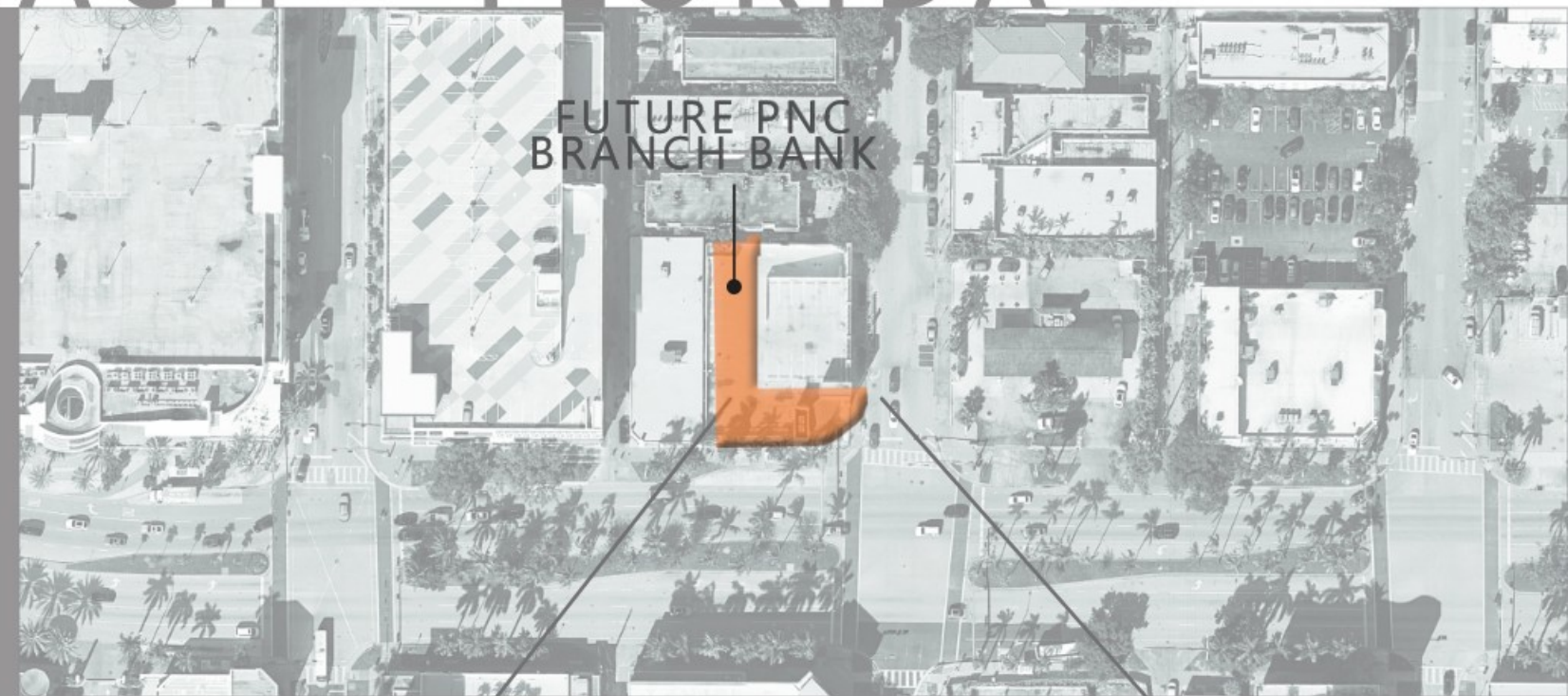


# PNC SOUTH BEACH - FLORIDA

## PRE-APPLICATION HISTORICAL PRESERVATION BOARD PACKAGE

4,822 SF  
1011 5TH ST.  
SUITE A  
MIAMI BEACH, FLORIDA 33139  
DATE: 05.08.2026



### SCOPE OF WORK:

- Repainting of Exterior
- Addition of 24" Letter Set and Powerlink Sign
- Addition of Fiber Cement Panels with LED Linear Lighting
- Addition of Entry Canopy
- Replacement of Entry Vestibule Door with Glass Panel

## LETTER OF INTENT

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On behalf of the property owner and tenant, RS&H respectfully submits this application for a Certificate of Appropriateness for proposed exterior improvements to the existing commercial building located at 1011 5th Street in Miami Beach. The subject property is located within the Ocean Beach Historic District and the existing structure, constructed in 1995, is classified as a non-contributing building.

The proposed scope of work consists of exterior façade enhancements intended to modernize and improve the overall appearance of the building while maintaining compatibility with the surrounding context. The improvements include the addition of a new architectural canopy element at the primary entrance, updated building signage, refinements to the exterior façade, removal of the additional signage framing at the exterior entrance, and minor modifications to the entry vestibule, including the replacement of an existing door with a fixed glass panel to maintain transparency and improve the entry condition.

The exterior finish strategy is intended to maintain the building's existing light/white appearance while incorporating fiber cement panel accent elements with integrated architectural lighting as shown in the conceptual package. The fiber cement panels are proposed to provide a durable exterior finish suitable for a high pedestrian-traffic environment while maintaining the intended façade articulation. The proposed modifications are limited to surface-level architectural improvements and do not alter the existing building footprint, massing, or primary structural elements.

No changes are proposed to the site layout, parking configuration, or surrounding landscape areas as part of this application.

It should be noted that no interior floor plan modifications are included as part of this application. Interior improvements for the project have been previously permitted and approved by the City of Miami Beach under Building Permit No. BC2526445 and Permit Revision No. RV2626961, which are currently under construction. For clarity and coordination, the approved architectural plans associated with those permits have been included in this submittal package for reference to illustrate the future interior layout.

As construction is in progress, the "existing" drawings included in this application reflect the approved and permitted condition, which represents the future as-built configuration upon completion of the interior work. Current site photographs have also been provided to document the present condition of the building prior to completion of construction.

The proposed project has also been reviewed in consideration of the City of Miami Beach Sea Level Rise and Resiliency Review Criteria pursuant to Section 7.1.2.4 of the City Code. As the scope is limited to exterior architectural improvements to an existing structure, with no new construction, additions, site work, or changes to grading or finished floor elevations, the proposed work does not adversely impact the site's existing floodplain compliance, drainage conditions, or overall resiliency performance.

We respectfully request the Historic Preservation Board's review and approval of the proposed exterior improvements. Supporting documents, including existing and proposed drawings, renderings, material information, and photographic documentation, are included as part of this submission.

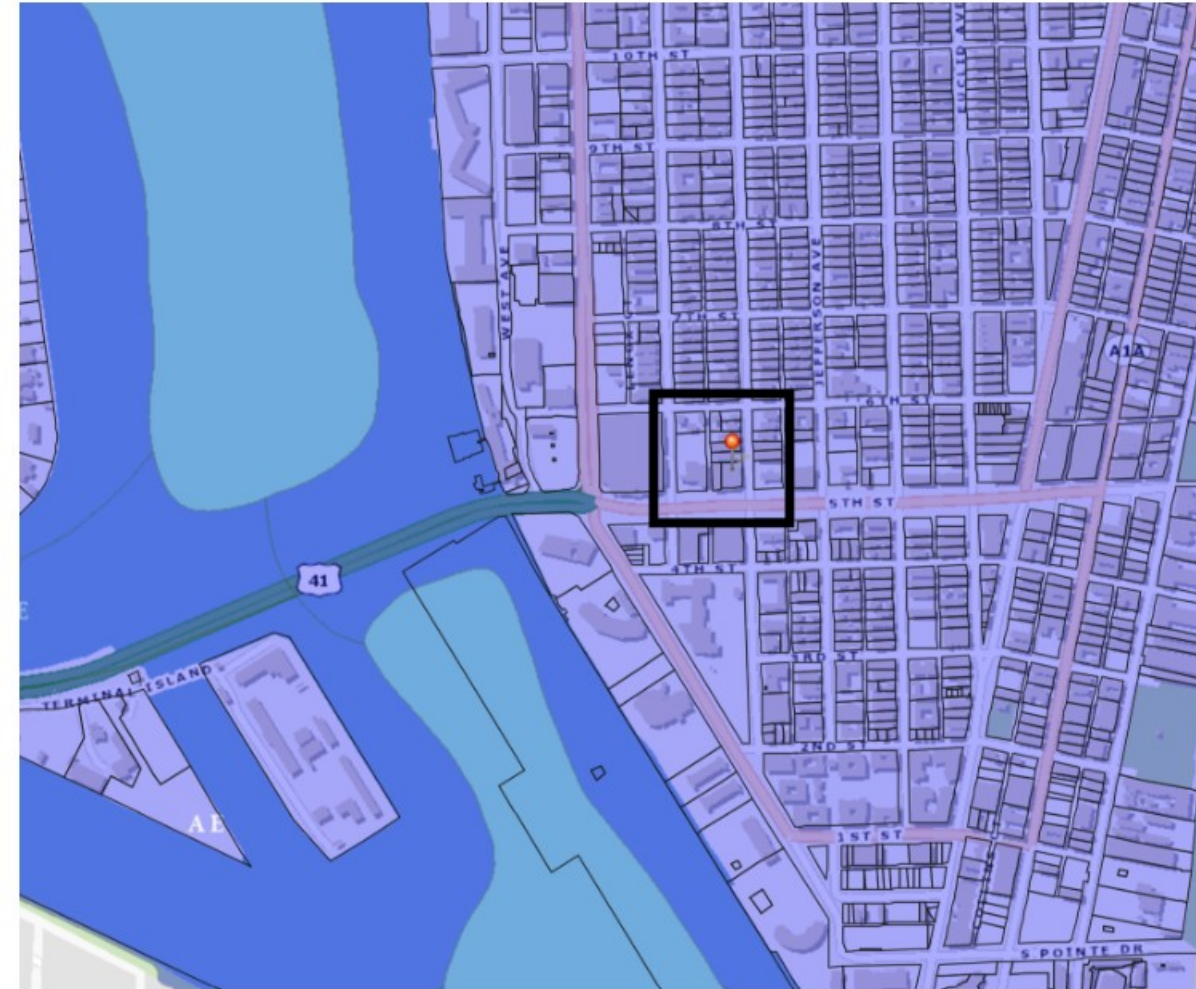
**MIAMI BEACH**

Planning Department  
 1700 Convention Center Drive, 2nd Floor  
 Miami Beach, Florida 33139, www.miamibeachfl.gov  
 305.673.7550

