



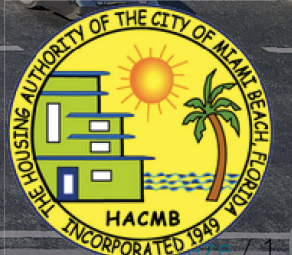
# BREEZE HPB26-0690 | FINAL SUBMITTAL 05-10-2026

LIMITED SETBACK VARIANCE FOR ELDERLY AFFORDABLE MULTI-FAMILY HOUSING

280 & 300 S SHORE DR.  
MIAMI BEACH, FL 33141

Contact  
Info:  
huber@broo  
ksscampa.co

MAY 10, 2026



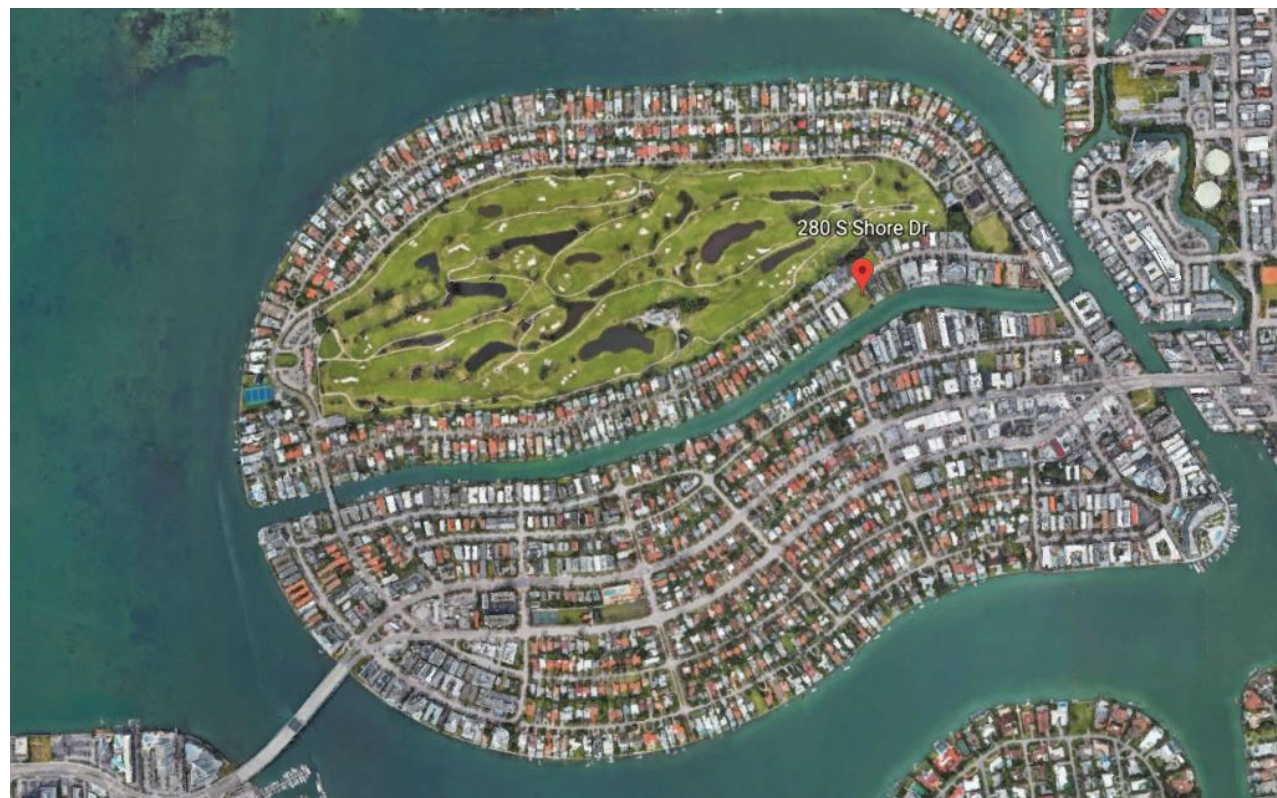
# SITE INFORMATION / SITE LOCATION MAPS



SITE LOCATION / MAP 01



SETBACK LOCATION / MAP 02



SITE LOCATION / MAP 02



SITE LOCATION / MAP 03



Contact  
 Info:  
[huber@brooks-scarpa.com](mailto:huber@brooks-scarpa.com)  
[ksscampa.com](http://ksscampa.com)

# SITE INFORMATION / SITE LOCATION AERIAL



AERIAL VIEW / FROM NORTHEAST



SITE LOCATION / FROM NORTHWEST



AERIAL VIEW / FROM SOUTHWEST



SITE LOCATION / FROM SOUTHEAST



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m

SITE INFORMATION / CONTEXT PHOTOS



S. SHORE DRIVE, LOOKING WEST



S. SHORE DRIVE, LOOKING EAST

PHOTOS TAKEN 03/02/2022



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m

# SITE INFORMATION / PROJECT SITE PHOTO



SITE LOCATION: 280 & 300 S. SHORE DRIVE

PHOTOS TAKEN MARCH 2026



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# SITE INFORMATION / STREET CONTEXT BUILDINGS LEGEND



Contact  
Info:  
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# SITE INFORMATION / STREET CONTEXT BUILDINGS



PHOTO 1- #4



PHOTO 2- #10



PHOTO 3- #20



PHOTO 4- #30



PHOTO 5- #50



PHOTO 6- #80



PHOTO 7- #110



PHOTO 8- #130



PHOTO 9- #150, 158, 160

PHOTOS TAKEN 03/02/2022



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ksscarpa.co  
m

# SITE INFORMATION / STREET CONTEXT BUILDINGS



PHOTO 10- #200



PHOTO 11- #350



PHOTO 12- #325



PHOTO 13- #315-321



PHOTO 14- #301



PHOTO 15- #275



PHOTO 16- #157



PHOTO 17- #145



PHOTO 18- #141

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m

# SITE INFORMATION / STREET CONTEXT BUILDINGS



PHOTO 19- #133



PHOTO 20- #125



PHOTO 21- #117



PHOTO 22- #105



PHOTO 23- #95



PHOTO 24- #64-75



PHOTO 25- #280 & 300

PHOTOS TAKEN 03/02/2022



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B

PHOTOS TAKEN 03/2026



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Contact  
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m



Contact  
Info:  
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PHOTOS TAKEN 03/2026



Broo

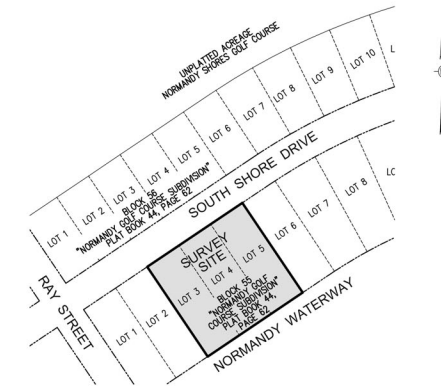
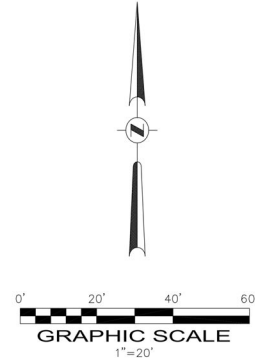
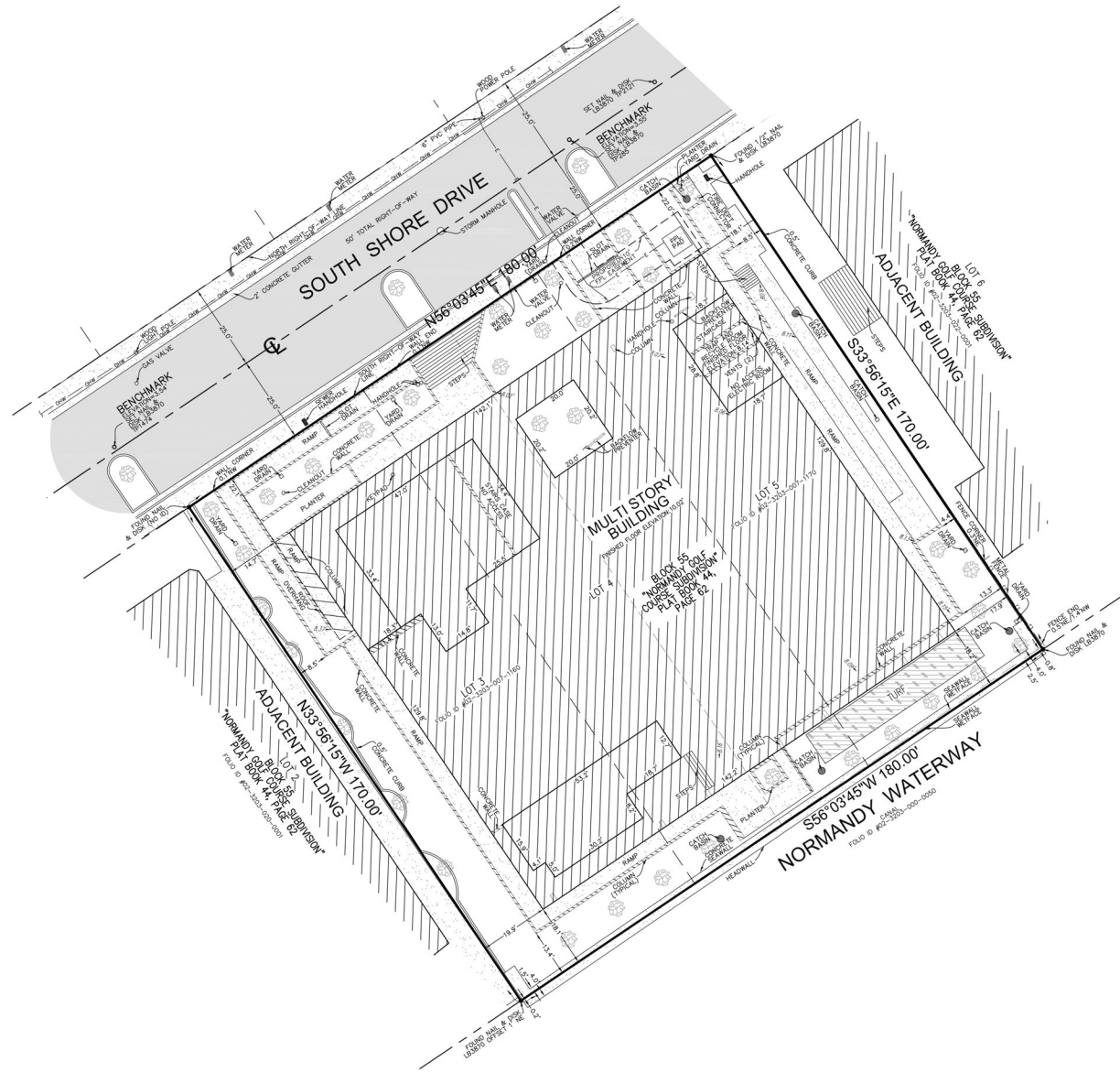
Contact  
Info:  
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ksscampa.co





**LEGAL DESCRIPTION:**  
 LOTS 3, 4, AND 5, BLOCK 55, OF "NORMANDY GOLF COURSE" ACCORDING TO THE PLAT THEREOF,  
 AS RECORDED IN PLAT BOOK 44, PAGE 62, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY,  
 FLORIDA.

SAID LANDS LYING AND BEING IN THE CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA AND  
 CONTAINING 30,600 SQUARE FEET (0.703 ACRES), MORE OR LESS.



VICINITY MAP  
 NOT TO SCALE

**NOTES:**

1. THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR AN ELECTRONIC SIGNATURE AND ELECTRONIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. ELEVATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929. MIAMI-DADE COUNTY BENCHMARK M-313, ELEVATION: 4.48 FEET.
3. FLOOD ZONE: AE; BASE FLOOD ELEVATION: 8 FEET; PANEL #12086C0307L; COMMUNITY #120651; MAP DATE: 9/11/09.
4. THIS SITE LIES IN SECTION 3, TOWNSHIP 53 SOUTH, RANGE 42 EAST, MIAMI-DADE COUNTY, FLORIDA.
5. BEARINGS ARE BASED ON AN ASSUMED MERIDIAN WITH THE SOUTH RIGHT-OF-WAY LINE OF SOUTH SHORE DRIVE BEING N56°03'45"E.
6. REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
7. THIS SURVEY IS CERTIFIED EXCLUSIVELY TO: ATLANTIC PACIFIC COMPANIES.
8. THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'.
9. THIS SURVEY WAS PREPARED WITH BENEFIT OF A COMMITMENT FOR TITLE INSURANCE, FILE NUMBER 394788, PREPARED BY CHICAGO TITLE INSURANCE COMPANY, DATED JUNE 21, 2023 AT 11:00 PM. THE FOLLOWING ITEMS ARE EXCEPTION IN SCHEDULE B SECTION II OF SAID COMMITMENT:  
 ITEMS 1, 2, 3 & 5: STANDARD EXCEPTIONS, NOT ADDRESSED.  
 ITEM 4: INTENTIONALLY DELETED.  
 ITEM 6: RESTRICTIONS, DEDICATIONS, CONDITIONS, RESERVATIONS, EASEMENTS AND OTHER MATTERS IN PLAT BOOK 44, PAGE 62 APPLY TO THIS SITE. THERE ARE NO PLATTED EASEMENTS.  
 ITEM 7: INTENTIONALLY DELETED.  
 ITEMS 8 & 9: NOT ADDRESSED.  
 ITEMS 11 & 12: INTENTIONALLY DELETED.  
 ITEM 13: DECLARATION OF RESTRICTIVE COVENANT IN O.R.B. 24997, PAGE 546 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.  
 ITEMS 13 & 14: INTENTIONALLY DELETED.  
 ITEM 15: NOT ADDRESSED.  
 ITEM 16: TERMS, CONDITIONS AND COVENANTS IN ORDER IN O.R.B. 33287, PAGE 4767 DOES NOT APPLY TO THIS SITE.  
 ITEM 17: TERMS, CONDITIONS AND COVENANTS IN ORDER IN O.R.B. 33287, PAGE 4800 APPLY TO THIS SITE BUT CANNOT BE PLOTTED.  
 ITEM 18: DECLARATION OF RESTRICTIVE COVENANTS IN LIEU OF UNITY OF TITLE IN O.R.B. 33649, PAGE 2944 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.  
 ITEM 19: DECLARATION OF RESTRICTIVE COVENANTS IN LIEU OF UNITY OF TITLE IN O.R.B. 33668, PAGE 2142 DOES NOT APPLY TO THIS SITE.  
 ITEM 20: DECLARATION OF RESTRICTIVE COVENANTS IN LIEU OF UNITY OF TITLE IN O.R.B. 33681, PAGE 2327 DOES NOT APPLY TO THIS SITE.  
 ITEM 21: TERMS AND CONDITIONS OF AMENDED AND RESTATE GROUND LEASE AGREEMENT AS EVIDENCED BY MEMORANDUM OF LEASE IN O.R.B. \_\_\_\_\_, PAGE \_\_\_\_ NOT ADDRESSED.
10. ALL RECORDED DOCUMENTS ARE PER MIAMI-DADE COUNTY PUBLIC RECORDS.
11. THERE WAS EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
12. THERE ARE NO KNOWN PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES. THERE WAS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
13. THIS SITE IS ZONED RM-1 (RESIDENTIAL MULTI FAMILY LOW INTENSITY). REQUIRED SETBACKS: FRONT-20', SIDE-14.4', REAR-17'. MAXIMUM HEIGHT: 45'.
14. THE PROPERTY DESCRIBED HEREON LIES WHOLLY WITHIN THE PROPERTY DESCRIBED IN THE ABOVE TITLE COMMITMENT.

- LEGEND & ABBREVIATIONS**
- CONCRETE
  - ASPHALT PAVEMENT
  - ELEVATION
  - OVERHEAD WIRES
  - UNDERGROUND ELECTRIC LINE
  - CENTERLINE
  - FPL FLORIDA POWER & LIGHT COMPANY
  - LB LICENSED BUSINESS
  - O.R.B. OFFICIAL RECORDS BOOK
  - TP TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
  - PVC POLYVINYL CHLORIDE

**CERTIFICATION:**

TO BANK OF AMERICA, N.A., AS ADMINISTRATIVE AGENT; CHICAGO TITLE INSURANCE COMPANY; VISTA BREEZE, LTD., A FLORIDA LIMITED LIABILITY COMPANY; THE CITY OF MIAMI BEACH, A POLITICAL SUBDIVISION OF THE STATE OF FLORIDA; HOUSING FINANCE AUTHORITY OF MIAMI DADE COUNTY; AMERINAT; BANK OF AMERICA, N.A.; FLORIDA HOUSING FINANCE CORPORATION;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(a), 6(b), 7(a), 8, 9, 11, 14, 16, 17 & 18 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 2/8/26.

