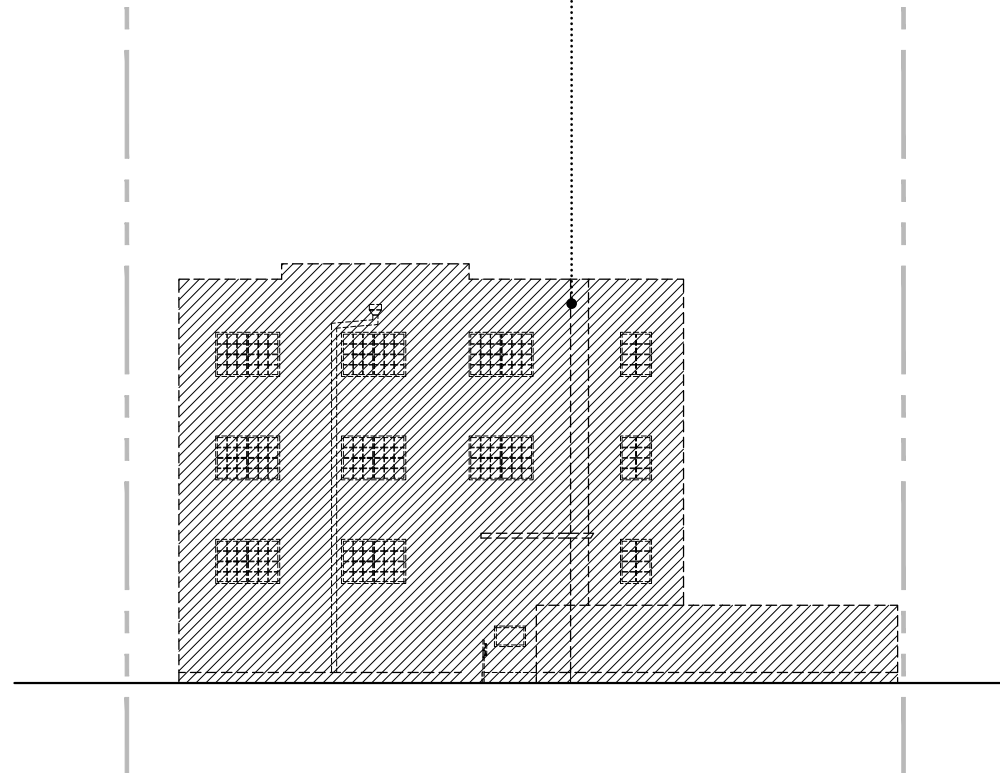


D-2.01 DEMOLITION ELEVATIONS

EXISTING BUILDING TO BE DEMOLISHED -
REFER TO NORTH & SOUTH ELEVATIONS FOR
EXTENT OF DEMOLITION



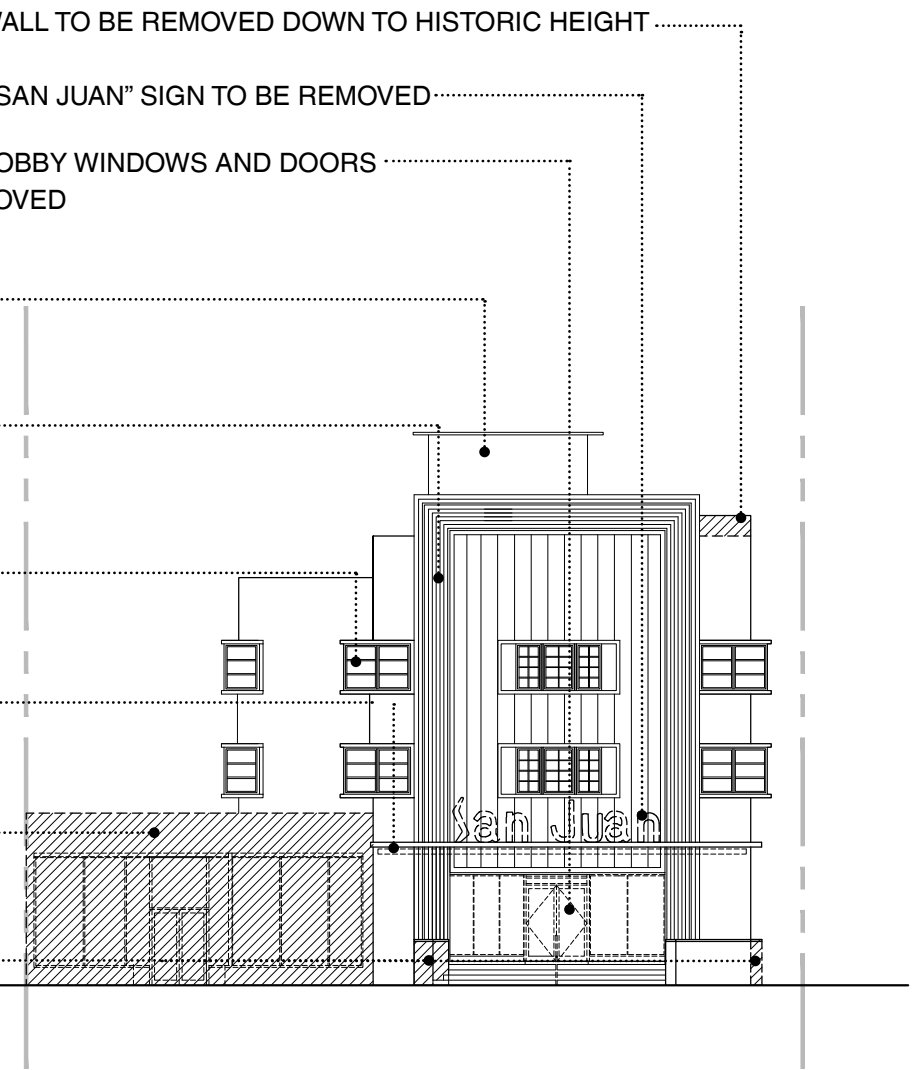
West elevation

EXISTING WALL TO BE REMOVED DOWN TO HISTORIC HEIGHT

EXISTING "SAN JUAN" SIGN TO BE REMOVED

EXISTING LOBBY WINDOWS AND DOORS
TO BE REMOVED

- EXISTING ELEVATOR BULKHEAD
TO BE RETAINED
- EXISTING CONCRETE FRAME TO
REMAIN AND BE REPAIRED AND
RESTORED
- EXISTING WINDOWS AND WINDOW
BOXES TO BE RETAINED
- EXISTING RETRACTABLE FABRIC
AWNING TO BE REMOVED
- EXISTING ONE STORY LIQUOR STORE
STRUCTURE TO BE REMOVED
- EXISTING PLANTER & PORCH WALLS
TO BE REMOVED



East elevation

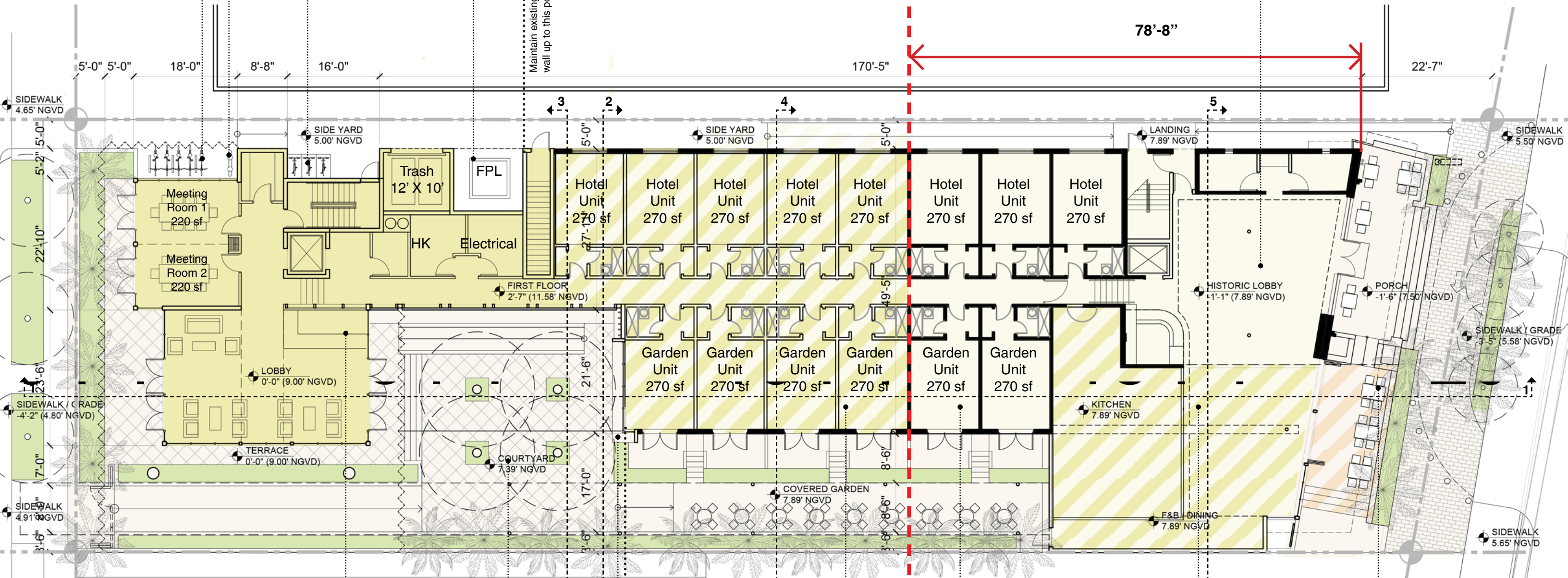
D-2.02 DEMOLITION ELEVATIONS

BACKFLOW PREVENTER
SHORT TERM BICYCLE PARKING (5 SPACES)

