



NIGHT CLUB MIAMI

PLANNING BOARD — FINAL SUBMITTAL—NIGHTCLUB

323 23 STREET MIAMI BEACH, FLORIDA 33139

PROJECT DESCRIPTION & SCOPE OF WORK:

THIS WORK INCLUDES NON-SUBSTANTIAL INTERIOR & EXTERIOR IMPROVEMENTS OF AN EXISTING 4,164 SQ.FT. NIGHT CLUB, GROUP (A-2). DETAILED DESCRIPTION PER TRADE BELOW, REF FOLLOWING SHTS FOR MORE INFO:

- EXTERIOR IMPROVEMENTS FOR INCLUSION OF PERSONS WITH DISABILITY (BRING EXTERIOR AREAS INTO COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT) AND RESPOND TO THE CITY OF MIAMI BEACH CODE OF ORDINANCES SECTION 7.1.2.4 OF THE CITY RESILIENCY CODE ("SEA LEVEL RISE AND RESILIENCY CODE").
- ADDITION OF SHADING DEVICES ON EXTERIOR, INCLUDING CLADDING, PERGOLAS AND AWNINGS.
- MODERNIZATION OF EXTERIOR ILLUMINATION TO MEET LIFE SAFETY AND EGRESS REQUIREMENTS.
- OUTDOOR FOOD HANDLING AND PREPARATION.

APPLICABLE CODES & REGULATIONS:

FLORIDA BUILDING CODE: FBC 2023 EDITION
 ELECTRICAL CODE: NEC 2020 MECHANICAL CODE: FBC 2023 EDITION
 FIRE PROTECTION: FFPC 2020 8th EDITION ENERGY CODE: FBC 2023 EDITION

CODE CLASSIFICATION:

OCCUPANCY GROUP.....ASSEMBLY GROUP (A-2), SECTION 303.3

CONSTRUCTION CLASSIFICATIONS.....FBC 504: EXIST BUILDING INT LEVEL 2 ALTERATION
FFPC 101: MODIFICATION, 43.5.1.1

COMPLIANCE METHOD.....FBC 301.1.2: WORK AREA COMPLIANCE METHOD ALTERATIONS, COMPLYING WITH CHAPTERS 5 THROUGH 13

BUILDING TYPE.....TYPE III-B UNPROTECTED NON-COMBUSTIBLE

FIRE SPRINKLERS.....YES, EXISTING SYSTEM MONITORED

FOLIO NUMBER.....02-3226-001-0540

ZONING LEGEND:

COMMERCIAL - ZONING DATA SHEET

ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY RESULT IN A FAILED REVIEW

ITEM #	Project Information	Required	Existing	Proposed	Deficiencies
1	Address: 323 23 ST Miami Beach FL 33139		Folio number(s): 02-3226-001-0540	Year built: 1925	
2	Board file number(s), Determination of Architectural Significance:	N/A		Lot Area: 8,890 Sq.Ft.	
3	Located within a Local Historic District (Yes or No):	NO	Zoning District: CD-3	Lot width: 46'-6"	
4	Individual Historic Site (Yes or No):	NO		Lot Depth: 223'-6"	
5	Base Flood Elevation:	-	Grade value in NGVD:	-	
6	Adjusted grade (BFE+Grade / 2):	N/A	Free board:	N/A	
7	Proposed Use:	N/A NO CHANGE			
8	Proposed Accessory Use:	N/A NO CHANGE			
9	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan):	N/A NO CHANGE			
ZONING INFORMATION / CALCULATION					
13	Floor Area Ratio (FAR)	2.25		NO CHANGE	NONE
14	Building Height	75' MAX	15'-9"	NO CHANGE	NONE
15	At grade parking lot on the same lot	N/A	N/A	N/A	N/A
a	Front setbacks	5'	10'-1"	NO CHANGE	NONE
b	Side interior setback	5'	8'-8"	NO CHANGE	NONE
c	Side facing street setback	5'	N/A	N/A	N/A
d	Rear setback	5 feet	57'-9"	NO CHANGE	NONE
16	Subterranean, Pedestal & Tower (non-Oceanfront)	Required	Existing	Proposed	Deficiencies
a	Front setbacks	N/A	N/A	N/A	N/A
b	Side interior setback	N/A	N/A	N/A	N/A
c	Side facing street setback	N/A	N/A	N/A	N/A
d	Rear setback	N/A	N/A	N/A	N/A
17	Subterranean, Pedestal & Tower (non-Oceanfront)	Required	Existing	Proposed	Deficiencies
a	Front setbacks	N/A	N/A	N/A	N/A
b	Side interior setback	N/A	N/A	N/A	N/A
c	Side facing street setback	N/A	N/A	N/A	N/A
d	Rear setback	N/A	N/A	N/A	N/A
18	Minimum Apartment Unit Size	Required	Existing	Proposed	Deficiencies
a	New Construction	N/A	N/A	N/A	N/A
b	Rehabilitated Buildings	N/A	N/A	N/A	N/A
c	Hotel Unit	N/A	N/A	N/A	N/A
19	Average Apartment Unit Size	Required	Existing	Proposed	Deficiencies
a	New Construction	N/A	N/A	N/A	N/A
b	Rehabilitated Buildings	N/A	N/A	N/A	N/A
c	Hotel Unit	N/A	N/A	N/A	N/A
20	Required Open-space ratio (RPS, CPS)	N/A	N/A	N/A	N/A
21	Parking	N/A	N/A	N/A	N/A
22	Loading	N/A	N/A	N/A	N/A

SHEET INDEX:

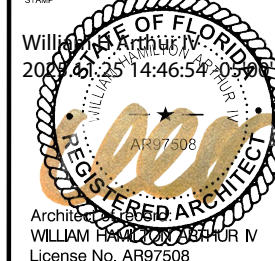
NOT ALL SHEETS MAY NOT BE BY CERTIFIED BY THE SAME DESIGN PROFESSIONAL.

T-100.....COVERSHEET.
PHO-1.....EXISTING SITE PHOTOGRAPHS.
PHO-2.....PROPOSED SITE PHOTOGRAPHS.
SUR.....SURVEY.
SPD.....EXISTING SITE PLAN.
SP-100.....SITE PLAN.
D-101.....EXISTING SOUTH ELEVATION.
A-000.....PROPOSED INTERIOR PLAN.
A-001.....PROPOSED EXTERIOR CEILING PLAN.
A-002.....PROPOSED ROOF PLAN.
A-100.....ENLARGED FLOOR PLAN.
A-101.....ENLARGED ILLUMINATION PLAN.
A-102.....ENLARGED CEILING.
A-103.....SOUTH ELEVATION.
A-104.....WEST ELEVATION.
A-105.....OVERALL WEST ELEVATION..
A-106.....OVERALL SECTION.
A-107.....ENLARGED ELEVATIONS.
A-108.....ENLARGED ELEVATIONS.
A-109.....ENLARGED SECTIONS.
A-110.....ENLARGED PIZZA OVEN.
A-111.....EXTERIOR BAR COUNTER DETAIL.
A-200.....FINISH SCHEDULE.
A-201.....RENDERINGS.



Architect of record: WILLIAM HAMILTON ARTHUR IV
License No. AR97508
2920 Ponce de Leon Blvd
Coral Gables, Florida 33134-8811

STAMP



DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

PROJECT No: 23-01H

DATE: 07-25-2025

DRAWN BY: WHAIV

#	ISSUE	DATE
1	HPB Comments	08/22/2025
2	PB Comments	11/20/2025

SHEET TITLE

COVERSHEET

SHEET NO

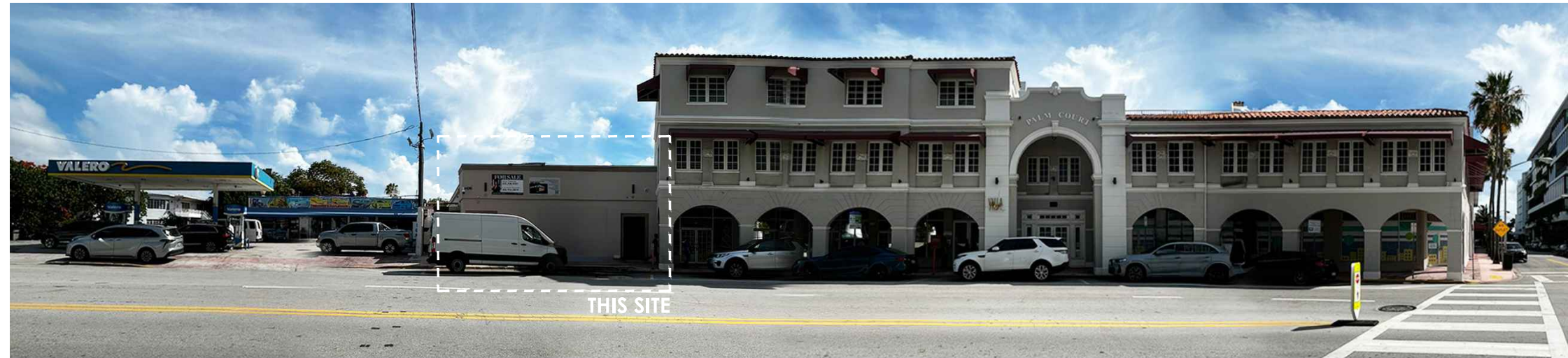
T-100

file:
23-01h-2025-11-20-pb-rev-1.dwg

PROJECT LOCATION: NOT TO SCALE

NOTE: THIS PROPERTY IS LOCATED IN AN AREA THAT MAY BE AFFECTED BY SPECIAL FLOOD AREA.





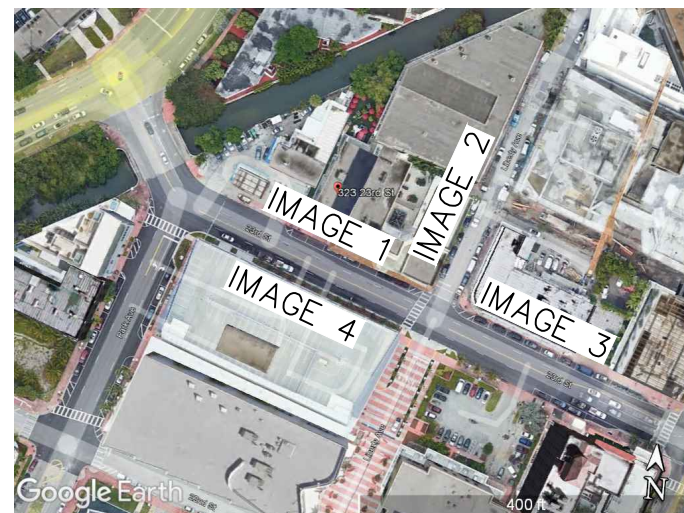
1 CONTEXT IMAGE
NTS



2 CONTEXT IMAGE
NTS



3 CONTEXT IMAGE
NTS



4 CONTEXT IMAGE
NTS

RAIN
NIGHT CLUB MIAMI

WHAA
Architect of record: WILLIAM HAMILTON ARTHUR IV
License No. AR97508
2920 Ponce de Leon Blvd
Coral Gables, Florida 33134-8811

STAMP

Architect of record:
WILLIAM HAMILTON ARTHUR IV
License No. AR97508

DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD HAVING A DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

PROJECT No:	23-01H	
DATE:	07-25-2025	
DRAWN BY:	WHAIV	
#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE
EXISTING SITE PHOTOGRAPHS.
SHEET NO.
PHO-1
file:
23-01h-2025-08-22-hpb-rev-1.dwg



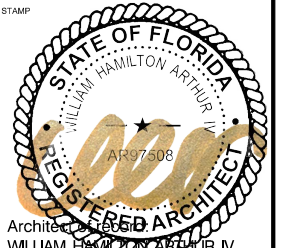
1 CONTEXT IMAGE
NTS

RAIN
NIGHT CLUB MIAMI

WHAA

Architect of record: WILLIAM HAMILTON ARTHUR IV
License No. AR97508
2920 Ponce de Leon Blvd
Coral Gables, Florida 33134-8811

STAMP



Architect of record:
WILLIAM HAMILTON ARTHUR IV
License No. AR97508

DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD
HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED
COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED
& SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED
USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

PROJECT No: 23-01H
DATE: 07-25-2025
DRAWN BY: WHAIV

#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE
**PROPSOED SITE
PHOTOGRAPHS.**

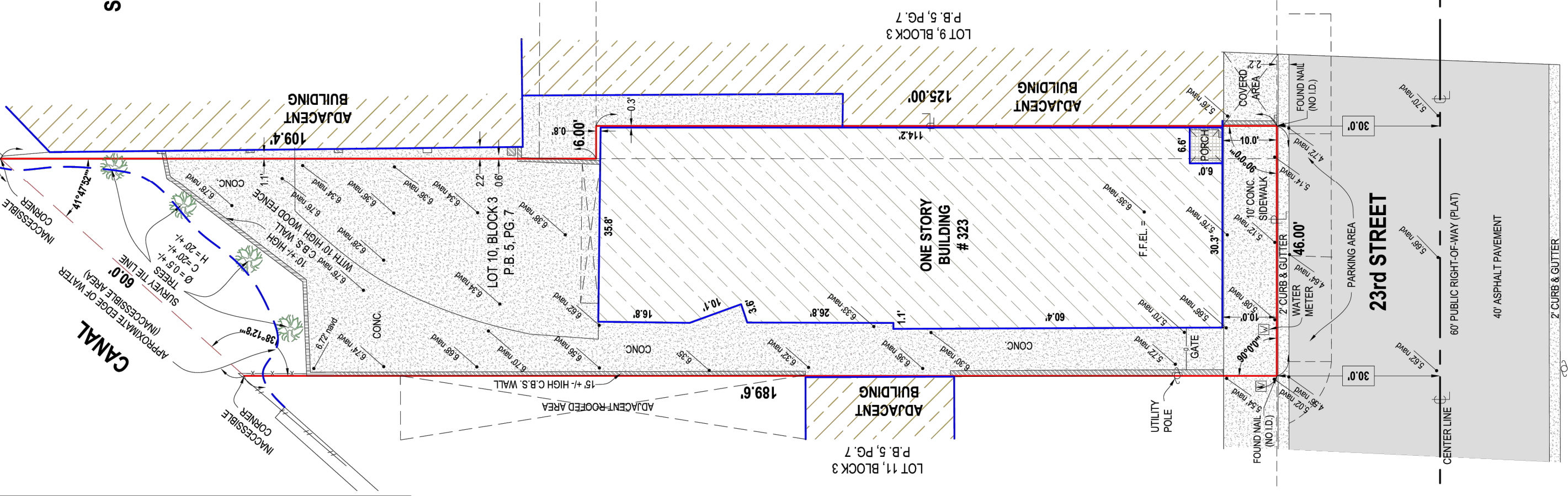
SHEET NO
PHO-2
file:
23-01h-2025-08-22-hpb-rev-1.dwg

MAP OF SURVEY

SHEET 1/1



LOCATION MAP
(NOT TO SCALE)



SCALE: 1" = 20'



TYPE OF SURVEY: BOUNDARY SURVEY ONLY

PROPERTY ADDRESS:
323 23rd STREET MIAMI BEACH, FL. 33139

LEGAL DESCRIPTION:
LOT 10 AND THE WEST 6 FEET OF LOT 9, BLOCK 3, OF "AMENDED MAP OF THE OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT COMPANY", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, AT PAGES 7 AND 8 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

FLOOD ZONE INFORMATION:
COMMUNITY NO. 120651 PANEL NO. 0317 SUFFIX: L
FIRM DATE: 09-11-2009 FLOOD ZONE: AE BASE FLOOD: 8' (NGVD)

SURVEYOR'S NOTES:
LEGAL DESCRIPTION WAS FURNISHED BY THE CLIENT.