DATE OF PLAT OR MAP: 2/8/26

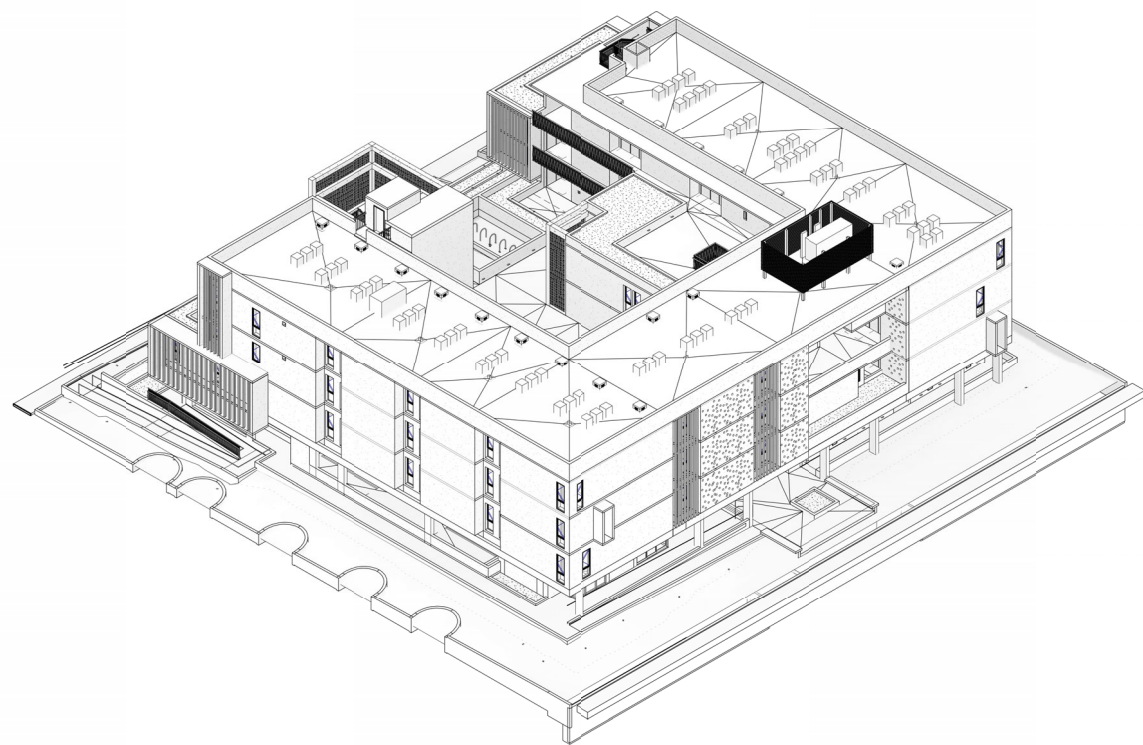
**John F Pulice**  
 Digitally signed by  
 John F Pulice  
 Date: 2026.02.17  
 15:30:31 -05'00'

- JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
- VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
- MICHAEL M. MOSSEY, PROFESSIONAL SURVEYOR AND MAPPER PSM5660 STATE OF FLORIDA

<table border="1"> <tr> <td>1</td> <td>#75411-FINAL SURVEY-2/8/26</td> <td>PLS</td> </tr> <tr> <td>2</td> <td>#75413-VISIT GRADINGS-2/8/26</td> <td>PLS</td> </tr> <tr> <td>3</td> <td>#75414-SPOT SURVEY-2/8/26</td> <td>PLS</td> </tr> </table>		1	#75411-FINAL SURVEY-2/8/26	PLS	2	#75413-VISIT GRADINGS-2/8/26	PLS	3	#75414-SPOT SURVEY-2/8/26	PLS	<p><b>FINAL SURVEY          BREEZE SITE</b>          280 SOUTH SHORE DRIVE          MIAMI BEACH, FLORIDA 33141          (CITY OF MIAMI BEACH, MIAMI-DADE COUNTY)</p>
1	#75411-FINAL SURVEY-2/8/26	PLS									
2	#75413-VISIT GRADINGS-2/8/26	PLS									
3	#75414-SPOT SURVEY-2/8/26	PLS									
<p><b>BOUNDARY AND TOPOGRAPHIC SURVEY          ALTA/NSPS LAND TITLE SURVEY</b></p>											
<p><b>PULICE LAND SURVEYORS, INC.</b>          5381 NOB HILL ROAD          SUNRISE, FLORIDA 33351          TELEPHONE: (954) 572-1777          FAX: (954) 572-1778          E-MAIL: surveys@puliceandsurveyors.com          WEBSITE: www.puliceandsurveyors.com          CERTIFICATE OF AUTHORIZATION LB#3570</p>		<p>CLIENT: ATLANTIC PACIFIC COMPANIES          ORDER NO.: 75414</p>									
<p>DRAWN BY: K.F.          CHECKED BY: J.F.P.</p>	<p>SCALE: 1" = 20'          SURVEY DATE: 2/8/26</p>										

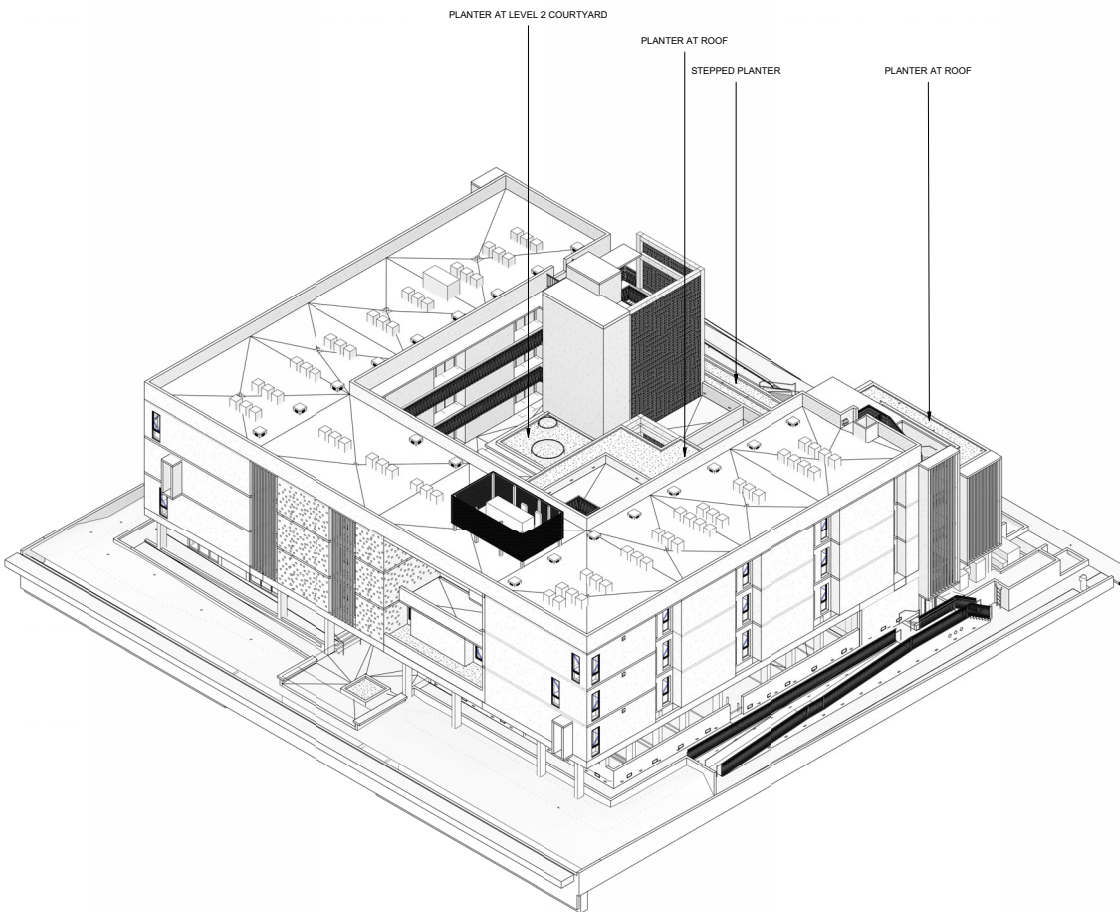
NOTE:  
 THIS SURVEY HAS BEEN PROVIDED TO THE ARCHITECT BY THE OWNER. ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION HEREIN.  
 ELEVATIONS IN SURVEY ARE MEASURED IN NAVD.

Note: sheet scaled to fit



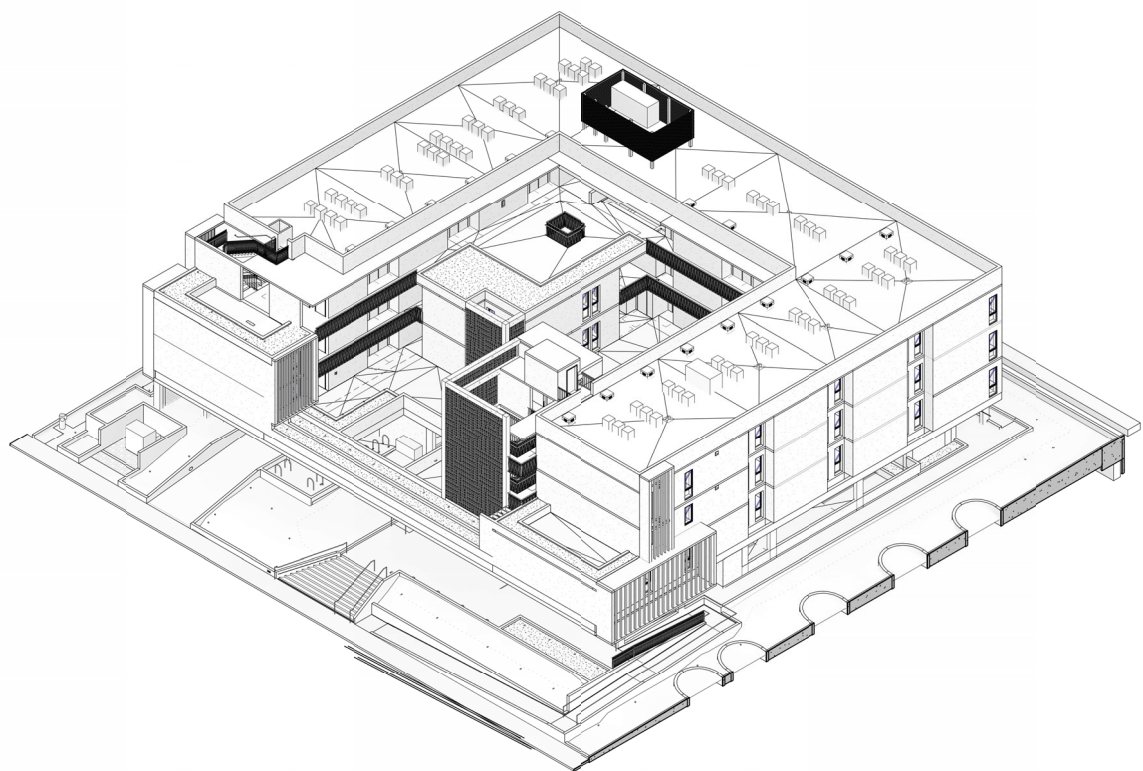
SW - 3D VIEW (HPB) 1

REF : SCALE:SCALE:



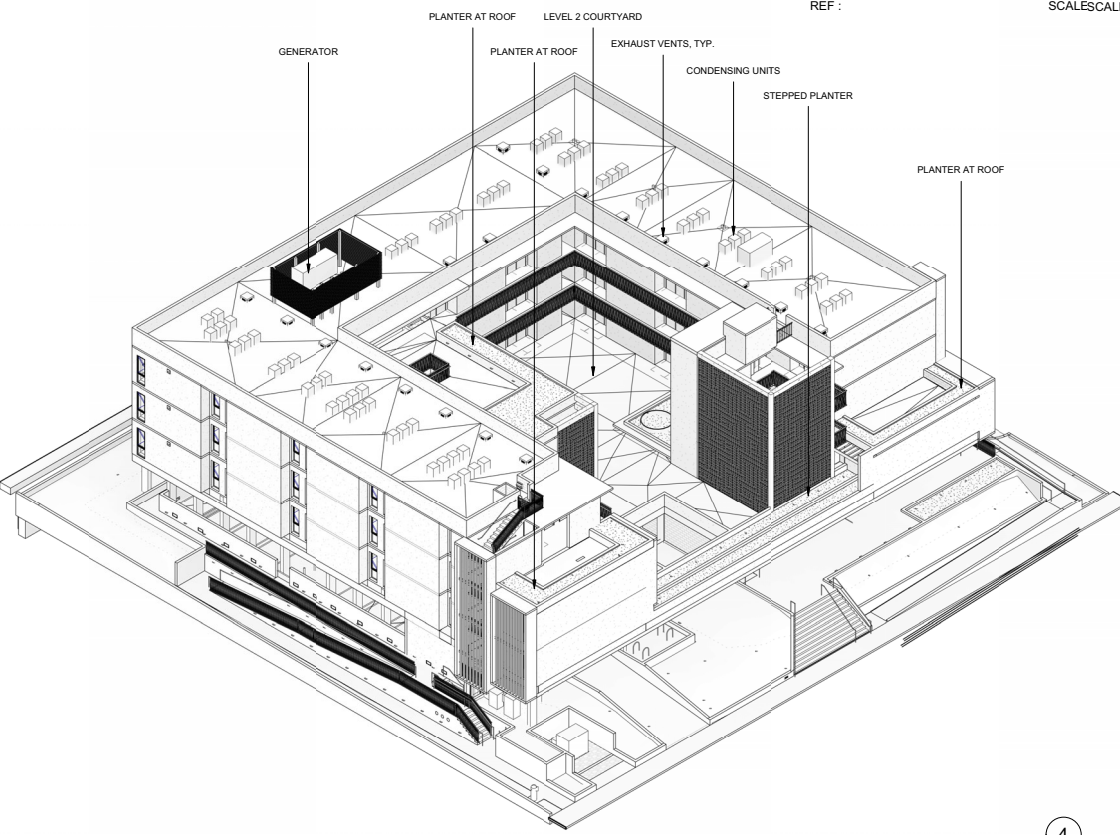
SE - 3D VIEW (HPB) 2

REF : SCALE:SCALE:



NW - 3D VIEW (HPB) 3

REF : SCALE:SCALE:



NE - 3D VIEW (HPB) 4

REF : SCALE:SCALE:

BREEZE  
ELDERLY AFFORDABLE MULTI FAMILY HOUSING

Note: sheet scaled to fit

Contact  
Info:  
huber@broo  
ksscampa.co

STATE OF FLORIDA  
HENRY L. HUBER  
A.S. 95-594  
REGISTERED ARCHITECT

280 S. SHORE DRIVE  
MIAMI BEACH, FL 33141  
PROJECT NUMBER: 21024.0

SHEET TITLE: 3D VIEWS

SCALE: AS INDICATED  
DATE PRINTED: 5/6/2026 11:55:07 AM

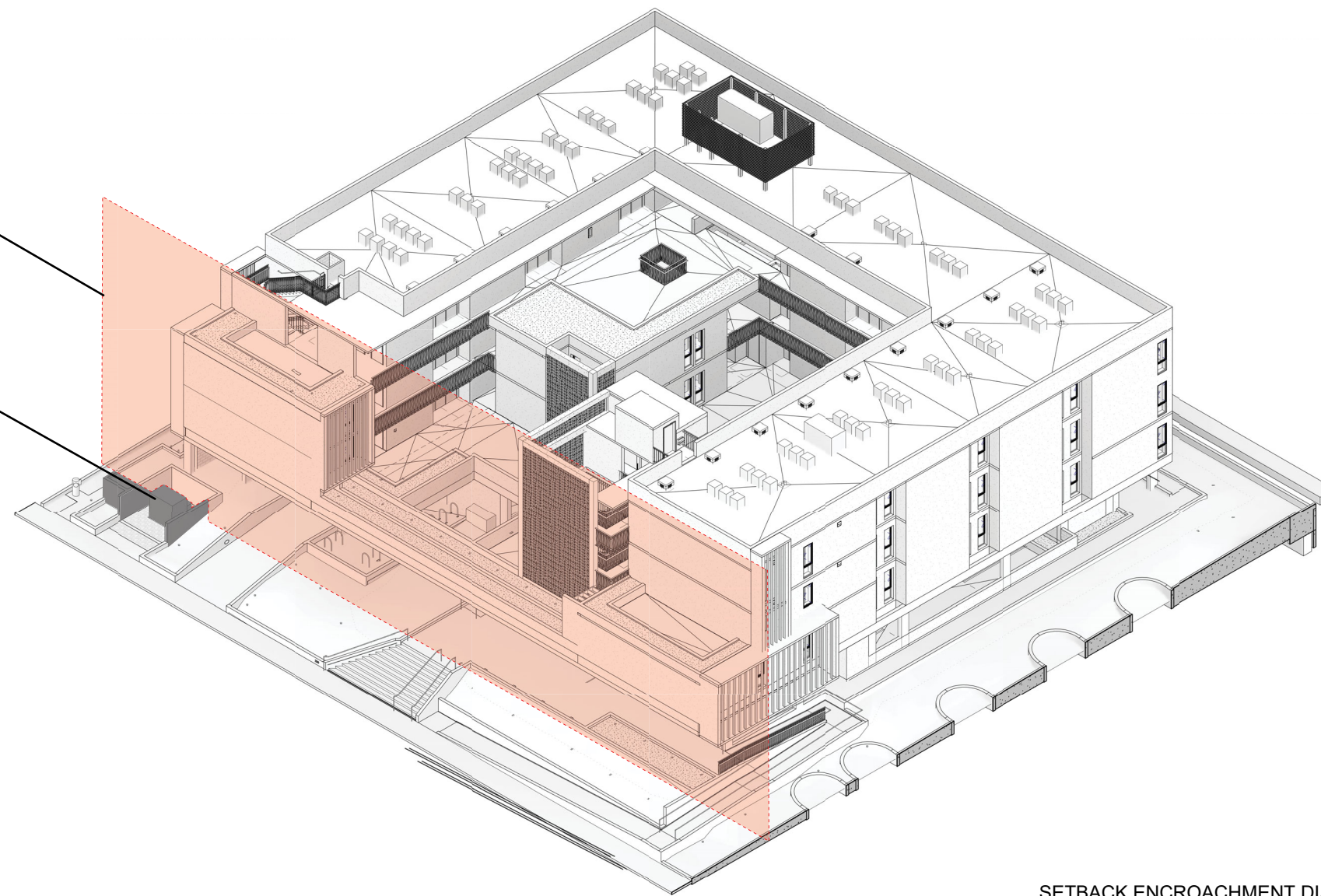
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t: 954.683.1236  
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# HPB 03

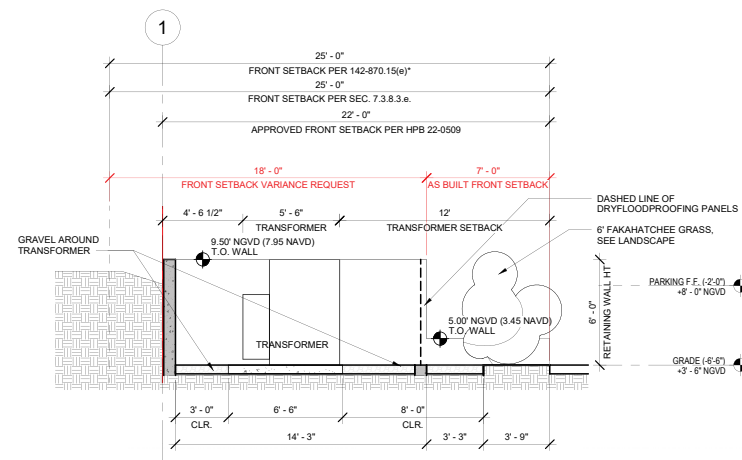
Line of Setback per 7.3.8.3.e.