**COMMERCIAL - ZONING DATA SHEET**

**ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY RESULT IN A FAILED REVIEW**

ITEM #	Project Information				
1	Address: 1011 5th St Suite A, Miami Beach, FL 33139	Folio number(s): 02-4204-002-0010	Year built:	1995	
2	Board file number(s), Determination of Architectural Significance:	N/A	Lot Area:	14,000	
3	Located within a Local Historic District (Yes or No): <b>Yes</b>	Zoning District: CPS-2	Lot width:	100'	
4	Individual Historic Site (Yes or No): <b>No</b>		Lot Depth:	140'	
5	Base Flood Elevation:	8'	Grade value in NGVD:	6	
6	Adjusted grade (BFE+Grade / 2):	7	Free board:	+1	
7	Proposed Use:	Retail - Bank			
8	Proposed Accessory Use:	N/A			
9	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan):	N/A			
<b>ZONING INFORMATION / CALCULATION</b>		<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Deficiencies</b>
13	Floor Area Ratio (FAR)	21,000	12,321	N/A	None
14	Building Height	50	30	N/A	None
15	At grade parking lot on the same lot	N/A			
a	Front setbacks	N/A			
b	Side interior setback	N/A			
c	Side facing street setback	N/A			
d	Rear setback	N/A			
16	Subterranean, Pedestal & Tower (non-Oceanfront)	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Deficiencies</b>
a	Front setbacks	0	0	N/A	None
b	Side interior setback	0	0	N/A	None
c	Side facing street setback	0	0	N/A	None
d	Rear setback	5	5	N/A	None
17	Subterranean, Pedestal & Tower (non-Oceanfront)	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Deficiencies</b>
a	Front setbacks	N/A			
b	Side interior setback	N/A			
c	Side facing street setback	N/A			
d	Rear setback	N/A			
18	Minimum Apartment Unit Size	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Deficiencies</b>
a	New Construction	N/A			
b	Rehabilitated Buildings	N/A			
c	Hotel Unit	N/A			
19	Average Apartment Unit Size	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Deficiencies</b>
a	New Construction	N/A			
b	Rehabilitated Buildings	N/A			
c	Hotel Unit	N/A			
20	Required Open-space ratio (RPS, CPS)	N/A			
21	Parking	29	29	N/A	N/A
22	Loading	N/A			



**SITE INFORMATION**

**State:** Florida  
**City:** Miami Beach  
**County:** Miami Dade County  
**Folio:** 02-4204-002-0010  
**Address:** 1011 5<sup>th</sup> St.  
**Zoning:** CPS-2-Commercial General Mixed-Use  
**District:** Ocean Beach Historic District

Notes: Indicate N/A if not applicable.