LEGAL DESCRIPTION SUBJECT TO ANY DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR RECORDED EASEMENTS.

THERE MAY BE LEGAL RESTRICTIONS ON THE SUBJECT PROPERTY THAT ARE NOT SHOWN ON THE MAP OF SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, OR THE RECORDS OF ANY OTHER PUBLIC AND PRIVATE ENTITIES AS THEIR JURISDICTIONS MAY APPEAR.

THE ELEVATIONS OF WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED VERTICAL POSITIONAL ACCURACY OF 0.2 FOOT FOR NATURAL GROUND SURFACES AND 0.1 FOOT FOR HARDSCAPE SURFACES, INCLUDING PAVEMENTS, CURBS AND OTHER MAN-MADE FEATURES AS MAY EXIST.

WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 0.1 FOOT UNLESS OTHERWISE SHOWN.

THE MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT THE STATED GRAPHIC SCALE IN ENGLISH UNITS OF MEASUREMENT. ATTENTION IS BROUGHT TO THE FACT THAT SAID DRAWING MAY BE ALTERED IN SCALE BY THE REPRODUCTION PROCESS

ALL MEASUREMENTS SHOWN ARE IN THE UNITED STATES STANDARD FEET SHOWN ELEVATIONS ARE REFERRED TO N.A.V.D. OF 1988

THE SURVEYOR MAKES NO REPRESENTATION AS TO OWNERSHIP, POSSESSION OR OCCUPATION OF THE SUBJECT PROPERTY BY ANY ENTITY OR INDIVIDUAL.

SUBSURFACE IMPROVEMENTS AND/OR ENCROACHMENTS WITHIN, UPON, ACROSS, ABUTTING OR ADJACENT TO THE SUBJECT PROPERTY WERE NOT LOCATED AND ARE NOT SHOWN.

NOT VALID WITHOUT THE ELECTRONIC SIGNATURE AND DIGITAL SEAL AND/OR THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS AND DELETIONS TO THIS MAP OF SURVEY BY OTHER THAN THE SIGNING PARTY ARE PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY.

THIS MAP OF SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREIN AND THE CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTY.

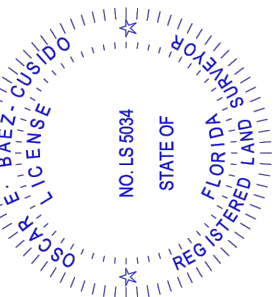
CERTIFY TO:
323 SOBE LLC

SURVEYOR'S CERTIFICATION:
IN MY PROFESSIONAL OPINION, THIS "BOUNDARY SURVEY" IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND IT MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17.05 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

360° SURVEYING AND MAPPING, LLC
FLORIDA CERTIFICATE OF AUTHORIZATION NO. LB 6366

Digitally signed by Oscar E Baez
Date: 2023.09.03 14:23:54 -04'00'

Oscar E Baez, P.L.S.
REGISTERED SURVEYOR AND MAPPER NO. 5034
STATE OF FLORIDA.



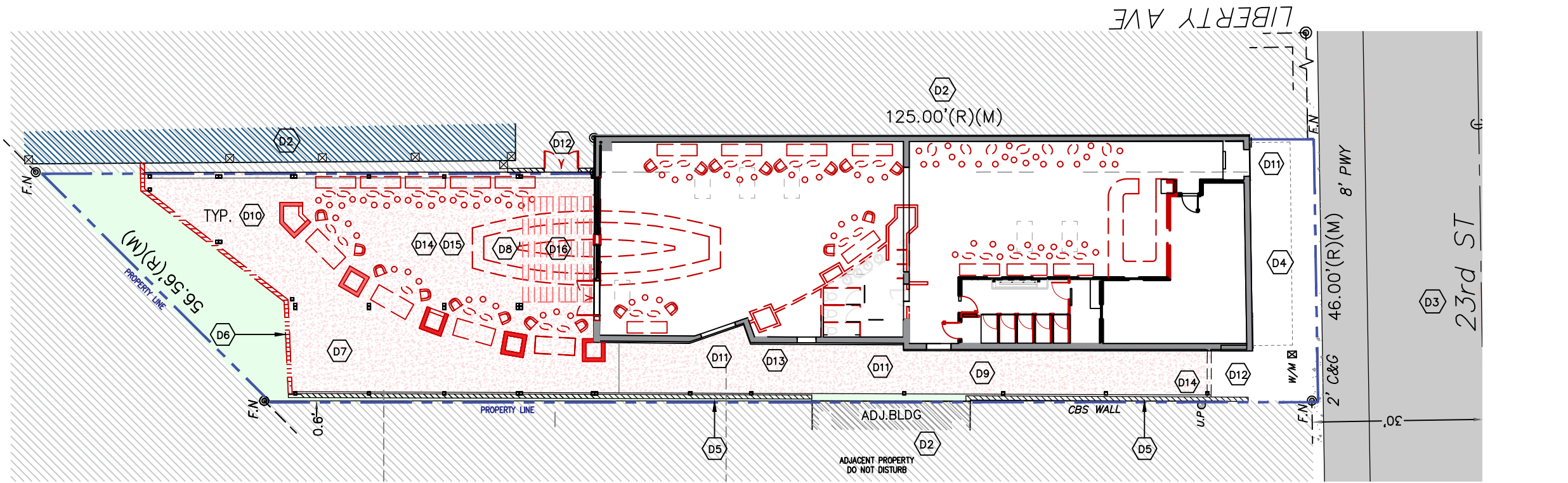
360° SURVEYING AND MAPPING, LLC
Land Surveyors - Land Planners
P.O. BOX 558981 MIAMI, FLORIDA 33255-8981
PHONE: (305) 265-1002

REVISIONS AND/OR UP-DATES

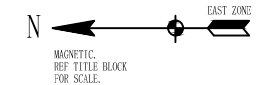
ORIGINAL FIELD DATE 08-26-2023
JOB NO. 2305-0058

LEGEND OF SURVEY ABBREVIATIONS

<p>SMK = SIDEWALK TY = UTILITY & DRAINAGE TV = TELEPHONE SERVICE BOX T = TELEPHONE SERVICE BOX U.E. = UTILITY EASEMENT U.M.E. = UTILITY & MAINTENANCE EASEMENT U.P. = UTILITY POLE W = WATER WELL W.M. = WATER METER STY = STORY STL = SET BACK LINE S.L.P. = SET IRON PIPE NO. SEC. = SECTION S = SEWER MANHOLE RES. = RESIDENCE R.M. = RIGHT-OF-WAY N.S.D. = NORTH GEODETIC VERTICAL DATUM N.T.S. = NOT TO SCALE M.M. = MONUMENT LINE M. = MEASURED M.H. = MAN HOLE P.M. = PERMANENT REFERENCE MOUNTMENT P.W.M. = PARKWAY P.F. = FOUND WALL P.C.P. = FOUND REBAR P.P. = FOUND IRON PIPE F.P. = FOUND REBAR F.R. = FOUND IRON PIPE F.N. = FOUND WALL L.P. = LIGHT POLE C.P. = CHAIN LINK FENCE</p>	<p>MM = GAS MONITORING WELL MH = STORM DRAIN MANHOLE UP = WOOD UTILITY POLE CUP = CONC. UTILITY POLE CB = CATCH BASIN N.A.V.D. = NORTH AMERICAN VERTICAL DATUM</p>	<p>CONC. = CONCRETE ASPHALT = ASPHALT BRICK = BRICK TILES = TILES</p>	<p>ARC LENGTH = ARC LENGTH AIR CONDITIONING PAD = AIR CONDITIONING PAD ALUMINUM FENCE = ALUMINUM FENCE BLOCK CORNER = BLOCK CORNER CATCH BASIN = CATCH BASIN CHORD DISTANCE = CHORD DISTANCE CONCRETE BLOCK = CONCRETE BLOCK CENTER LINE = CENTER LINE CHAIN LINK FENCE = CHAIN LINK FENCE CL = CENTER LINE</p>
---	--	---	---



ALL LIFE SAFETY SYSTEMS SHALL REMAIN OPERATIONAL WHILE WORK IS BEING DONE.

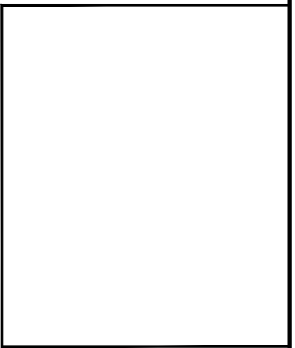


DEMOLITION LEGEND: D

1. SHADED OUTLINED AREA REPRESENTS EXISTING 1-LEVEL BUILDING FOOTPRINT TO REMAIN; DO NOT DISTURB AS PART OF THIS WORK OR PERMIT. ANY EXIST SLAB, SUPPORTING ELEMENTS, COLUMNS, BEAMS & PILASTERS BELONGING TO BUILDING & EXTERIOR ENVELOPE TO REMAIN, DO NOT DISTURB AS PART OF THIS WORK OR PERMIT. SHOULD ANY PORTION OF EXIST STRUCTURE APPEAR DAMAGED, UNSAFE OR YOU ARE UNCERTAIN WHICH ITEMS ARE LOAD-BEARING OR NOT, NOTIFY ARCHITECT IMMEDIATELY (305) 770-6100.
2. EXIST STRUCTURE ON ADJACENT PROPERTY TO REMAIN, DO NOT DISTURB.
3. EXIST PUBLIC ROADWAY, DO NOT DISTURB, ENCROACH OR OBSTRUCT.
4. EXIST PUBLIC SIDEWALK TO REMAIN, DO NOT DISTURB, ENCROACH OR OBSTRUCT.
5. LOCATION OF EXIST C.B.S. PRIVACY WALL, DO NOT DISTURB.
6. LOCATION OF EXIST C.B.S. PRIVACY WALL, TO BE REPAIRED. REMOVE ANY LOOSE PORTIONS OF STUCCO TO FOUNDATION IN PREPARATION FOR ARCHITECT SITE OBSERVATIONS & REPAIRS.
7. CAREFULLY REMOVE THIS PORTION OF EXIST REINF CONCRETE SLAB-ON-GRADE (4" ASSUMED) IN PREPARATION FOR ADA-COMPLIANCE WORK.
8. EXIST OUTDOOR BAR & MILLWORK TO BE RELOCATED TO IMPROVE PATH OF EGRESS. REMOVE PORTION IN PREPARATION FOR LIFE SAFETY & ADA-COMPLIANCE WORK, REF SHT SP300 FOR MORE INFO.
9. EXIST REINF CONCRETE SLAB-ON-GRADE (4" ASSUMED) SLAB TO BE REMOVED. REPORT ANY DAMAGE TO EXIST FINISH MATERIAL, SUBSTRATE INCLD "ALL TILE, WATERPROOFING, CEMENT BOARD GYPSUM BOARD, FLOOR DRAIN COVERS ETC. ON INT SIDE VISUALLY INSPECT & IDENTIFY FOR INCONSISTENCIES, CONTACT ARCHITECT IF ANY IRREGULARITIES ARE FOUND.
10. EXIST FREE-STANDING BLOCK COLUMNS TO BE COMPLETELY REMOVED TO 6" BELOW GRADE. IN PREPARATION FOR ADA-COMPLIANCE WORK, REF SHT SP-100 FOR MORE INFO.
11. EXIST EXT STOREFRONTS, WINDOWS & FENESTRATION TO BE PREPARED FOR NEW WORK.
12. DEMO EXIST DOORS LEADING TO ADJACENT PROPERTY. PREPARE OPNG FOR INFILL.
13. EXIST ELEC PANELS TO REMAIN. VERIFY CLEAR ACCESS PER NEC 110.26(F)(1)(A) MAINTAINED AT ALL TIMES.
14. EXIST FIRE SPRINKLERS, & STAND PIPE TYP. ANY MODIFICATIONS OR DISRUPTION MUST COMPLY 2013 NFPA 13,14,20, BE PERFORMED BY AN APPROVED AUTOMATIC FIRE SPRINKLER CONTRACTOR WHO PROVIDES SHOP DWGS FOR OWNER, ARCHITECT & CITY OF MIAMI BEACH FIRE DEPARTMENT (CMBFD) APPROVAL.
15. EXIST LUMINARY & EGRESS ILLUMINATION TO BE REPLACED.
16. LOCATION OF EXISTING REAR PERGOLA TO BE REMOVED.

HATCH & SYMBOL LEGEND:

SYMBOL	DESCRIPTION
	EXIST CONCRETE MASONRY UNIT BUILDING TO REMAIN.
	REPLACEMENT 8" REINF CONCRETE SLAB-ON-GRADE.
	REPLACEMENT 4" REINF CONCRETE SLAB-ON-GRADE.
	EXIST REINF CONCRETE PUBLIC SIDEWALK TO REMAIN.
	EXIST GREEN SPACE & LANDSCAPED AREAS TO REMAIN.
	ADJACENT PROPERTY DO NOT DISTURB.



