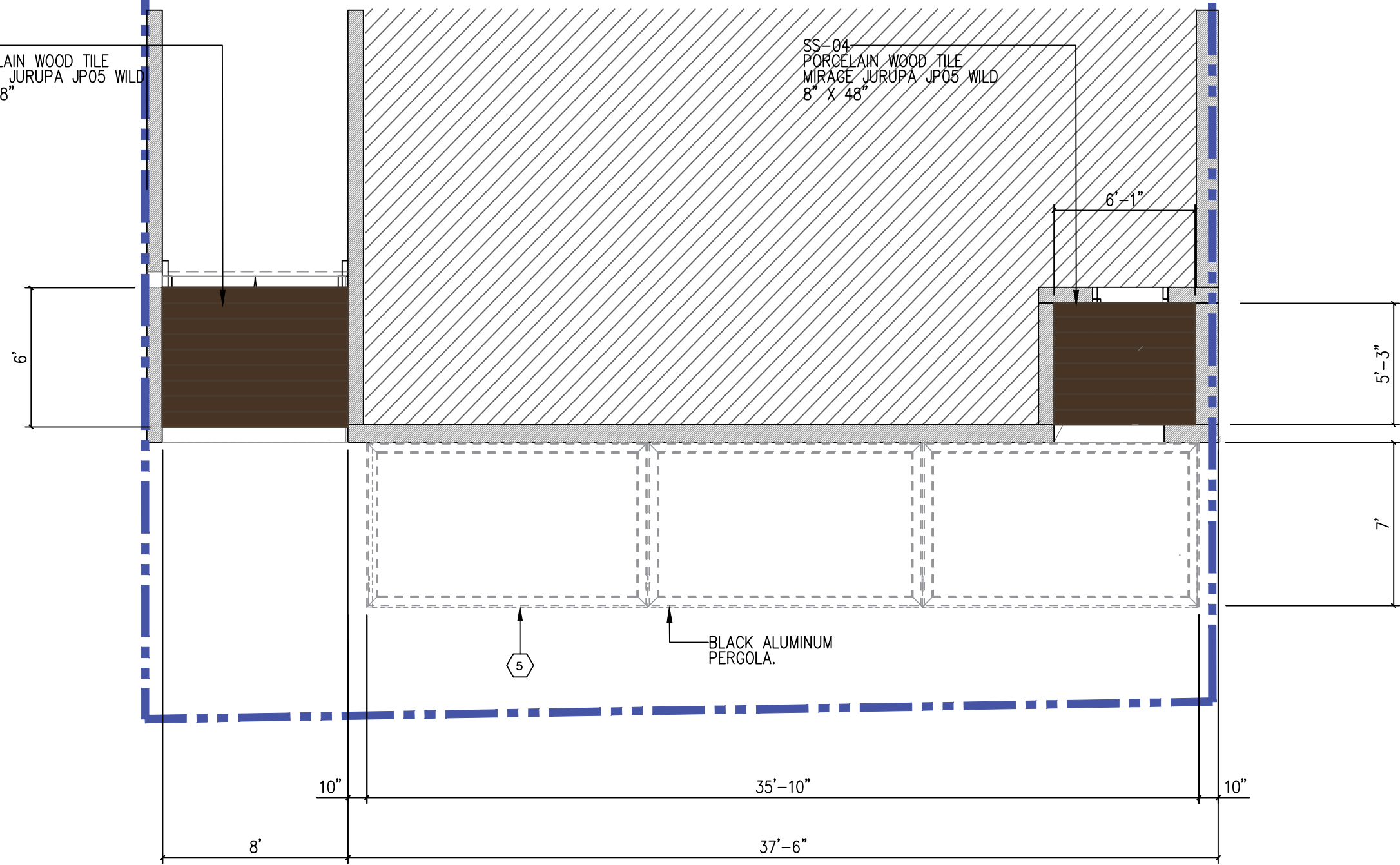
| # | ISSUE | DATE |
|---|--------------|------------|
| 1 | HPB Comments | 08/22/2025 |
| | | |
| | | |
| | | |

SHEET TITLE
**ENLARGED
ILLUMINATION PLAN.**
SCALE: 3/16" = 1'-0"

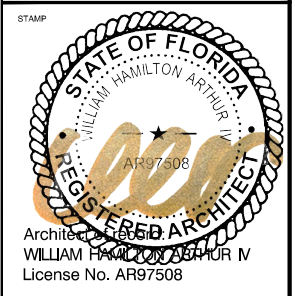
SHEET NO
A-101
file:
23-01h-2025-08-22-hpb-rev-1.dwg

SS-04
PORCELAIN WOOD TILE
MIRAGE JURUPA JP05 WILD
8" X 48"

SS-04
PORCELAIN WOOD TILE
MIRAGE JURUPA JP05 WILD
8" X 48"



WHAA
Architect of record: WILLIAM HAMILTON ARTHUR IV
License No. AR97508
2920 Ponce de Leon Blvd
Coral Gables, Florida 33134-8811



DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD
HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED
COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED
& SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED
USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

PLAN KEYNOTE LEGEND:

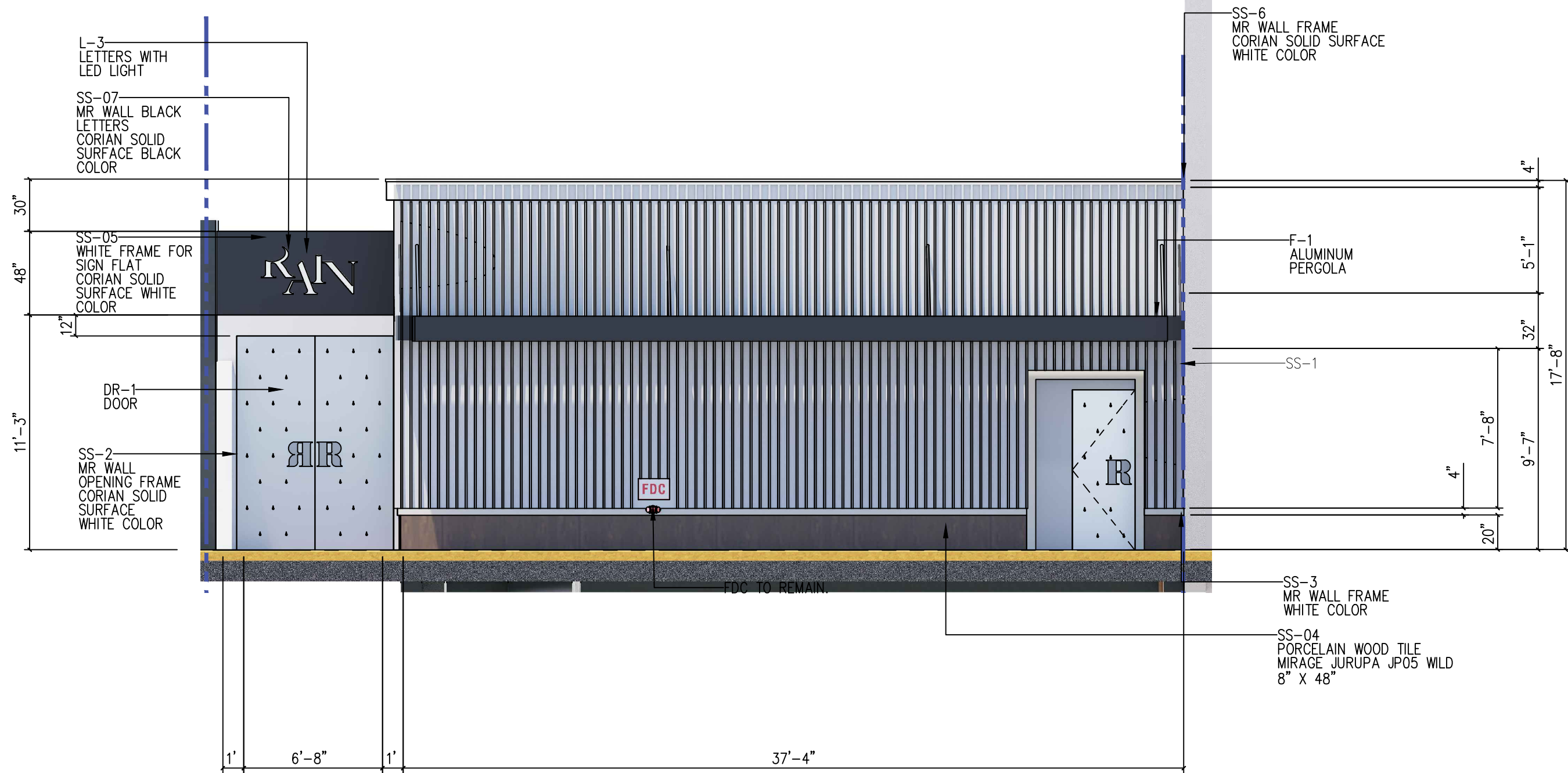
1. PROVIDE REPLACEMENT DOOR WITHIN EXISTING OPENING.
2. EXISTING ENTRYWAY TO REMAIN, DO NOT DISTURB.
3. LOCATION OF EXISTING FDC TO REMAIN. DO NOT DISTURB.
4. PROVIDE PAINTED STUCCO, COLOR PER FINISH LEGEND SHEET A-200.
5. PROVIDE NEW FRONT PERGOLA. PROVIDE DERRERED SUBMITTAL PER FBC B107.3.4.1.
6. EXISTING SETBACK IN STRUCTURE TO REMAIN. DO NOT DISTURB.

PROJECT No: 23-01H
DATE: 07-25-2025
DRAWN BY: WHAIV

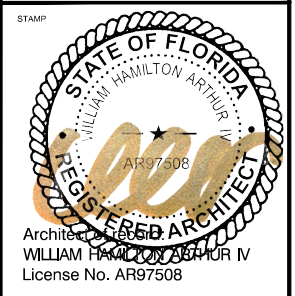
| # | ISSUE | DATE |
|---|--------------|------------|
| 1 | HPB Comments | 08/22/2025 |
| | | |
| | | |

SHEET TITLE
ENLARGED CEILING
SCALE: 3/16" = 1'-0"

SHEET NO
A-102
file:
23-01h-2025-08-22-hpb-rev-1.dwg



WHAA
 Architect of record: WILLIAM HAMILTON ARTHUR IV
 License No. AR97508
 2920 Ponce de Leon Blvd
 Coral Gables, Florida 33134-8811

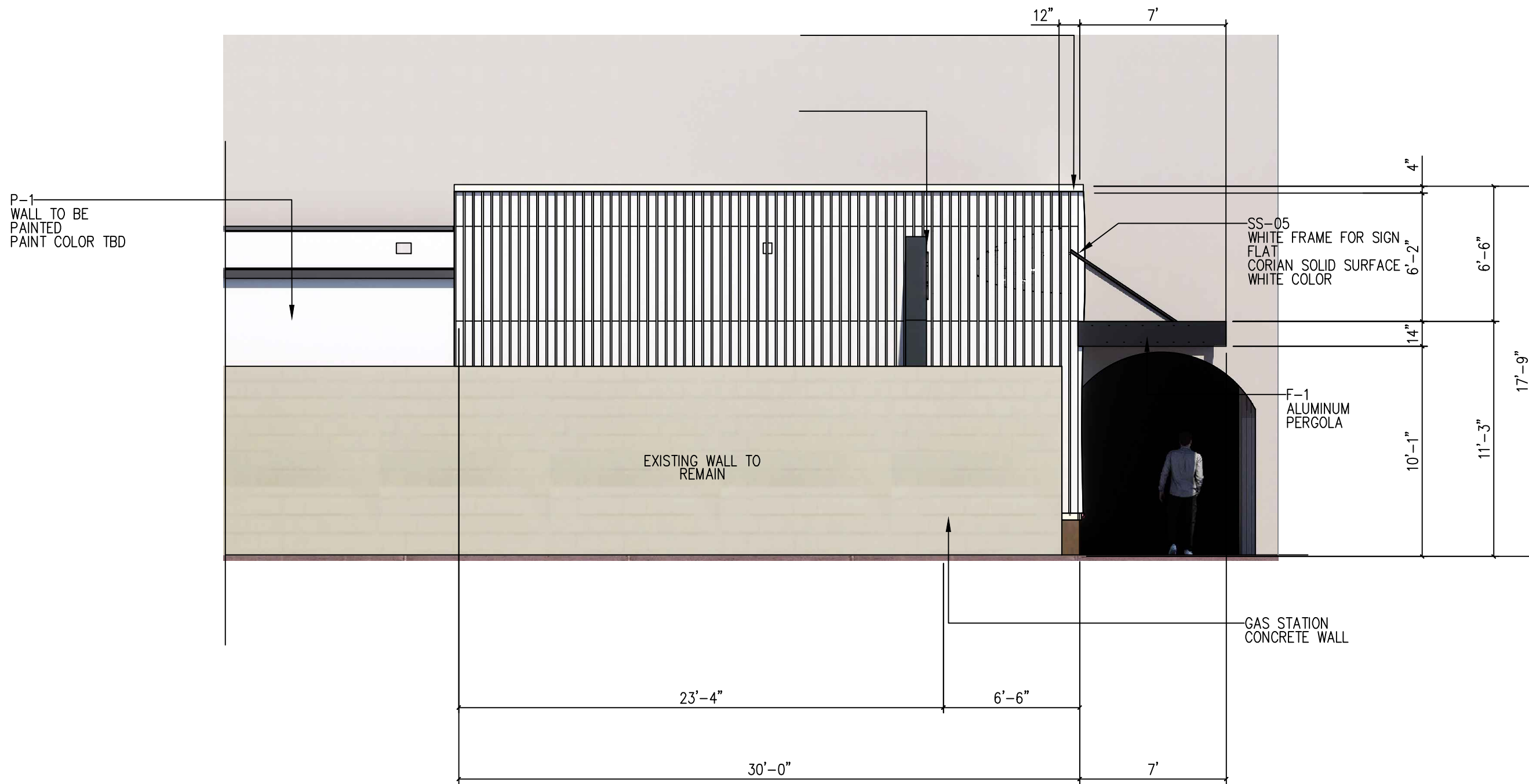


DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED, THE SIGNATURE CAN ONLY BE AUTHENTICATED USING THE ELECTRONIC DOCUMENT.