18' setback variance at portion of ground level to accommodate the installed transformer and surrounding retaining walls required by CMB Fire, FPL, and FEMA.

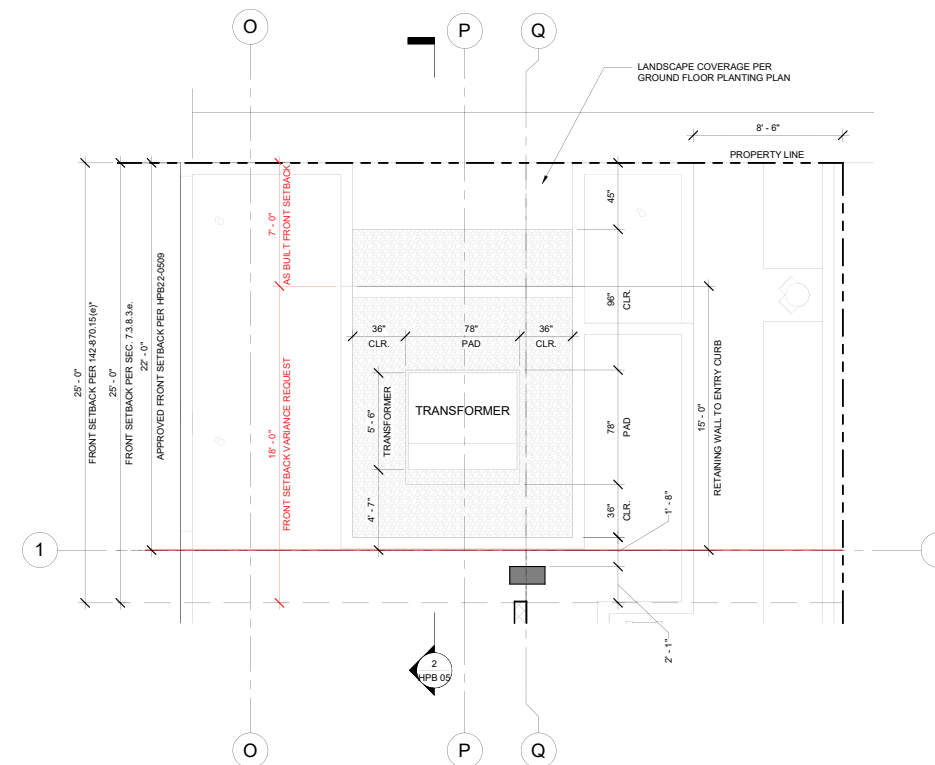


SETBACK ENCROACHMENT DIAGRAM 3

REF: SCALES: 1/4" = 1'-0"



FPL TRANSFORMER SECTION 2  
REF: SCALE: 1/4" = 1'-0"



FPL TRANSFORMER CLR. DIM. 1  
REF: SCALE: 1/4" = 1'-0"

\* Per HPB order 22-0509, the project recieved setback and stepback waiivers/ variances per previous municipal code setback/stepback requirements.

-Refer to red dimensions for current setback requirements per section 7.2.4.3

BREEZE  
ELDERLY AFFORDABLE MULTI FAMILY HOUSING

Note: sheet scaled to fit

Contact  
Info:  
huber@brooksscarpa.com  
ksscampa.com

SHEET TITLE:  
FPL TRANSFORMER PLAN/SECTION

SCALE: 1/4" = 1'-0"  
DATE PRINTED: 5/6/2026 11:59:26 AM

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HPB 05

SITE INFORMATION / AS-BUILT PHOTOS (APRIL 2026)



SIDE ELEVATION / FROM



SIDE ELEVATION / FROM NORTHWEST



VIEW / FROM SIDEWALK



VIEW / FROM STREET



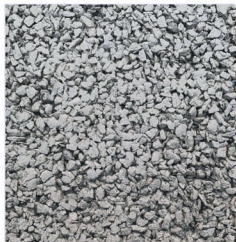
EXTERIOR FLOOR FINISHES/ COLORS



FINISH: LIGHT BROOM FINISH  
COLOR: MIAMI BEACH RED (CEMENT & MORTAR)  
PER PUBLIC WORKS DESIGN CONSTRUCTION STANDARDS

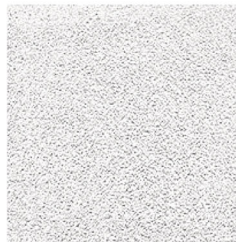


FINISH: CONCRETE LIGHT BROOM FINISH  
COLOR: GRAY



FINISH: PORPOIS  
COLOR: GRAY

EXTERIOR WALL MATERIAL/ FINISH



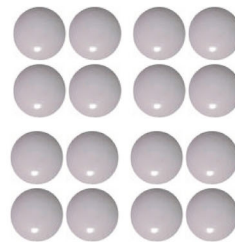
MATERIAL: STUCCO  
FINISH: SAND FLOAT  
PAINTED: SW 7551 GREEK VILLA



MATERIAL: STUCCO  
FINISH: SAND FLOAT  
PAINTED: TWINKLING LIGHTS | DE5338



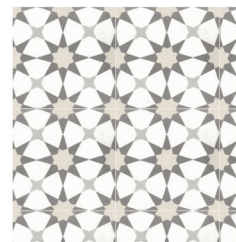
MATERIAL: GLITTER GLASSCHIP (ON STUCCO, LOCATIONS PER A4.00)  
COLOR: BON



MATERIAL: 4" CERAMIC MARKER  
COLOR: WHITE W REFLECTOR  
STOP-PAINTING



MATERIAL: A-1 BREEZE BLOCK CORPORATION  
COLOR: WHITE | DESIGN #422



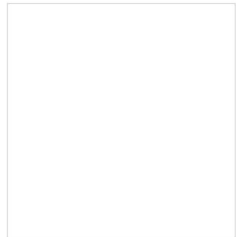
MATERIAL: TESSELLE 8" SQUARE CEMENT TILE  
COLOR: STARRE AQUILA-645 SF



MATERIAL: FIBER CEMENT BOARD HORIZONTAL PANEL  
COLOR: TEAK | NICHIBA FIBER CEMENT

GLAZING & METAL-MATERIAL/ FINISH

GLAZING SYSTEMS

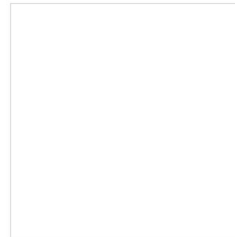


MATERIAL: ALUMINUM  
COLOR: WHITE



MATERIAL: ARCHITECTURAL GLAZING VITRO  
COLOR: CLEAR/NEUTRAL

GUARDRAILS



MATERIAL: ALUMINUM  
FINISH: POWDERCOAT  
COLOR: SW7551 GREEK VILLA

BREEZE  
ELDERLY AFFORDABLE MULTI FAMILY HOUSING

Note: sheet scaled to fit

Contact

Info:  
huber@broo  
ksscampa.co

SHEET TITLE:

MATERIAL FINISHES

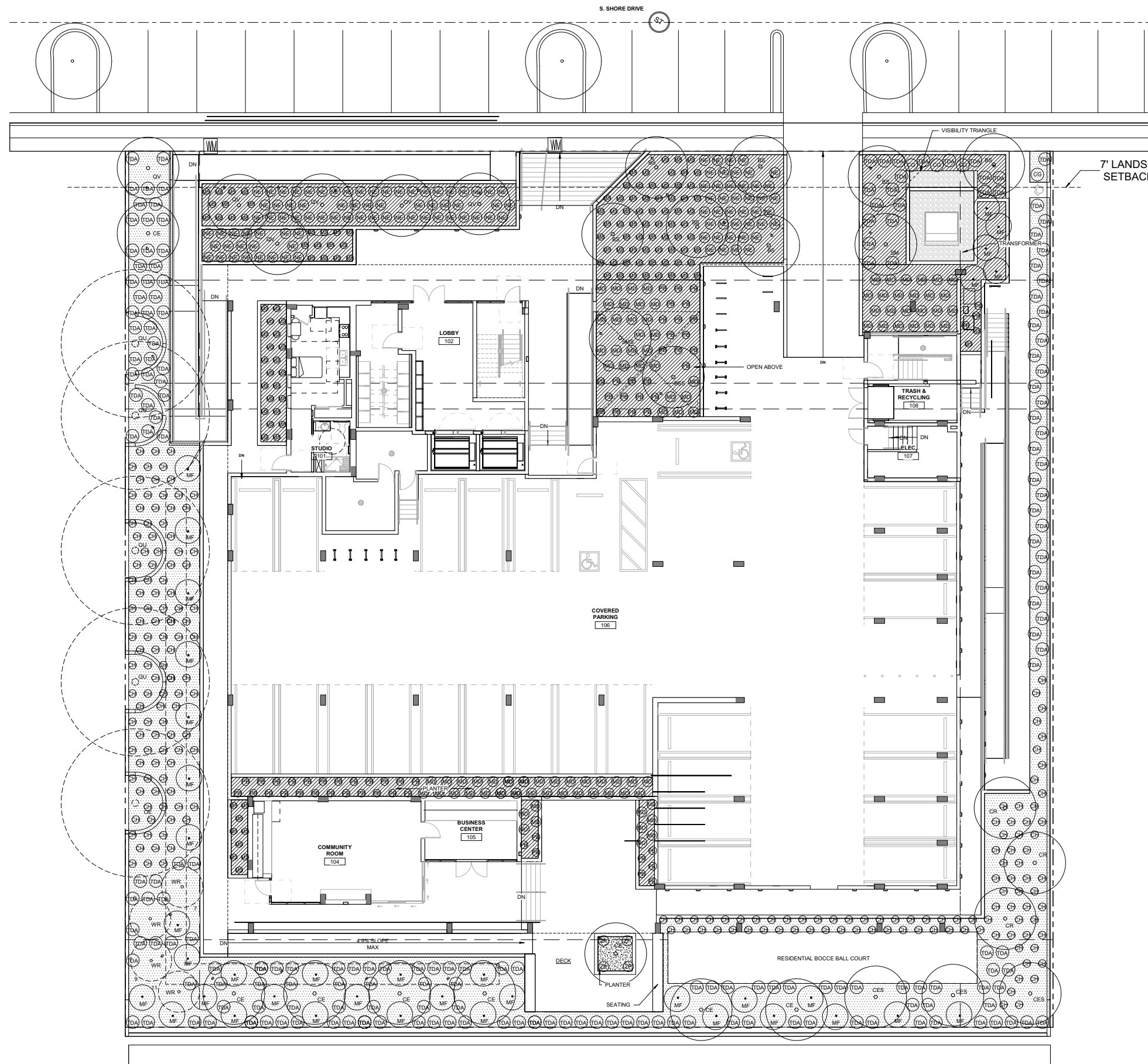
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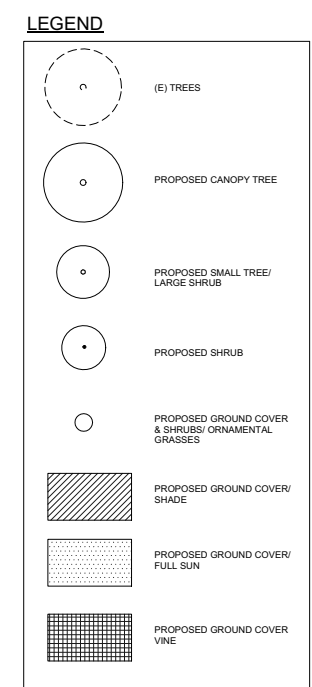
HPB 06



QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
<b>LARGE STREET TREES</b>				
4	BS	*BURSERA SIMARUBA	GUMBO LIMBO	65 GAL., 4" CAL., 16' PLANTED HT. MIN. X 8' SP. MIN.
5	QV	*QUERCUS VIRGINIANA	LIVE OAK	65 GAL., 4" CAL., 16' PLANTED HT. MIN. X 8' SP. MIN.
<b>LARGE TREES</b>				
3	BS	*BURSERA SIMARUBA	GUMBO LIMBO	65 GAL., 4" CAL., 16' PLANTED HT. MIN. X 8' SP. MIN.
1	BSS	*BURSERA SIMARUBA	GUMBO LIMBO	MULTI TRUNK SPECIMEN, 16' HT. MIN. X 8' SP. MIN.
1	SM	*SWIETENIA MAHOGONI	MAHOGANY	65 GAL., 4" CAL., 16' PLANTED HT. MIN. X 8' SP. MIN.
1	SMS	*SWIETENIA MAHOGONI	MAHOGANY	18' HT. MIN. X 10" SP. MIN., FIELD GROWN
8	CE	*CONOCARPUS ERECTUS	GREEN BUTTWOOD	65 GAL., 4" CAL., 16' PLANTED HT. MIN. X 8' SP. MIN.
1	QV	*QUERCUS VIRGINIANA	LIVE OAK	65 GAL., 4" CAL., 16' PLANTED HT. MIN. X 8' SP. MIN.
3	CES	*CONOCARPUS ERECTUS VAR. SERICEUS	SILVER BUTTWOOD	65 GAL., 4" CAL., 16' PLANTED HT. MIN. X 8' SP. MIN.
3	CR	*CLUSIA ROSEA	PITCH APPLE	65 GAL., 4" CAL., 16' PLANTED HT. MIN. X 8' SP. MIN.
<b>SMALL TREES &amp; LARGE SHRUBS</b>				
4	CG	*CLUSIA GUTTIFERA	SMALL LEAF CLUSIA	15 GAL., 5-6" PLANTED HT. MIN. X 2" SP. MIN., BUSH FORM, FULL TO BASE
37	MF	*MYRCIANTHES FRAGRANS	SIMPSON'S STOPPER	25 GAL., 6" PLANTED HT. MIN. X 4" - 5" SP., BUSH FORM, FULL TO BASE
<b>SHRUBS</b>				
199	CH	*CHRYSOBALANUS ICACO	HORIZONTAL COCOPLUM	7 GAL., 18" SP. MIN. FULL ROUNDED HEADS, 30" O.C.
<b>GROUND COVER</b>				
116	NE	*NEPHROLEPIS EXALTATA	BOSTON FERN	3 GAL., 24" PLANTED HT. MIN., 30" O.C.
124	MS	*MICROSORUM SCOLOPENDRIA	WART FERN	3 GAL., 15" PLANTED HT. MIN. X 15" SP. MIN. FULL TO BASE, 30" O.C.
4	ZP	*ZAMIA PUMILA	COONTIE	7 GAL., 24" PLANTED HT. MIN. X 24" SP. MIN., 36" O.C.
91	MD	*MONSTERA DELICIOSA	CUTLEAF PHILDENDRON	7 GAL., 24" PLANTED HT. MIN. X 24" SP. MIN., 36" O.C.
61	PB	*PHILODENDRON BURLE-MARXII	PHILODENDRON BERLE MARX	7 GAL., 18" PLANTED HT. MIN. X 18" SP. MIN., 36" O.C.
<b>ORNAMENTAL GRASSES</b>				
196	TDA	*TRIPSACUM DACTYLOIDES	FAKAHATCHEE GRASS	3 GALLON 30" PLANTED HT. MIN., HEAVY FULL, 36" O.C.

