

**RECREATION OF WASHINGTON FRONTAGE**

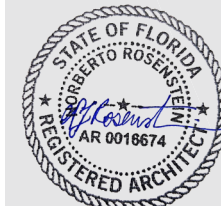


SANBORN MAP 1491-1513-1523 WASHINGTON AVE. (1951 LIBRARY OF CONGRESS)



AT MIAMI BEACH, this new commercial building, containing nine store units, has just been completed at 15th st. and Washington ave. for Daniel I. Taradash. Constructed by the Leifer Construction Co. from plans drawn by Architect Albert Anis, the building front 140 feet on Washington ave. and extends 80 feet in depth. Management of the building is by Taradash Properties, 927 Lincoln rd.

HISTORIC CONTEXT: FACADE OF THE EXISTING BUILDING



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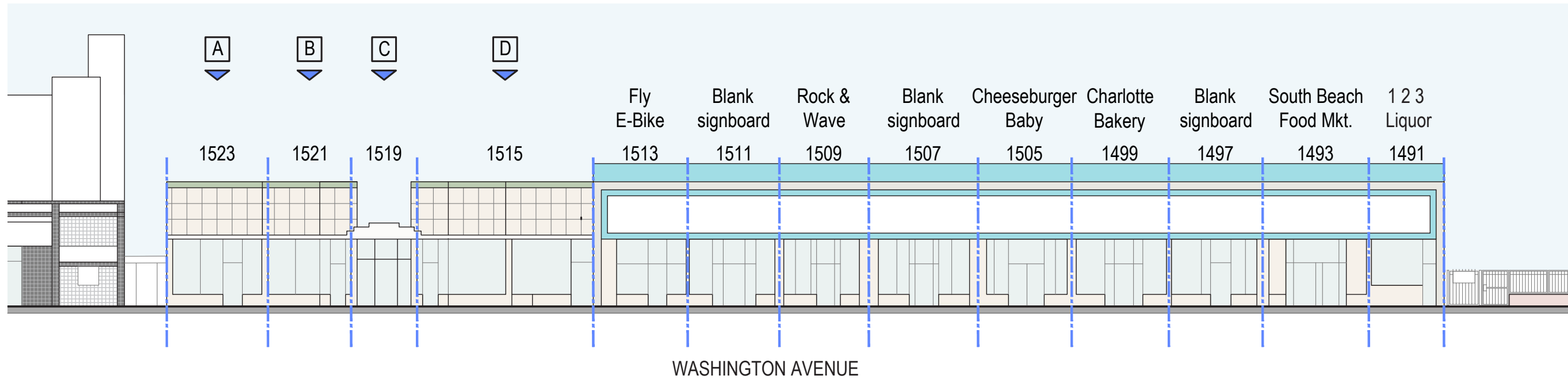
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TREEHOUSE HOTEL,  
MIAMI BEACH

1500 COLLINS +  
1509-1515 WASHINGTON  
AVE, MIAMI BEACH, FL,  
33139

HISTORIC PHOTOS



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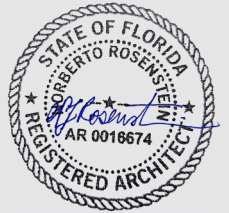
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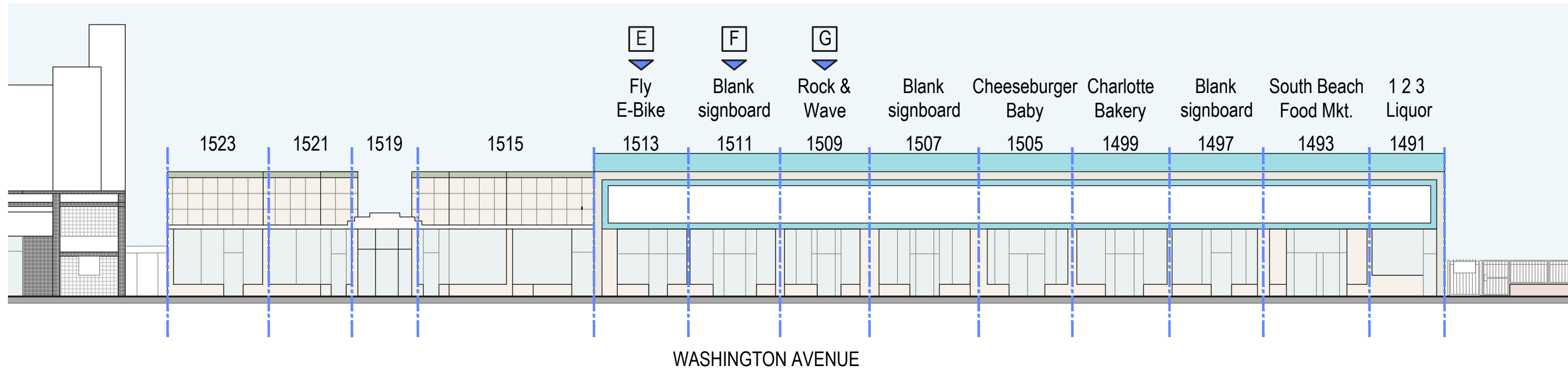
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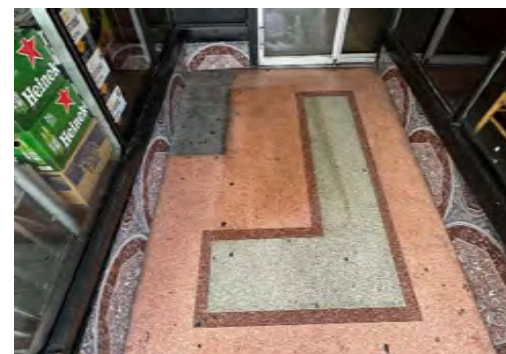
EXISTING CONDITIONS



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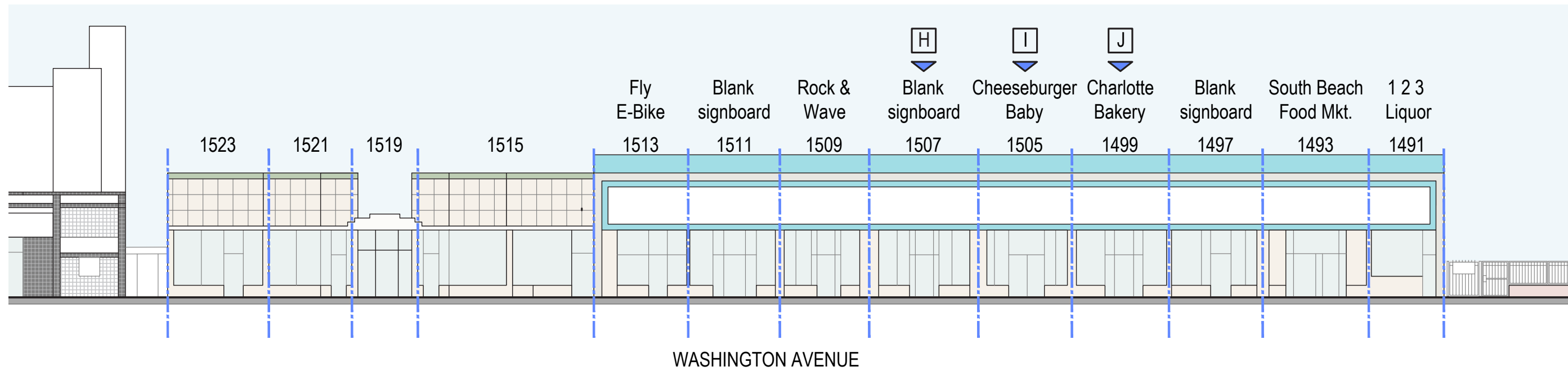
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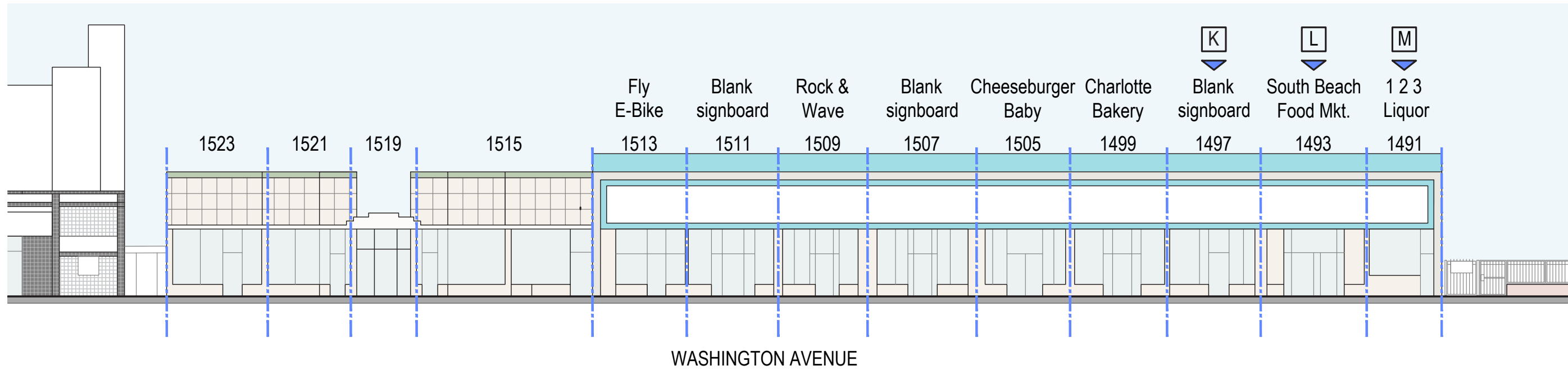
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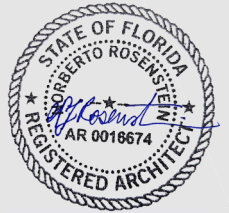
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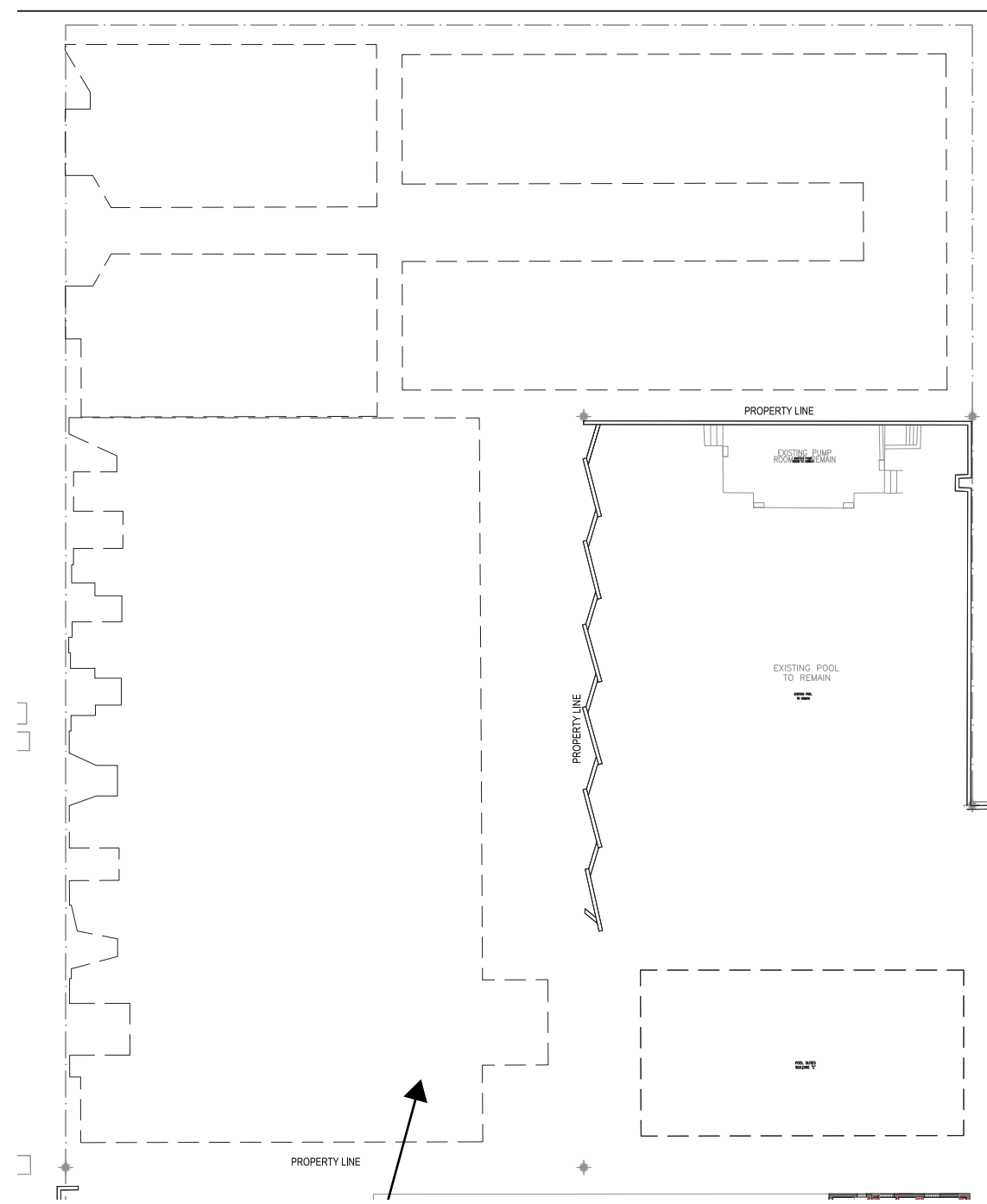
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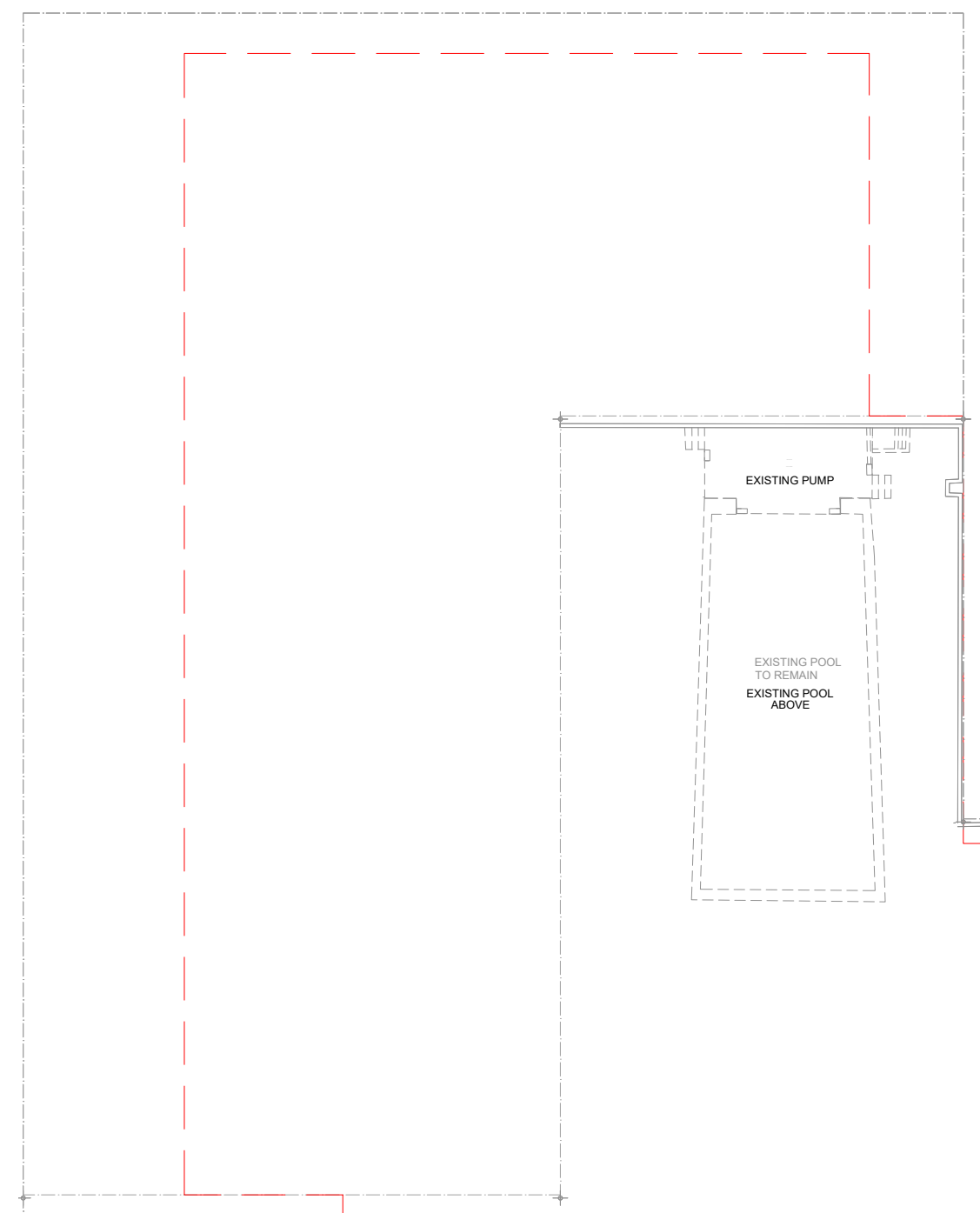
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**DEMOLITION / PROPOSED  
- LEVEL 00**

A3-06



**LEVEL 00: DEMOLITION**



**LEVEL 00: PROPOSED**

SCALE: 1/32" = 1'-0"