WHAA
 Architect of record: WILLIAM HAMILTON ARTHUR IV
 License No. AR97508
 2920 Ponce de Leon Blvd
 Coral Gables, Florida 33134-6811

STAMP

Architect of record:
 WILLIAM HAMILTON ARTHUR IV
 License No. AR97508

DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA), Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

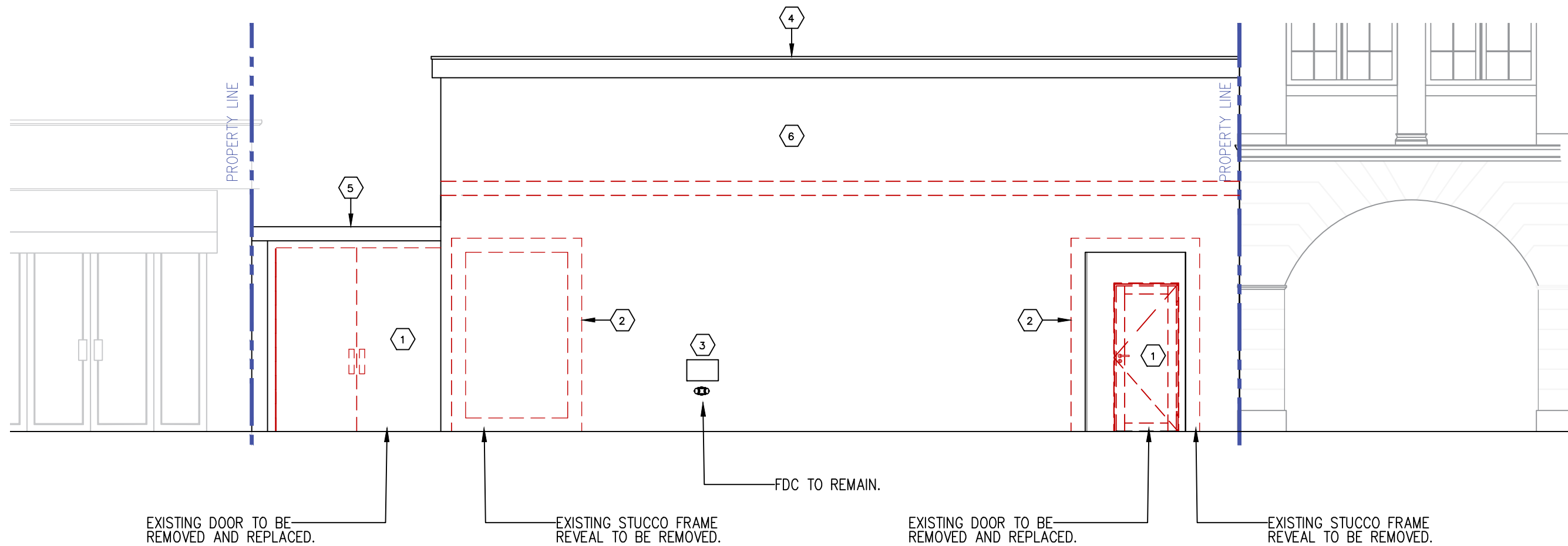
PROJECT No: 23-01H
 DATE: 07-25-2025

DRAWN BY: WHAIV

#	ISSUE	DATE
1	HPB Comments	08/22/2025
2	PB Comments	11/20/2025

SHEET TITLE
EXISTING SITE PLAN
 SCALE: 3/64" = 1'-0"

SHEET NO
SPD
 file:
 23-01h-2025-11-20-pb-rev-1.dwg



EXISTING DOOR TO BE REMOVED AND REPLACED.

EXISTING STUCCO FRAME REVEAL TO BE REMOVED.

FDC TO REMAIN.

EXISTING DOOR TO BE REMOVED AND REPLACED.

EXISTING STUCCO FRAME REVEAL TO BE REMOVED.

PLAN KEYNOTE LEGEND:

1. EXISTING DOOR TO BE REMOVED AND REPLACED.
2. EXISTING STUCCO FRAME REVEAL TO BE REMOVED.
3. LOCATION OF FDC TO REMAIN, DO NOT DISTURB.
4. EXISTING FLASHING TO REMAIN, VERIFY CONDITION IN FIELD.
5. EXISTING ENTRYWAY TO REMAIN, DO NOT DISTURB.
6. EXISTING STUCCO TO REMAIN, PREP SURFACE FOR NEW CLADDING.



WHAA
 Architect of record: WILLIAM HAMILTON ARTHUR IV
 License No. AR97508
 2920 Ponce de Leon Blvd
 Coral Gables, Florida 33134-8811

STAMP

Architect of record:
 WILLIAM HAMILTON ARTHUR IV
 License No. AR97508

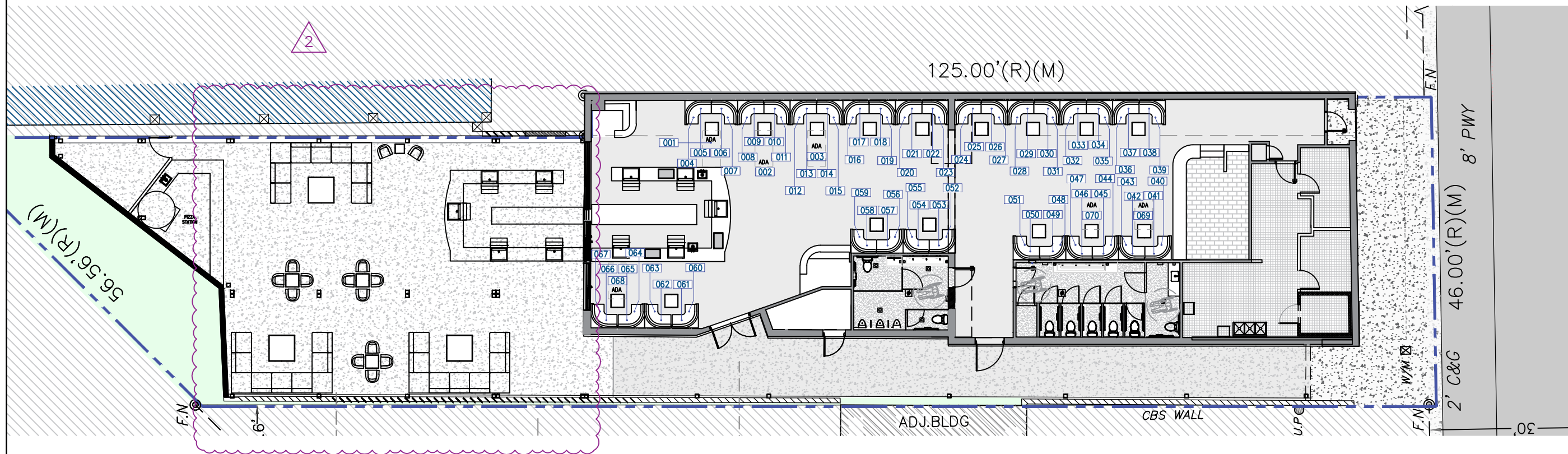
DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

PROJECT No: 23-01H		
DATE: 07-25-2025		
DRAWN BY: WHAIV		
#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE
EXISTING SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"

SHEET NO
D-101
 file:
 23-01h-2025-08-22-hpb-rev-1.dwg



PROVIDE CLEAR FLOOR SPACE COMPLYING WITH 305 POSITIONED FOR A FORWARD APPROACH.

5% OF TABLES & SEATING COMPLY WITH FBCACC 2020 SECTION 226.1
REF NOTES & DETAILS PROVIDED SHT A-200

WHAA
Architect of record: WILLIAM HAMILTON ARTHUR IV
License No. AR97508
2920 Ponce de Leon Blvd
Coral Gables, Florida 33134-8811

STAMP

Architect of record:
WILLIAM HAMILTON ARTHUR IV
License No. AR97508

DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

PROJECT No:	23-01H	
DATE:	07-25-2025	
DRAWN BY:	WHAIV	
#	ISSUE	DATE
1	HPB Comments	08/22/2025
2	PB Comments	11/20/2025

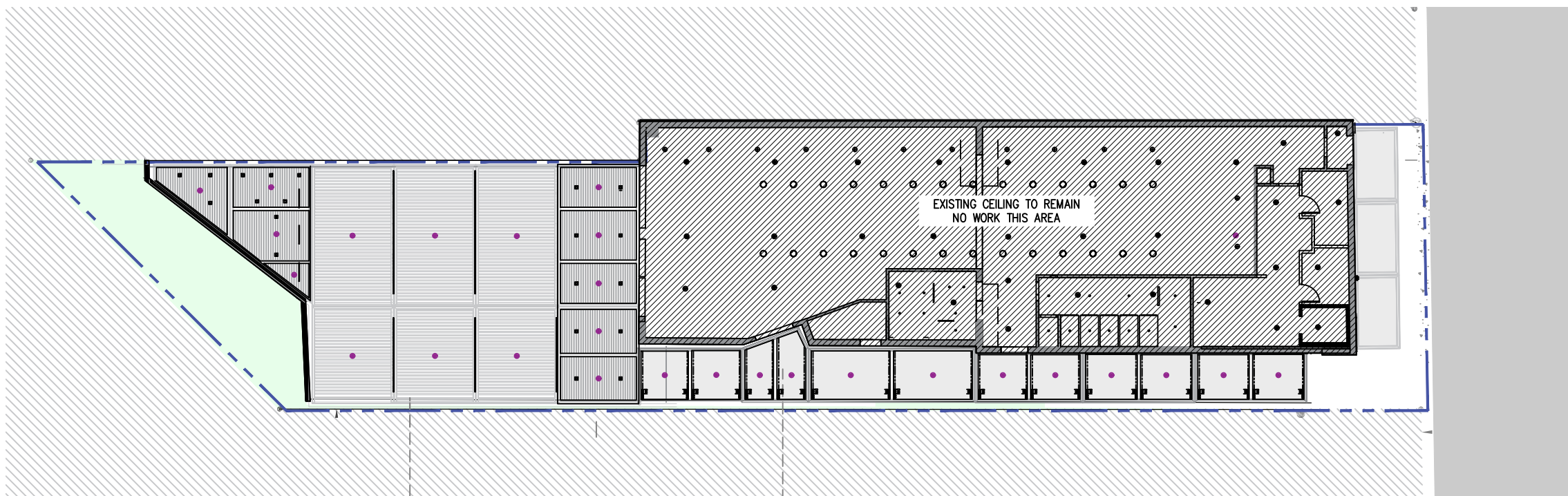
SHEET TITLE
PROPOSED INTERIOR PLAN
SCALE: 1/16" = 1'-0"

SHEET NO.
A-000
file:
23-01h-2025-11-20-pb-rev-1.dwg

INDOOR SEAT COUNT:	
MARKED LOCATION	SEATS
ASSEMBLY AREA 1	40 SEATS
ASSEMBLY AREA 2	30 SEATS
TOTAL:	70 SEATS
ADA SEAT COUNT: (5% OF TOTAL)	4 SEATS

OCCUPANCY CALCULATIONS (EXTERIOR): ACCORDING TO FFPC 101: TABLE 7.3.1.2:	
REFER TO TABLE FBC B1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT	
OUTDOOR DINING/ ASSEMBLY AREA (A-2) PER FBC B303.3.....	2,390 SQ.FT.
1 PERSON PER 15 SQ.FT. (UNCONCENTRATED)= 2,390 SQ.FT./15 SQ.FT.=	159 PERSONS
OUTDOOR BAR/COUNTERTOP CALCULATION AS SIMULTANEOUS ASSEMBLY USE PER FFPC 12.1.3.2: 36.....	504 LINEAR INCHES
1 PERSON PER 18 LINEAR INCHES= 504 LINEAR IN/18=	28 PERSONS
TOTAL PROPOSED EXTERIOR OCCUPANCY:	187 PERSONS

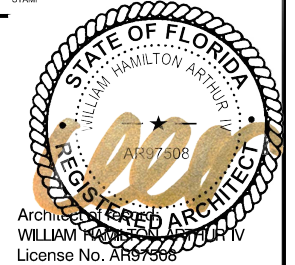
OCCUPANCY CALCULATIONS (INTERIOR): ACCORDING TO FFPC 101: TABLE 7.3.1.2:	
DINING/ ASSEMBLY AREA (A-2) PER FBC B303.3.....	1,986 NET SQ.FT.
1 PERSON PER 7 SQ.FT. (CONCENTRATED)= 1,986 SQ.FT./7 SQ.FT.=	284 PERSONS
FIXED SEATING.....	70 SEATS.
1 PERSON PER 1 SEAT 70 SEATS/1 PERSON PER SEAT=	70 PERSONS.
STAGES.....	60 SQ.FT.
1 PERSON PER 15 SQ.FT.= 60 SQ.FT./15SQ.FT.=	4 PERSONS
BAR/COUNTERTOP CALCULATION AS SIMULTANEOUS ASSEMBLY USE PER FFPC 12.1.3.2: 36.....	609 LIN. IN
1 PERSON PER 18 LINEAR INCHES= 609 LINEAR IN/18=	34 PERSONS
KITCHEN AREAS/PREP.....	500 SQ.FT.
1 PERSON PER 100 SQ.FT. (Storage, kitchen, prep areas)= 112 SQ.FT./100 SQ.FT.=	5 PERSONS
TOTAL ALL BUSINESS AREAS.....	148 GROSS SQ.FT.
1 PERSON PER 150 SQ.FT. GROSS= 569 SQ.FT./150 SQ.FT.=	1 PERSONS
STORAGE.....	71 SQ.FT
1 PERSON PER 500 SQ.FT= 71 SQ.FT./500 SQ.FT	1 PERSON
TOTAL PROPOSED OCCUPANCY:	399 PERSONS



WHAA

Architect of record: WILLIAM HAMILTON ARTHUR IV
 License No. AR97508
 2920 Ponce de Leon Blvd
 Coral Gables, Florida 33134-6811

STAMP



DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD
 HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED
 COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED
 & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED
 USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

PROJECT No: 23-01H
 DATE: 07-25-2025
 DRAWN BY: WHAIV

#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE
PROPOSED CEILING PLAN

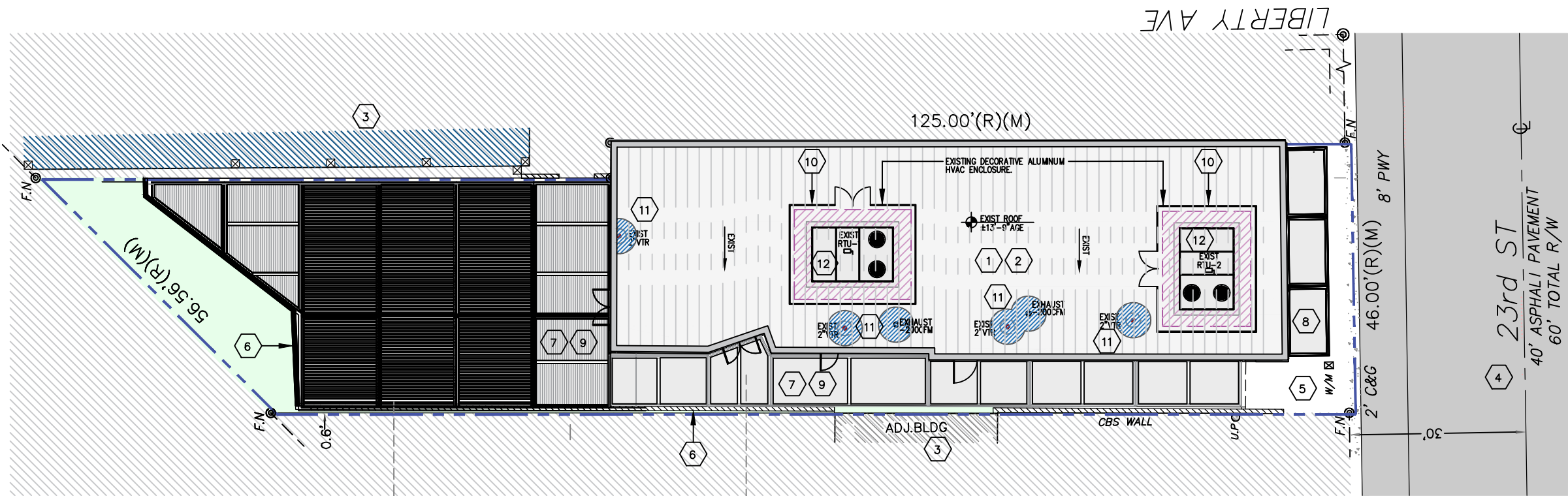
SCALE: 1/16" = 1'-0"

