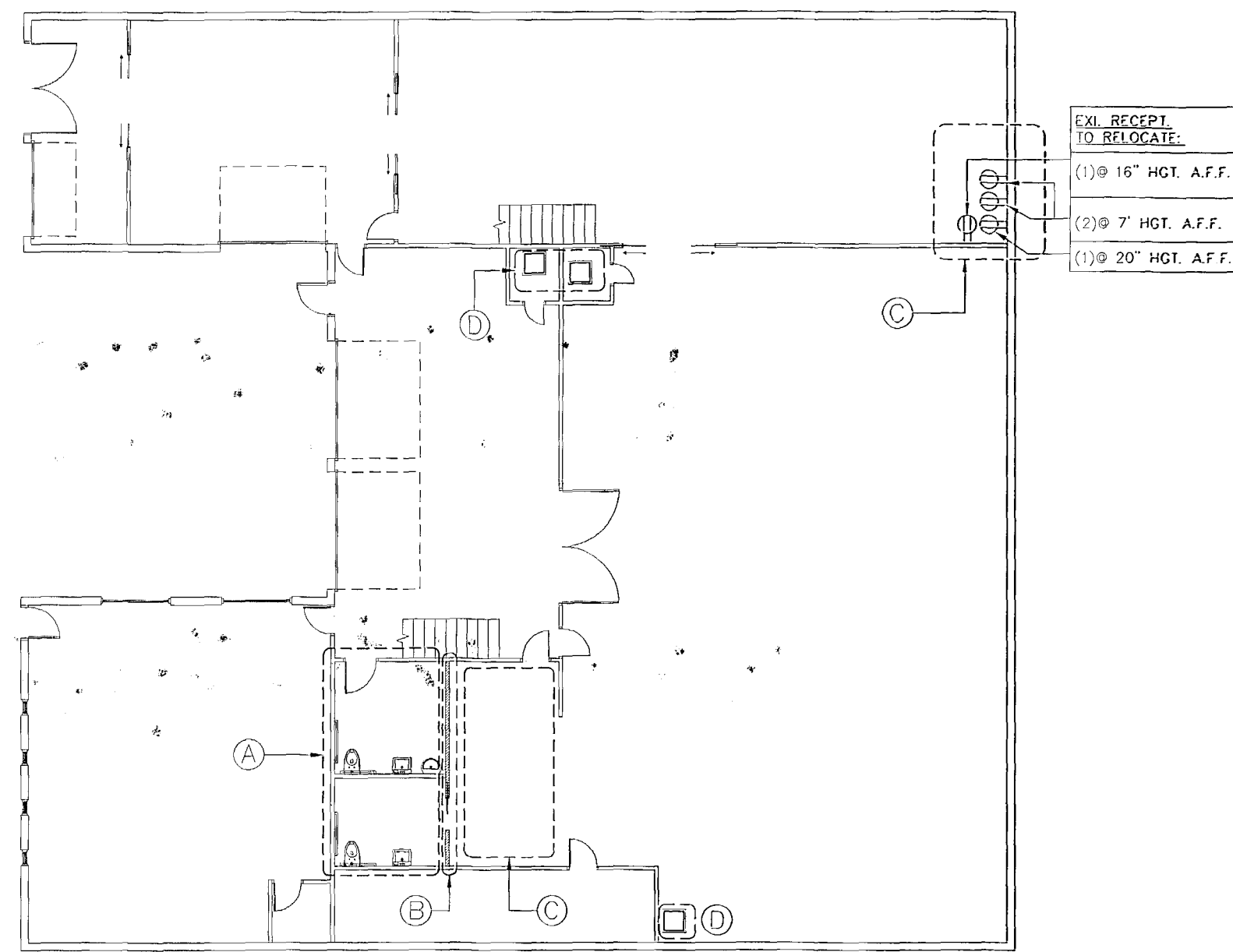


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RENOVATION/REPAIR KEY PLAN
N.T.S.