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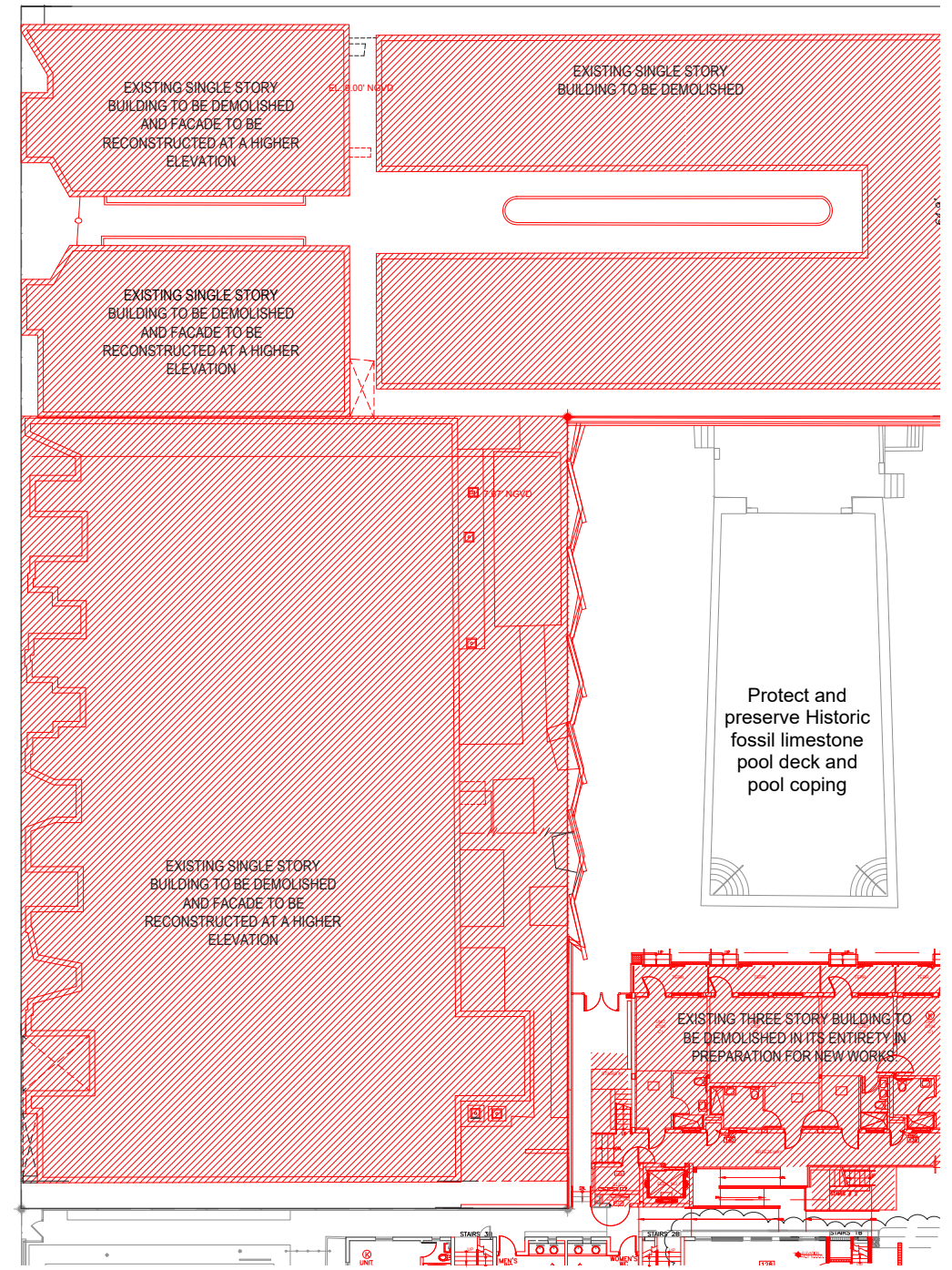
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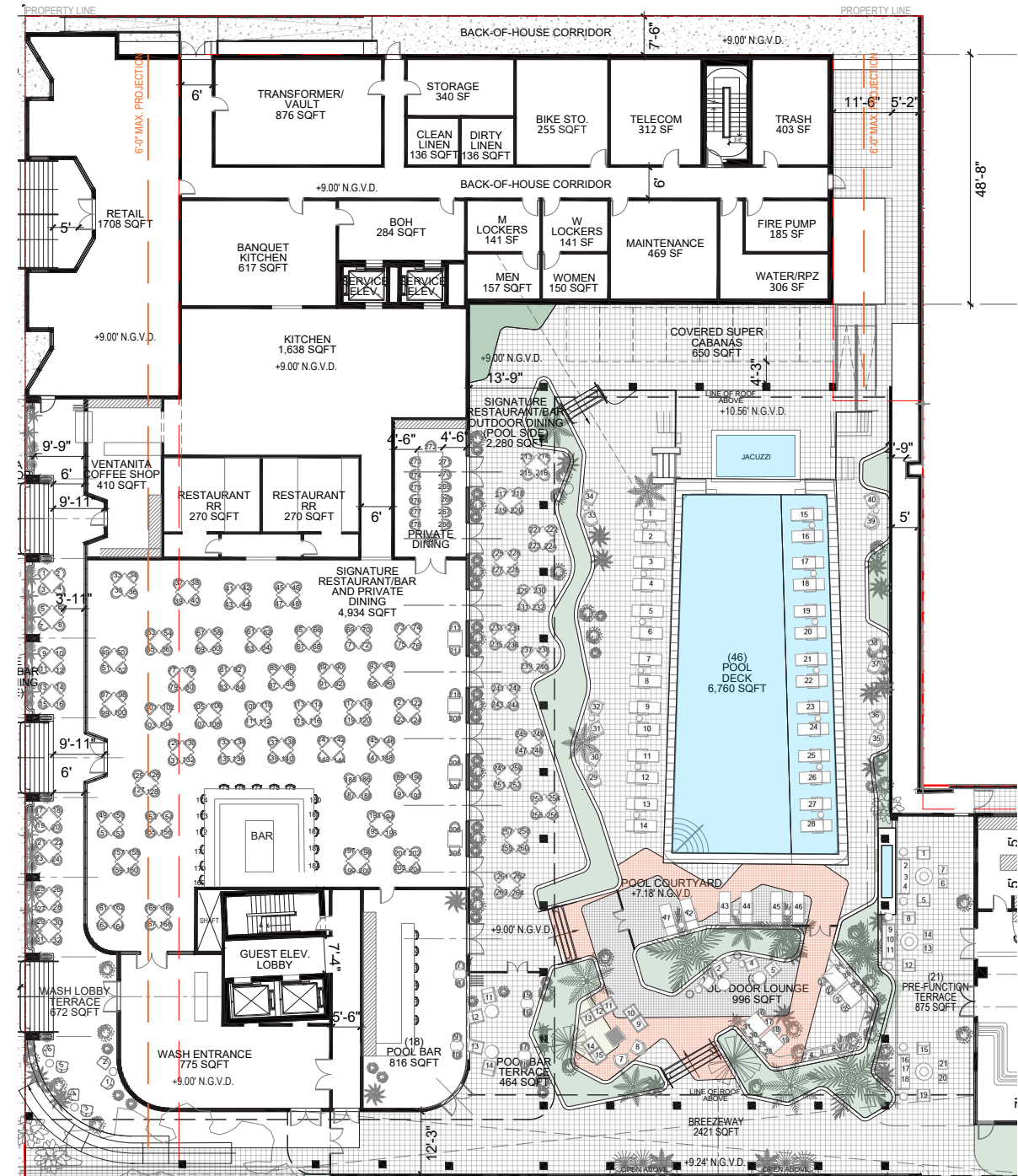
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**DEMOLITION / PROPOSED - LEVEL 01**  
A3-07

EL. 5.00' NGVD (EX. SIDEWALK)  
EL. 6.50' NGVD (FUTURE C.O.A.)



LEVEL 01: DEMOLITION



LEVEL 01: PROPOSED

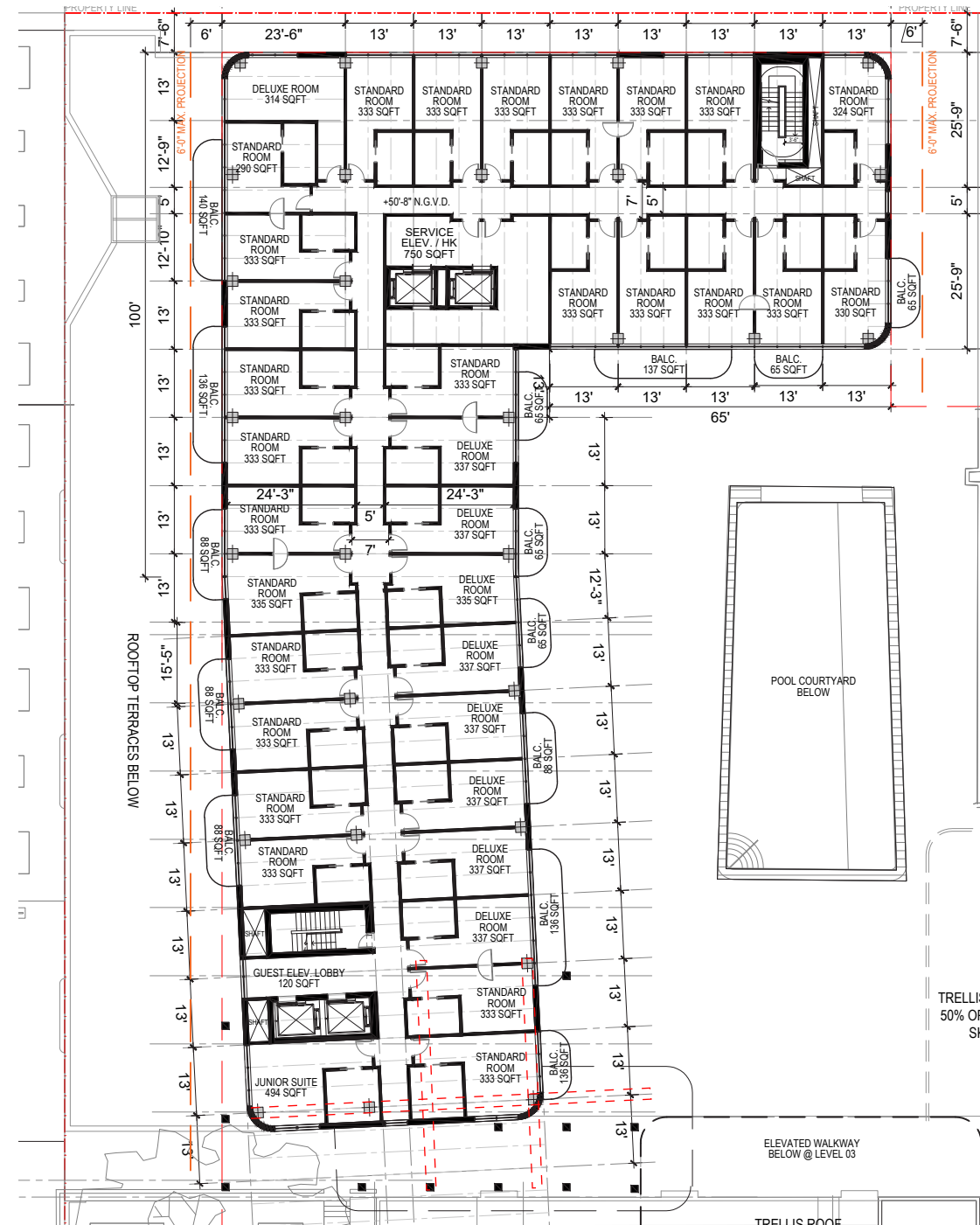
SCALE: 1/32" = 1'-0"











LEVEL 05: PROPOSED

SCALE: 1/32" = 1'-0"



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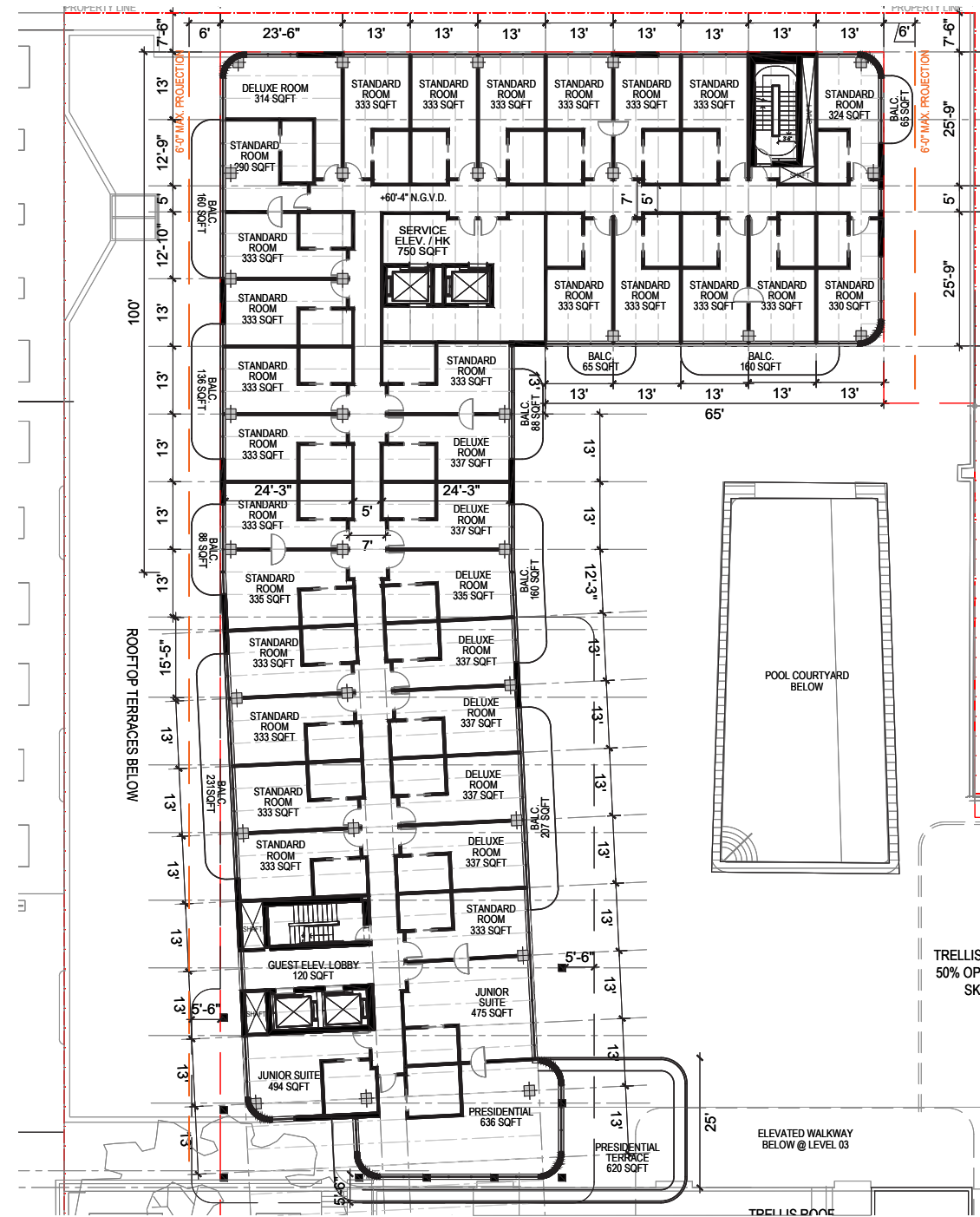
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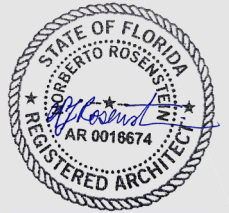
PROPOSED PLAN  
- LEVEL 05

A3-11



LEVEL 06: PROPOSED

SCALE: 1/32" = 1'-0"



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PROPOSED PLAN  
- LEVEL 06

A3-12



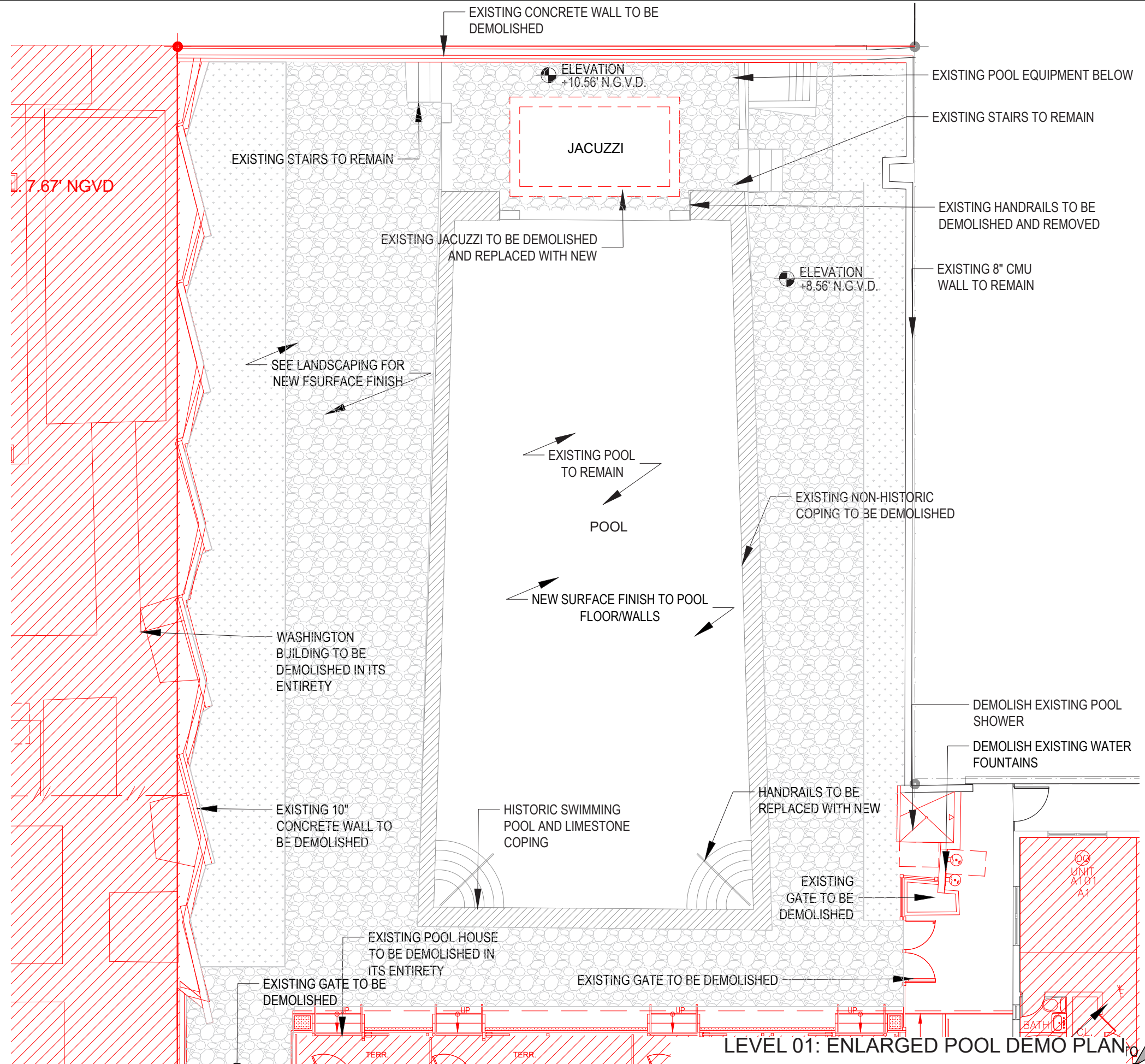


# LEGEND

- EXISTING STRUCTURE TO BE DEMOLISHED IN ITS ENTIRETY
- EXISTING FLOOR TO BE DEMOLISHED
- EXISTING STRUCTURE TO REMAIN, PRESERVE AND PROTECT

# GENERAL NOTES

1. ALL SIGNIFICANT ORIGINAL ARCHITECTURAL FEATURES ARE TO BE RESTORED, PRESERVED AND RETAINED.
2. PROJECT DESIGN MAINTAINS EXISTING FLOOR FINISHES AND VOLUMETRIC INTENT OF ANCILLARY PUBLIC SPACES IN HADDON HALL.
3. EXISTING DOORS AND WINDOWS TO BE REMOVED AND REPLACED WITH NEW TO MEET HURRICANE CODE REQUIREMENTS. PROJECT DESIGN WILL PRESERVE AND RESTORE ALL HISTORICAL ELEMENTS TO GENERAL OF EXTERIOR FACADE, HISTORIC LOBBY, WALLS, CEILING AND PORCH UNLESS STATED OTHERWISE.
5. ALL EXTERIOR WALLS MUST BE PROPERLY SHORED DURING AND AFTER DEMOLITION. REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR ADDITIONAL DETAIL.
6. ALL BUILDING STUCCO EXTERIORS TO BE RESTORED AND REPAINTED TO MATCH EXISTING



LEVEL 01: ENLARGED POOL DEMO PLAN

SCALE: 3/32" = 1'-0" N



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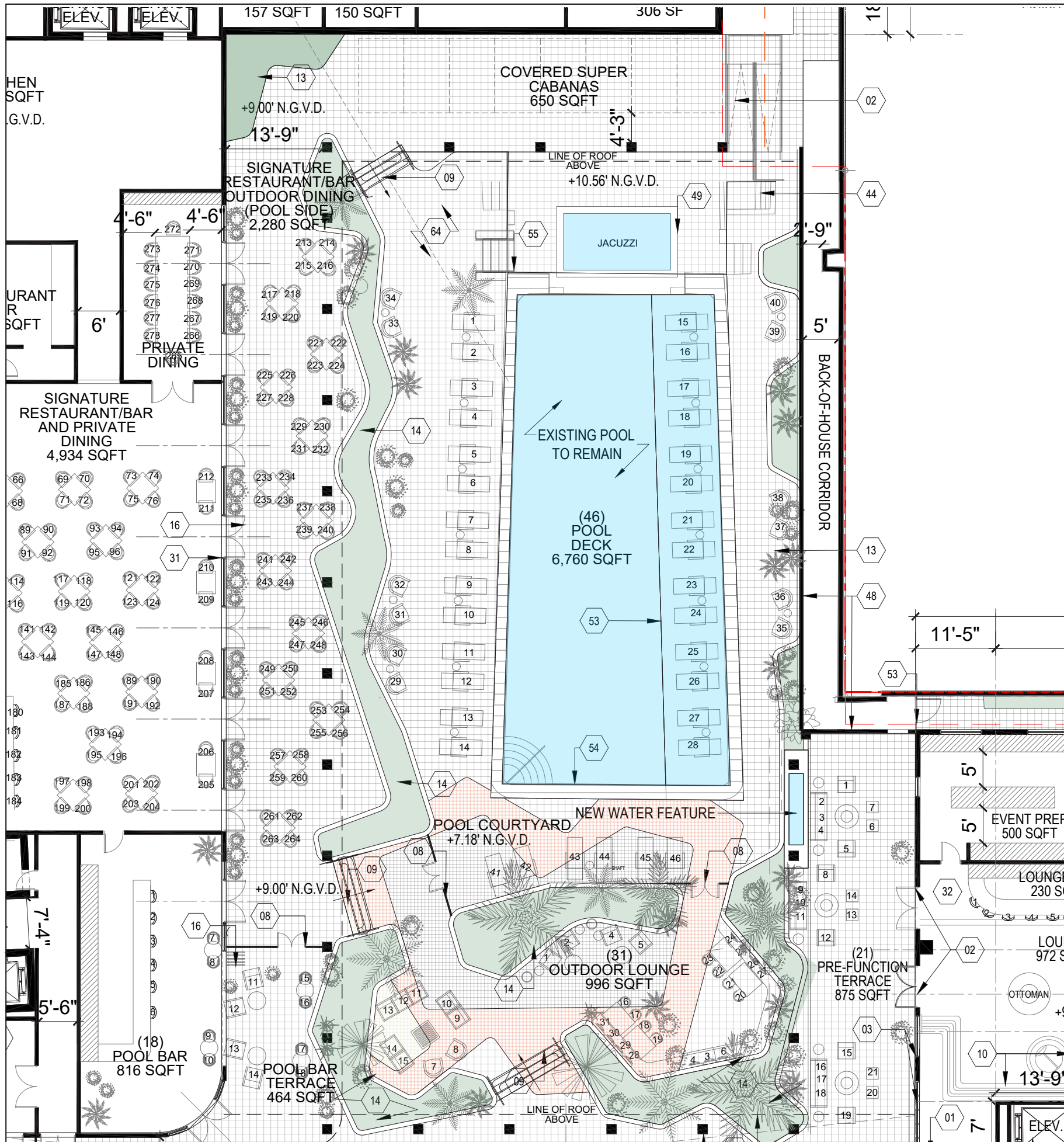
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ENLARGED PLAN - POOL DECK DEMOLITION  
A3-15