\* DENOTES FLORIDA NATIVE SPECIES

NOTE:  
 - Plants installed pursuant to this Code shall conform to, or exceed, the minimum standards for Florida Number One as provided in the most current edition of "Grades and Standards for Nursery Plants, Part I and II," prepared by the State of Florida Department of Agriculture and Consumer Services.  
 - Landscape Architect to locate Relocated palms not listed in Plant List on property, location TBD  
 - Contractor shall coordinate on-site layout visits with the Landscape Architect two (2) weeks prior to installation  
 - Plant quantities are provided for convenience. When discrepancies arise between the planting plans and plant list occur the planting plan shall take precedence.  
 - Nursery Support Poles shall be removed at the Nursery, prior to delivery. Trees delivered with the nursery poles will not be accepted, and therefore rejected, with the exception of the following tree species: Clusia Rosea and Silver Buttonwood trees.



ITEM	SCIENTIFIC NAME	COMMON NAME	REQ. TREE	TREE CATEGORY	
8	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	NON-SPECIMEN	
10	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	2	NON-SPECIMEN	
<b>TOTAL REPLACEMENT</b>				5	4" DBH X 8' SP. X 16' HGT.
<b>TREE REPLACEMENT</b>					
12	CONOCARPUS ERECTUS	GREEN BUTTWOOD	4	NON-SPECIMEN	
13	CONOCARPUS ERECTUS	GREEN BUTTWOOD	3	NON-SPECIMEN	
14	LAGUNCULARIA RACEMOSA	WHITE MANGROVE	3	NON-SPECIMEN	
15	LAGUNCULARIA RACEMOSA	WHITE MANGROVE	3	NON-SPECIMEN	
16	LAGUNCULARIA RACEMOSA	WHITE MANGROVE	3	NON-SPECIMEN	
17	CONOCARPUS ERECTUS	GREEN BITTWOOD	3	NON-SPECIMEN	
<b>TOTAL REPLACEMENT</b>				19	4" DBH X 8' SP. X 16' HGT.
<b>TREE AND PALM REPLACEMENT</b>					
<b>TOTAL</b>			24		
<b>CITY OF MIAMI BEACH LANDSCAPE AREA CALCULATIONS</b>					
ZONING DISTRICT: RM-1 LOT AREA: 30,600 SF ACRES: 0.7					
<b>OPEN SPACE</b>		<b>REQUIRED</b>	<b>PROVIDED</b>		
A	SQUARE FEET OF REQUIRED OPEN SPACE AS INDICATED ON SITE PLAN: LOT AREA (30%)	9,180 SF	9,421 SF		
<b>LAWN AREA CALCULATION</b>					
A	SQUARE FEET OF LANDSCAPE OPEN SPACE REQUIRED: MAXIMUM LAWN AREA PERMITTED (30%)	2,754 SF	N/A		
<b>TREES</b>					
A	NUMBER OF TREES REQUIRED PER LOT OR NET LOT ACRE, LESS EXISTING NUMBER OF TREES MEETING MINIMUM REQUIREMENTS = 29 PER LOT	20	23		
B	% NATIVE REQUIRED: NUMBER OF TREES PROVIDED X 30%	6	23		
C	% LOW MAINTENANCE/DROUGHT AND SALT TOLERANT REQUIRED: NUMBER OF TREES PROVIDED X 50%	10	23		
D	STREET TREES (MAX. AVG. SPACING OF 20' O.C.): 180LF	9	9		
E	TOTAL TREES REQUIRED (LOT AND STREET)	29	31		
<b>SHRUBS</b>					
A	NUMBER OF SHRUBS REQUIRED: SUM OF LOT AND STREET TREES X 12	348	374		
B	% NATIVE SHRUBS REQUIRED: NUMBER OF SHRUBS PROVIDED X 50%	174	374		
<b>LARGE SHRUBS OR SMALL TREES</b>					
A	NUMBER OF LARGE SHRUBS OR SMALL TREES REQUIRED: NUMBER OF REQUIRED SHRUBS X 10%	35	37		
B	% NATIVE LARGE SHRUBS OR SMALL TREES REQUIRED: NUMBER OF LARGE SHRUBS OR SMALL TREES PROVIDED X 50%	18	37		

**BREEZE**  
ELDERLY AFFORDABLE MULTI FAMILY HOUSING

Note: sheet scaled to fit

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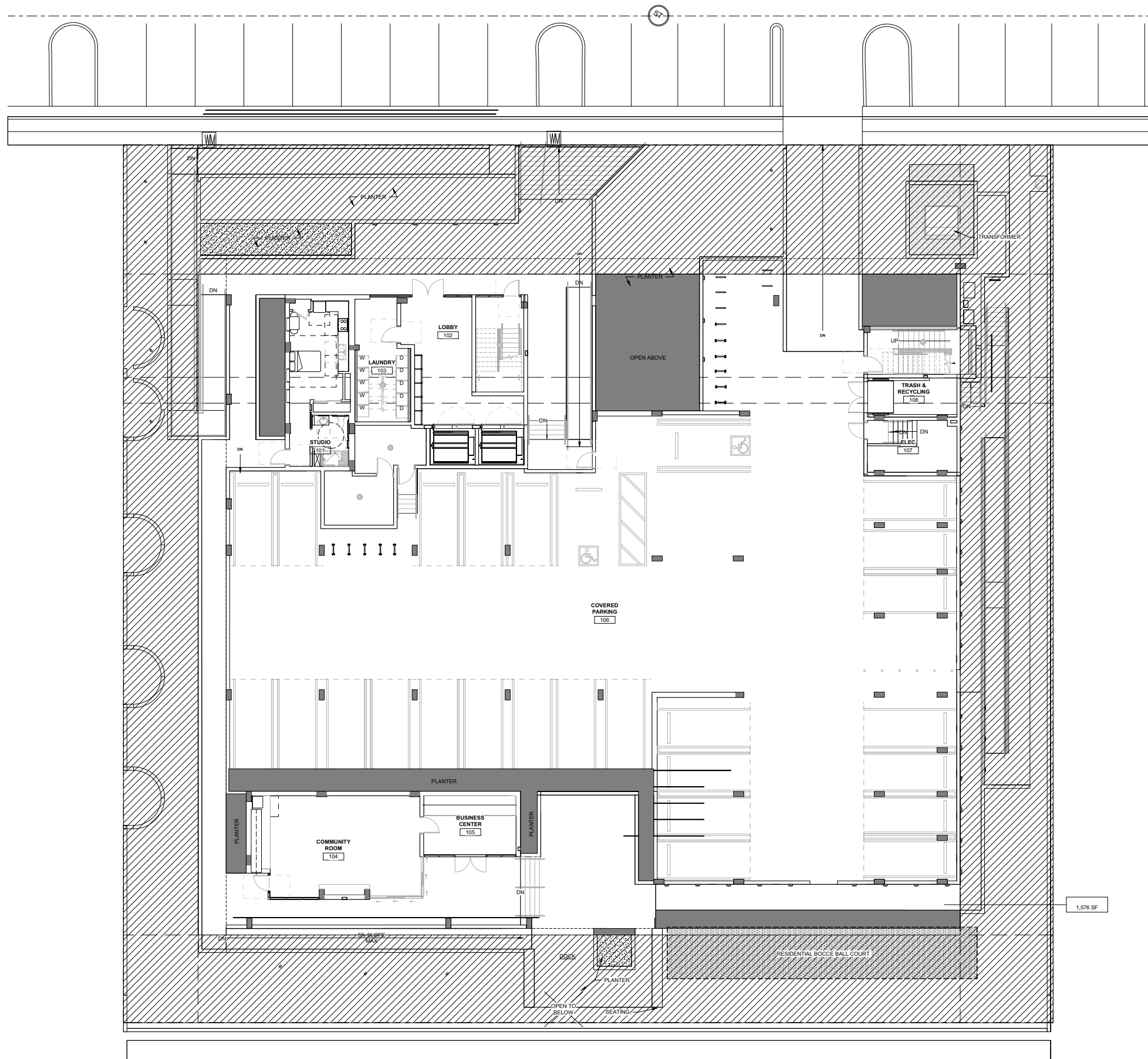
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GROUND FLOOR PLANTING PLAN

SCALE: As indicated  
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HPB 07



**LANDSCAPE CALCULATION**

SECTION: 142-870.17(d)

NEW CONSTRUCTION SHALL BE DESIGNED TO INCORPORATE NATURALLY LANDSCAPED AREAS AT THE GROUND LEVEL, IN ADDITION TO THE MINIMUM SETBACK REQUIREMENTS, WHICH IS EQUAL TO OR GREATER THAN FIVE PERCENT OF THE TOTAL LOT AREA.

TOTAL LOT AREA: 30,600 SF

30,600 SF X 5% = 1,530 SF

**1,576 SF > 1,530 SF**

1,576 SF

LANDSCAPE 5% PLAN Copy 1 01  
 REF : SCALE: 1/8" = 1'-0"

BREEZE  
 ELDERLY AFFORDABLE MULTI FAMILY HOUSING

Note: sheet scaled to fit



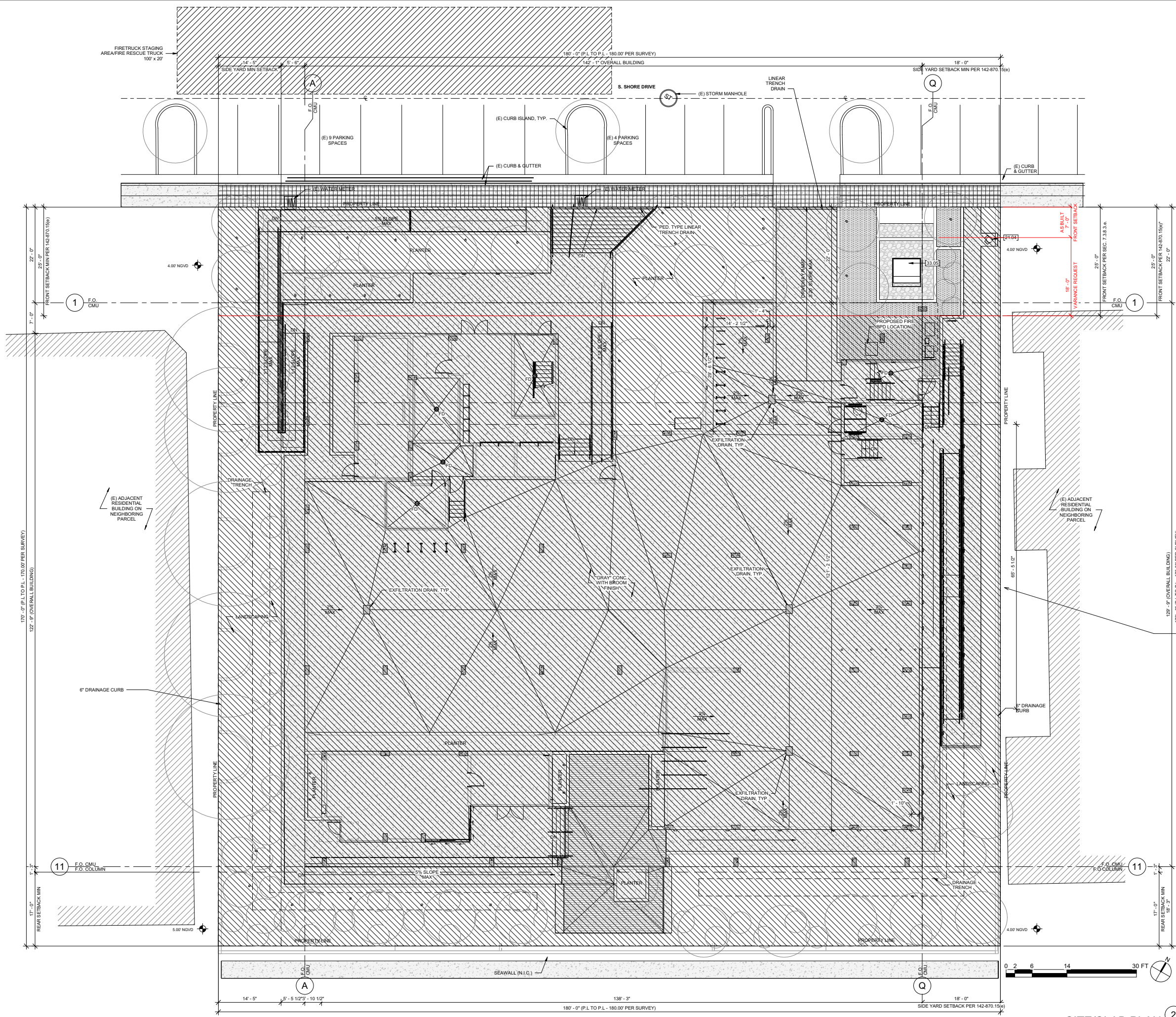
Contact  
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SHEET TITLE: LANDSCAPE 5%  
 SCALE: 1/8" = 1'-0"  
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HPB 08



KEYNOTE LEGEND	
21.04	FIRE DEPT. MAIN CONNECTION @ FRONT OF PROJECT, ARCH SHALL APPROVE FINAL LOCATION
33.05	ELECTRICAL TRANSFORMER W/ BOLLARDS AS REQ'D

GENERAL NOTES	
FLOOD MANAGEMENT INFORMATION:	
A - FLOOD ZONE	AE
B - BASE FLOOD ELEVATION (BFE)	8.0' NGVD (6.45' NAVD)
C - DESIGN FLOOD ELEVATION (DFE)	10.0' NGVD (BFE + 2.0')
C1 - CRAWLSPACE GRADE ELEVATION	N/A
D - GARAGE TOP OF SLAB ELEVATION (LP)	8.0' NGVD (5.45' NAVD)
E - GARAGE TOP OF SLAB ELEVATION (HP)	8.17' NGVD (5.62' NAVD)
F - LOWEST TOS ELEVATION OF HABITABLE SPACE	10.0' NGVD (8.45' NAVD)
G - NEXT HIGHER FLOOR ELEVATION	20.0' NGVD (18.45' NAVD)
H - CABANA TOS ELEVATION	N/A
I - LOWEST GRADE ELEVATION ADJACENT TO THE BUILDING	8.0' NGVD (6.45' NAVD)
J - HIGHEST GRADE ELEVATION ADJACENT TO THE BUILDING	8.0' NGVD (6.45' NAVD)
K - LOWEST ELEVATION OF EQUIPMENT SERVICING THE BUILDING	10.0' NGVD (SEE MEP)
L - BUILDING DIAGRAM NUMBER	1B
M - CROWN OF ROAD ELEVATION	1.8' NGVD (0.25' NAVD)
N - ADJUSTED GRADE ELEVATION	5.75' NGVD (4.2' NAVD)
O - FIRM MAP NUMBER	12096C0307L
P - FLOOD DESIGN CLASS OF BUILDINGS AND STRUCTURES (PER ASCE 24-14, TABLE 1-1)	2
Q - ELEVATOR PITS	5.00' NGVD (3.45' NAVD)

- FLOOD NOTES:**
- ROOMS BELOW DFE REQUIRE FLOOD VENTS. FPL TRANSFORMER AREA TO BE DRY-FLOOD-PROOFED. ELEC. ROOM AND STAR 2 BOTH INCLUDE FLOOD VENTS. DRIVEWAY RAMP IS FOR VEHICULAR ACCESS ONLY (NOT PART OF THE MEANS OF EGRESS).
  - UPON PLACEMENT OF THE LOWEST FLOOR AND PRIOR TO FURTHER VERTICAL CONSTRUCTION, AN ELEVATION CERTIFICATE FOR BUILDING UNDER CONSTRUCTION SHALL BE SUBMITTED (FPC2020; BUILDING SECTION 110.3).
  - A FINAL ELEVATION CERTIFICATE FOR FINISHED CONSTRUCTION MUST BE SUBMITTED BEFORE ANY CO, TCO, OR BUILDING FINAL INSPECTION IS ISSUED. ANY LOWER SCREENS, OR OTHER OPENING COVER SHALL NOT BLOCK OR IMPEDE THE AUTOMATIC FLOW OF FLOOD WATERS INTO OR OUT OF THE ENCLOSED AREA.
  - ALL EQUIPMENT IN FIRE PUMP ROOM MUST BE AT DFE (10.0' NGVD).
  - OPEN AREA CALCULATIONS: (NON ENGINEERED OPENING)
    - Main Entry Ramp Entrance = 14' W (BFE 9' - 3.5' = 4.5') Garage Entrance 14' W x 4.5' H = 63 SF. 63 SF = 9.072 SF NON ENGINEERED OPENING
    - Garage 11,615.78 SF - 9.072 SF = 2,543.78 SF.
- FLOOD VENT CALCULATIONS:**
- VENT TYPES: (SEE SHEET A3.10a FOR REFERENCE)  
 FV1: SMART VENT MODEL NO. 1540-510 (16.25" X 6.25")
- STAR 2: TOTAL ENCLOSED ROOM SF = 296.4 SF**  
 -PROTECTED VIA FLOOR DRAINS AND (2) FLOOD VENTS (FV2); TOTAL AREA OF FV: 400 SF
- STAR 6: TOTAL ENCLOSED ROOM SF = 190 SF**  
 -PROTECTED VIA (2) FLOOD VENTS (FV1); TOTAL AREA OF FV: 400 SF
- GARAGE: TOTAL ROOM AREA = 11,615.78 SF - 9.072 SF (non engineered opening) = 2,543.78 SF**  
 -PROTECTED VIA (1) FLOOD VENT (FV2); TOTAL AREA OF FV: 2,600 SF
- TRASHROOM: TOTAL ROOM AREA = 206 SF**  
 -PROTECTED VIA (2) FLOOD VENTS (FV2 & FV3); TOTAL AREA OF FV: 400 SF
- ELECTRICAL ROOM (EMTR): TOTAL ROOM AREA = 26 SF**  
 -PROTECTED VIA (1) FLOOD VENT (FV3); TOTAL AREA OF FV: 200 SF

**NOTE:** Area hatched is existing construction built per permit BC2219805 and HPB22-0509. Only transformer area variances are requested in this application.

