

# ELEVATION CERTIFICATE

Important: Read the instructions on pages 1-9.

OMB No. 1660-0008  
 Expiration Date: July 31, 2015

SECTION A – PROPERTY INFORMATION		FOR INSURANCE COMPANY USE
A1. Building Owner's Name SAN JUAN HOTEL LLC		Policy Number:
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1680 COLLINS AVENUE (SAN JUAN HOTEL)		Company NAIC Number:
City MIAMI BEACH	State FL	ZIP Code 33139
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) LOT 8 AND SOUTH HALF OF LOT 9, BLOCK 30, FISHER'S FIRST SUBD. OF ALTON BEACH, (P.B. 2, PG. 77)		
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>NON-RESIDENTIAL</u>		
A5. Latitude/Longitude: <u>Lat. 25° 47' 31.0" N Long. 80° 07' 47.9" W</u>		Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.		
A7. Building Diagram Number <u>2 and 6</u>		
A8. For a building with a crawlspace or enclosure(s):		A9. For a building with an attached garage:
a) Square footage of crawlspace or enclosure(s) <u>1,266</u> sq ft		a) Square footage of attached garage <u>N/A</u> sq ft
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>3</u>		b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>0</u>
c) Total net area of flood openings in A8.b <u>1728</u> sq in		c) Total net area of flood openings in A9.b <u>0</u> sq in
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number CITY OF MIAMI BEACH 120651		B2. County Name MIAMI-DADE		B3. State FLORIDA	
B4. Map/Panel Number 12086 C 0317	B5. Suffix L	B6. FIRM Index Date SEPTEMBER 11, 2009	B7. FIRM Panel Effective/Revised Date SEPTEMBER 11, 2009	B8. Flood Zone(s) "AE"	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) EL. 8
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9. <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input checked="" type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: <u>N/A</u> <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)		
C1. Building elevations are based on: <input type="checkbox"/> Construction Drawings* <input type="checkbox"/> Building Under Construction* <input checked="" type="checkbox"/> Finished Construction *A new Elevation Certificate will be required when construction of the building is complete.		
C2. Elevations – Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters. Benchmark Utilized: <u>MIAMI-DADE COUNTY BENCH MARK SYSTEM</u> Vertical Datum: <u>NATIONAL GEODETIC VERTICAL DATUM 1929</u> Indicate elevation datum used for the elevations in items a) through h) below. <input checked="" type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____ Datum used for building elevations must be the same as that used for the BFE.		
Check the measurement used.		
a) Top of bottom floor (including basement, crawlspace, or enclosure floor)	<u>1.22</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
b) Top of the next higher floor	<u>3.69</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
c) Bottom of the lowest horizontal structural member (V Zones only)	<u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters
d) Attached garage (top of slab)	<u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	<u>7.88</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
f) Lowest adjacent (finished) grade next to building (LAG)	<u>5.61</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
g) Highest adjacent (finished) grade next to building (HAG)	<u>6.49</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support	<u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION			
This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.			
<input checked="" type="checkbox"/> Check here if comments are provided on back of form.		Were latitude and longitude in Section A provided by a licensed land surveyor? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<input type="checkbox"/> Check here if attachments.			
Certifier's Name	JOSE G. HERNANDEZ, PLS	License Number	6952
Title	SEC/TREASURER	Company Name	SCHWEBKE-SHISKIN & ASSOCIATES
Address	3240 CORPORATE WAY	City	MIRAMAR
		State	FL
		ZIP Code	33025
Signature		Date	09/26/14
		Telephone	954-435-7010

PSM #6952  
 September 26, 2014

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>	<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1680 COLLINS AVENUE (SAN JUAN HOTEL)	Policy Number:
City MIAMI BEACH State FL ZIP Code 33139	Company NAIC Number:

**SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)**

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments ORDER # 203228  
 MIAMI-DADE COUNTY BENCHMARK NUMBER Y-310-R, ELEV = 5.62' NGVD (4.07 NAVD 1988)  
 A5 = COORDINATES OBTAINED USING STATE OF FLORIDA ORTHO-RECTIFIED AERIAL IMAGERY AND CONVERTED WITH CORPSCON SOFTWARE. C2a= NORTH BASEMENT FINISH FLOOR. C2b = SOUTH BASEMENT FINISH FLOOR  
 C2e = ELECTRICAL ROOM FINISH FLOOR AT THE N.E BUILDING AREA. CROWN OF ROAD: 5.23' NGVD COLLINS AVENUE.  
 AREA OF ENCLOSURE IS A "BASEMENT" COVERING A PORTION OF THE BUILDING FOOTPRINT. THE BALANCE OF THE AREA UNDER THE BUILDING IS A CRAWLSPACE, WHERE THE BUILDING IS RAISED ON PIERS WITH ENCLOSED SIDES. NORTH ENTRANCE FINISH FLOOR = 6.26' N.G.V.D. LOBBY FINISH FLOOR = 7.88' N.G.V.D.

Signature  Date 09/26/14

**SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
  - a) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the HAG.
  - b) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8–9 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E3. Attached garage (top of slab) is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown. The local official must certify this information in Section G.

**SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION**

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner's or Owner's Authorized Representative's Name \_\_\_\_\_

Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ ZIP Code \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_ Telephone \_\_\_\_\_

Comments \_\_\_\_\_

Check here if attachments.

**SECTION G – COMMUNITY INFORMATION (OPTIONAL)**

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1.  The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2.  A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3.  The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number _____	G5. Date Permit Issued _____	G6. Date Certificate Of Compliance/Occupancy Issued _____
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- G7. This permit has been issued for:  New Construction  Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_  feet  meters Datum \_\_\_\_\_
- G9. BFE or (in Zone AO) depth of flooding at the building site: \_\_\_\_\_  feet  meters Datum \_\_\_\_\_
- G10. Community's design flood elevation: \_\_\_\_\_  feet  meters Datum \_\_\_\_\_

Local Official's Name \_\_\_\_\_ Title \_\_\_\_\_

Community Name \_\_\_\_\_ Telephone \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

Comments \_\_\_\_\_

Check here if attachments.

# Building Photographs

See Instructions for Item A6.

**IMPORTANT: In these spaces, copy the corresponding information from Section A.**

FOR INSURANCE COMPANY USE

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.  
1680 COLLINS AVENUE (SAN JUAN HOTEL)

Policy Number:

City MIAMI BEACH

State FL ZIP Code 33139

Company NAIC Number:

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



FRONT VIEW  
EAST SIDE  
SEPTEMBER 26, 2014



RIGHT VIEW  
NORTH SIDE  
SEPTEMBER 26, 2014

# Building Photographs

See Instructions for Item A6.

**IMPORTANT:** In these spaces, copy the corresponding information from Section A.

FOR INSURANCE COMPANY USE

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1680 COLLINS AVENUE ( SAN JUAN HOTEL)

Policy Number:

City MIAMI BEACH

State FL ZIP Code 33139

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REAR VIEW  
WEST SIDE  
SEPTEMBER 26, 2014



LEFT VIEW  
SOUTH SIDE  
SEPTEMBER 26, 2014

B1406418

# SAN JUAN HOTEL

## 1680 COLLINS AVE, MIAMI BEACH

B1406418

CLIENT  
**SAN JUAN HOTEL, LLC**

**ADD Inc** Architecture Interiors Planning

One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
Miami, FL 33131  
T. 305.482.8700  
F. 305.482.8770  
www.addinc.com