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6. ALL BUILDING STUCCO EXTERIORS TO BE RESTORED AND REPAINTED TO MATCH EXISTING

**KEYNOTES**

- 01 EXISTING DOOR/WINDOW TO REMAIN
- 02 NEW DOORS
- 03 NEW ENLARGED WINDOWS (REFERENCE ELEVATIONS)
- 04 EXISTING HISTORICAL PLANTER TO REMAIN
- 05 EXISTING TERRACE AND TERRAZZO TO REMAIN
- 06 EXISTING HISTORICAL ARCHITECTURAL DETAIL TO REMAIN
- 07 RECONSTRUCTED CONCRETE COLUMN IN WHITE STUCCO FINISH
- 08 NEW LIFE SAFETY GATE
- 09 CONCRETE STAIRS WITH STAINED CONCRETE TILE RISERS
- 10 PRESERVED AND RESTORED HISTORICAL TERRAZZO DETAIL
- 11 NEW PAIR OF DOORS IN EXISTING WINDOW OPENING. ENLARGE OPENING TO EXTEND TO THE EXISTING TERRACE.
- 12 NEW RAMP
- 13 GARDEN BED WITH INTEGRATED IRRIGATION
- 14 ELEVATED STUCCO PLANTER WITH INTEGRATED IRRIGATION AND DRAINAGE
- 15 PLANTER BEDS WITH INTEGRATED IRRIGATION AND DRAINAGE
- 16 OPERABLE GLASS DOORS
- 17 LINE OF ELEVATED OPEN AIR WALKWAY
- 18 LINE OF TRELLIS PROJECTION ABOVE @ 50% OPEN TO SKY
- 19 GUEST ELEVATOR
- 20 SERVICE ELEVATOR
- 41 PAINTED STAINLESS STEEL TRELLIS WITH INTEGRATED PLUMBING AND UP-LIGHTING; 50% OPEN TO SKY
- 42 18" ELEVATED COPING @ WATER FEATURE
- 43 OPERABLE PARTITIONS
- 44 EXISTING BASEMENT LEVEL ENTRY
- 45 EXISTING HISTORIC ADDRESS MONUMENT SIGN TO BE PRESERVED
- 46 EXISTING HISTORIC FRIEZE TO REMAIN
- 47 EXISTING HISTORIC STATUE AND FOUNTAIN TO REMAIN, NEW MOSAIC TILE ON BASE AND INSIDE HISTORIC BASIN
- 48 NEW BREEZE BLOCK GREEN WALL
- 49 NEW HOT TUB IN EXISTING LOCATION CONSTRUCTED 18" ABOVE FINISH FLOOR
- 50 NEW WROUGHT IRON FENCE
- 51 EXISTING LIMESTONE GARDENWALL
- 52 EXISTING CAMPTON ENTRY GATE TO BE PRESERVED
- 53 NEW IN-POOL WATER LEDGE WITH CUSTOM MOSAIC TILE
- 54 NEW POOL COPING
- 55 NEW STAIRS AND STONE GUARDRAIL
- 56 EXISTING FIREPLACE TO REMAIN AND BE PRESERVED
- 57 EXISTING H AND RE DDI

- 21 PRESERVED HISTORICAL EYEBROW BELOW WITH UNDERSIDE PAINTED IN STREAMLINE MODERN PINK, TYP.
- 22 NEW EGRESS STAIRS
- 23 EXISTING EGRESS STAIRS
- 24 NEW STAIRS
- 25 MECHANICAL/SHAFT VAULTS
- 26 TYP. BALCONY PROJECTION: GLASS RAILING WITH STAINLESS STEEL SHOE AND TOP RAIL
- 27 FLUTED WHITE STUCCO COLUMN, TYP.
- 28 FLUTED STUCCO PANEL: ARCHITECTURAL DETAIL, TYP.
- 29 SERVICE DOOR
- 30 GLAZING SYSTEM TYP.
- 31 STOREFRONT FACADE
- 32 NEW TERRAZZO TO COORDINATE BUT DIFFERENTIATE
- 33 GUEST SUITE GARDEN GATE CONNECTOR
- 34 DOOR AT CONNECTIONS BETWEEN GUESTROOMS
- 35 LINE OF HISTORICAL HADDON HALL CANOPY AND SIGNAGE BELOW
- 36 RECONSTRUCTED HISTORICAL WASHINGTON FACADE BELOW
- 37 PARAPET PLANTERS WITH INTEGRATED IRRIGATION AND DRAINAGE
- 38 PROPOSED WINDOW INFILL WITH BRICKS AND PAINTED TO MATCH STUCCO
- 39 PROJECTING CONCRETE BALCONY WITH WHITE STUCCO; GLASS GUARDRAIL WITH STAINLESS STEEL SHOE AND TOP CAP.
- 40 NEW EGRESS EXIT
- 58 COLUMN OF PAINTED STAINLESS STEEL TRELLIS WITH INTEGRATED PLUMBING AND UP-LIGHTING; 50% OPEN TO SKY
- 60 LOCATION FOR SIGNAGE
- 61 EXISTING LANDSCAPE TO REMAIN
- 62 NEW HARDSCAPE (REF. LANDSCAPE)
- 63 WALK-UP WINDOW AND COUNTER
- 64 EXISTING LIMESTONE POOL DECK TO REMAIN
- 65 PROPOSED DOOR @ LEVEL 03 TO CONNECT TO ARCHITECTURAL BREEZEWAY/ELEVATED WALKWAY
- 66 NEW ROOF SYSTEM
- 67 BACKLIT TERRACOTTA BREEZE BLOCK MECHANICAL SCREENING
- 68 POWDER COATED STEEL GUARDRAIL
- 69 EXISTING COLUMN TO REMAIN

**LEVEL 01: ENLARGED POOL PLAN**

SCALE: 1/16" = 1'-0"



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**TREEHOUSE HOTEL, MIAMI BEACH**  
  
1500 COLLINS +  
1509-1515 WASHINGTON  
AVE, MIAMI BEACH, FL,  
33139

**ENLARGED PLAN - POOL DECK PROPOSED**  
A3-16

**LEGEND**

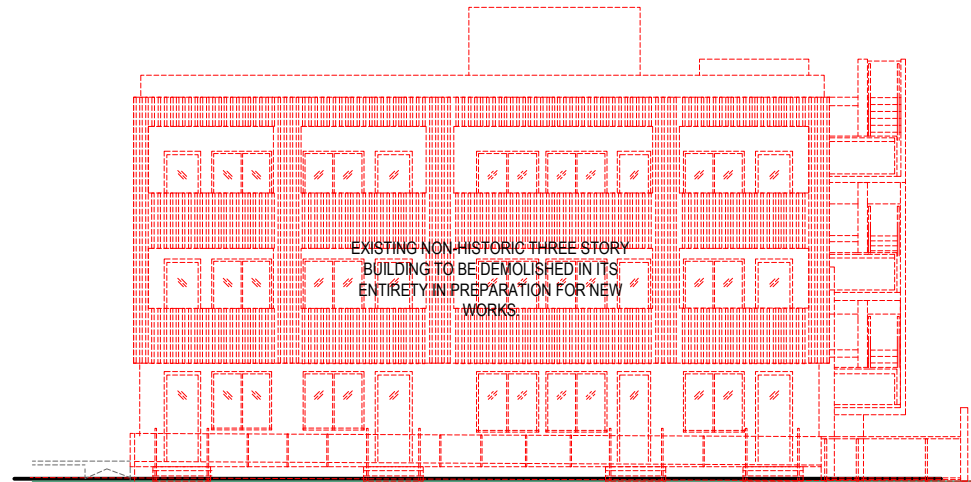
-  EXISTING STRUCTURE TO BE DEMOLISHED IN ITS ENTIRETY
-  EXISTING FLOOR TO BE DEMOLISHED
-  EXISTING STRUCTURE TO REMAIN, PRESERVE AND PROTECT

**GENERAL NOTES**

1. ALL SIGNIFICANT ORIGINAL ARCHITECTURAL FEATURES ARE TO BE RESTORED, PRESERVED AND RETAINED.
2. PROJECT DESIGN MAINTAINS EXISTING FLOOR FINISHES AND VOLUMETRIC INTENT OF ANCILLARY PUBLIC SPACES IN HADDON HALL.
3. EXISTING DOORS AND WINDOWS TO BE REMOVED AND REPLACED WITH NEW TO MEET HURRICANE CODE REQUIREMENTS.
4. PROJECT DESIGN WILL PRESERVE AND RESTORE ALL HISTORICAL ELEMENTS TO GENERAL OF EXTERIOR FACADE, HISTORIC LOBBY, WALLS, CEILING AND PORCH UNLESS STATED OTHERWISE.
5. ALL EXTERIOR WALLS MUST BE PROPERLY SHORED DURING AND AFTER DEMOLITION. REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR ADDITIONAL DETAIL.
6. ALL BUILDING STUCCO EXTERIORS TO BE RESTORED AND REPAINTED TO MATCH EXISTING

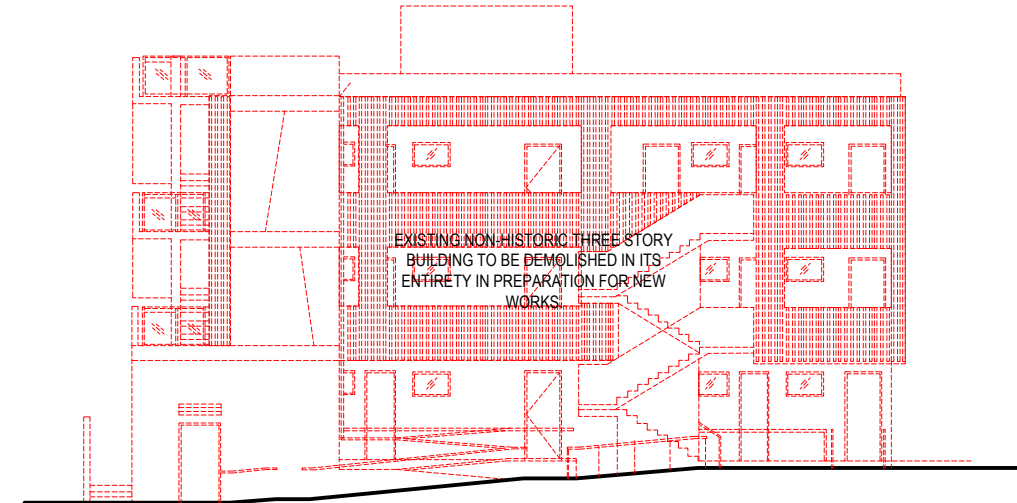
**KEYNOTES**

- 01 EXISTING DOOR/WINDOW TO REMAIN
- 02 EXISTING DOOR/WINDOW TO BE REPLACED
- 03 EXISTING TERRAZZO FLOOR TO BE REMOVED AND REPLACED WITH SIMILAR
- 04 EXISTING FINISH FLOOR ABOVE TERRAZZO TO BE REMOVED, TERRAZZO TO BE RESTORED
- 05 EXISTING TERRAZZO FLOOR DETAIL TO BE REPAIRED, RESTORED AND PRESERVED
- 06 EXISTING COLUMNS TO BE REMOVED
- 07 FLOORING TO BE DEMOLISHED, AND TO RECEIVE NEW STRUCTURE
- 08 HISTORIC FOUNTAIN LOCATION TO REMAIN, PRESERVED AND RETAINED
- 09 EXISTING HISTORIC DOORS AND FRAMES TO REMAIN
- 10 ROOFING TO BE REMOVED AND REDONE
- 11 EXISTING EXTERIOR AND ON-GRADE PAVING TO BE REMOVED FOR NEW BREEZEWAY
- 12 EXISTING OVERHANG TO REMAIN
- 13 EXISTING PAVING TO BE REMOVED



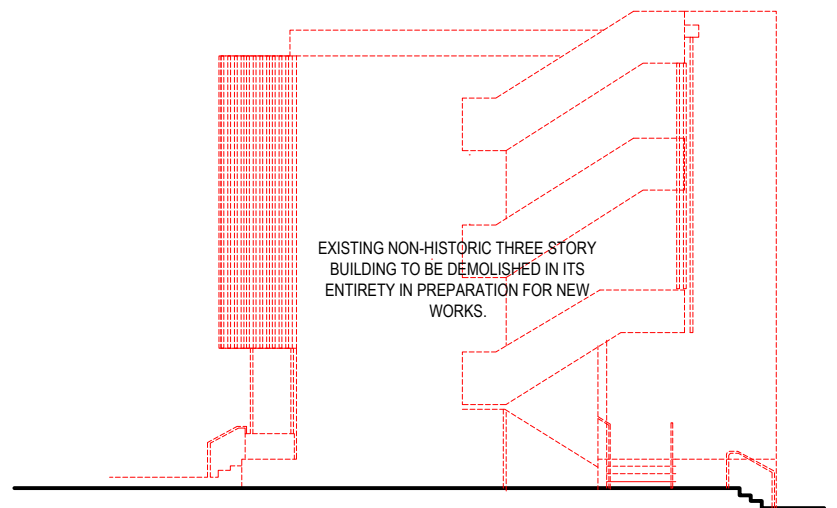
**1 | DEMOLITION POOL HOUSE NORTH ELEVATION**

SCALE: 1/16"=1'-0"



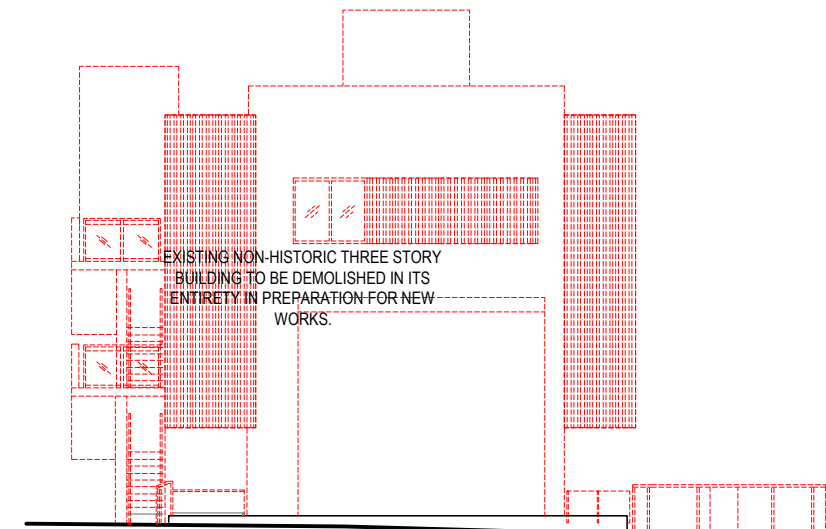
**2 | DEMOLITION POOL HOUSE WEST ELEVATION**

SCALE: 1/16"=1'-0"



**3 | DEMOLITION POOL HOUSE EAST ELEVATION**

SCALE: 1/16"=1'-0"



**4 | DEMOLITION POOL HOUSE WEST ELEVATION**

SCALE: 1/16"=1'-0"



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TREEHOUSE HOTEL,  
MIAMI BEACH

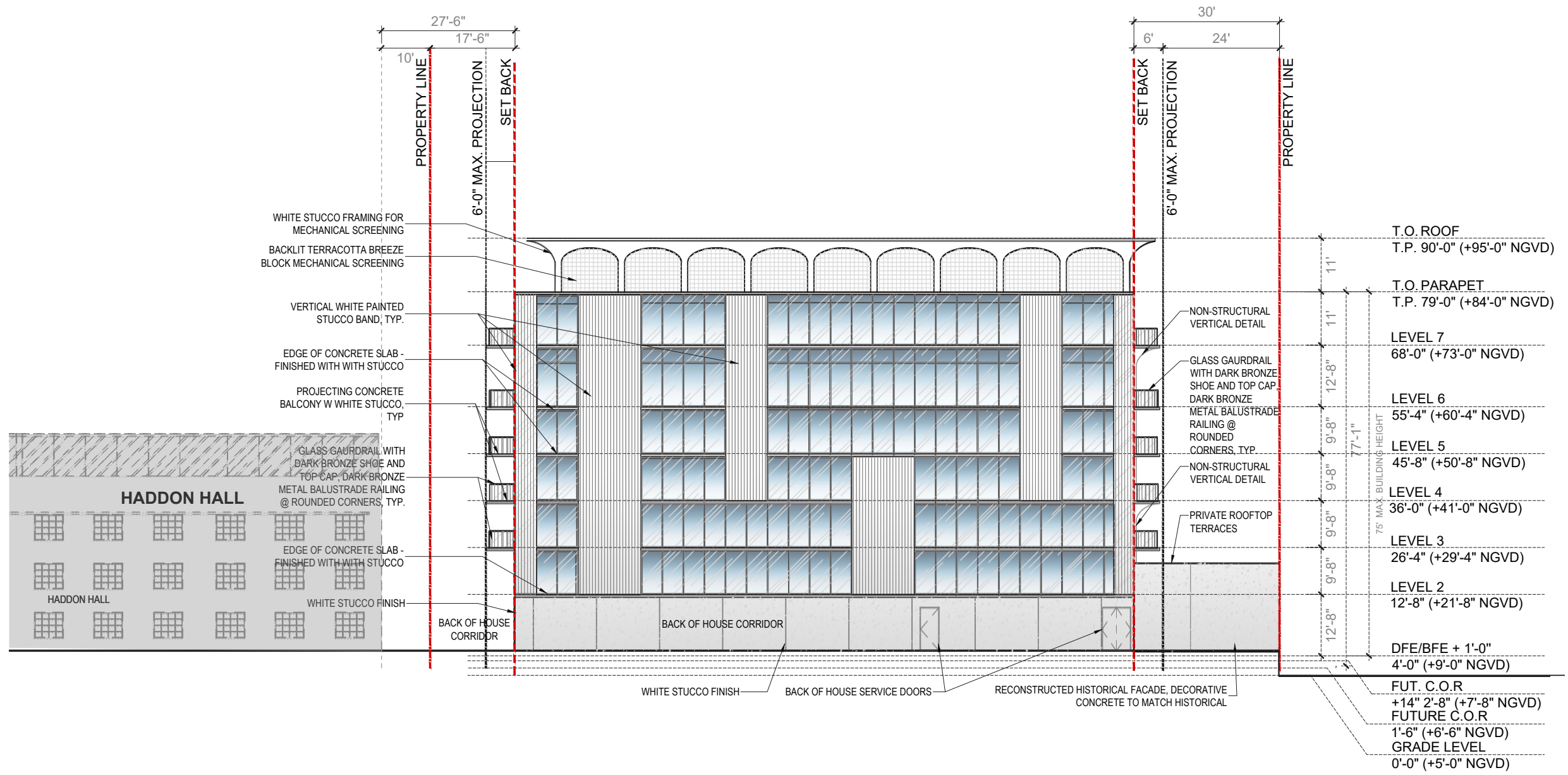
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POOL DECK ELEVATION

A3-17

**POOL HOUSE DEMO ELEVATIONS**

SCALE: 1/16" = 1'-0"



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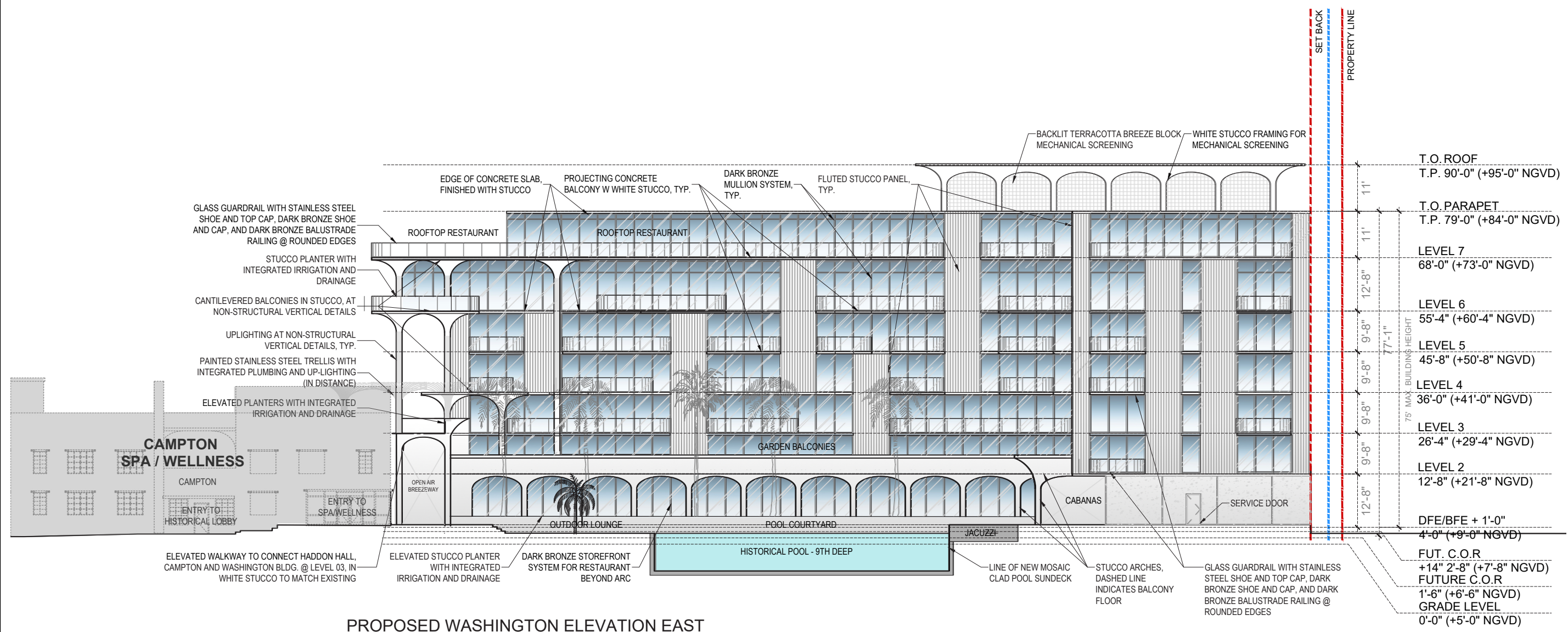
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**DEMOLITION / PROPOSED NORTH ELEVATION**  
A3-18