**LEGEND**



PNC Lease Space



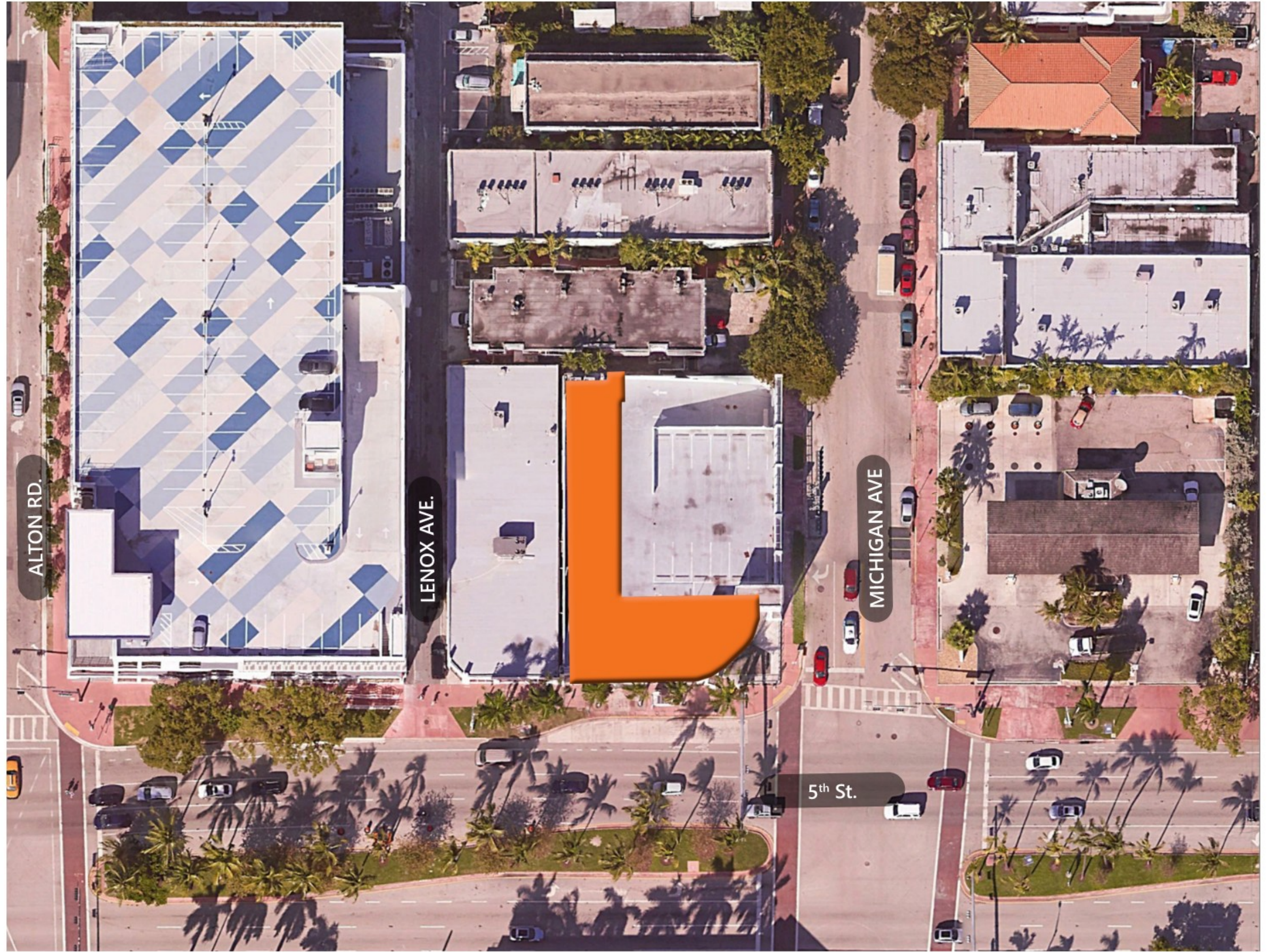
1/2 Mile Radius



Scale: NTS

LEGEND

 PNC Lease Space



Scale: NTS

**LEGEND**

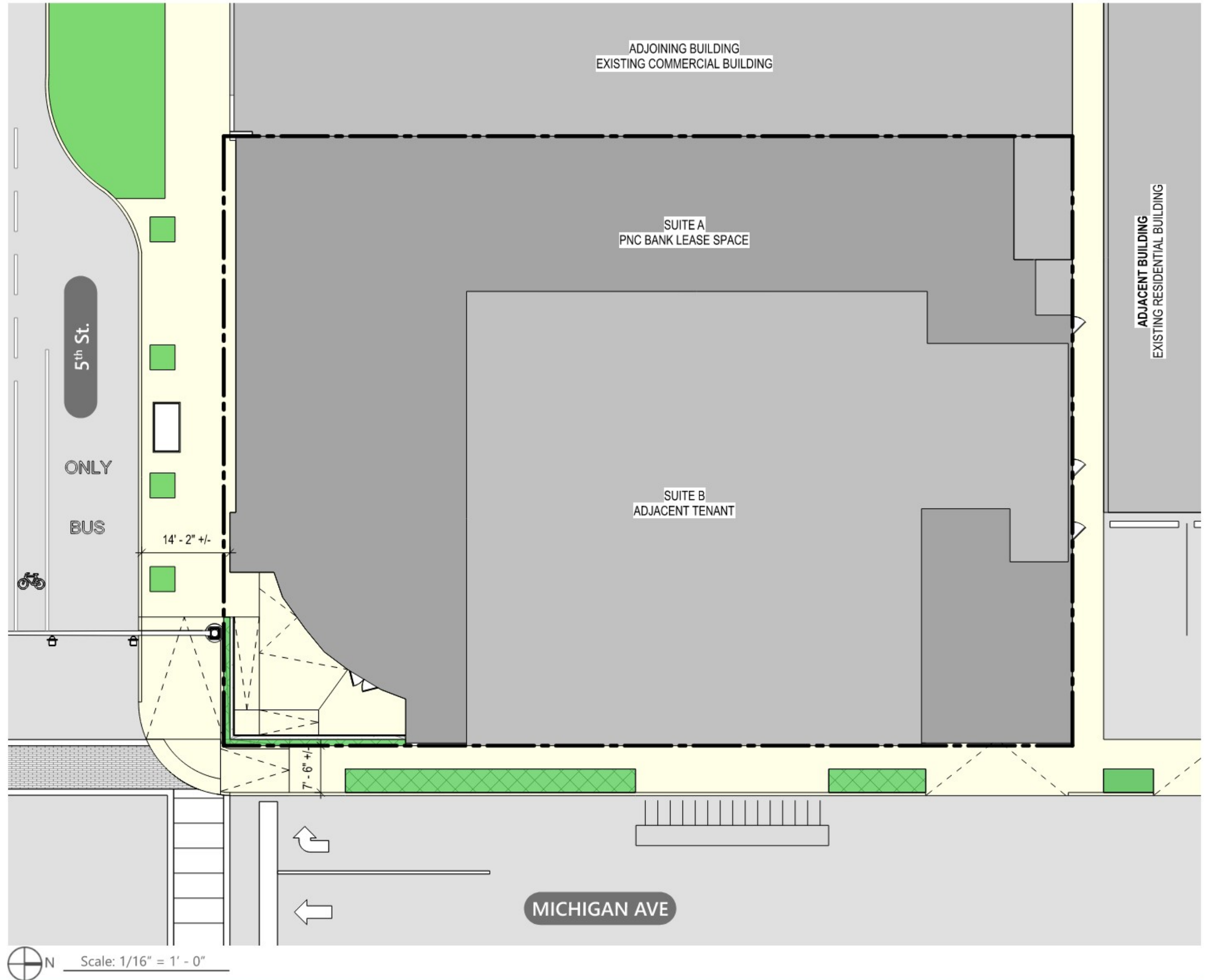
- Landscaping
- Asphalt
- Concrete
- Property Line

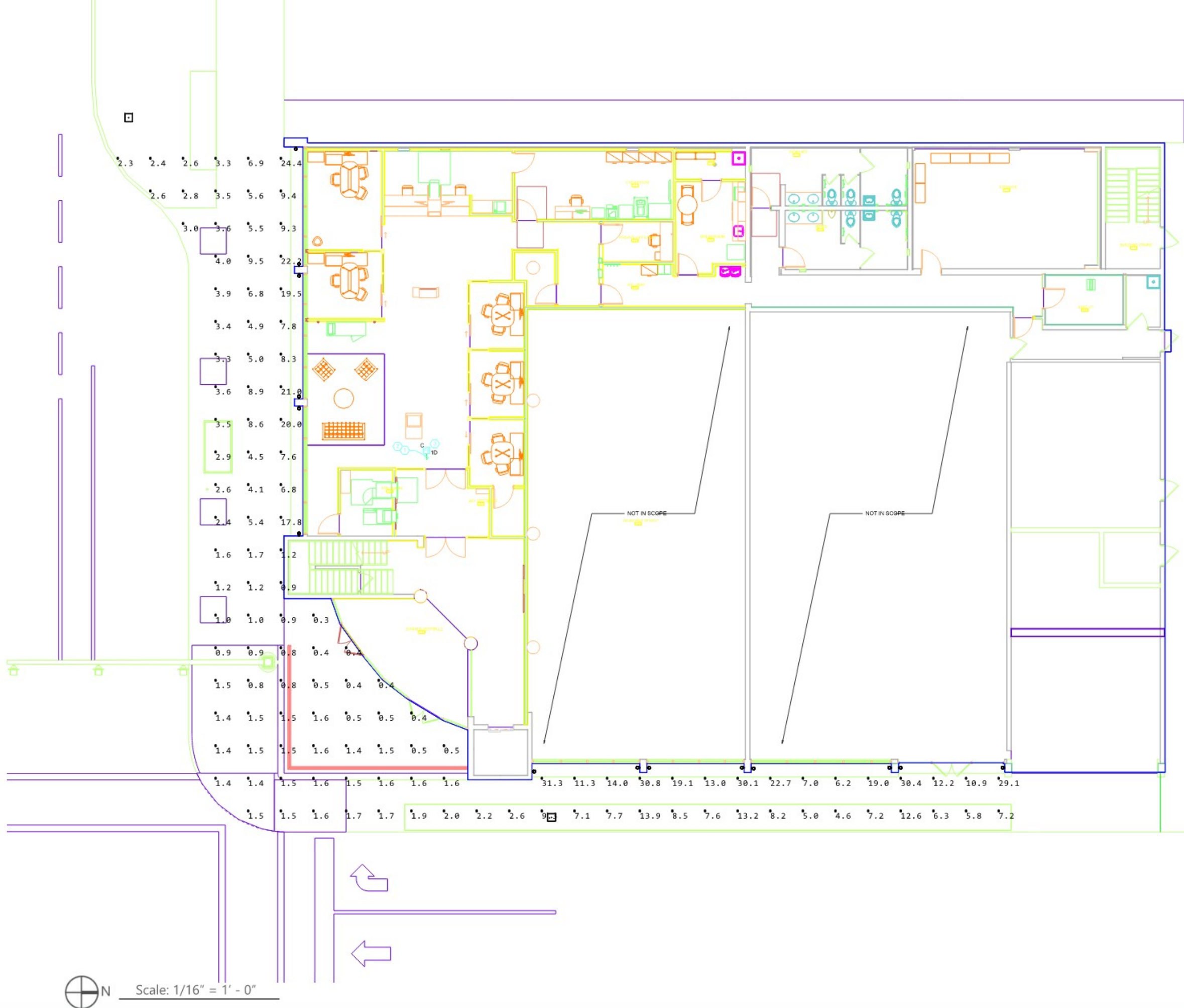
**SITE PLAN INFORMATION**

A	Identify: setbacks <b>0</b> Height <b>30</b> Drive aisle widths <b>N/A</b> Streets and sidewalks widths <b>14' - 2" and 7' - 6"</b>
B	# parking spaces & dimensions <b>2 HC spaces @ 18' x 11'6"</b> and <b>27 regular spaces @ 18' x 8'6"</b> Loading spaces locations & dimensions <b>N/A</b>
C	# of bicycle parking spaces <b>0</b>
D	Interior and loading area location & dimensions <b>N/A</b>
E	Street level trash room location and dimensions <b>6' 2" X 6' - 0"</b> Located on north side of building
F	Delivery route <b>N/A</b> Sanitation operation <b>N/A</b> Valet drop-off & pick-up <b>N/A</b> Valet route in and out <b>N/A</b>
G	Valet route to and from <b>N/A</b> auto-turn analysis for delivery and sanitation vehicles <b>N/A</b>
H	Indicate any backflow preventer and FPL vault if applicable: <b>N/A</b>
I	Indicate location of the area included in the application if applicable: <b>Suite A outline</b>
J	Preliminary on-street loading plan: <b>N/A</b>

**NOTES**

-No changes to site layout are proposed as part of this application. Existing site plan is shown for reference only

