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3 LOCATION IMAGE

PROJECT DATA

LIMITED INTERIOR DEMOLITION OF AN EXISTING RESTAURANT: NEW OPENING IN KITCHEN PARTITION  
NO CHANGE OF USE: EXISTING RESTAURANT / CAFE  
NO PREPARATION OF COOKED FOOD ON-SITE  
...  
FOLIO #: 02-3233-012-0640

4 PROJECT DATA

OCCUPANT LOAD TABLE

Table with 4 columns: LOCATION, OCCUPANT LOAD FACTOR (SF / OCCUPANT), AREA, OCCUPANT LOAD. Rows include Assembly Use (Indoors), Kitchen, Storage, and various storage areas.

5 OCCUPANT LOAD

INDEX OF DRAWINGS

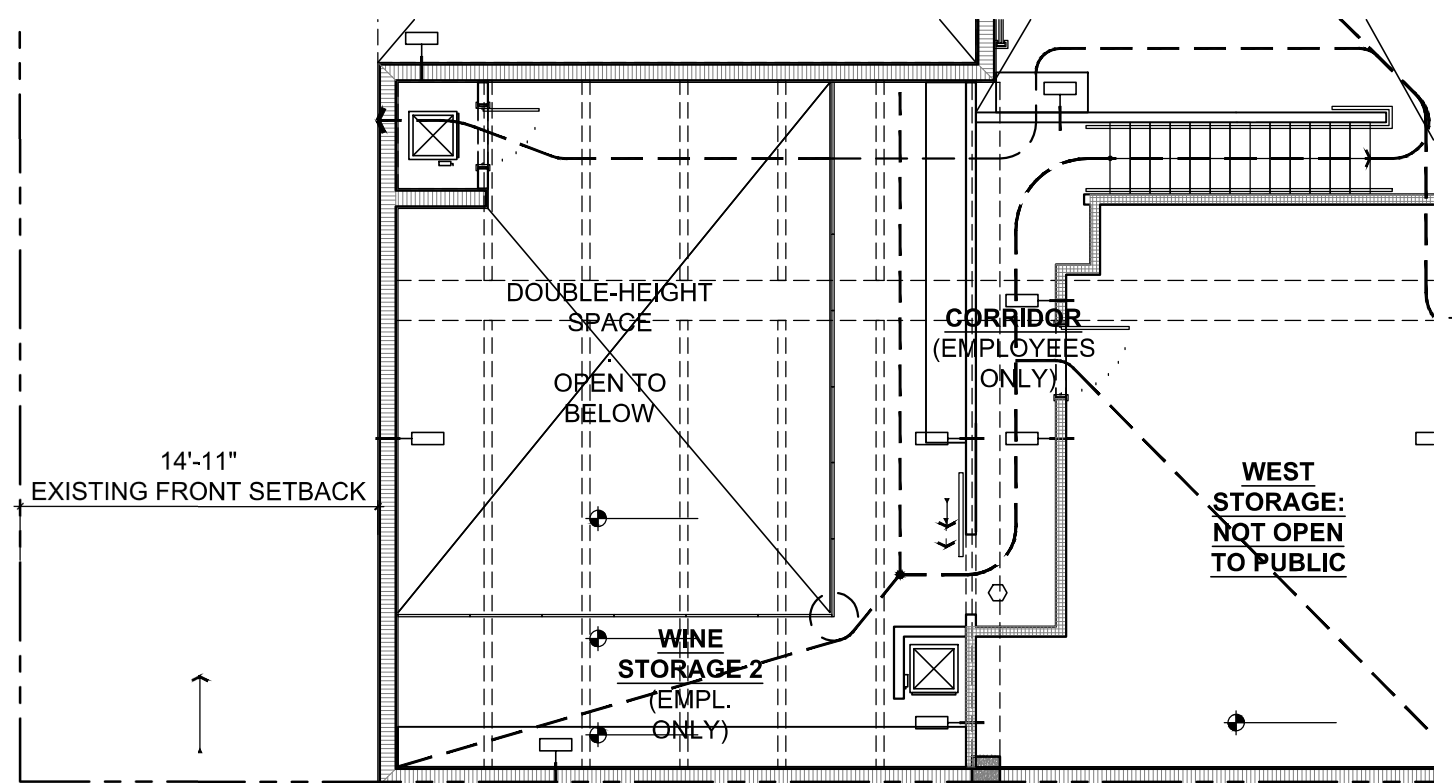
- A0 EXISTING FLOOR PLAN SITE PLAN / LEGAL DESCRIPTION INDEX OF DRAWINGS GENERAL NOTES
D1 LEVEL 1 DEMOLITION PLAN LEVEL 1 REFLECTED CEILING PLAN
D2 LEVEL 2 FLOOR PLAN LEVEL 2 REFLECTED CEILING PLAN
LS1.1 LEVEL 1 -LIFE SAFETY PLAN
LS1.2 LEVEL 2 -LIFE SAFETY PLAN