**WASHINGTON NORTH FACADE ELEVATION**

SCALE: 1/25" = 1'-0"



**PROPOSED WASHINGTON ELEVATION EAST**

SCALE: 1 / 25" = 1'-0"

- T.O. ROOF  
T.P. 90'-0" (+95'-0" NGVD)
- T.O. PARAPET  
T.P. 79'-0" (+84'-0" NGVD)
- LEVEL 7  
68'-0" (+73'-0" NGVD)
- LEVEL 6  
55'-4" (+60'-4" NGVD)
- LEVEL 5  
45'-8" (+50'-8" NGVD)
- LEVEL 4  
36'-0" (+41'-0" NGVD)
- LEVEL 3  
26'-4" (+29'-4" NGVD)
- LEVEL 2  
12'-8" (+21'-8" NGVD)
- DFE/BFE + 1'-0"  
4'-0" (+9'-0" NGVD)
- FUT. C.O.R.  
+14" 2'-8" (+7'-8" NGVD)
- FUTURE C.O.R.  
1'-6" (+6'-6" NGVD)
- GRADE LEVEL  
0'-0" (+5'-0" NGVD)



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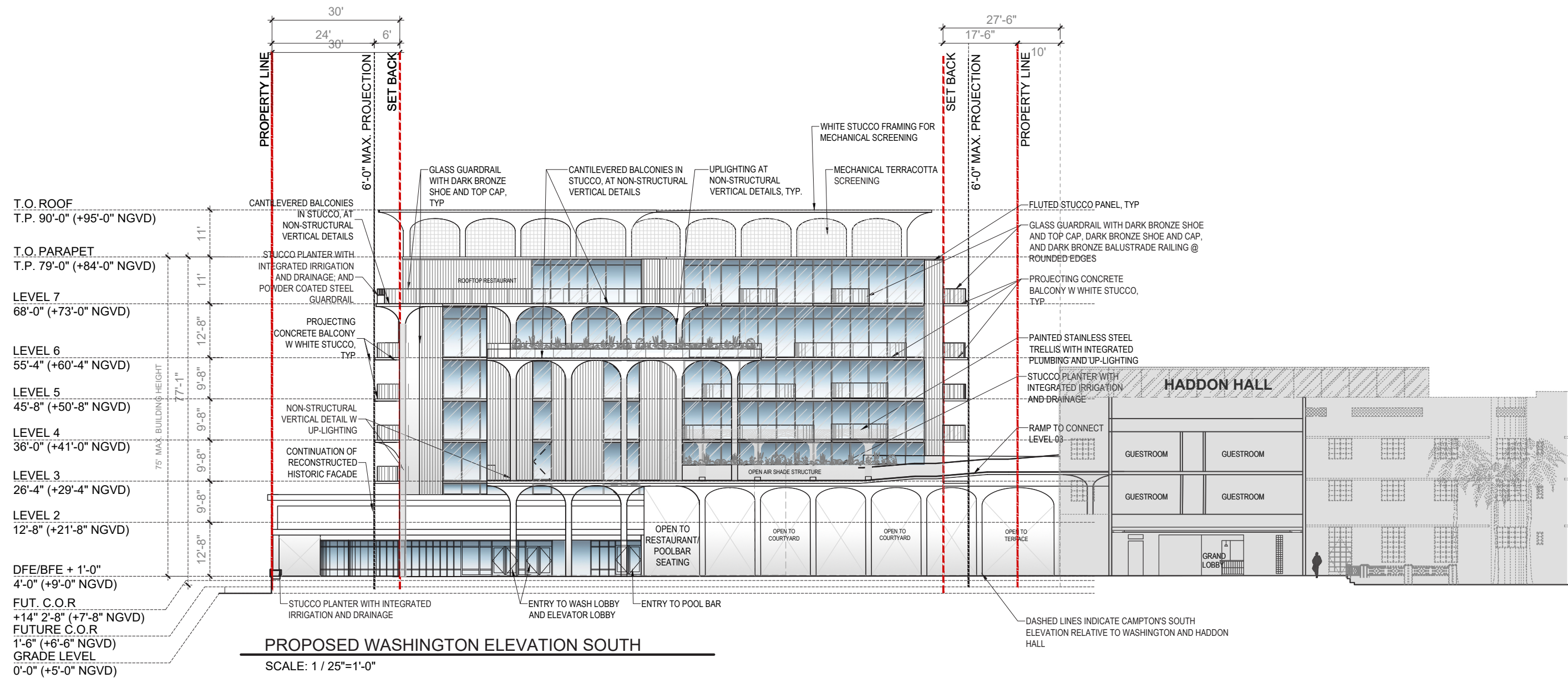
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DEMOLITION / PROPOSED  
EAST ELEVATION

A3-19

**WASHINGTON EAST FACADE ELEVATION**

SCALE: 1/25" = 1'-0"



**PROPOSED WASHINGTON ELEVATION SOUTH**

SCALE: 1 / 25"=1'-0"

**WASHINGTON SOUTH FACADE ELEVATION**

SCALE: 1/25" = 1'-0"



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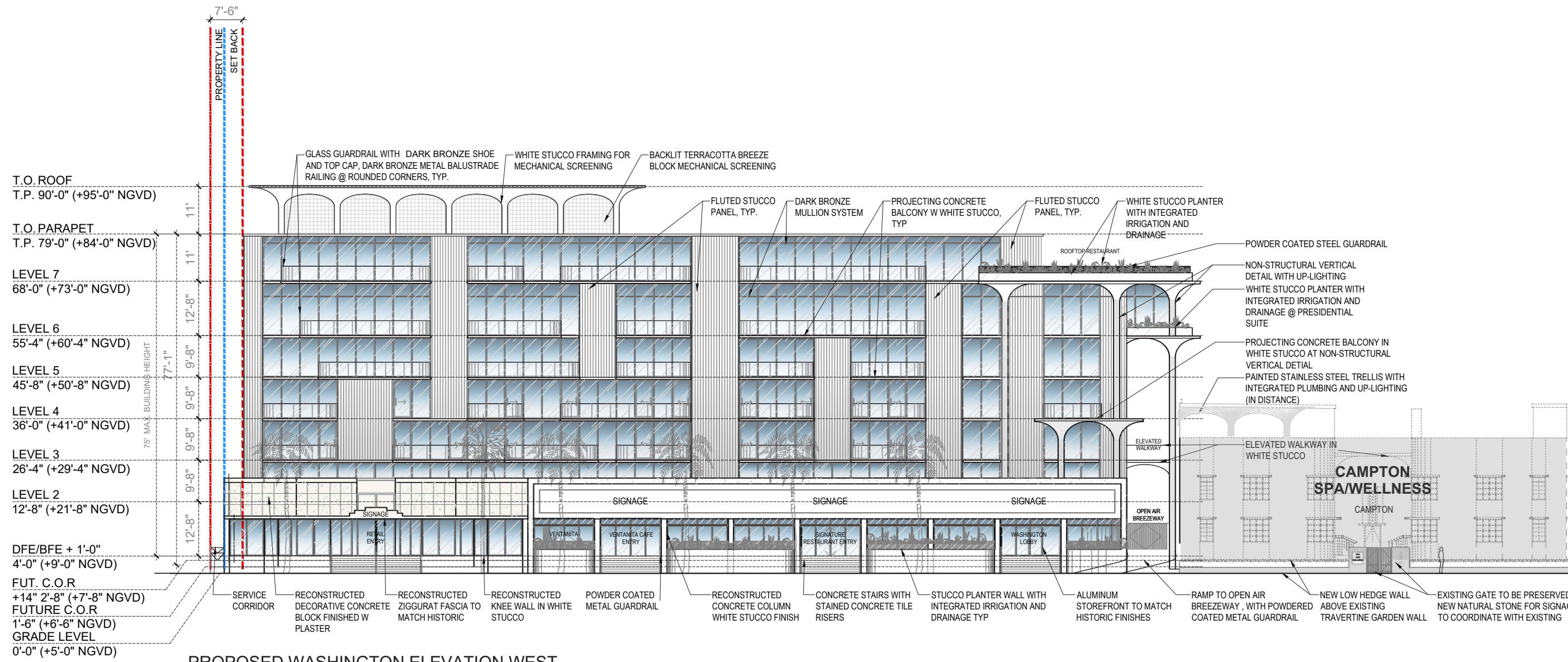
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DEMOLITION / PROPOSED  
SOUTH ELEVATION

A3-20



**PROPOSED WASHINGTON ELEVATION WEST**

SCALE: 1 / 25"=1'-0"



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33139

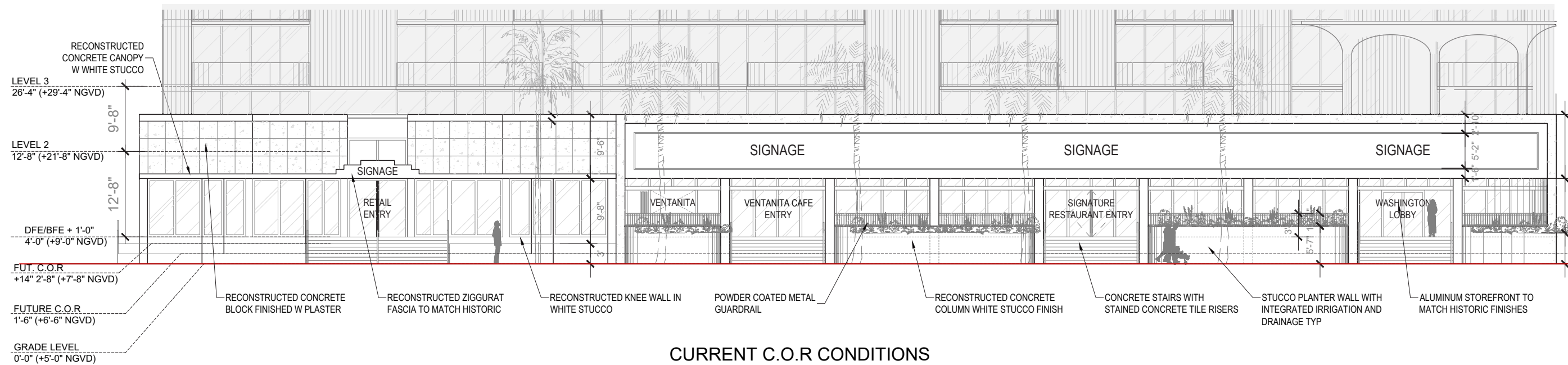
**DEMOLITION / PROPOSED WEST ELEVATION**

A3-21.A

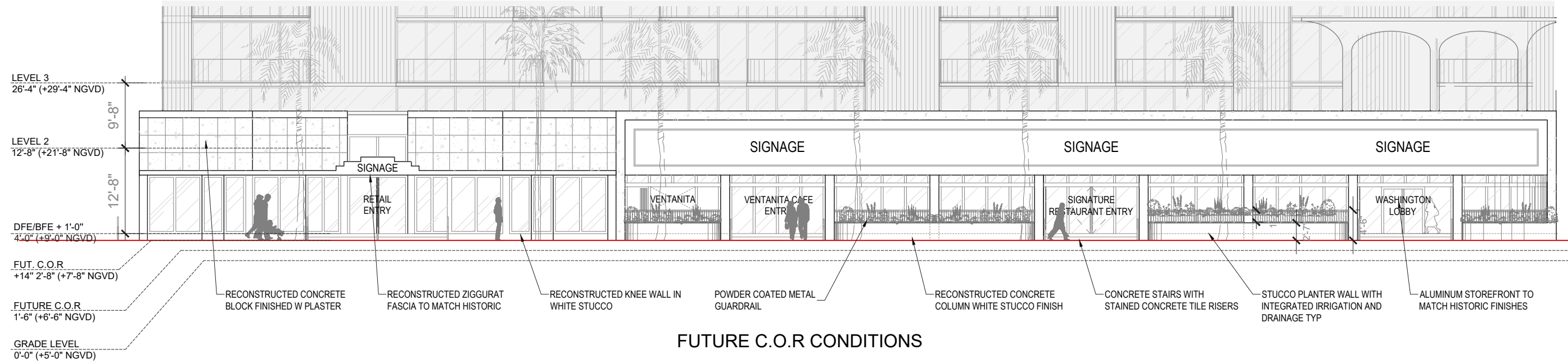
**WASHINGTON WEST FACADE ELEVATION (CURRENT COR)**

SCALE: 1/25" = 1'-0"

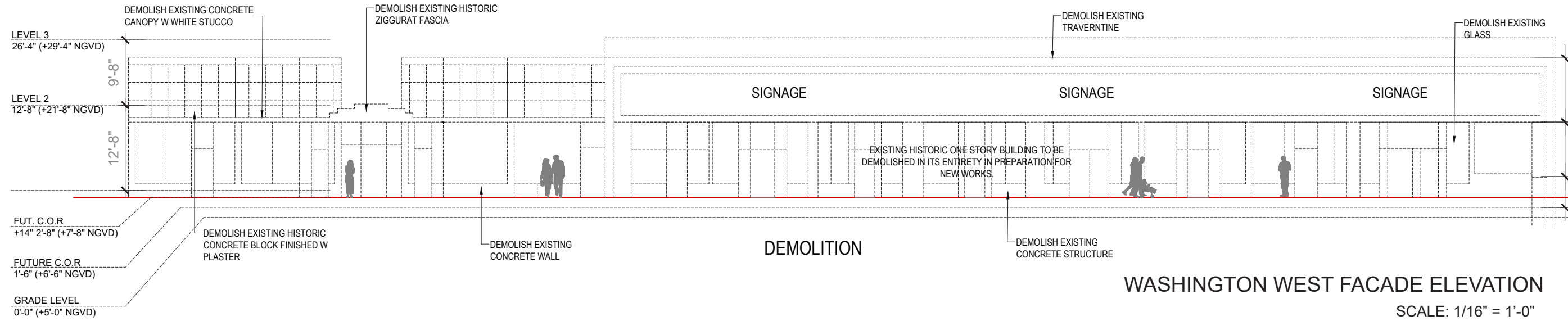




CURRENT C.O.R CONDITIONS



FUTURE C.O.R CONDITIONS



DEMOLITION

WASHINGTON WEST FACADE ELEVATION

SCALE: 1/16" = 1'-0"



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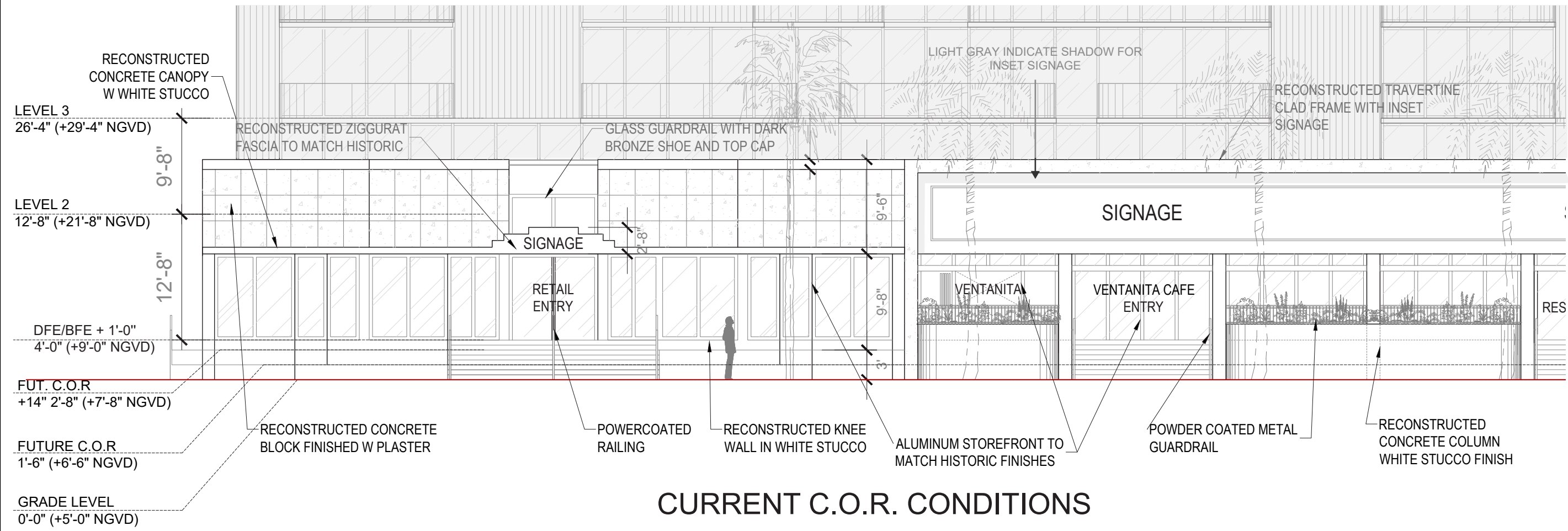
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**TREEHOUSE HOTEL, MIAMI BEACH**  
1500 COLLINS + 1509-1515 WASHINGTON AVE, MIAMI BEACH, FL, 33139

DEMOLITION / PROPOSED WEST ELEVATION ENLG.  
A3-22



**CURRENT C.O.R. CONDITIONS**

**WASHINGTON WEST FACADE ELEVATION**

SCALE: 3/32" = 1'-0"



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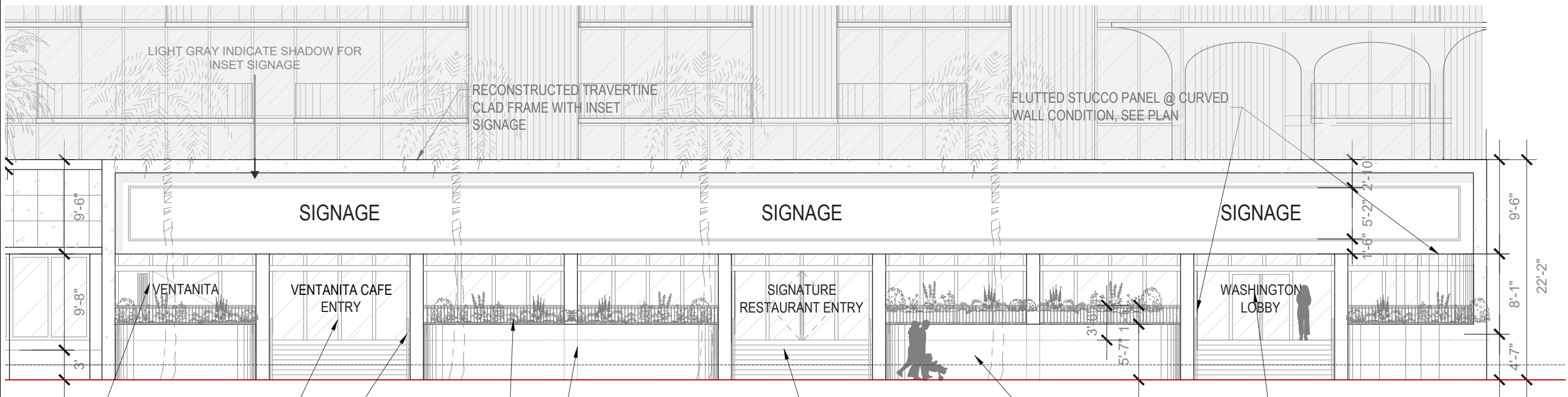
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TREEHOUSE HOTEL,  
MIAMI BEACH