Contact: Jonathan Cardello PH: 305.482.8700

GENERAL CONTRACTOR  
**NBCP**  
NEW BEACH CONSTRUCTION PARTNERS  
328 NW 29TH STREET  
MIAMI, FL 33127

Contact: CHAD ADAMS PH: 305.577.6406

MEP  
**DELTA G ENGINEERS**  
707 NE 3RD AVE. SUITE 200  
FT. LAUDERDALE, FL 33304

Contact: STEEVE ROBITAILLE PH: 954.527.1112

STRUCTURAL ENGINEER  
**DOUGLAS WOOD ASSOCIATES**  
2100 PONCE DE LEON BOULEVARD, SUITE 1020  
CORAL GABLES, FL 33134

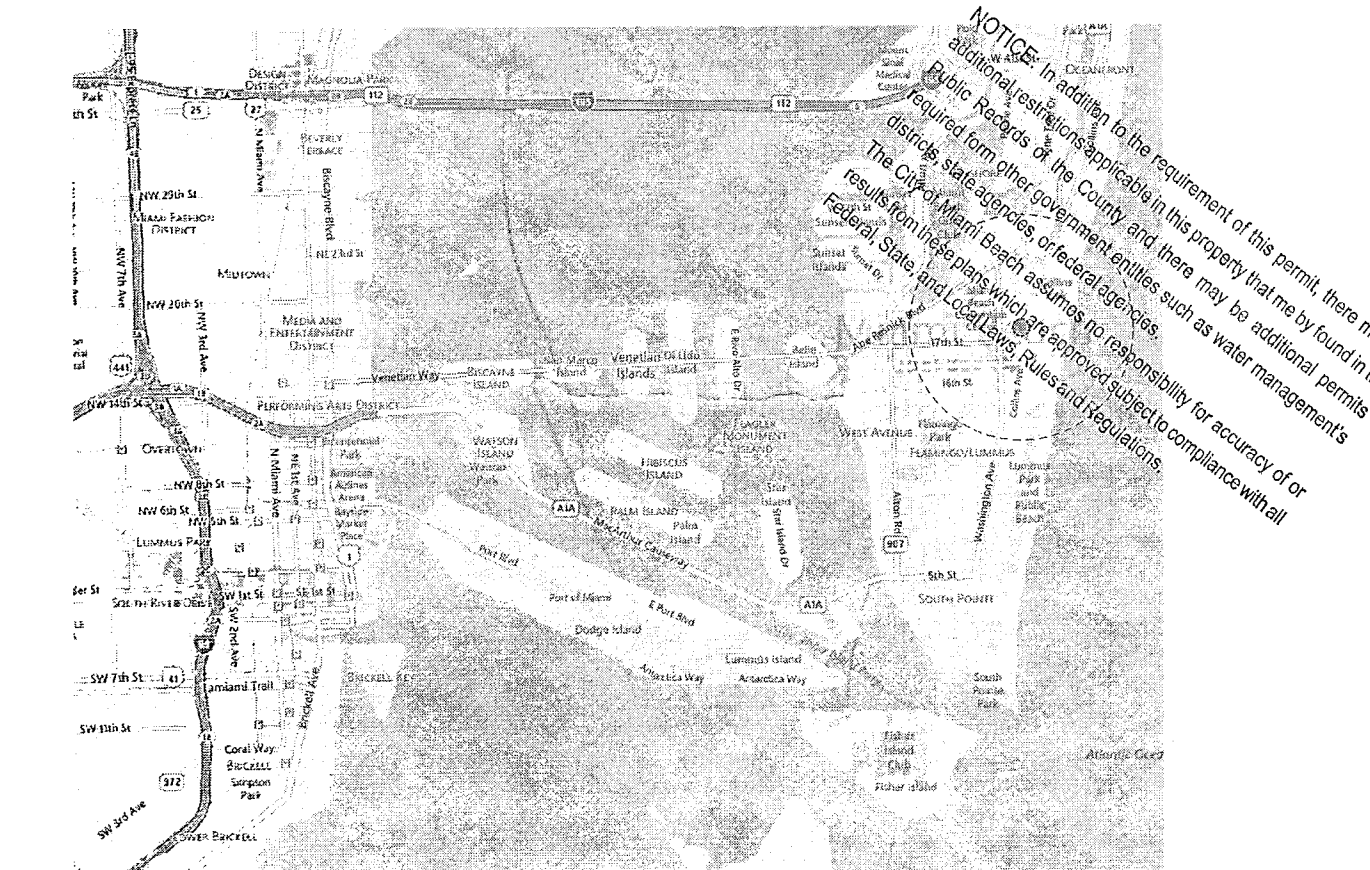
Contact: DOUGLAS WOOD PH: 305.461.3450

POOL CONSULTANT  
**AQUADYNAMICS**  
5000 SW 75TH AVE. SUITE 103  
MIAMI, FL 33155

Contact: JOHN WAHLER PH: 304.667.8795

CIVIL ENGINEER  
**OCEAN ENGINEERING INC**  
333 NE 24 ST. SUITE 408  
MIAMI, FL 33137

Contact: WALTER LUGO PH: 786.253.5252



### PERMIT SET

06.26.14

City of Miami Beach  
Fire Prevention Division  
PLANS APPROVED

REVIEWED  
CITY OF MIAMI BEACH  
FIRE DEPARTMENT

OFFICE COPY  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:

BUILDING:	[Signature]	11/28/14
ZONING:	[Signature]	11/28/14
PLUMBING:	[Signature]	11/28/14
ELECTRICAL:	[Signature]	11/28/14
MECHANICAL:	[Signature]	11/28/14
FIRE PREVENTION:	[Signature]	11/28/14
PUBLIC WORKS:	[Signature]	11/28/14
STRUCTURAL:	[Signature]	11/28/14
ELEVATOR:		
ROOFING:		

DRAWING LOG		REVISION 1	REVISION 2	REVISION 3	REVISION 4				
VOLUME I		ISSUED FOR EXT. FACADE PERMIT 05/08/14	RESPONSE TO CHG COMMENTS 05/29/14	PERMIT COMMENTS 07/31/14	PERMIT COMMENTS 08/14/15				
DWG. NO.	TITLE								
	GENERAL								
G001	COVER / DRAWING INDEX	•	•	•	•				
	CIVIL								
C100	GENERAL NOTES AND SPECIFICATIONS		•						
C200	PAVING AND DRAINAGE PLAN		•						
	LANDSCAPE								
LH-1	POOL DECK PAVING PLAN		•	•					
LP-1	GROUND FLOOR PLANTING PLAN		•	•					
	LIFE SAFETY								
LS100	LIFE SAFETY PHASING PLAN			•	•				
LS101	FIRST FLOOR LIFE SAFETY PLAN		•	•					
	DEMOLITION								
AD101	FIRST FLOOR DEMOLITION PLAN		•	•					
AD102	EXTERIOR DEMOLITION NOTES		•	•					
	ARCHITECTURE								
A001	ARCHITECTURAL SITE PLAN		•	•					
A101	ARCHITECTURAL FIRST FLOOR PLAN		•	•					
A111	ENLARGED LOBBY PLAN		•	•					
A112	ENLARGED POOL DECK PLAN		•	•					
A182	UL ASSEMBLIES		•	•					
A183	UL ASSEMBLIES		•	•					
A191	EXTERIOR ELEVATIONS AND DOOR & WINDOW SCHEDULE		•	•					
A201	FIRST FLOOR PLAN RCP & LIGHTING SCHEDULE		•	•					
A202	SECOND & THIRD FLOOR PLAN RCP		•	•					
A211	ENLARGED LOBBY RCP & FINISH PLAN		•	•					
A212	OUTDOOR ENLARGED POOL LOUNGE & GARDEN RCP AND FINISH PLAN		•	•					
A431	WINDOW TYPES, STOREFRONT DETAILS, AND STAIR DETAILS	•	•	•					
A601	ELEVATOR FINISHES & PLAN AND SECTION DETAILS		•	•					
A711	FIRST FLOOR FINISH PLAN		•	•					
A712	LOBBY FINISH PLAN		•	•					
A721	FIRST FLOOR FURNITURE PLAN		•	•					
A731	INTERIOR ELEVATIONS		•	•					
A732	EXTERIOR ELEVATIONS		•	•					
A800	MILLWORK DETAILS		•	•					
	STRUCTURAL								
S100	GENERAL STRUCTURAL NOTES		•	•					
S101	SCHEDULES, TYPICAL DETAILS, CONCRETE REPAIR DETAILS		•	•					
S300	SECTIONS AND DETAILS		•	•					
S302	SECTIONS AND DETAILS		•	•					
S400	EXTERIOR WINDOWS AND DOOR DESIGN WIND PRESSURES		•	•					
SR101	GENERAL STRUCTURAL NOTES - EAST FACADE CONCRETE REPAIRS	•	•	•					
SR102	TYPICAL CONCRETE REPAIR DETAILS EAST - FACADE CONCRETE REPAIRS	•	•	•					
SR301	SECTIONS AND DETAILS EAST - FACADE CONCRETE REPAIRS	•	•	•					
SR401	EAST FACADE CONCRETE REPAIRS - EAST ELEVATION	•	•	•					
	PLUMBING / MECHANICAL								
MP001	PLUMBING INDEX, SYMBOL, LEGEND AND NOTES	•	•	•					
MP101	FIRST FLOOR PLUMBING / MECHANICAL PLAN	•	•	•					
P201	2ND AND 3RD FLOOR PLUMBING PLAN	•	•	•					
P301	PLUMBING PIPING ISOMETRICS	•	•	•					
	ELECTRICAL								
E001	ELECTRICAL INDEX, SYMBOL LEGEND AND NOTES	•	•	•					
E100	ELECTRICAL DEMOLITION PLAN	•	•	•					
E101A	1ST FLOOR PARTIAL POWER PLAN	•	•	•					
E101C	1ST FLOOR PARTIAL LIGHTING PLAN	•	•	•					
E101D	1ST FLOOR PARTIAL LIGHTING PLAN	•	•	•					
E401	ELECTRICAL RISER DIAGRAM AND PANEL SCHEDULES	•	•	•					
	POOL CONSULTANT								
SP-1.01	POOL LOCATION PLAN	•	•	•					
SP-1.02	POOL AREA PLAN	•	•	•					
SP-1.03	SWIMMING POOL LAYOUT PLAN	•	•	•					
SP-1.04	SWIMMING POOL SECTION	•	•	•					
SP-1.05	SWIMMING POOL PIPING PLAN & DETAILS	•	•	•					
SP-1.06	SWIMMING POOL DETAILS	•	•	•					
SP-1.07	SWIMMING POOL EQUIPMENT	•	•	•					