\* Per HPB order 22-0509, the project recieved setback and stepback wavers/ variances per previous municipal code setback/stepback requirements.

BREEZE  
ELDERLY AFFORDABLE MULTI FAMILY HOUSING

Note: sheet scaled to fit

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m

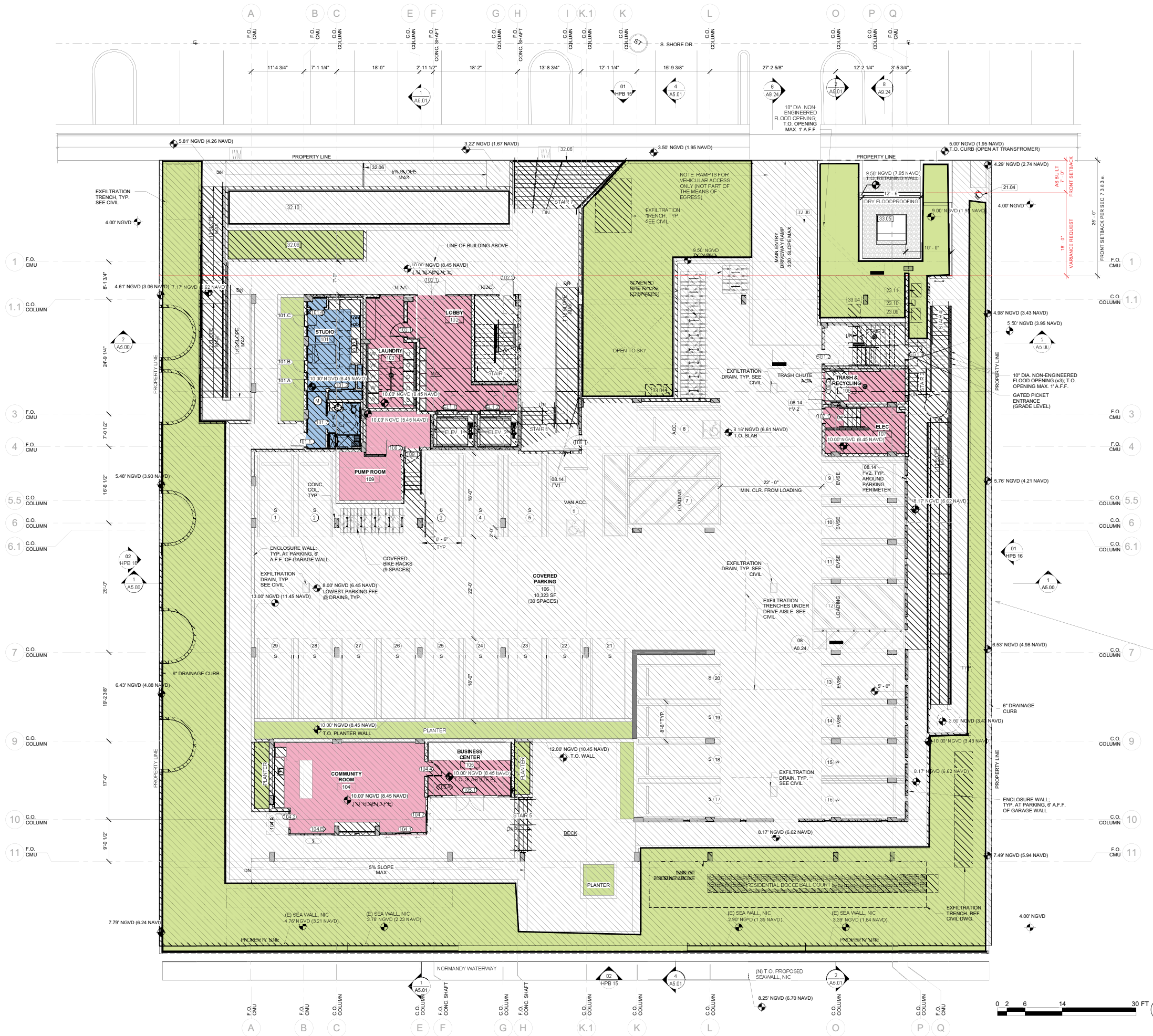
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# HPB 09



KEYNOTE LEGEND	
08.14	FLOOD VENT, SEE FLOODPLAIN DESIGN ANALYSIS (SHEET A3.10a)
21.04	FIRE DEPT. MAIN CONNECTION @ FRONT OF PROJECT, ARCH SHALL APPROVE FINAL LOCATION
23.09	GENERATOR FILL STATION
23.10	GENERATOR FILL CONTROL
23.11	DOCKING STATION
32.06	TRENCH DRAIN
32.08	PLANTING, SEE LANDSCAPE DWGS; PROVIDE PLANTER DRAIN WHERE NOTED AS 'PD'
32.10	INTL. PICKET FENCE
33.04	BACKFLOW PREVENTION DEVICE
33.05	ELECTRICAL TRANSFORMER W/ BOLLARDS AS REQ'D

- GENERAL NOTES**
- NOTE:
- SEE ENLARGED PLANS FOR ADDITIONAL DIMENSIONS AND NOTES
  - ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE. GRID DIMENSIONS ARE TO FACE OF CMU, FACE OF SHAFT, OR CENTERLINE OF WALL/COLUMN UNLESS NOTED OTHERWISE
  - FOR DRAINAGE PLAN AND FLOOR ELEVATIONS, SEE SLAB OR DRAINAGE PLAN
  - WOOD CLADDING ON EXTERIOR WALLS MUST COMPLY WITH FBC 2020 1403.5
  - ELECTRICAL SYSTEMS, EQUIPMENT AND COMPONENTS: HEATING, VENTILATION, AIR CONDITIONING, PLUMBING APPLIANCES AND PLUMBING FIXTURES; DUCT SYSTEMS; AND OTHER SERVICE EQUIPMENT (POOL EQUIPMENT, WATER HEATERS, GENERATORS, ELECTRICAL PANELS, ETC.) SHALL BE ELEVATED AT OR ABOVE DESIGN FLOOD ELEVATION (ASCE 24-14 CH. 7).
  - ALL CONSTRUCTION AND FINISH MATERIAL BELOW THE DESIGN FLOOD ELEVATION (DFE) OR LOWEST FLOOR ELEVATION, WHICHEVER IS HIGHER, SHALL BE FLOOD-DAMAGE-RESISTANT MATERIAL ACCORDING TO TABLE S-1 AND TABLE 1-1 OF ASCE 24-14
    - DRIVEWAY SHALL BE COMPOSED OF POROUS PAVEMENT OR SHALL HAVE HIGH ALBEDO SURFACE CONSISTING OF DURABLE MATERIAL OR SEALANT, WINDOWS/DOORS, ROOFING/WATERPROOFING, RAILING/FENCES, TRELS/PERGOLAS/CANOPES, PREFABRICATED STAIRS/ADDERS, AND ELEVATORS REQUIRE SEPARATE PERMITS AS PER CMB.
    - ENCLOSED AREAS BELOW THE DFE SHALL BE USED SOLELY FOR PARKING, BUILDING ACCESS OR STORAGE

**LEGEND**

	CONCRETE WALL OR COLUMN (PER STRUCTURAL)		RECESSED HOSE BIB
	MASONRY (CMU) WALL		WALL DESIGNATION (SEE WALL TYPES ON A9.00 AND A9.01)
	STUD WALL (INTERIOR PARTITION)		FINISH ELEVATION (A.F.F., U.N.O.)
	HARDSCAPE (SEE LANDSCAPE PLANS)		MOBILITY OR AUDIO VISUAL UNIT
	LANDSCAPE / PLANTING AREA		

- FLOOD VENT CALCULATIONS:**
- VENT TYPES: (SEE SHEET A3.10a FOR REFERENCE)  
 FV1: SMART VENT MODEL NO. 1540-510 (16.25" X 8.25")
- STAIR 6: TOTAL ENCLOSED ROOM SF = 100 SF  
 -PROTECTED VIA (2) FLOOD VENTS (FV1); TOTAL AREA OF FV: 400 SF
- GARAGE: TOTAL ROOM AREA = 11,615.78 SF - 9,072 SF (non engineered opening) = 2,543.78 SF  
 -PROTECTED VIA (13) FLOOD VENTS (FV2); TOTAL AREA OF FV: 2,600 SF
- TRASHROOM & ELECTRICAL ROOM (ENTRY): TOTAL ROOM AREA = 206 SF  
 -PROTECTED VIA (2) FLOOD VENTS (FV2) AND LOUVERED OPEN NON-ENGINEERED OPENING: TOTAL AREA OF FV AND R.O.: 400 SF + (8' W X 11' H = 12 SF) = 412 SF

**FLOOD NOTES:**

- ROOMS BELOW DFE REQUIRE FLOOD VENTS. FPL TRANSFORMER AREA TO BE DRY-FLOOD-PROOFED. ELEC. ROOM AND STAIR 2 BOTH INCLUDE FLOOD VENTS
- DRIVEWAY RAMP IS FOR VEHICULAR ACCESS ONLY (NOT PART OF THE MEANS OF EGRESS)
- UPON PLACEMENT OF THE LOWEST FLOOR AND PRIOR TO FURTHER VERTICAL CONSTRUCTION, AN ELEVATION CERTIFICATE FOR BUILDING UNDER CONSTRUCTION SHALL BE SUBMITTED (FBC2020, BUILDING SECTION 110.3).
- A FINAL ELEVATION CERTIFICATE FOR FINISHED CONSTRUCTION MUST BE SUBMITTED BEFORE ANY CO. TOO, OR BUILDING FINAL INSPECTION IS ISSUED.
- ANY LOUVER, SCREENS, OR OTHER OPENING COVER SHALL NOT BLOCK OR IMPEDE THE AUTOMATIC FLOW OF FLOOD WATERS INTO OR OUT OF THE ENCLOSED AREA.
- ALL EQUIPMENT IN FIRE PUMP ROOM MUST BE AT DFE (101.0) NGVD.
- OPEN AREA CALCULATIONS: (NON ENGINEERED OPENING):
  - MAIN ENTRY RAMP ENTRANCE = 14' W (RFS) - 3.5' = 4.51 GARAGE ENTRANCE 14' W X 4.5' H = 63 SF. 63 SF = 9,072 SF NON ENGINEERED OPENING
  - GARAGE 11,615.78 SF - 9,072 SF = 2,543.78 SF
  - STAIR 2 = (4) FOUR NON-ENGINEERED OPENINGS (10" DIAMETER) MAX. 1' A.F.F. 10" DIA = 78.54 SF \* 4 OPENINGS = 314.16 SF = 314 SF NON ENGINEERED OPENING
  - TRASHROOM = LOUVERED DOOR OPENING = (8' W X 11' H = 12 SF NON-ENGINEERED); TRASH ROOM + 200 SF FLOOD VENT + 12 SF = 212 SF

**NOTE:** Area hatched is existing construction built per permit BC2219805 and HPB22-0509. Only transformer area variances are requested in this application.

\* Per HPB order 22-0509, the project received setback and stepback waivers/variances per previous municipal code setback/stepback requirements.

BREEZE  
ELDERLY AFFORDABLE MULTI FAMILY HOUSING

280 S. SHORE DRIVE  
MIAMI BEACH, FL 33141  
PROJECT NUMBER: 21024.0

Scale: sheet scaled to fit

Contact  
Info:  
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STATE OF FLORIDA  
HUBER & LAMAR  
REGISTERED ARCHITECTS

SHEET TITLE: 1ST FLOOR PLAN

SCALE: As indicated  
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1ST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

REF: 1/A0.55

**KEYNOTE LEGEND**

05.07	EXTERIOR ALUMINUM LOUVER TYP.
32.08	PLANTING, SEE LANDSCAPE DWGS; PROVIDE PLANTER DRAIN WHERE NOTED AS 'P'
32.14	FIBERGLASS PLANTER

**GENERAL NOTES**

- NOTE:
- SEE ENLARGED PLANS FOR ADDITIONAL DIMENSIONS AND NOTES
  - ALL DIMENSIONS ARE TO FACE OF CMU, FACE OF SHAFT, OR CENTERLINE OF WALL/COLUMN UNLESS NOTED OTHERWISE
  - FOR DRAINAGE PLAN AND FLOOR ELEVATIONS, SEE SLAB OR DRAINAGE PLAN
  - WOOD CLADDING ON EXTERIOR WALLS MUST COMPLY WITH FSC 2020, 1403.5
  - ELECTRICAL SYSTEMS, EQUIPMENT AND COMPONENTS; HEATING, VENTILATION, AIR CONDITIONING; PLUMBING APPLIANCES AND PLUMBING FIXTURES; DUCT SYSTEMS; AND OTHER SERVICE EQUIPMENT (POOL EQUIPMENT, WATER HEATERS, GENERATORS, ELECTRICAL PANELS, ETC.) SHALL BE ELEVATED AT OR ABOVE DESIGN FLOOD ELEVATION (ASCE 24-14 CH. 7.0)
  - ALL CONSTRUCTION AND FINISH MATERIAL BELOW THE DESIGN FLOOD ELEVATION (DFE) OR LOWEST FLOOR ELEVATION, WHICHEVER IS HIGHER, SHALL BE FLOOD-DAMAGE-RESISTANT MATERIAL ACCORDING TO TABLE 5-1 AND TABLE 1-1 OF ASCE 24-14
    - DRIVEWAY SHALL BE COMPOSED OF POROUS PAVEMENT OR SHALL HAVE HIGH ALBEDO SURFACE CONSISTING OF DURABLE MATERIAL OR SEALANT.
  - WINDOWS/DOORS, ROOFING/WATERPROOFING, RAILINGS/FENCES, TRELISES/PERGOLAS/CANOPIES, PREFABRICATED STAIRS/LADDERS, AND ELEVATORS REQUIRE SEPARATE PERMITS AS PER CMB
  - ENCLOSED AREAS BELOW THE DFE SHALL BE USED SOLELY FOR PARKING, BUILDING ACCESS OR STORAGE

**LEGEND**

	CONCRETE WALL OR COLUMN (PER STRUCTURAL)		RECESSED HOSE BIB
	MASONRY (CMU) WALL		WALL DESIGNATION (SEE WALL TYPES ON A9.00 AND A9.01)
	STUD WALL (INTERIOR PARTITION)		FINISH ELEVATION (A.F.F., U.N.D.)
	HARDSCAPE (SEE LANDSCAPE PLANS)		MOBILITY or AUDIO VISUAL UNIT
	LANDSCAPE / PLANTING AREA		



NOTE: Area hatched is existing construction built per permit BC2219805 and HPB22-0509. Only transformer area variances are requested in this application.



**2ND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

BREEZE  
ELDERLY AFFORDABLE MULTI FAMILY HOUSING

Note: sheet scaled to fit  
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SHEET TITLE: 2ND FLOOR PLAN  
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**HPB 11**



KEYNOTE LEGEND	
03.05	CONC. COLUMN SEE STRUCTURAL DWGS
03.12	CONC. WINDOW BOX SEE STRUCTURAL DWGS
05.07	EXTERIOR ALUMINUM LOUVER TYP.
05.08	FACE MOUNTED MTL. RAIL TYP.