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33139

PROPOSED WEST  
ELEVATION ENLG. PART A  
A3-22.A



**CURRENT C.O.R. CONDITIONS**



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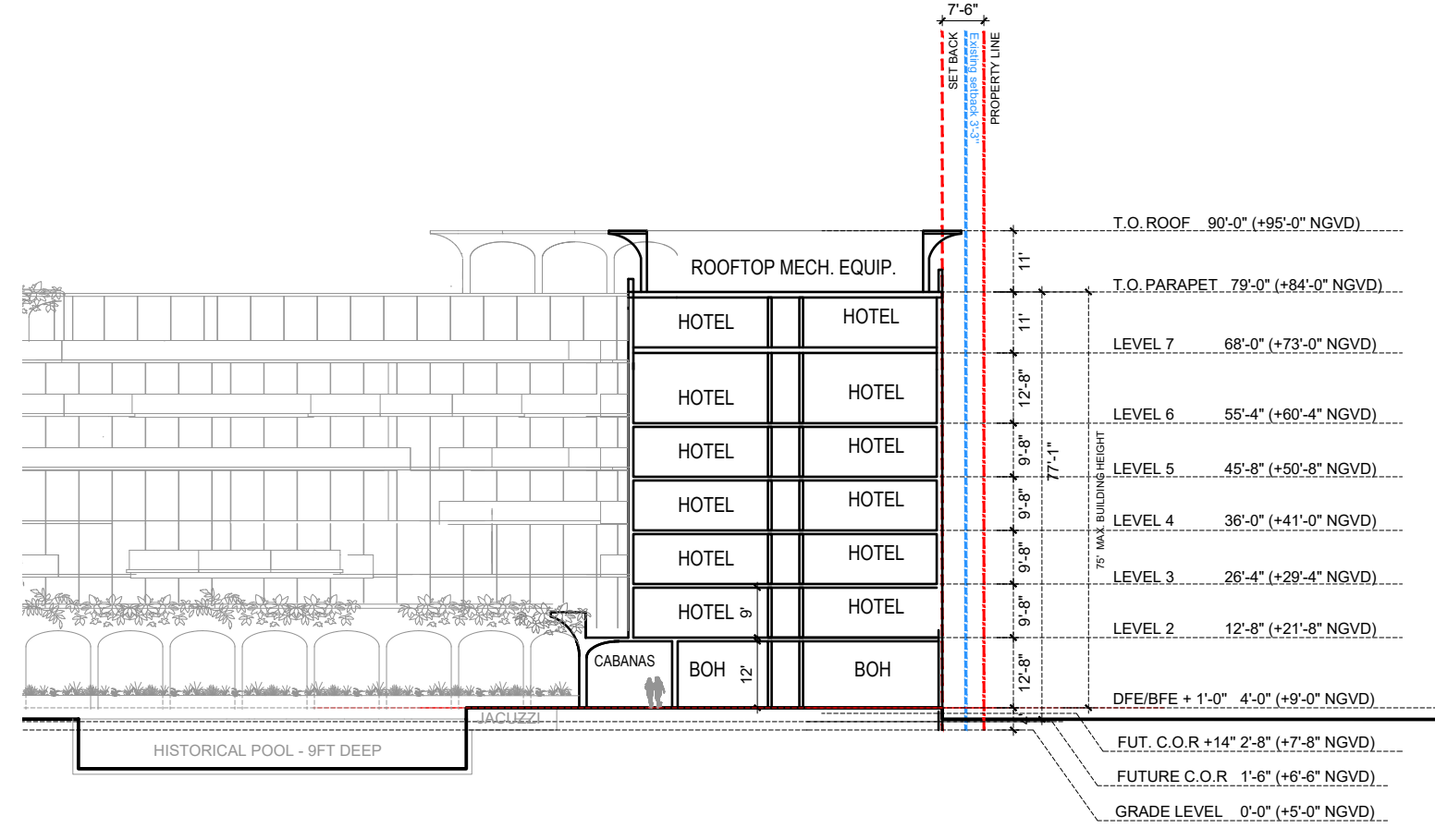
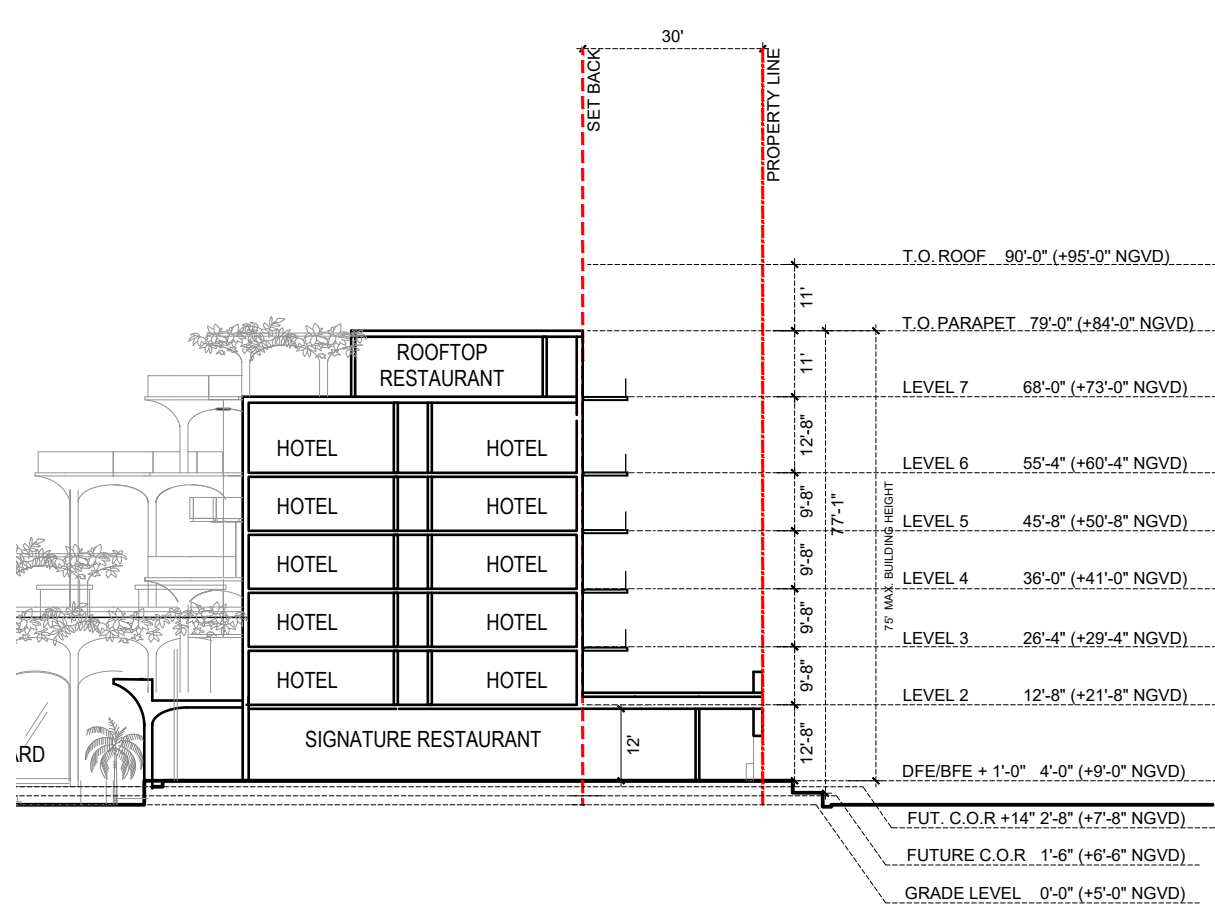
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AVE, MIAMI BEACH, FL,  
33139  
  
PROPOSED WEST  
ELEVATION ENLG. PART B  
A3-22.B

**WASHINGTON WEST FACADE ELEVATION**

SCALE: 3/32" = 1'-0"



WASHINGTON SECTION CUTS  
SCALE: 1/32" = 1'-0"



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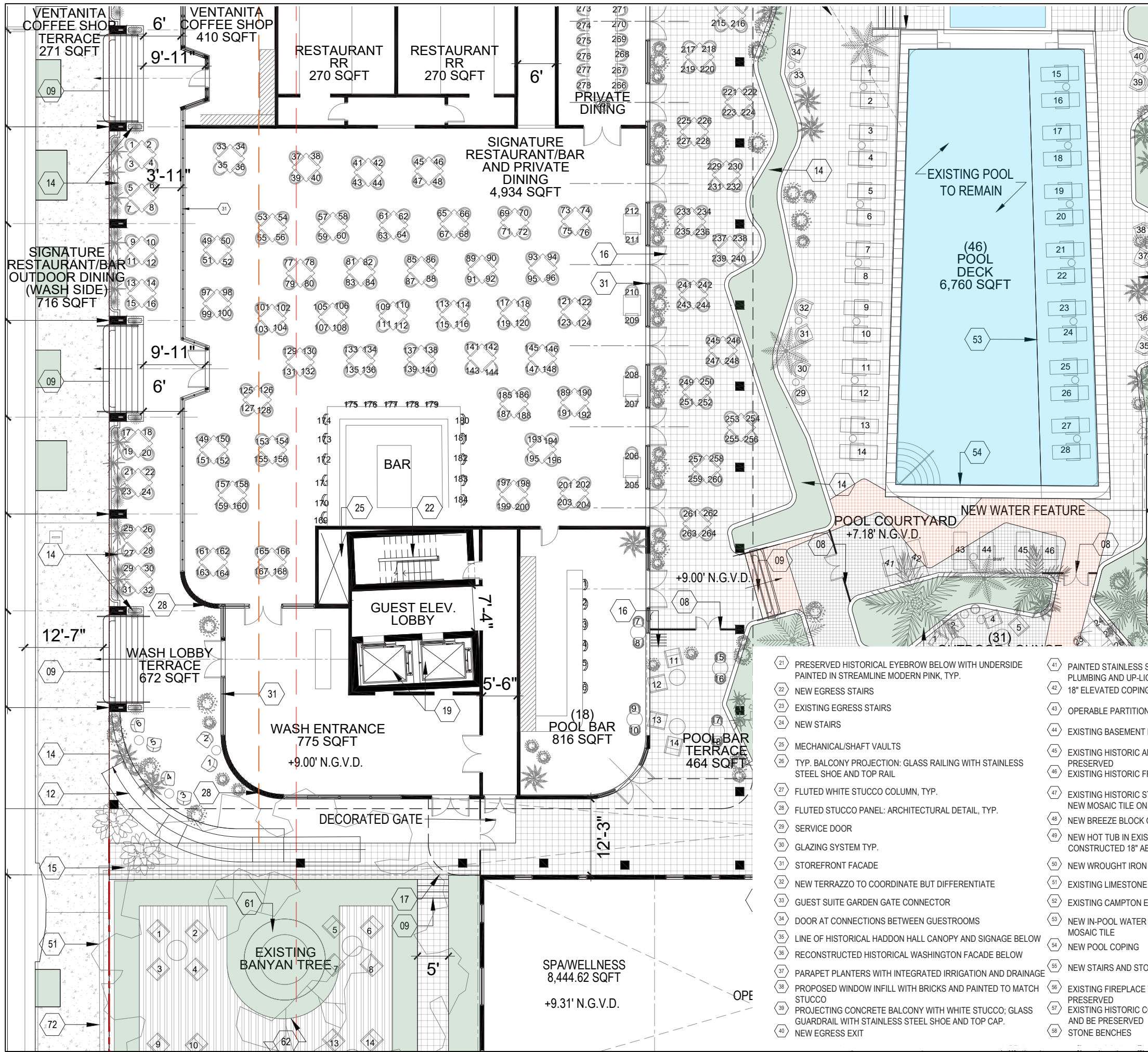
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**TREEHOUSE HOTEL, MIAMI BEACH**  
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SECTIONS AT WASHINGTON  
A3-23



**GENERAL NOTES**

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4. ALL EXTERIOR WALLS MUST BE PROPERLY SHORED DURING AND AFTER DEMOLITION. REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR ADDITIONAL DETAIL.
5. ALL BUILDING STUCCO EXTERIORS TO BE RESTORED AND REPAINTED TO MATCH EXISTING

**KEYNOTES**

- 01 EXISTING DOOR/WINDOW TO REMAIN
- 02 NEW DOORS
- 03 NEW ENLARGED WINDOWS (REFERENCE ELEVATIONS)
- 04 EXISTING HISTORICAL PLANTER TO REMAIN
- 05 EXISTING TERRACE AND TERRAZZO TO REMAIN
- 06 EXISTING HISTORICAL ARCHITECTURAL DETAIL TO REMAIN
- 07 RECONSTRUCTED CONCRETE COLUMN IN WHITE STUCCO FINISH
- 08 NEW LIFE SAFETY GATE
- 09 CONCRETE STAIRS WITH STAINED CONCRETE TILE RISERS
- 10 PRESERVED AND RESTORED HISTORICAL TERRAZZO DETAIL
- 11 NEW PAIR OF DOORS IN EXISTING WINDOW OPENING. ENLARGE OPENING TO EXTEND TO THE EXISTING TERRACE.
- 12 NEW RAMP
- 13 GARDEN BED WITH INTEGRATED IRRIGATION
- 14 ELEVATED STUCCO PLANTER WITH INTEGRATED IRRIGATION AND DRAINAGE
- 15 PLANTER BEDS WITH INTEGRATED IRRIGATION AND DRAINAGE
- 16 OPERABLE GLASS DOORS
- 17 LINE OF ELEVATED OPEN AIR WALKWAY
- 18 LINE OF TRELLIS PROJECTION ABOVE @ 50% OPEN TO SKY
- 19 GUEST ELEVATOR
- 20 SERVICE ELEVATOR

- 21 PRESERVED HISTORICAL EYEBROW BELOW WITH UNDERSIDE PAINTED IN STREAMLINE MODERN PINK, TYP.
- 22 NEW EGRESS STAIRS
- 23 EXISTING EGRESS STAIRS
- 24 NEW STAIRS
- 25 MECHANICAL/SHAFT VAULTS
- 26 TYP. BALCONY PROJECTION: GLASS RAILING WITH STAINLESS STEEL SHOE AND TOP RAIL
- 27 FLUTED WHITE STUCCO COLUMN, TYP.
- 28 FLUTED STUCCO PANEL: ARCHITECTURAL DETAIL, TYP.
- 29 SERVICE DOOR
- 30 GLAZING SYSTEM TYP.
- 31 STOREFRONT FACADE
- 32 NEW TERRAZZO TO COORDINATE BUT DIFFERENTIATE
- 33 GUEST SUITE GARDEN GATE CONNECTOR
- 34 DOOR AT CONNECTIONS BETWEEN GUESTROOMS
- 35 LINE OF HISTORICAL HADDON HALL CANOPY AND SIGNAGE BELOW
- 36 RECONSTRUCTED HISTORICAL WASHINGTON FACADE BELOW
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- 40 NEW EGRESS EXIT
- 41 PAINTED STAINLESS STEEL TRELLIS WITH INTEGRATED PLUMBING AND UP-LIGHTING; 50% OPEN TO SKY
- 42 18" ELEVATED COPING @ WATER FEATURE
- 43 OPERABLE PARTITIONS
- 44 EXISTING BASEMENT LEVEL ENTRY
- 45 EXISTING HISTORIC ADDRESS MONUMENT SIGN TO BE PRESERVED
- 46 EXISTING HISTORIC FRIEZE TO REMAIN
- 47 EXISTING HISTORIC STATUE AND FOUNTAIN TO REMAIN, NEW MOSAIC TILE ON BASE AND INSIDE HISTORIC BASIN
- 48 NEW BREEZE BLOCK GREEN WALL
- 49 NEW HOT TUB IN EXISTING LOCATION CONSTRUCTED 18" ABOVE FINISH FLOOR
- 50 NEW WROUGHT IRON FENCE
- 51 EXISTING LIMESTONE GARDENWALL
- 52 EXISTING CAMPTON ENTRY GATE TO BE PRESERVED
- 53 NEW IN-POOL WATER LEDGE WITH CUSTOM MOSAIC TILE
- 54 NEW POOL COPING
- 55 NEW STAIRS AND STONE GUARDRAIL
- 56 EXISTING FIREPLACE TO REMAIN AND BE PRESERVED
- 57 EXISTING HISTORIC COUNTER TO REMAIN AND BE PRESERVED
- 58 STONE BENCHES
- 59 COLUMN OF PAINTED STAINLESS STEEL TRELLIS WITH INTEGRATED PLUMBING AND UP-LIGHTING; 50% OPEN TO SKY
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- 69 NON-STRUCTURAL VERTICAL DETAIL
- 70 SLIDING DOOR GLAZING SYSTEM

**LEVEL 01**  
SCALE: 1/16" = 1'-0"



**NR**  
architect

**NORBERTO ROSENSTEIN ARCHITECT, INC.**  
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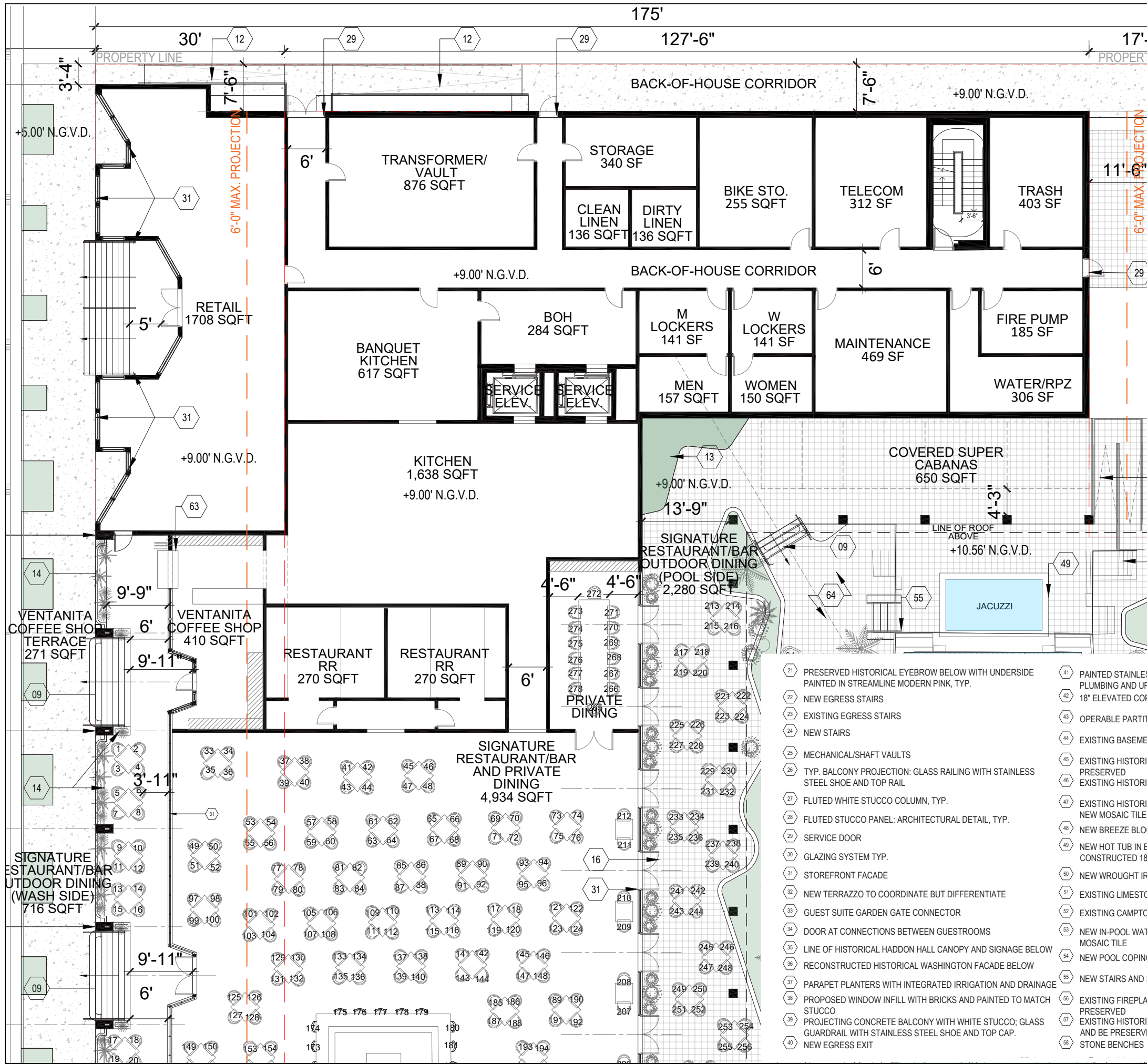
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| COMM.     | DATE |
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**TREEHOUSE HOTEL, MIAMI BEACH**  
1500 COLLINS + 1509-1515 WASHINGTON AVE, MIAMI BEACH, FL, 33139