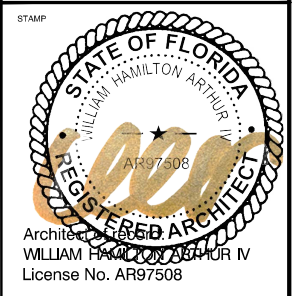
Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

| | | |
|-------------|--------------|------------|
| PROJECT No: | 23-01H | |
| DATE: | 07-25-2025 | |
| DRAWN BY: | WHAAV | |
| # | ISSUE | DATE |
| 1 | HPB Comments | 08/22/2025 |
| | | |
| | | |

SHEET TITLE
SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"
 SHEET NO.
A-103
 file:
 23-01h-2025-08-22-hpb-rev-1.dwg



WHAA
 Architect of record: WILLIAM HAMILTON ARTHUR IV
 License No. AR97508
 2920 Ponce de Leon Blvd
 Coral Gables, Florida 33134-8811



DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD
 HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED
 COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED
 & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED
 USING THE ELECTRONIC DOCUMENT.

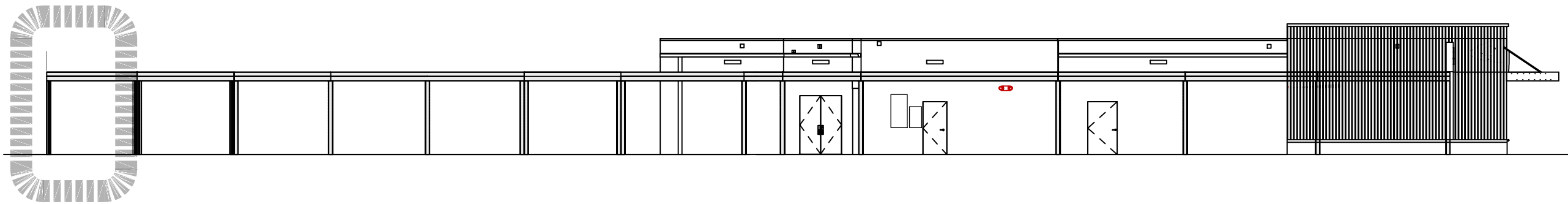
Copyright © 2023 William Hamilton Arthur,
 Architect, Inc. (WHAA). Drawings, specifications
 and other documents prepared by the Architect
 are instruments of service and are for the Owner's
 use solely with respect to this project. The
 Architect shall retain all common law, statutory
 and other reserved rights, including the
 copyright. Any unauthorized reproduction,
 modification, disclosure, and/or use of these
 materials without prior written consent is strictly
 prohibited and punishable by law.

PROJECT No: 23-01H
 DATE: 07-25-2025
 DRAWN BY: WHAIV

| # | ISSUE | DATE |
|---|--------------|------------|
| 1 | HPB Comments | 08/22/2025 |
| | | |
| | | |

SHEET TITLE
WEST ELEVATION
 SCALE: 3/16" = 1'-0"

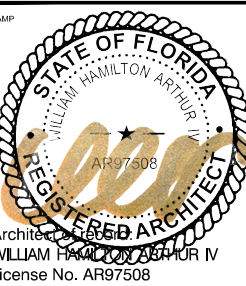
SHEET NO
A-104
 file:
 23-01h-2025-08-22-hpb-rev-1.dwg



REF ENLARGED SECTION
SHEET A-110



WHAA
Architect of record: WILLIAM HAMILTON ARTHUR IV
License No. AR97508
2920 Ponce de Leon Blvd
Coral Gables, Florida 33134-8811



DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD
HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED
COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED
& SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED
USING THE ELECTRONIC DOCUMENT.

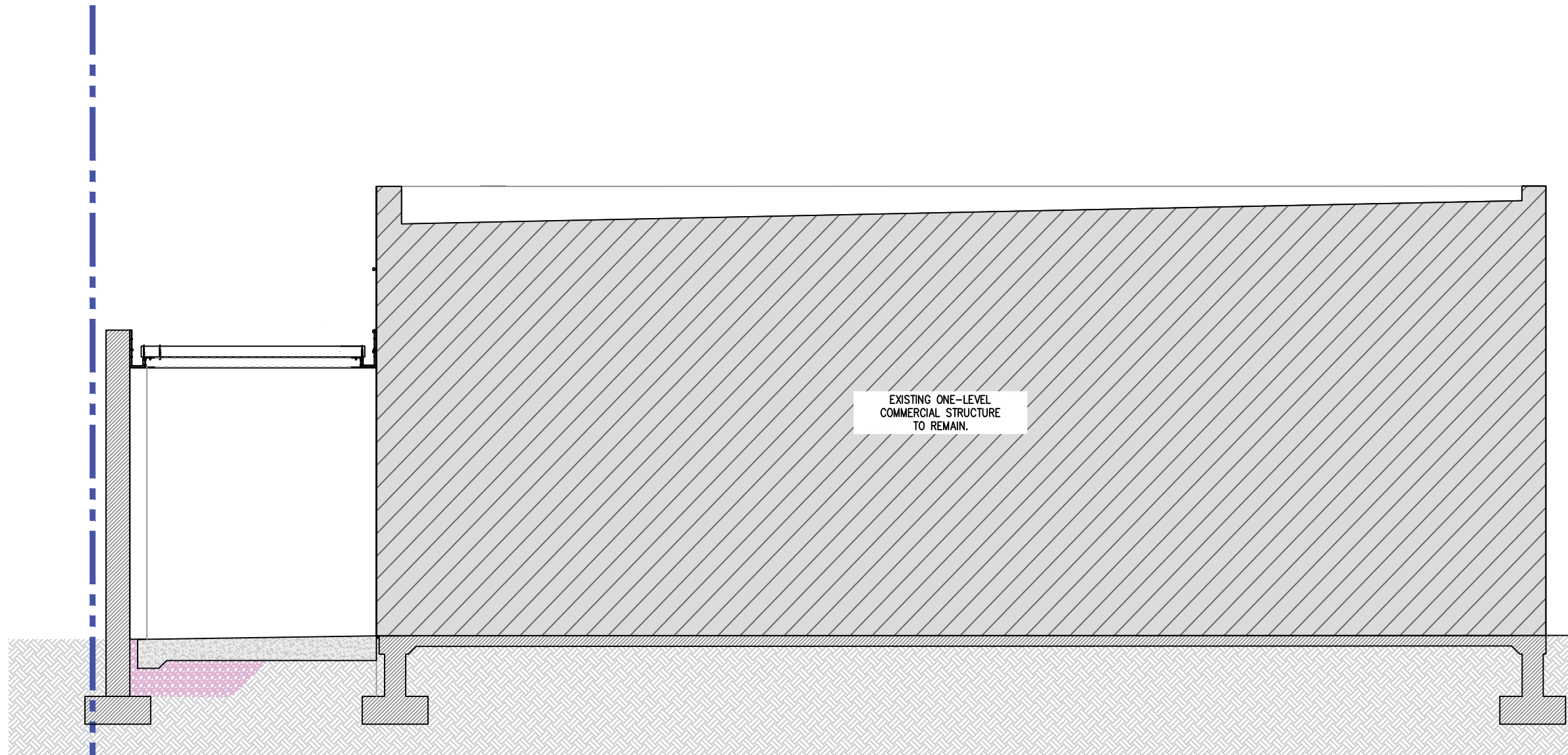
Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

PROJECT No: 23-01H
DATE: 07-25-2025
DRAWN BY: WHAIV

| # | ISSUE | DATE |
|---|--------------|------------|
| 1 | HPB Comments | 08/22/2025 |
| | | |
| | | |

SHEET TITLE
**OVERALL WEST
ELEVATION**
SCALE: 1/16" = 1'-0"

SHEET NO
A-105
file:
23-01h-2025-08-22-hpb-rev-1.dwg

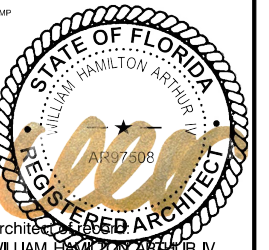


EXISTING ONE-LEVEL
COMMERCIAL STRUCTURE
TO REMAIN.



WHAA
 Architect of record: WILLIAM HAMILTON ARTHUR IV
 License No. AR97508
 2920 Ponce de Leon Blvd
 Coral Gables, Florida 33134-8811

STAMP



Architect of record:
 WILLIAM HAMILTON ARTHUR IV
 License No. AR97508

DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD
 HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED
 COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED
 & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED
 USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

PROJECT No: 23-01H
 DATE: 07-25-2025

DRAWN BY: WHAIV

| # | ISSUE | DATE |
|---|--------------|------------|
| 1 | HPB Comments | 08/22/2025 |
| | | |
| | | |

SHEET TITLE

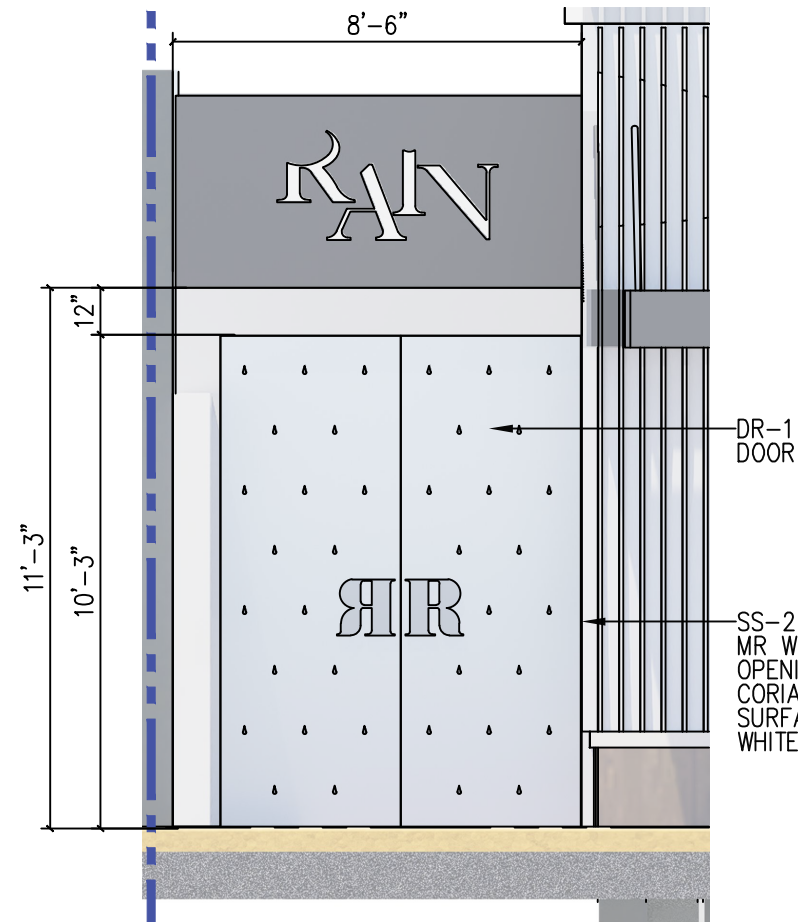
OVERALL SECTION

SCALE: 1/4" = 1'-0"

SHEET NO

A-106

file: 23-01h-2025-08-22-hpb-rev-1.dwg

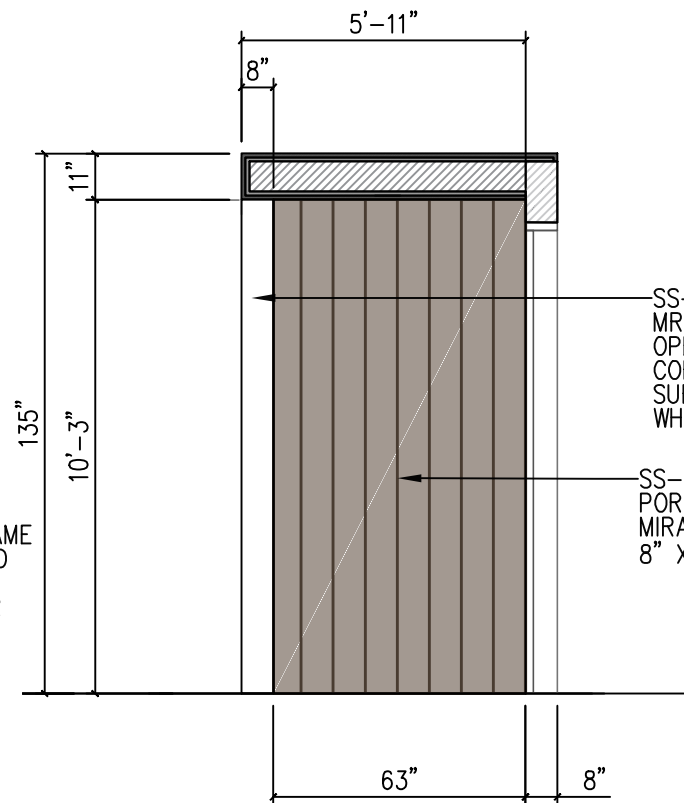


MAIN ENTRANCE ELEVATION

SCALE: 1/4" = 1'-0"