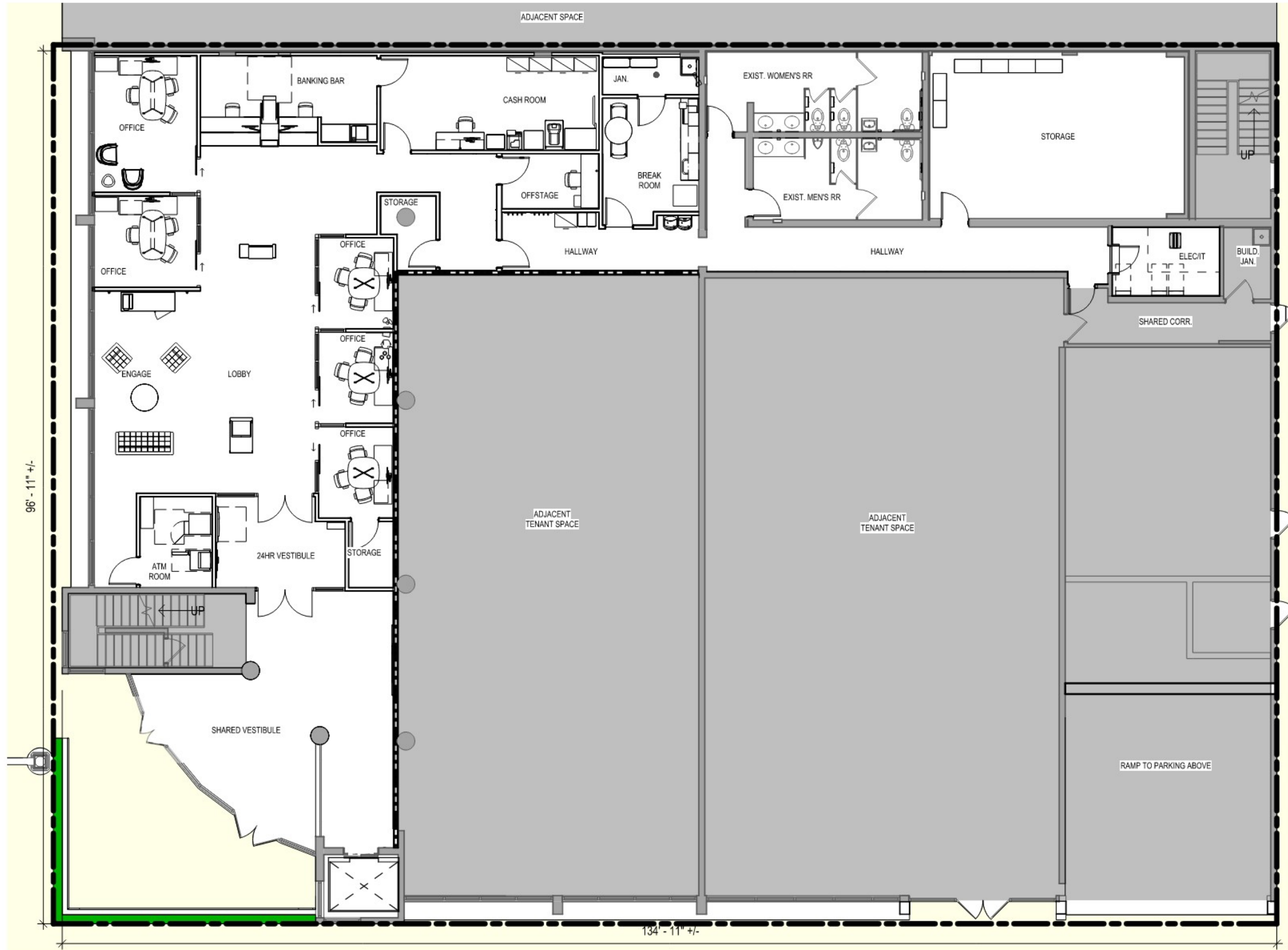




Scale: 1/16" = 1' - 0"

**LEGEND**

- Existing Partition
- Landscaping
- Concrete
- Existing Construction To Be Demolished

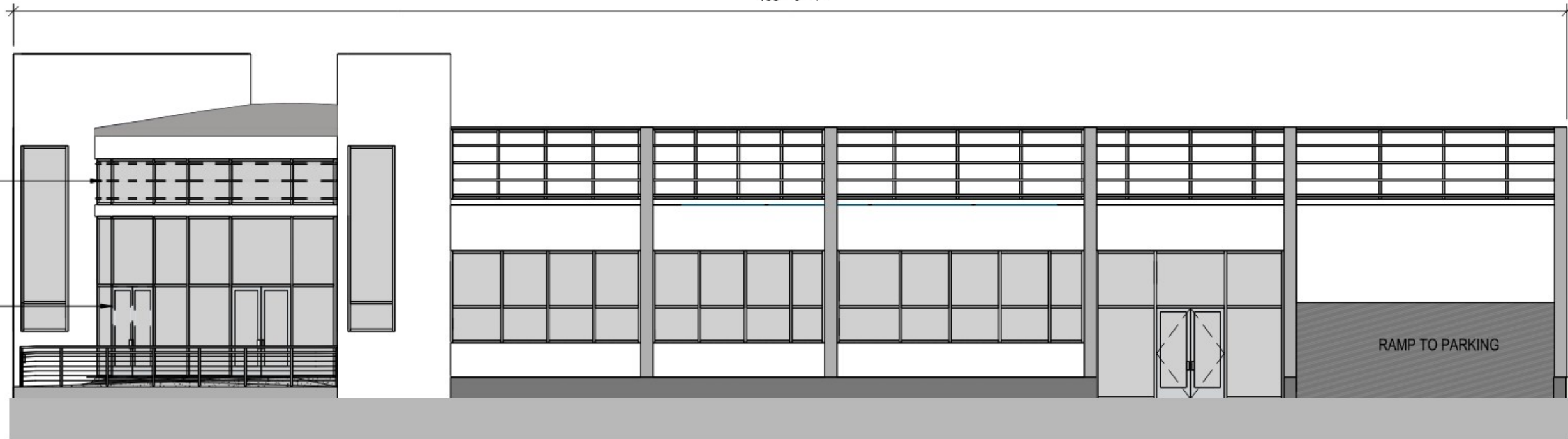


Scale: 3/32" = 1' - 0"

135' - 0" +/-

EXISTING FRAMING FOR SIGNAGE TO BE REMOVED

EXISTING DOUBLE DOORS TO BE REMOVED AND REPLACED WITH GLASS PANEL TO MATCH EXISTING



**EXISTING EXTERIOR ELEVATION - EAST**

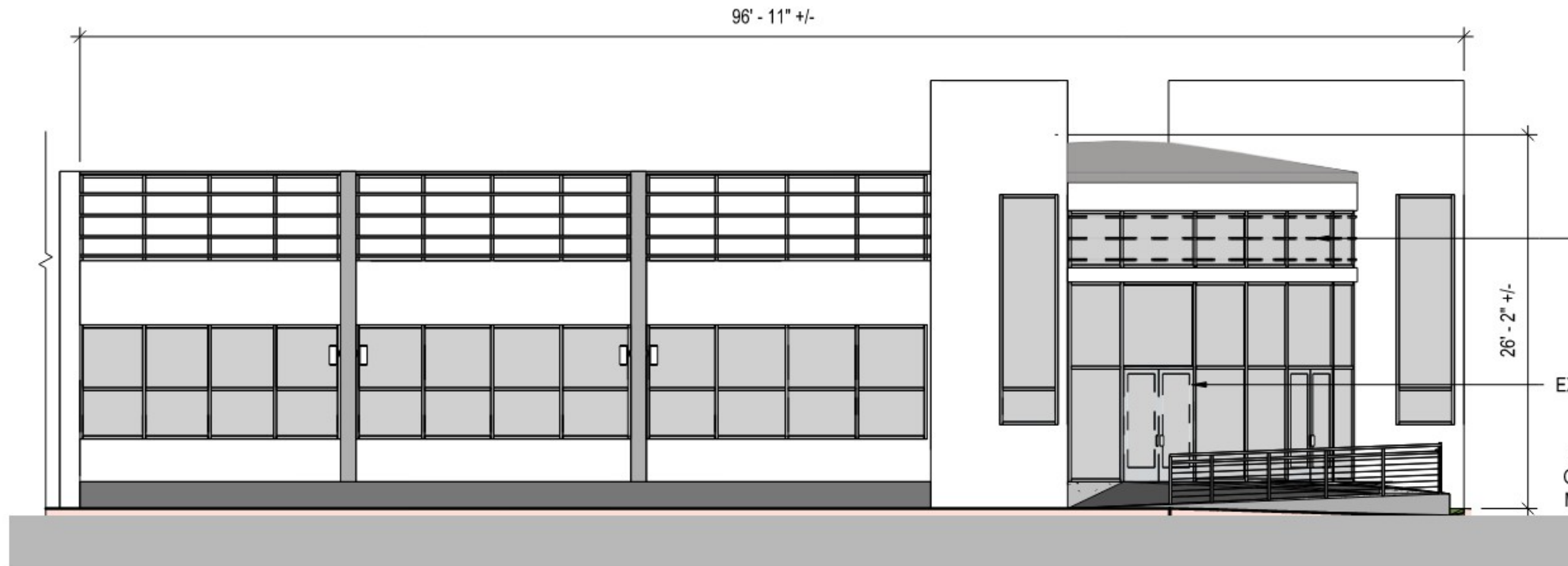
Scale: 3/32" = 1' - 0"

96' - 11" +/-

26' - 2" +/-

EXISTING FRAMING FOR SIGNAGE TO BE REMOVED

EXISTING DOUBLE DOORS TO BE REMOVED AND REPLACED WITH GLASS PANEL TO MATCH EXISTING

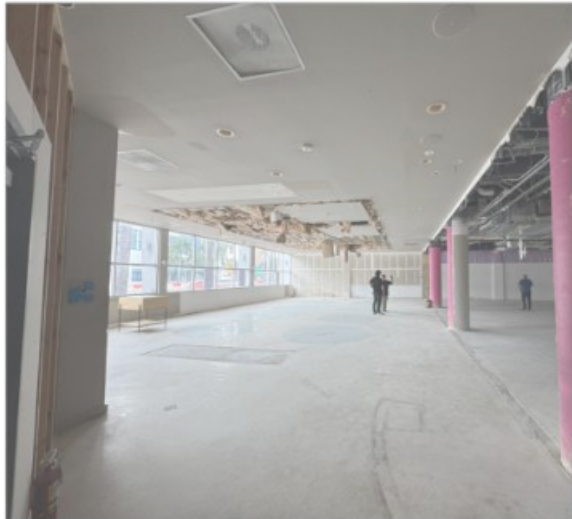


**EXISTING EXTERIOR ELEVATION - SOUTH**

Scale: 3/32" = 1' - 0"