ENLARGED PLAN - WASH. LEVEL 01 PART A  
A3-24



**GENERAL NOTES**

- ALL SIGNIFICANT ORIGINAL ARCHITECTURAL FEATURES ARE TO BE RESTORED, PRESERVED AND RETAINED.
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- 17 LINE OF ELEVATED OPEN AIR WALKWAY
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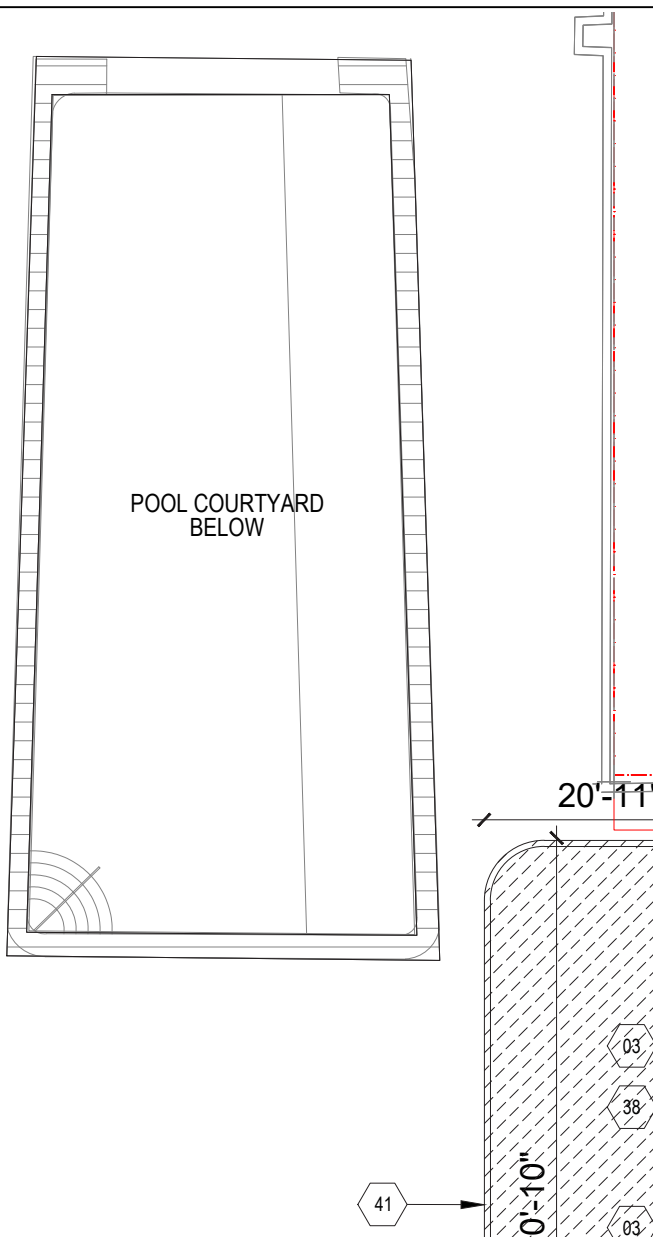
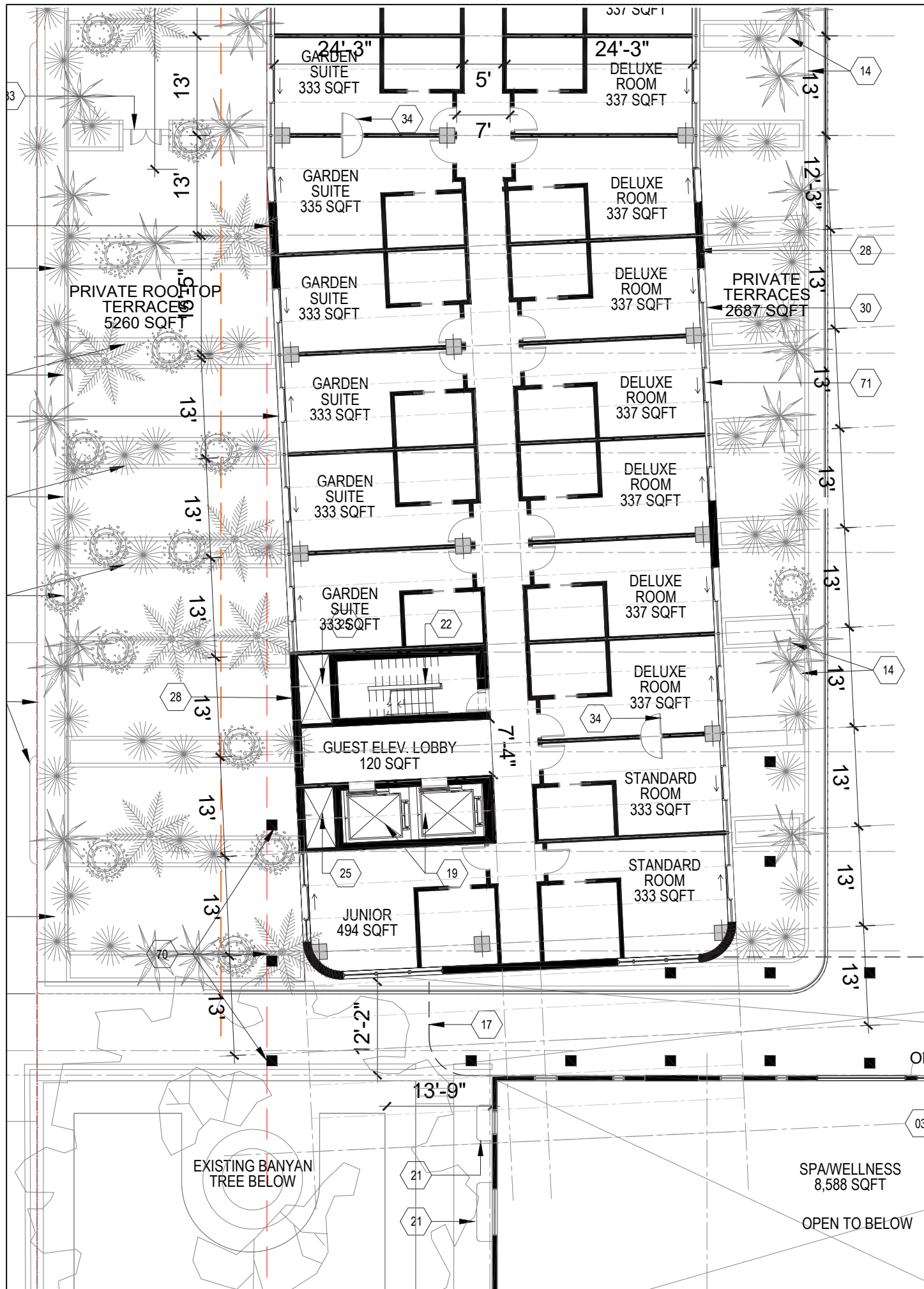
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**TREEHOUSE HOTEL, MIAMI BEACH**  
1500 COLLINS +  
1509-1515 WASHINGTON  
AVE, MIAMI BEACH, FL,  
33139

ENLARGED PLAN -  
WASH. LEVEL 01 PART B  
A3-25

**LEVEL 01**  
SCALE: 1/16" = 1'-0"



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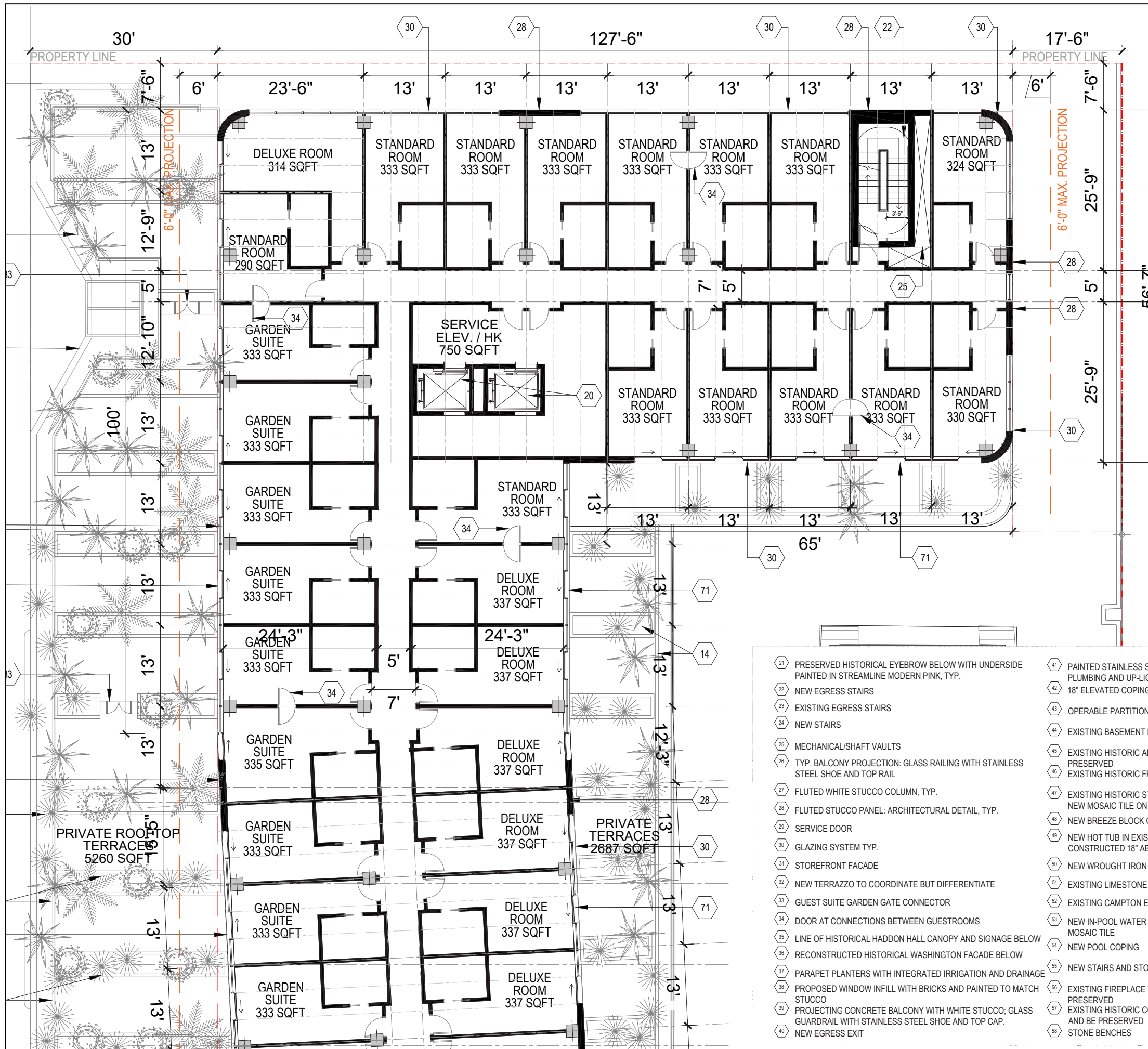
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**TREEHOUSE HOTEL, MIAMI BEACH**  
1500 COLLINS + 1509-1515 WASHINGTON AVE, MIAMI BEACH, FL, 33139

ENLARGED PLAN - WASH. LEVEL 02 PART A  
A3-26

**LEVEL 02**  
SCALE: 1/16" = 1'-0"

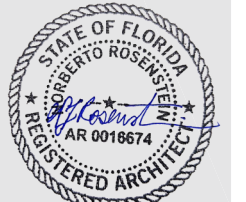


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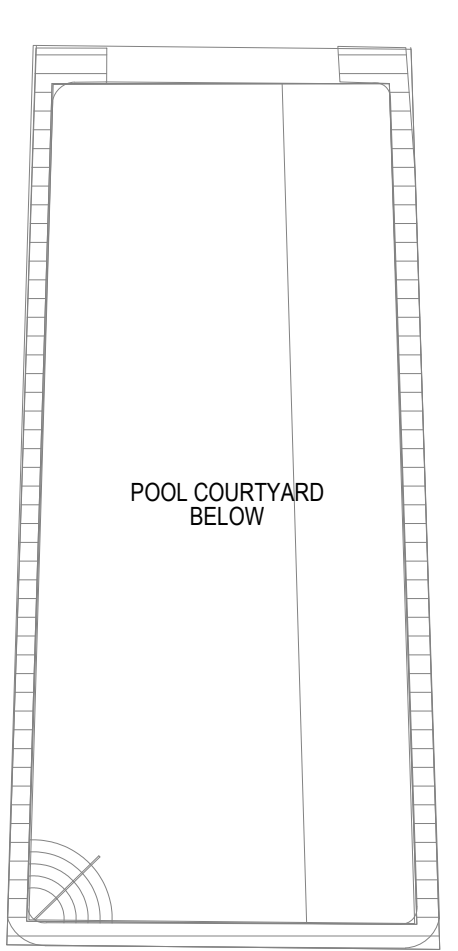
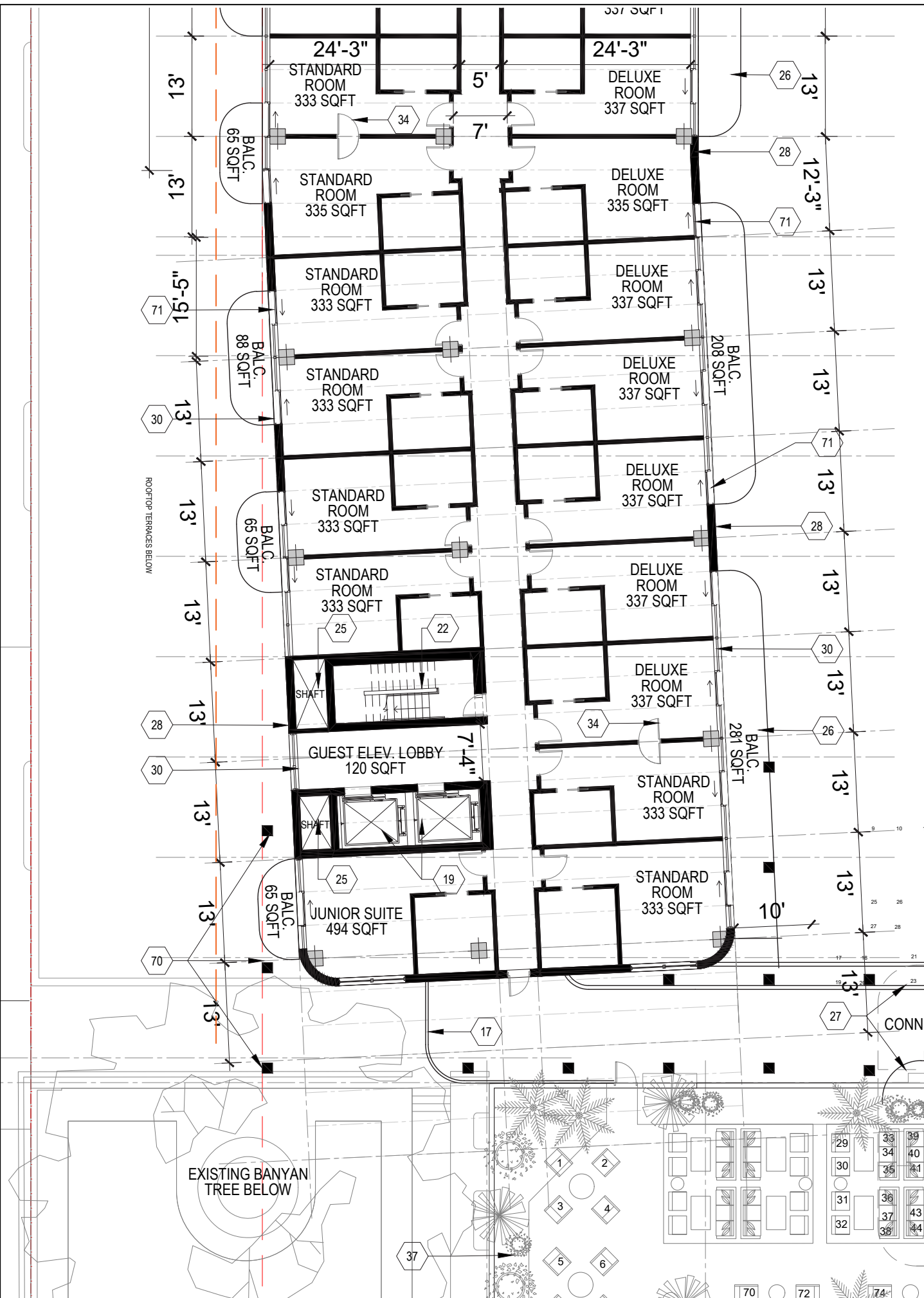
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**TREEHOUSE HOTEL, MIAMI BEACH**  
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ENLARGED PLAN - WASH. LEVEL 02 PART B  
A3-27

**LEVEL 02**  
SCALE: 1/16" = 1'-0"



ROOF OF TRELLIS PROJECTION BELOW @ LEVEL 01, AND 03 (50% OPEN TO SKY)

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- 53 NEW IN-POOL WATER LEDGE WITH CUSTOM MOSAIC TILE
- 54 NEW POOL COPING
- 55 NEW STAIRS AND STONE GUARDRAIL
- 56 EXISTING FIREPLACE TO REMAIN AND BE PRESERVED
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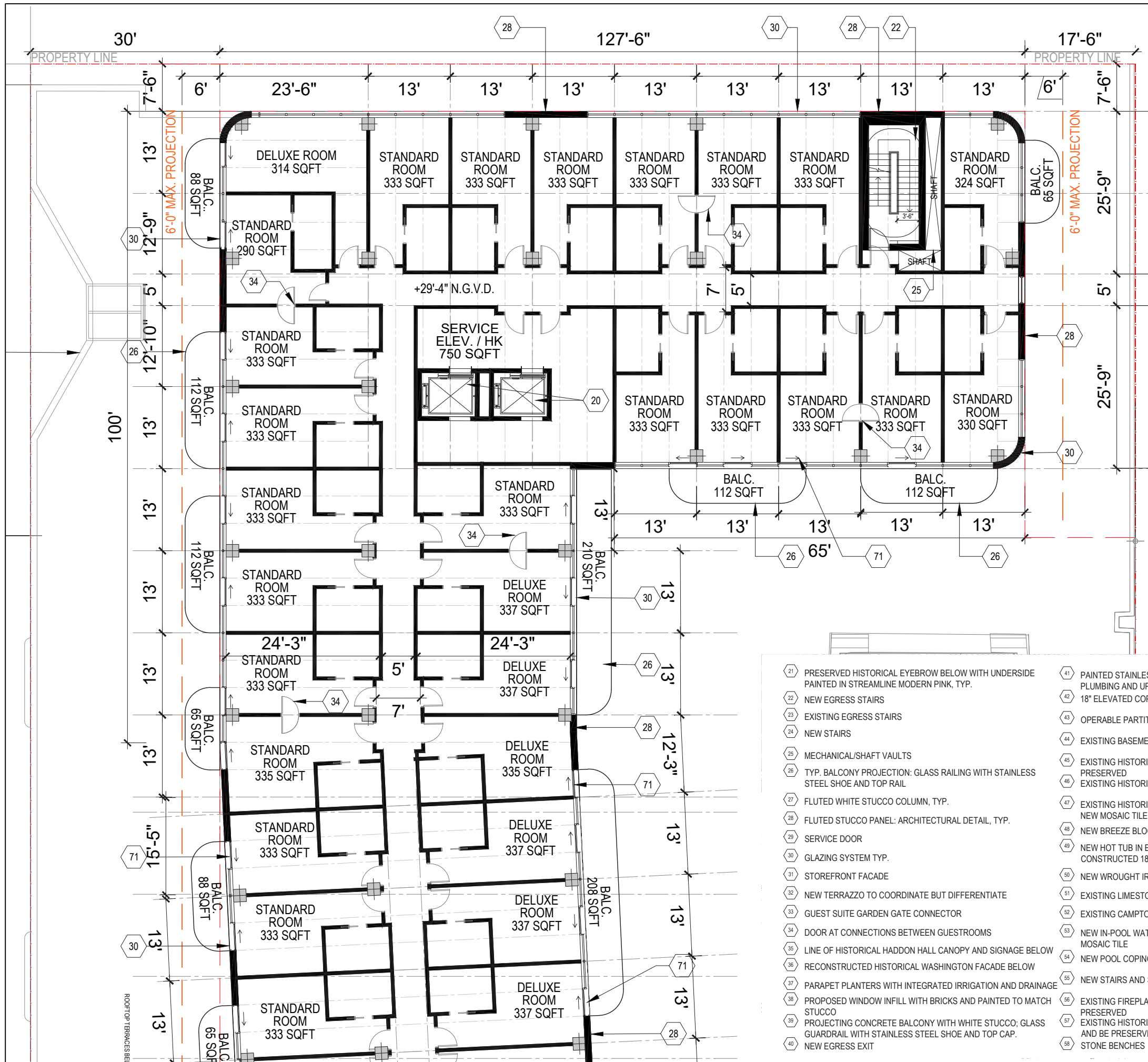
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**TREEHOUSE HOTEL, MIAMI BEACH**  
1500 COLLINS + 1509-1515 WASHINGTON AVE, MIAMI BEACH, FL, 33139