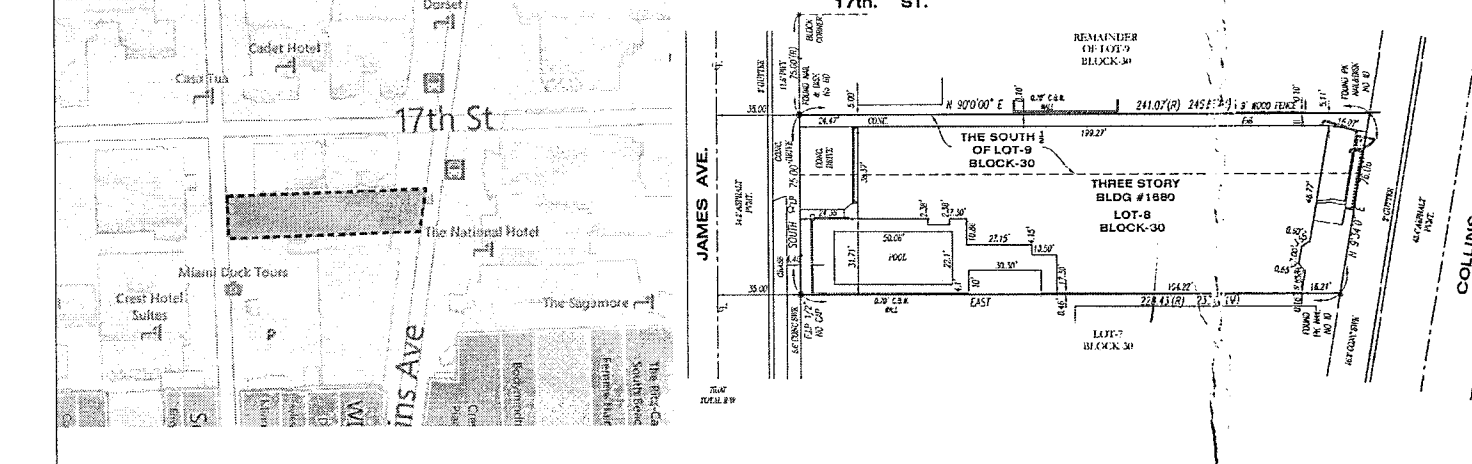
PLAN REVIEW NOTICE  
PHONE 305-673-7700 FAX 305-673-7708  
THIS PLAN IS FOR PERMITTING PURPOSES ONLY.  
All construction and/or use of equipment in the right-of-way and/or easements, requires a separate permit prior to construction.  
Permit Plans must be filed with the relevant state or local agency prior to construction.

### APPLICABLE CODES

ZONING: CODE OF THE CITY OF MIAMI BEACH  
RESTORATION: FLORIDA BUILDING CODE, EXISTING BUILDINGS, 2010 EDITION  
NEW CONSTRUCTION: FLORIDA BUILDING CODE, 2010 EDITION  
PLUMBING: FLORIDA BUILDING CODE, PLUMBING, 2010 EDITION  
MECHANICAL: FLORIDA BUILDING CODE, MECHANICAL, 2010 EDITION  
ELECTRICAL: NFPA 70-NATIONAL ELECTRICAL CODE  
FIRE: FLORIDA FIRE PREVENTION CODE, 2010 EDITION  
NFPA 1-UNIFORM FIRE CODE  
NFPA 101-LIFE SAFETY CODE  
NFPA 10-STANDARD FOR PORTABLE FIRE EXTINGUISHERS  
NFPA 13-STANDARD FOR THE INSTALLATION OF SPRINKLERS  
NFPA 14-STANDARD FOR THE INSTALLATION OF STANDPIPE, HYDRANT AND USE SYST.  
NFPA 72-NATIONAL FIRE ALARM CODE  
NFPA 80-FIRE DOORS AND OPENING PROTECTIVES  
NFPA 90A-STANDARD FOR INSTALLATION OF AIR CONDITIONING/VENTILATION UNITS  
NFPA 96-STANDARD FOR VENTILATION CONTROL OF FIRE PROTECTION OF COMMERCIAL COOKING OPERATIONS  
FLOODPROOFING: FEMA 102-FLOODPROOFING FOR NON-RESIDENTIAL STRUCTURES

### PROJECT LOCATION/LEGAL DESCRIPTION

PROJECT IS ONE BUILDING LOCATED UPON 1 1/2 LOTS  
LOT 8 AND THE SOUTH HALF OF LOT 9, BLOCK 30  
LOCATED AT 1680 COLLINS AVENUE.  
LOT AREA: 11,334 SQ SF  
ALTON BEACH FIRST SUBDIVISION ACCORDING TO THE PLAT THEREOF,  
AS RECORDED IN PLAT BOOK 2, PAGE 77, OF THE PUBLIC RECORDS  
OF MIAMI-DADE COUNTY, FLORIDA.



### ZONING DATA

CODE OF THE CITY OF MIAMI BEACH  
SITE DATA CRITERIA PROPOSED  
ZONING DISTRICT CD-3 (COMMERCIAL HIGH INTENSITY)  
HISTORIC DISTRICT (MUSEUM HISTORIC DISTRICT)  
BUILDINGS DESIGNATION CONTRIBUTING HISTORIC STRUCTURES  
LOT AREA: 11,334 S.F.  
FOOTPRINT: 11,102.6 S.F.  
LOT COVERAGE: 60%  
SITE FRONTAGE: COLLINS AVENUE: 76'-0"  
JAMES AVENUE: 75'-0"

BUILDING DATA EXISTING:  
EXISTING F.A.R.: 30,349 S.F.

BUILDING HEIGHTS EXISTING:  
THE SAN JUAN HOTEL 3 STORES (38'-0")

PARKING REQUIREMENTS:  
NO NEW ROOMS ADDED, THEREFORE NO ADDITIONAL PARKING REQUIRED

### HISTORIC NOTES

- THE SAN JUAN HOTEL IS CATEGORIZED AS A CONTRIBUTING STRUCTURE IN BOTH, THE NATIONAL REGISTER HISTORIC DISTRICT OF MIAMI BEACH AND THE LOCAL MUSEUM HISTORIC DISTRICT DESIGNATED BY THE CITY IN 1990.
- NO SUBSTANTIAL IMPROVEMENTS ARE BEING PROPOSED UNDER THIS PERMIT.

### SCOPE OF WORK

- THIS PROJECT IS LIMITED TO THE INTERIOR RENOVATION OF A HISTORIC HOTEL (R-1 OCCUPANCY). THE ALTERATION UNDER THIS PERMIT IS CLASSIFIED AS MODIFICATION AS DEFINED BY NFPA 101, CHAPTER 43.
- MAINTAIN AND UPDATE ALL REQUIRED LIFE SAFETY SYSTEMS.
  - REFINISH ALL ARCHITECTURAL HISTORICAL FEATURES SUCH AS THE TERRAZZO FLOORS AT ENTRY AND LOBBY, HISTORIC SOFFITS.
  - REPLACE FRONT FACADE WINDOWS AND FIRST BAY OF NORTH AND SOUTH FACADE WITH NEW IMPACT RESISTANT DOORS AND WINDOWS AND EMULATE ORIGINAL ARCHITECTURAL DESIGN AND CONFIGURATION.
  - REPLACE SPALLED CONCRETE AT EAST FACADE AND SELECTED AREAS
  - ADD NEW BATHROOM AND STORAGE SPACE IN POOL AREA
  - DECREASE POOL SIZE AND DEPTH
  - REFINISH ROOM 101 AND TURN TO POOL LOUNGE
  - MOVE STAIRS TO ACCOMMODATE APPROPRIATE LANDING AT POOL AREA FOR SAFETY
  - BACK OF HOUSE RECONFIGURED AND LUGGAGE ROOM ADDED
  - PLANTING ADDED AROUND PERIMETER OF POOL AREA AND ENTRY
  - NEW CHECK-IN DESK MAINTAIN ALL ELECTRICAL OUTLETS
  - NEW LOBBY BAR PROVIDE PROPER ELECTRICAL AND PLUMBING
  - REDUCED SIZE POOL, NEW PLANTING AREA, REMOVABLE SEATING, AND PAVING ADDED TO POOL AREA
  - TOTAL AREA OF RENOVATION AND ADDITION UNDER THIS PERMIT: 1,502 SF

### ADDITIONAL NOTES

- PROVIDE CEMENT BOARD AS BACKING BOARD ON WET AREAS AS PER FBC 2509.2, FBC R702.4.
- WHERE GLAZING AND OR MIRRORS ARE PROVIDED IN HAZARDOUS AREAS, THESE MUST BE SAFETY GLASS IN COMPLIANCE WITH FBC 2406 - SAFETY GLASS.
- FLOOR TRANSITIONS ARE LIMITED TO A MAX. 1/2" THRESHOLD IN COMPLIANCE WITH FBC 1008.
- ALL SHOWER DOORS SHALL HAVE A MINIMUM CLEAR UNOBSTRUCTED FINISH WIDTH OF 22 INCHES IN COMPLIANCE WITH FBC 417.4.2.
- ALL NEW FINISHES FOR WALL, CEILING AND FLOORS, OTHER THAN PAINT, MUST COMPLY WITH FBC 803 AND FBC 804.