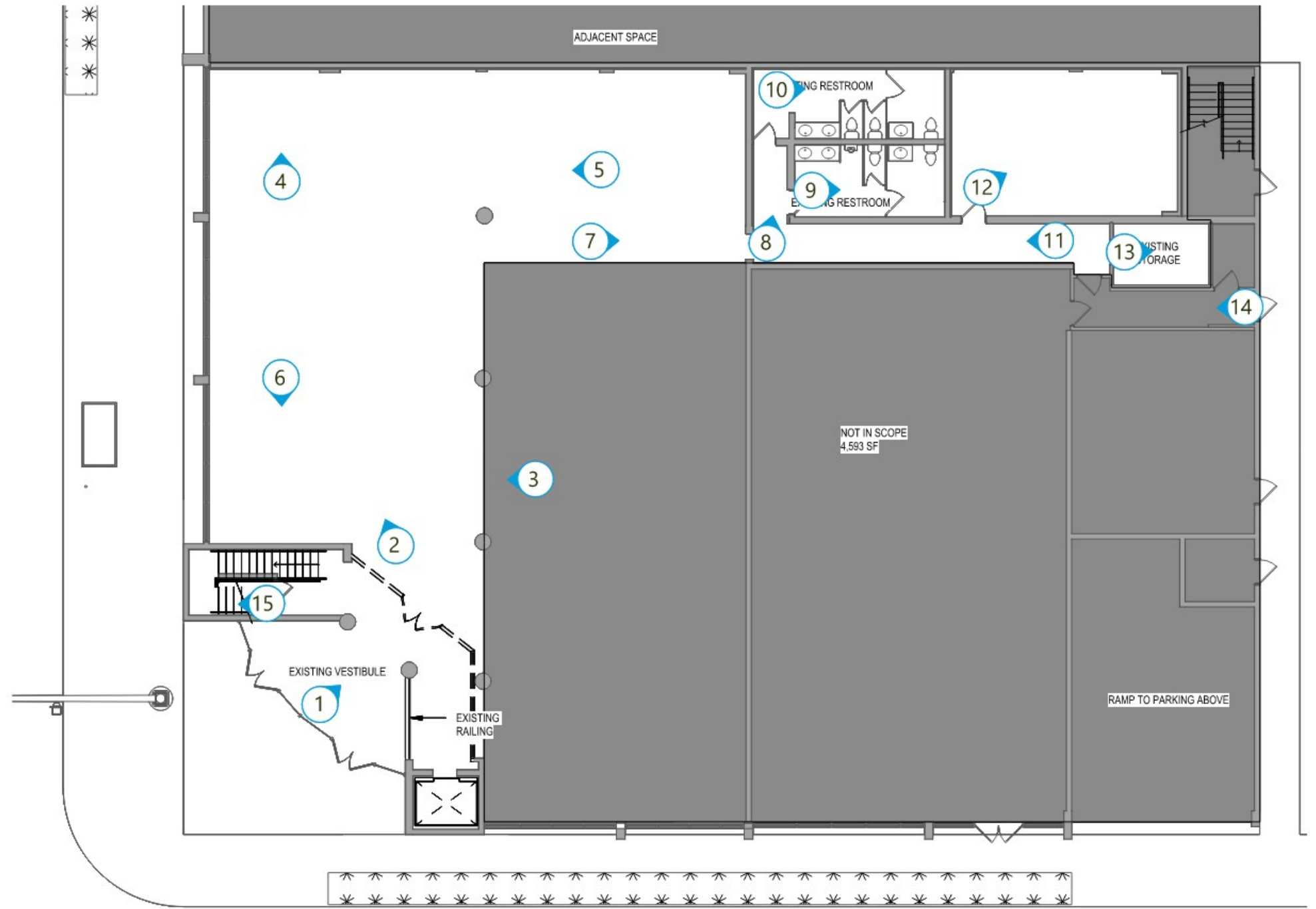
1 03.05.2025



2 03.05.2025



3 03.05.2025



**CURRENT SPACE KEY PLAN**

Scale: 1/16" = 1' - 0"



4 03.05.2025



7 03.05.2025



10 03.05.2025



13 03.05.2025



5 03.05.2025



8 03.05.2025



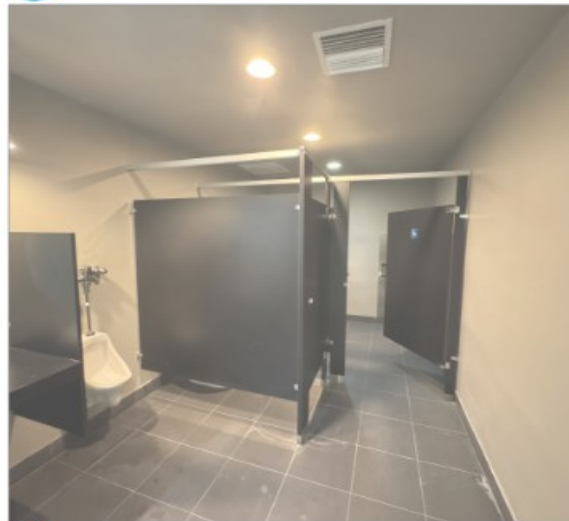
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14 03.05.2025



6 03.05.2025



9 03.05.2025



12 03.05.2025



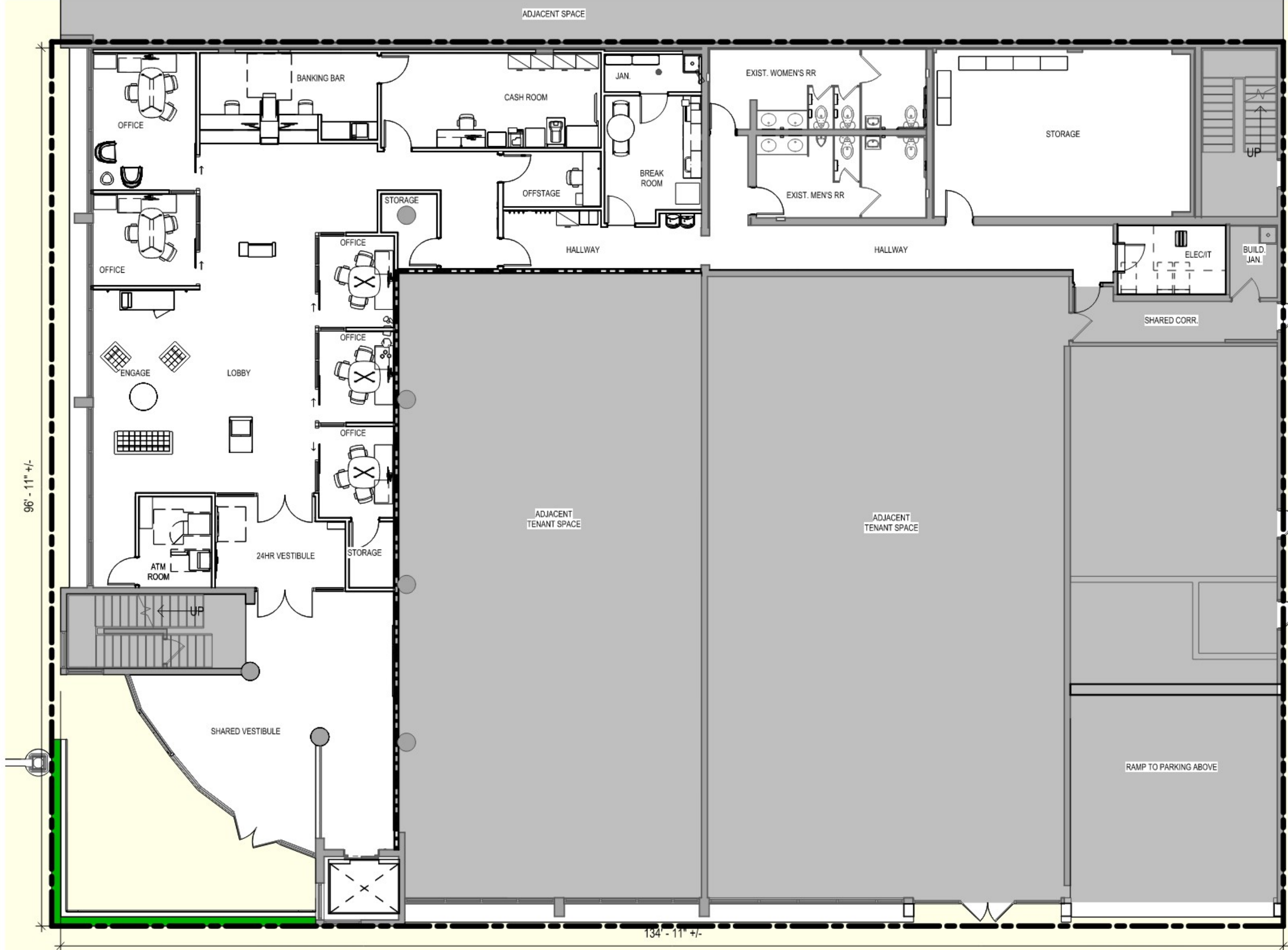
15 03.05.2025

**LEGEND**

-  Existing Partition
-  Landscape
-  Concrete
-  Property Line

**FLOOR PLAN INFORMATION**

- A Total Floor Area  
**Total: 12,321 S.F.**  
**PNC: 4,822 S.F.**
- B Identify # seats indoors **N/A** outdoors  
**N/A** seating in public right of way **N/A**  
Total **N/A**
- C Occupancy load indoors and outdoors  
per venue **N/A** Total when applicable  
**N/A**