ENLARGED PLAN - WASH. LEVEL 03 PART A  
A3-28

**LEVEL 03**  
SCALE: 1/16" = 1'-0"



**GENERAL NOTES**

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- 16 OPERABLE GLASS DOORS
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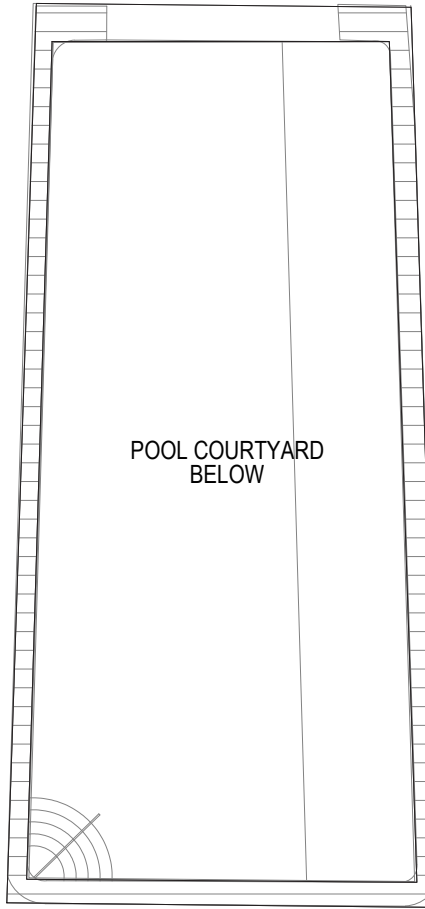
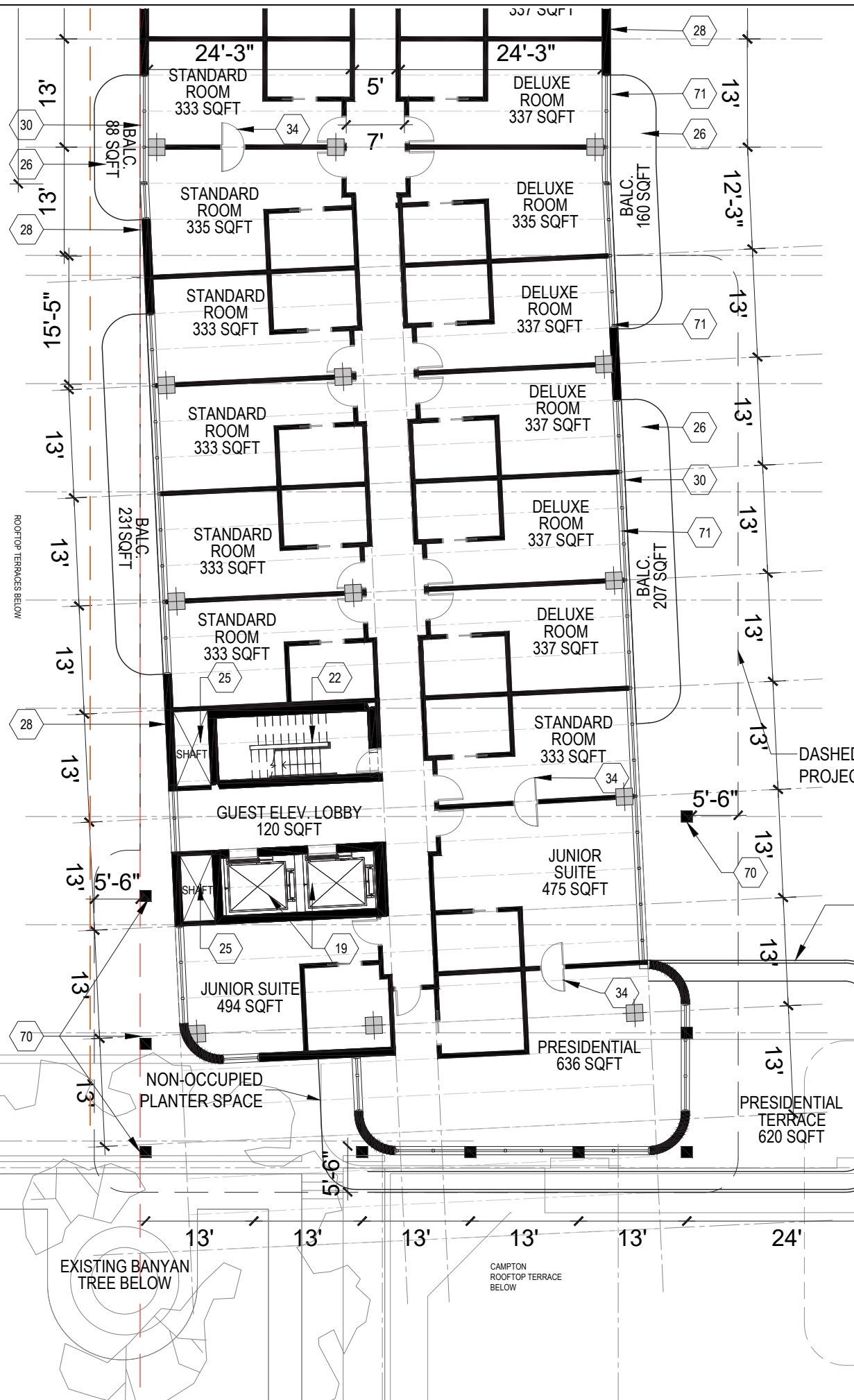
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**TREEHOUSE HOTEL, MIAMI BEACH**  
 1500 COLLINS + 1509-1515 WASHINGTON AVE, MIAMI BEACH, FL, 33139

**ENLARGED PLAN - WASH. LEVEL 03 PART B**  
 A3-29

**LEVEL 03**  
 SCALE: 1/16" = 1'-0"



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TRELIS RC  
50% OPEN  
SKY

DASHED LINE INDICATES BALCONY PROJECTION ON LEVEL 07



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**TREEHOUSE HOTEL, MIAMI BEACH**  
1500 COLLINS + 1509-1515 WASHINGTON AVE, MIAMI BEACH, FL, 33139

ENLARGED PLAN - WASH. LEVEL 06 PART A  
A3-30

**LEVEL 06**  
SCALE: 1/16" = 1'-0"



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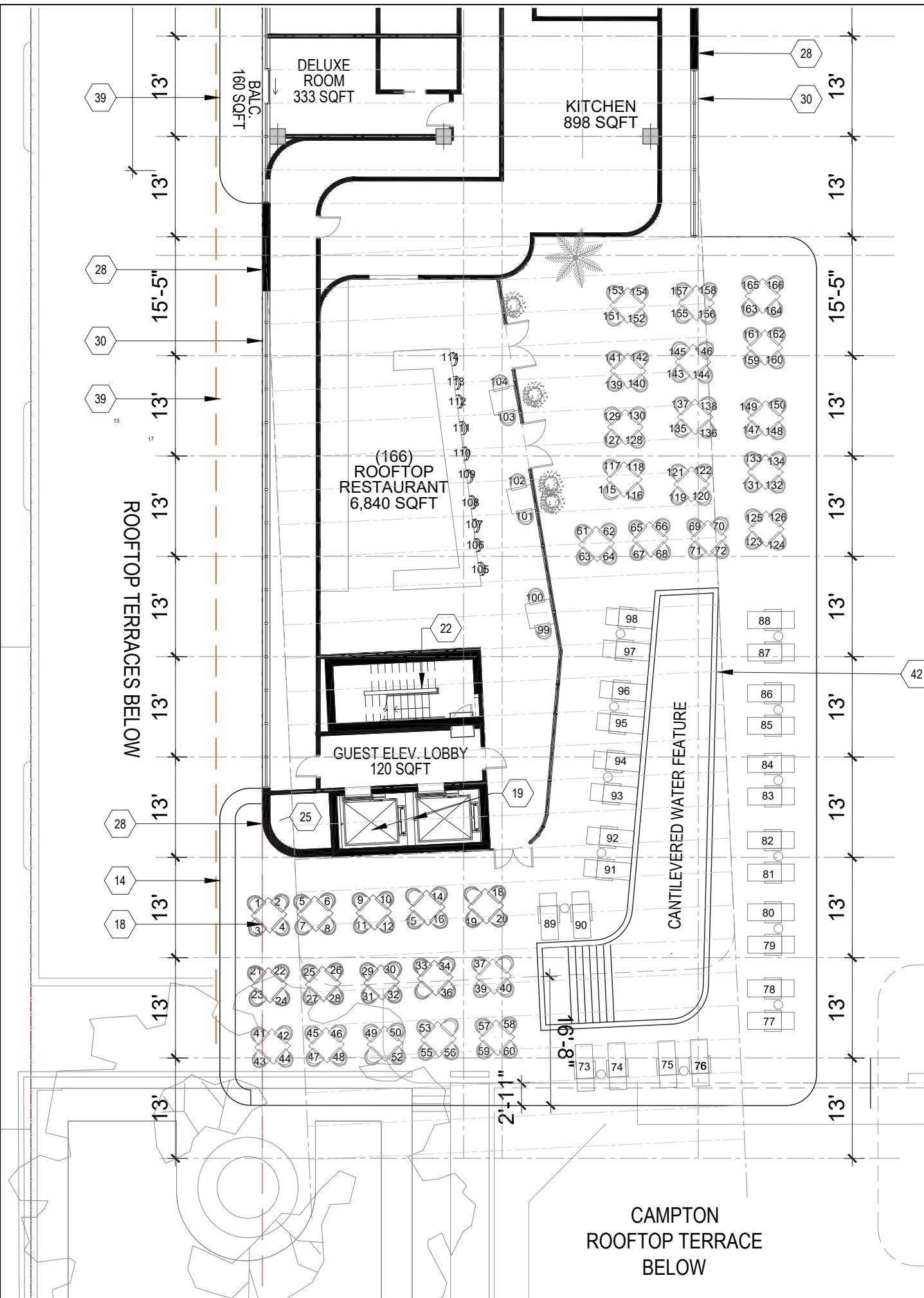
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**TREEHOUSE HOTEL, MIAMI BEACH**  
1500 COLLINS + 1509-1515 WASHINGTON AVE, MIAMI BEACH, FL, 33139

**ENLARGED PLAN - WASH. LEVEL 06 PART B**  
A3-31

**LEVEL 06**  
SCALE: 1/16" = 1'-0"



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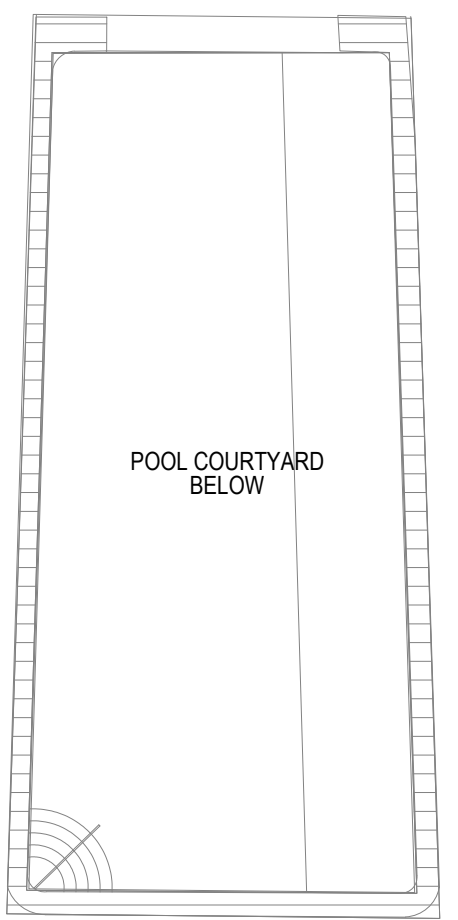
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TRELLIS RC  
50% OPEN  
SKY



LEVEL 07

SCALE: 1/16" = 1'-0"



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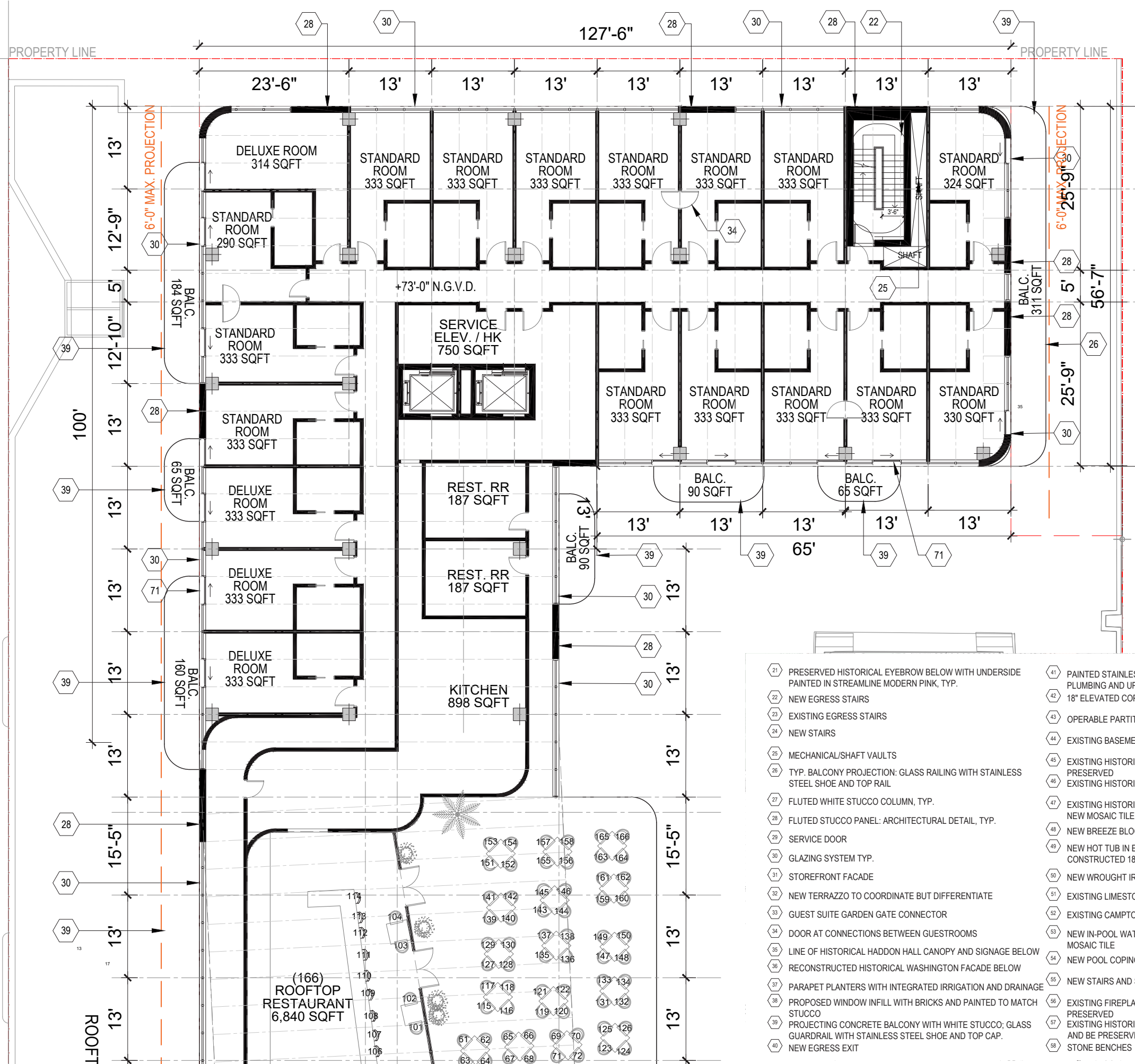
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**TREEHOUSE HOTEL, MIAMI BEACH**  
1500 COLLINS + 1509-1515 WASHINGTON AVE, MIAMI BEACH, FL, 33139

ENLARGED PLAN - WASH. LEVEL 07 PART A  
A3-32



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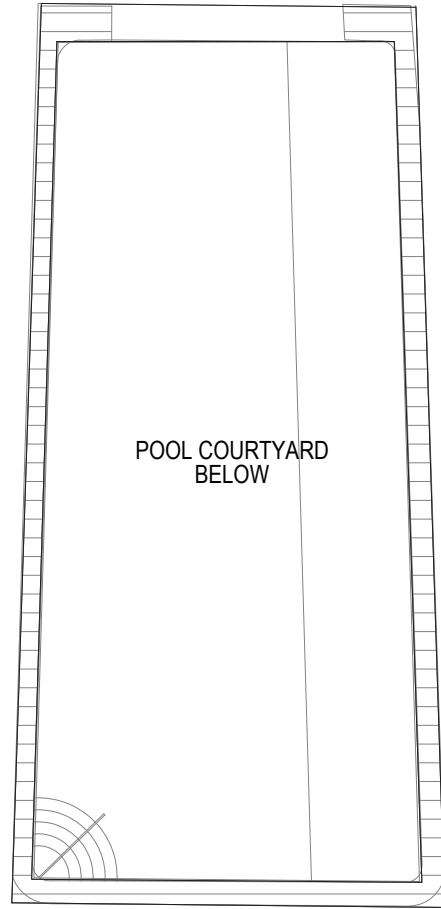
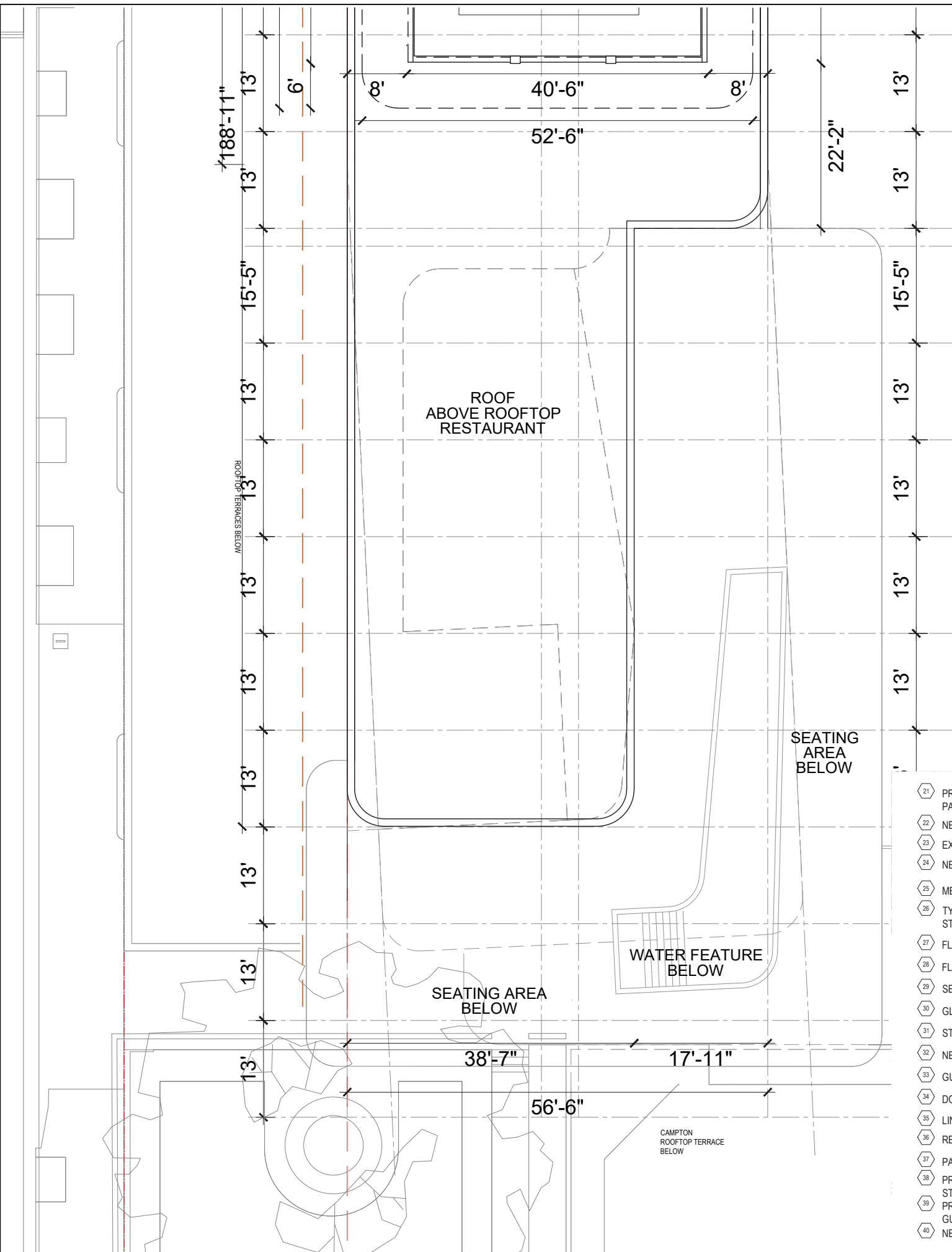
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**TREEHOUSE HOTEL, MIAMI BEACH**  
1500 COLLINS + 1509-1515 WASHINGTON AVE, MIAMI BEACH, FL, 33139