SHEET NO.
A-001
 file:
 23-01h-2025-08-22-hpb-rev-1.dwg

CEILING LEGEND:

SYMBOL	DESCRIPTION
●	PROPOSED EXTERIOR FIRE SPRINKLERS. TO BE DESIGNED BY SPECIALTY ENGINEER AND SUBMITTED AS A DEFERRED SUBMITTAL PER FBC B107.3.4.1.
□	LOW-PROFILE 4"SQ RECESSED DOWNLIGHT PROVIDED BY OWNER UTILIZES 120V 23W (A19) LAMP. INSTALL PER MANF SPEC. ENSURE "DAMP" RATING WHEN USED IN ALL MOISTURE EXPOSED FIXTURES. ALL RECESSED FIXTURES OR LIGHTING IN THE THERMAL ENVELOPE MUST BE IC RATED AND MEETING ASTM E 283 FOR LEAKAGE LABELED "AIR TIGHT" AND HOUSING SHALL BE SEALED WITH A GASKET OR CAULK TO CEILING OR WALL FBC R402.4.1.1 (ALL FIXTURES UL LISTED).*
led ○○○○○	LED COVE LIGHTING UTILIZES 120V SOURCE COMPLYING WITH NEC 410. MUST COMPLY WITH SPACING REQ IN NEC 410.18.
—	LED STRIP LIGHT

1

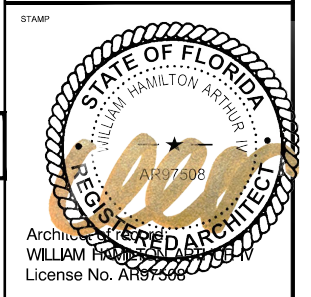


PLAN KEYNOTE LEGEND:

1. SHADED OUTLINED AREA REPRESENTS EXISTING 1-LEVEL BUILDING FOOTPRINT TO REMAIN: DO NOT DISTURB AS PART OF THIS WORK OR PERMIT. ANY EXIST SLAB, SUPPORTING ELEMENTS, COLUMNS, BEAMS & PILASTERS BELONGING TO BUILDING & EXTERIOR ENVELOPE TO REMAIN, DO NOT DISTURB AS PART OF THIS WORK OR PERMIT. EXIST STUCCO FINISH TO BE PATCHED & REPAIRED IN "LIKE-NEW" CONDITION. THE WORK SHALL NOT MAKE THE BUILDING LESS CONFORMING WITH ENERGY REQUIREMENTS THAN IT WAS BEFORE THE REPAIR WAS UNDERTAKEN PER FBC EB601.2.
2. SHOULD ANY PORTION OF EXIST STRUCTURE APPEAR DAMAGED, UNSAFE OR YOU ARE UNCERTAIN WHICH ITEMS ARE LOAD-BEARING OR NOT, NOTIFY ARCHITECT IMMEDIATELY (305) 770-6100.
3. EXIST STRUCTURE ON ADJACENT PROPERTY TO REMAIN, DO NOT DISTURB.
4. EXIST PUBLIC ROADWAY, DO NOT DISTURB, ENCROACH OR OBSTRUCT.
5. EXIST PUBLIC SIDEWALK TO REMAIN, DO NOT DISTURB, ENCROACH OR OBSTRUCT.
6. LOCATION OF EXIST C.B.S. PRIVACY WALL.
7. PROVIDE NEW ALUMINUM PERGOLA AND FOUNDATION BY SPECIALTY ENGINEER, SEPARATE BUILDING PERMIT APPLICATION. PERGOLA TO BE LOUVERED AND OPEN TO THE SKY. ENSURE MINIMUM HEIGHT & HEADROOM CLEARANCE OF +80" AFF. PROVIDE DEFERRED SUBMITTAL TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION PER FBC B107.3.4.1.
8. PROVIDE NEW FRONT PERGOLA. PROVIDE DEFERRED SUBMITTAL PER FBC B107.3.4.1.
9. LOCATION OF NEW REAR AND SIDE PERGOLA.
10. EXISTING DECORATIVE ALUMINUM HVAC ENCLOSURE TO REMAIN, DO NOT DISTURB.
11. EXISTING PLUMBING/MECHANICAL ROOF PENETRATION TO REMAIN, DO NOT DISTURB.
12. EXISTING RTU TO REMAIN, DO NOT DISTURB.



WHAA
 Architect of record: WILLIAM HAMILTON ARTHUR IV
 License No. AR97508
 2920 Ponce de Leon Blvd
 Coral Gables, Florida 33134-6811



DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD
 HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED
 COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED
 & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED
 USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

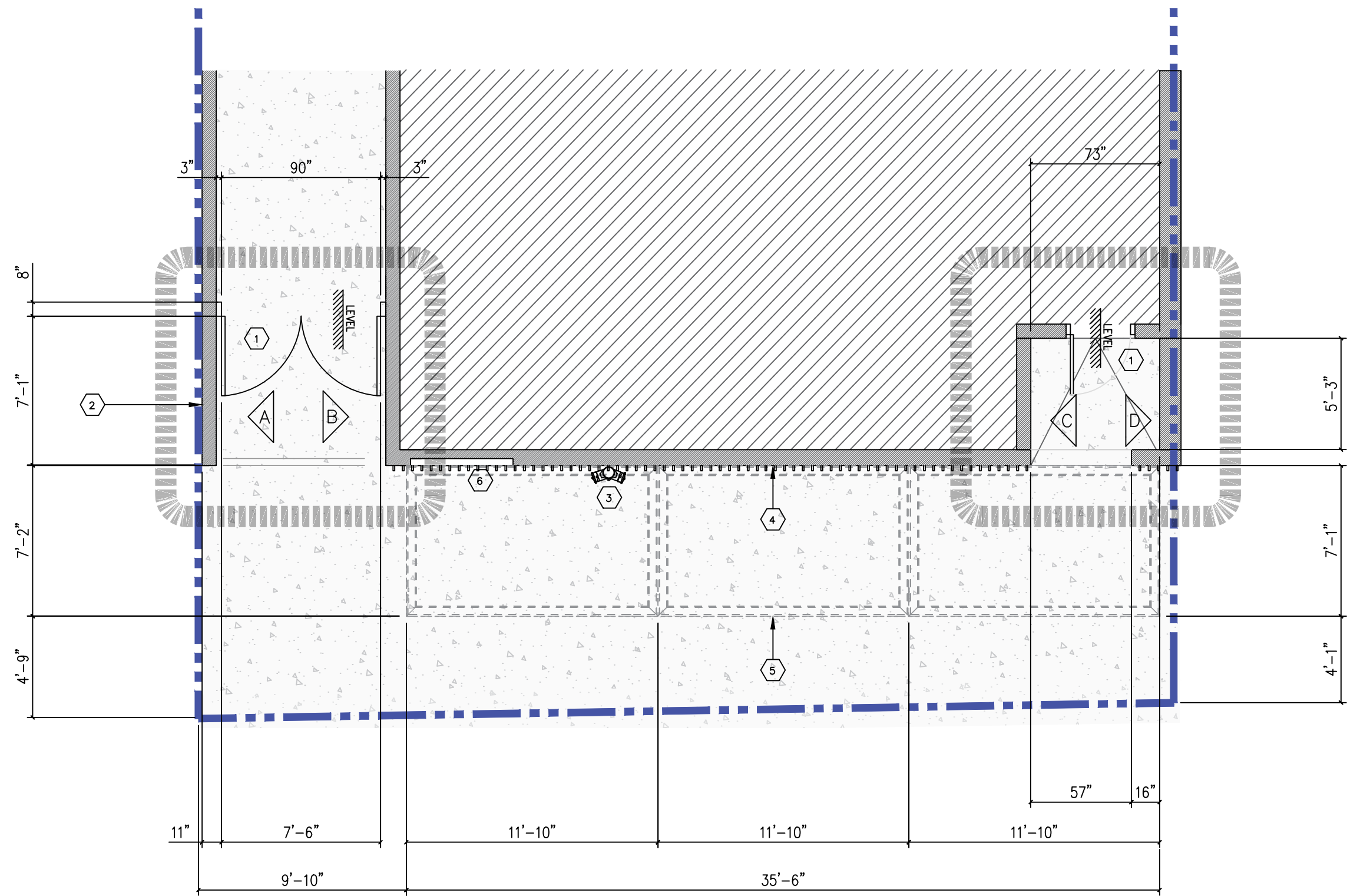
PROJECT No: 23-01H
 DATE: 07-25-2025
 DRAWN BY: WHAIV

#	ISSUE	DATE
1	HPB Comments	08/22/2025

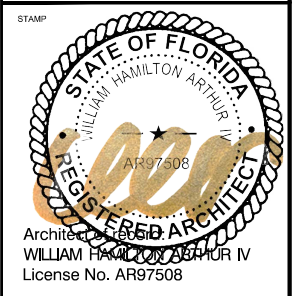
SHEET TITLE
PROPOSED ROOF PLAN
 SCALE: 1/16" = 1'-0"

SHEET NO
A-002
 file:
 23-01h-2025-08-22-hpb-rev-1.dwg





WHAA
 Architect of record: WILLIAM HAMILTON ARTHUR IV
 License No. AR97508
 2920 Ponce de Leon Blvd
 Coral Gables, Florida 33134-8811



DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

PROJECT No: 23-01H
 DATE: 07-25-2025
 DRAWN BY: WHAIV

#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE
ENLARGED FLOOR PLAN
 SCALE: 3/16" = 1'-0"

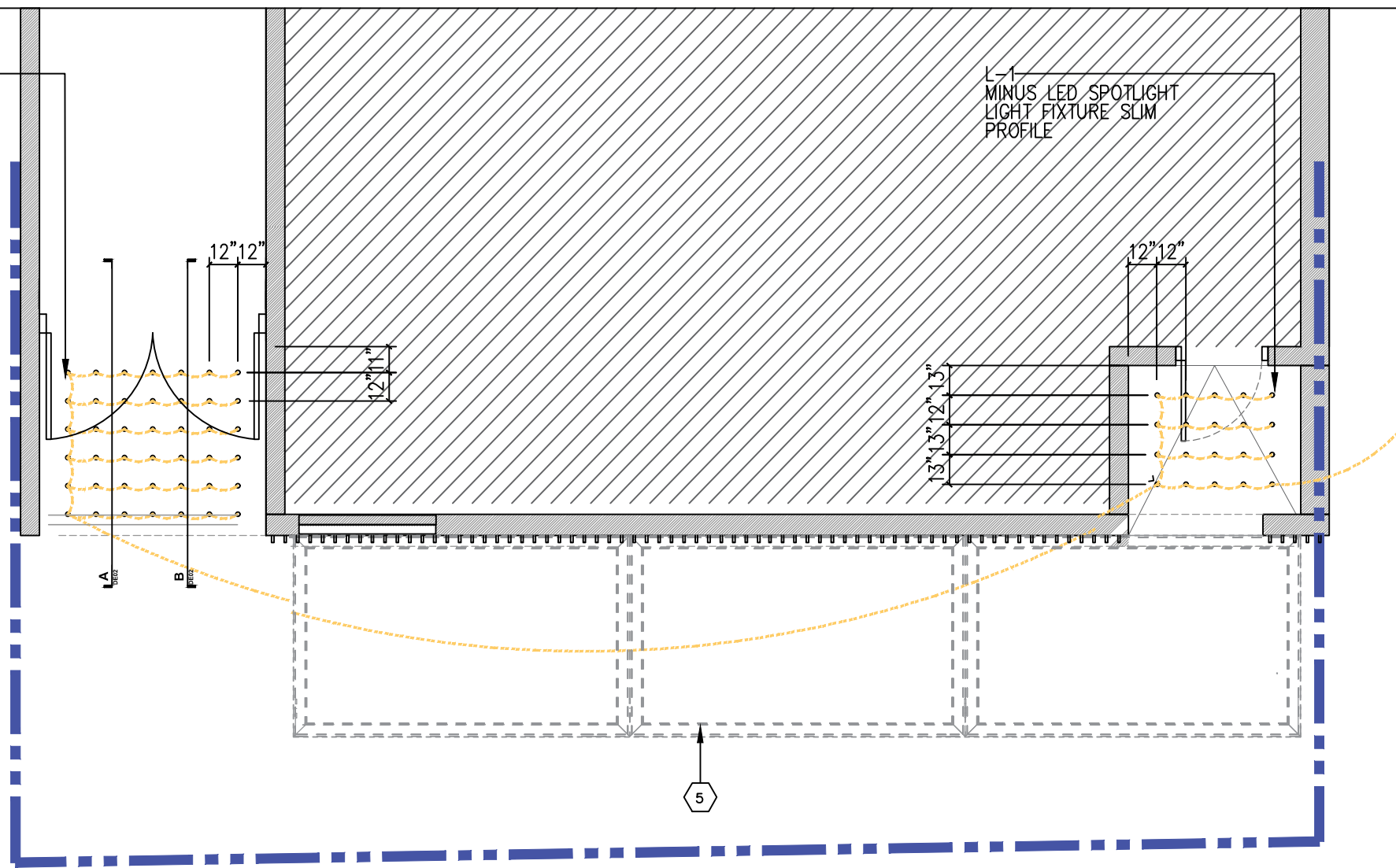
SHEET NO
A-100
 file:
 23-01h-2025-08-22-hpb-rev-1.dwg

PLAN KEYNOTE LEGEND:

1. PROVIDE REPLACEMENT DOOR WITHIN EXISTING OPENING.
2. EXISTING ENTRYWAY TO REMAIN, DO NOT DISTURB.
3. LOCATION OF EXISTING FDC TO REMAIN. DO NOT DISTURB.
4. PROVIDE PAINTED STUCCO, AND VERTICAL SHADING DEVICES. COLOR PER FINISH LEGEND SHEET A-200.
5. PROVIDE NEW FRONT PERGOLA. PROVIDE DERRERED SUBMITTAL PER FBC B107.3.4.1.
6. EXISTING SETBACK IN STRUCTURE TO REMAIN. DO NOT DISTURB.

L-1
MINUS LED SPOTLIGHT
LIGHT FIXTURE SLIM
PROFILE

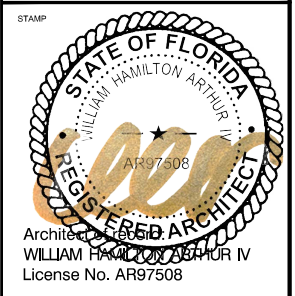
L-1
MINUS LED SPOTLIGHT
LIGHT FIXTURE SLIM
PROFILE



TO
ELECTRIC
PANEL



WHAA
Architect of record: WILLIAM HAMILTON ARTHUR IV
License No. AR97508
2920 Ponce de Leon Blvd
Coral Gables, Florida 33134-6811



DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD
HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED
COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED
& SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED
USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

PLAN KEYNOTE LEGEND:

1. PROVIDE REPLACEMENT DOOR WITHIN EXISTING OPENING.
2. EXISTING ENTRYWAY TO REMAIN, DO NOT DISTURB.
3. LOCATION OF EXISTING FDC TO REMAIN. DO NOT DISTURB.
4. PROVIDE PAINTED STUCCO, COLOR PER FINISH LEGEND SHEET A-200.
5. PROVIDE NEW FRONT PERGOLA. PROVIDE DERRERED SUBMITTAL PER FBC B107.3.4.1.
6. EXISTING SETBACK IN STRUCTURE TO REMAIN. DO NOT DISTURB.

