

SAN JUAN HOTEL

1680 COLLINS AVE, MIAMI BEACH, FL 33139

Request for Certificate of Appropriateness.
Zoning District CD-3

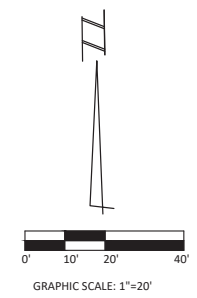
HPB 25-0683

City of Miami Beach
Historic Preservation Board
Final Submittal
February 8, 2026

**Shulman +
Associates**

Architecture Interior Design Urban Design Graphic Design · 7300 Biscayne Blvd, Miami, FL 33138 305 438 0609 shulman-design.com AA 26001090 ©2026 Shulman + Associates

Allan
Shulman
Digitally signed
by Allan
Shulman
Date: 2026.02.07
00:42:40 -05'00'



TREE LEGEND				
Tree #	Species	Diameter	Height	Canopy
1	HONEY LOCUST	0.7'	25'	25'
2-5	PALM	0.7'	25'	10'
6	ROYAL PALM	0.5'	20'	20'
7-12	PALM	0.5'	20'	15'
13-19	PALM	0.7'	25'	15'
20-24	PALM	0.6'	30'	20'
25-27	TRAVELERS TREE	1.0'	50'	15'
28	BLACK LOCUST	0.5'	35'	20'
29	COCONUT PALM	0.65'	35'	20'
30-34	PALM	0.6'	40'	15'
35-36	PALM	0.7'	40'	15'

LEGAL DESCRIPTION

LOT 8 AND THE SOUTH LOT 9 IN BLOCK 30 OF FISHER'S FIRST SUBDIVISION OF ALTON BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, AT PAGE 77, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