7 INDEX OF DRAWINGS

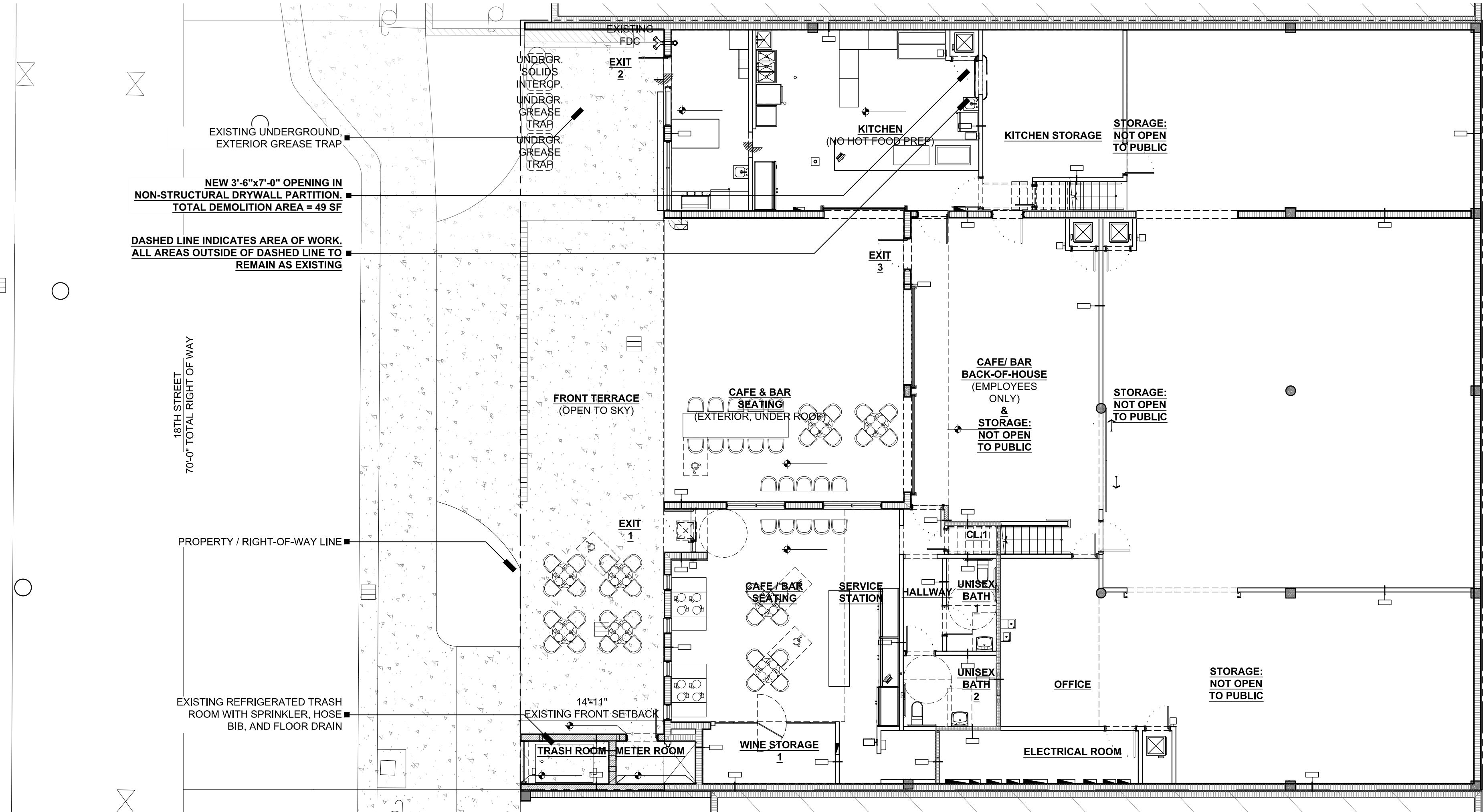
ZONING DATA

ZONING DISTRICT: I-1 URBAN LIGHT INDUSTRIAL
MAIN PERMITTED USES (ABBREVIATED): (13)COMMERCIAL USES THAT PROVIDE SUPPORT SERVICES TO THE LIGHT INDUSTRIAL USES & TO THE ADJACENT RM-3 RESIDENTS, INCLUDING, BUT NOT LIMITED TO, RETAIL SALES, COFFEE SHOPS, RESTAURANTS, AND ALCOHOLIC BEVERAGE ESTABLISHMENTS PURSUANT TO THE REGULATIONS SET FORTH IN CHAPTER 6...

6 ZONING DATA

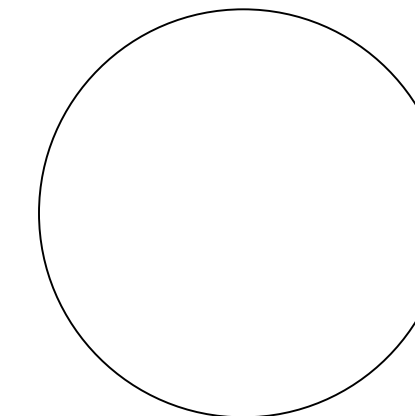


2 SECOND FLOOR PLAN - EXISTING TO REMAIN SCALE: 1/8" = 1'-0"



1 EXISTING GROUND FLOOR PLAN SCALE: 1/8" = 1'-0"

SCOPE OF WORK LIMITED INTERIOR DEMOLITION AT KITCHEN ALL OTHER AREAS TO REMAIN AS EXISTING
DEMOLITION / ARCHITECTURE NEW 3'-6"x7'-0" OPENING IN NON-STRUCTURAL DRYWALL PARTITION, TOTAL DEMOLITION AREA = 49SF
MECHANICAL NO CHANGES TO THE EXISTING HVAC SYSTEM
ELECTRICAL NO CHANGES TO THE EXISTING ELECTRICAL SYSTEM
PLUMBING NO CHANGES TO THE EXISTING PLUMBING SYSTEM
FIRE SAFETY NO CHANGES TO THE EXISTING SPRINKLER SYSTEM NO CHANGES TO EXISTING FIRE ALARM SYSTEM (STROBE/ANNUNCIATORS, FIRE PULL STATIONS, EMERGENCY EGRESS LIGHTS, & EXIT LIGHTS) NO CHANGES TO THE EXISTING MEANS OF EGRESS
STRUCTURAL NO CHANGES TO THE EXISTING STRUCTURE
ZONING NO NEW SIGNAGE NO CHANGE OF USE (RESTAURANT / CAFE) NO CHANGES TO THE EXTERIOR OF THE BUILDING



Jose R Carlo Digitally signed by Jose R Carlo Date: 2024.08.27 14:13:37 -04'00'