DR-1 DOOR

SS-2 MR WALL OPENING FRAME CORIAN SOLID SURFACE WHITE COLOR

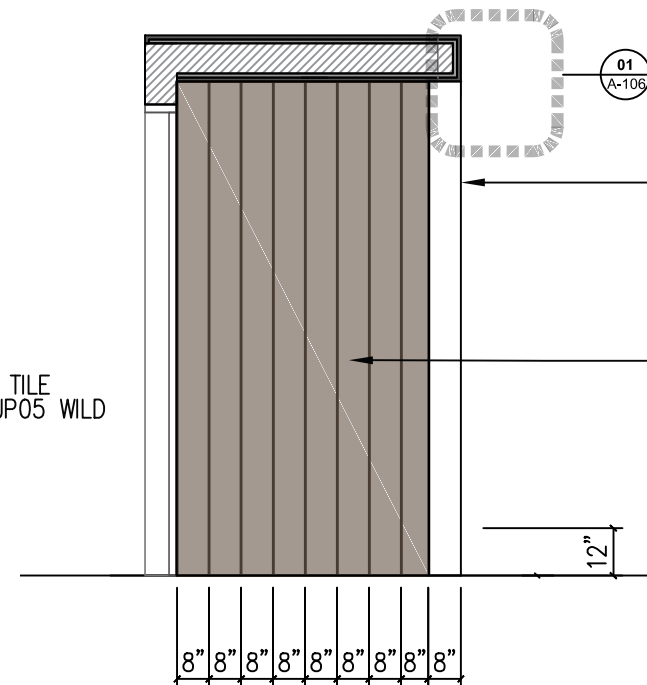


MAIN ENTRANCE SECTION A

SCALE: 1/4" = 1'-0"

SS-2 MR WALL OPENING FRAME CORIAN SOLID SURFACE WHITE COLOR

SS-04 PORCELAIN WOOD TILE MIRAGE JURUPA JP05 WILD 8" X 48"

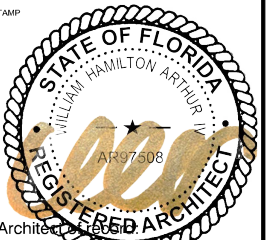


MAIN ENTRANCE SECTION B

SCALE: 1/4" = 1'-0"

SS-2 MR WALL OPENING FRAME CORIAN SOLID SURFACE WHITE COLOR

SS-04 PORCELAIN WOOD TILE MIRAGE JURUPA JP05 WILD 8" X 48"



Architect of Record
WILLIAM HAMILTON ARTHUR IV
License No. AR97508

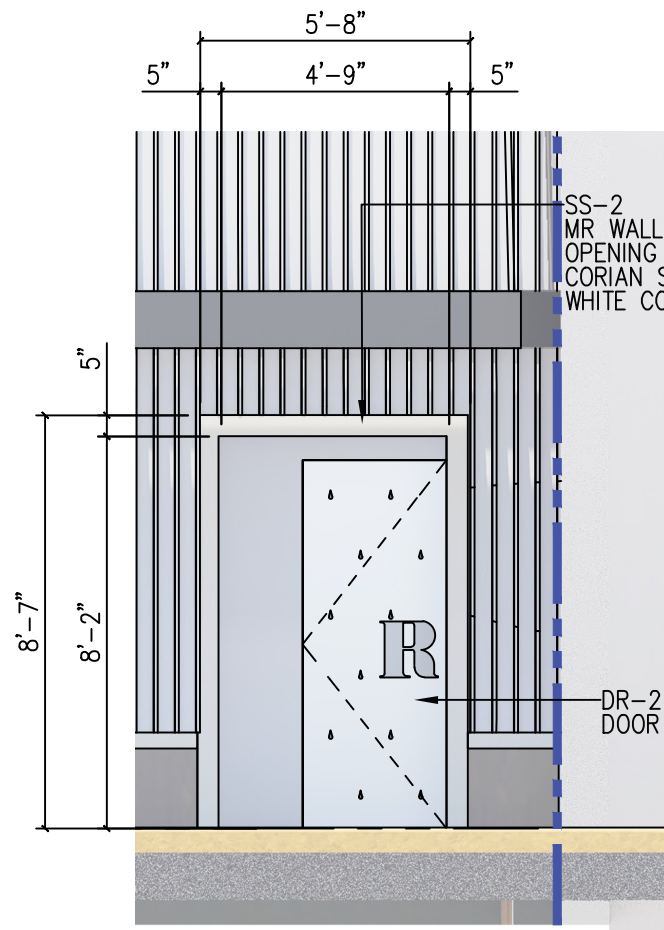
DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHA A). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

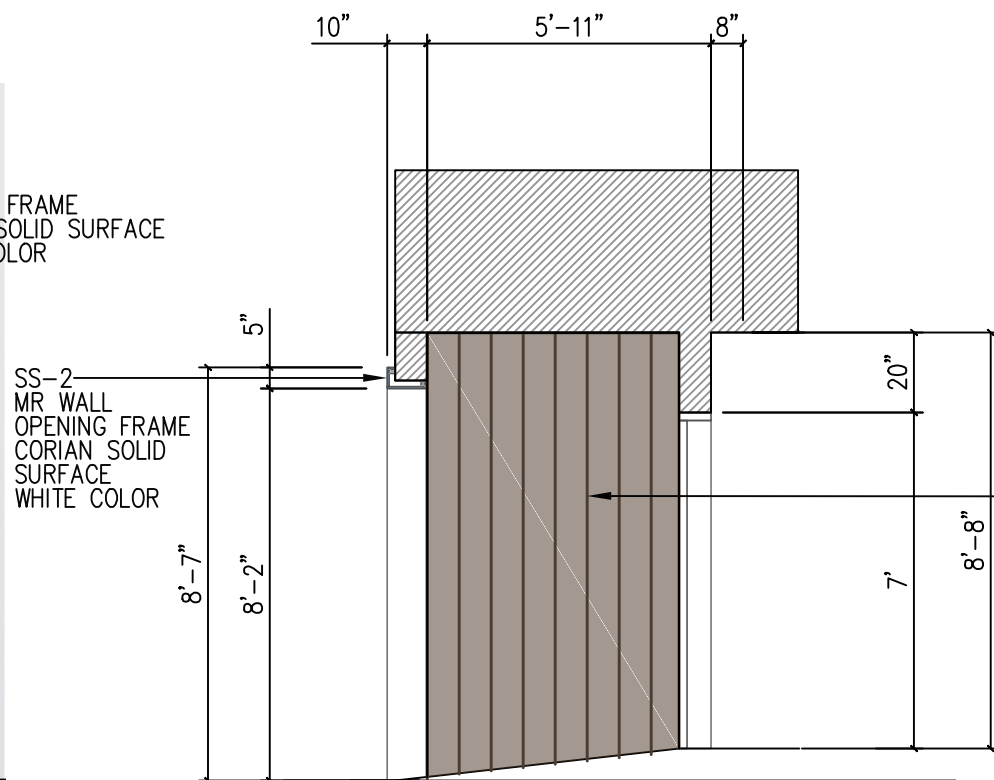
| | | |
|-------------|--------------|------------|
| PROJECT No: | 23-01H | |
| DATE: | 07-25-2025 | |
| DRAWN BY: | WHAIV | |
| # | ISSUE | DATE |
| 1 | HPB Comments | 08/22/2025 |
| | | |
| | | |

SHEET TITLE
ENLARGED ELEVATIONS
SCALE: 1/4" = 1'-0"

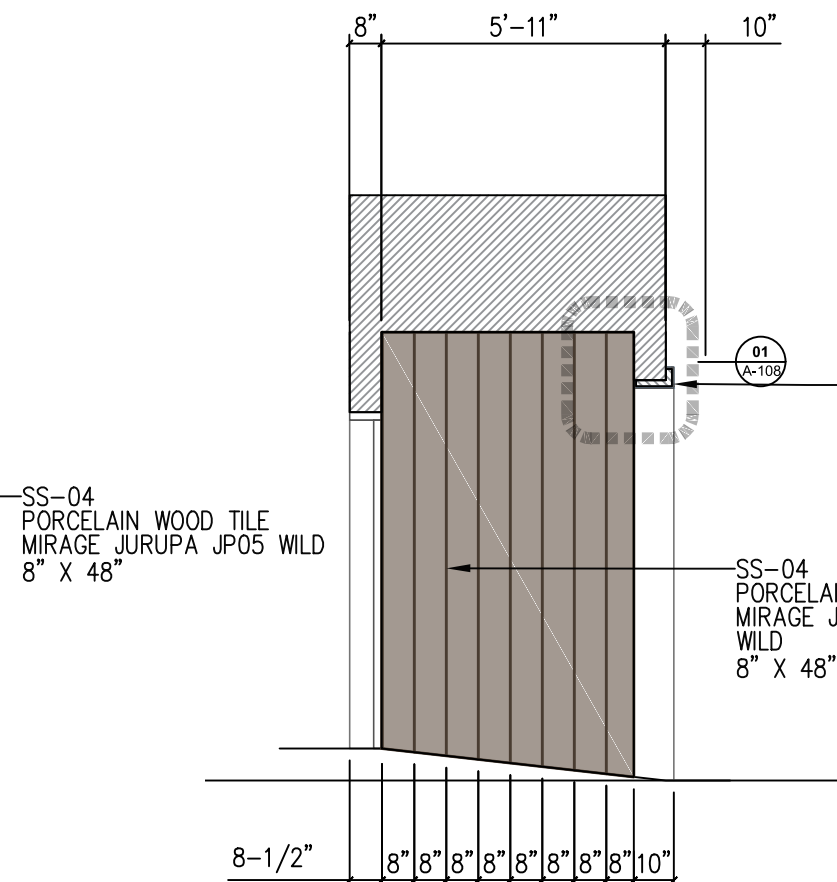
SHEET NO.
A-107
file:
23-01h-2025-08-22-hpb-rev-1.dwg



VIP ACCESS ELEVATION
SCALE: 1/4" = 1'-0"



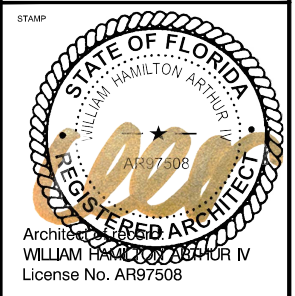
VIP ACCESS SECTION A
SCALE: 1/4" = 1'-0"



VIP ACCESS SECTION B
SCALE: 1/4" = 1'-0"



WHAA
 Architect of record: WILLIAM HAMILTON ARTHUR IV
 License No. AR97508
 2920 Ponce de Leon Blvd
 Coral Gables, Florida 33134-6811



DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED USING THE ELECTRONIC DOCUMENT.

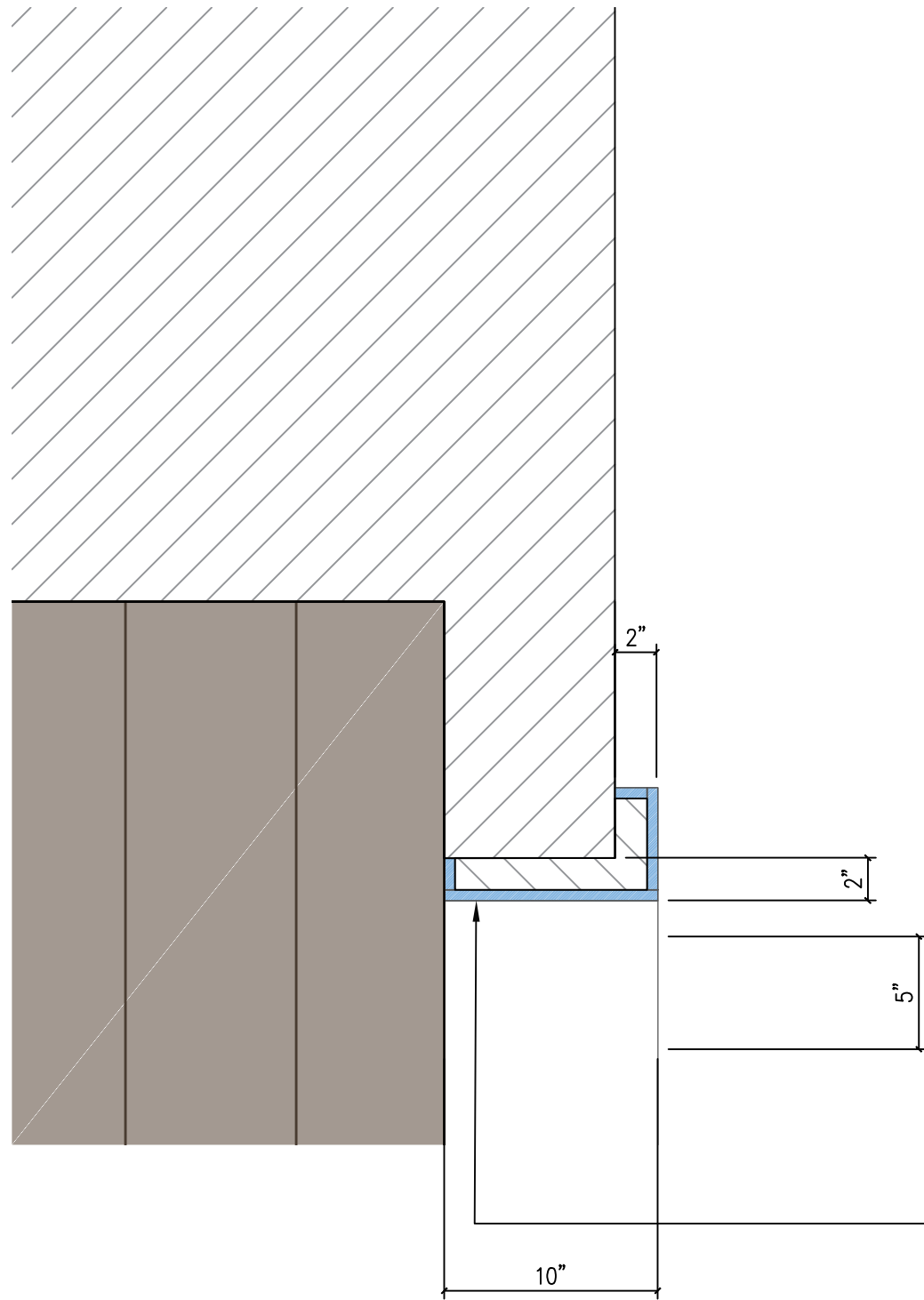
Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