PROJECT No: 23-01H
DATE: 07-25-2025
DRAWN BY: WHAIV

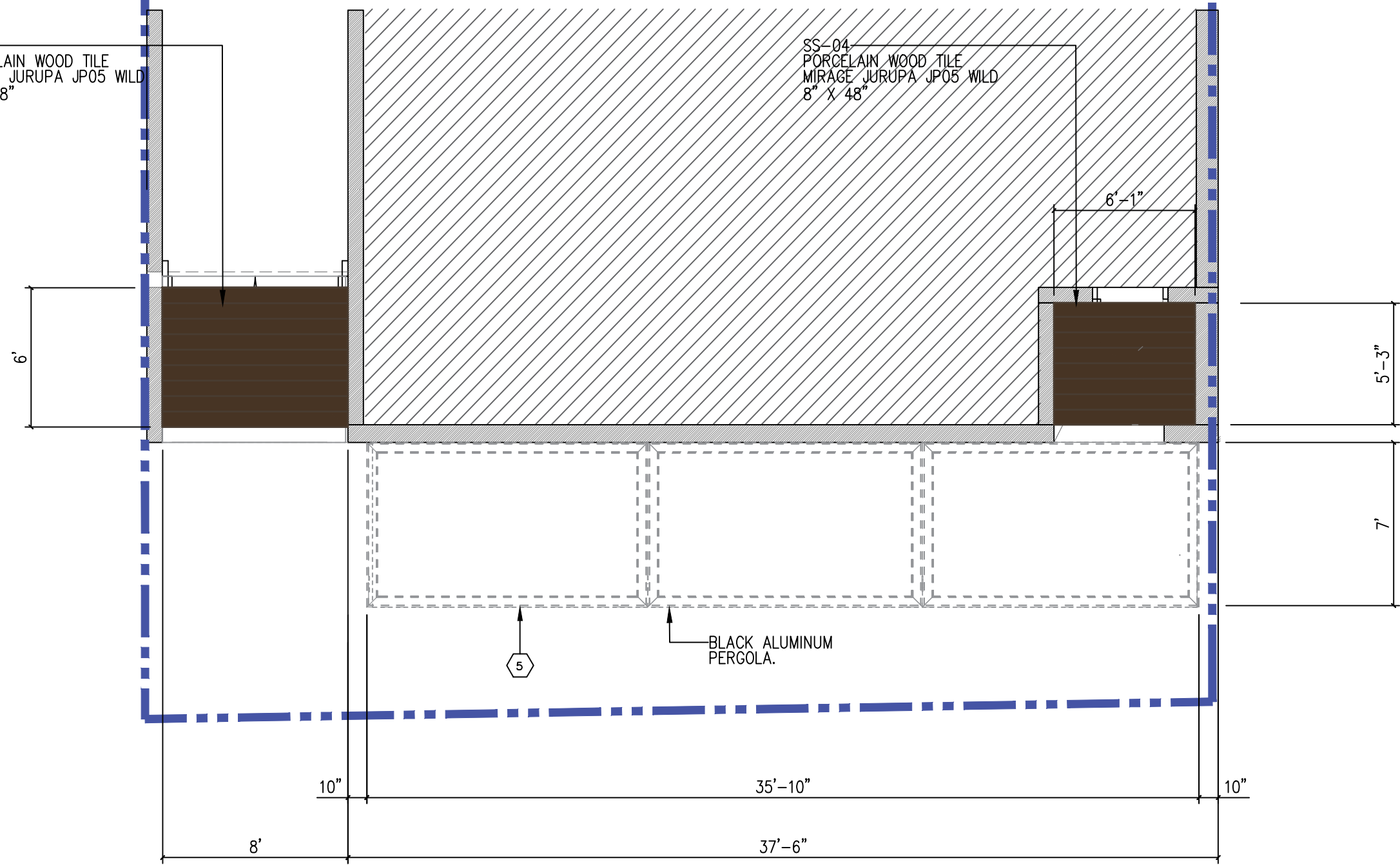
#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE
ENLARGED ILLUMINATION PLAN.
SCALE: 3/16" = 1'-0"

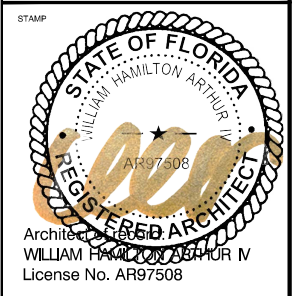
SHEET NO
A-101
file:
23-01h-2025-08-22-hpb-rev-1.dwg

SS-04
PORCELAIN WOOD TILE
MIRAGE JURUPA JP05 WILD
8" X 48"

SS-04
PORCELAIN WOOD TILE
MIRAGE JURUPA JP05 WILD
8" X 48"



WHAA
Architect of record: WILLIAM HAMILTON ARTHUR IV
License No. AR97508
2920 Ponce de Leon Blvd
Coral Gables, Florida 33134-8811



DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD
HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED
COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED
& SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED
USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

PLAN KEYNOTE LEGEND:

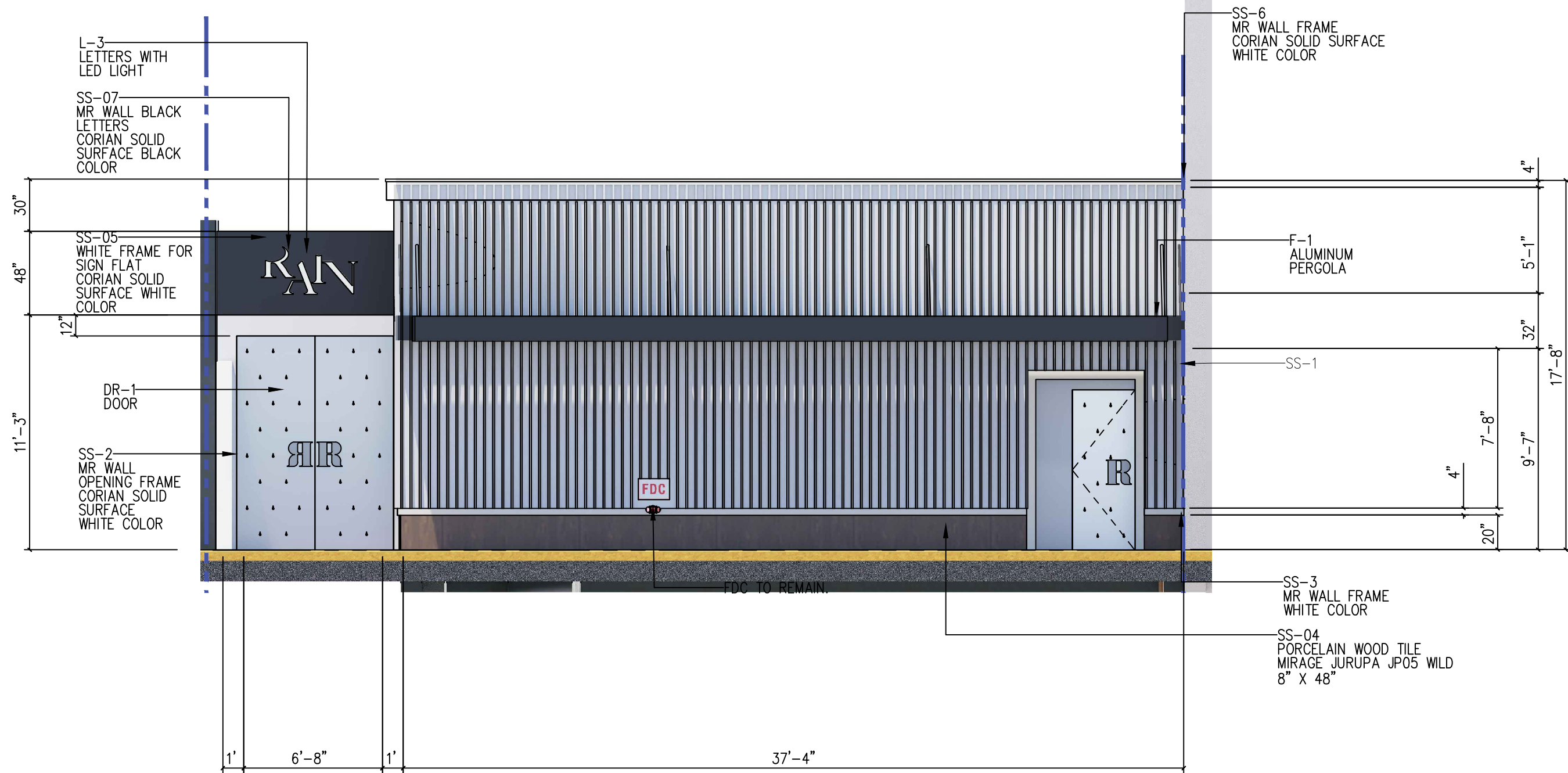
1. PROVIDE REPLACEMENT DOOR WITHIN EXISTING OPENING.
2. EXISTING ENTRYWAY TO REMAIN, DO NOT DISTURB.
3. LOCATION OF EXISTING FDC TO REMAIN. DO NOT DISTURB.
4. PROVIDE PAINTED STUCCO, COLOR PER FINISH LEGEND SHEET A-200.
5. PROVIDE NEW FRONT PERGOLA. PROVIDE DERRERED SUBMITTAL PER FBC B107.3.4.1.
6. EXISTING SETBACK IN STRUCTURE TO REMAIN. DO NOT DISTURB.

PROJECT No: 23-01H
DATE: 07-25-2025
DRAWN BY: WHAIV

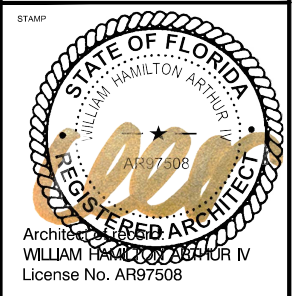
#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE
**ENLARGED
CEILING**
SCALE: 3/16" = 1'-0"

SHEET NO
A-102
file:
23-01h-2025-08-22-hpb-rev-1.dwg



WHAA
 Architect of record: WILLIAM HAMILTON ARTHUR IV
 License No. AR97508
 2920 Ponce de Leon Blvd
 Coral Gables, Florida 33134-8811

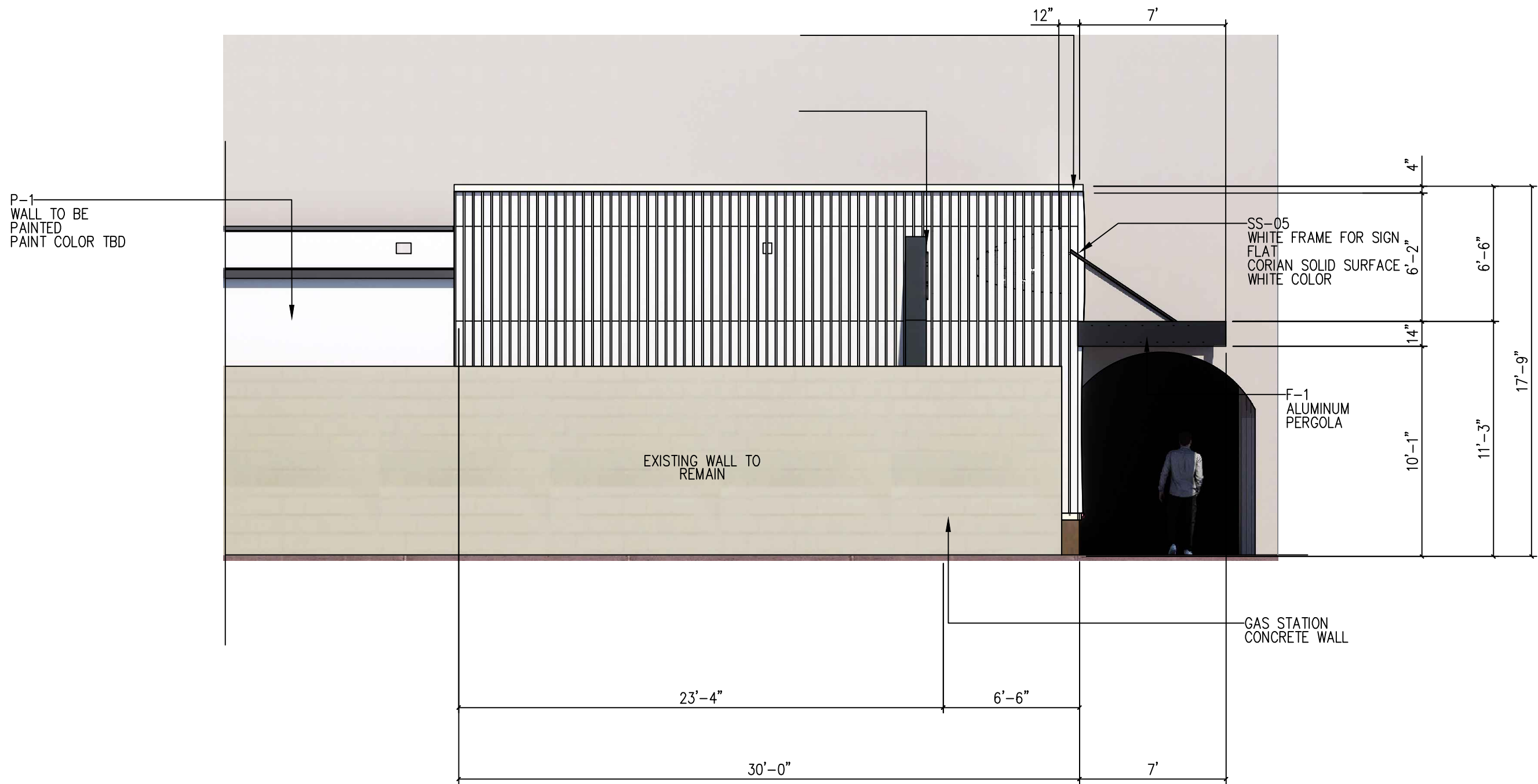


DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED, THE SIGNATURE CAN ONLY BE AUTHENTICATED USING THE ELECTRONIC DOCUMENT.