BEY BEY RESTAURANT & CAFE

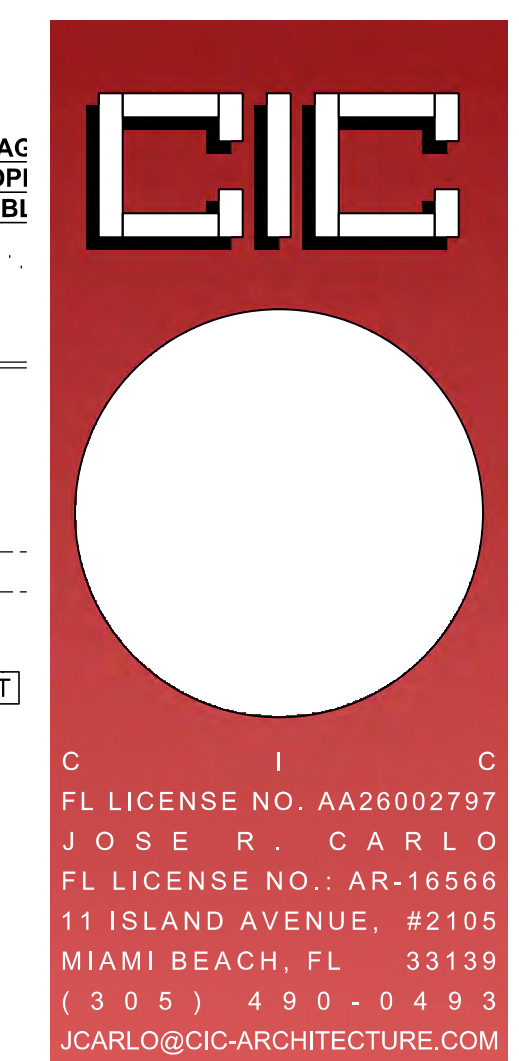
1330 18TH STREET MIAMI BEACH, FL 33139

DEMOLITION PERMIT JUNE 17, 2024

BEY BEY RESTAURANT & CAFE 1330 18TH STREET MIAMI BEACH, FL 33139 DEMOLITION PERMIT - JUNE 17, 2024

PROJECT : 2402 DATE : JUNE 17, 2024 FILE : BEY PERMIT DEMO 240617 REV. DESCRIPTION DATE RESPONSES TO CMB COMMENTS 24 AUG 24

SCALE: 1/4" = 1'-0"



Jose R Carlo  
 Digitally signed by Jose R Carlo  
 Date: 2024.08.27 14:13:58 -04'00'

**BEY BEY RESTAURANT & CAFE**  
 1330 18TH STREET  
 MIAMI BEACH, FL 33139  
 DEMOLITION PERMIT - JUNE 17, 2024

PROJECT : 2402  
 DATE : JUNE 17, 2024  
 FILE : BEY PERMIT DEMO 240617  
 REV. DESCRIPTION DATE  
 RESPONSES TO CMB COMMENTS 24 AUG 24

SCALE: 1/4" = 1'-0"  
**DEMOLITION PLAN**  
**GROUND FLOOR**  
**D1**  
 REVISION 1

**SCOPE OF WORK**  
 LIMITED INTERIOR DEMOLITION AT KITCHEN  
 ALL OTHER AREAS TO REMAIN AS EXISTING

**DEMOLITION / ARCHITECTURE**  
 NEW 3'-6"x7'-0" OPENING IN NON-STRUCTURAL  
 DRYWALL PARTITION. TOTAL DEMOLITION AREA = 49SF

**MECHANICAL**  
 NO CHANGES TO THE EXISTING HVAC SYSTEM

**ELECTRICAL**  
 NO CHANGES TO THE EXISTING ELECTRICAL SYSTEM

**PLUMBING**  
 NO CHANGES TO THE EXISTING PLUMBING SYSTEM

**FIRE SAFETY**  
 NO CHANGES TO THE EXISTING SPRINKLER SYSTEM  
 NO CHANGES TO EXISTING FIRE ALARM SYSTEM  
 (STROBE/ANNUNCIATORS, FIRE PULL STATIONS,  
 EMERGENCY EGRESS LIGHTS, & EXIT LIGHTS)  
 NO CHANGES TO THE EXISTING MEANS OF EGRESS

**STRUCTURAL**  
 NO CHANGES TO THE EXISTING STRUCTURE

**ZONING**  
 NO NEW SIGNAGE  
 NO CHANGE OF USE (RESTAURANT / CAFE)  
 NO CHANGES TO THE EXTERIOR OF THE BUILDING

**CEILING LEGEND**

W	WALL MOUNTED FIXTURE / SCONCE
C	SECURITY CAMERA (LOW VOLTAGE WIRING)
T	THERMOSTAT
A	SECURITY ALARM
S	HORN STROBE
FA	FIRE ALARM SPEAKER
SD	SMOKE DETECTOR
S	SWITCH
RL	RECESSED LIGHT FIXTURE
J	J-BOX
DEM	DEMOLITION
EX	EXISTING
REL	RELOCATE

**FIRE SPRINKLER LEGEND**

PH	PENDENT HEAD
SH	SIDEWALL HEAD

ALL FIRE SPRINKLERS, FIRE ALARM SPEAKERS, SMOKE DETECTORS, & ANY OTHER FIRE SAFETY DEVICES SHOWN ARE EXISTING TO REMAIN, UNLESS OTHERWISE NOTED

**CEILING LEGEND**

SYMBOL	HEIGHT	DESCRIPTION
[Pattern]	17'-1" AFF	EXISTING UNDERSIDE OF CONC. ROOF SLAB - PAINT FINISH
[Pattern]	+8'-2" AFF	NEW DRYWALL CEILING - PAINT FINISH
[Pattern]	+8'-2" AFF	EXISTING DROPPED DRYWALL CEILING TO REMAIN - PAINT FINISH
[Pattern]	+7'-10" AFF	EXISTING UNDERSIDE OF CONCRETE ROOF - PAINT FINISH (+17'-1" AFF DOUBLE HT. SPACE)