 N Scale: 3/32" = 1' - 0"



1 04.16.2026



2 04.16.2026

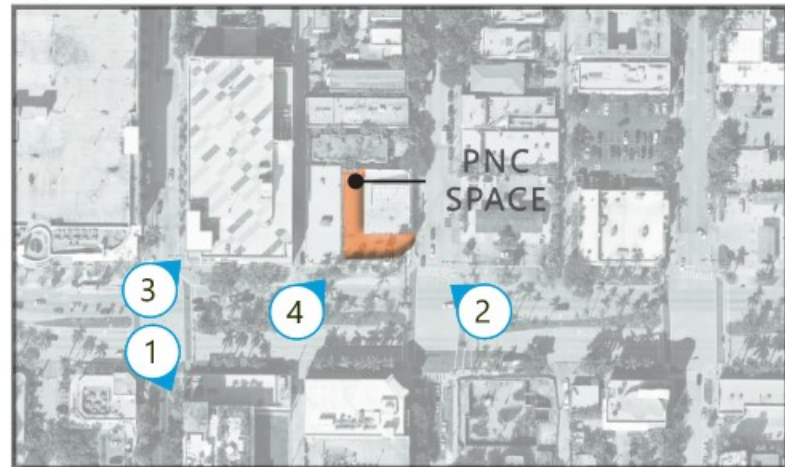


3 04.16.2026



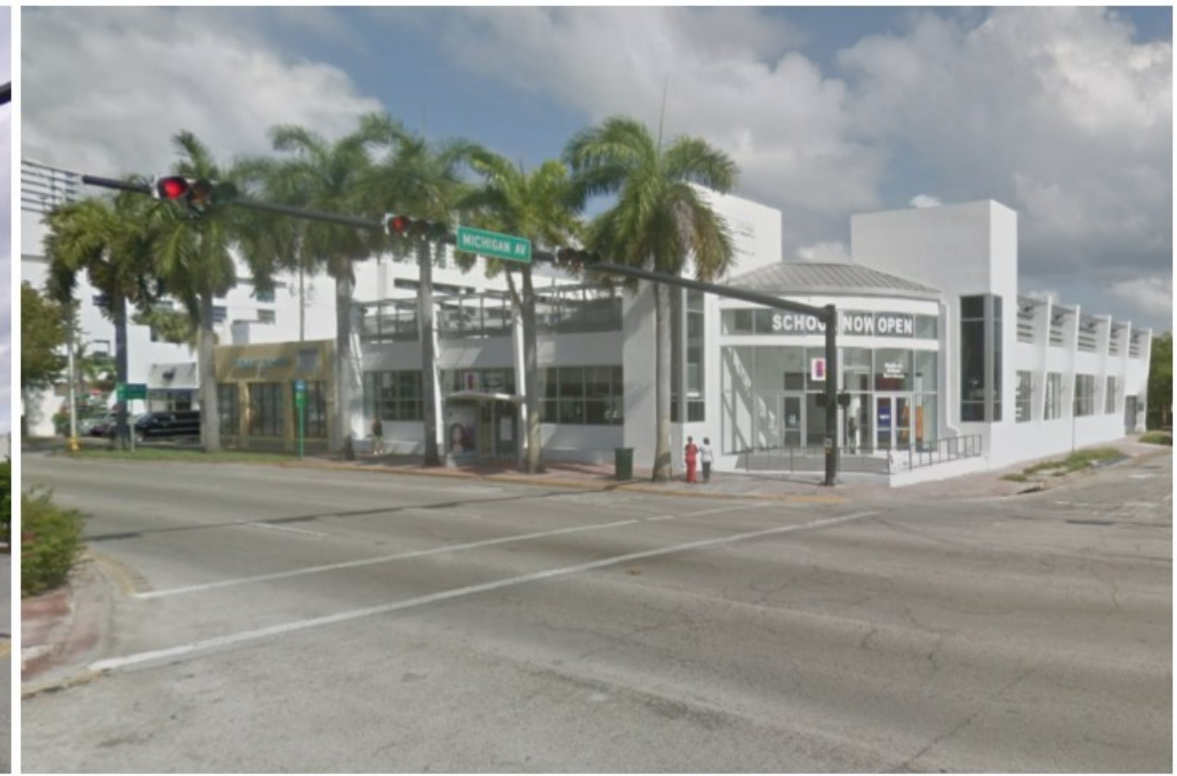
4 03.05.2025

KEY PLAN





12.2008



04.2011

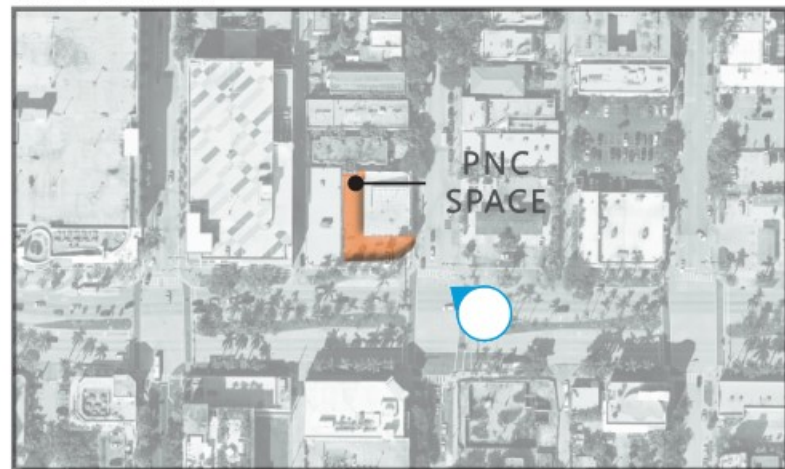


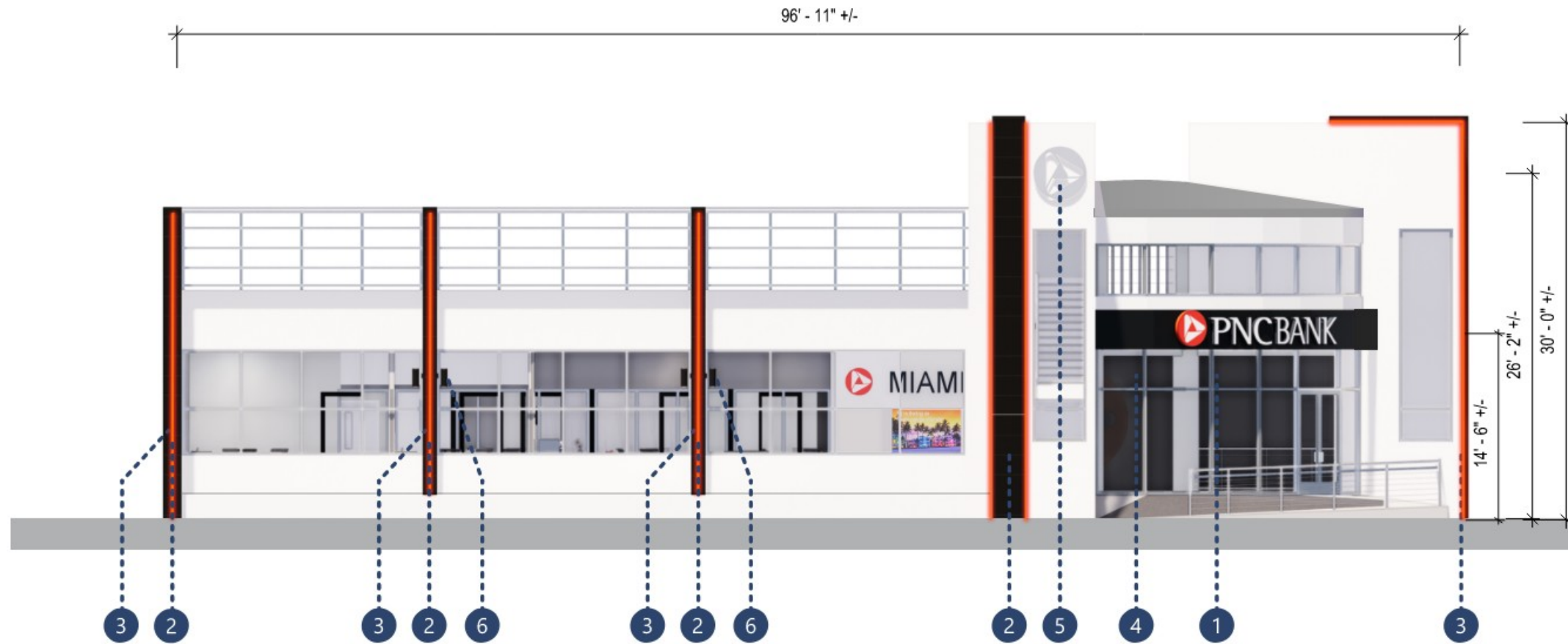
05.2017



07.2022

KEY PLAN





**PROPOSED EXTERIOR ELEVATION - SOUTH**  
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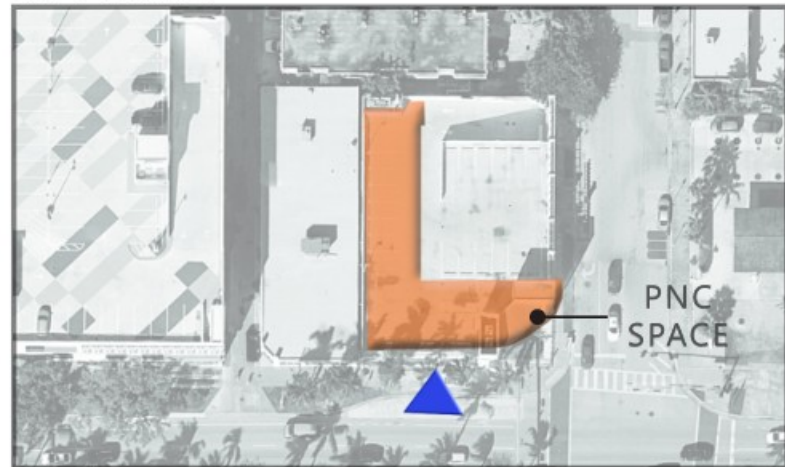
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- 2 FIBER CEMENT PANELS
- 3 LED LINEAR LIGHTING