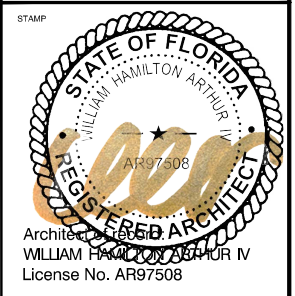
Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

PROJECT No: 23-01H		
DATE: 07-25-2025		
DRAWN BY: WHAIV		
#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE
SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"
 SHEET NO
A-103
 file:
 23-01h-2025-08-22-hpb-rev-1.dwg



WHAA
 Architect of record: WILLIAM HAMILTON ARTHUR IV
 License No. AR97508
 2920 Ponce de Leon Blvd
 Coral Gables, Florida 33134-8811



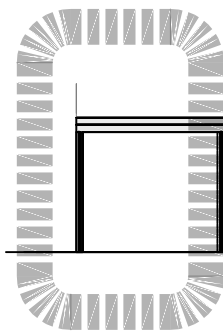
DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD
 HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED
 COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED
 & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED
 USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur,
 Architect, Inc. (WHAA). Drawings, specifications
 and other documents prepared by the Architect
 are instruments of service and are for the Owner's
 use solely with respect to this project. The
 Architect shall retain all common law, statutory
 and other reserved rights, including the
 copyright. Any unauthorized reproduction,
 modification, disclosure, and/or use of these
 materials without prior written consent is strictly
 prohibited and punishable by law.

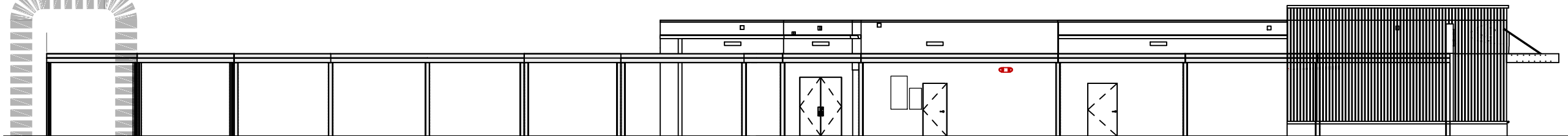
PROJECT No: 23-01H		
DATE: 07-25-2025		
DRAWN BY: WHAIV		
#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE
WEST ELEVATION
 SCALE: 3/16" = 1'-0"

SHEET NO
A-104
 file:
 23-01h-2025-08-22-hpb-rev-1.dwg



REF ENLARGED SECTION
SHEET A-110

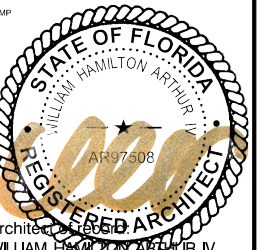


RAIN
NIGHT CLUB MIAMI

WHAA

Architect of record: WILLIAM HAMILTON ARTHUR IV
License No. AR97508
2920 Ponce de Leon Blvd
Coral Gables, Florida 33134-8811

STAMP



Architect of record:
WILLIAM HAMILTON ARTHUR IV
License No. AR97508

DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD
HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED
COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED
& SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED
USING THE ELECTRONIC DOCUMENT.

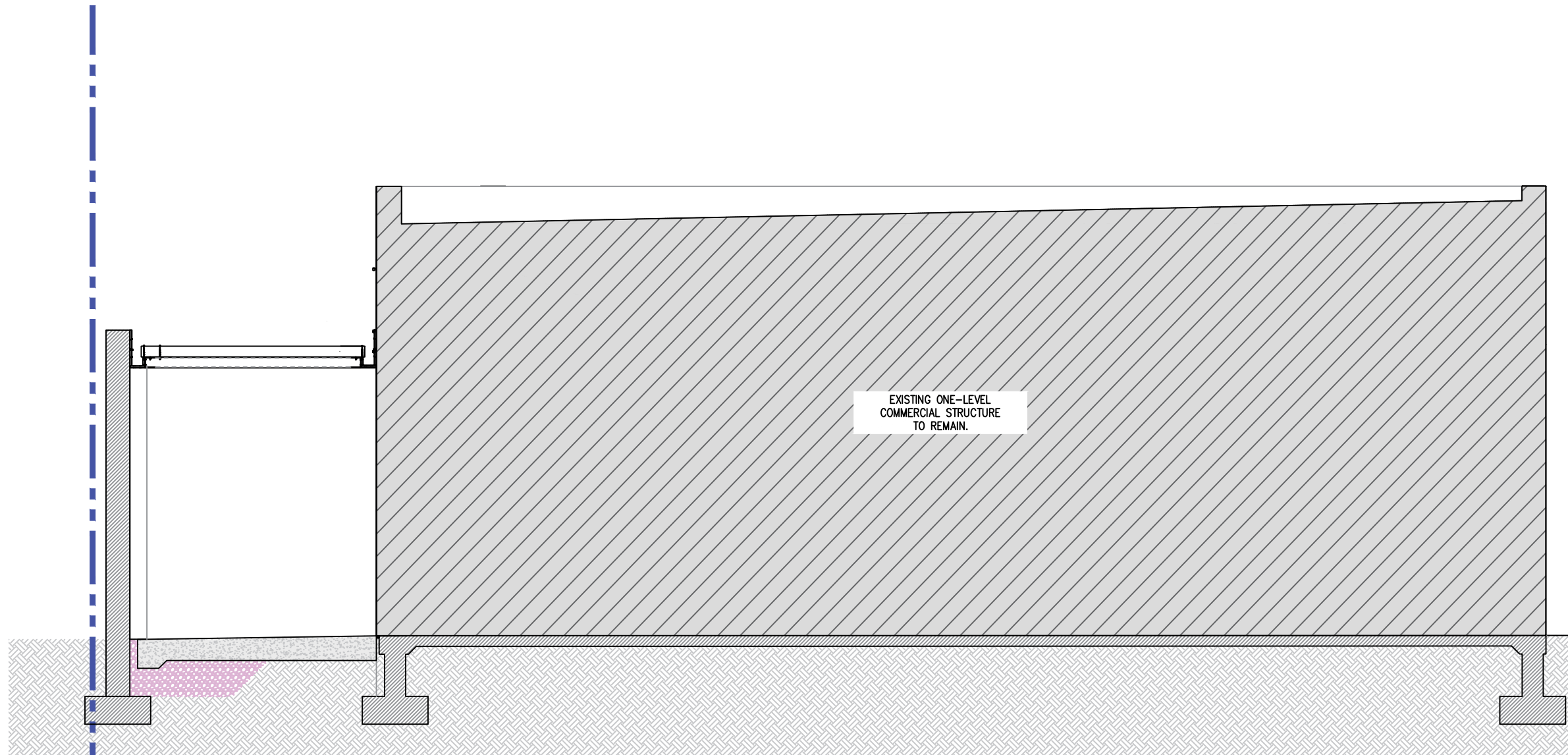
Copyright © 2023 William Hamilton Arthur,
Architect, Inc. (WHAA). Drawings, specifications
and other documents prepared by the Architect
are instruments of service and are for the Owner's
use solely with respect to this project. The
Architect shall retain all common law, statutory
and other reserved rights, including the
copyright. Any unauthorized reproduction,
modification, disclosure, and/or use of these
materials without prior written consent is strictly
prohibited and punishable by law.

PROJECT No: 23-01H
DATE: 07-25-2025
DRAWN BY: WHAIV

#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE
**OVERALL WEST
ELEVATION**
SCALE: 1/16" = 1'-0"

SHEET NO
A-105
file:
23-01h-2025-08-22-hpb-rev-1.dwg

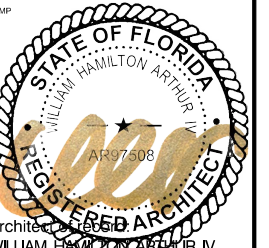


EXISTING ONE-LEVEL
COMMERCIAL STRUCTURE
TO REMAIN.



WHAA
 Architect of record: WILLIAM HAMILTON ARTHUR IV
 License No. AR97508
 2920 Ponce de Leon Blvd
 Coral Gables, Florida 33134-8811

STAMP



Architect of record:
 WILLIAM HAMILTON ARTHUR IV
 License No. AR97508

DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD
 HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED
 COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED
 & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED
 USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

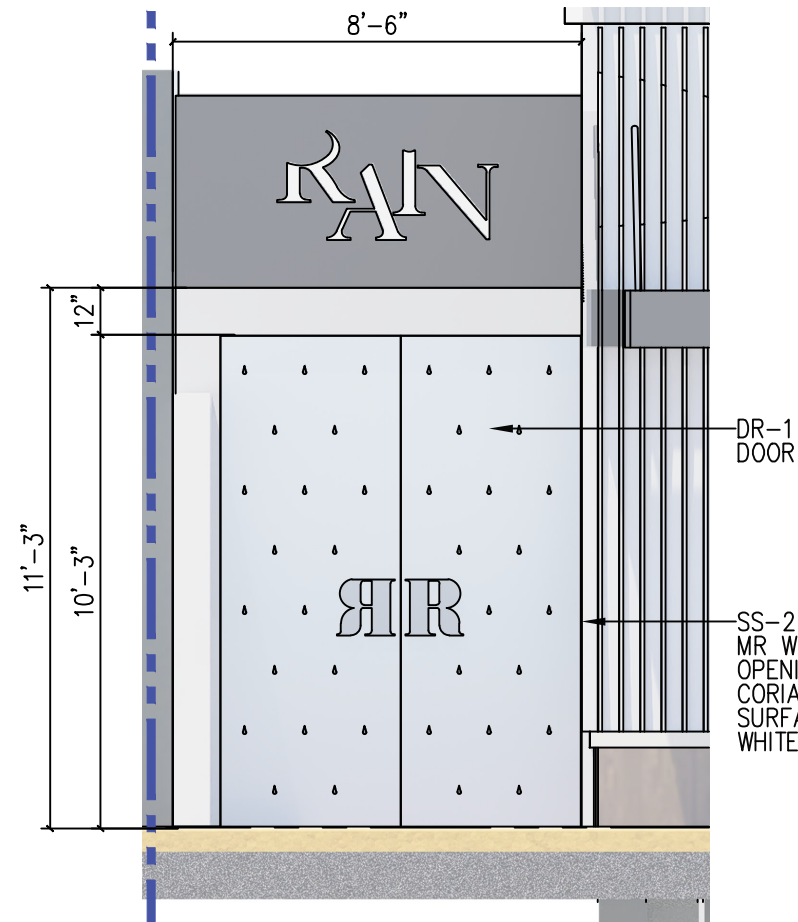
PROJECT No: 23-01H
 DATE: 07-25-2025

DRAWN BY: WHAIV

#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE
OVERALL SECTION
 SCALE: 1/4" = 1'-0"

SHEET NO
A-106
 file:
 23-01h-2025-08-22-hpb-rev-1.dwg

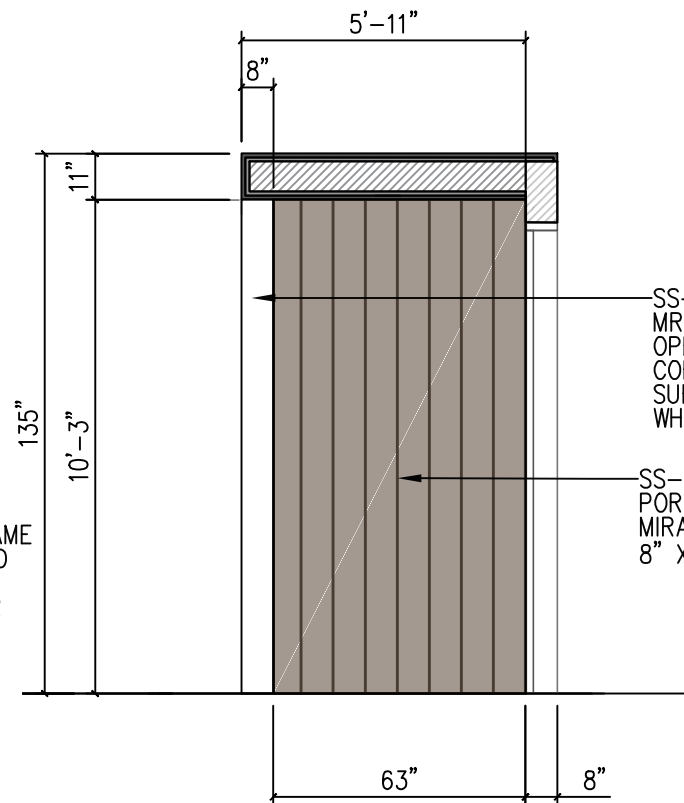


MAIN ENTRANCE ELEVATION

SCALE: 1/4" = 1'-0"

DR-1 DOOR

SS-2 MR WALL OPENING FRAME CORIAN SOLID SURFACE WHITE COLOR

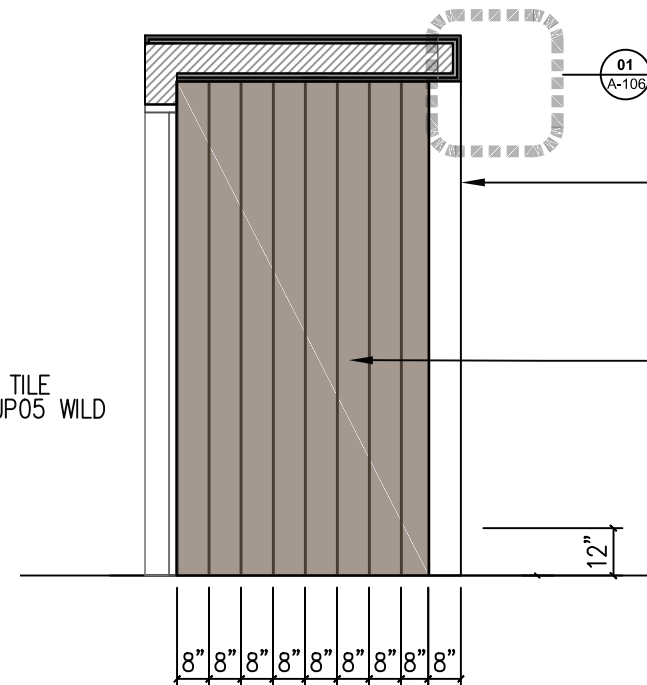


MAIN ENTRANCE SECTION A

SCALE: 1/4" = 1'-0"

SS-2 MR WALL OPENING FRAME CORIAN SOLID SURFACE WHITE COLOR

SS-04 PORCELAIN WOOD TILE MIRAGE JURUPA JP05 WILD 8" X 48"

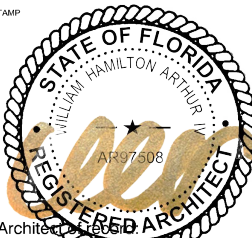


MAIN ENTRANCE SECTION B

SCALE: 1/4" = 1'-0"

SS-2 MR WALL OPENING FRAME CORIAN SOLID SURFACE WHITE COLOR

SS-04 PORCELAIN WOOD TILE MIRAGE JURUPA JP05 WILD 8" X 48"