PROJECT No: 23-01H
 DATE: 07-25-2025
 DRAWN BY: WHAIV

| # | ISSUE | DATE |
|---|--------------|------------|
| 1 | HPB Comments | 08/22/2025 |
| | | |
| | | |

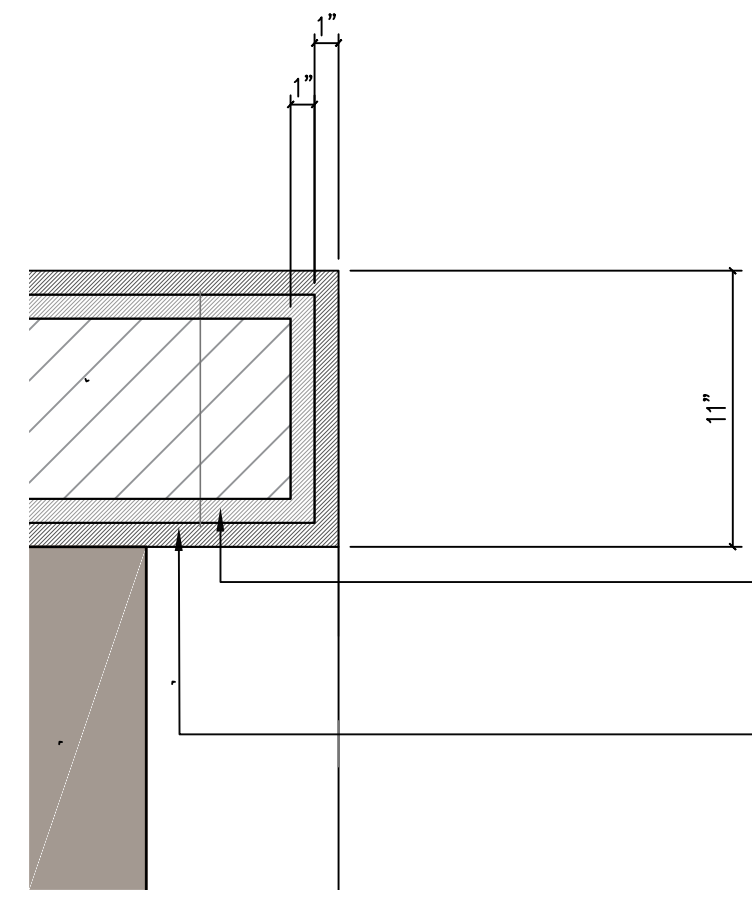
SHEET TITLE
ENLARGED ELEVATIONS
 SCALE: 1/4" = 1'-0"

SHEET NO
A-108
 file:
 23-01h-2025-08-22-hpb-rev-1.dwg



SS-2
MR WALL
OPENING FRAME
CORIAN SOLID SURFACE
WHITE COLOR

**BACKLIGHT
TYPICAL DETAIL**
SCALE: 1-1/2" = 1'-0"



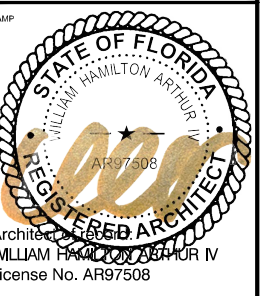
PLYWOOD
TECHNICAL SPECS
ACCORDING
TO CONTRACTOR

SS-04
PORCELAIN WOOD TILE
MIRAGE JURUPA JP05
WLD
8" X 48"

**BACKLIGHT
TYPICAL DETAIL**
SCALE: 1-1/2" = 1'-0"



WHAA
Architect of record: WILLIAM HAMILTON ARTHUR IV
License No. AR97508
2920 Ponce de Leon Blvd
Coral Gables, Florida 33134-8811



DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD
HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED
COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED
& SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED
USING THE ELECTRONIC DOCUMENT.

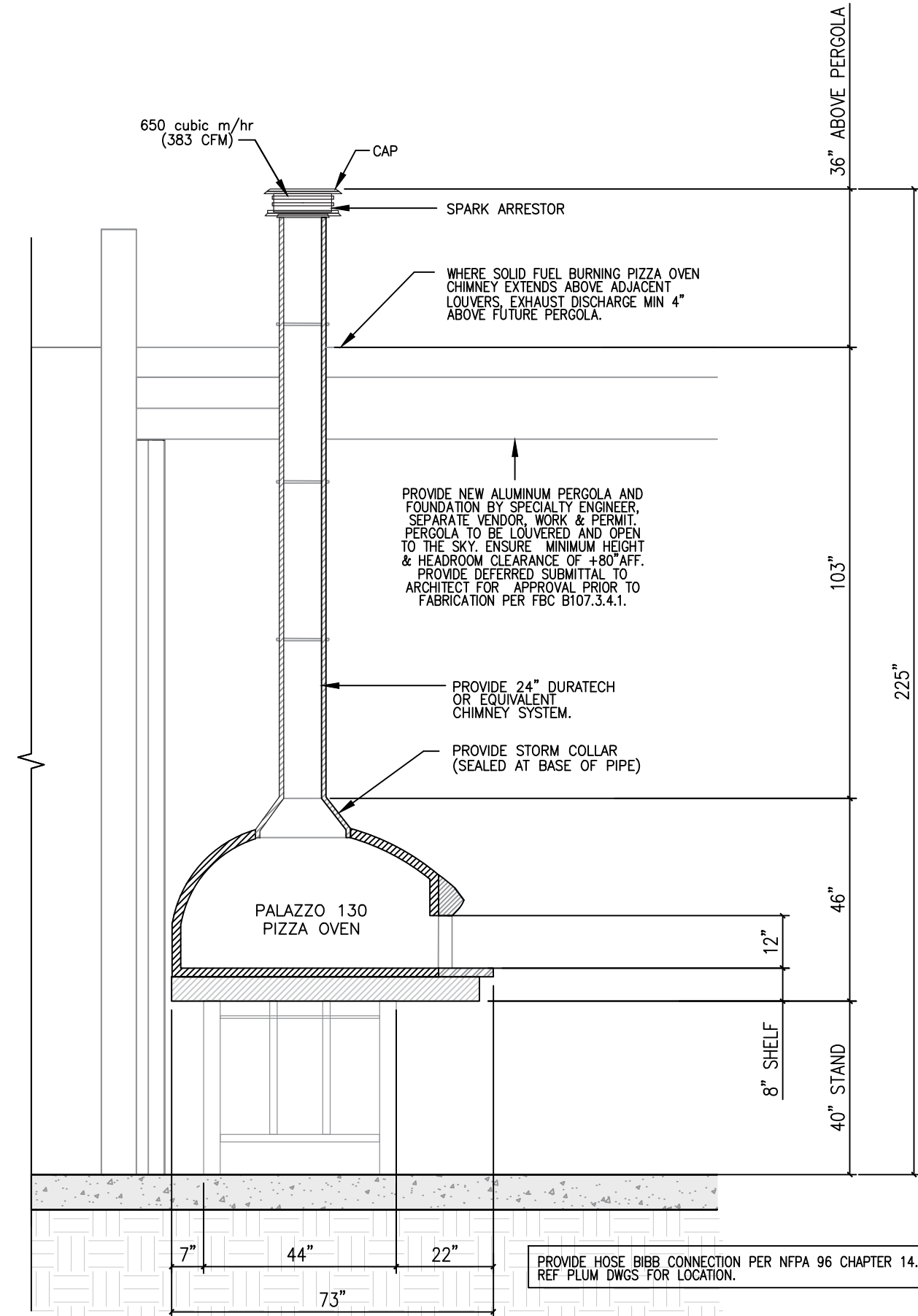
Copyright © 2023 William Hamilton Arthur,
Architect, Inc. (WHAA). Drawings, specifications
and other documents prepared by the Architect
are instruments of service and are for the Owner's
use solely with respect to this project. The
Architect shall retain all common law, statutory
and other reserved rights, including the
copyright. Any unauthorized reproduction,
modification, disclosure, and/or use of these
materials without prior written consent is strictly
prohibited and punishable by law.

PROJECT No: 23-01H
DATE: 07-25-2025
DRAWN BY: WHAIV

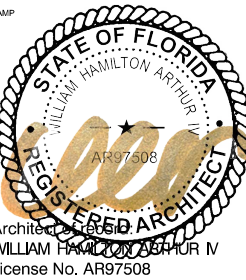
| # | ISSUE | DATE |
|---|--------------|------------|
| 1 | HPB Comments | 08/22/2025 |
| | | |
| | | |

SHEET TITLE
**ENLARGED
SECTION**
SCALE: 1-1/2" = 1'-0"

SHEET NO
A-109
file:
23-01h-2025-08-22-hpb-rev-1.dwg



WHAA
 Architect of record: WILLIAM HAMILTON ARTHUR IV
 License No. AR97508
 2920 Ponce de Leon Blvd
 Coral Gables, Florida 33134-6811



DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED USING THE ELECTRONIC DOCUMENT.

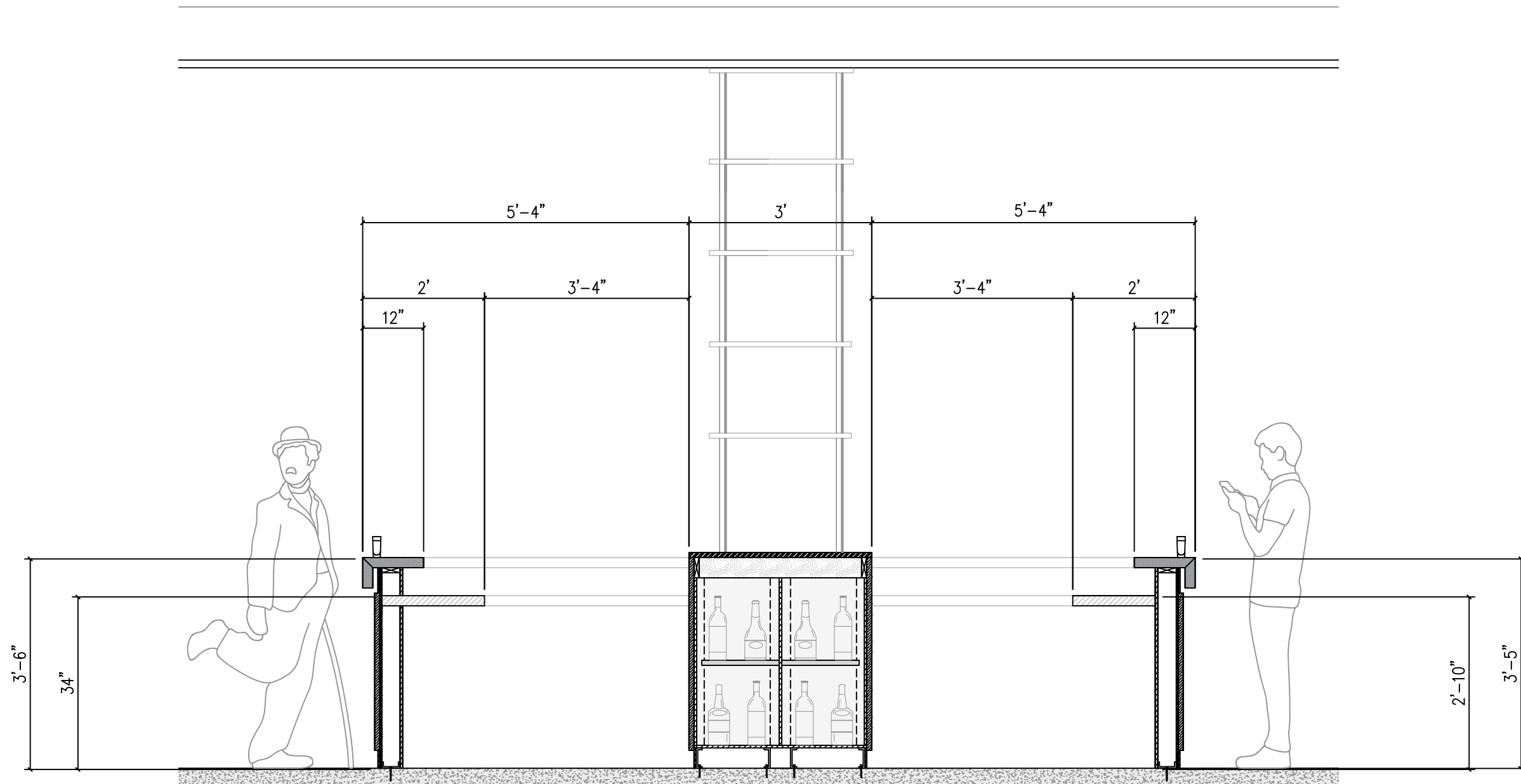
Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

PROJECT No: 23-01H
 DATE: 07-25-2025
 DRAWN BY: WHAIV

| # | ISSUE | DATE |
|---|--------------|------------|
| 1 | HPB Comments | 08/22/2025 |
| | | |
| | | |

SHEET TITLE
ENLARGED PIZZA OVEN
 SCALE: 3/8" = 1'-0"