- 4 HELIOS CANOPY TO MATCH FIBER CEMENT PANEL COLOR
- 5 4' DIA. POWERLINK SIGN
- 6 WALL SCONCE

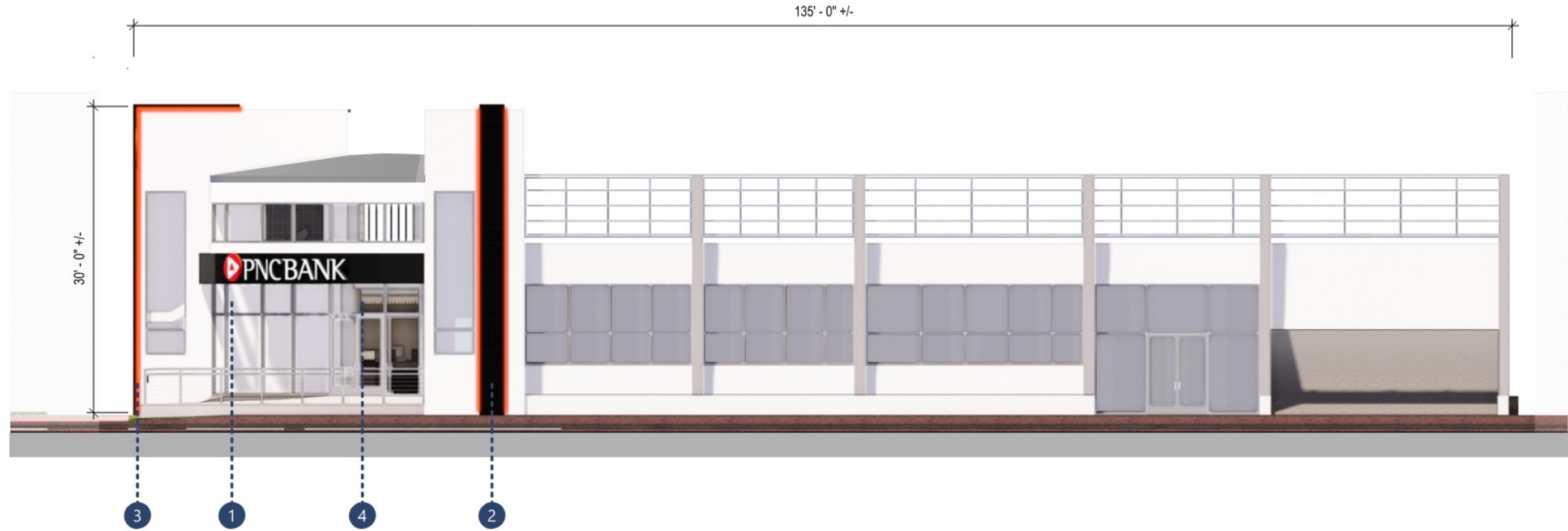
**MATERIAL LEGEND**

 **FIBER CEMENT PANELS**  
 FINISH: MATTE, TEXTURED  
 MANUFACTURER: NICHIIHA  
 SIZE: 17 7/8" x 71 9/16"

 **PAINT:**  
 MATERIAL: PAINT  
 FINISH: LOW LUSTER  
 MANUFACTURER: BENJAMIN MOORE  
 COLOR: WHITE

**KEY PLAN**



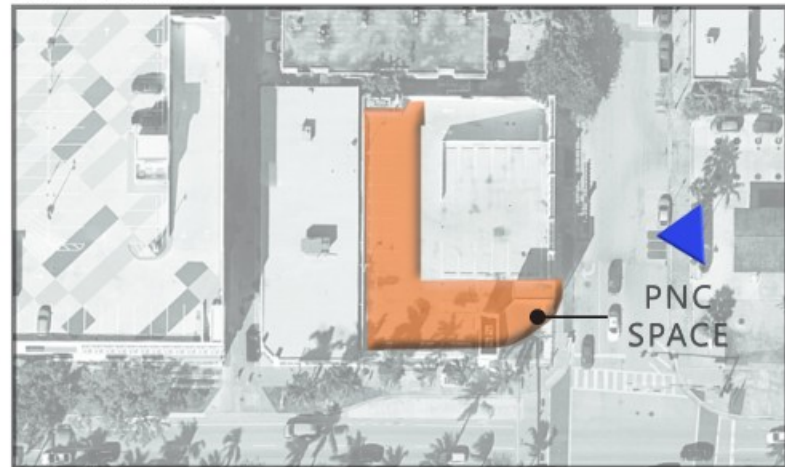


**PROPOSED EXTERIOR ELEVATION - EAST**

Scale: 3/32" = 1' - 0"

- 1 **24"** LETTER SET
- 2 FIBER CEMENT PANELS
- 3 LED LINEAR LIGHTING
- 4 HELIOS CANOPY TO MATCH FIBER CEMENT PANEL COLOR