**COLUMNS, NONCOMBUSTIBLE**

GA FILE NO. CM 1851      GENERIC      1 HOUR FIRE

**GYPSUM WALLBOARD, STEEL STUDS**

One layer 5/8" type X gypsum wallboard applied without horizontal joints and parallel to 1" x 4" studs located at each corner of 18x18x0.250 tube steel column with 1" Type S drywall screws 24" o.c. Steel cornerbead, 1 1/2" flanges, applied with 1" Type S drywall screws 12" o.c. in each flange. Joint compound 1/16" thick applied over corner bead.

Fire Test: UL NC505, 77N1747-6-13-77, UL Design X528

8 FIRE PROTECTION AT STEEL COLUMN  
SCALE: N.T.S.

UL/cUL SYSTEM NO. W-L-1054  
**METAL PIPE THROUGH 1-HR. OR 2-HR. GYPSUM WALL ASSEMBLY**  
F-RATING = 1-HR. OR 2-HR.  
T-RATING = 0-HR.  
L-RATING AT AMBIENT = LESS THAN 1 CFM/SQ. FT.  
L-RATING AT 400°F = 4 CFM/SQ. FT.

1. GYPSUM WALL ASSEMBLY (UL/CUL CLASSIFIED U300 OR U400 SERIES) (1-HR. OR 2-HR. FIRE-RATING) (2-HR. SHOWN).  
2. (NOT SHOWN) WOOD STUDS TO CONSIST OF NOMINAL 2" x 4" LUMBER. STEEL STUDS TO BE MINIMUM 2-1/2" WIDE.  
3. PENETRATING ITEM TO BE ONE OF THE FOLLOWING:  
A. MAXIMUM 30" DIAMETER STEEL PIPE (SCHEDULE 10 OR HEAVIER).  
B. MAXIMUM 30" DIAMETER CAST IRON PIPE.  
C. MAXIMUM 6" NOMINAL DIAMETER COPPER PIPE.  
D. MAXIMUM 6" NOMINAL DIAMETER STEEL CONDUIT.  
E. MAXIMUM 4" NOMINAL DIAMETER EMT.  
4. MINIMUM 5/8" DEPTH HILTI FS-ONE INTUMESCENT FIRESTOP SEALANT, HILTI CP 606 FLEXIBLE FIRESTOP SEALANT OR HILTI CP 618 FIRESTOP PUTTY STICK.  
5. MINIMUM 1/2" BEAD HILTI FS-ONE INTUMESCENT FIRESTOP SEALANT APPLIED AT POINT OF CONTACT.

NOTES: 1. MAXIMUM DIAMETER OF OPENING:  
A. 32-1/4" FOR STEEL STUD WALLS.  
B. 14-1/2" FOR WOOD STUD WALLS.  
2. ANNULAR SPACE = MINIMUM 0", MAXIMUM 2-1/4".  
3. PIPE MAY BE INSTALLED WITH CONTINUOUS POINT OF CONTACT.  
4. PIPE MAY BE INSTALLED AT AN ANGLE NOT GREATER THAN 45° FROM PERPENDICULAR.

HILTI FIRESTOP SYSTEMS      HILTI, Inc.      Tulsa, Oklahoma USA (918) 252-6000      Sheet 1 of 1      Scale 3/16" = 1"      Drawing No. WL 1054q      Date Nov. 6, 2002

4 FIRE PREVENTION AT GYPSUM WALL ASSEMBLY  
SCALE: N.T.S.

UL SYSTEM NO. W-L-2128  
**PLASTIC PIPE THROUGH GYPSUM WALL ASSEMBLY**  
F-RATING = 1-HR. OR 2-HR.  
T-RATING = 0-HR.

1. GYPSUM WALL ASSEMBLY (UL CLASSIFIED U300 OR U400 SERIES) (1-HR. OR 2-HR. FIRE-RATING) (2-HR. SHOWN).  
2. (NOT SHOWN) WOOD STUDS TO CONSIST OF NOMINAL 2" x 4" LUMBER. STEEL STUDS TO BE MINIMUM 2-1/2" WIDE.  
3. [OPTIONAL] SHEET METAL PIPE SLEEVE (MAXIMUM 3-1/2" DIAMETER, MINIMUM 28 GA. THICKNESS, WITH MINIMUM 1-1/4" LAP ALONG LONGITUDINAL SEAM).  
4. PENETRATING ITEM TO BE ONE OF THE FOLLOWING:  
A. MAXIMUM 2" NOMINAL DIAMETER PVC PLASTIC PIPE (SCHEDULE 40) (CELLULAR OR SOLID CORE) (CLOSED OR VENTED PIPING SYSTEM).  
B. MAXIMUM 2" NOMINAL DIAMETER CPVC PLASTIC PIPE (SDR 13.5).  
5. HILTI FS-ONE INTUMESCENT FIRESTOP SEALANT:  
A. MINIMUM 5/8" DEPTH OF SEALANT FOR A 1-HR. FIRE-RATING.  
B. MINIMUM 1-1/4" DEPTH OF SEALANT FOR A 2-HR. FIRE-RATING.

NOTES: 1. MAXIMUM DIAMETER OF OPENING = 3-1/2".  
2. ANNULAR SPACE = MINIMUM 1/4", MAXIMUM 1-1/16".  
3. PIPE MAY BE INSTALLED AT AN ANGLE NOT GREATER THAN 45° FROM PERPENDICULAR.

HILTI FIRESTOP SYSTEMS      HILTI, Inc.      Tulsa, Oklahoma USA (800) 879-8000      Sheet 1 of 1      Scale 3/16" = 1"      Drawing No. WL 2128f      Date Aug. 01, 2006

7 FIRE PREVENTION AT GYPSUM WALL ASSEMBLY  
SCALE: N.T.S.

UL/cUL SYSTEM NO. WL1095  
**METAL PIPE THROUGH 1-HR. OR 2-HR. GYPSUM WALL**  
F-RATING = 1-HR. OR 2-HR.  
T-RATING = 1-HR. OR 2-HR.  
L-RATING AT AMBIENT = LESS THAN 1 CFM/SQ. FT.  
L-RATING AT 400°F = 4 CFM/SQ. FT.

1. GYPSUM WALL ASSEMBLY (UL/CUL CLASSIFIED U300 OR U400 SERIES) (1-HR. OR 2-HR. FIRE-RATING) (2-HR. SHOWN).  
2. ONE OR MORE 1" NOMINAL DIAMETER EMT.  
3. HILTI FS-ONE INTUMESCENT FIRESTOP SEALANT:  
A. MINIMUM 5/8" DEPTH, FOR A 1-HR. FIRE-RATING.  
B. MINIMUM 1-1/4" DEPTH, FOR A 2-HR. FIRE-RATING.

NOTE: ANNULAR SPACE = MINIMUM 1/2", MAXIMUM 1".

HILTI FIRESTOP SYSTEMS      HILTI, Inc.      Tulsa, Oklahoma USA (918) 252-6000      Sheet 1 of 1      Scale 5/32" = 1"      Drawing No. WL 1095d      Date SEPT. 16, 1999

3 FIRE PREVENTION AT GYPSUM WALL ASSEMBLY  
SCALE: N.T.S.

UL SYSTEM NO. W-L-2377  
**FLOWGUARD GOLD OR BLAZEMASTER PIPE THROUGH GYPSUM WALL ASSEMBLY**  
F-RATING = 1-HR. OR 2-HR.  
T-RATING = 1-HR. OR 2-HR.  
L-RATING AT AMBIENT = LESS THAN 1 CFM/SQ. FT.  
L-RATING AT 400°F = 4 CFM/SQ. FT.