SHEET NO
A-110
 file:
 23-01h-2025-08-22-hpb-rev-1.dwg

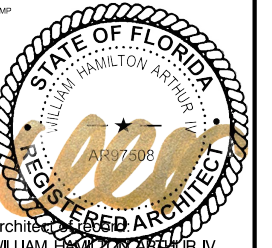


RAIN
NIGHT CLUB MIAMI

WHAA

Architect of record: WILLIAM HAMILTON ARTHUR IV
License No. AR97508
2920 Ponce de Leon Blvd
Coral Gables, Florida 33134-8811

STAMP



Architect of record:
WILLIAM HAMILTON ARTHUR IV
License No. AR97508

DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD
HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED
COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED
& SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED
USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

PROJECT No: 23-01H

DATE: 07-25-2025



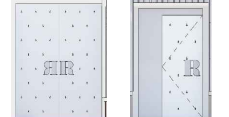
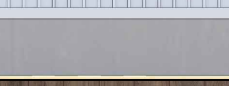






DRAWN BY: WHAIV

| # | ISSUE | DATE |
|---|--------------|------------|
| 1 | HPB Comments | 08/22/2025 |
| | | |
| | | |

SHEET TITLE
**EXTERIOR
BAR COUNTER
DETAIL**
SCALE: 3/8" = 1'-0"

SHEET NO
A-111
file:
23-01h-2025-08-22-hpb-rev-1.dwg

FINISH SCHEDULE

| Item # | Item Name | Photo/Graphic | Vendor | Manufacturer | Model # | Color/Finish | Dimensions |
|--------|--|---|----------------------|------------------|------------------|-----------------------------|------------|
| L-1 | MINUS LED SPOTLIGHT LIGHT FIXTURE SLIM PROFILE |  | TBD | MINUS | 1-MINUS ONE | BLACK | REF MANF. |
| L-2 | LED STRIPS FOR BACKLIT FRAME RGB | | TBD | TBD | TBD | TBD | TBD |
| L-3 | SIGN LIGHTING | | TBD | TBD | TBD | TBD | TBD |
| SS-1 | STUCCO SURFACE WITH DECORATIVE BLADES |  | TBD | TBD | TBD | WHITE | TBD |
| SS-2 | MARIO ROMANO WALLS OPENING FRAME CORIAN SOLID SURFACE WHITE COLOR |  | MARIANO ROMANO WALLS | MARIANO ROMANO | CUSTOM | CORIAN SOLID SURFACE, WHITE | TBD |
| SS-3 | MARIO ROMANO WALLS FRAME CORIAN SOLID SURFACE WHITE COLOR |  | MARIANO ROMANO WALLS | MARIANO ROMANO | CUSTOM | CORIAN SOLID SURFACE, WHITE | TBD |
| SS-4 | PORCELAIN WOOD TILE MIRAGE JURUPA JP05 WILD 8" X 48" |  | MIRAGE | MIRAGE | JURUPA JP05 WILD | PORCELAIN | 8"X48" |
| SS-5 | MARIO ROMANO WALL WHITE FRAME FOR SIGN FLAT CORIAN SOLID SURFACE WHITE COLOR |  | MARIANO ROMANO WALLS | CORIAN | TBD | CORIAN SURFACE WHITE | TBD |
| SS-6 | MARIO ROMANO WALL FRAME CORIAN SOLID SURFACE WHITE COLOR |  | MARIANO ROMANO WALLS | CORIAN | TBD | WHITE | TBD |
| SS-7 | MARIO ROMANO WALL BLACK FRAME FOR NAME |  | MARIANO ROMANO WALLS | TBD | TBD | BLACK | TBD |
| F-1 | PERGOLA BY OTHERS |  | TBD | TBD | TBD | BLACK | TBD |
| DR-1 | EXTERIOR DOOR |  | CUSTOM | TBD | TBD | TBD | TBD |
| DR-2 | EXTERIOR DOOR | | CUSTOM | TBD | TBD | TBD | TBD |
| P-1 | EXTERIOR WALL PAINT | | SHERWIN WILLIAMS | SHERWIN WILLIAMS | SW7006 | EXTRA WHITE | TBD |



WHAA
 Architect of record: WILLIAM HAMILTON ARTHUR IV
 License No. AR97508
 2920 Ponce de Leon Blvd
 Coral Gables, Florida 33134-8811



DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

PROJECT No: 23-01H
 DATE: 07-25-2025
 DRAWN BY: WHAIV

| # | ISSUE | DATE |
|---|--------------|------------|
| 1 | HPB Comments | 08/22/2025 |
| | | |
| | | |

SHEET TITLE
FINISH SCHEDULE

SHEET NO
A-200
 file:
 23-01h-2025-08-22-hpb-rev-1.dwg

RAIN

NIGHT CLUB MIAMI

WHAA
Architect of record: WILLIAM HAMILTON ARTHUR IV
License No. AR97508
2920 Ponce de Leon Blvd
Coral Gables, Florida 33134-8811

STAMP

Architect of record:
WILLIAM HAMILTON ARTHUR IV
License No. AR97508

DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD
HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED
COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED
& SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED
USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur,
Architect, Inc. (WHAA). Drawings, specifications
and other documents prepared by the Architect
are instruments of service and are for the Owner's
use solely with respect to this project. The
Architect shall retain all common law, statutory
and other reserved rights, including the
copyright. Any unauthorized reproduction,
modification, disclosure, and/ or use of these
materials without prior written consent is strictly
prohibited and punishable by law.

PROJECT No: 23-01H
DATE: 07-25-2025
DRAWN BY: WHAIV

| # | ISSUE | DATE |
|---|--------------|------------|
| 1 | HPB Comments | 08/22/2025 |
| | | |
| | | |

SHEET TITLE

RENDERINGS

SHEET NO

A-201

file:
23-01h-2025-08-22-hpb-rev-1.dwg



SCOPE OF WORK

THE FOLLOWING DRAWINGS ILLUSTRATE THE PROPOSED SCOPE OF WORK FOR PROPERTIES LOCATED IN THE MUNICIPALITY: CITY OF MIAMI BEACH.

- TREE REMOVAL
- LANDSCAPE PLANTING

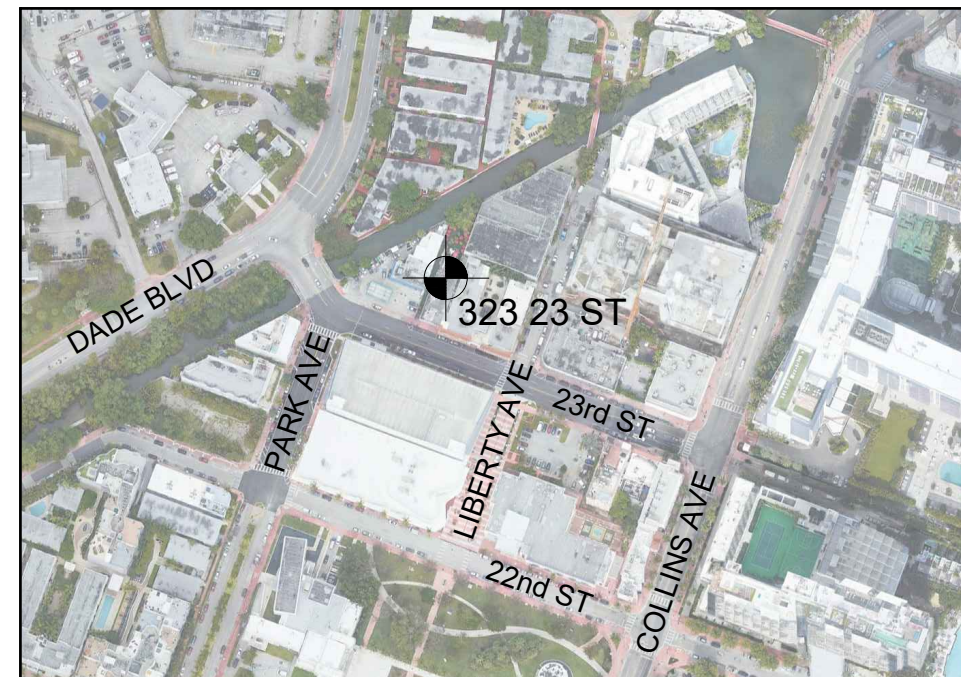
08/22/2025 HPB SUBMITTAL

SHEET INDEX

LANDSCAPE DRAWINGS

| | | |
|---|-------|-----------------------------------|
| ■ | L-CVR | PROJECT COVER |
| ■ | L-150 | TREE DISPOSITION NOTES & SCHEDULE |
| ■ | L-151 | TREE DISPOSITION PLAN |
| ■ | L-400 | PLANTING NOTES & LEGEND |
| ■ | L-410 | PLANTING PLAN |
| ■ | L-450 | PLANTING DETAILS |
| ■ | L-500 | EXISTING TREE IMAGES |

LOCATION PLAN



STAMP

Landscape Architect :
Marsh C. Kriplen
License No. LA 6667007

DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

PROJECT No: 23-01H
DATE: 07-25-2025

DRAWN BY: WHAIV

| # | ISSUE | DATE |
|---|--------------|------------|
| 1 | HPB Comments | 08/22/2025 |
| | | |
| | | |

SHEET TITLE
LANDSCAPE COVER

SHEET NO
L-CVR
file:
l-cvr.dwg

MITIGATION NOTES

THE PROPOSED PLAN REFERENCES CITY OF MIAMI BEACH CODE OF ORDINANCES, CHAPTER 46, AS ADOPTED JUNE, 2025

TREES & PLANTING TO BE REMOVED NOTES

1. THE CONTRACTOR IS TO COMPLETELY REMOVE ALL PLANTER MATERIAL DESIGNATED FOR REMOVAL (I.E. ROOT BALL, DEBRIS, SAW DUST, ETC.).
2. THE CONTRACTOR IS TO BACKFILL ALL EXCAVATED ROOT BALLS FLUSH TO THE ADJACENT ELEVATION LEVEL.
3. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT TWO WEEKS IN ADVANCE OF ALL SCHEDULED WORK PERTAINING TO THE RELOCATION OF SITE TREES.

DEFINITIONS

1. TREE: ANY SELF-SUPPORTING WOODY PLANT OR PALM WHICH USUALLY HAS A SINGLE MAIN AXIS OR TRUNK, WITH A MINIMUM TRUNK DIAMETER AT BREAST HEIGHT OF TWO INCHES AND A MINIMUM OVERALL HEIGHT OF 12 FEET. THIS DEFINITION EXCLUDES PLANTS WHICH ARE DEFINED AS SHRUBS, HEDGES, VINES, OR GROUND COVERS. PALMS SHALL HAVE A MINIMUM HEIGHT OF 14 FEET IN ORDER TO BE CLASSIFIED AS A TREE. - CITY OF MIAMI BEACH CODE OF ORDINANCES, CHAPTER 46, DIVISION 2
2. SEC. 46-58.1 EXEMPTIONS. THE FOLLOWING SHALL BE EXEMPT FROM THE PROVISIONS OF THIS DIVISION, AND DO NOT REQUIRE A TREE WORK PERMIT:
 - (A) REMOVAL OF NON-SPECIMEN PROHIBITED TREE SPECIES.
 - (B) REMOVAL OF DEAD TREES OR TREES DESTROYED BY AN ACT OF GOD. THIS EXEMPTION DOES NOT APPLY TO ANY TREES OR PALMS THAT HAVE DIED AS A RESULT OF VIOLATIONS OF THOSE PROVISIONS SET FORTH HEREIN.
 - (C) ANY TREE THAT, AS THE RESULT OF DAMAGE, DISEASE OR OTHER CAUSE, POSES IMMINENT DANGER TO HEALTH, SAFETY OR PROPERTY, AND THEREFORE REQUIRES IMMEDIATE REMOVAL, MAY BE REMOVED WITHOUT OBTAINING A TREE WORK PERMIT: PROVIDED THAT THE OWNER OF THE PROPERTY CAN ESTABLISH THAT SUCH HAZARDOUS CONDITION(S) EXISTED PRIOR TO THE REMOVAL WITH DOCUMENTATION FROM AN ARBORIST CERTIFIED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE, A FLORIDA LICENSED LANDSCAPE ARCHITECT, OR AN ASCA REGISTERED CONSULTING ARBORIST.
 - (D) REMOVAL OF TREES WITHIN THE YARD AREA OF AN EXISTING SINGLE-FAMILY RESIDENCE IN A SINGLE-FAMILY ZONING DISTRICT; PROVIDED THE TREES ARE NON-SPECIMEN TREES WITH A DBH OF LESS THAN THREE INCHES.
 - (E) REMOVAL OF TREES WITHIN LICENSED PLANT NURSERIES AND BOTANICAL GARDENS; PROVIDED SUCH TREES WERE PLANTED AND ARE GROWING FOR THE DISPLAY, BREEDING, PROPAGATION, SALE OR INTENDED SALE TO THE GENERAL PUBLIC IN THE ORDINARY COURSE OF BUSINESS.
 - (F) REMOVING, TRIMMING, CUTTING OR ALTERING OF ANY MANGROVE TREE OR REMOVAL OF ANY TREE LOCATED UPON LAND WHICH IS WETLANDS AS DEFINED IN SECTION 24-5 OF THE CODE OF MIAMI-DADE COUNTY, FLORIDA, AND ARE SUBJECT TO THE PERMITTING REQUIREMENTS OF ARTICLE IV OF CHAPTER 24 OF THE CODE OF MIAMI-DADE COUNTY, FLORIDA.
 - (G) REMOVAL OF PLANTS WHICH ARE DEFINED AS SHRUBS, HEDGES, VINES, OR GROUND COVER.
 - (H) REMOVAL OF PALMS AND CLUSTERING PALMS UNDER 15 FEET IN OVERALL HEIGHT.
3. SEC. 45-58.2 - TREE REMOVAL REQUIREMENTS, EXEMPTIONS, AND PROHIBITED SPECIES. REMOVAL OF PROHIBITED SPECIES. THIS DIVISION INCORPORATES BY REFERENCE THE PROHIBITED SPECIES LIST IN CHAPTER 24 OF THE MIAMI-DADE COUNTY CODE AS SAME MAY BE AMENDED FROM TIME TO TIME. IF PRESENT ON A DEVELOPMENT OR REDEVELOPMENT SITE THEY SHALL BE REMOVED PRIOR TO DEVELOPMENT OR REDEVELOPMENT, AND THEIR SALE, PROPAGATION PLANTING, IMPORTATION OR TRANSPORTATION IS PROHIBITED. THE ONLY EXCEPTIONS TO THIS SHALL BE IF THE PARTICULAR SITE CONTAINS PROHIBITED SPECIES TREES THAT HAVE A DBH GREATER THAN 12 INCHES, OR HAVE BEEN DESIGNATED AS HERITAGE TREES, OR ARE LOCATED IN A DESIGNATED HISTORIC DISTRICT AS SO DEFINED IN SECTION 46-56 HEREIN PROVIDED A VARIANCE FROM THE REQUIREMENTS OF CHAPTER 24 OF THE CODE OF MIAMI-DADE COUNTY FLORIDA HAS BEEN OBTAINED. NO FEES SHALL BE CHARGED FOR THEIR REMOVAL AND REPLACEMENT TREES SHALL BE REQUIRED FOR THE REMOVAL OF ANY PROHIBITED SPECIES IN ACCORDANCE WITH CITY CODE SECTIONS 46-64(5) AND 118-251.
4. SPECIMEN TREE: A TREE WITH AN INDIVIDUAL TRUNK THAT HAS A DBH OF 12 INCHES OR GREATER, OR ANY MULTIPLE-TRUNK TREE IN WHICH THE SUM OF THE DIAMETERS OF ALL THE TRUNKS AT DBH IS 12 INCHES OR GREATER, BUT NOT INCLUDING NON-NATIVE SPECIES OF THE GENUS FICUS.