**CEILING NOTES**

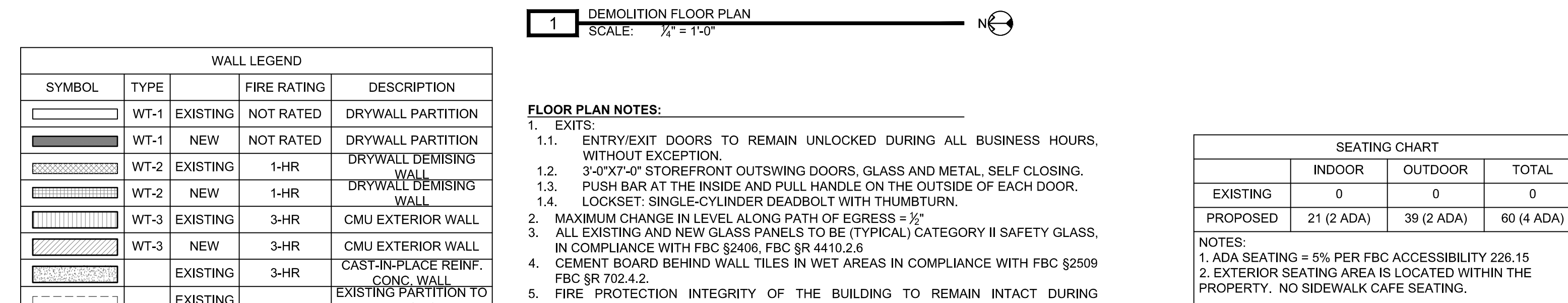
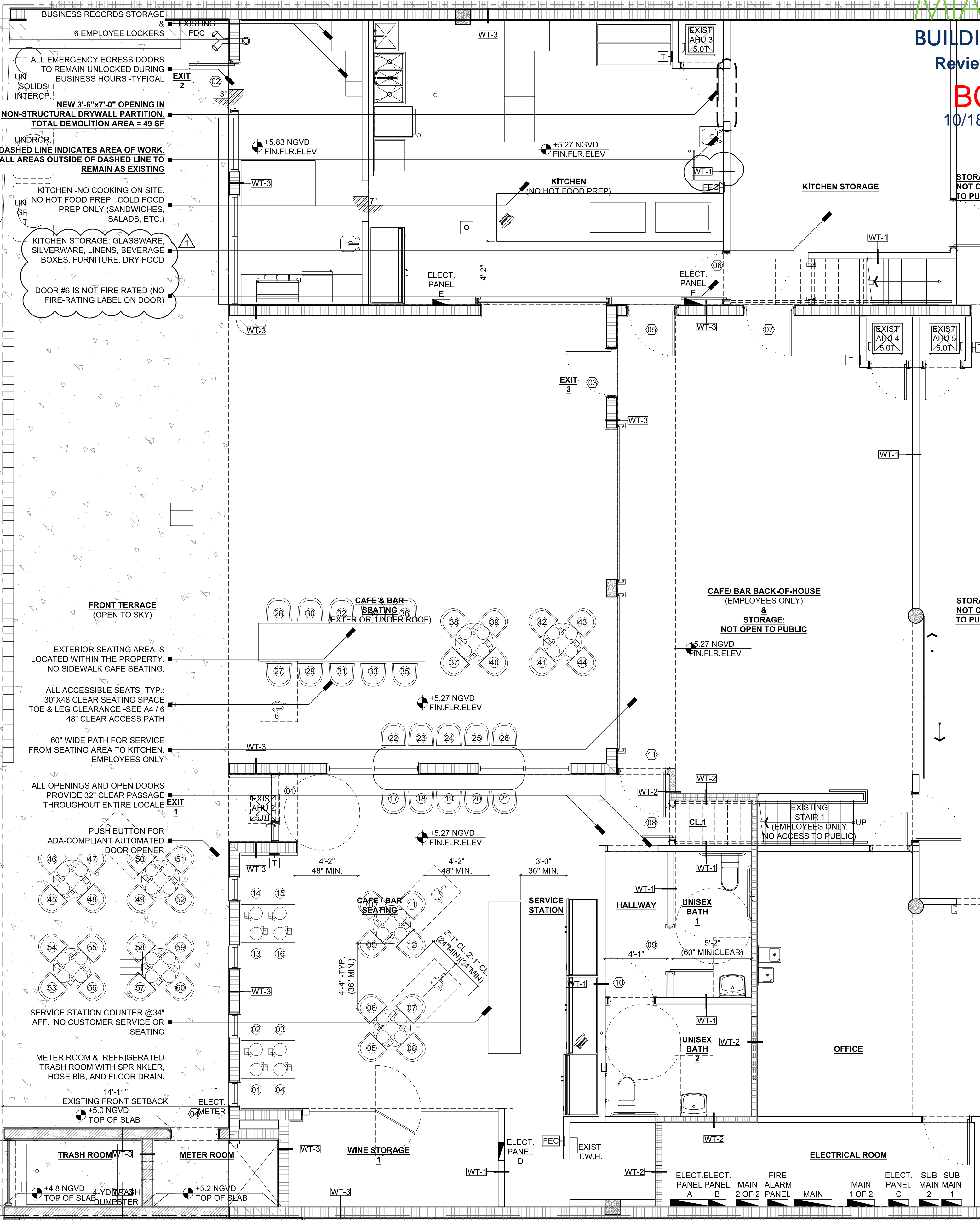
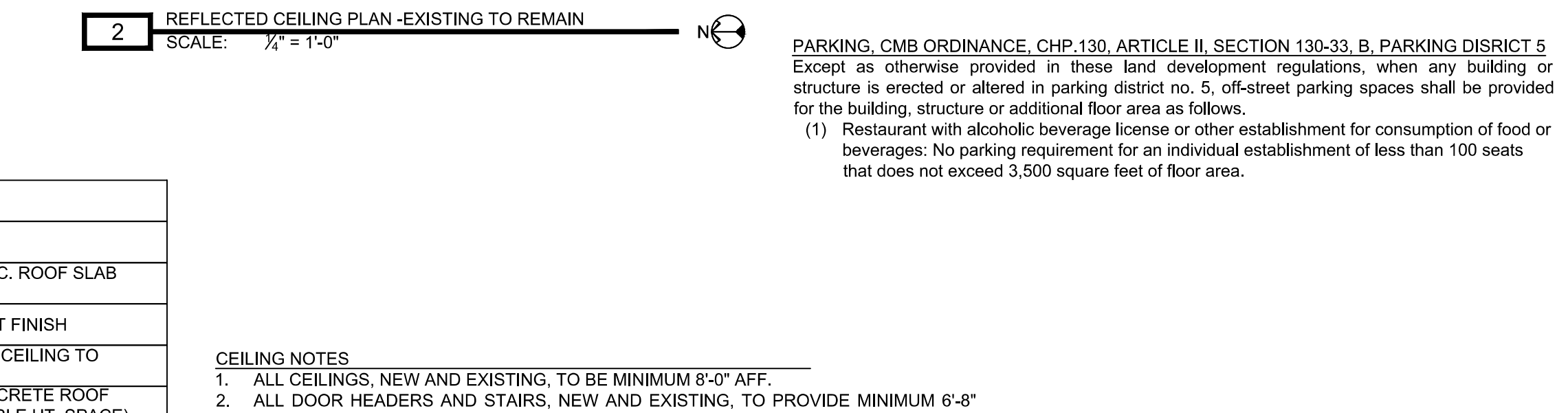
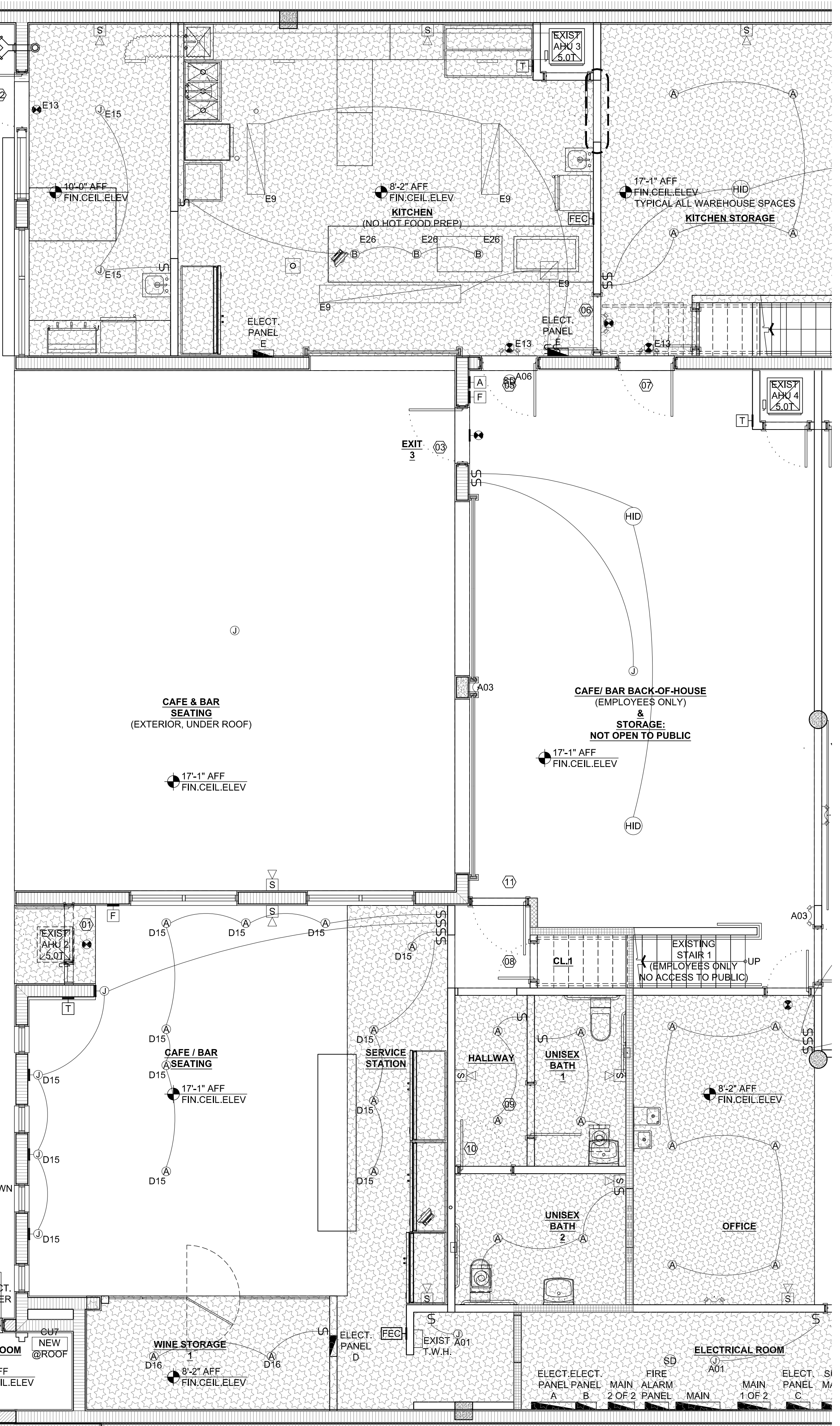
- ALL CEILINGS, NEW AND EXISTING, TO BE MINIMUM 8'-0" AFF.
- ALL DOOR HEADERS AND STAIRS, NEW AND EXISTING, TO PROVIDE MINIMUM 6'-8" HEAD CLEARANCE.