LONG TERM BICYCLE PARKING (3 SPACES)
PAD MOUNTED FPL TRANSFORMER

New Construction + Existing Hotel Units to be restored | Existing Building to be restored

AREA IN HISTORIC LOBBY, PORCH AND GARDEN TO BE USED FOR F&B
TOTAL AREA INTENDED FOR RESTAURANT USE = 2240 SF



REGISTRATION DESK AT LOBBY. ALL TRANSIENT GUESTS MUST REGISTER AT THE REGISTRATION DESK AND ARE PROHIBITED FROM ACCESSING THE HOTEL WITHOUT REGISTRATION

RED BRICK PAVING AT COURTYARD

PROJECTING WINDOW BOX FRAME

RECONSTRUCTED HOTEL UNITS. EXTERIOR WALL TO BE PRESERVED

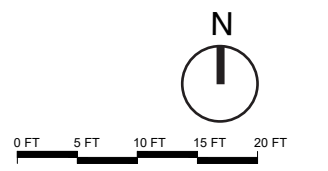
EXISTING HOTEL UNITS TO REMAIN

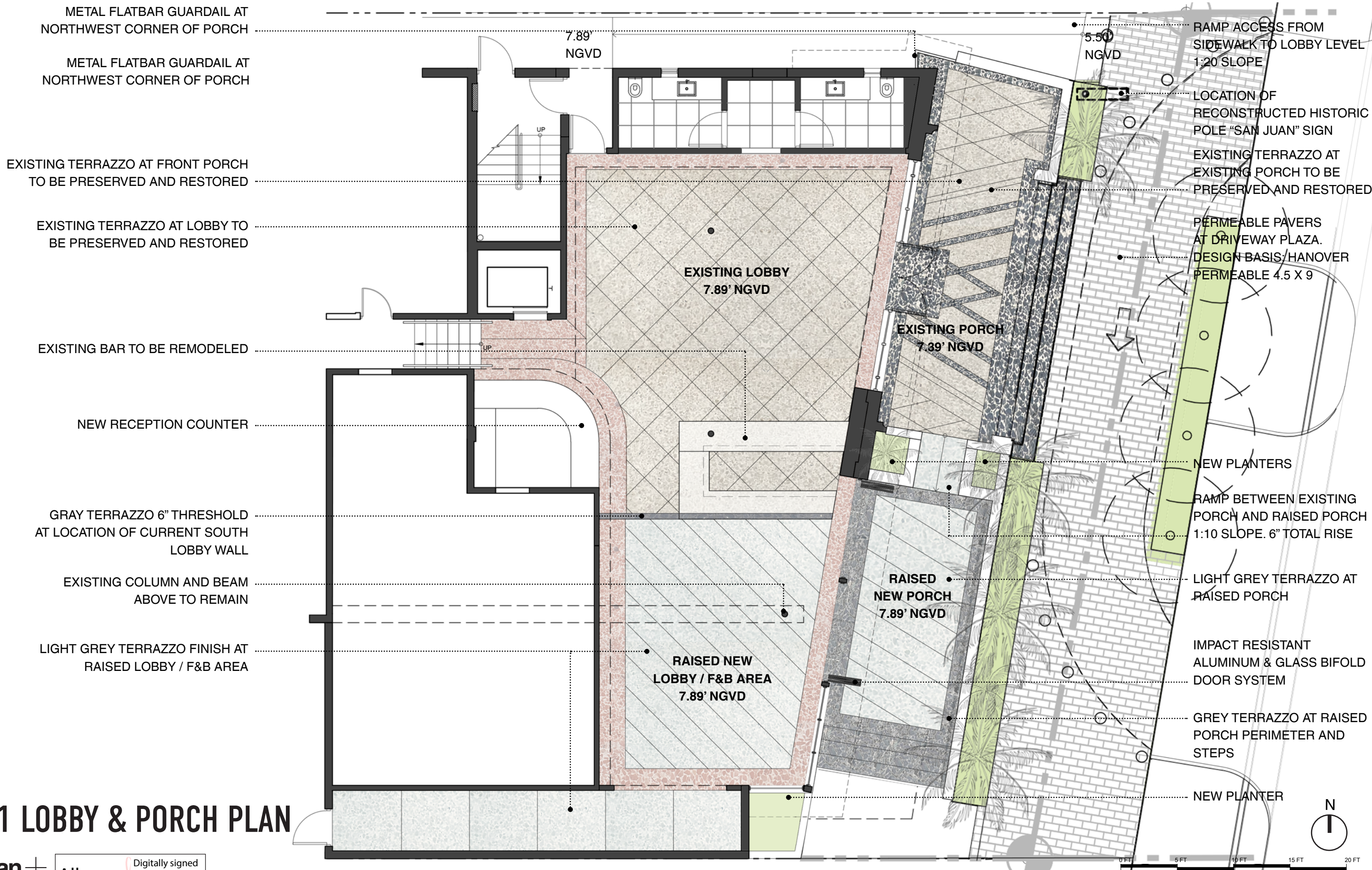
FRONT PORCH TO BE EXTENDED TOWARDS SOUTH

A-1.00 GROUND FLOOR PLAN

Shulman + Associates

Digitally signed by Allan Shulman
Date: 2026.02.07 01:27:53 -05'00'

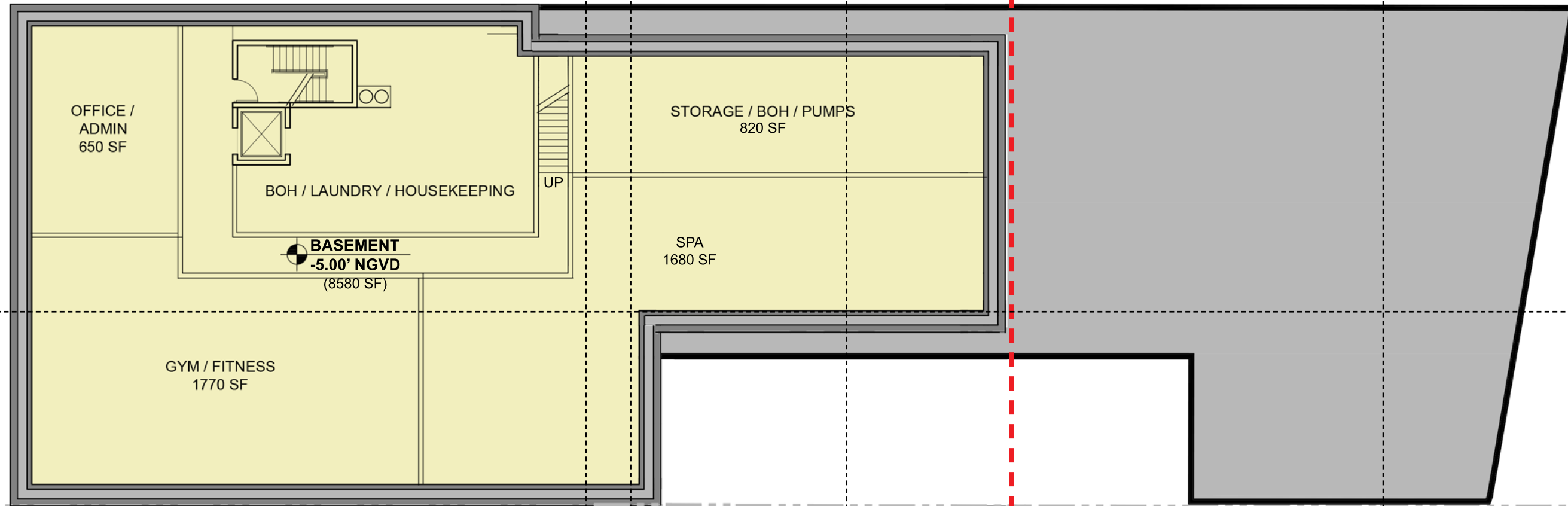




A-1.01 LOBBY & PORCH PLAN

New Construction | Existing Building to be restored

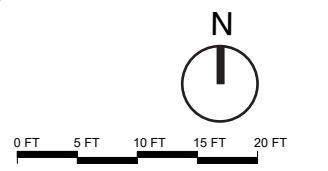
78'-8"