CANOPY PRUNING NOTES

1. CROWN (CANOPY) REDUCTION PRUNING PER ANSI A-300 STANDARDS. WORK TO BE PERFORMED BY CERTIFIED ARBORIST.
2. LIMIT CANOPY REDUCTION PRUNING TO 10% OF PROPERTY SIDE FOR TREES IN AREAS ADJACENT TO CONSTRUCTION ZONE. DO NOT PRUNE OTHER SIDES OF CANOPY WITHOUT DIRECTION FROM CONSULTING ARBORIST.
3. DO NOT 'HATRACK' TREES.
4. DO NOT REMOVE BRANCHES LARGER THAN 3" DIA. WITHOUT DIRECTION FROM CONSULTING ARBORIST.

TREE REPLACEMENT

SEC. 46-61. - TREE REPLACEMENT.

- (1) TREE REPLACEMENT CHART. THE TREE REPLACEMENT CHART BELOW, SHALL BE USED TO DETERMINE THE TOTAL NUMBER AND SIZE OF TREES THAT SHALL BE PLANTED AS REPLACEMENT TREES FOR ALL TREES PERMITTED FOR REMOVAL. THE REPLACEMENT TREE CALCULATIONS ARE BASED ON THE TOTAL DIAMETER IN INCHES OF ALL TREES APPROVED FOR REMOVAL. TO DETERMINE THE REQUIRED REPLACEMENT TREES, CALCULATE THE TOTAL SUM IN INCHES OF THE DIAMETERS OF ALL TREES TO BE REMOVED. THIS SUM WILL RESULT IN ONE SINGLE NUMBER IN INCHES THAT REPRESENTS THE COMBINED TOTAL OF THE DIAMETERS OF ALL TREES TO BE REMOVED. DIAMETER MEASUREMENT SHALL BE ROUNDED UP TO THE NEAREST INCH.

TREE REPLACEMENT CHART

| Total diameter of tree(s) to be removed (sum of inches at DBH) | Total number of replacement trees required (where each replacement tree is a minimum of 2" DBH x 6' spread in canopy x 12' in height) | OR | Total number of replacement trees required (where each replacement tree is a minimum of 4" DBH x 8' spread in canopy x 16' in height) | OR | Contribution to Tree Trust Fund |
|--|---|----|---|----|---------------------------------|
| 2"—3" | 1 | or | 0 | or | \$1,000.00 |
| 4"—6" | 2 | or | 1 | or | \$2,000.00 |
| 7"—12" | 4 | or | 2 | or | \$4,000.00 |
| 13"—18" | 6 | or | 3 | or | \$6,000.00 |
| 19"—24" | 8 | or | 4 | or | \$8,000.00 |
| 25"—30" | 10 | or | 5 | or | \$10,000.00 |
| 31"—36" | 12 | or | 6 | or | \$12,000.00 |
| 37"—42" | 14 | or | 7 | or | \$14,000.00 |
| 43"—48" | 16 | or | 8 | or | \$16,000.00 |
| 49"—60" | 20 | or | 10 | or | \$20,000.00 |

- (3) PROHIBITED SPECIES. REPLACEMENT IS REQUIRED FOR THE REMOVAL OF PROHIBITED SPECIES IN ACCORDANCE WITH SUBSECTION 46-58(2) AND NO FEES SHALL BE CHARGED FOR REMOVAL OF PROHIBITED SPECIES NOT DESIGNATED AS A SPECIMEN OR HERITAGE TREE. HOWEVER, MIAMI BEACH HISTORIC PRESERVATION BOARD APPROVAL IS REQUIRED BEFORE ANY SPECIMEN TREE, INCLUDING PROHIBITED SPECIES, IS REMOVED FROM PUBLIC OR PRIVATE PROPERTY WITHIN A DESIGNATED HISTORIC DISTRICT.
- (4) OFF-SITE REPLACEMENT TREES. IN THOSE CIRCUMSTANCES THAT THE TOTAL NUMBER OF TREES REQUIRED AS REPLACEMENT TREES CANNOT BE REASONABLY PLANTED ON THE SUBJECT PROPERTY, THE APPLICANT MAY ENTER INTO AN AGREEMENT WITH THE CITY, TO PLANT THE EXCESS NUMBER OF REPLACEMENT TREES ON AN APPROVED ALTERNATE LOCATION OF PUBLICLY OWNED LAND OR PUBLICLY ACCESSIBLE PARCEL.
- (5) CITY OF MIAMI BEACH TREE PRESERVATION TRUST FUND. IN THOSE CIRCUMSTANCES WHEN THE TOTAL NUMBER OF TREES REQUIRED AS REPLACEMENT TREES CANNOT BE REASONABLY PLANTED ON THE SUBJECT PROPERTY, AND THERE IS INSUFFICIENT PLANTING SPACE AVAILABLE AT AN ENVIRONMENT AND SUSTAINABILITY DEPARTMENT APPROVED ALTERNATE LOCATION(S) ON PUBLICLY OWNED LAND OR A PUBLICLY ACCESSIBLE PARCEL, THE APPLICANT SHALL CONTRIBUTE TO THE CITY'S TREE PRESERVATION TRUST FUND IN ACCORDANCE WITH THE REQUIRED CONTRIBUTIONS ESTABLISHED BY RESOLUTION OF THE CITY COMMISSION. THE CONTRIBUTION AMOUNTS MAY BE REVIEWED PERIODICALLY BY THE CITY COMMISSION TO REFLECT COST OF LIVING ADJUSTMENTS AND/OR MARKET CONDITIONS, AND MAY BE AMENDED BY RESOLUTION OF THE CITY COMMISSION. IN ESTABLISHING AND REVIEWING THE CONTRIBUTION AMOUNTS, THE CITY COMMISSION MAY CONSIDER THE COST OF MATERIAL, LABOR, TRANSPORTATION, PLANTING, WATERING AND MORTALITY RATE OF REPLACEMENT TREES.

EXISTING TREES & PALMS MITIGATION SUMMARY - PROHIBITED PLANT SPECIES (SEC.46-58.2)

| TREE NUMBER | LATIN NAME | COMMON NAME | DBH* (in inches) | APPROX. HEIGHT (in feet) | CANOPY DIA. (in feet) | CANOPY SF | DISPOSITION | NOTES | CONDITION % | |
|---|---------------------------|---------------|------------------|--------------------------|-----------------------|-----------|--------------------------------------|--------------------------|-------------|--|
| 1 | <i>Thespesia populnea</i> | Seaside Mahoe | 36 | 35 | 30 | 707 | REMOVE | Prohibited plant species | Poor | |
| 2 | <i>Thespesia populnea</i> | Seaside Mahoe | 18 | 35 | 20 | 314 | REMOVE | Prohibited plant species | Poor | |
| 3 | <i>Thespesia populnea</i> | Seaside Mahoe | 22 | 32 | 25 | 491 | REMOVE | Prohibited plant species | Poor | |
| 4 | <i>Thespesia populnea</i> | Seaside Mahoe | 21 | 35 | 30 | 707 | REMOVE | Prohibited plant species | Poor | |
| TOTAL PROHIBITED UNITS PLANT SPECIES TO BE REMOVED: | | | | | | | 97 DBH | | | |
| TOTAL REQUIRED ON-SITE MITIGATION PER CODE: | | | | | | | 34 (2" DBH, 12' HT., 6' SPRD) | | | |
| PROPOSED ON SITE MITIGATION BREAKDOWN (2" DBH, 12' HT., 6' SPRD) | | | | | | | 2 | | | |
| TOTAL PROPOSED REPLACEMENT TREES: | | | | | | | 2 | | | |



STAMP

Landscape Architect :
Marsh C. Kriplien
License No. LA 6667007

DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

PROJECT No: 23-01H
DATE: 07-25-2025
DRAWN BY: WHAIV

| # | ISSUE | DATE |
|---|--------------|------------|
| 1 | HPB Comments | 08/22/2025 |





SHEET TITLE

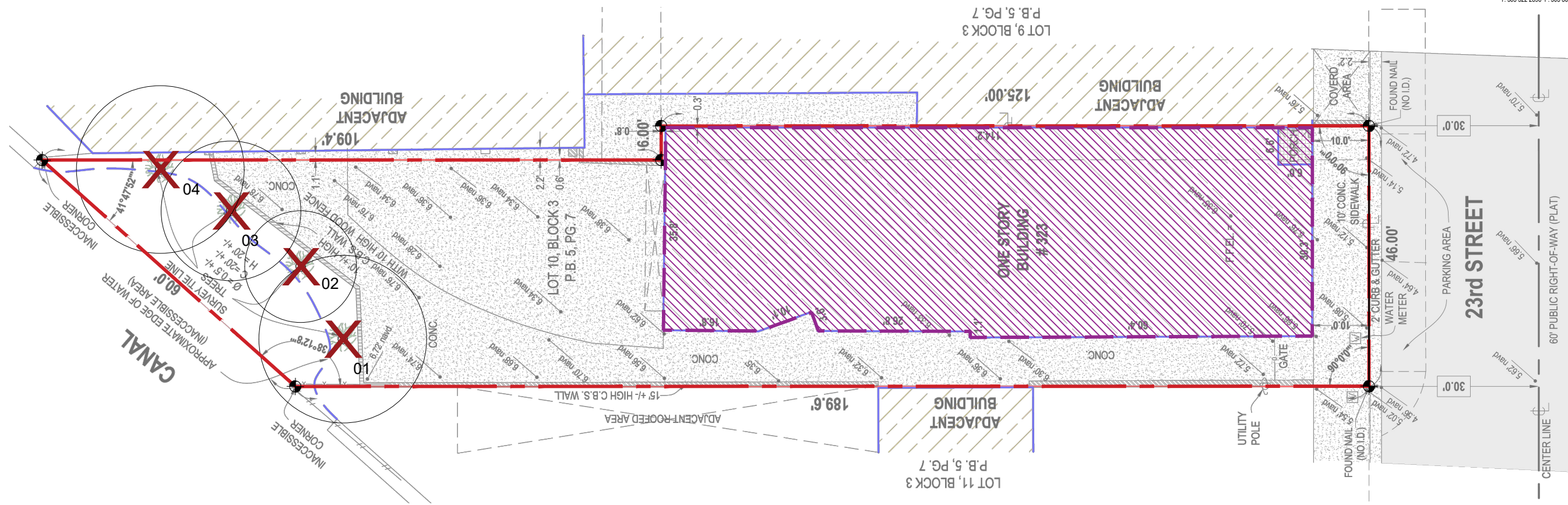
TREE DISPOSITION NOTES & SCHEDULE

SHEET NO

L-150
file:
I-151.dwg

SHEET LEGEND

- 

EXISTING TREES AND PALMS TO BE REMOVED
- 
PROPOSED BUILDING
- 
PROPOSED PLANTING AREA



CONSULTANT



MAK
work

LANDSCAPE ARCHITECTURE
1215 SW 20TH STREET MIAMI FL 33145
T. 305 322 2896 F. 305 860 5964

CLIENT



RAIN
NIGHT CLUB MIAMI

WHAA

Architect of record: WILLIAM HAMILTON ARTHUR IV
License No. AR87508
2920 Ponce de Leon Blvd
Coral Gables, Florida 33134-6811

STAMP

Landscape Architect :
Marsh C. Kriplan
License No. LA 6667007

DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

| | | |
|-------------|--------------|------------|
| PROJECT No: | 23-01H | |
| DATE: | 07-25-2025 | |
| DRAWN BY: | WHAIV | |
| # | ISSUE | DATE |
| 1 | HPB Comments | 08/22/2025 |
| | | |
| | | |

SHEET TITLE

TREE DISPOSITION PLAN

SHEET NO

L-151

file:
I-151.dwg



LANDSCAPE NOTES

CLIENT REQUESTS APPROVAL TO PAY INTO THE TREE PRESERVATION TRUST FUND IN LIEU OF SITE MITIGATION AND LANDSCAPING. REFER TO LANDSCAPE LEGEND NOTES FOR ADDITIONAL INFORMATION.