**WALL LEGEND**

SYMBOL	TYPE	FIRE RATING	DESCRIPTION
[Pattern]	WT-1	EXISTING	NOT RATED DRYWALL PARTITION
[Pattern]	WT-1	NEW	NOT RATED DRYWALL PARTITION
[Pattern]	WT-2	EXISTING	1-HR DRYWALL DEMISING WALL
[Pattern]	WT-2	NEW	1-HR DRYWALL DEMISING WALL
[Pattern]	WT-3	EXISTING	3-HR CMU EXTERIOR WALL
[Pattern]	WT-3	NEW	3-HR CMU EXTERIOR WALL
[Pattern]		EXISTING	3-HR CAST-IN-PLACE REINF. CONC. WALL
[Pattern]		EXISTING	EXISTING PARTITION TO BE DEMOLISHED

**2 REFLECTED CEILING PLAN - EXISTING TO REMAIN**  
 SCALE: 1/4" = 1'-0"

**1 DEMOLITION FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



**WALL LEGEND**

SYMBOL	TYPE	FIRE RATING	DESCRIPTION
[Pattern]	WT-1	EXISTING	NOT RATED DRYWALL PARTITION
[Pattern]	WT-1	NEW	NOT RATED DRYWALL PARTITION
[Pattern]	WT-2	EXISTING	1-HR DRYWALL DEMISING WALL
[Pattern]	WT-2	NEW	1-HR DRYWALL DEMISING WALL
[Pattern]	WT-3	EXISTING	3-HR CMU EXTERIOR WALL
[Pattern]	WT-3	NEW	3-HR CMU EXTERIOR WALL
[Pattern]		EXISTING	3-HR CAST-IN-PLACE REINF. CONC. WALL
[Pattern]		EXISTING	EXISTING PARTITION TO BE DEMOLISHED

**FLOOR PLAN NOTES:**

- EXITS:
  - ENTRY/EXIT DOORS TO REMAIN UNLOCKED DURING ALL BUSINESS HOURS, WITHOUT EXCEPTION.
  - 3'-0"x7'-0" STOREFRONT OUTSWING DOORS, GLASS AND METAL, SELF CLOSING.
  - PUSH BAR AT THE INSIDE AND PULL HANDLE ON THE OUTSIDE OF EACH DOOR.
  - LOCKSET: SINGLE-CYLINDER DEADBOLT WITH THUMBTURN.
- MAXIMUM CHANGE IN LEVEL ALONG PATH OF EGRESS = 1/2"
- ALL EXISTING AND NEW GLASS PANELS TO BE (TYPICAL) CATEGORY II SAFETY GLASS, IN COMPLIANCE WITH FBC §2406, FBC §R 4410.2.6
- CEMENT BOARD BEHIND WALL TILES IN WET AREAS IN COMPLIANCE WITH FBC §2509 FBC §R 702.4.2.
- FIRE PROTECTION INTEGRITY OF THE BUILDING TO REMAIN INTACT DURING RENOVATION

**SEATING CHART**

	INDOOR	OUTDOOR	TOTAL
EXISTING	0	0	0
PROPOSED	21 (2 ADA)	39 (2 ADA)	60 (4 ADA)

**NOTES:**


- ADA SEATING = 5% PER FBC ACCESSIBILITY 226.15
- EXTERIOR SEATING AREA IS LOCATED WITHIN THE PROPERTY. NO SIDEWALK CAFE SEATING.

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**PARKING, CMB ORDINANCE, CHP.130, ARTICLE II, SECTION 130-33, B, PARKING DISTRICT 5**  
 Except as otherwise provided in these land development regulations, when any building or structure is erected or altered in parking district no. 5, off-street parking spaces shall be provided for the building, structure or additional floor area as follows.

(1) Restaurant with alcoholic beverage license or other establishment for consumption of food or beverages: No parking requirement for an individual establishment of less than 100 seats that does not exceed 3,500 square feet of floor area.