**ENLARGED PLAN - WASH. LEVEL 07 PART B**  
A3-33

**LEVEL 07**  
SCALE: 1/16" = 1'-0"



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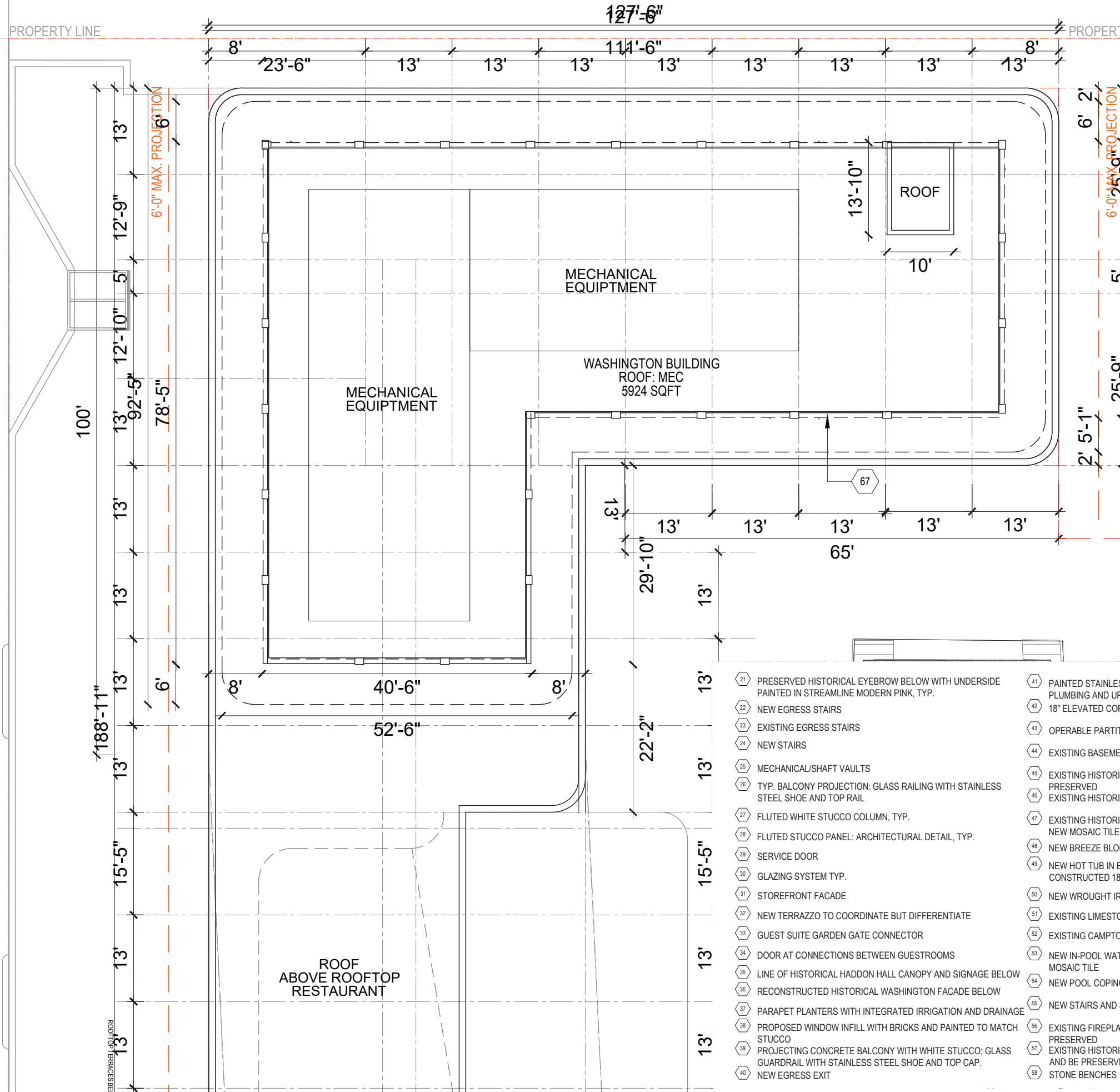
**TREEHOUSE HOTEL, MIAMI BEACH**  
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ENLARGED PLAN - WASH. LEVEL 08 PART A  
A3-34

**LEVEL 08 (ROOF)**

SCALE: 1/16" = 1'-0"





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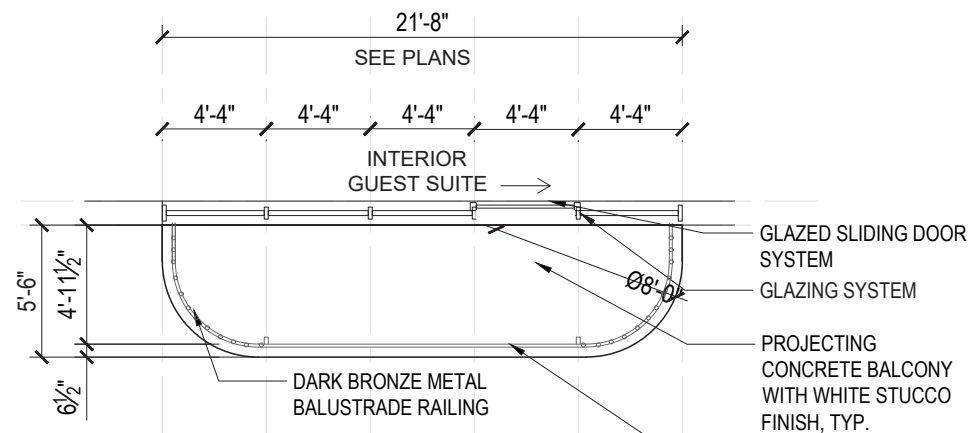
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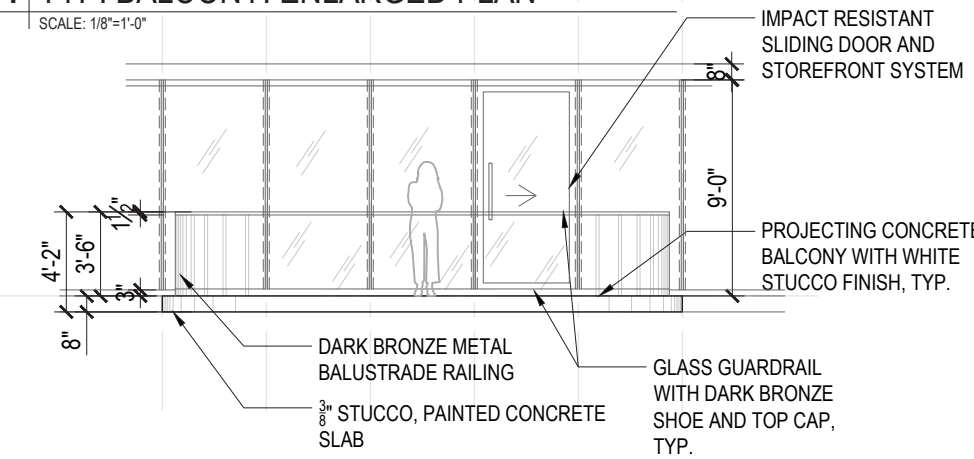
ENLARGED PLAN - WASH. LEVEL 08 PART B  
A3-35

**LEVEL 08 (ROOF)**  
SCALE: 1/16" = 1'-0"



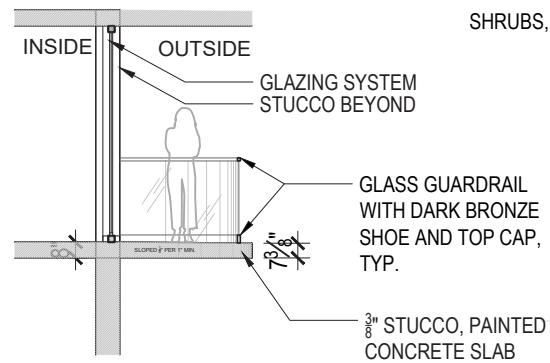
**D4 TYP. BALCONY: ENLARGED PLAN**

SCALE: 1/8"=1'-0"



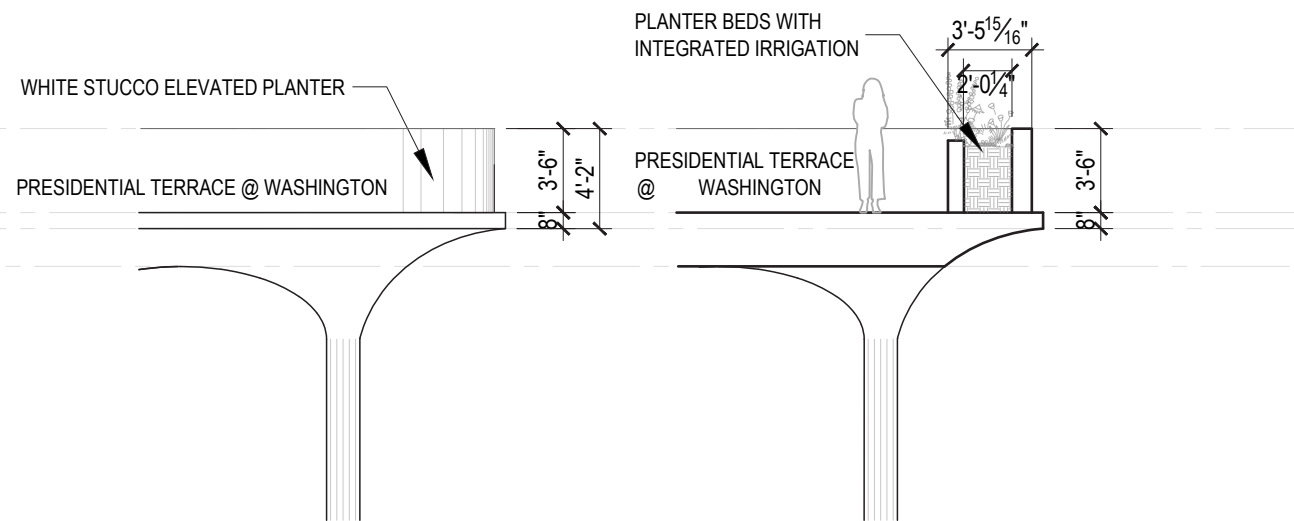
**C4 TYP. BALCONY: FRONT ELEVATION**

SCALE: 1/8"=1'-0"



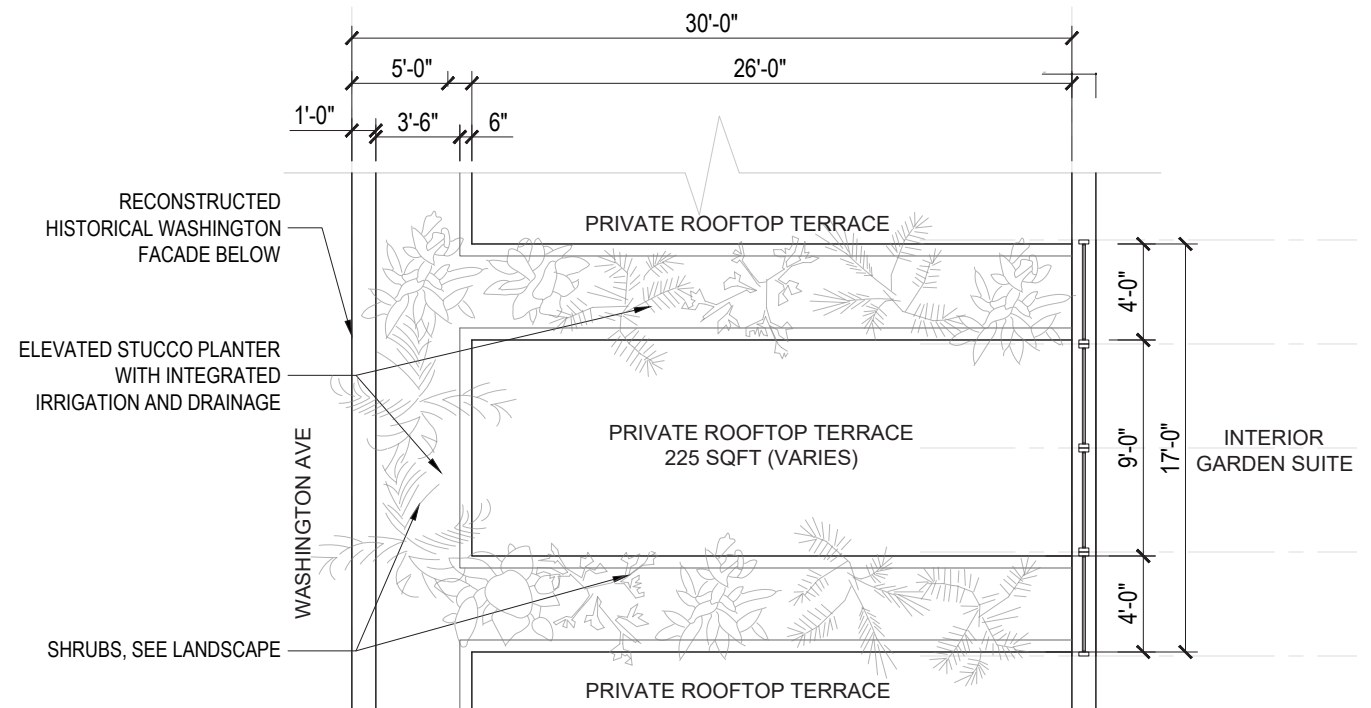
**C3 TYP. BALCONY: SECTION**

SCALE: 1/8"=1'-0"



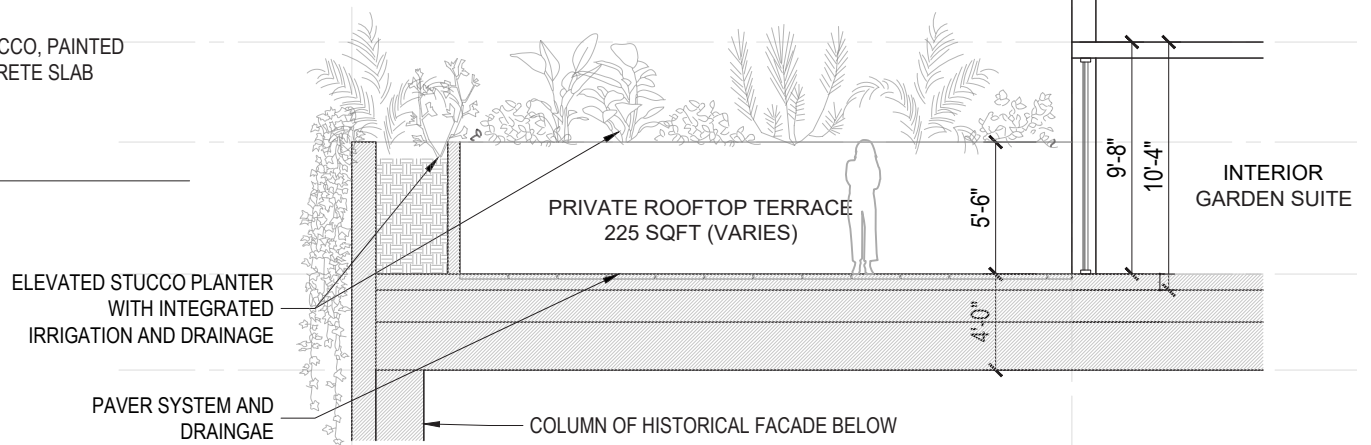
**A4 BALCONY DETAIL @ NON STRUCTURAL VERTICAL DETAILS**

SCALE: 1/8"=1'-0"



**C2 PRIVATE ROOFTOP TERRACE SECTION TYP.**

SCALE: 1/8"=1'-0"



**B2 PRIVATE ROOFTOP TERRACE SECTION TYP.**

SCALE: 1/8"=1'-0"



**NR**  
architect

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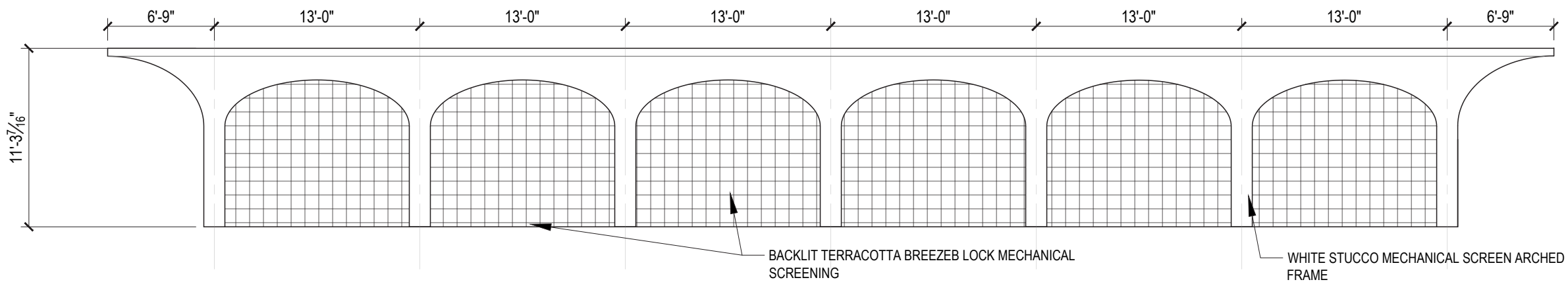
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|----------|-------|---------|
| DESIGNED | DRAWN | CHECKED |
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| REVISIONS |      |
|-----------|------|
| COMM.     | DATE |
|           |      |
|           |      |
|           |      |
|           |      |

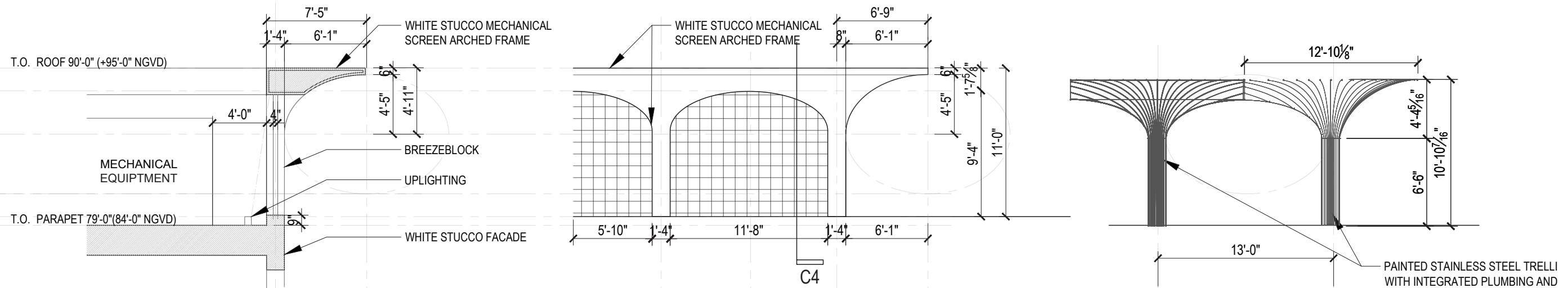
**TREEHOUSE HOTEL, MIAMI BEACH**  
  
1500 COLLINS +  
1509-1515 WASHINGTON  
AVE, MIAMI BEACH, FL,  
33139  
  
BALCONY DETAILS  
AT WASHINGTON  
  
A3-34

SCALE: 1/8" = 1'-0"



**D4 WASHINGTON MECHANICAL SCREENING: WEST ELEVATION**

SCALE: 1/8"=1'-0"

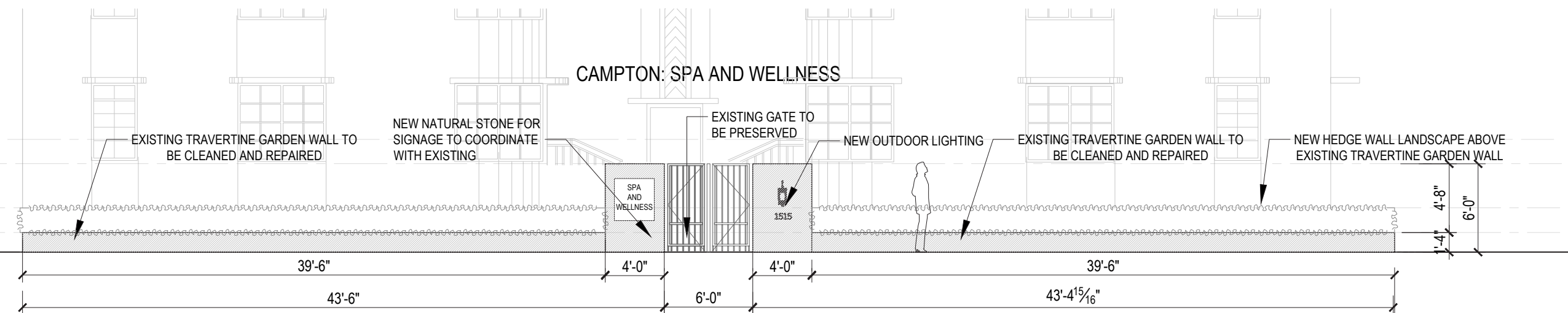


**C4 WASHINGTON MECHANICAL SCREENING SECTION AND ELEVATION**

SCALE: 1/8"=1'-0"

**C2 TRELLIS DETAIL: ELEVATION**

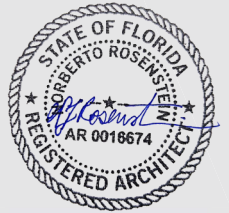
SCALE: 1/8"=1'-0"



**A4 CAMPTON SPA AND WELLNESS GATE: ELEVATION**

SCALE: 1/8"=1'-0"

SCALE: 1/8" = 1'-0"



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architect

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**TREEHOUSE HOTEL, MIAMI BEACH**

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AVE, MIAMI BEACH, FL,  
33139

**MECHANICAL SCREENING  
DETAILS AT WASHINGTON**

A3-35