GENERAL NOTES	
NOTE:	
1.	SEE ENLARGED PLANS FOR ADDITIONAL DIMENSIONS AND NOTES
2.	ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE. GRID DIMENSIONS ARE TO FACE OF CMU, FACE OF SHAFT, OR CENTERLINE OF WALL/COLUMN UNLESS NOTED OTHERWISE
3.	FOR DRAINAGE PLAN AND FLOOR ELEVATIONS, SEE SLAB OR DRAINAGE PLAN
4.	WOOD CLADDING ON EXTERIOR WALLS MUST COMPLY WITH FSC 2020, 1403.5
5.	ELECTRICAL SYSTEMS, EQUIPMENT AND COMPONENTS: HEATING, VENTILATION, AIR CONDITIONING, PLUMBING APPLIANCES AND PLUMBING FIXTURES, DUCT SYSTEMS, AND OTHER SERVICE EQUIPMENT (POOL EQUIPMENT, WATER HEATERS, GENERATORS, ELECTRICAL PANELS, ETC.) SHALL BE ELEVATED AT OR ABOVE DESIGN FLOOD ELEVATION (ASCE 24-14 CH. 7.0)
6.	ALL CONSTRUCTION AND FINISH MATERIAL BELOW THE DESIGN FLOOD ELEVATION (DFE) OR LOWEST FLOOR ELEVATION, WHICHEVER IS HIGHER, SHALL BE FLOOD-DAMAGE-RESISTANT MATERIAL ACCORDING TO TABLE 5-1 AND TABLE 1-1 OF ASCE 24-14
7.	DRIVEWAY SHALL BE COMPOSED OF POROUS PAVEMENT OR SHALL HAVE HIGH ALBEDO SURFACE CONSISTING OF DURABLE MATERIAL OR SEALANT. WINDOWS/DOORS, ROOF/WATERPROOFING, RAILINGS/FENCES, TRELISES/PERCOLAS/CANOPIES, PREFABRICATED STAIRS/LADDERS, AND ELEVATORS REQUIRE SEPARATE PERMITS AS PER CMB
8.	ENCLOSED AREAS BELOW THE DFE SHALL BE USED SOLELY FOR PARKING, BUILDING ACCESS OR STORAGE

LEGEND	
	CONCRETE WALL OR COLUMN (PER STRUCTURAL)
	MASONRY (CMU) WALL
	STUD WALL (INTERIOR PARTITION)
	HARDSCAPE (SEE LANDSCAPE PLANS)
	LANDSCAPE / PLANTING AREA
	RECESSED HOSE BIB
	WALL DESIGNATION (SEE WALL TYPES ON A9.00 AND A9.01)
	FINISH ELEVATION (A.F.F., U.N.O.)
	MOBILITY or AUDIO VISUAL UNIT

NOTE: Area hatched is existing construction built per permit BC2219805 and HPB22-0509. Only transformer area variances are requested in this application.



3RD FLOOR PLAN  
SCALE: 1/8" = 1'-0"

BREEZE  
ELDERLY AFFORDABLE MULTI FAMILY HOUSING

Note: sheet scaled to fit  
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HPB 12



KEYNOTE LEGEND	
<b>GENERAL NOTES</b>	
NOTE:	
1. SEE ENLARGED PLANS FOR ADDITIONAL DIMENSIONS AND NOTES 2. ALL DIMENSIONS ARE TO FACE OF CMU, FACE OF SHAFT, OR CENTERLINE OF WALL/COLUMN UNLESS NOTED OTHERWISE 3. FOR DRAINAGE PLAN AND FLOOR ELEVATIONS, SEE SLAB OR DRAINAGE PLAN 4. WOOD CLADDING ON EXTERIOR WALLS MUST COMPLY WITH FSC 2020, 1403.5 5. ELECTRICAL SYSTEMS, EQUIPMENT AND COMPONENTS: HEATING, VENTILATION, AIR CONDITIONING, PLUMBING APPLIANCES AND PLUMBING FIXTURES, DUCT SYSTEMS, AND OTHER SERVICE EQUIPMENT (POOL EQUIPMENT, WATER HEATERS, GENERATORS, ELECTRICAL PANELS, ETC.) SHALL BE ELEVATED AT OR ABOVE DESIGN FLOOD ELEVATION, (ASCE 24-14 CH. 7.0) 6. ALL CONSTRUCTION AND FINISH MATERIAL BELOW THE DESIGN FLOOD ELEVATION (DFE) OR LOWEST FLOOR ELEVATION, WHICHEVER IS HIGHER, SHALL BE FLOOD-DAMAGE-RESISTANT MATERIAL ACCORDING TO TABLE 5-1 AND TABLE 1-1 OF ASCE 24-14 A. DRIVEWAY SHALL BE COMPOSED OF POROUS PAVEMENT OR SHALL HAVE HIGH ALBEDO SURFACE CONSISTING OF DURABLE MATERIAL OR SEALANT. 7. WINDOWS/DOORS, ROOFING/WATERPROOFING, RAILINGS/FENCES, TRELLISES/PERGOLAS/CANOPIES, PREFABRICATED STAIRS/LADDERS, AND ELEVATORS REQUIRE SEPARATE PERMITS AS PER CMB 8. ENCLOSED AREAS BELOW THE DFE SHALL BE USED SOLELY FOR PARKING, BUILDING ACCESS OR STORAGE	
<b>LEGEND</b>	
CONCRETE WALL OR COLUMN (PER STRUCTURAL) MASONRY (CMU) WALL STUD WALL (INTERIOR PARTITION) HARDSCAPE (SEE LANDSCAPE PLANS) LANDSCAPE / PLANTING AREA	RECESSED HOSE BIB WALL DESIGNATION (SEE WALL TYPES ON A9.00 AND A9.01) FINISH ELEVATION (A.F.F., U.N.O.) MOBILITY or AUDIO VISUAL UNIT

NOTE: Area hatched is existing construction built per permit BC2219805 and HPB22-0509. Only transformer area variances are requested in this application.



4TH FLOOR PLAN  
SCALE: 1/8" = 1'-0"

**BREEZE**  
ELDERLY AFFORDABLE MULTI FAMILY HOUSING

Note: sheet scaled to fit

Contact  
Info:  
huber@broo  
hsscampa.co  
m

STATE OF FLORIDA  
BRIAN L. HUBER  
REGISTERED ARCHITECT

SHEET TITLE: 4TH FLOOR PLAN  
SCALE: As indicated  
DATE PRINTED: 5/6/2025 12:00:43 PM

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# HPB 13

REF: 1 / A0.55

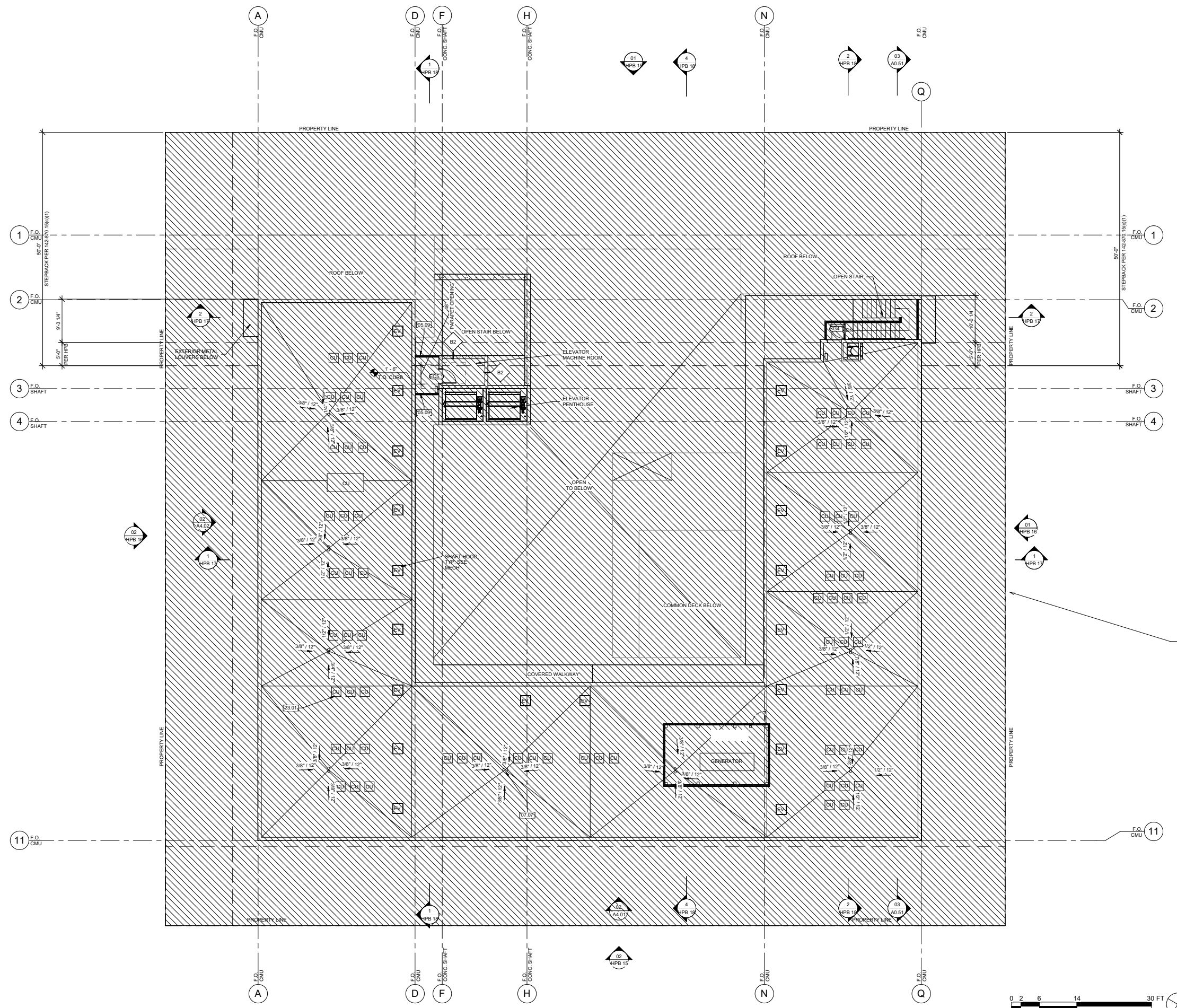
KEYNOTE LEGEND	
05.09	SURFACE MOUNTED MTL RAIL TYP.
07.07	ROOF DRAIN
23.01	HVAC UNIT PER MECH. AC UNITS SHALL NOT EXCEED THE HEIGHT OF THE PARAPET, TYP.

GENERAL NOTES	
NOTE:	
1.	SEE ENLARGED PLANS FOR ADDITIONAL DIMENSIONS AND NOTES
2.	ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE. GRID DIMENSIONS ARE TO FACE OF CMU, FACE OF SHAFT, OR CENTERLINE OF WALL/COLUMN UNLESS NOTED OTHERWISE
3.	FOR DRAINAGE PLAN AND FLOOR ELEVATIONS, SEE SLAB OR DRAINAGE PLAN
4.	WOOD CLADDING ON EXTERIOR WALLS MUST COMPLY WITH FBC 2020, 1403.5
5.	ELECTRICAL SYSTEMS, EQUIPMENT AND COMPONENTS: HEATING, VENTILATION, AIR CONDITIONING, PLUMBING APPLIANCES AND PLUMBING FIXTURES; DUCT SYSTEMS; AND OTHER SERVICE EQUIPMENT (POOL EQUIPMENT, WATER HEATERS, GENERATORS, ELECTRICAL PANELS, ETC.) SHALL BE ELEVATED AT OR ABOVE DESIGN FLOOD ELEVATION. (ASCE 24-14 CH. 7.0)
6.	ALL CONSTRUCTION AND FINISH MATERIAL BELOW THE DESIGN FLOOD ELEVATION (DFE) OR LOWEST FLOOR ELEVATION, WHICHEVER IS HIGHER, SHALL BE FLOOD-DAMAGE-RESISTANT MATERIAL ACCORDING TO TABLE 5-1 AND TABLE 1-1 OF ASCE 24-14.
7.	DRIVEWAY SHALL BE COMPOSED OF POROUS PAVEMENT OR SHALL HAVE HIGH ALBEDO SURFACE CONSISTING OF DURABLE MATERIAL OR SEALANT.
8.	WINDOW DOORS, ROOFING/WATERPROOFING, RAILINGS/FENCES, TRELLISES/PERGOLAS/CANOPIES, PREFABRICATED STAIRS/LADDERS, AND ELEVATORS REQUIRE SEPARATE PERMITS AS PER CMB.
9.	ENCLOSED AREAS BELOW THE DFE SHALL BE USED SOLELY FOR PARKING, BUILDING ACCESS OR STORAGE.

LEGEND			
	CONCRETE WALL OR COLUMN (PER STRUCTURAL)		RECESSED HOSE BIB
	MASONRY (CMU) WALL		3/8" / 12" SPOT SLOPE
	CONDENSER UNIT, REFER TO MECHANICAL DWG		ROOF DRAIN & OVERFLOW
	EXHAUST VENT, REFER TO MECHANICAL DWG		



NOTE: Area hatched is existing construction built per permit BC2219805 and HPB22-0509. Only transformer area variances are requested in this application.



ROOF PLAN  
SCALE: 1/8" = 1'-0"

BREEZE  
ELDERLY AFFORDABLE MULTI FAMILY HOUSING

Note: sheet scaled to fit

Contact  
Info:  
huber@brooksscarpa.com  
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STATE OF FLORIDA  
HUBERT L. HUBER  
REGISTERED ARCHITECT  
A.S. 95594

SHEET TITLE: ROOF PLAN  
SCALE: As indicated  
DATE PRINTED: 5/6/2026 12:00:48 PM

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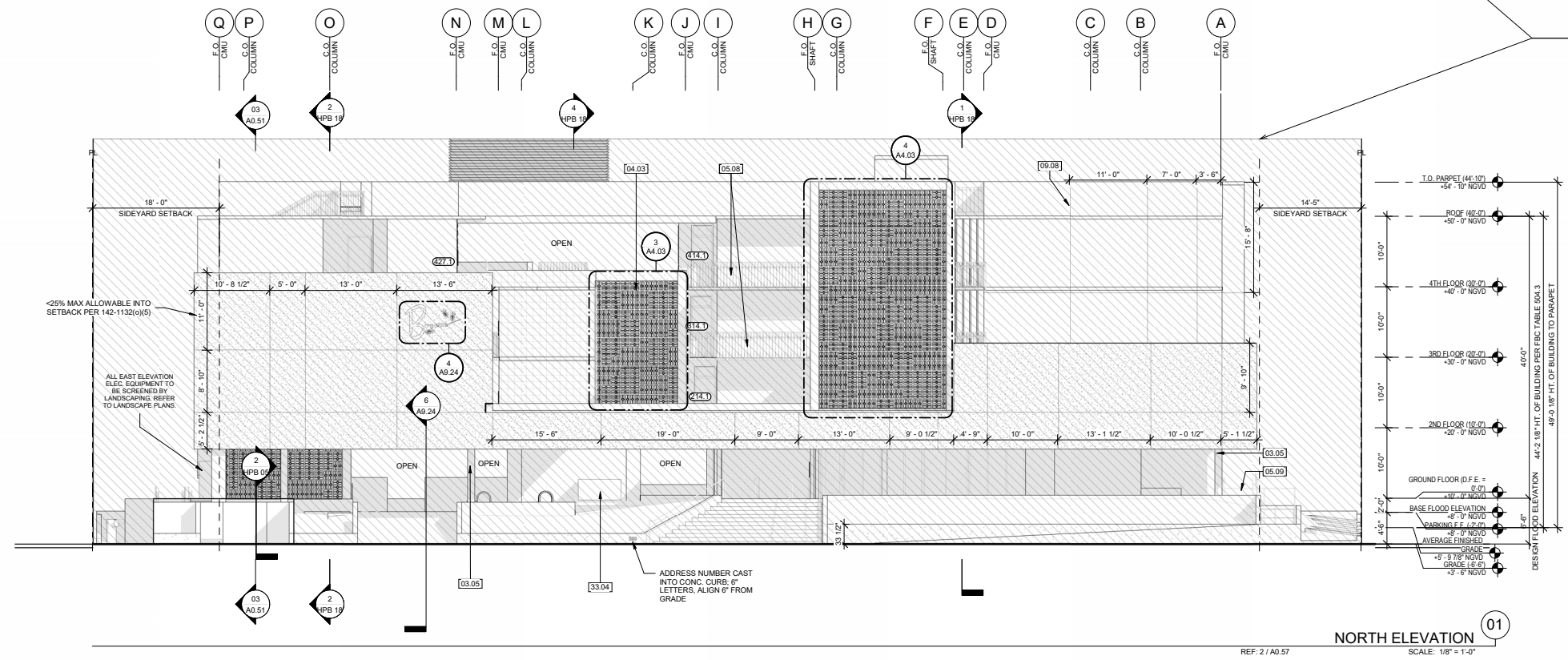
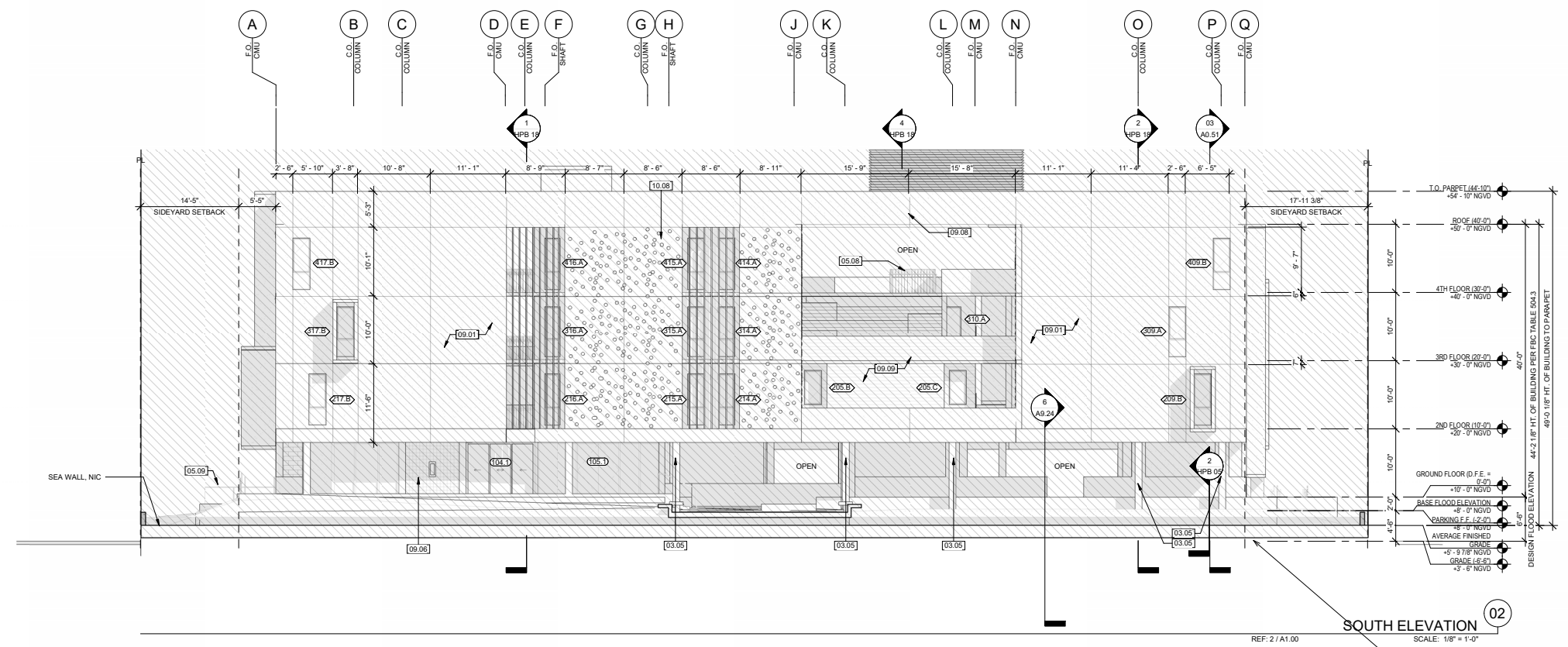
# HPB 14