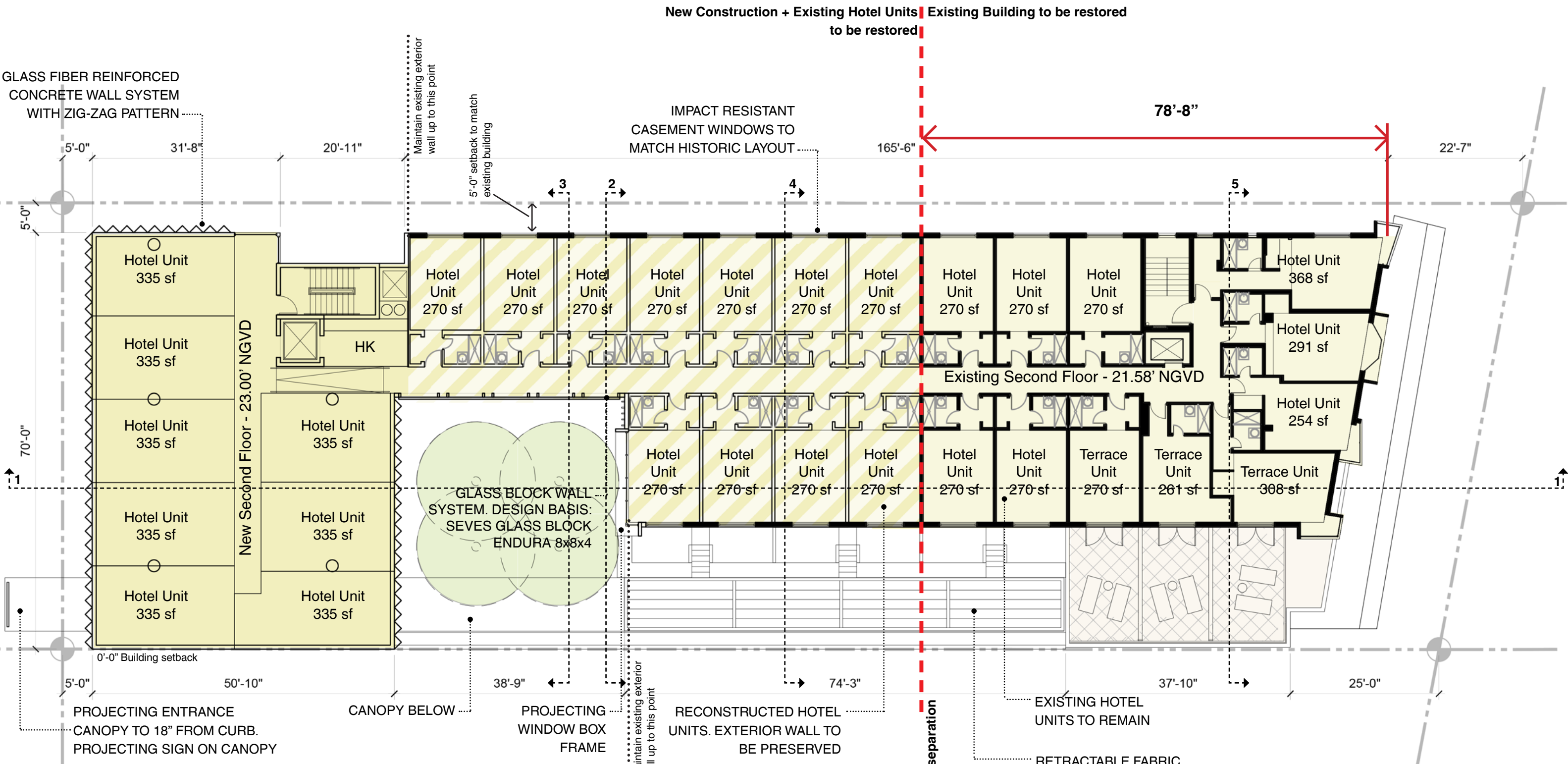
Basement Area = 6850 sf

Counted Towards Floor Area = 0 sf

A-1.02 BASEMENT PLAN

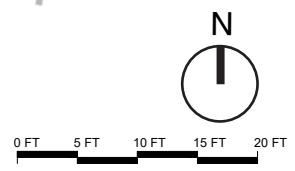


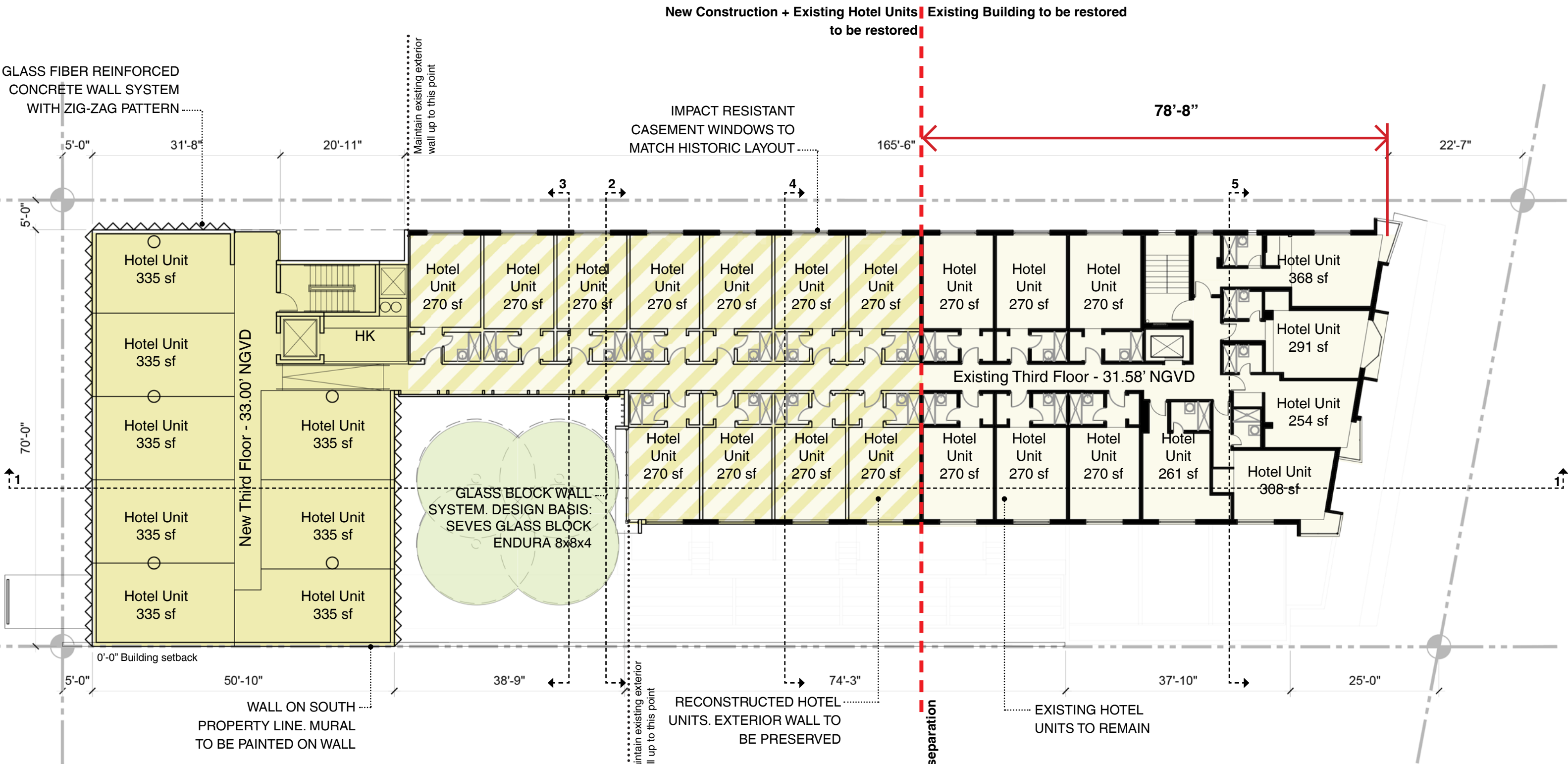
Line of 4 hr fire separation



A-1.03 SECOND FLOOR PLAN

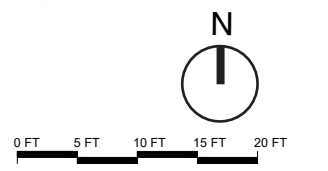
Shulman + Associates
 Digitally signed by Allan Shulman
 Date: 2026.02.07 01:29:50 -05'00'



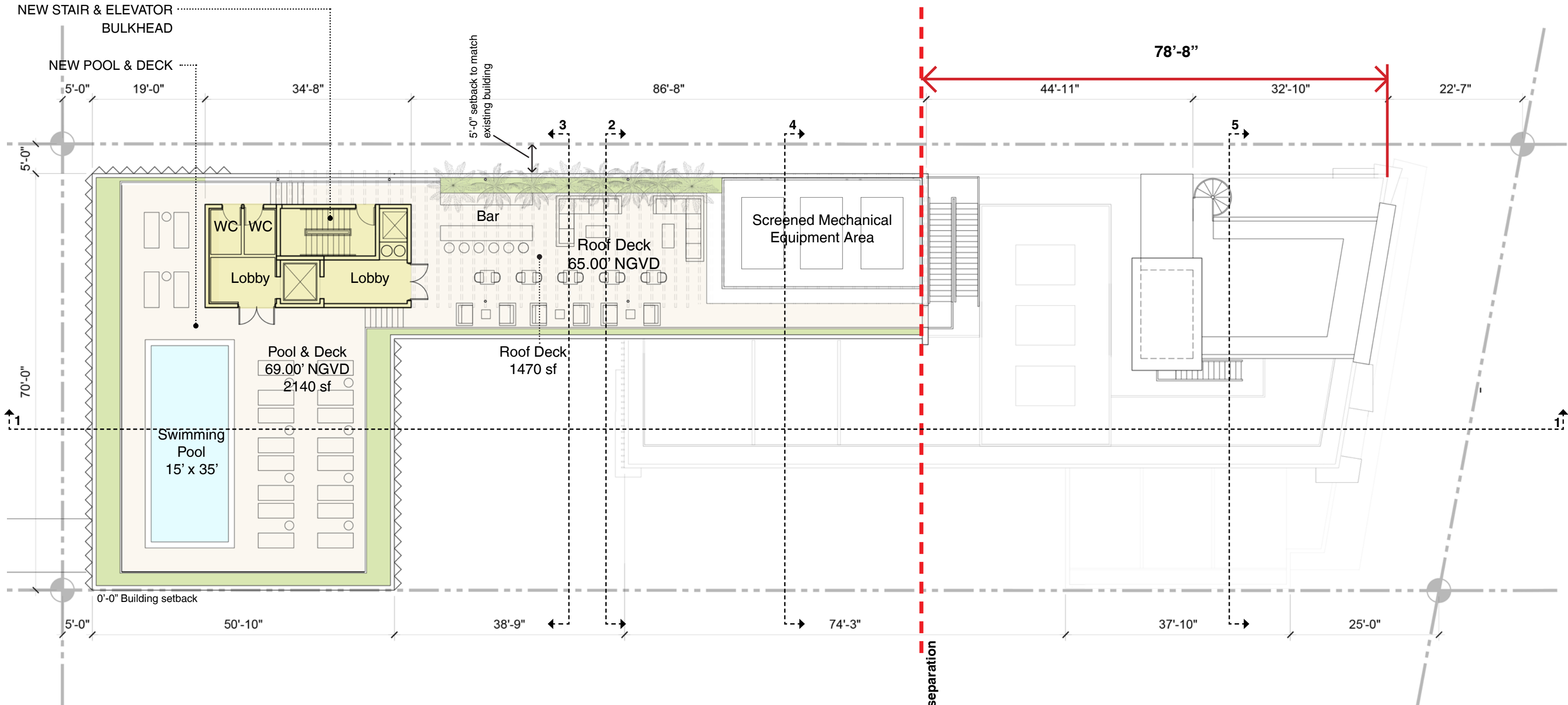


A-1.04 THIRD FLOOR PLAN

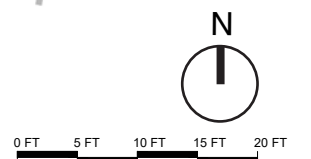
Shulman + Associates
 Digitally signed by Allan Shulman
 Date: 2026.02.07 01:30:28 -05'00'