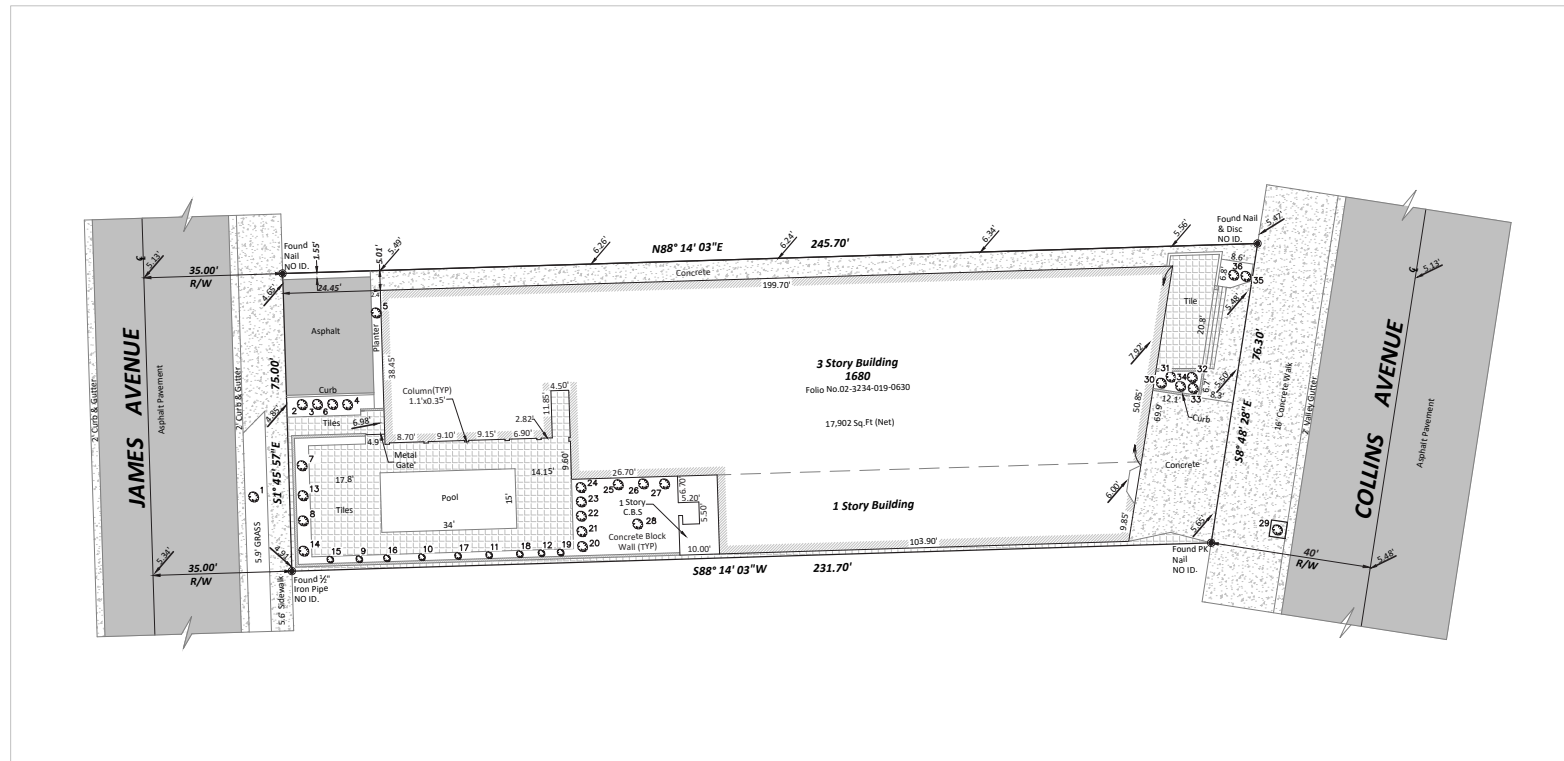
BENCHMARK INFORMATION

- 1- A-371
DESCRIPTION: PK NAIL AND ALUMINUM WASHER IN CONCRETE CATCH BASIN.
LOCATION: 17 ST - 36' WEST OF C/L WASHINGTON AVENUE - 69' SOUTH OF C/L
ELEVATION: 5.38'
- 2- Y-310-R
DESCRIPTION: PK NAIL AND ALUMINUM WASHER IN CONCRETE SIDEWALK NEAR TRAFFIC CONTROL BOX.
LOCATION: 17 ST - 52' NORTH OF C/L WASHINGTON AVENUE - 52' WEST OF C/L
ELEVATION: 5.62'

FLOOD ZONE AE, PANEL# 0453, ELEVATION 8.00'

SURVEYORS NOTES:

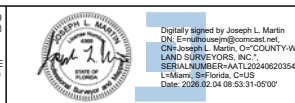
- 1) THE ABOVE CAPTIONED PROPERTY WAS SURVEYED AND DESCRIBED BASED ON THE ABOVE LEGAL DESCRIPTION FURNISHED BY CLIENT.
- 2) THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED, IT IS NOT A CERTIFICATION OF TITLE, ZONING, EASEMENTS, OR FREEDOM OF ENCUMBRANCES, ABSTRACT NOT REVIEWED.
- 3) THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. EXAMINATION OF ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY AFFECTING THIS PROPERTY.
- 4) OWNERSHIP SUBJECT TO OPINION OF TITLE.
- 5) TYPE OF SURVEY: BOUNDARY SURVEY.
- 6) LOCATION AND IDENTIFICATION OF UTILITIES ON OR ADJACENT TO THE PROPERTY WERE NOT SECURED AS SUCH INFORMATION WAS NOT REQUESTED.
- 7) UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTINGS AND/OR FOUNDATIONS (UNDERGROUND).
- 8) THIS BOUNDARY SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON. THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.
- 9) PRECISION OF CLOSURE 1:10000 COMMERCIAL HIGH RISK SURVEY.
- 10) RECORD AND MEASUREMENTS CALLS ARE IN SUBSTANTIAL AGREEMENT, UNLESS NOTED OTHERWISE.
- 11) RIGHT OF WAY INFORMATION OBTAINED FROM RECORD PLAT.
- 12) THE ABOVE BOUNDARY SURVEY, REPRESENT THE HEREIN DESCRIBED PROPERTY AND IT WAS COMPLETED UNDER MY SUPERVISION AND OR DIRECTION, TO THE BEST OF MY KNOWLEDGE AND BELIEF AND IT ALSO MEETS THE MINIMUM TECHNICAL STANDARD SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS AND MAPPERS, PURSUANT TO SECTION 551.17.051, FLORIDA STATUTES AND IMPLEMENTING RULES, FLORIDA BOARD ADMINISTRATIVE CODE.