REF: 1 / A0.55

KEYNOTE LEGEND	
03.05	CONC. COLUMN SEE STRUCTURAL DWGS
04.03	NON-BEARING BREEZE BLOCK WALL
05.08	FACE MOUNTED MTL RAIL TYP.
05.09	SURFACE MOUNTED MTL RAIL TYP.
09.01	(2) COAT 5/8" PORTLAND CEMENT PLASTER (STUCCO), PTD.
09.06	TESSELLE CERAMIC TILE
09.08	STUCCO CONTROL JOINT, SEE WALL DETAILS; MAX FINISH AREA BTWN JOINTS PER MANUF.
09.09	NICHISHI TEAK FIBER CEMENT BOARD
10.08	4" WHITE CERAMIC REFLECTOR
33.04	BACKFLOW PREVENTION DEVICE

LEGEND	
	PAINTED PORTLAND CEMENT PLASTER (STUCCO), PROVIDE BONDING AGENT OVER CONCRETE/CMU. REFER TO ELEVATIONS & SCHEDULE FOR COLOR AND FINISH
	TESSELLE CERAMIC TILE FINISH
	EXPOSED CONCRETE
	STUCCO CONTROL JOINT

NOTE:  
 1. DFE = +18' NGVD (8.45' NAVD)  
 2. VERTICAL DATUM NGVD 29 UNLESS OTHERWISE NOTED; PROJECT USES LOCAL CONVERSION FACTOR NGVD = NAVD + 1.55  
 3. SEE SCHEDULES ON A7.00 FOR PAINT AND FINISH MATERIAL INFORMATION.  
 4. ALL PORTLAND CEMENT STUCCO TO BE FINE (SAND) FINISH.  
 5. ALL BREEZE BLOCK TO BE UNPAINTED (FINE WHITE PORTLAND CEMENT FINISH)  
 6. PROVIDE STUCCO CONTROL JOINTS AT ALL LOCATIONS WHERE CHANGE IN SUBSTRATE MATERIAL OCCURS AND AS REQUIRED BY INDUSTRY STANDARDS. FOR DIRECT APPLIED STUCCO OVER CMU, PROVIDE STUCCO CONTROL JOINTS WHERE CONTROL JOINTS OCCUR IN THE CMU SUBSTRATE. FOR STUCCO ON LATH AND FRAMING, STUCCO AREAS SHALL NOT EXCEED 144 S.F. OR A LENGTH TO WIDTH RATIO OF 2.5:1 WITHOUT CONTROL JOINTS.



NOTE: Area hatched is existing construction built per permit BC2219805 and HPB22-0509. Only transformer area variances are requested in this application.

BREEZE  
 ELDERLY AFFORDABLE MULTI FAMILY HOUSING

Note: sheet scaled to fit

Contact  
 Info:  
 huser@broo  
 ksscampa.com

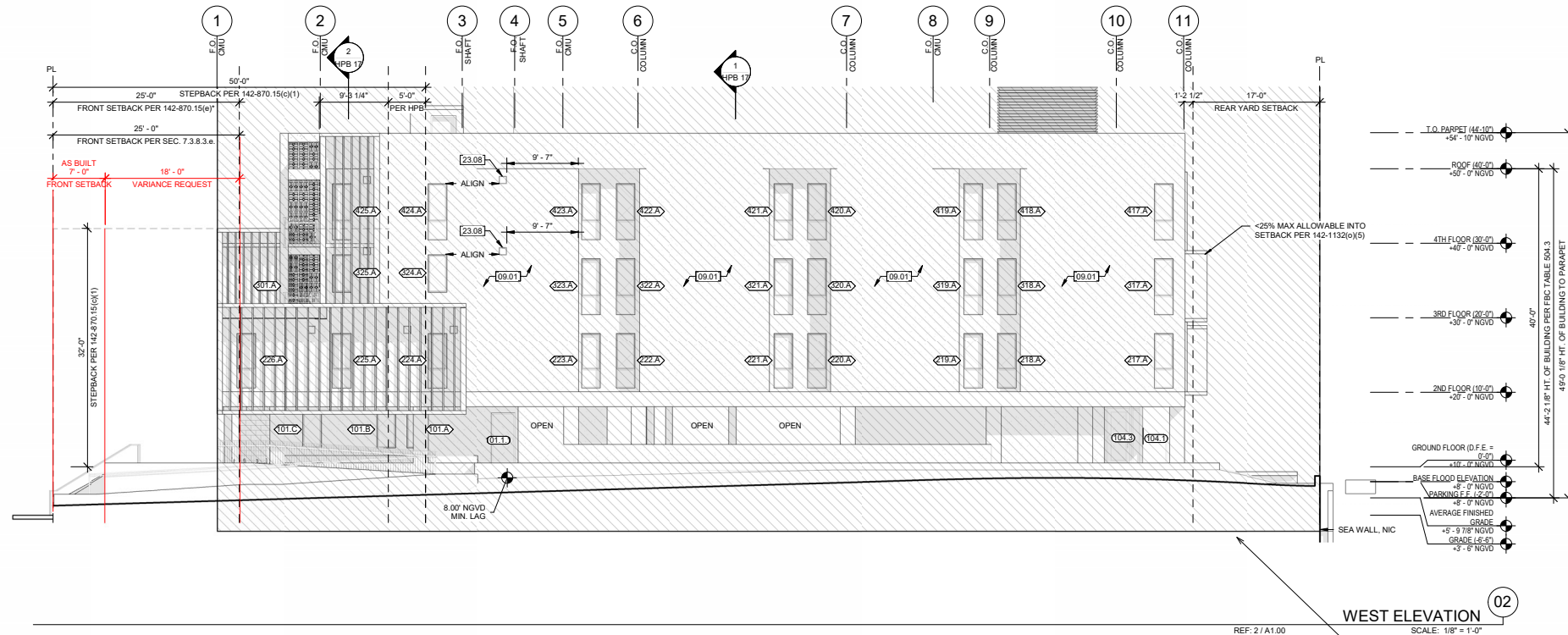
SHEET TITLE: ELEVATIONS

SCALE: As indicated  
 DATE PRINTED: 5/6/2025 12:05:23 PM

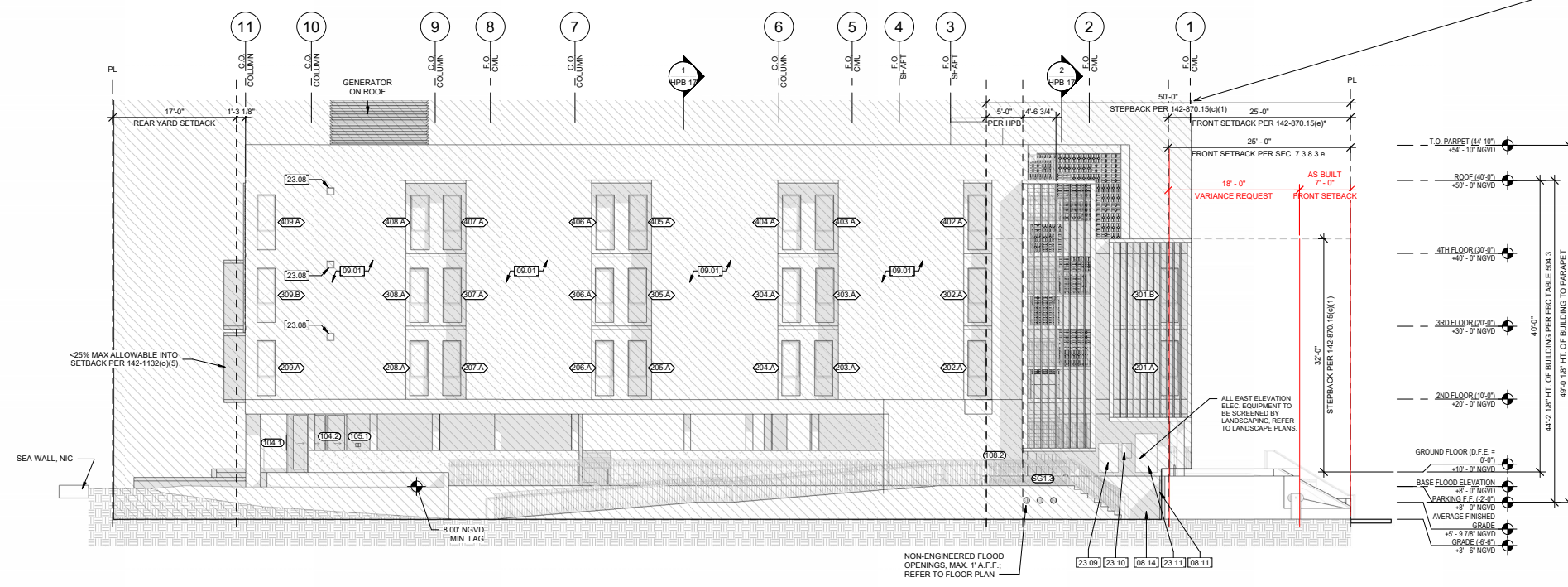
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# HPB 15



WEST ELEVATION 02  
 REF: 2 / A1.00  
 SCALE: 1/8" = 1'-0"



EAST ELEVATION 01  
 REF: 2 / A1.00  
 SCALE: 1/8" = 1'-0"

KEYNOTE LEGEND	
08.11	ROOF MAINTENANCE ACCESS LADDER
08.14	FLOOD VENT. SEE FLOODPLAIN DESIGN ANALYSIS (SHEET A3.10a)
09.01	(2) COAT 5/8" PORTLAND CEMENT PLASTER (STUCCO), PTD.
23.08	MECH. EXHAUST LOUVER, PER MECH.
23.09	GENERATOR FILL STATION
23.10	GENERATOR FILL CONTROL
23.11	DOCKING STATION

**GENERAL NOTES**

NOTE:

- D.F.E. = +10' NGVD (8.45' NAVD)
- VERTICAL DATUM NGVD 29 UNLESS OTHERWISE NOTED; PROJECT USES LOCAL CONVERSION FACTOR NGVD = NAVD + 1.55
- SEE SCHEDULES ON A7.00 FOR PAINT AND FINISH MATERIAL INFORMATION.
- ALL PORTLAND CEMENT STUCCO TO BE FINE (SAND) FINISH.
- ALL BREEZE BLOCK TO BE UNPAINTED (FINE WHITE PORTLAND CEMENT FINISH)
- PROVIDE STUCCO CONTROL JOINTS AT ALL LOCATIONS WHERE CHANGE IN SUBSTRATE MATERIAL OCCURS AND AS REQUIRED BY INDUSTRY STANDARDS. FOR DIRECT APPLIED STUCCO OVER CMU, PROVIDE STUCCO CONTROL JOINTS WHERE CONTROL JOINTS OCCUR IN THE CMU SUBSTRATE. FOR STUCCO ON LATH AND FRAMING, STUCCO AREAS SHALL NOT EXCEED 144 S.F. OR A LENGTH TO WIDTH RATIO OF 2.5:1 WITHOUT CONTROL JOINTS.

LEGEND	
	PAINTED PORTLAND CEMENT PLASTER (STUCCO), PROVIDE BONDING AGENT OVER CONCRETE/CMU. REFER TO ELEVATIONS & SCHEDULE FOR COLOR AND FINISH
	TESSELE CERAMIC TILE FINISH
	EXPOSED CONCRETE
	STUCCO CONTROL JOINT

NOTE: Area hatched is existing construction built per permit BC2219805 and HPB22-0509. Only transformer area variances are requested in this application.

\* Per HPB order 22-0509, the project recieved setback and stepback wavers/ variances per previous municipal code setback/stepback requirements.

BREEZE  
 ELDERLY AFFORDABLE MULTI FAMILY HOUSING

Note: sheet scaled to fit

Contact  
 Info:  
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SHEET TITLE: ELEVATIONS

SCALE: As indicated

DATE PRINTED: 5/6/2026 12:06:39 PM

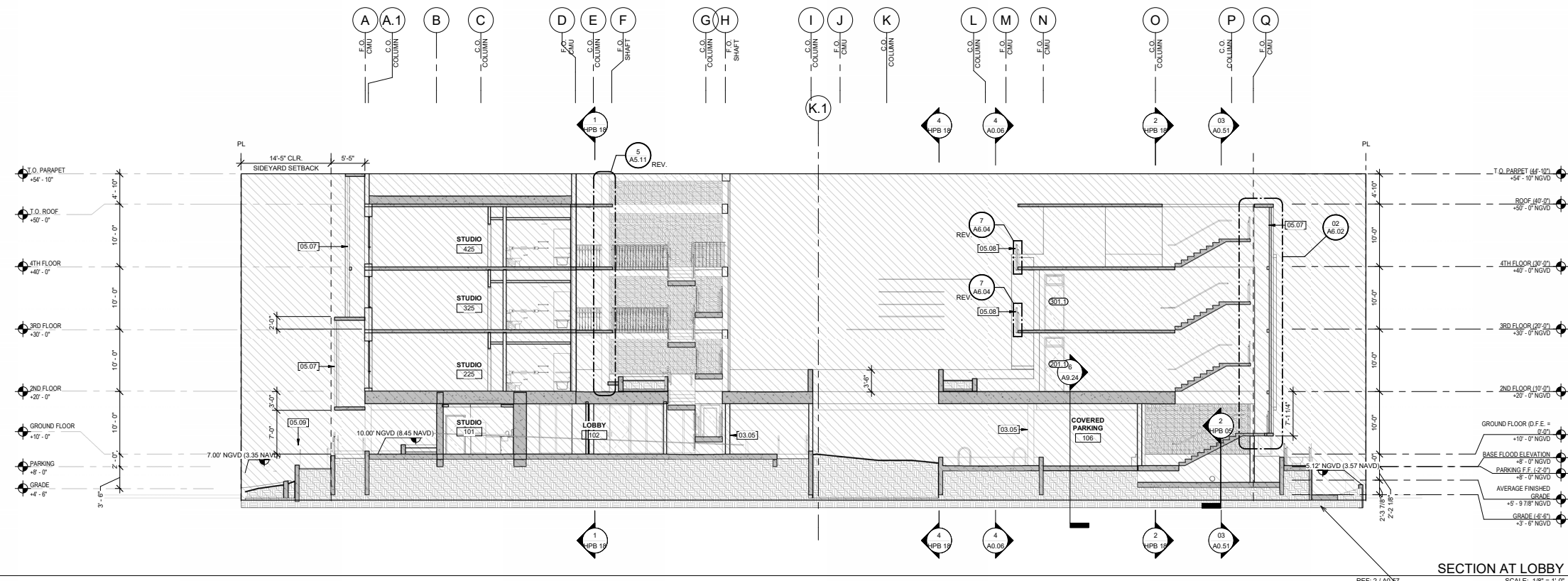
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**GENERAL NOTES**

1. ABSOLUTE MIN. CLR. HEIGHT IN KITCHENS, BATHROOMS, & CLOSETS IS 7'-0" AND CLR. HEIGHT ELSEWHERE IS 7'-6". REFER TO RCPS FOR ACTUAL HEIGHT, TYP.