New Construction + Existing Hotel Units to be restored | Existing Building to be restored



A-1.07 ROOF DECK PLAN

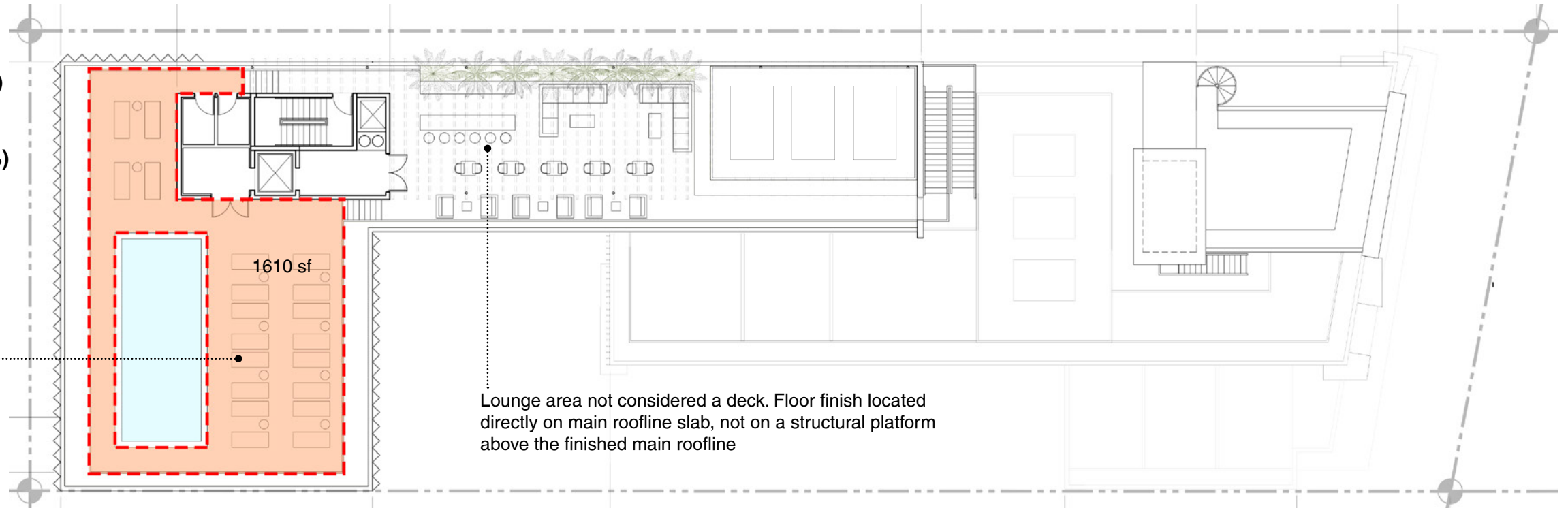


Roof Deck Calculations

5th Floor Area = 6100 sf (100%)
(Floor immediately below)

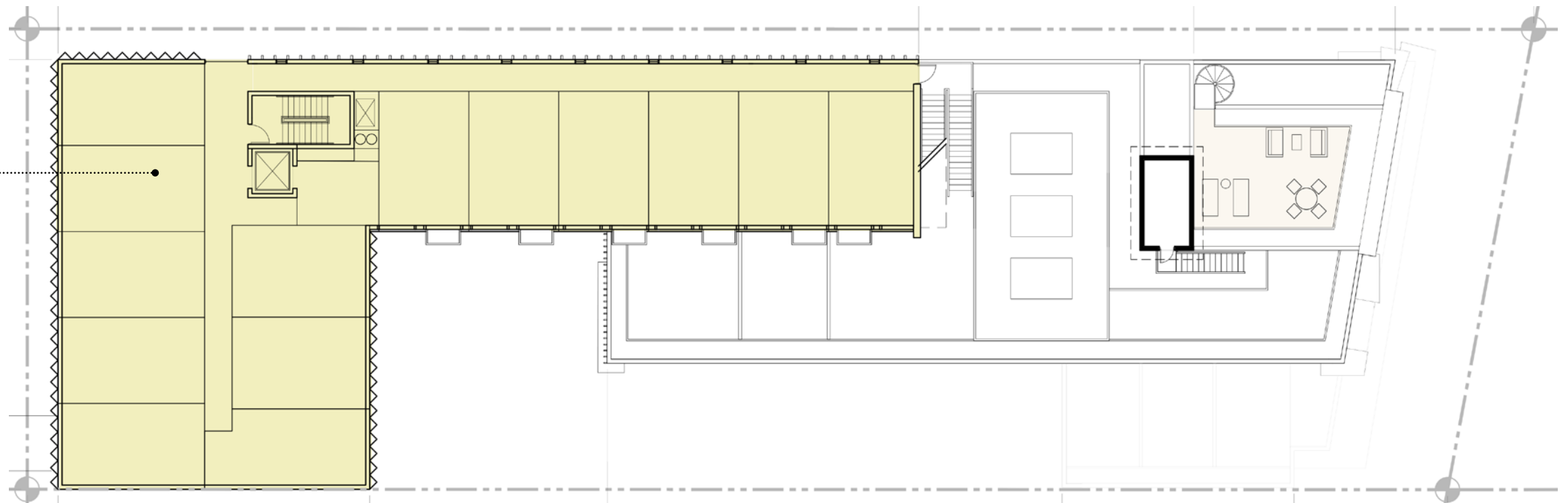
Pool Deck Area = 1610 sf (26.4%)