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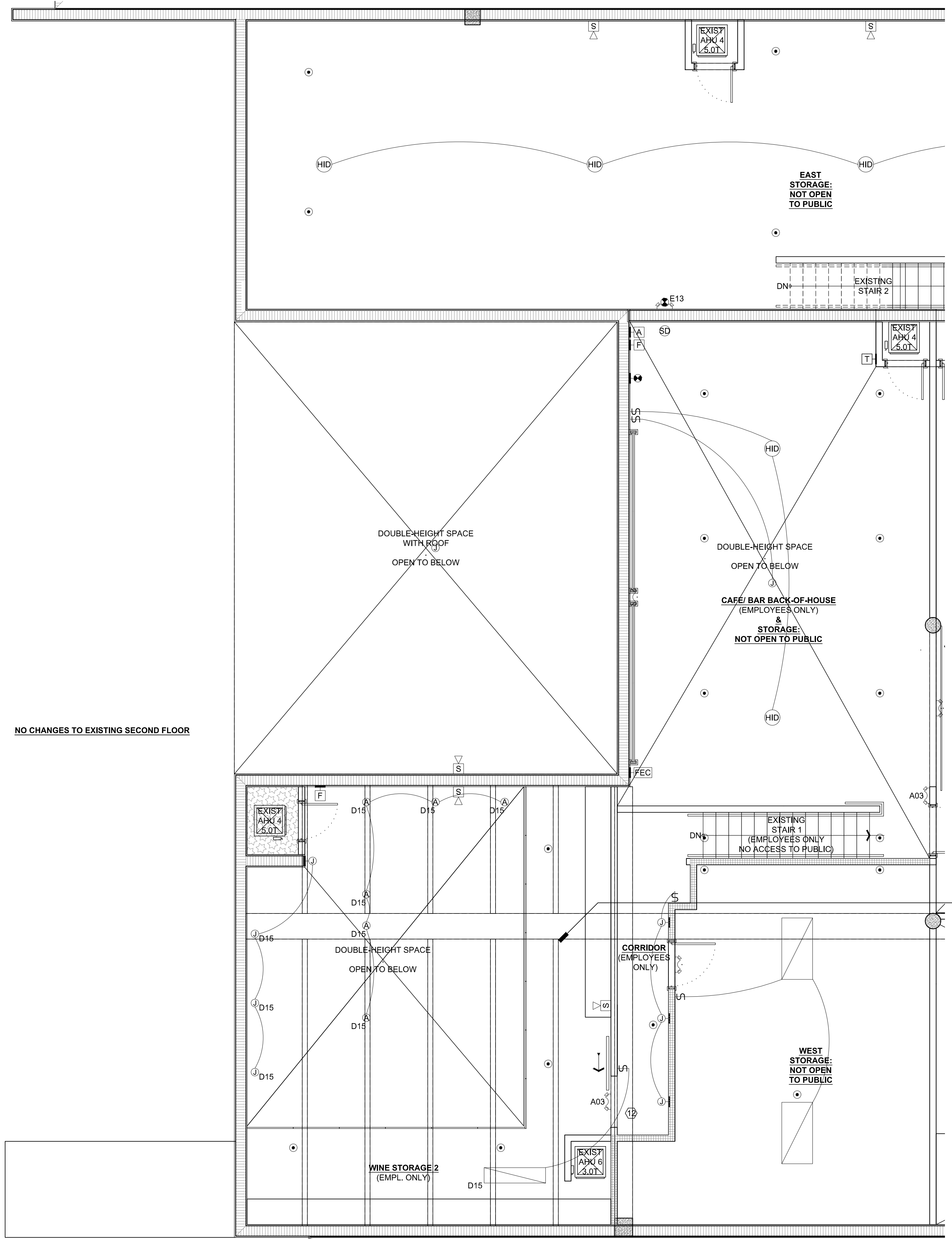
C I C  
 FL LICENSE NO. AA26002797  
 JOSE R. CARLO  
 FL LICENSE NO.: AR-16566  
 11 ISLAND AVENUE, #2105  
 MIAMI BEACH, FL 33139  
 (305) 490-0493  
 JCARLO@CIC-ARCHITECTURE.COM

Digitally signed by  
 Jose R Carlo  
 Date: 2024.08.27  
 14:14:18 -04'00'

**BEY BEY RESTAURANT & CAFE**  
 1330 18TH STREET  
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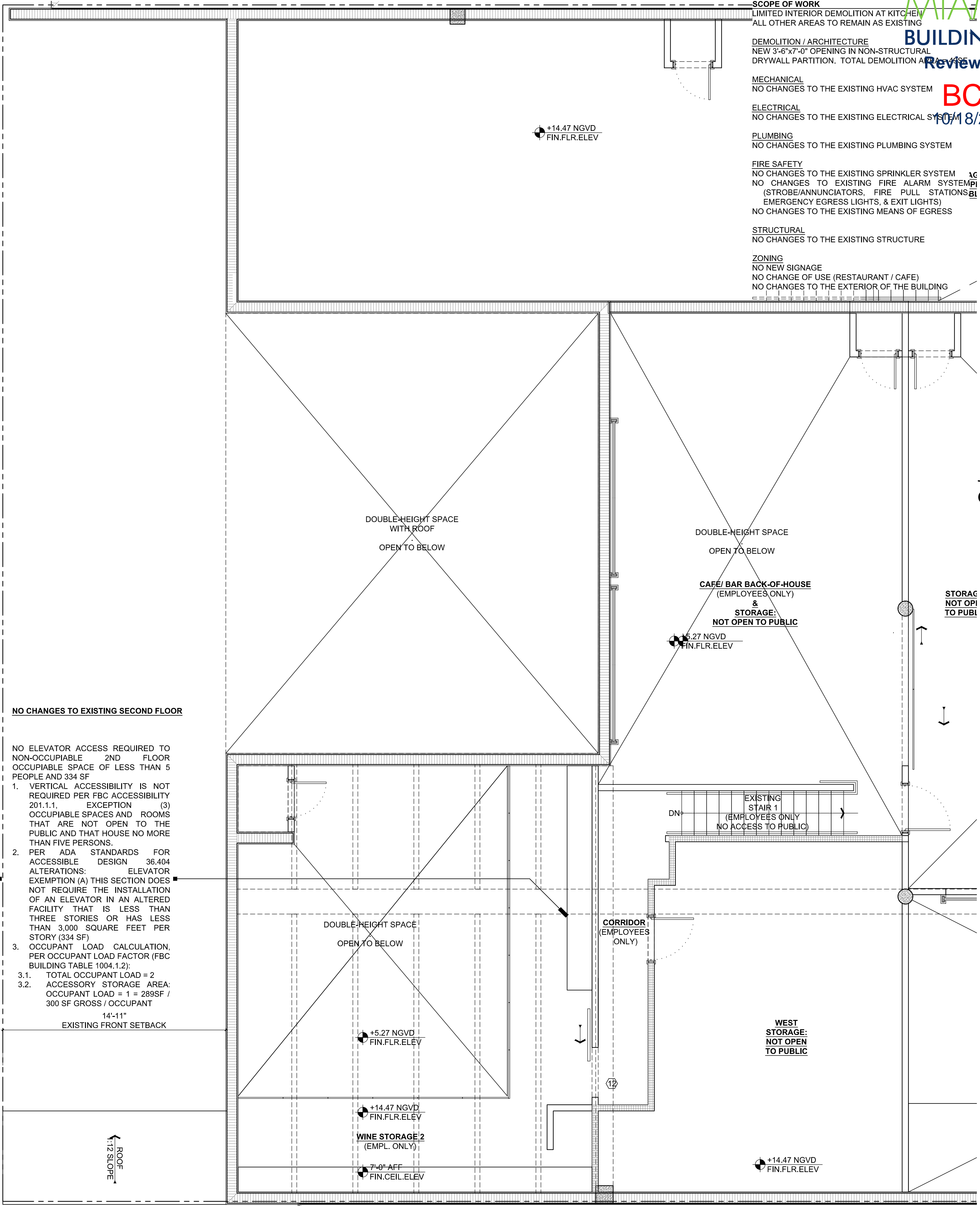
SCALE: 1/4" = 1'-0"  
**DEMOLITION PLAN SECOND FLOOR D2**