1. GYPSUM WALL ASSEMBLY (UL CLASSIFIED U300 OR U400 SERIES) (1-HR. OR 2-HR. FIRE-RATING) (2-HR. SHOWN).  
2. (NOT SHOWN) WOOD STUDS TO CONSIST OF NOMINAL 2" x 4" LUMBER. STEEL STUDS TO BE MINIMUM 2-1/2" WIDE.  
3. PENETRATING ITEM TO BE ONE OF THE FOLLOWING (CLOSED PIPING SYSTEM ONLY):  
A. MAXIMUM 2" NOMINAL DIAMETER FLOWGUARD GOLD® CPVC PIPE (SDR 11).  
B. MAXIMUM 2" NOMINAL DIAMETER BLAZEMASTER® CPVC PIPE (SDR 13.5).  
4. HILTI FS-ONE INTUMESCENT FIRESTOP SEALANT:  
A. MINIMUM 5/8" DEPTH OF SEALANT FOR A 1-HR. FIRE-RATING.  
B. MINIMUM 1-1/4" DEPTH OF SEALANT FOR A 2-HR. FIRE-RATING.  
5. MINIMUM 1/2" BEAD HILTI FS-ONE INTUMESCENT FIRESTOP SEALANT AT POINT OF CONTACT.

NOTES: 1. MAXIMUM DIAMETER OF OPENING = 3".  
2. ANNULAR SPACE = MINIMUM 0", MAXIMUM 1-1/4".

FGG/BMCZ™ System Compatible indicates that this product has been tested, and is monitored on an ongoing basis, to assure its chemical compatibility with FlowGuard Gold®, BlazeMaster® and Corzan® pipe and fittings. FGG/BMCZ™, FlowGuard Gold®, BlazeMaster®, and Corzan® are licensed trademarks of the Lubrizol Corporation.

HILTI FIRESTOP SYSTEMS      HILTI, Inc.      Tulsa, Oklahoma USA (800) 879-8000      Sheet 1 of 1      Scale 3/16" = 1"      Drawing No. WL 2377e      Date Feb. 11, 2009

6 FIRE PREVENTION AT GYPSUM WALL ASSEMBLY  
SCALE: N.T.S.

UL/cUL SYSTEM NO. W-L-1410  
**METAL PIPE THROUGH GYPSUM WALL ASSEMBLY**  
F-RATING = 1-HR. OR 2-HR.  
T-RATING = 0-HR.

1. GYPSUM WALL ASSEMBLY (UL/CUL CLASSIFIED U300, U400, V400, OR W400 SERIES) (1-HR. OR 2-HR. FIRE-RATING) (2-HR. SHOWN).  
2. (NOT SHOWN) WOOD STUDS TO CONSIST OF NOMINAL 2" x 4" LUMBER (SPACED 16" O/C). STEEL STUDS TO BE MINIMUM 3-1/2" WIDE (SPACED 24" O/C).  
3. PENETRATING ITEM TO BE ONE OF THE FOLLOWING:  
A. MAXIMUM 3" NOMINAL DIAMETER STEEL PIPE (SCHEDULE 5 OR HEAVIER).  
B. MAXIMUM 3" NOMINAL DIAMETER STEEL CONDUIT OR EMT.  
C. MAXIMUM 1" NOMINAL DIAMETER COPPER TUBING.  
D. MAXIMUM 1" NOMINAL DIAMETER FLEXIBLE STEEL CONDUIT.  
4. MINIMUM 5/8" DEPTH HILTI FS-ONE INTUMESCENT FIRESTOP SEALANT, HILTI CP 606 FLEXIBLE FIRESTOP SEALANT, HILTI CP 601S ELASTOMERIC FIRESTOP SEALANT OR HILTI CP 618 FIRESTOP PUTTY STICK.

NOTES: 1. MAXIMUM DIAMETER OF OPENING = 5".  
2. ANNULAR SPACE = MINIMUM 0", MAXIMUM 1".  
3. (NOT SHOWN) WHEN ANNULAR SPACE IS 0", APPLY MINIMUM 1/2" BEAD HILTI SEALANT OR PUTTY AT POINT OF CONTACT.

HILTI FIRESTOP SYSTEMS      HILTI, Inc.      Tulsa, Oklahoma USA (800) 879-8000      Sheet 1 of 1      Scale 1/8" = 1"      Drawing No. WL 1410b      Date Mar. 21, 2012

2 FIRE PREVENTION AT GYPSUM WALL ASSEMBLY  
SCALE: N.T.S.

UL SYSTEM NO. W-L-2466  
**MULTIPLE PLASTIC PIPE THROUGH GYPSUM WALL ASSEMBLY**  
F-RATING = 1-HR. OR 2-HR.  
T-RATING = 0-HR. OR 1-HR.

1. GYPSUM WALL ASSEMBLY (UL CLASSIFIED U300, U400 OR V400 SERIES) (1-HR. OR 2-HR. FIRE-RATING) (2-HR. SHOWN).  
2. (NOT SHOWN) WOOD STUDS TO CONSIST OF NOMINAL 2" x 4" LUMBER. STEEL STUDS TO BE MINIMUM 3-1/2" WIDE.  
3. PENETRATING ITEMS TO BE ONE OR MORE OF THE FOLLOWING:  
A. MAXIMUM 1-1/2" NOMINAL DIAMETER PVC PLASTIC PIPE (CELLULAR OR SOLID CORE) (CLOSED PIPING SYSTEM).  
B. MAXIMUM 1-1/2" NOMINAL DIAMETER CPVC PLASTIC PIPE (CLOSED PIPING SYSTEM).  
C. MAXIMUM 1-1/2" NOMINAL DIAMETER RIGID NONMETALLIC CONDUIT (RNC).  
D. MAXIMUM 1" NOMINAL DIAMETER CROSS-LINKED POLYETHYLENE (PEX) TUBING (CLOSED PIPING SYSTEM).  
4. MINIMUM 5/8" DEPTH HILTI FS-ONE INTUMESCENT FIRESTOP SEALANT.  
5. MINIMUM 1/4" BEAD HILTI FS-ONE INTUMESCENT FIRESTOP SEALANT APPLIED AT POINT OF CONTACT.

NOTES: 1. MAXIMUM DIAMETER OF OPENING = 4".  
2. ANNULAR SPACE = MINIMUM 0", MAXIMUM 1".  
3. PVC, RNC = SCHEDULE 40; CPVC = SDR 13.5; PEX = SDR 9.

HILTI FIRESTOP SYSTEMS      HILTI, Inc.      Tulsa, Oklahoma USA (918) 252-6000      Sheet 1 of 1      Scale 3/16" = 1"      Drawing No. WL 2466a      Date Apr. 27, 2006

5 FIRE PREVENTION AT GYPSUM WALL ASSEMBLY  
SCALE: N.T.S.

UL/cUL SYSTEM NO. W-L-1243  
**FLEXIBLE ALUMINUM CONDUIT THROUGH GYPSUM WALL ASSEMBLY**  
F-RATING = 1-HR. OR 2-HR.  
T-RATING = 0-HR.  
L-RATING AT AMBIENT = 5 CFM/SQ. FT.  
L-RATING AT 400°F = 1 CFM/SQ. FT.

1. GYPSUM WALL ASSEMBLY (UL/CUL CLASSIFIED U300 OR U400 SERIES) (1-HR. OR 2-HR. FIRE-RATING) (2-HR. SHOWN).  
2. (NOT SHOWN) WOOD STUDS TO CONSIST OF NOMINAL 2" x 4" LUMBER. STEEL STUDS TO BE MINIMUM 2-1/2" WIDE.  
3. PENETRATING ITEM TO BE ONE OF THE FOLLOWING:  
A. MAXIMUM 2" NOMINAL DIAMETER FLEXIBLE ALUMINUM OR STEEL CONDUIT.  
B. MAXIMUM 2" NOMINAL DIAMETER FLEXIBLE STEEL GAS PIPING MANUFACTURED BY OMEGA FLEX INC.  
C. MAXIMUM 1" NOMINAL DIAMETER FLEXIBLE STEEL GAS PIPING MANUFACTURED BY GASTITE, DIVISION OF TITEXFLEX OR WARD MFG. LLC.  
4. MINIMUM 5/8" DEPTH HILTI FS-ONE INTUMESCENT FIRESTOP SEALANT.  
5. MINIMUM 1/2" BEAD HILTI FS-ONE INTUMESCENT FIRESTOP SEALANT APPLIED AT POINT OF CONTACT.