POOL DECK AT 5'-0" ABOVE
ROOFLINE BY VARIANCE



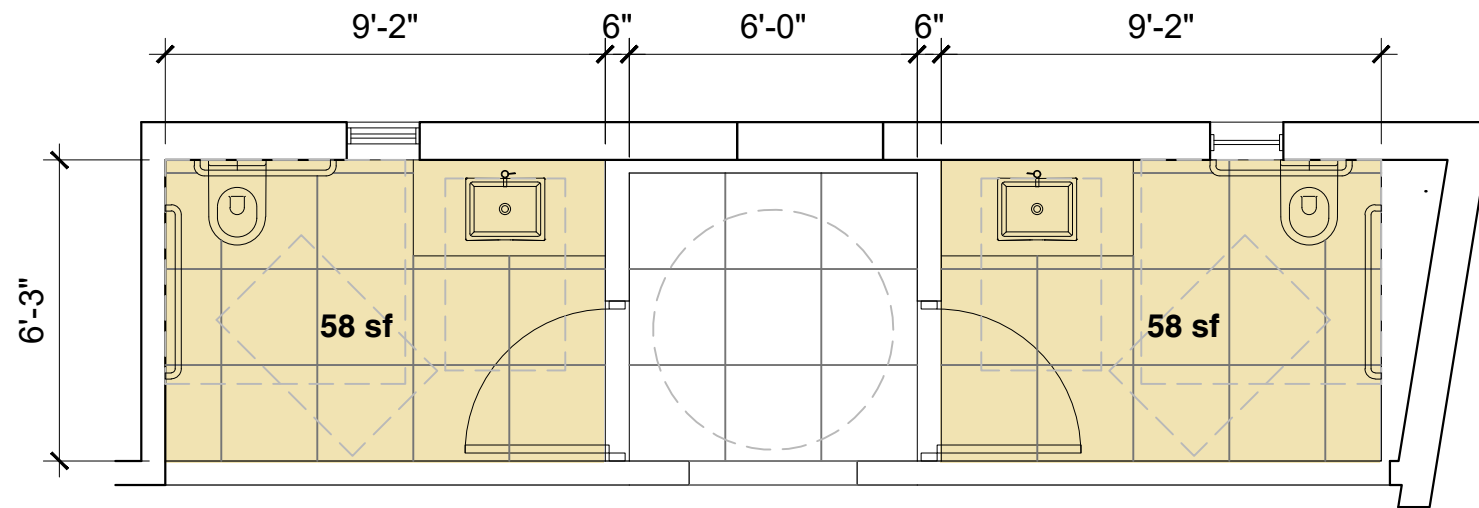
Roof Deck Plan

5th Floor Area = 6100 sf

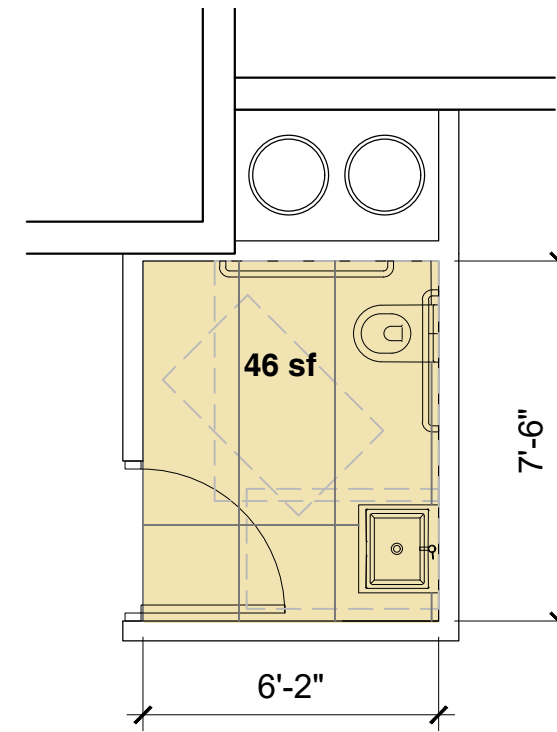


Fifth Floor Plan

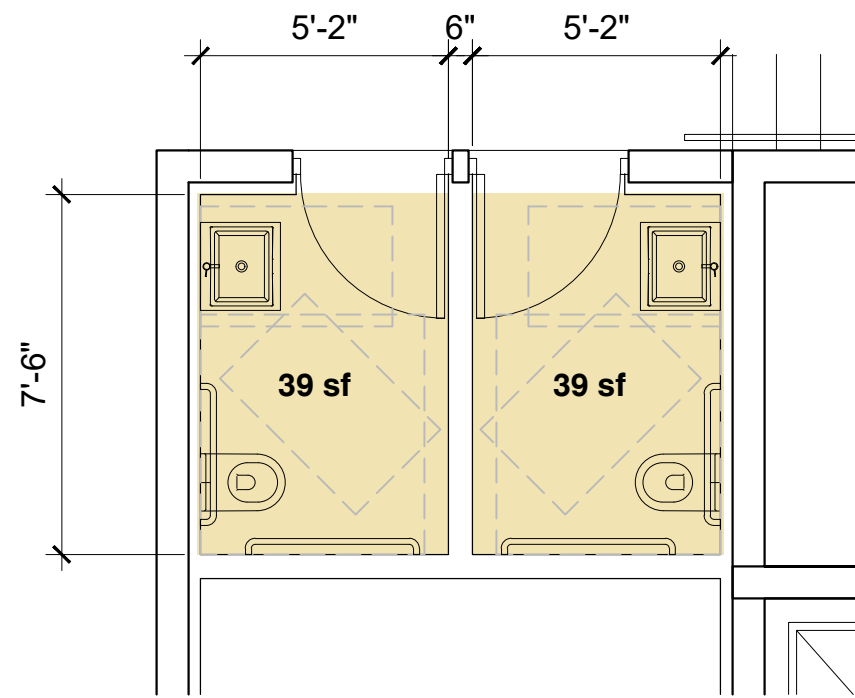
A-1.08 ROOF DECK CALCULATIONS



Historic Lobby Unisex Restrooms Plan
116 sf not counted towards floor area

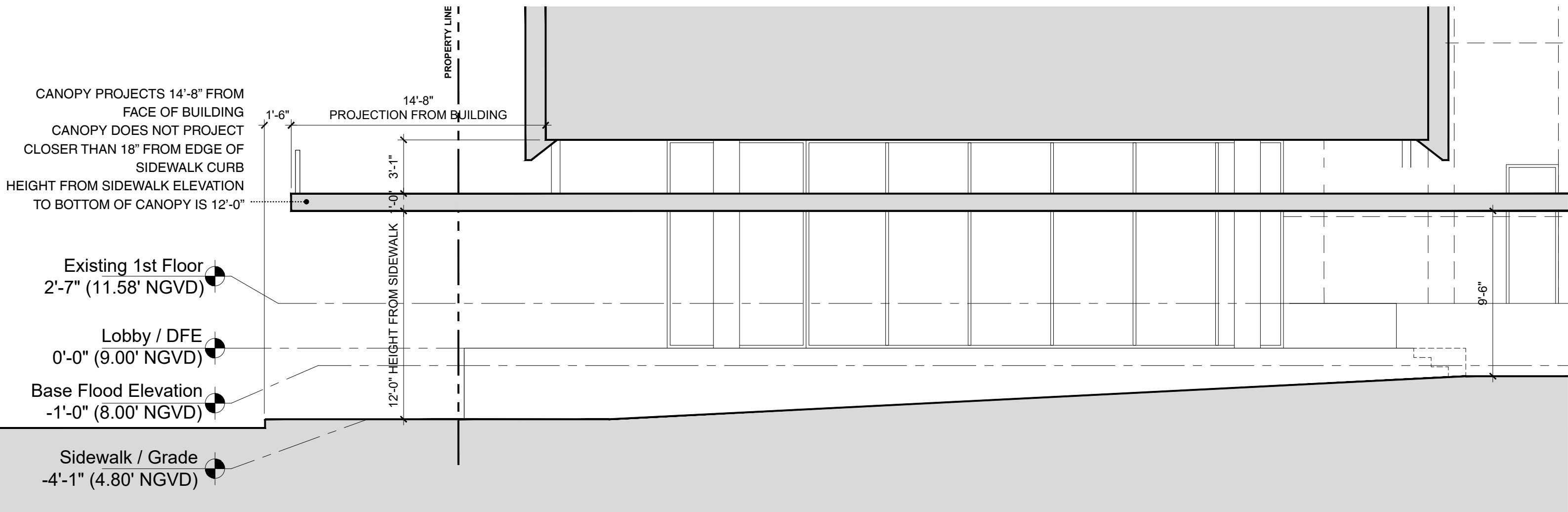


James Avenue Lobby Restroom Plan
46 sf not counted towards floor area



Pool Deck Unisex Restrooms Plan
78 sf not counted towards floor area

A-1.09 UNISEX RESTROOM PLANS



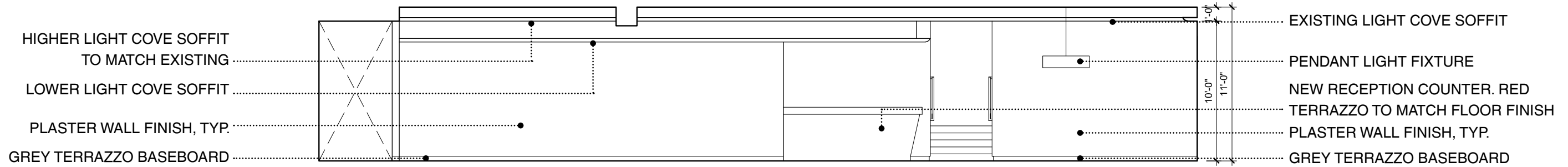
Section thru Entrance Canopy

A-1.10 CANOPY ON JAMES AVENUE

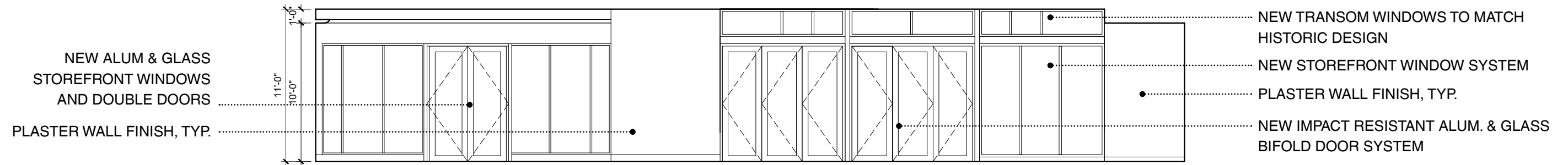
Shulman + Associates

Allan Shulman

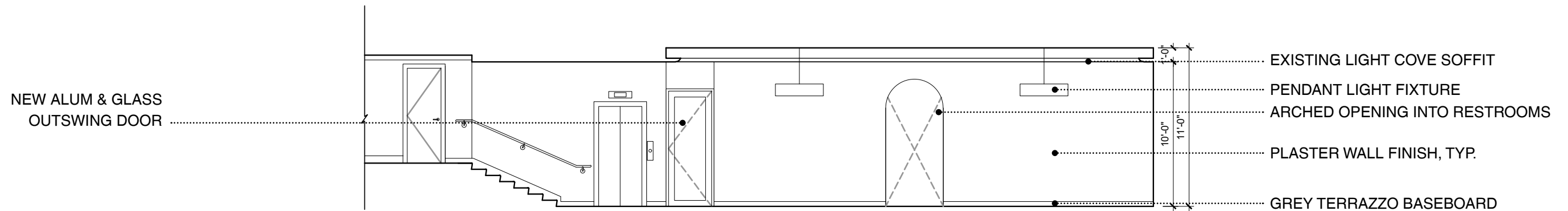
Digitally signed by Allan Shulman
Date: 2026.02.07 01:33:29 -05'00'



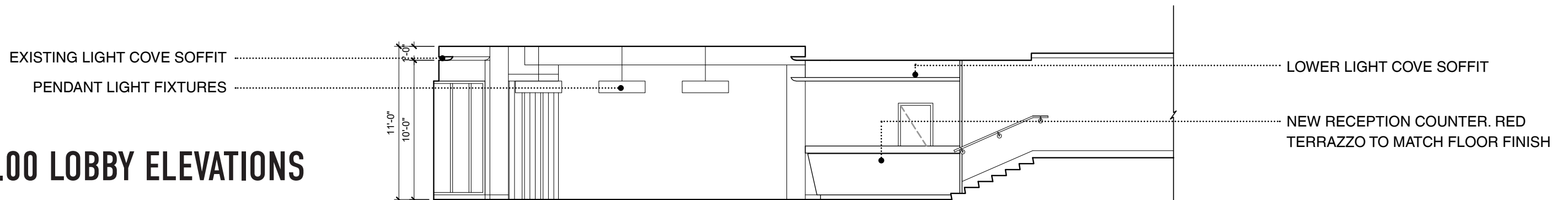
Lobby west elevation



Lobby east elevation



Lobby north elevation



Lobby south elevation

A-2.00 LOBBY ELEVATIONS

Shulman + Associates
 Allan Shulman
 Digitally signed by Allan Shulman
 Date: 2026.02.07 01:34:06 -05'00'