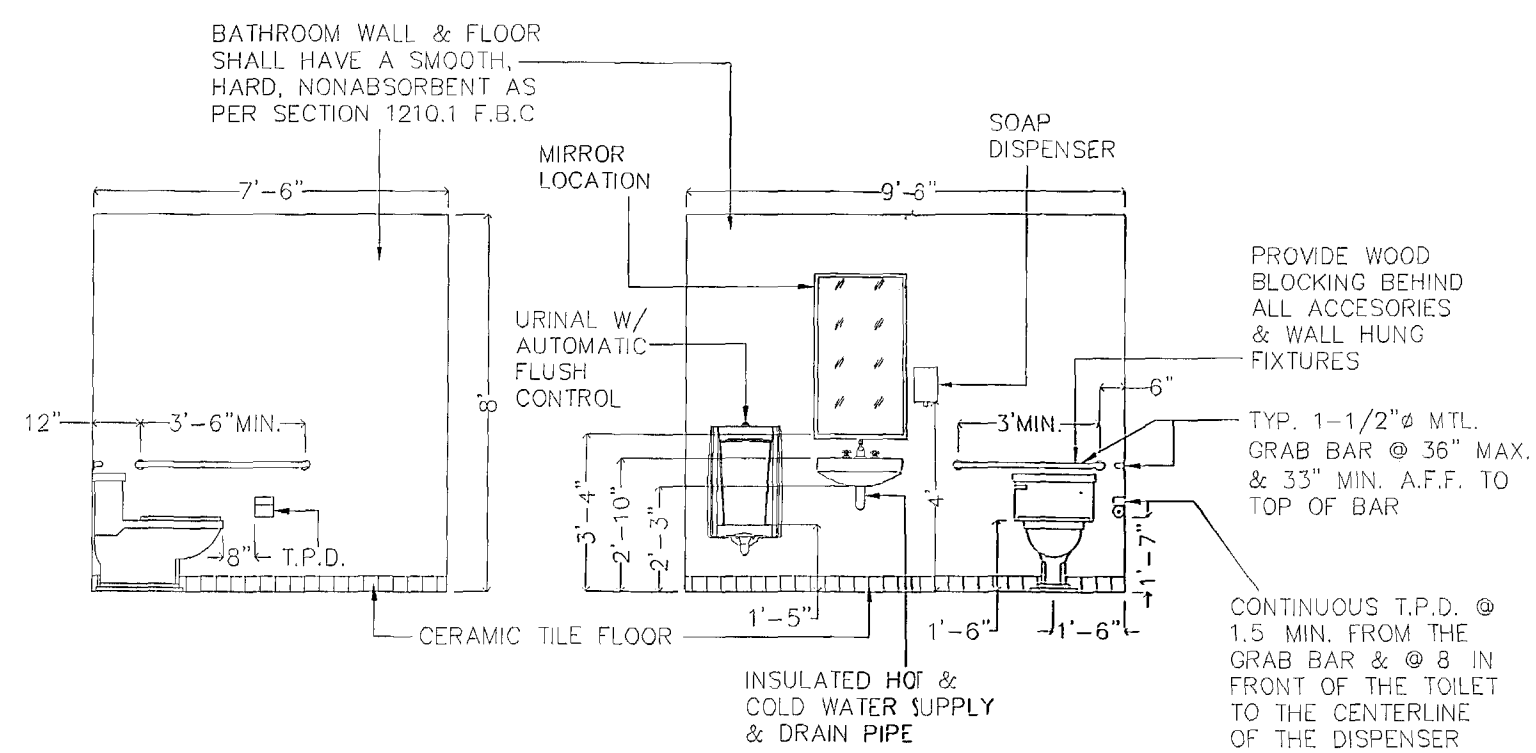
SCOPE OF WORK	
PLUMBING	(A) - EXI. WATER CLOSET, LAVATORY & URINAL TO BE REPLACED. EXACT CHANGE-OUT
BUILDING	(B) - EXISTING 4" INTERIOR PARTITION WALL TO BE REPAIRED AS SHOWN (C) - EXISTING DOOR TO BE REMOVED & REPLACED BY A NEW POCKET DOOR AS SHOWN
ELECTRICAL	(6) EXI. LGT. FIXTURES & (1) LIGHT SWITCH TO BE REPLACED. EXACT CHANGE-OUT (4) EXISTING RECEPTACLES TO RELOCATE: (1) @ 16" HGT. A.F.F. EXI. 3#6 THWN CU IN 3/4" COND. 240 V. (2) @ 7" HGT. A.F.F. EXI. 3#6 THWN CU IN 3/4" COND. 240 V. (1) @ 20" HGT. A.F.F. EXI. 3#8 THWN CU IN 3/4" COND. 240 V.
MECHANICAL	(D) - EXISTING A.H.U. TO BE REPLACED. EXACT CHANGE-OUT - EXISTING PLENUM TO BE REPAIRED. EXACT CHANGE-OUT