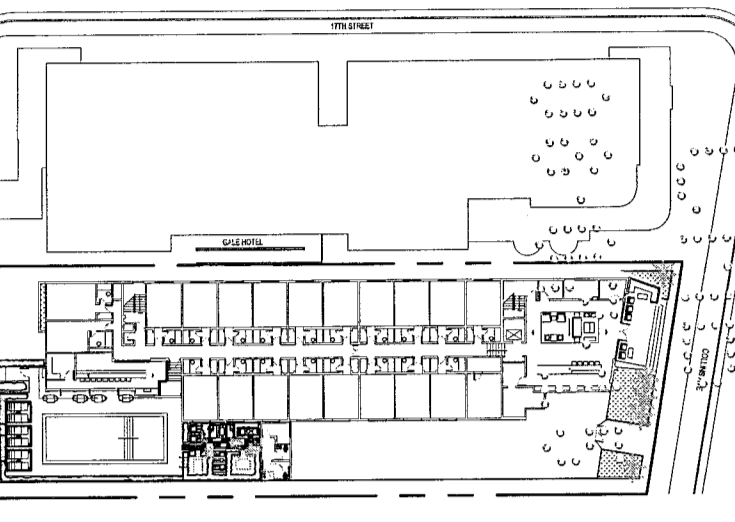
NOTES: 1. MAXIMUM DIAMETER OF OPENING = 3-1/2".  
2. ANNULAR SPACE = MINIMUM 0", MAXIMUM 1".

HILTI FIRESTOP SYSTEMS      HILTI, Inc.      Tulsa, Oklahoma USA (800) 879-8000      Sheet 1 of 1      Scale 5/32" = 1"      Drawing No. WL 1243d      Date June 22, 2011

1 FIRE PREVENTION AT GYPSUM WALL ASSEMBLY  
SCALE: N.T.S.

SAN JUAN HOTEL  
1680 COLLINS AVE  
MIAMI BEACH, FL

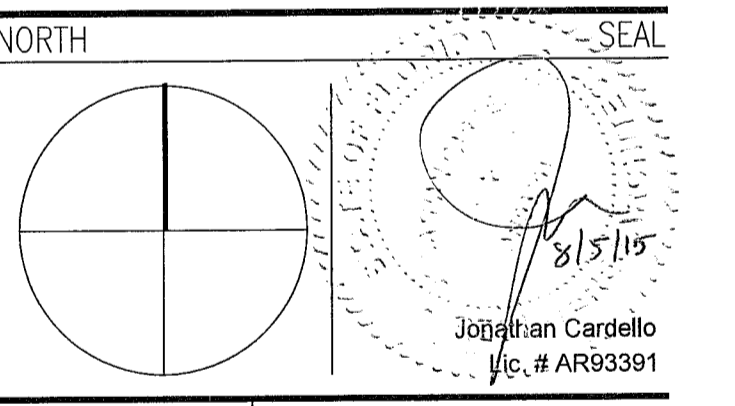
KEYPLAN      N.T.S.



REVISIONS

NO.	DESCRIPTION	ISSUE DATE
1	ISSUE FOR EXTERIOR FACADE PERMIT	05.06.14
2	RESPONSE TO CMB COMMENTS	06.28.14

**PERMIT SET**



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JOB NUMBER: 13023.00  
CHECKED BY:  
ISSUE DATE: JUNE 26, 2014  
SCALE: AS NOTED

SHEET TITLE

**UL ASSEMBLIES**

City of Miami Beach  
Fire Prevention Division  
PLANS APPROVED

REVIEWED  
CITY OF MIAMI BEACH  
FIRE DEPARTMENT

SHEET NUMBER  
**A182**



**SCOPE OF WORK**

THIS PROJECT IS LIMITED TO THE INTERIOR RENOVATION OF A HISTORIC HOTEL (R-1 OCCUPANCY). THE ALTERATION UNDER THIS PERMIT IS CLASSIFIED AS A MODIFICATION AS DEFINED BY NFPA 101, CHAPTER 43 AND ALTERATION LEVEL 1 AS DEFINED ON CHAPTER 4 OF THE FLORIDA BUILDING CODE 2010, CHAPTER 4, SECTION 403.

- REFINISH EXISTING GUESTROOM BATHROOMS
- REPAIR AND/OR REPLACE LIKE FOR LIKE BATHROOM FIXTURES AT GUESTROOMS AS NEEDED

**ADDITIONAL NOTES**

- PROVIDE CEMENT BOARD AS BACKING BOARD ON WET AREAS AS PER FBC 2509.2, FBC R702.4.
- WHERE GLAZING AND OR MIRRORS ARE PROVIDED IN HAZARDOUS AREAS, THESE MUST BE SAFETY GLASS IN COMPLIANCE WITH FBC 2406 - SAFETY GLASS CAT II.
- FLOOR TRANSITIONS ARE LIMITED TO A MAX. 1/4" THRESHOLD IN COMPLIANCE WITH FBC 1008.
- ALL SHOWER DOORS SHALL HAVE A MINIMUM CLEAR UNOBSTRUCTED FINISH WIDTH OF 22 INCHES IN COMPLIANCE WITH FBC 417.4.2.
- ALL NEW FINISHES FOR WALL, CEILING AND FLOORS, OTHER THAN PAINT, MUST COMPLY WITH FBC 803 AND FBC 804.
- SHOWER LINER MUST COMPLY WITH FBC PLUMBING 417.5.2.
- ALL SHOWER VALVES MUST COMPLY WITH PRESSURE BALANCE/TEMPERATURE CONTROL REQUIREMENTS AS PER FBC PLUMBING 424.3.
- THE FIXTURES ARE BEING REPLACED IN THEIR EXISTING LOCATIONS DUE TO THE HISTORIC NATURE AND THE STRUCTURAL HARSHIP OF THIS HISTORIC STRUCTURE BUT WHERE POSSIBLE, ALL FIXTURE CLEARANCES SHALL COMPLY WITH FBC PLB 405.3.1.
- ALL FIXTURES MUST COMPLY WITH REFERENCED STANDARDS AS PER FBC PLUMBING 406 THROUGH 421.

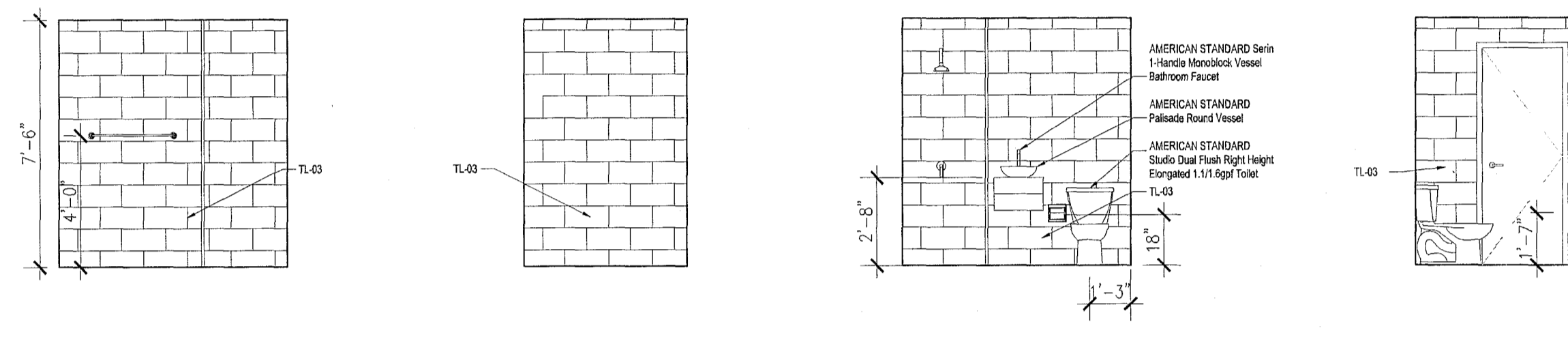
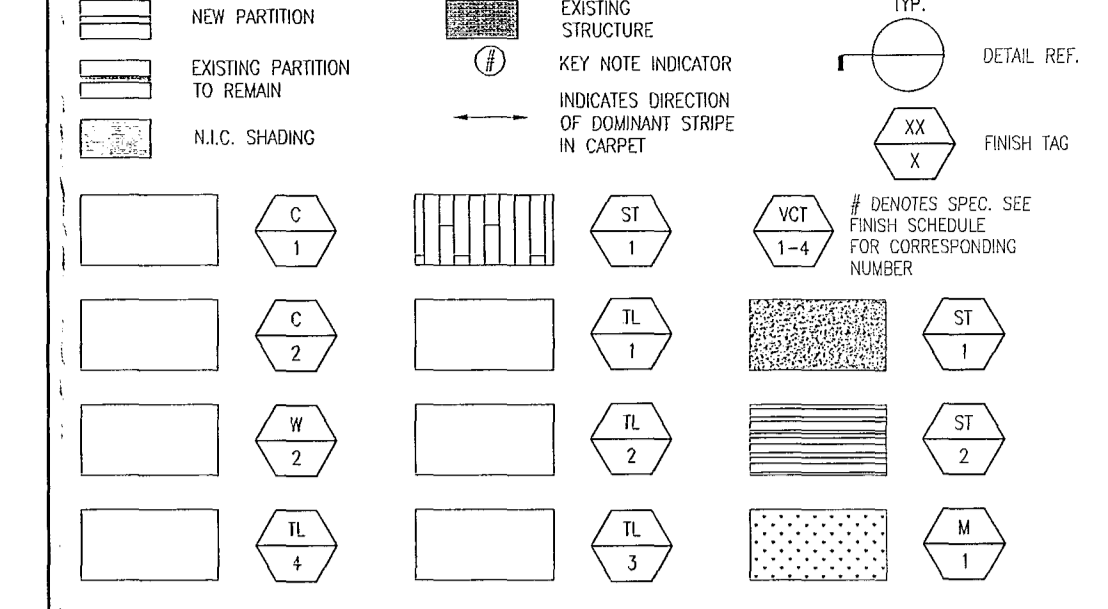
**SHEET NOTES**