**2** LEVEL 2 - EXISTING REFLECTED CEILING PLAN TO REMAIN  
 SCALE: 1/4" = 1'-0"

CEILING LEGEND		
SYMBOL	HEIGHT	DESCRIPTION
[Symbol]	17'-1" AFF	EXISTING UNDERSIDE OF CONC. ROOF SLAB - PAINT FINISH
[Symbol]	+8'-2" AFF	NEW DRYWALL CEILING - PAINT FINISH
[Symbol]	+8'-2" AFF	EXISTING DROPPED DRYWALL CEILING TO REMAIN - PAINT FINISH
[Symbol]	+7'-10" AFF	EXISTING UNDERSIDE OF CONCRETE ROOF - PAINT FINISH (+17'-1" AFF DOUBLE HT. SPACE)

- CEILING NOTES
- ALL CEILINGS, NEW AND EXISTING, TO BE MINIMUM 8'-0" AFF.
  - ALL DOOR HEADERS AND STAIRS, NEW AND EXISTING, TO PROVIDE MINIMUM 6'-8" HEAD CLEARANCE.



**1** LEVEL 2 - EXISTING FLOOR PLAN TO REMAIN  
 SCALE: 1/4" = 1'-0"

WALL LEGEND			
SYMBOL	TYPE	FIRE RATING	DESCRIPTION
[Symbol]	WT-1	EXISTING	NOT RATED DRYWALL PARTITION
[Symbol]	WT-1	NEW	NOT RATED DRYWALL PARTITION
[Symbol]	WT-2	EXISTING	1-HR DRYWALL DEMISING WALL
[Symbol]	WT-2	NEW	1-HR DRYWALL DEMISING WALL
[Symbol]	WT-3	EXISTING	3-HR CMU EXTERIOR WALL
[Symbol]	WT-3	NEW	3-HR CMU EXTERIOR WALL
[Symbol]		EXISTING	3-HR CAST-IN-PLACE REINF. CONC. WALL
[Symbol]		EXISTING	EXISTING PARTITION TO BE DEMOLISHED

NO CHANGES TO EXISTING SECOND FLOOR  
 NO ELEVATOR ACCESS REQUIRED TO NON-OCCUPIABLE 2ND FLOOR OCCUPIABLE SPACE OF LESS THAN 5 PEOPLE AND 334 SF  
 1. VERTICAL ACCESSIBILITY IS NOT REQUIRED PER FBC ACCESSIBILITY 201.1.1. EXCEPTION (3) OCCUPIABLE SPACES AND ROOMS THAT ARE NOT OPEN TO THE PUBLIC AND THAT HOUSE NO MORE THAN FIVE PERSONS.  
 2. PER ADA STANDARDS FOR ACCESSIBLE DESIGN 36.104 ALTERATIONS: ELEVATOR EXEMPTION (A) THIS SECTION DOES NOT REQUIRE THE INSTALLATION OF AN ELEVATOR IN AN ALTERED FACILITY THAT IS LESS THAN THREE STORIES OR HAS LESS THAN 3,000 SQUARE FEET PER STORY (334 SF)  
 3. OCCUPANT LOAD CALCULATION, PER OCCUPANT LOAD FACTOR (FBC BUILDING TABLE 1004.1.2):  
 3.1. TOTAL OCCUPANT LOAD = 2  
 3.2. ACCESSORY STORAGE AREA: OCCUPANT LOAD = 1 = 289SF / 300 SF GROSS / OCCUPANT  
 14'-11" EXISTING FRONT SETBACK

- SCOPE OF WORK
- LIMITED INTERIOR DEMOLITION AT KITCHEN ALL OTHER AREAS TO REMAIN AS EXISTING
  - DEMOLITION / ARCHITECTURE  
NEW 3'-6"x7'-0" OPENING IN NON-STRUCTURAL DRYWALL PARTITION. TOTAL DEMOLITION AREA: 44 SF
  - MECHANICAL  
NO CHANGES TO THE EXISTING HVAC SYSTEM
  - ELECTRICAL  
NO CHANGES TO THE EXISTING ELECTRICAL SYSTEM
  - PLUMBING  
NO CHANGES TO THE EXISTING PLUMBING SYSTEM
  - FIRE SAFETY  
NO CHANGES TO THE EXISTING SPRINKLER SYSTEM & NO CHANGES TO EXISTING FIRE ALARM SYSTEM (STROBE/ANNUNCIATORS, FIRE PULL STATIONS, EMERGENCY EGRESS LIGHTS, & EXIT LIGHTS)  
NO CHANGES TO THE EXISTING MEANS OF EGRESS
  - STRUCTURAL  
NO CHANGES TO THE EXISTING STRUCTURE
  - ZONING  
NO NEW SIGNAGE  
NO CHANGE OF USE (RESTAURANT / CAFE)  
NO CHANGES TO THE EXTERIOR OF THE BUILDING

STORAGE NOT OPEN TO PUBLIC

WEST STORAGE: NOT OPEN TO PUBLIC

STORAGE NOT OPEN TO PUBLIC

STORAGE NOT OPEN TO PUBLIC