EXI. AREA TO BE RENOVATED: 164 SQ.FT. THE REST WILL REMAIN AS IS UNLESS OTHERWISE NOTED ON PLANS

MISCELLANEOUS ACCESSORIES SUCH AS COAT HOOK, SOAP DISPENSER, AND HAND DRYER MOUNTED AT 48" MAX ABOVE THE FINISHED FLOOR TO THE OPERABLE PART

NOTE: USE GREENBOARD ON FIXTURE WALL (TYP.)

STEEL STUDS SUPPORTING ALL HUNG PLUMBING FIXTURES SHALL BE DOUBLED OR NO LESS THAN 20 GAUGE AS PER SECTION 2517.5.11 F.B.C



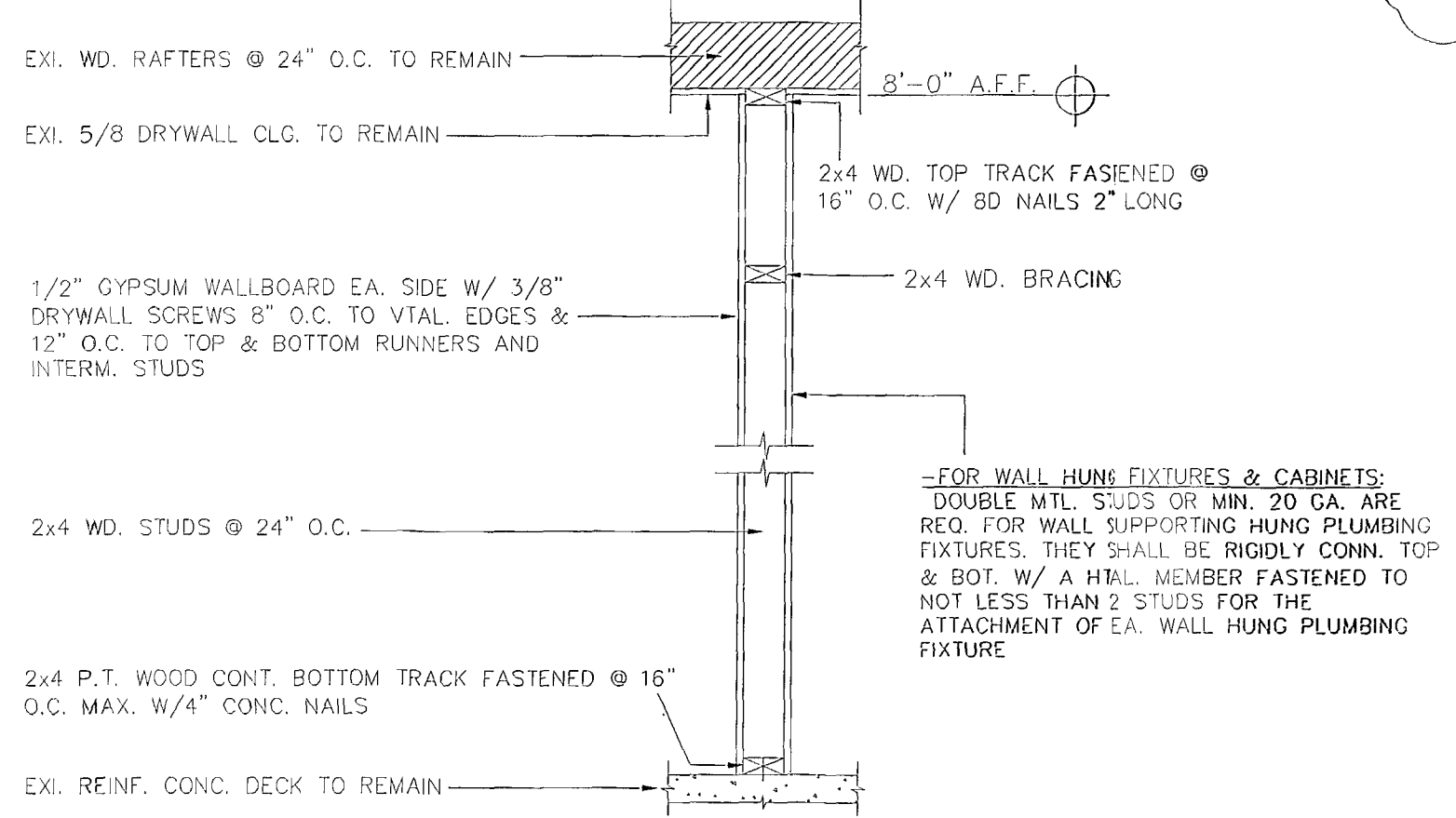
TYP. ACCESSIBLE BATHROOM ELEVATION
N.T.S.