- FLOORING TRANSITIONS AT DOOR OPENINGS TO OCCUP UNDERGROUND DOOR, U.G.A. PROVIDE "SHIMMER" METAL TRANSITION STRIPS AT ALL CARPET-TILE/VINYL TRANSITIONS. METAL COLOR TBD BY ARCHITECT PRIOR TO INSTALLATION.
- FLOOR FINISHES AND WALL BASE TO CONTINUE UNDER COUNTER TOPS, ANY MILLWORK OPENINGS, AND HC KITCHEN SINK CABINETS.
- PROVIDE TRANSITION STRIPS AT ALL LOCATIONS WHERE CARPET AND TILE/STONE FLOORING MEET. VERIFY COLOR WITH ARCHITECT PRIOR TO INSTALLATION. SEE TRANSITION DETAILS ON M-4712 FOR FURTHER INFORMATION.
- WALL BASE TO BE STRAIGHT AT CHASED AREAS AND COVE AT VCL/SHEET FLOORING AREAS, TYPICAL.
- VERIFY FLOOR FINISH LAYOUT WITH ARCHITECT PRIOR TO INSTALLATION. (FILE LAYOUT, SCHEDULING DIAGRAMS, ETC.)
- FOR ADDITIONAL FINISH INFORMATION, SEE FINISH SCHEDULE.
- ALL BASE TO BE 9-1/2" U.O.N.
- TILE/CARPET TRANSITION TO BE LEVELED. FLOAT FLOOR AS REQUIRED.
- IN ORDER TO RECEIVE FURNITURE SYSTEM INSULATION, EXISTING CONCRETE FLOOR MUST BE LEVELLED BEFORE APPLYING ANY NEW FLOORING.
- ALL CARPET ADHESIVES, UNDERLAYER ADHESIVES, PAINTS AND PRIMERS TO BE LOW VOC AND PRODUCT NO OFF GASSING.
- NOTIFY THE ARCHITECT OF ANY UNEXPECTED FIELD CONDITION OR ANY DISCREPANCY BEFORE PROCEEDING. GENERAL CONTRACTOR IS TO COORDINATE THE COMPLETE SCOPE OF WORK WITH CONSTRUCTION DOCUMENTS.
- ALL GENERAL WALLS (IN AND OUT OF GREY AREA) ARE TO BE PAINTED P-2 UNLESS OTHERWISE NOTED FOR ACCENT WALLS.
- NEW SURFACES: 1-COAT PRIMER, 2-TOP COATS EXIST SURFACES: 1-COAT PRIMER, 1-TOP COAT HANDDOORS & FRAMES: 2-TOP COATS P-3
- U.O.N. ALL EXISTING VINYL WALL BASE TO REMAIN, PROTECT & PRESERVE.
- SEE ELEVATIONS ON SHEET M-4714 FOR ADDITIONAL FINISH INFORMATION.
- TYPICAL ALL EXISTING AND NEW METAL DOOR FRAMES TO BE FINISHED IN SATIN FINISH. SEE DOOR SCHEDULE SHEET LM-102 FOR ADDITIONAL FINISH REQUIREMENTS.
- ALL WOOD MATERIAL SHALL BE USED. ALL WOOD SHALL BE UNGRADED FIRE RETARDANT PER THE FPFC 2010 CHAP 10 & TABLE A.10.2.2 FOR EXISTING HOTEL.