ALUM. FLATBAR GUARDRAILS AT ROOF DECK
OVER NEW PENTHOUSE STRUCTURE

RELOCATED "SAN JUAN" SIGN TO HISTORIC
LOCATION. "HOTEL" SIGN ADDED TO MATCH
HISTORIC DESIGN

T.O. Bulkhead
80'-0" (89.00' NGVD)

CLEAR GLASS GUARDRAIL SYSTEM

Pool & Deck
60'-0" (69.00' NGVD)

T.O. Roof Deck
55'-0" (64.00' NGVD)

5th Floor
44'-0" (53.00' NGVD)

4th Floor
34'-0" (43.00' NGVD)

Existing 3rd Floor
22'-7" (31.58' NGVD)

Existing 2nd Floor
12'-7" (21.58' NGVD)

Existing 1st Floor
2'-7" (11.58' NGVD)

Base Flood Elevation
-1'-0" (8.00' NGVD)

Existing Lobby
-1'-1 1/2" (7.89' NGVD)

East Elevation

CRAB ORCHARD STONE FINISH AT BUILDING
WALL AND PORCH WALLS

NEW BIFOLD DOOR SYSTEM

RECONSTRUCTED "SAN JUAN"
HISTORIC POLE SIGN

T.O. Existing Elev. Bulkhead
50'-0" (49.00' NGVD)

T.O. Existing Frame
44'-0" (53.00' NGVD)

T.O. Existing Parapet
39'-7" (48.58' NGVD)

Existing Penthouse
32'-7" (41.58' NGVD)

Existing 3rd Floor
22'-7" (31.58' NGVD)

Existing 2nd Floor
12'-7" (21.58' NGVD)

Existing 1st Floor
2'-7" (11.58' NGVD)

EXISTING FLUTING & FRAME TO BE
REPAIRED AND RESTORED

NEW IMPACT RESISTANT STOREFRONTS
& DOUBLE DOORS AT LOBBY

NEW FLATBAR HANDRAILS AT PORCH

EXISTING WINDOW & WINDOW BOXES TO
REMAIN

CLEAR GLASS GUARDRAIL SYSTEM

GLASS FIBER REINFORCED CONCRETE
ZIGZAG FACADE SYSTEM. COLOR WHITE, TYP.

IMPACT RESISTANT CASEMENT WINDOWS

T.O. Bulkhead
0'-0" (89.00' NGVD)

Pool & Deck
60'-0" (69.00' NGVD)

T.O. Roof Deck
55'-0" (64.00' NGVD)

5th Floor
44'-0" (53.00' NGVD)

4th Floor
34'-0" (43.00' NGVD)

3rd Floor
24'-0" (33.00' NGVD)

2nd Floor
14'-0" (23.00' NGVD)

Lobby / DFE
0'-0" (9.00' NGVD)

Base Flood Elevation
-1'-0" (8.00' NGVD)

Sidewalk / Grade
-4'-1" (4.80' NGVD)