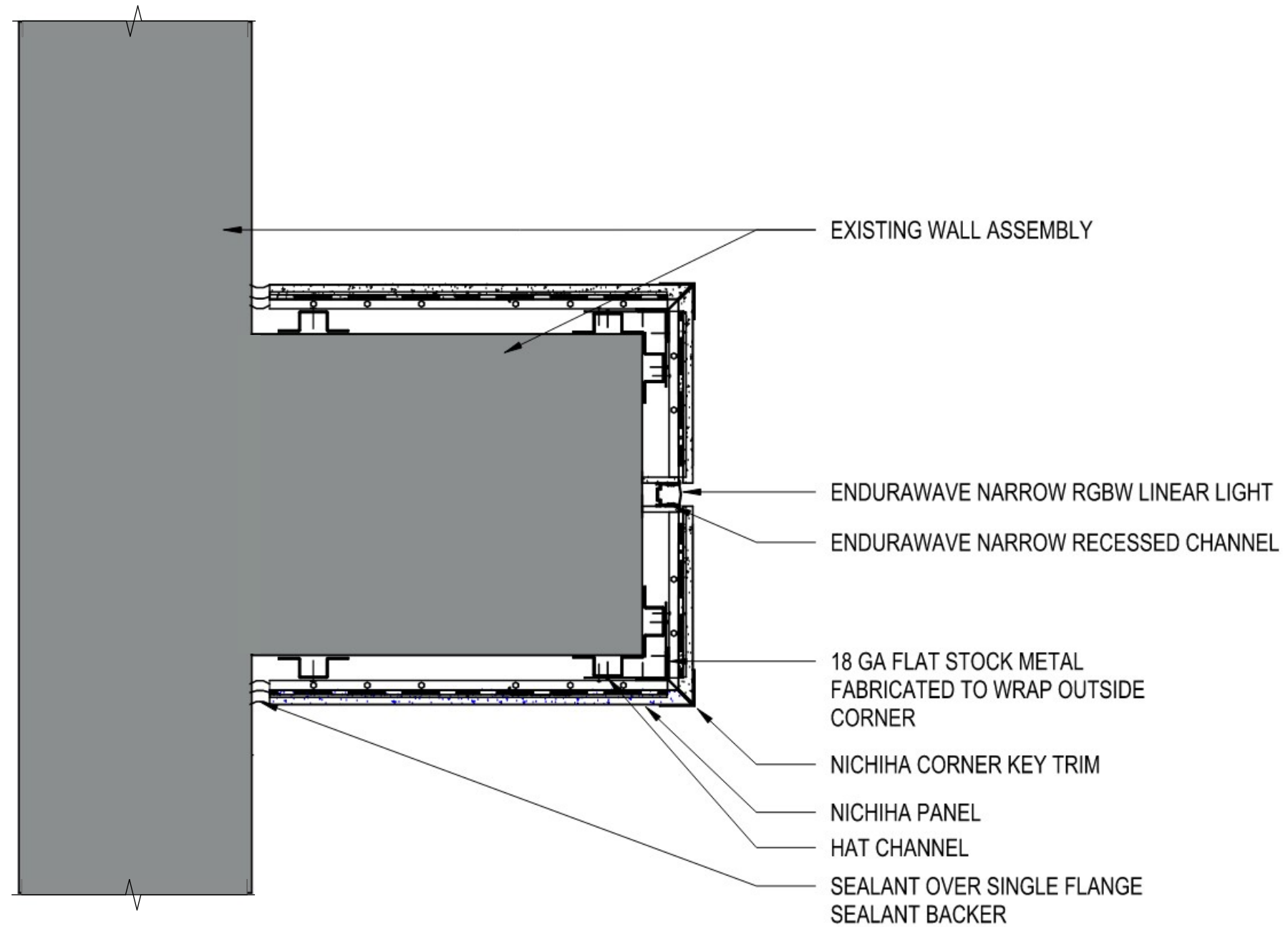
**KEY PLAN**



**MATERIAL LEGEND**

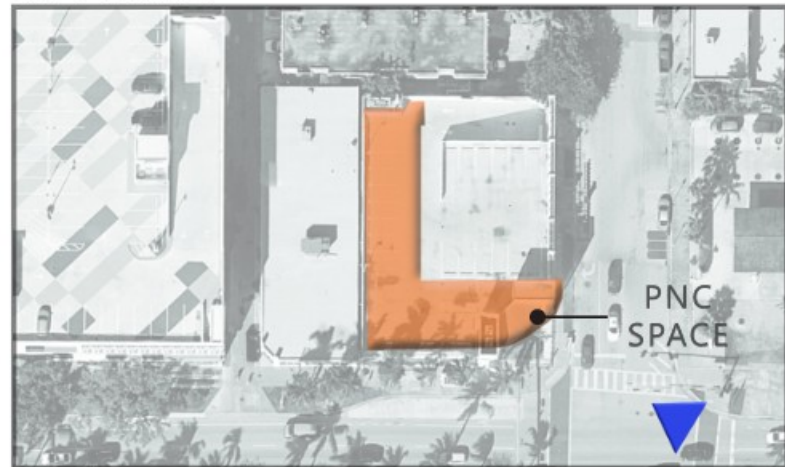
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 FINISH: LOW LUSTER  
 MANUFACTURER: BENJAMIN MOORE  
 COLOR: WHITE





KEY PLAN





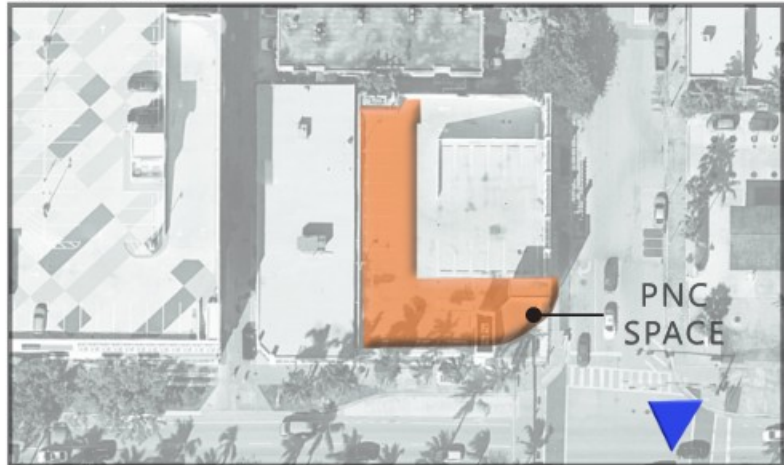
- 2
- 6
- 3
- 5
- 1
- 4

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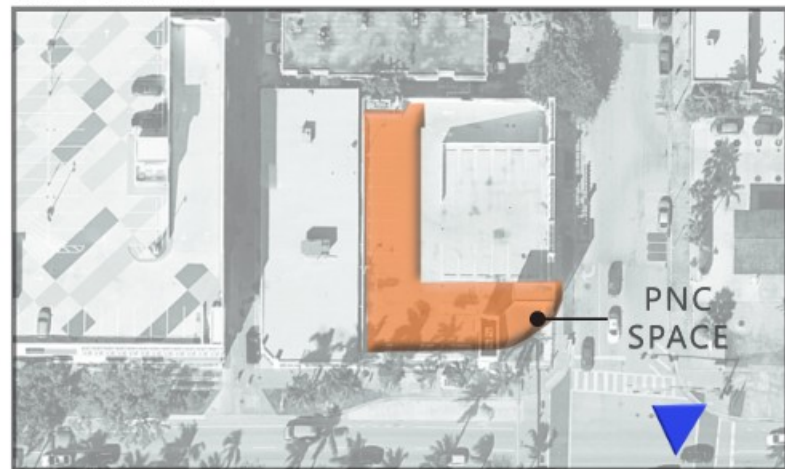
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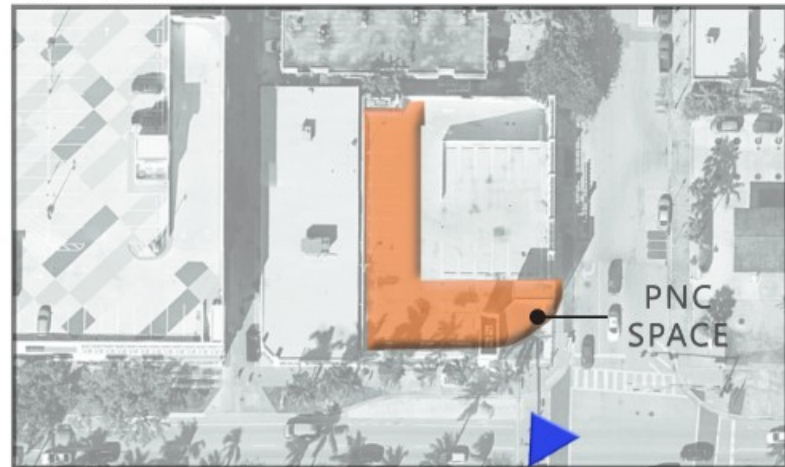
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 COLOR: WHITE

**KEY PLAN**





KEY PLAN

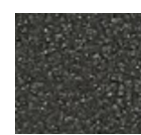




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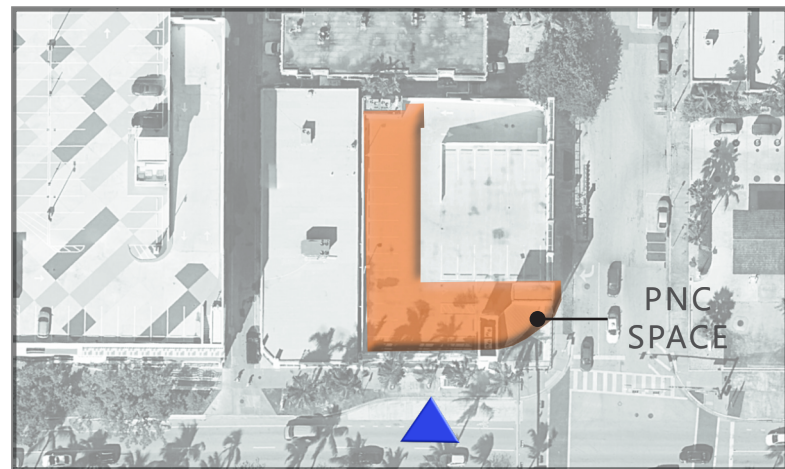
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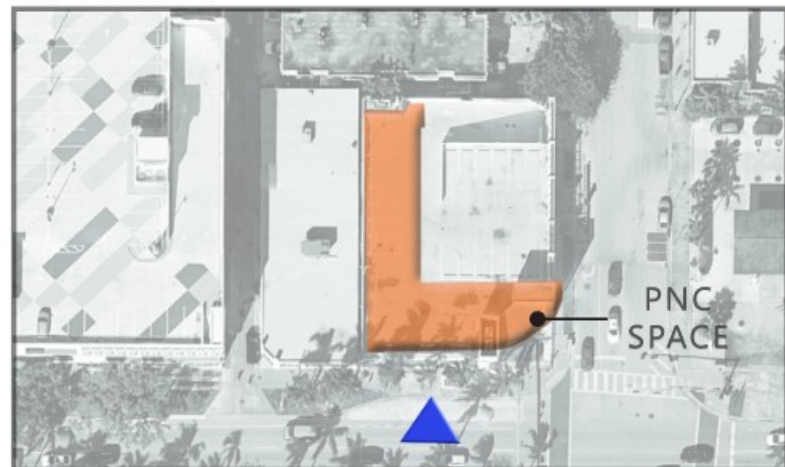
**KEY PLAN**





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