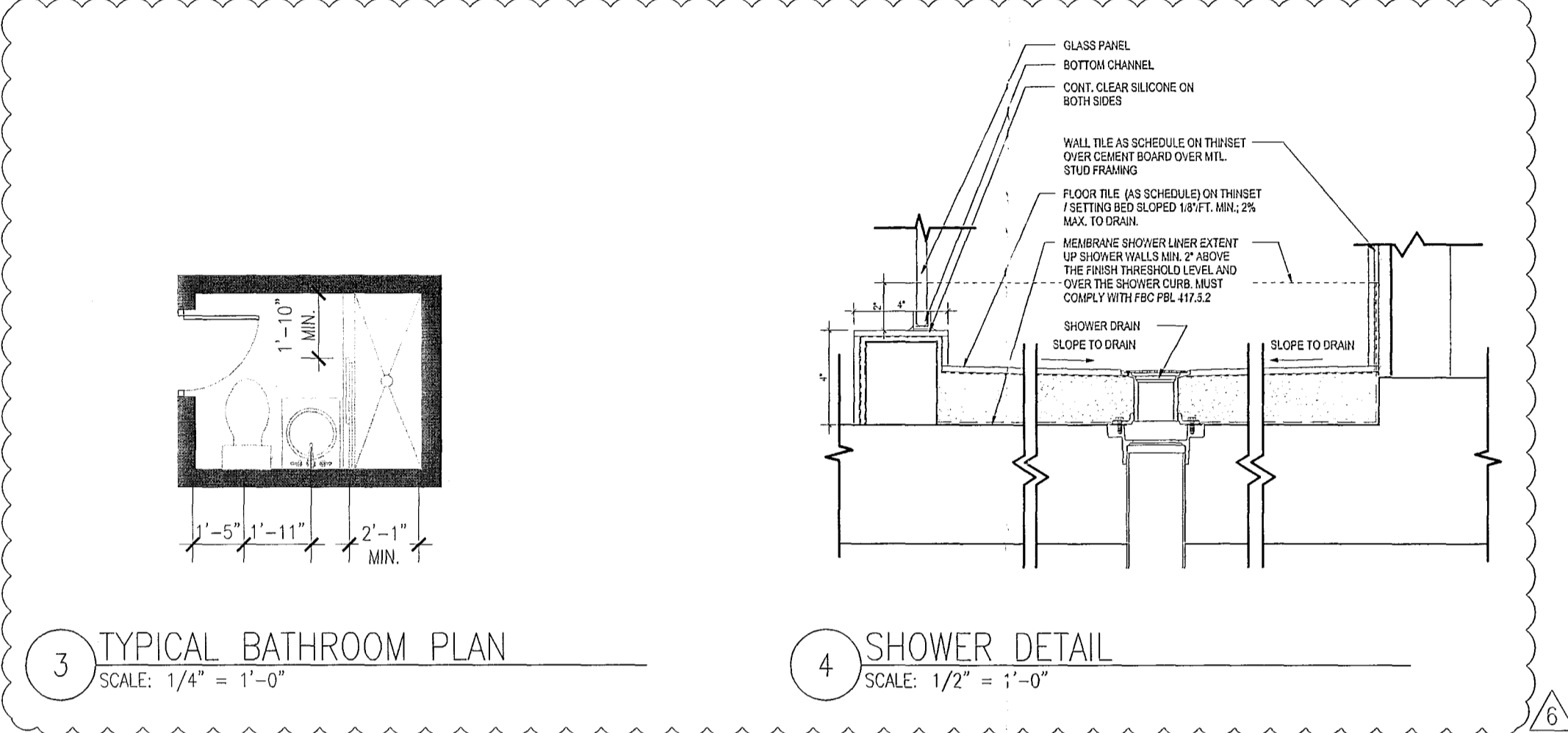
**KEY NOTES**

- ALL GUEST ROOM BATHROOM TILE TO BE REPLACED
- ALL GUEST ROOM SHOWER, BATHROOM, SINK FIXTURES TO BE REPLACED

**GENERAL PLAN LEGEND**



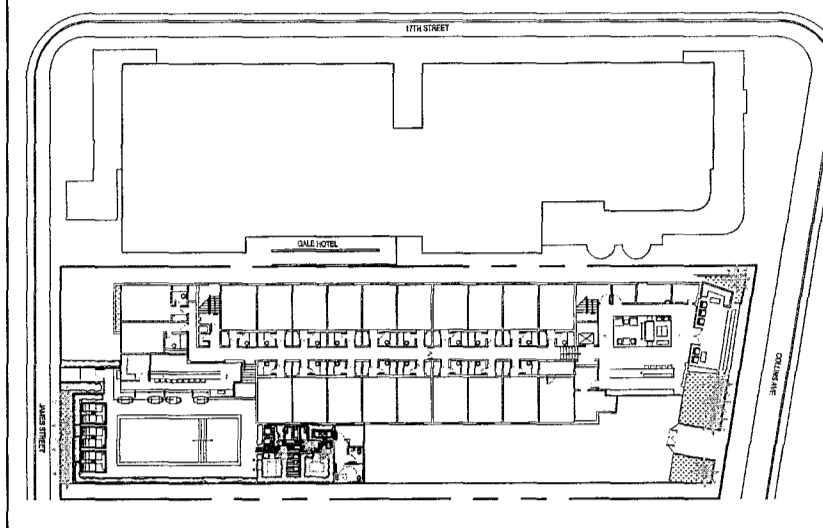
2 TYPICAL BATHROOM ELEVATIONS  
SCALE: 1/4" = 1'-0"



3 TYPICAL BATHROOM PLAN  
SCALE: 1/4" = 1'-0"

4 SHOWER DETAIL  
SCALE: 1/2" = 1'-0"

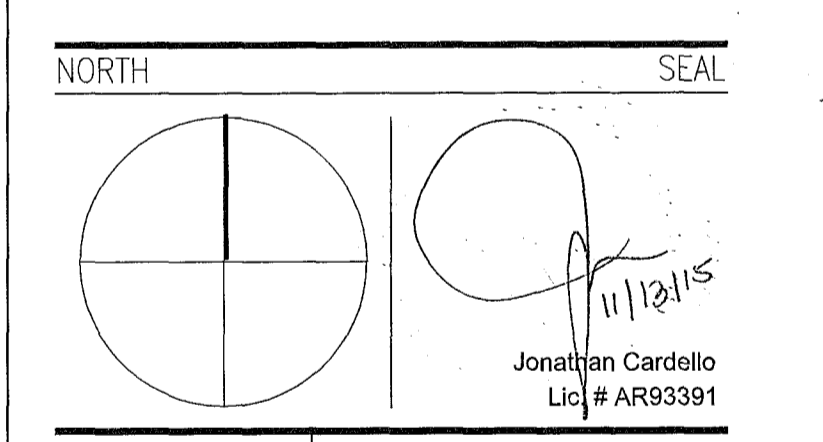
**SAN JUAN HOTEL**  
1680 COLLINS AVE  
MIAMI BEACH, FL



**REVISIONS**

NO.	DESCRIPTION	ISSUE DATE
1	RESPONSE TO CMB COMMENTS	09.28.15
6	RESPONSE TO PLUMBING	11.04.15

**PERMIT SET**

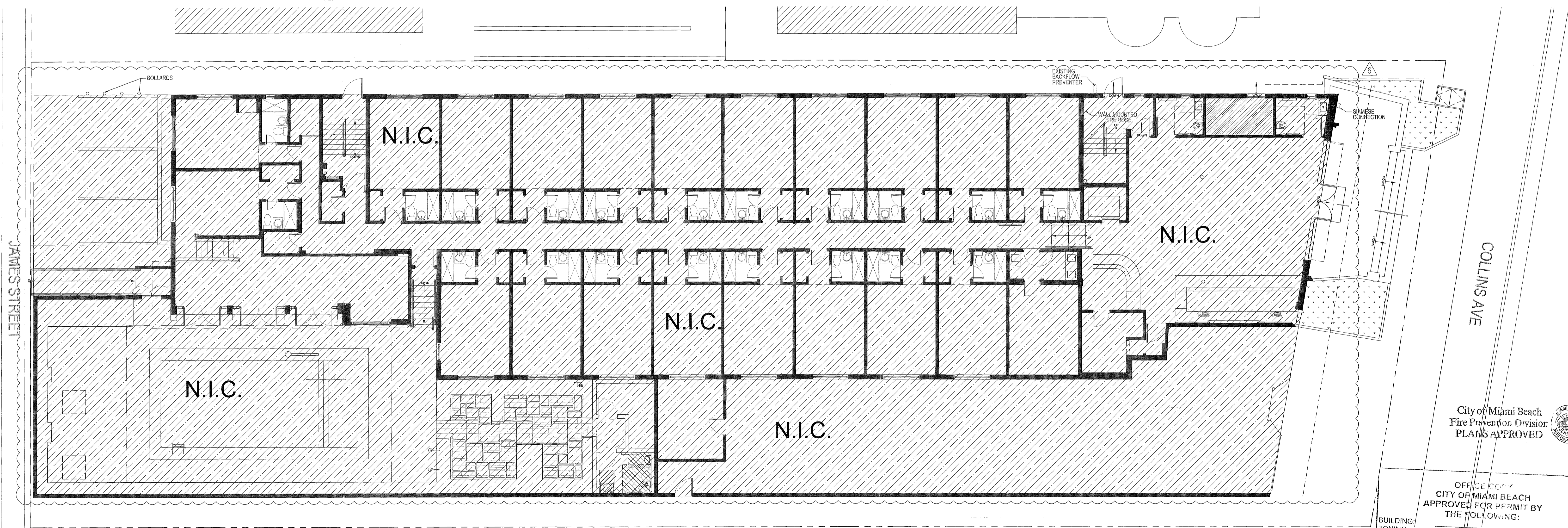


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JOB NUMBER: 13023.00  
CHECKED BY: [Signature]  
ISSUE DATE: JUNE 26, 2014  
SCALE: 1/8" = 1'-0"  
SHEET TITLE

**FIRST FLOOR FINISH PLAN**

SHEET NUMBER  
**A741**



1 FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

OFFICE COPY  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:  
BUILDING: [Signature]  
ZONING: [Signature]  
PLUMBING: [Signature]  
ELECTRICAL: [Signature]  
MECHANICAL: [Signature]  
FIRE PREVENTION: [Signature]  
FLOOD: [Signature]  
PUBLIC WORKS: [Signature]  
STRUCTURAL: [Signature]  
ELEVATOR: [Signature]  
ROOFING: [Signature]

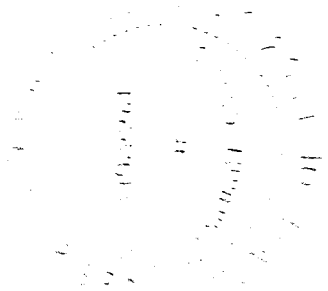
City of Miami Beach  
Fire Prevention Division  
PLANS APPROVED



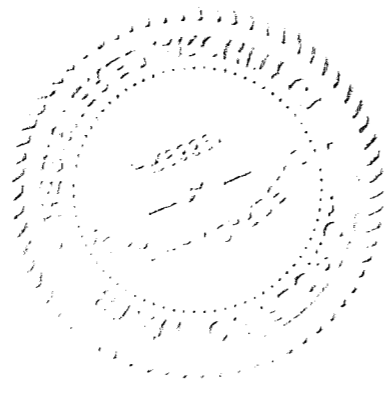
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1680 COLLINS AVE

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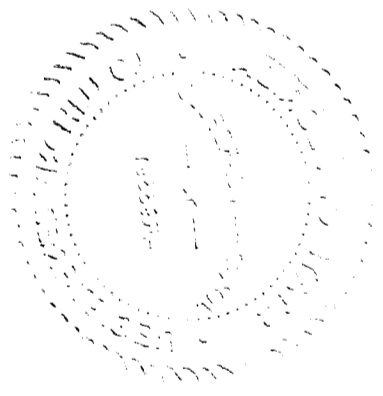
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1680 COLLINS  
Ave



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1680 Collins Ave  
Job Copy

San Juan  
Bathrooms  
&  
Need Zon. Review  
Cost Aff.

ROAD FIRE SCHOOL  
IMPACT FEE NOT REQUIRED  
MAY 20 2015  
MIAMI-DADE COUNTY  
APPROVED



**DERM**  
PLAN REVIEW  
FINAL  
APPROVAL  
DEPARTMENT OF ENVIRONMENTAL  
RESOURCES MANAGEMENT  
DER REVIEWER (PRINT) \_\_\_\_\_  
SIGNATURE \_\_\_\_\_ DATE 5/27/15

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M2015007159

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