West Elevation

IMPACT RESISTANT WINDOW WALL
& DOUBLE DOORS SYSTEM

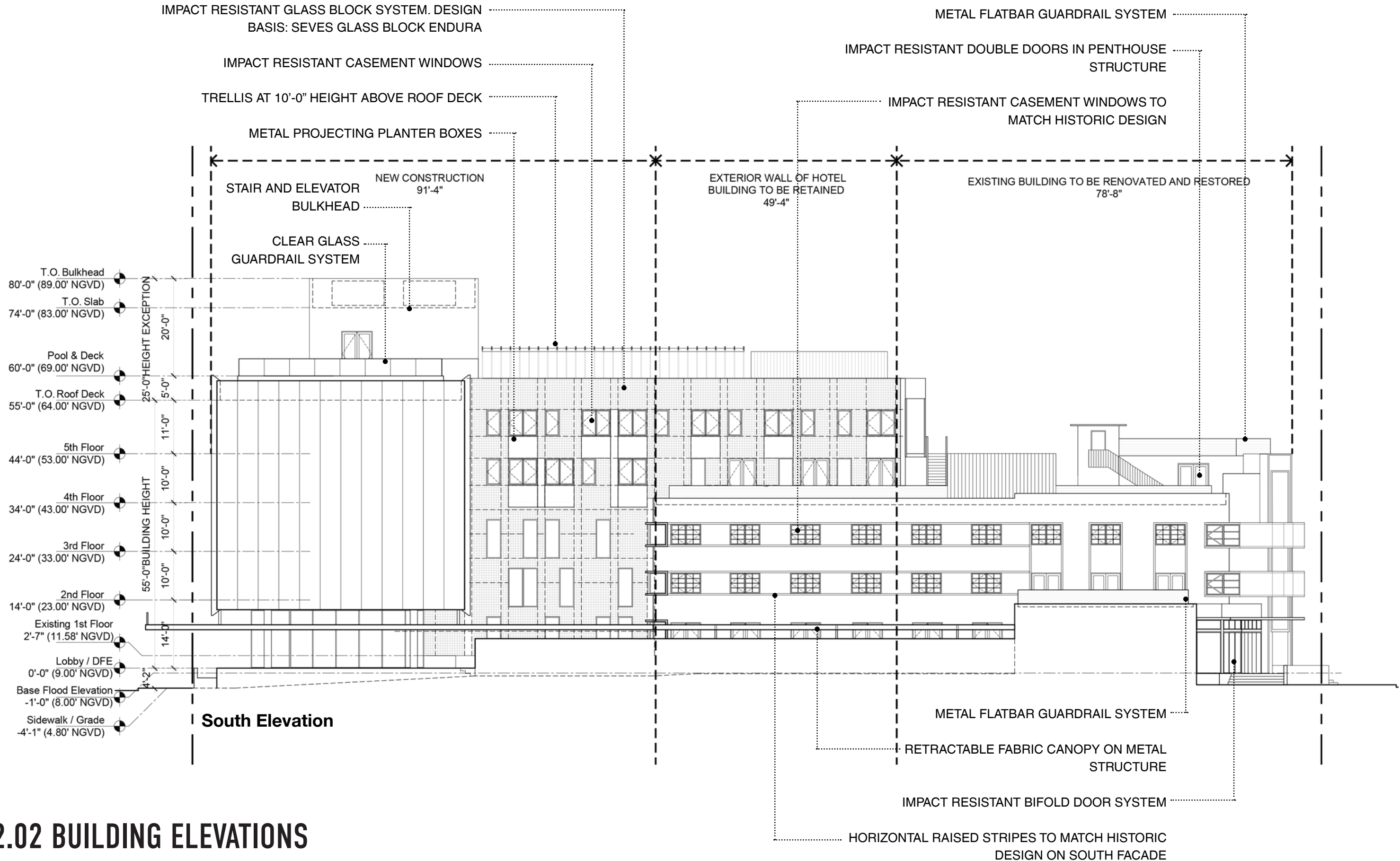
SIGN ON LOW WALL

PROJECTING ENTRANCE CANOPY - SIGN ABOVE

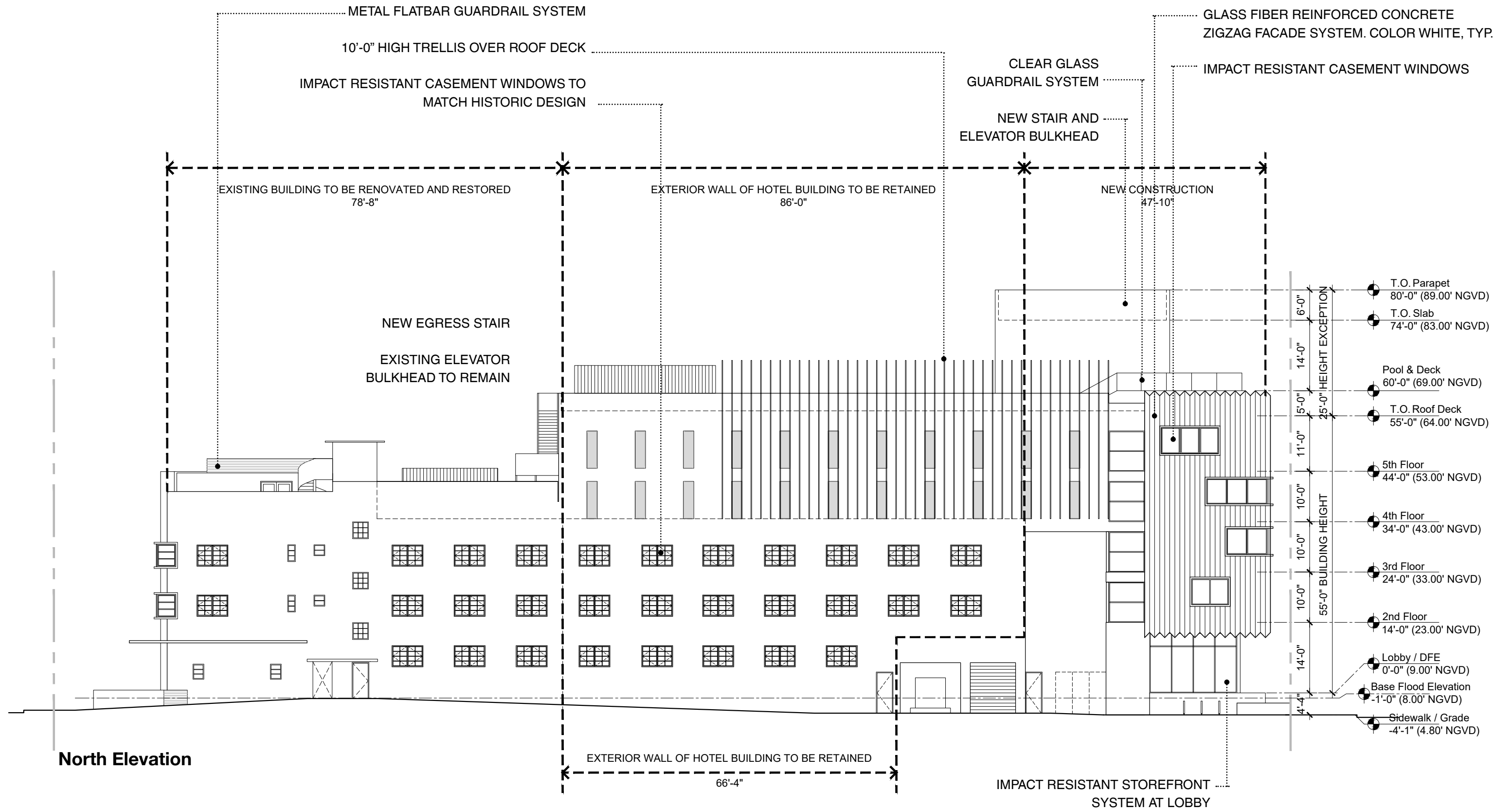
DEPLOYABLE GATE

A-2.01 BUILDING ELEVATIONS

Shulman + Associates Allan Shulman
Digitally signed by Allan Shulman
Date: 2026.02.07 01:34:49 -05'00'

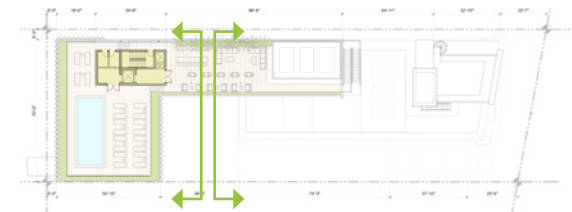


A-2.02 BUILDING ELEVATIONS



A-2.03 BUILDING ELEVATIONS

Shulman + Associates
 Allan Shulman
 Digitally signed by Allan Shulman
 Date: 2026.02.07 01:36:18 -05'00'



NEW STAIR AND BULKHEAD

TRELLIS AT 10'-0" HEIGHT ABOVE ROOF DECK

CLEAR GLASS GUARDRAIL SYSTEM

GLASS FIBER REINFORCED
CONCRETE ZIGZAG
FACADE SYSTEM. COLOR
WHITE, TYP.

T.O. Bulkhead
T.P. 80'-0" (89.00' NGVD)

Pool & Deck
60'-0" (59.00' NGVD)

T.O. Roof Deck
55'-0" (54.00' NGVD)

5th Floor
44'-0" (53.00' NGVD)

4th Floor
34'-0" (43.00' NGVD)

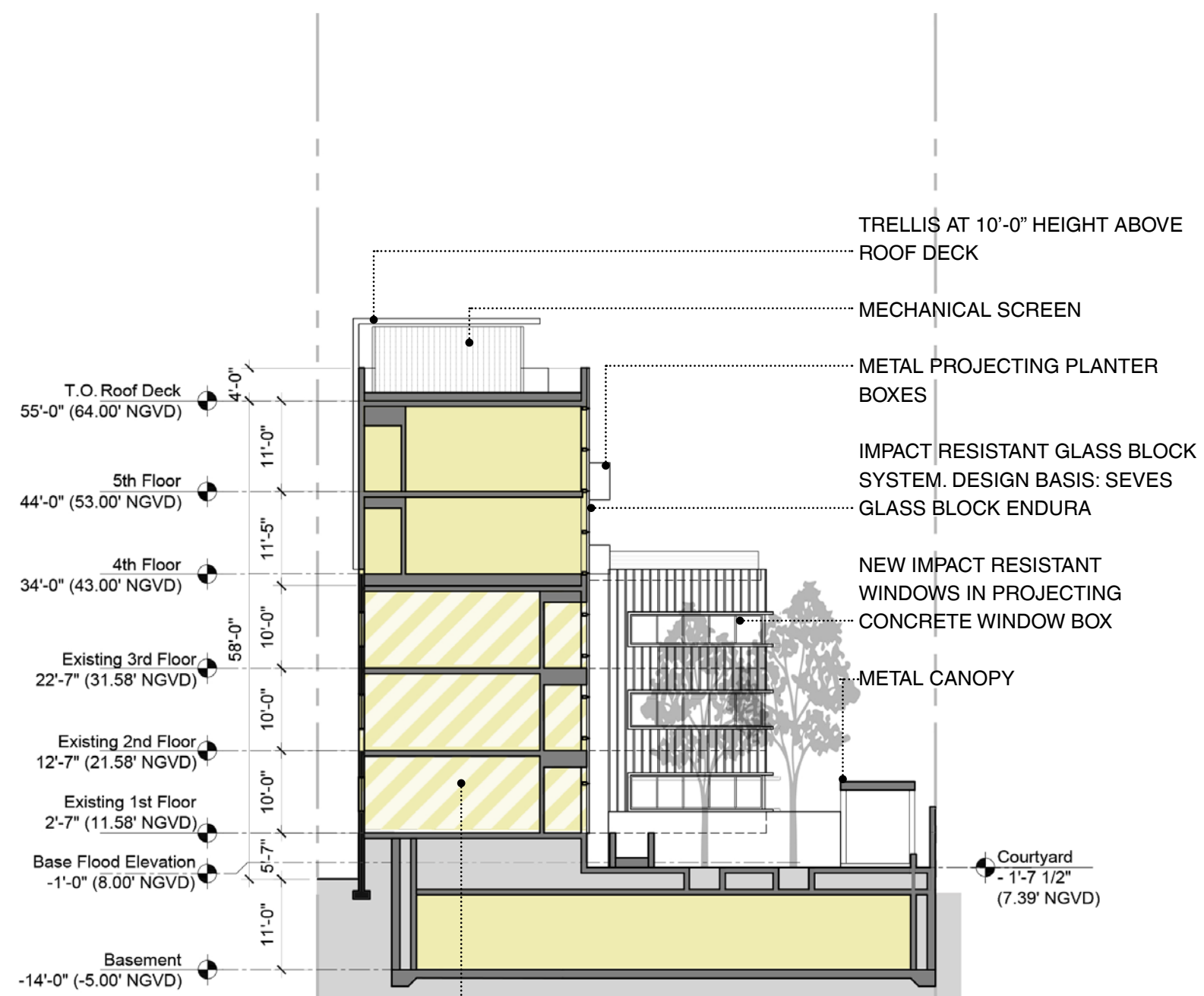
3rd Floor
24'-0" (33.00' NGVD)

2nd Floor
14'-0" (23.00' NGVD)

Lobby / DFE
0'-0" (9.00' NGVD)

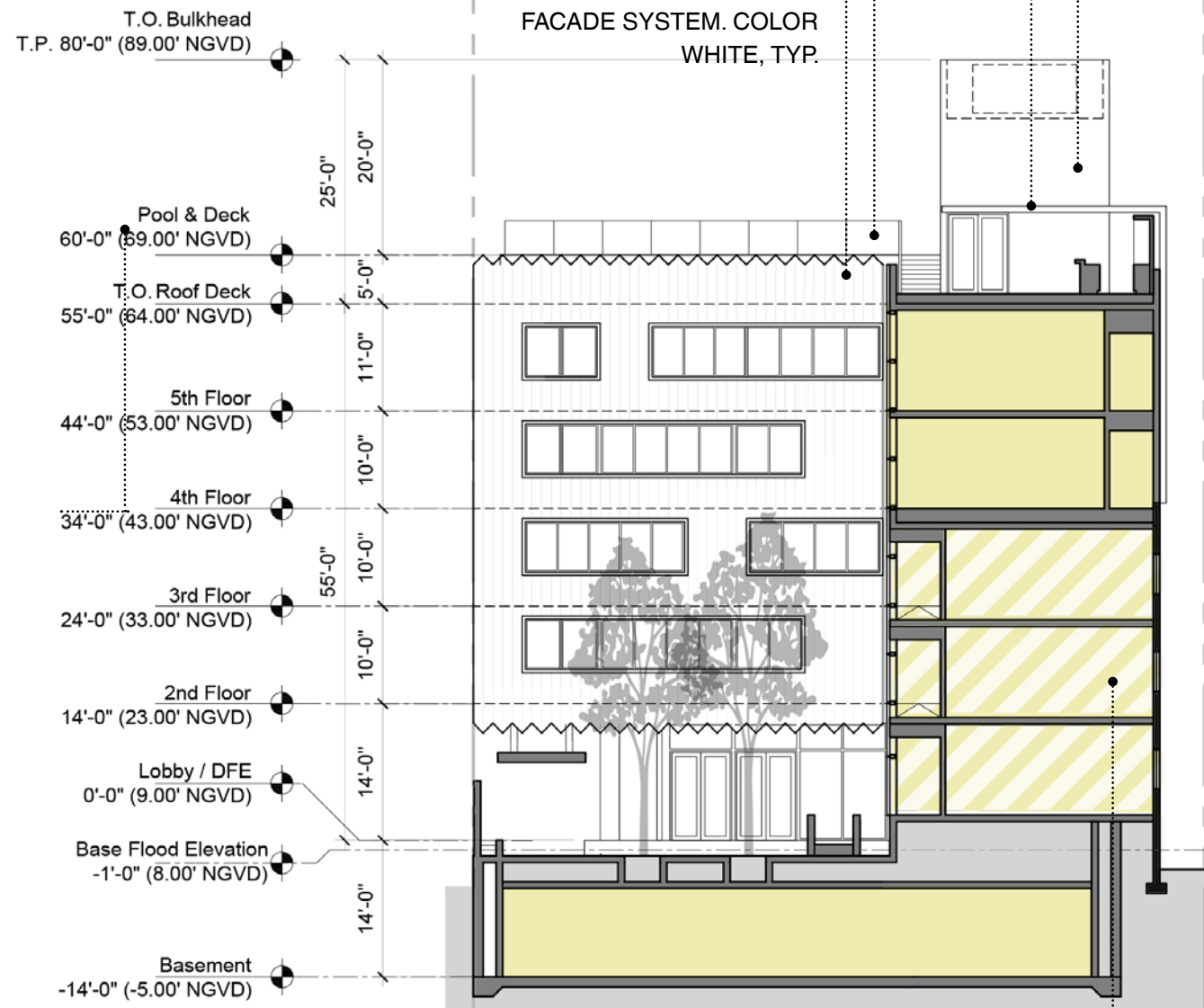
Base Flood Elevation
-1'-0" (8.00' NGVD)