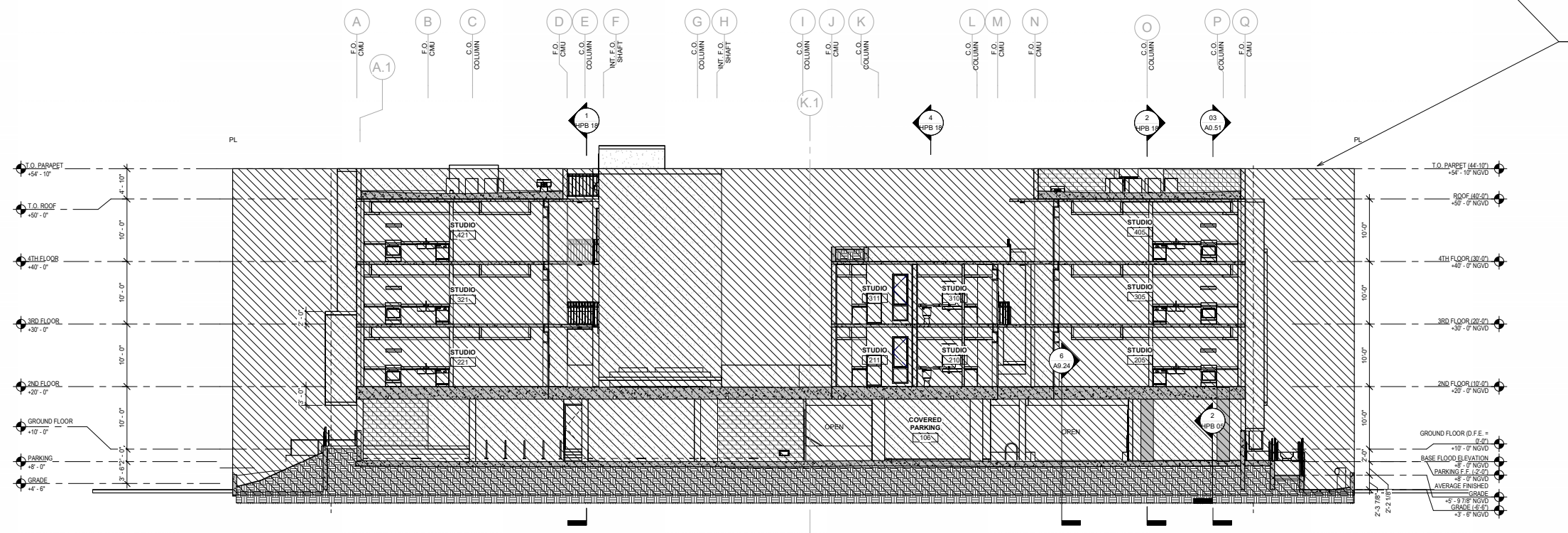
**KEYNOTE LEGEND**

03.05	CONC. COLUMN. SEE STRUCTURAL DWGS
05.07	EXTERIOR ALUMINUM LOUVER TYP.
05.08	FACE MOUNTED MTL. RAIL TYP.
05.09	SURFACE MOUNTED MTL. RAIL TYP.



**SECTION AT LOBBY** 2  
SCALE: 1/8" = 1'-0"  
REF: 2 / A0.37

NOTE: Area hatched is existing construction built per permit BC2219805 and HPB22-0509. Only transformer area variances are requested in this application.



**SECTION AT COURTYARD Copy 1** 1  
SCALE: 1/8" = 1'-0"  
REF: 2 / A1.00

BREEZE  
ELDERLY AFFORDABLE MULTI FAMILY HOUSING

Note: sheet scaled to fit  
Contact  
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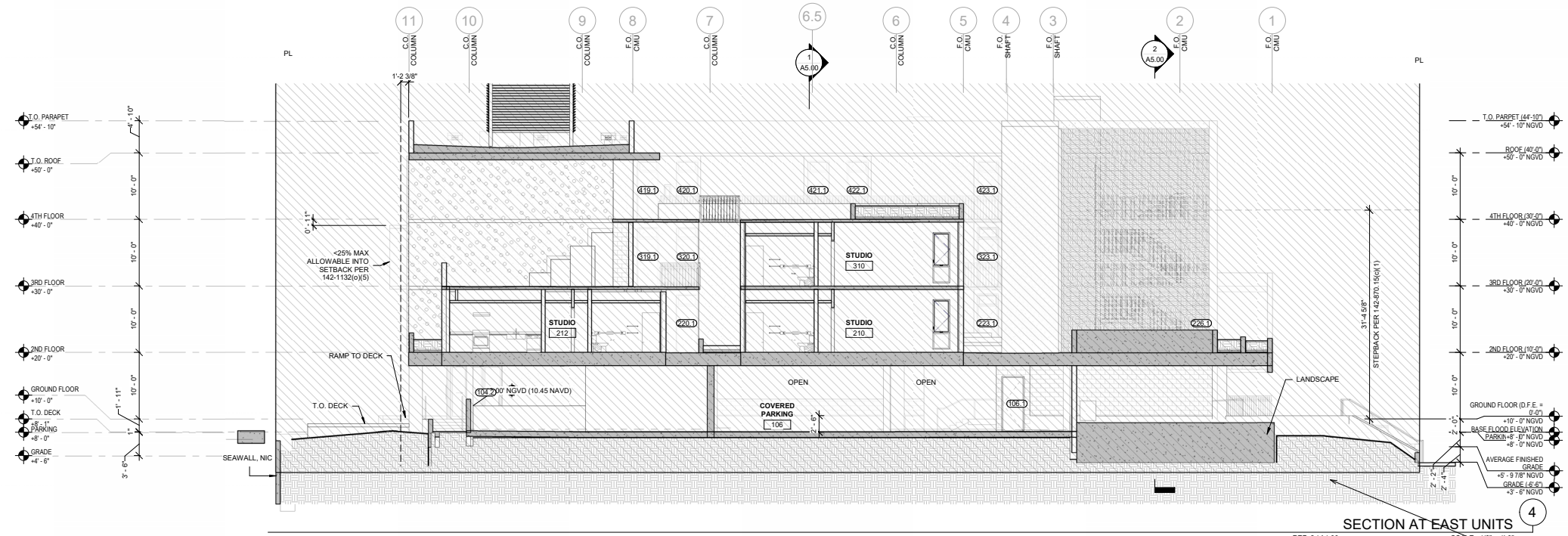
BROOKS + SCARPA ARCHITECTS  
1147 NE 7TH AVENUE  
FORT LAUDERDALE, FL 33304  
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SHEET TITLE: SECTIONS  
SCALE: 1/8" = 1'-0"  
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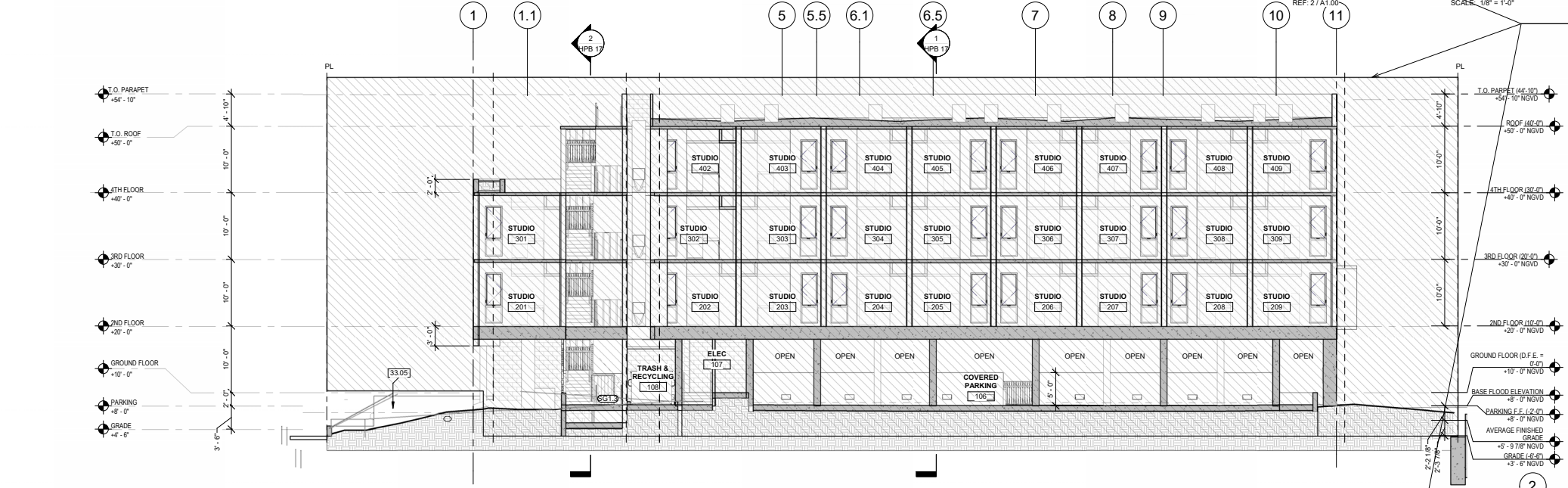
**HPB 17**

KEYNOTE LEGEND	
33.05	ELECTRICAL TRANSFORMER W/ BOLLARDS AS REQ'D

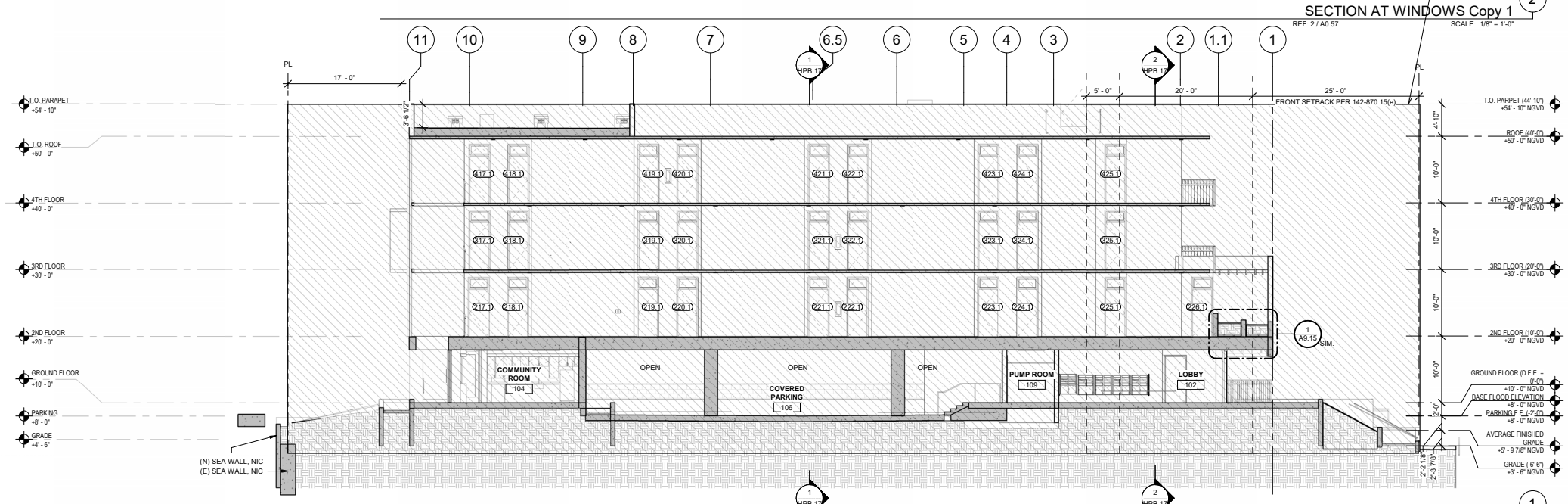


SECTION AT EAST UNITS

NOTE: Area hatched is existing construction built per permit BC2219805 and HPB22-0509. Only transformer area variances are requested in this application.



SECTION AT WINDOWS Copy 1



SECTION AT WALKWAY Copy 1

BREEZE  
ELDERLY AFFORDABLE MULTI FAMILY HOUSING  
280 S. SHORE DRIVE  
MIAMI BEACH, FL 33141  
PROJECT NUMBER: 21024.0

Note: sheet scaled to fit  
Contact  
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SHEET TITLE: SECTIONS  
SCALE: 1/8" = 1'-0"  
DATE PRINTED: 5/6/2026 1:49:15 PM  
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**HPB 18**



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# MIAMI BEACH

Planning Department  
1700 Convention Center Drive, 2nd Floor Miami Beach, Florida 33139, www.miamibeachfl.gov  
305.673.7550

## COMMERCIAL - MULTIFAMILY - HOTEL - MIXED USE - ZONING DATA SHEET

ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY RESULT IN A FAILED REVIEW

ITEM #	Project Information				
1	Address: 280 & 300 S SHORE DR., MIAMI BEACH, FL 33141	Folio number(s):	02-3203-007-1160	Year built:	N/A
2	Board file number(s), Determination of Architectural Significance:	02-3203-007-1170		Lot Area:	30,600 SF (0.7 ACRE)
3	Located within a Local Historic District (Yes or No): YES	Zoning District:	RM-1	Lot width:	180'
4	Individual Historic Site (Yes or No):			Lot Depth:	170'
5	Base Flood Elevation:	8' REQ. 10' provided	Grade value in NGVD:		3.5'
6	Future Adjusted Grade (BFE+Grade / 2):	$(10' + 3.5')/2 = 6.75'$	Free board:	2'	
7	Proposed Use:	MULTI FAMILY ELDERLY HOUSING			
8	Proposed Accessory Use:	N/A			
9	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan):				
	<b>ZONING INFORMATION / CALCULATION</b>	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Deficiencies</b>
13	<b>Floor Area Ratio (FAR)</b>	38,250	38,234 *	N/A	N/A
14	<b>Building Height</b>	45'	45' *	N/A	N/A
15	<b>At grade parking lot on the same lot</b>				
a	Front setbacks	25' (22' per HPB22-0590)	22' *	7' **	18' **
b	Side interior setback	8% (14'-5")	14'-5" *	N/A	N/A
c	Side facing street setback	N/A	N/A	N/A	N/A
d	Rear setback	10% (17')	17' *	N/A	N/A
16	<b>Subterranean, Pedestal &amp; Tower (non-Oceanfront)</b>	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Deficiencies</b>
a	Front setbacks	25' (22' per HPB22-0590)	N/A *	7' **	18' **
b	Side interior setback	8% (14'-5")	14'-5" *	N/A	N/A
c	Side facing street setback	N/A	N/A	N/A	N/A
d	Rear setback	10% (17')	17' *	N/A	N/A
17	<b>Subterranean, Pedestal &amp; Tower (Oceanfront)</b>	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Deficiencies</b>
a	Front setbacks	N/A	N/A	N/A	N/A
b	Side interior setback	N/A	N/A	N/A	N/A
c	Side facing street setback	N/A	N/A	N/A	N/A
d	Rear setback	N/A	N/A	N/A	N/A
18	<b>Minimum Apartment Unit Size</b>	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Deficiencies</b>
a	New Construction	400 SF (ELDERLY)	405 SF *	N/A	N/A
b	Rehabilitated Buildings	N/A	N/A	N/A	N/A
c	Hotel Unit	N/A	N/A	N/A	N/A
19	<b>Average Apartment Unit Size</b>	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Deficiencies</b>
a	New Construction	400 SF (ELDERLY)	440 SF *	N/A	N/A



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ksscarpa.co  
m

b	Rehabilitated Buildings	N/A	N/A	N/A	N/A
c	Hotel Unit	N/A	N/A	N/A	N/A
<b>20</b>	<b>Required Open-space ratio (RPS, CPS)</b>	N/A	N/A	N/A	N/A
<b>21</b>	<b>Parking and Loading</b>	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Deficiencies</b>
a	Parking district	SENIOR HOUSING (N/A)	N/A	N/A	N/A
b	Total number of parking spaces	N/A	27 *	N/A	N/A
c	Total number of bicycle spaces	N/A	30 *	N/A	N/A
d	Total number of loading spaces	N/A	2 *	N/A	N/A
	Provide a separate chart for a breakdown calculation	N/A	N/A	N/A	N/A
<b>22</b>	<b>Restaurants, Cafes, Bars, Lounges, Nightclubs</b>	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Deficiencies</b>
a	Type of use	N/A	N/A	N/A	N/A
b	Total number of seats	N/A	N/A	N/A	N/A
c	Number of seats inside	N/A	N/A	N/A	N/A
d	Number of seats located outside on private property	N/A	N/A	N/A	N/A
	Provide a separate chart for a breakdown calculation	N/A	N/A	N/A	N/A

Additional data or information must be presented in the format outlined in this section

\* existing construction built per permit BC2219805 and HPB22 0509

\*\* only applicable to portions of the front setback (specifically at the transformer enclosure)