TREE MITIGATION NOTES:

1. PER MIAMI BEACH LANDSCAPE CODE SECT. 126.7.A. - IF THE MINIMUM NUMBER OF TREES REQUIRED CANNOT BE PLANTED ON THE SUBJECT PROPERTY, THE APPLICANT/PROPERTY OWNER IS PROVIDED THE FOLLOWING TWO OPTIONS.
 - A. SEEK AUTHORIZATION FROM THE CITY TO INSTALL TREES OFF-SITE, ON PUBLIC LAND NEAR OR ADJACENT TO THE APPLICANTS PROPERTY; AND/OR
 - B. CONTRIBUTE INTO THE CITY'S TREE TRUST FUND THE SUM OF \$2,500.00 FOR EACH 2" CALIPER TREE REQUIRED IN ACCORDANCE WITH TABLE A OF SECT. 126.6

SHRUB MITIGATION NOTES:

- A. PER MIAMI BEACH LANDSCAPE CODE SECT. 126.7.B. - IF THE MINIMUM NUMBER OF LARGE SHRUBS, SMALL TREES AND SHRUBS CANNOT BE PLANTED ON THE APPLICANT'S PROPERTY, THE APPLICANT CAN EITHER SEEK AUTHORIZATION FROM THE CITY TO INSTALL THE LARGE SHRUBS, SMALL TREES AND SHRUBS OFF-SITE ON NEARBY ADJACENT LAND; OR BE REQUIRED TO CONTRIBUTE INTO THE CITY'S TREE TRUST FUND THE SUM OF \$100 FOR EACH SHRUB REQUIRED AND \$300 FOR EACH LARGE SHRUB/SMALL TREE REQUIRED IN SECTION 126.6.

SCHEDULE NOTES

1. M - INDICATES TREE/PALM COUNTED TOWARD ON SITE MITIGATION
2. L - INDICATES TREE/PALM COUNTED TOWARD ON SITE LANDSCAPE REQUIREMENTS
3. S - INDICATES TREE/PALM COUNTED TOWARD STREET TREE REQUIREMENTS
4. N - INDICATES NATIVE PLANT MATERIAL
5. D - INDICATES DROUGHT RESISTANT PLANT MATERIAL

PLANT SCHEDULE - GROUND FLOOR

| TYPE | ABR. | QUANTITY | BOTANICAL NAME |
|------|------|----------|----------------|
|------|------|----------|----------------|

| TREES | | | |
|---------|-----|---|--|
| M,L,N,D | CER | | |
| | | 2 | CONOCARPUS ERECTUS VAR. SERICEUS SILVER BUTTONWOOD 2" DBH, 12' HT MIN., 6' SPRD MIN. |

| UNDERSTORY TREES | | | |
|------------------|-----|---|--|
| L,N,D | MFA | | |
| | | 4 | MYRCIANTHES FRAGRANS SIMPSON STOPPER 1.5" DBH, 10' HT MIN. |

MUNICIPAL LANDSCAPE LEGEND

MUNICIPALITY: City of Miami Beach

ZONING CLASS: **CD-3** LOT AREA: 8,890 ACRES: 0.2041
 ORDINANCE/CODE SECTION: CITY OF MIAMI BEACH SECTION 126

| OPEN SPACE | | REQUIRED/ ALLOWED | PROVIDED |
|------------|---|----------------------|-----------|
| A. | Sq. Ft. of required Open Space | <u>na</u> | <u>0</u> |
| | Lot area: <u>na</u> | | |
| | Multiplier: <u>na</u> | | |
| B. | Sq. Ft. of parking lot open space | <u>na</u> | <u>na</u> |
| | Parking Spaces: <u>na</u> | | |
| | Multiplier: <u>na</u> sf/space | | |
| C. | Total Sq. Ft. of landscaped Open Space required | <u>na</u> | <u>0</u> |

| LAWN AREA | | | |
|-----------|---|-----------|----------|
| A. | Total Sq. Ft. of landscaped Open Space | <u>na</u> | <u>0</u> |
| B. | Maximum Lawn Area (sod) permitted- | <u>na</u> | <u>0</u> |
| | Open space required: <u>20%</u> | | |
| | Multiplier: <u>na</u> | | |

| TREES | | | |
|--|--|-----------|-----------|
| Note: Limited landscape is proposed. Approved design for exterior spaces includes louvered overhand panels ref A-002 and A-201. Panels will provide shade throughout the property. | | | |
| A. | Number of trees required per lot, less existing trees | <u>4</u> | <u>4</u> |
| | Required Trees/Lot: <u>22</u> | | |
| | Net lot acres: <u>0.2041</u> | | |
| | Required Trees: <u>4</u> | | |
| | Existing trees: <u>0</u> | | |
| B. | % Palms allowed | <u>na</u> | <u>na</u> |
| | Palms allowed 1:1 for mitigation only. | | |
| C. | % Native required | <u>1</u> | <u>1</u> |
| | Trees provided: <u>4</u> | | |
| | Multiplier: <u>30%</u> | | |
| D. | % Drought tolerant and low maintenance species required | <u>2</u> | <u>2</u> |
| | Trees provided: <u>4</u> | | |
| | Multiplier: <u>50%</u> | | |

| STREET TREES | | | |
|--|--|----------|----------|
| Note: No street trees are proposed. Per Sec. 133-61.a.1 street trees will create a non-conforming sidewalk circulation zone. Additionally, proposed building awning will be in conflict with any street tree canopies. | | | |
| A. | Street trees (maximum spacing of 20' o.c.) | <u>2</u> | <u>0</u> |
| | Linear ft of street frontage: <u>46</u> | | |
| | Multiplier: <u>20</u> | | |
| | Percentage of Palms counted toward Street Trees on 1:1 basis | <u>0</u> | <u>0</u> |
| | Multiplier: <u>0</u> | | |
| B. | Street trees directly below power lines | <u>0</u> | <u>0</u> |
| | Linear ft of street frontage: <u>0</u> | | |
| | Multiplier: <u>20</u> | | |

| SHRUBS | | | |
|---|---|-----------|----------|
| Note: Limited landscape is proposed. Approved design for exterior spaces includes louvered overhand panels ref A-002 and A-201. Floor spaces are dedicated to circulation and seating to accommodate occupancy. | | | |
| A. | Number of shrubs required | <u>72</u> | <u>0</u> |
| | Lot and street trees required: <u>6</u> | | |
| | Multiplier: <u>12</u> | | |
| B. | % Native species required | <u>0</u> | <u>0</u> |
| | Shrubs provided: <u>0</u> | | |
| | Multiplier: <u>50%</u> | | |

| LARGE SHRUBS OR SMALL TREES | | | |
|-----------------------------|--|----------|----------|
| A. | Number of large shrubs or small tree required | <u>7</u> | <u>7</u> |
| | Shrubs required: <u>72</u> | | |
| | Multiplier: <u>10%</u> | | |
| B. | % Native species required | <u>4</u> | <u>4</u> |
| | Shrubs provided: <u>7</u> | | |
| | Multiplier: <u>50%</u> | | |



STAMP

Landscape Architect :
 Marsh C. Kiplen
 License No. LA 6667007

DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED USING THE ELECTRONIC DOCUMENT.

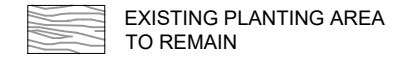
Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/ or use of these materials without prior written consent is strictly prohibited and punishable by law.

| PROJECT No: | 23-01H | |
|-------------|--------------|------------|
| DATE: | 07-25-2025 | |
| DRAWN BY: | WHAIV | |
| # | ISSUE | DATE |
| 1 | HPB Comments | 08/22/2025 |
| | | |
| | | |

SHEET TITLE
PLANT NOTES & LEGEND

SHEET NO
L-400
 file:
 l-400 aa.dwg

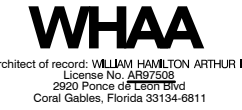
SHEET LEGEND



CONSULTANT



CLIENT



STAMP

Landscape Architect :
Marsh C. Kiplen
License No. LA 6667007

DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

PROJECT No: 23-01H
DATE: 07-25-2025

DRAWN BY: WHAIV

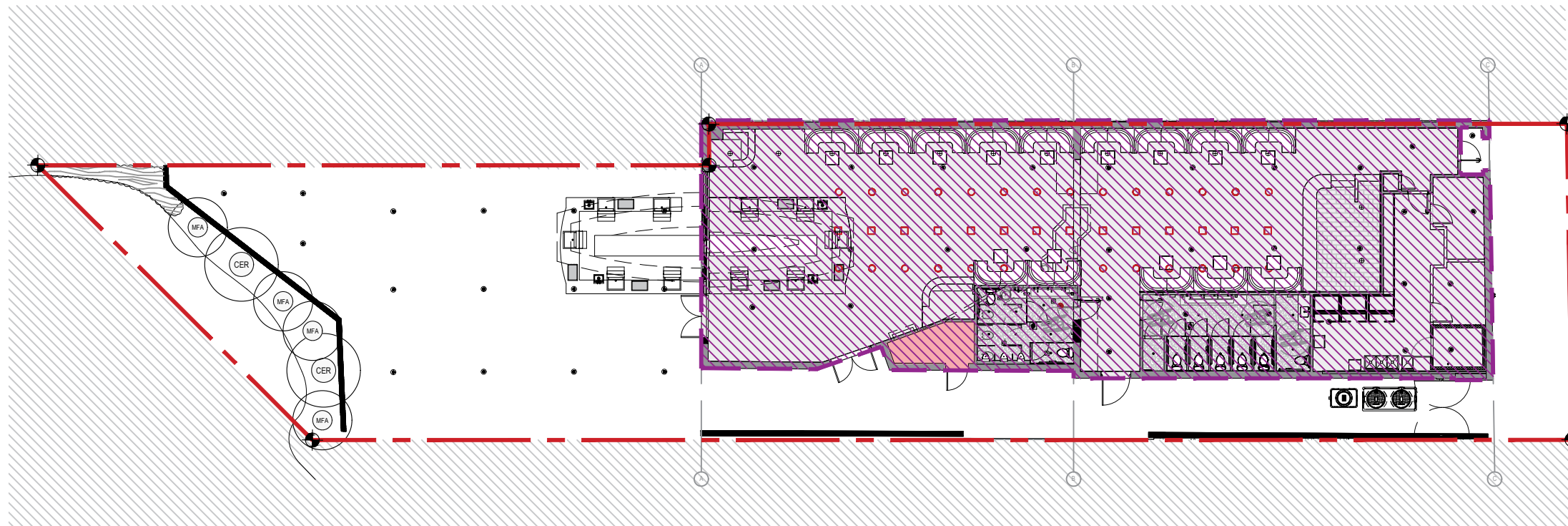
| # | ISSUE | DATE |
|---|--------------|------------|
| 1 | HPB Comments | 08/22/2025 |
| | | |
| | | |

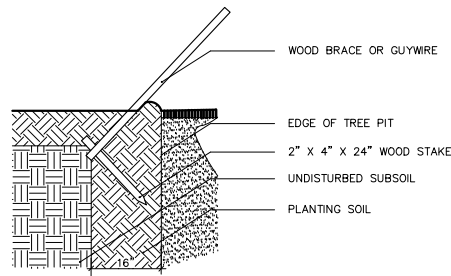
SHEET TITLE

PLANTING PLAN
SCALE: 1" = 20'-0"

SHEET NO

L-410
file:
I-400 aa.dwg





TOP OF STAKE MUST BE MINIMUM OF 3" BELOW FINISHED GRADE

- STAKING NOTES:**
- CLEANLY SAW CUT ALL WOOD STAKING MATERIALS AND SAND ALL EXPOSED CUTS. NO CHAINSAW CUTS
 - PAIN ALL WOOD STAKING MATERIALS BROWN, HEX#004225.
 - GUYING AND STAKING OF ALL TREES AND PALMS REQUIRING SUPPORT IS THE RESPONSIBILITY OF THE CONTRACTOR. DETAILS PROVIDED SHALL BE CONSIDERED MINIMUM REQUIREMENTS AND MAY NOT BE APPROPRIATE FOR ALL LOCATIONS. CONTRACTOR PROVIDE ALTERNATE METHODS WHEN SITE CONDITIONS PRECLUDE SUCCESSFUL APPLICATION OF THE STANDARD GUYING DETAILS. CONTRACTOR TO PERIODICALLY INSPECT GUYING SYSTEM DURING THE COURSE OF THE GUARANTEE PERIOD AND AFTER WIND EVENTS TO ENSURE SYSTEMS ARE INTACT.

9 STAKING DETAIL & NOTES
SCALE: NOT TO SCALE

PREPARATION:
STORE ALL MATERIAL IN DRY, CLEAN AREA, COVER TO PROTECT FROM RAIN AND MINIMIZE DUST. COORDINATE RUN-OFF CONTROL WITH GENERAL CONTRACTOR.
TEST EXISTING SOIL TO ENSURE IT IS FREE OF EXCESSIVE CLAY OR SALT AND ANY CHEMICALS/PETROCHEMICALS WHICH MAY HARM PLANT HEALTH.