Basement
-14'-0" (-5.00' NGVD)



RECONSTRUCTED HOTEL ROOMS

Building Section 2



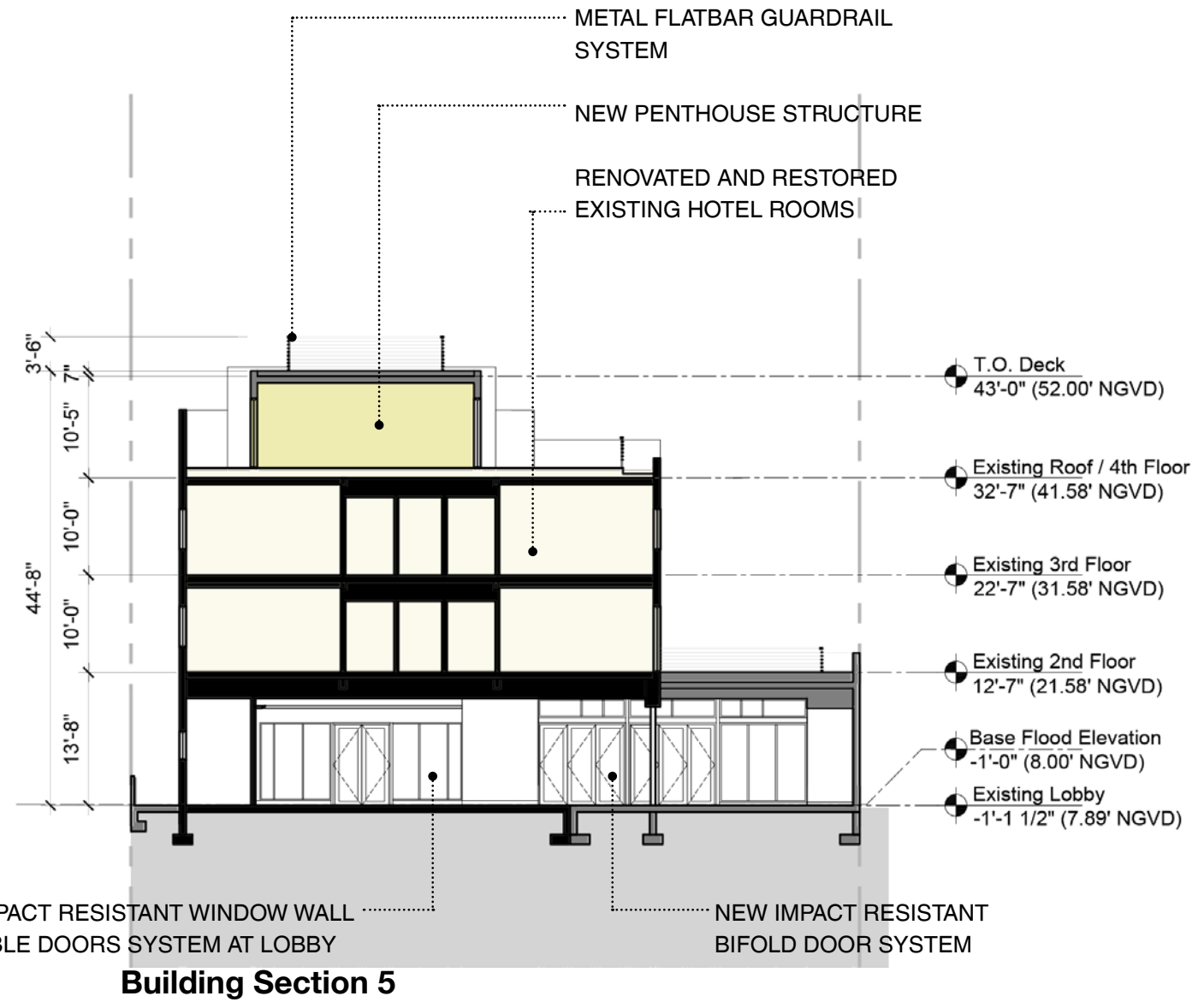
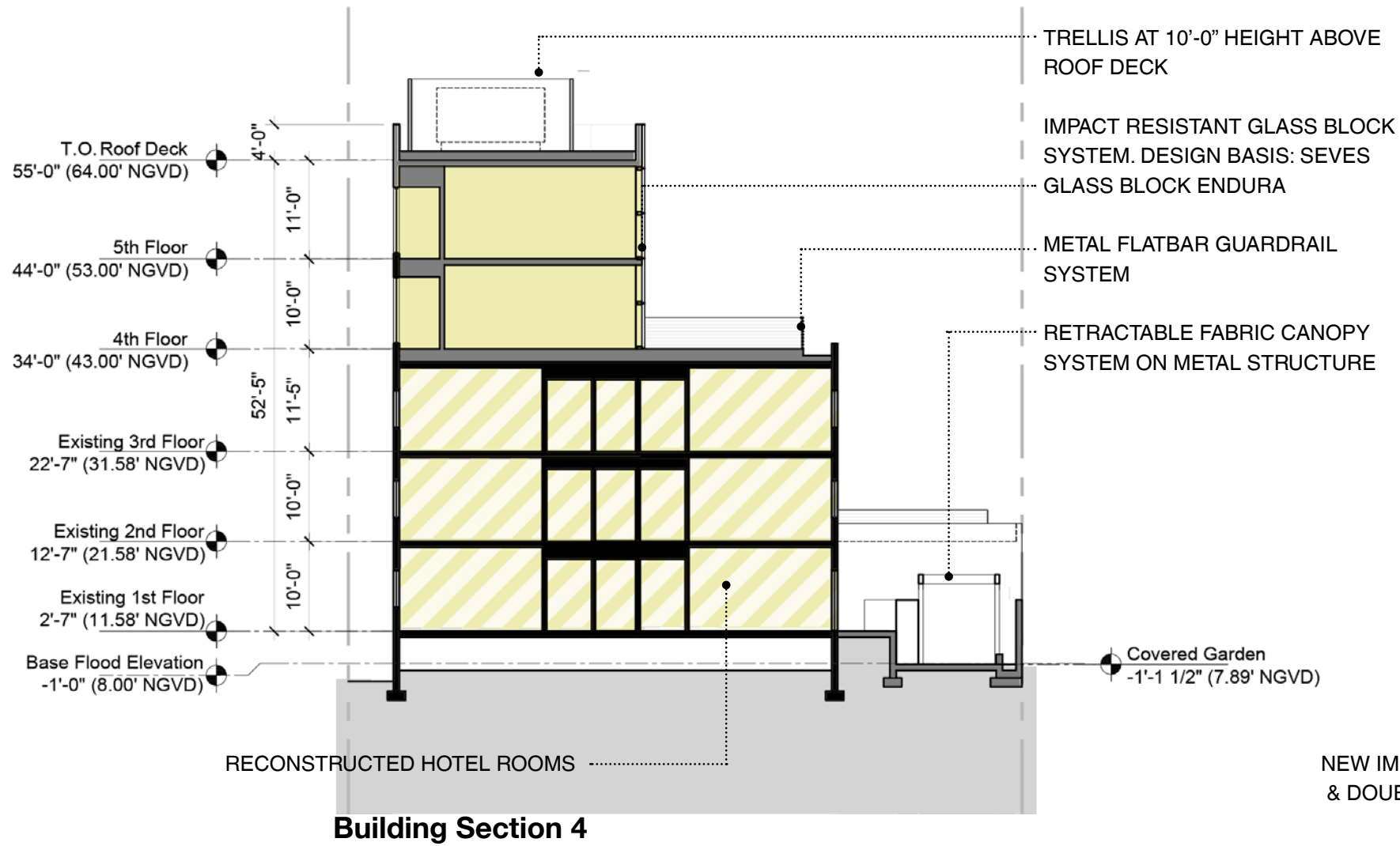
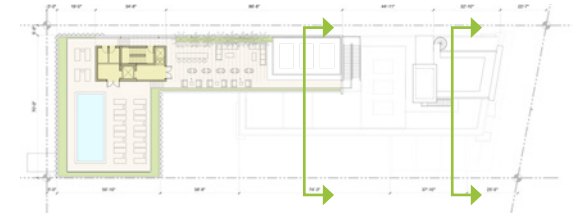
RECONSTRUCTED HOTEL ROOMS

Building Section 3

A-3.01 BUILDING SECTIONS

Shulman + Associates

Digitally signed by Allan Shulman
Date: 2026.02.07 01:38:24 -05'00'



A-3.02 BUILDING SECTIONS



A-4.00 PERSPECTIVE VIEW