Architect of Record
WILLIAM HAMILTON ARTHUR IV
License No. AR97508

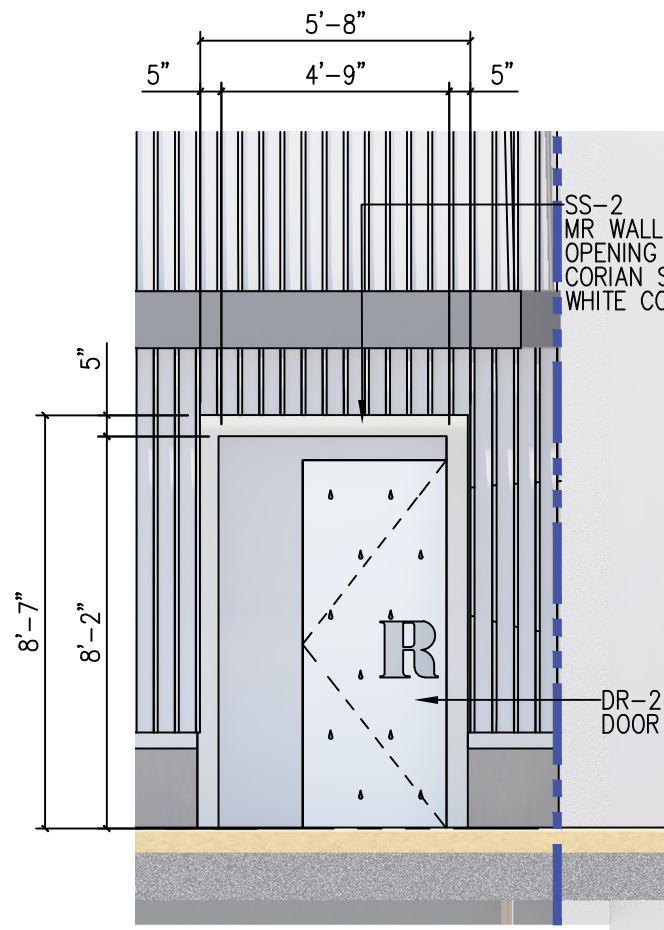
DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHA A). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

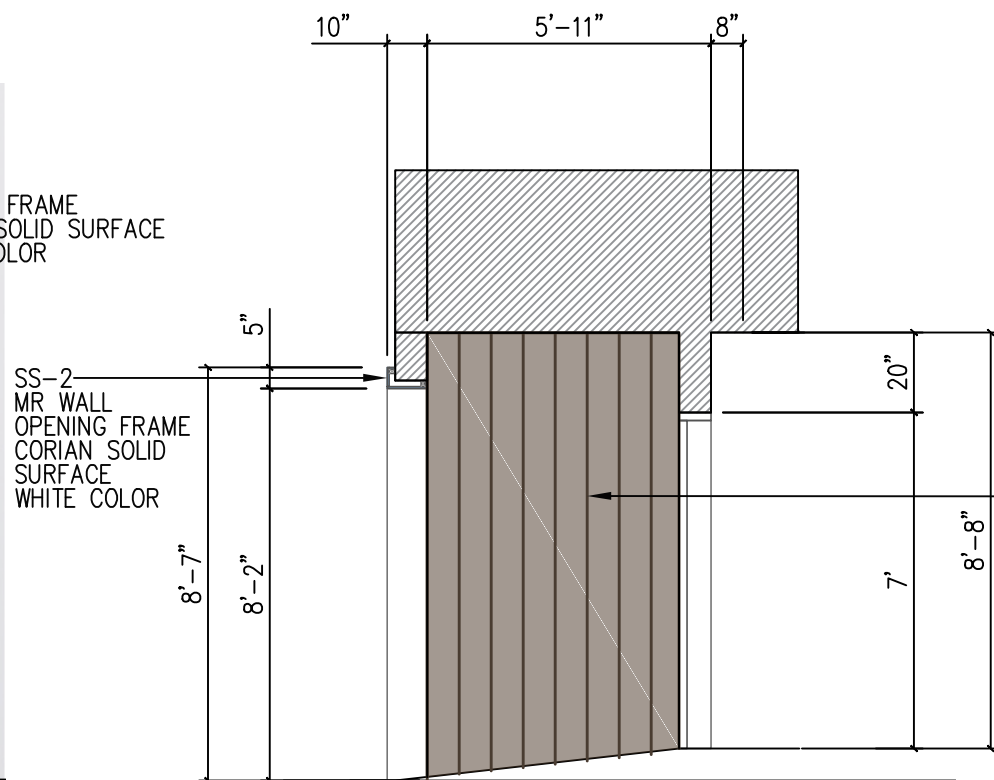
PROJECT No:	23-01H	
DATE:	07-25-2025	
DRAWN BY:	WHAIV	
#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE
ENLARGED ELEVATIONS
SCALE: 1/4" = 1'-0"

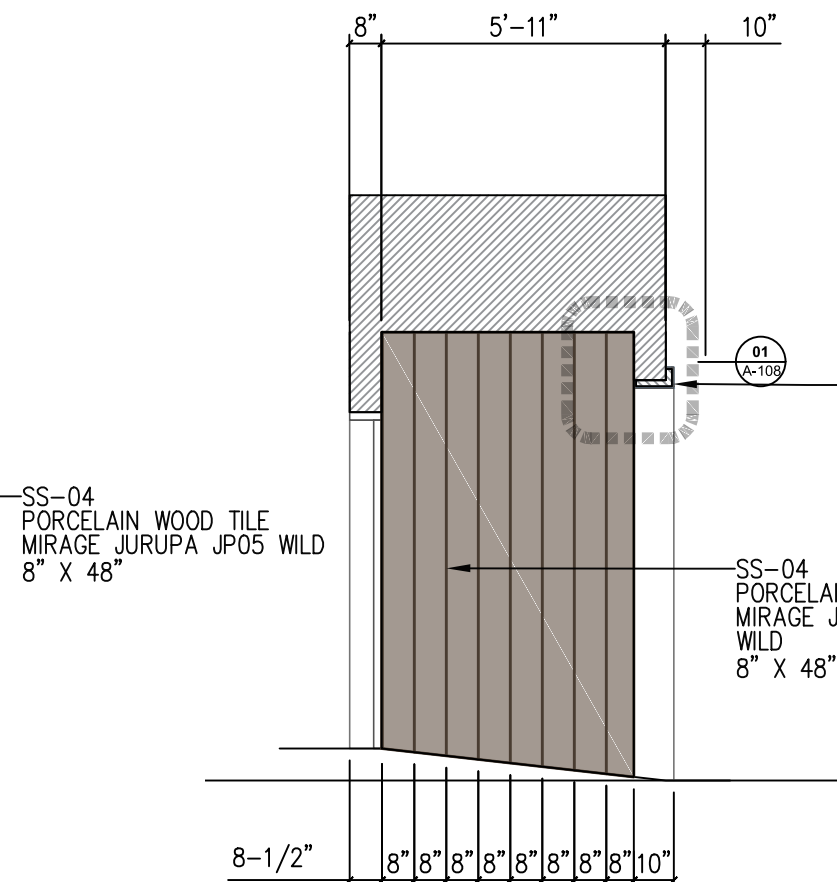
SHEET NO.
A-107
file:
23-01h-2025-08-22-hpb-rev-1.dwg



VIP ACCESS ELEVATION
SCALE: 1/4" = 1'-0"



VIP ACCESS SECTION A
SCALE: 1/4" = 1'-0"



VIP ACCESS SECTION B
SCALE: 1/4" = 1'-0"

SS-2
MR WALL
OPENING FRAME
CORIAN SOLID SURFACE
WHITE COLOR

SS-2
MR WALL
OPENING FRAME
CORIAN SOLID SURFACE
WHITE COLOR

SS-04
PORCELAIN WOOD TILE
MIRAGE JURUPA JP05 WILD
8" X 48"

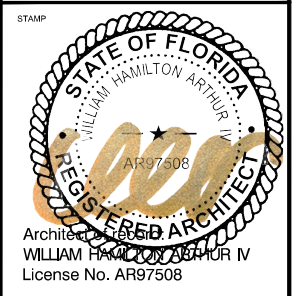
01
A-108

SS-2
MR WALL
OPENING FRAME
CORIAN SOLID SURFACE
WHITE COLOR

SS-04
PORCELAIN WOOD TILE
MIRAGE JURUPA JP05
WILD
8" X 48"



WHAA
Architect of record: WILLIAM HAMILTON ARTHUR IV
License No. AR97508
2920 Ponce de Leon Blvd
Coral Gables, Florida 33134-6811



DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED USING THE ELECTRONIC DOCUMENT.

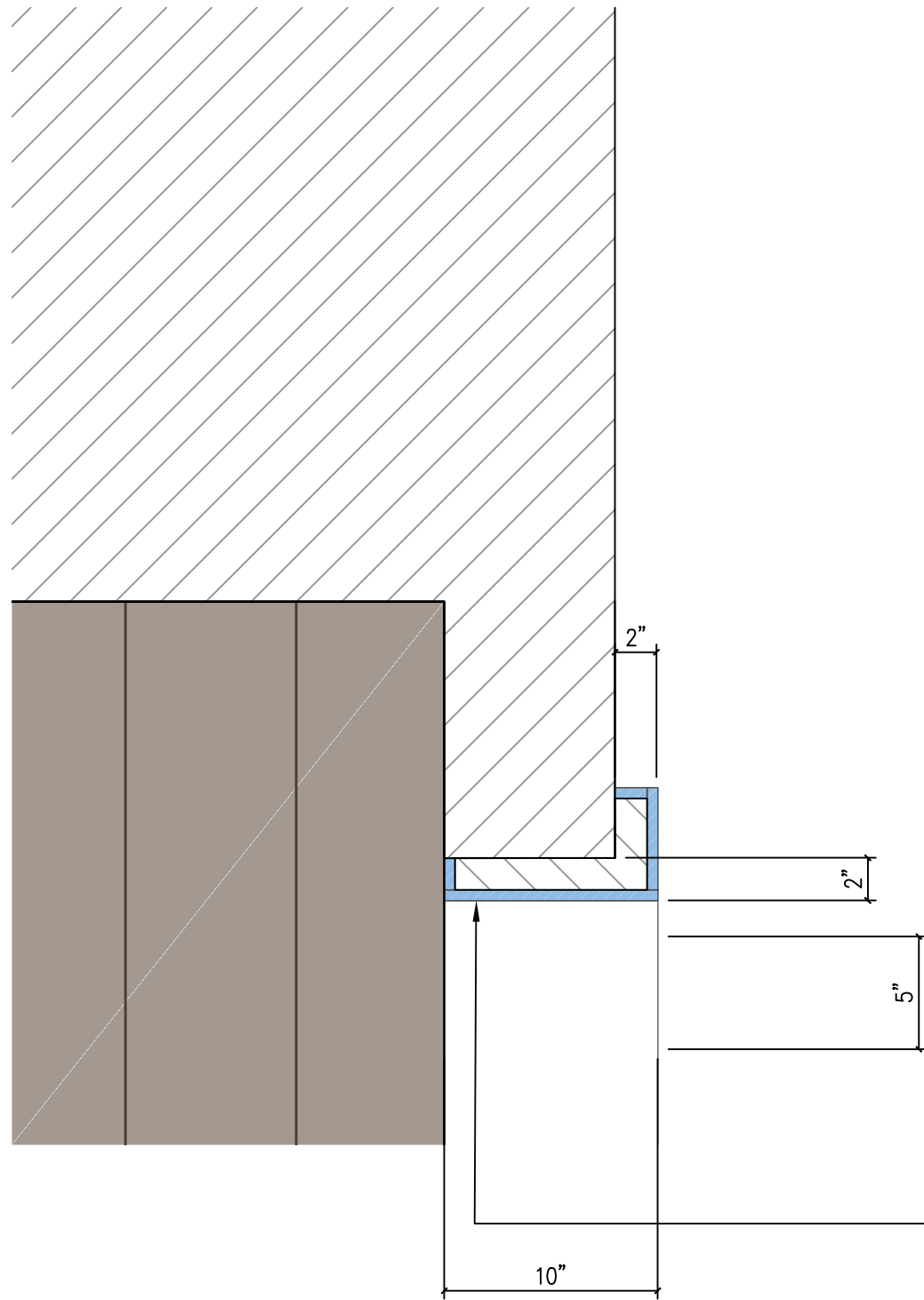
Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

PROJECT No: 23-01H
DATE: 07-25-2025
DRAWN BY: WHAIV

#	ISSUE	DATE
1	HPB Comments	08/22/2025

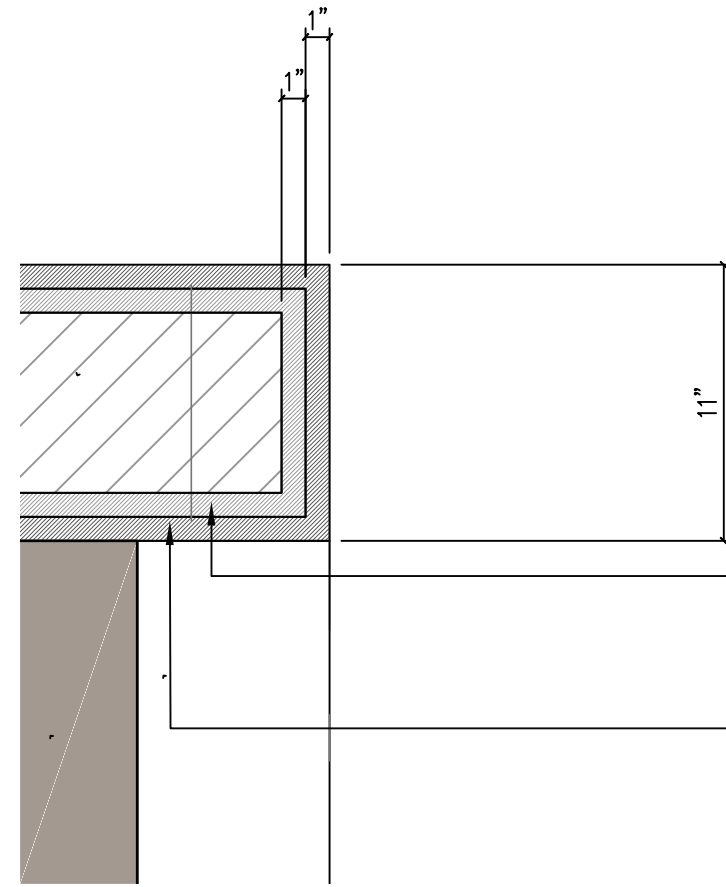
SHEET TITLE
ENLARGED ELEVATIONS
SCALE: 1/4" = 1'-0"

SHEET NO
A-108
file:
23-01h-2025-08-22-hpb-rev-1.dwg



SS-2
MR WALL
OPENING FRAME
CORIAN SOLID SURFACE
WHITE COLOR

**BACKLIGHT
TYPICAL DETAIL**
SCALE: 1-1/2" = 1'-0"



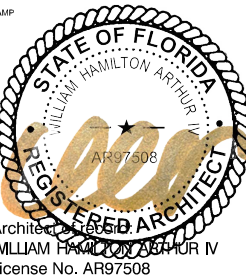
PLYWOOD
TECHNICAL SPECS
ACCORDING
TO CONTRACTOR

SS-04
PORCELAIN WOOD TILE
MIRAGE JURUPA JP05
WLD
8" X 48"

**BACKLIGHT
TYPICAL DETAIL**
SCALE: 1-1/2" = 1'-0"



WHAA
Architect of record: WILLIAM HAMILTON ARTHUR IV
License No. AR97508
2920 Ponce de Leon Blvd
Coral Gables, Florida 33134-8811



DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD
HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED
COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED
& SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED
USING THE ELECTRONIC DOCUMENT.