OCCUPANCY NOTES:
- OCCUPANCY: BUSINESS
- OCCUPANT LOAD:
WAREHOUSE AREA:
4668 SQ.FT. x 1 PER/500 SQ.FT. = 9 PERSONS
OFFICE AREA:
1083 SQ.FT. x 1 PER/100 SQ.FT. = 10 PERSONS
TOTAL = 19 PERSONS

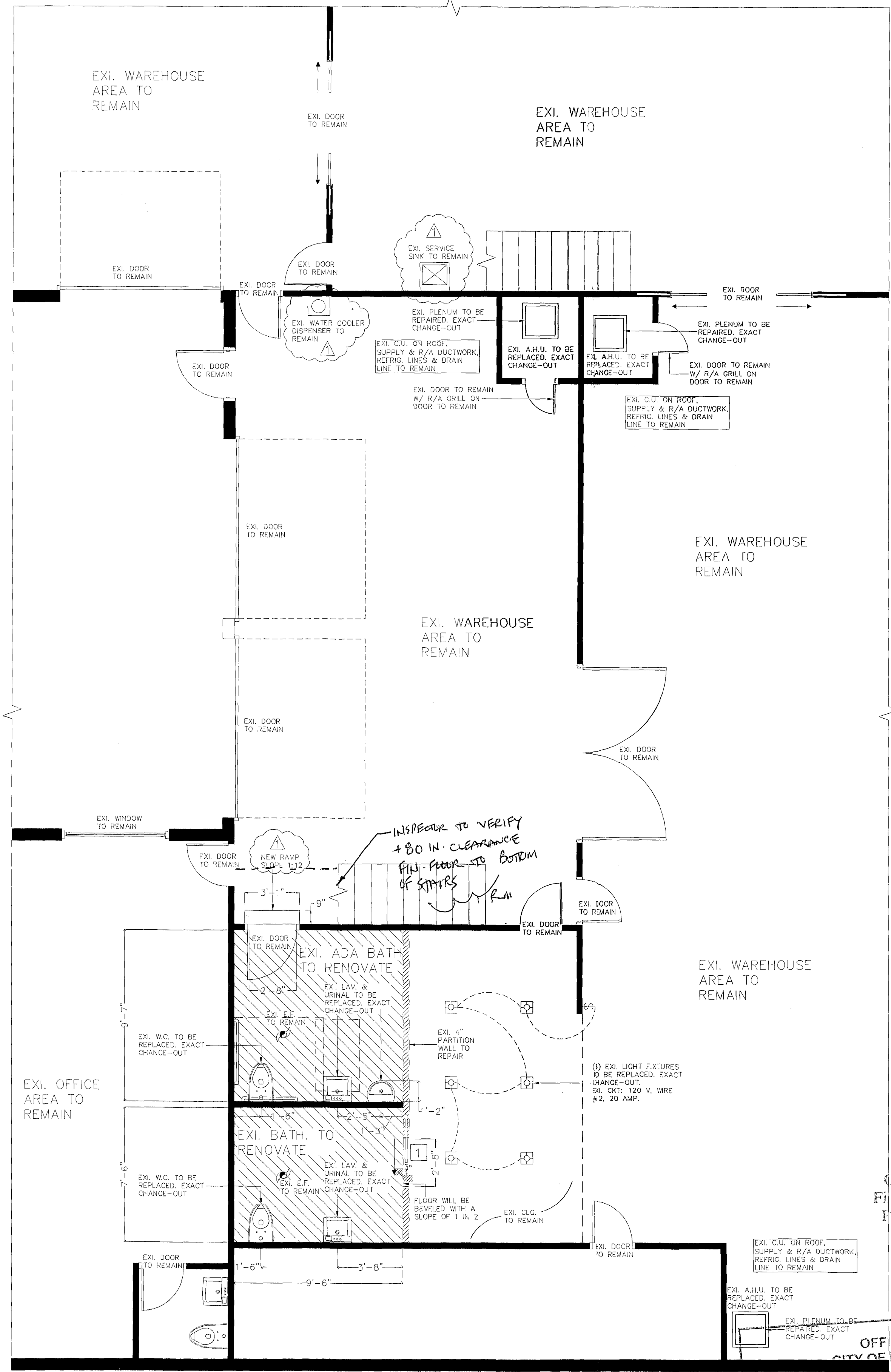
PLUMBING FIXTURE SCHEDULE												
	LAVATOR.		WC.		SINK		URINALS		DRINK. FOUNT.		SERV. SINKS	
	PRVD.	REQ.	PRVD.	REQ.	PRVD.	REQ.	PRVD.	REQ.	PRVD.	REQ.	PRVD.	REQ.
MALE	1	1	1	1	1	1	1	1	1	1	1	1
FEMALE	1	1	1	1	1	1	1	1	1	1	1	1

WALL SCHEDULE	
MARK	DESCRIPTION
	EXI. INTERIOR PARTITION TO REPAIR
	EXI. PARTITION WALL TO REMAIN
	EXI. EXTERIOR WALL TO REMAIN

NEW DOOR SCHEDULE			
MARK	WIDTH	HEIGHT	DESCRIPTION
[1]	2'-8"	6'-8"	POCKET DOOR



TYP. INTERIOR PARTITION DETL.
N.T.S.



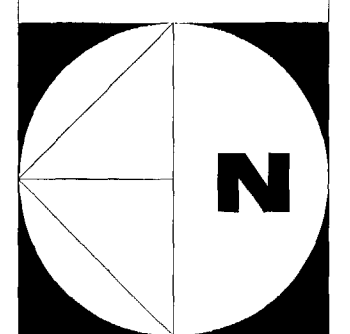
FLOOR PLAN
SCALE 1/4" = 1'

City of Miami Beach
Fire Prevention Division
PLANS APPROVED

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:
Rm 1/6/17
BUILDING:
ZONING:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
FLOOD:
PUBLIC WORKS:
STRUCTURAL:
ELEVATOR:
ROOFING:

REVISIONS
A 12-21-16

PROJECT/CLIENT NAME
BATHROOM RENOVATION & A.H.U. REPAIR FOR:
1330 18 ST.
MIAMI BEACH, FL 33139



SCALE: AS SHOWN
DATE: 10-27-16
PREPARED BY: R.P.D.
PAGE 1 OF 1

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1330 18th Street

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1330
18th

Rudolf P-1
Rev. 3

Photo
02-11-12