EXISTING MATERIAL:
IF INCORPORATING EXISTING SITE SOIL REMOVE ALL ROOTS, AND ROCK LARGER THAN 2" IN SIZE. REMOVE ALL PLASTIC, METAL AND MANMADE DETRITUS.
MIX:
50% EXISTING SOIL
10% COCO PEAT
10% COMPOST
20% CLEAN SAND
10% PERLITE
BLEND QUANTITIES NEEDED BY HAND OR MACHINE.

ROOFTOP SOIL:
PROVIDE AND INSTALL ROOFTOP SOIL MIX AS PROVIDED BY ATLAS PEAT AND SOIL. INSTALL PER SUPPLIERS INSTRUCTIONS AND SPECIFICATIONS.

GENERAL: REFER TO LANDSCAPE NOTES FOR ADDITIONAL INFORMATION

10 PLANTING SOIL - TYPICAL

PREPARATION:
STORE ALL MATERIAL IN DRY, CLEAN AREA, COVER TO PROTECT FROM RAIN AND MINIMIZE DUST. COORDINATE RUN-OFF CONTROL WITH GENERAL CONTRACTOR.
TEST EXISTING SOIL TO ENSURE IT IS FREE OF EXCESSIVE CLAY OR SALT AND ANY CHEMICALS/PETROCHEMICALS WHICH MAY HARM PLANT HEALTH.

EXISTING MATERIAL:
IF INCORPORATING EXISTING SITE SOIL REMOVE ALL ROOTS, AND ROCK LARGER THAN 2" IN SIZE. REMOVE ALL PLASTIC, METAL AND MANMADE DETRITUS. PROVIDE SOIL TEST SUBMITTAL INCLUDING AMENDMENT RECOMMENDATIONS.

PROVIDE AND INSTALL CU STRUCTURAL SOIL AS PROVIDED BY ATLAS PEAT AND SOIL (CONTACT: 1 561.734.7300), AUTHORIZED CU SOIL SUPPLIER. INSTALL PER SUPPLIERS INSTRUCTIONS AND SPECIFICATIONS.

GENERAL: REFER TO LANDSCAPE NOTES FOR ADDITIONAL INFORMATION

11 PLANTING SOIL - CU STRUCTURAL SOIL

MULCH A:
PINE STRAW, FOR USE IN GENERAL PLANTING AREAS AND ON SLOPES GREATER THAN 10%

MULCH B:
OPTION, MELALEUCA MULCH, FOR USE IN GENERAL PLANTING AREAS AND ON SLOPES GREATER THAN 10%

MULCH C:
IF SPECIFIED, MINI PINE BARK NUGGETS, FOR USE IN SPECIALTY AREAS

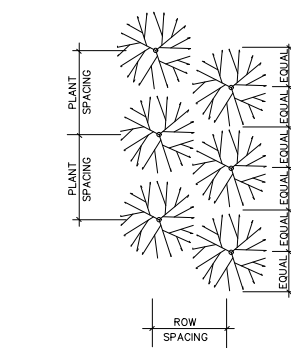
INSTALLATION: MULCH TO BE INSTALLED IN ALL LANDSCAPE BEDS EXCEPT WHERE LAMM/SOD IS SPECIFIED. REFER TO APPROPRIATE DETAILS FOR EXTENTS AND DEPTHS.

GENERAL: REFER TO LANDSCAPE NOTES FOR ADDITIONAL INFORMATION. CONFIRM TYPE TO BE USED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

12 MULCH - TYPICAL

MIX:
5050- MUCK AND FINE SAND
SUPPLIER: ATLAS PEAT AND SOIL 561.734.7300

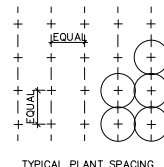
13 PLANTING SOIL - LAWN TOP DRESSING



| PLANT SPACING | ROW SPACING |
|---------------|-------------|
| 12" | 10.4" |
| 18" | 15.6" |
| 24" | 20.8" |
| 30" | 26.0" |
| 36" | 31.2" |
| 48" | 41.6" |
| 60" | 52.0" |

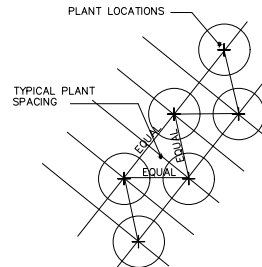
6 PLANT SPACING
SCALE: NOT TO SCALE

NOTE:
IN MOST CASES TRIANGULAR SPACING IS PREFERRED. USE SQUARE SPACING ONLY IN SMALL RECTILINEAR AREAS.

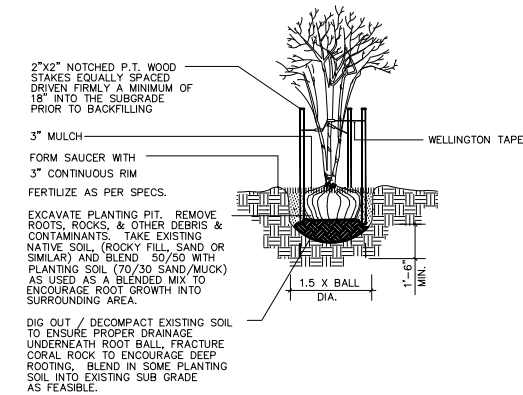


TYPICAL PLANT SPACING

SQUARE SPACING PLAN

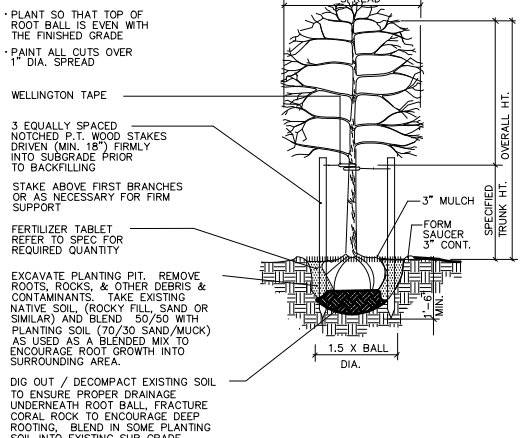


TRIANGULAR SPACING PLAN

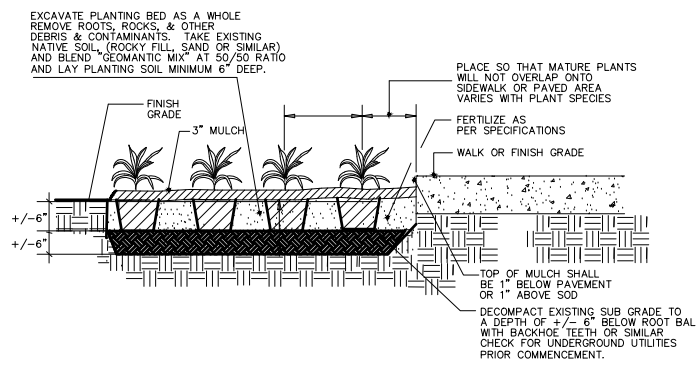


7 MULTI TRUNK TREE - PLANTING & STAKING
SCALE: NOT TO SCALE

| CALIPER | TIES | STRANDS | STAKES |
|-------------|------|---------|-----------|
| 1" - 1 1/2" | 2 | 1 # 12 | 2 - 2 X 2 |
| 1 1/2" - 2" | 3 | 1 # 12 | 3 - 2 X 2 |
| 2" - 3" | 3 | 2 # 12 | 2 - 2 X 2 |

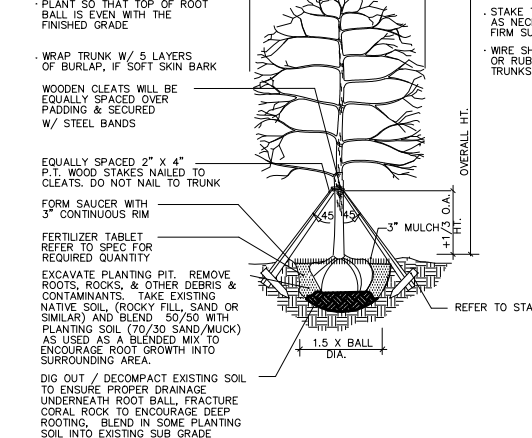


8 CANOPY AND PALM TREE - PLANTING & VERTICAL STAKING
SCALE: NOT TO SCALE

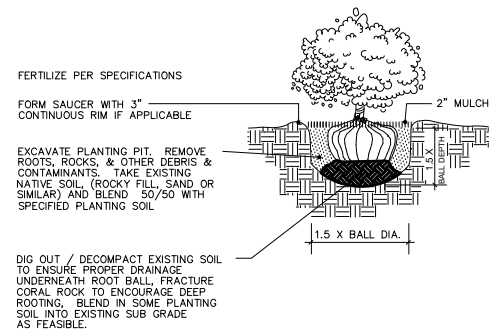


4 SHRUB - HEDGE AND MASS PLANTING
SCALE: NOT TO SCALE

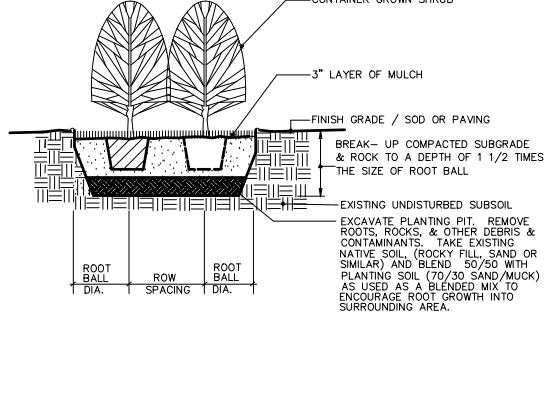
| CALIPER | CLEATS | STRAPS | BRACES | NAILS |
|-----------|-------------|--------|-----------|---------|
| 3" - 8" | 2 x 4 x 8" | 1 # 12 | 3 - 2 X 4 | 2 - 16d |
| 8" - 10" | 2 x 4 x 12" | 1 # 12 | 3 - 2 X 4 | 3 - 16d |
| 10" - 16" | 2 x 4 x 12" | 2 # 12 | 4 - 2 X 4 | 3 - 16d |



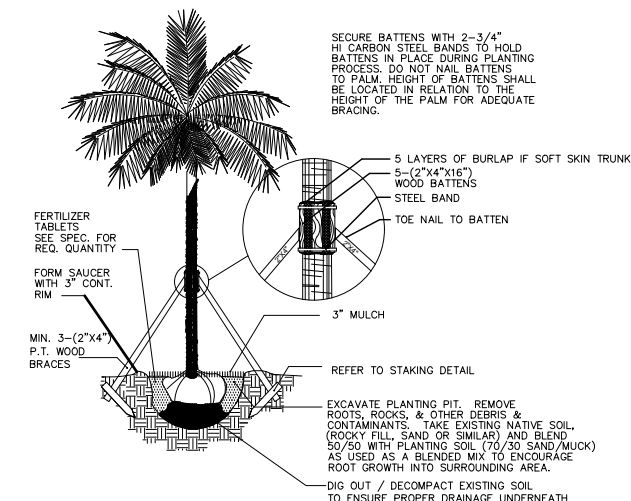
5 CANOPY TREE - PLANTING & TRIPLE BRACE STAKING
SCALE: NOT TO SCALE



1 SHRUB PLANTING
SCALE: NOT TO SCALE



2 SHRUB - HEDGE AND MASS PLANTING
SCALE: NOT TO SCALE



3 PALM - PLANTING & STAKING
SCALE: NOT TO SCALE

CONSULTANT

MAK
work

LANDSCAPE ARCHITECTURE
1215 SW 20TH STREET MIAMI FL 33145
T. 305 322 2896 F. 305 860 5984

CLIENT

RAIN
NIGHT CLUB MIAMI

WHAA
Architect of record: WILLIAM HAMILTON ARTHUR IV
License No. AR87508
2920 Ponce de Leon Blvd
Coral Gables, Florida 33134-8811

STAMP

Landscape Architect :
Marsh C. Kriplien
License No. LA 6667007

DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

| | | |
|-------------|--------------|------------|
| PROJECT No: | 23-01H | |
| DATE: | 07-25-2025 | |
| DRAWN BY: | WHAIV | |
| # | ISSUE | DATE |
| 1 | HPB Comments | 08/22/2025 |

SHEET TITLE
PLANTING DETAILS
SCALE: N.T.S

SHEET NO
L-450
file:
L-400 aa.dwg



TREE 1



TREE 3



OTHER CONDITIONS



TREE 2



TREE 4



CONSULTANT

MAK
work

LANDSCAPE ARCHITECTURE
1215 SW 20TH STREET MIAMI FL 33145
T. 305 322 2896 F. 305 860 5984

CLIENT

RAIN
NIGHT CLUB MIAMI

WHAA
Architect of record: WILLIAM HAMILTON ARTHUR IV
License No. AR97508
2920 Ponce de Leon Blvd
Coral Gables, Florida 33134-6811

STAMP

Landscape Architect :
Marsh C. Kiplen
License No. LA 6667007

DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD
HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED
COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED
& SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED
USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur,
Architect, Inc. (WHAA). Drawings, specifications
and other documents prepared by the Architect
are instruments of service and are for the Owner's
use solely with respect to this project. The
Architect shall retain all common law, statutory
and other reserved rights, including the
copyright. Any unauthorized reproduction,
modification, disclosure, and/ or use of these
materials without prior written consent is strictly
prohibited and punishable by law.

| PROJECT No: 23-01H | | |
|--------------------|--------------|------------|
| DATE: 07-25-2025 | | |
| DRAWN BY: WHAIV | | |
| # | ISSUE | DATE |
| 1 | HPB Comments | 08/22/2025 |
| | | |
| | | |
| | | |

SHEET TITLE

**EXISTING TREE
IMAGES**

SHEET NO

L-500
file:
I-400 aa.dwg