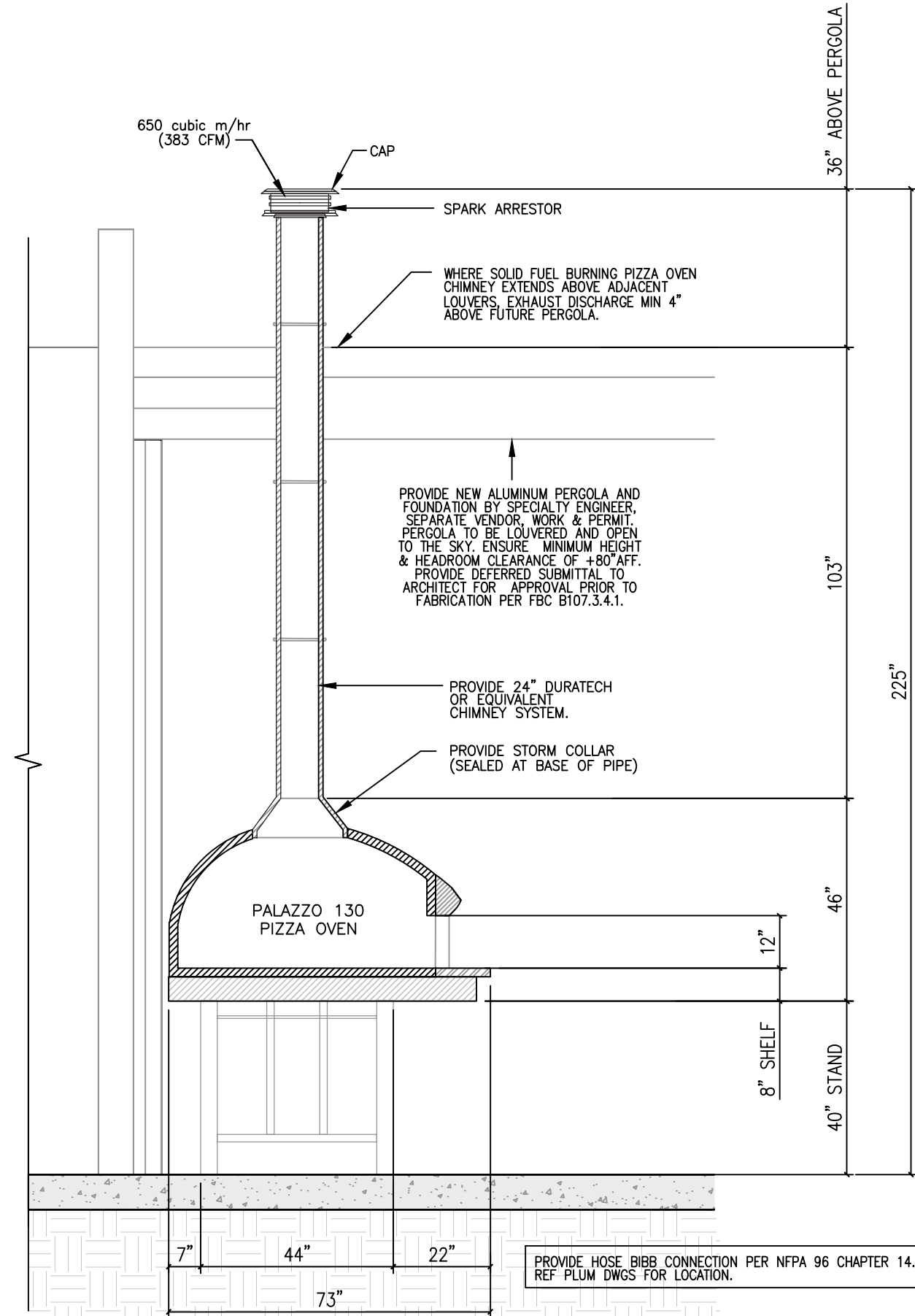
Copyright © 2023 William Hamilton Arthur,
Architect, Inc. (WHAA). Drawings, specifications
and other documents prepared by the Architect
are instruments of service and are for the Owner's
use solely with respect to this project. The
Architect shall retain all common law, statutory
and other reserved rights, including the
copyright. Any unauthorized reproduction,
modification, disclosure, and/or use of these
materials without prior written consent is strictly
prohibited and punishable by law.

PROJECT No: 23-01H
DATE: 07-25-2025
DRAWN BY: WHAIV

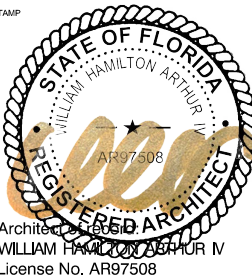
#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE
**ENLARGED
SECTION**
SCALE: 1-1/2" = 1'-0"

SHEET NO
A-109
file:
23-01h-2025-08-22-hpb-rev-1.dwg



WHAA
 Architect of record: WILLIAM HAMILTON ARTHUR IV
 License No. AR97508
 2920 Ponce de Leon Blvd
 Coral Gables, Florida 33134-6811



DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED USING THE ELECTRONIC DOCUMENT.

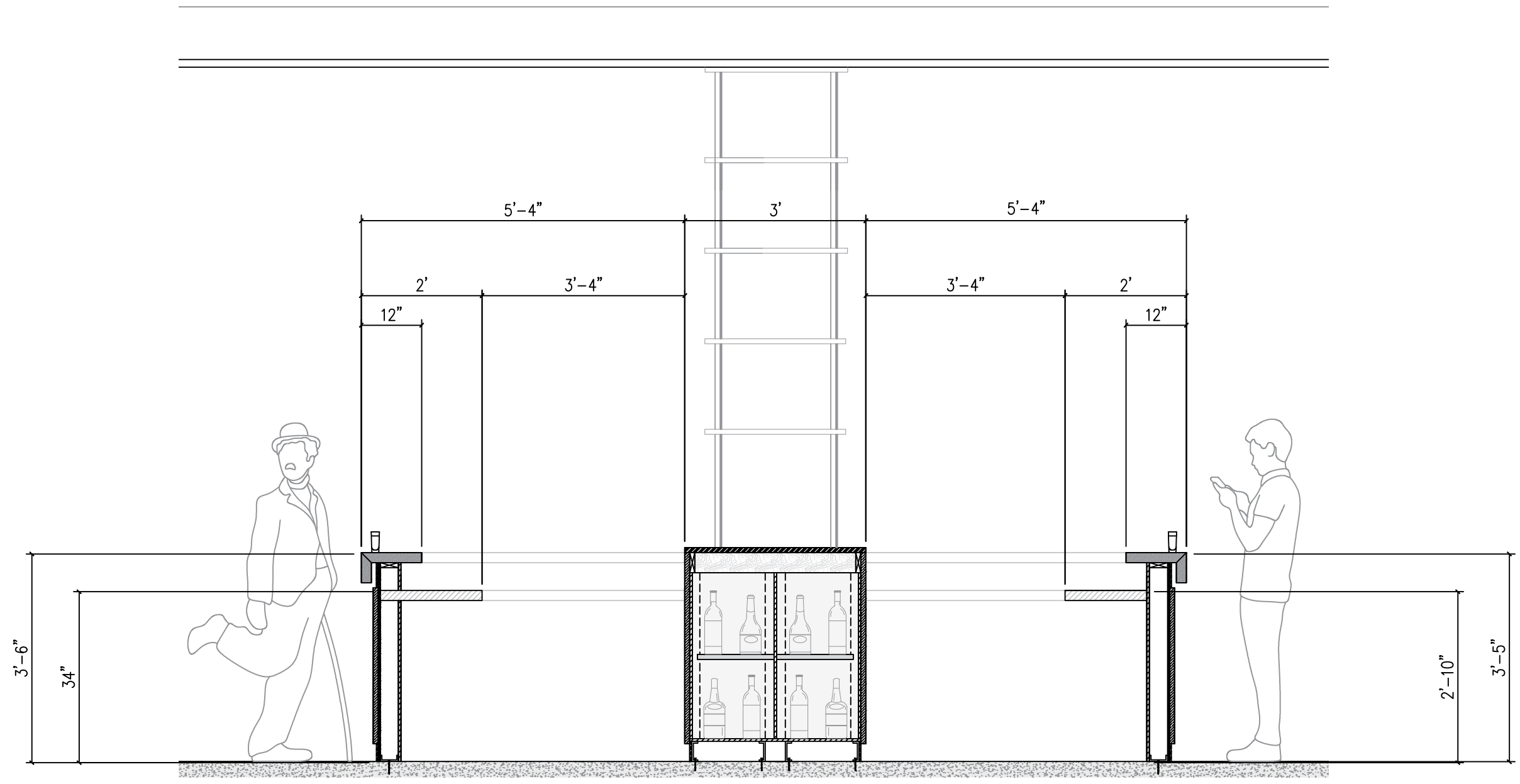
Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

PROJECT No: 23-01H
 DATE: 07-25-2025
 DRAWN BY: WHAIV

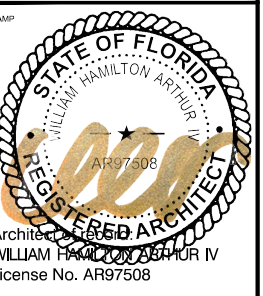
#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE
ENLARGED PIZZA OVEN
 SCALE: 3/8" = 1'-0"

SHEET NO
A-110
 file:
 23-01h-2025-08-22-hpb-rev-1.dwg



WHAA
 Architect of record: WILLIAM HAMILTON ARTHUR IV
 License No. AR97508
 2920 Ponce de Leon Blvd
 Coral Gables, Florida 33134-8811



DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD
 HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED
 COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED
 & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED
 USING THE ELECTRONIC DOCUMENT.



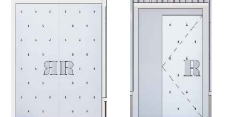







Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

PROJECT No:	23-01H	
DATE:	07-25-2025	
DRAWN BY:	WHAAIV	
#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE
**EXTERIOR
 BAR COUNTER
 DETAIL**
 SCALE: 3/8" = 1'-0"

SHEET NO
A-111
 file:
 23-01h-2025-08-22-hpb-rev-1.dwg

FINISH SCHEDULE

Item #	Item Name	Photo/Graphic	Vendor	Manufacturer	Model #	Color/Finish	Dimensions
L-1	MINUS LED SPOTLIGHT LIGHT FIXTURE SLIM PROFILE		TBD	MINUS	1-MINUS ONE	BLACK	REF MANF.
L-2	LED STRIPS FOR BACKLIT FRAME RGB		TBD	TBD	TBD	TBD	TBD
L-3	SIGN LIGHTING		TBD	TBD	TBD	TBD	TBD
SS-1	STUCCO SURFACE WITH DECORATIVE BLADES		TBD	TBD	TBD	WHITE	TBD
SS-2	MARIO ROMANO WALLS OPENING FRAME CORIAN SOLID SURFACE WHITE COLOR		MARIANO ROMANO WALLS	MARIANO ROMANO	CUSTOM	CORIAN SOLID SURFACE, WHITE	TBD
SS-3	MARIO ROMANO WALLS FRAME CORIAN SOLID SURFACE WHITE COLOR		MARIANO ROMANO WALLS	MARIANO ROMANO	CUSTOM	CORIAN SOLID SURFACE, WHITE	TBD
SS-4	PORCELAIN WOOD TILE MIRAGE JURUPA JP05 WILD 8" X 48"		MIRAGE	MIRAGE	JURUPA JP05 WILD	PORCELAIN	8"X48"
SS-5	MARIO ROMANO WALL WHITE FRAME FOR SIGN FLAT CORIAN SOLID SURFACE WHITE COLOR		MARIANO ROMANO WALLS	CORIAN	TBD	CORIAN SURFACE WHITE	TBD
SS-6	MARIO ROMANO WALL FRAME CORIAN SOLID SURFACE WHITE COLOR		MARIANO ROMANO WALLS	CORIAN	TBD	WHITE	TBD
SS-7	MARIO ROMANO WALL BLACK FRAME FOR NAME		MARIANO ROMANO WALLS	TBD	TBD	BLACK	TBD
F-1	PERGOLA BY OTHERS		TBD	TBD	TBD	BLACK	TBD
DR-1	EXTERIOR DOOR		CUSTOM	TBD	TBD	TBD	TBD
DR-2	EXTERIOR DOOR		CUSTOM	TBD	TBD	TBD	TBD
P-1	EXTERIOR WALL PAINT		SHERWIN WILLIAMS	SHERWIN WILLIAMS	SW7006	EXTRA WHITE	TBD



WHAA
 Architect of record: WILLIAM HAMILTON ARTHUR IV
 License No. AR97508
 2920 Ponce de Leon Blvd
 Coral Gables, Florida 33134-8811



DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur, Architect, Inc. (WHAA). Drawings, specifications and other documents prepared by the Architect are instruments of service and are for the Owner's use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Any unauthorized reproduction, modification, disclosure, and/or use of these materials without prior written consent is strictly prohibited and punishable by law.

PROJECT No: 23-01H
 DATE: 07-25-2025
 DRAWN BY: WHAIV

#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE
FINISH SCHEDULE

SHEET NO
A-200
 file:
 23-01h-2025-08-22-hpb-rev-1.dwg

RAIN

NIGHT CLUB MIAMI

WHAA
Architect of record: WILLIAM HAMILTON ARTHUR IV
License No. AR97508
2920 Ponce de Leon Blvd
Coral Gables, Florida 33134-8811

Architect of record:
WILLIAM HAMILTON ARTHUR IV
License No. AR97508

DIGITALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD
HAVING A DATE LISTED ADJACENT TO THE SEAL. PRINTED
COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED
& SEALED. THE SIGNATURE CAN ONLY BE AUTHENTICATED
USING THE ELECTRONIC DOCUMENT.

Copyright © 2023 William Hamilton Arthur,
Architect, Inc. (WHAA). Drawings, specifications
and other documents prepared by the Architect
are instruments of service and are for the Owner's
use solely with respect to this project. The
Architect shall retain all common law, statutory
and other reserved rights, including the
copyright. Any unauthorized reproduction,
modification, disclosure, and/ or use of these
materials without prior written consent is strictly
prohibited and punishable by law.

PROJECT No: 23-01H
DATE: 07-25-2025
DRAWN BY: WHAIV

#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE
RENDERINGS

SHEET NO
A-201
file:
23-01h-2025-08-22-hpb-rev-1.dwg