SURVEYORS CERTIFICATE:

"NOT VALID UNLESS SIGNED WITH AN EMBOSSED SURVEYORS SEAL." I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON COMPLIES WITH THE MINIMUM STANDARDS ADOPTED BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS IN CHAPTER 55-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JOSEPH L. MARTIN, PSM # 4368 USING A DIGITAL SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED WITHOUT THE SIGNATURE AND EMBOSSED SEAL OF A FLORIDA LICENSED SURVEYOR. THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



BY: JOSEPH L. MARTIN
 PROFESSIONAL SURVEYOR & MAPPER
 PSM# 4368
 STATE OF FLORIDA

DATE	BY	REVISION
DATE	APP	ADD ELEVATIONS AND TREES
DATE	INB	
DATE	JLM	

HECTOR CASTILLO
 1680 COLLINS AVENUE, MIAMI BEACH, FL 33139

SCALE: AS SHOWN
 SURVEYOR: COUNTY-WIDE
 DRAWN BY: N.B.
 CHECKED BY: J.L.M.
 AS-BUILT:
 DATE: 01/10/2026
 DRE PROJECT No: 24-24911
 SHEET No: 1 of 1

SURVEY



Digitally signed by Allan Shulman
 Date: 2026.02.07 00:43:27 -05'00'

COMMERCIAL - ZONING DATA SHEET

ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY RESULT IN A FAILED REVIEW

ITEM #	Project Information				
1	Address: 1680 Collins Ave. Miami Beach, FL 33139	Folio number(s):	02-3234-019-0630	Year built:	1948
2	Board file number(s), Determination of Architectural Significance:	HPB 25-0683, Contributing	Lot Area:	17,902 sf	
3	Located within a Local Historic District (Yes or No): Yes	Zoning District:	CD-3	Lot width:	75 ft
4	Individual Historic Site (Yes or No):	Yes	Lot Depth:	238'-8"	
5	Base Flood Elevation:	8.00' NGVD	Grade value in NGVD:	5.58' (a) 4.80' (b)	
6	Adjusted grade (BFE+Grade / 2):	N/A	Free board:	5'-0"	
7	Proposed Use:	Hotel			
8	Proposed Accessory Use:	Restaurant Accessory to Hotel Use			
9	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan):	Yes, provided			
ZONING INFORMATION / CALCULATION		Required	Existing	Proposed	Deficiencies
13	Floor Area Ratio (FAR)	44755 sf	32,970 sf	44,755 sf	
14	Building Height	55 ft (c)	40 ft	43 ft (d) 55' (e)	
15	At grade parking lot on the same lot				
a	Front setbacks	N/A	N/A	N/A	
b	Side interior setback	N/A	N/A	N/A	
c	Side facing street setback	N/A	N/A	N/A	
d	Rear setback	N/A	N/A	N/A	
16	Subterranean, Pedestal & Tower (non-Oceanfront)	Required	Existing	Proposed	Deficiencies
a	Front setbacks	0'-0"	20'-3" (f) 24'-3" (g)	20'-3" (f) 5'-0" (g)	
b	Side interior setback	0'-0"	5'-0"	5'-0"	
c	Side facing street setback	0'-0"	0'-0"	0'-0"	
d	Rear setback	N/A (h)	N/A (h)	N/A (h)	
17	Subterranean, Pedestal & Tower (non-Oceanfront)	Required	Existing	Proposed	Deficiencies
a	Front setbacks	N/A	N/A	N/A	
b	Side interior setback	N/A	N/A	N/A	
c	Side facing street setback	N/A	N/A	N/A	
d	Rear setback	N/A	N/A	N/A	
18	Minimum Apartment Unit Size	Required	Existing	Proposed	Deficiencies
a	New Construction	N/A	N/A	N/A	
b	Rehabilitated Buildings	200 SF (i)	270 SF	270 SF	
c	Hotel Unit	335 SF	N/A	335 SF	
19	Average Apartment Unit Size	Required	Existing	Proposed	Deficiencies
a	New Construction	N/A	N/A	N/A	
b	Rehabilitated Buildings	N/A	N/A	N/A	
c	Hotel Unit	N/A	N/A	N/A	
20	Required Open-space ratio (RPS, CPS)	N/A	N/A	N/A	
21	Parking	23	3	0	
22	Loading	3	0	2 (j)	

Notes: Indicate N/A if not applicable.

Bicycle Off-Street Parking Requirements

Land Use = Hotel

Short Term Parking Spaces

Required 1 per 10 new rooms
46 new rooms =
5 spaces required

Provided 6 spaces provided

Long Term Parking Spaces

Required 1 per 20 new rooms
46 new rooms =
3 spaces required

Provided 3 spaces provided

- (a) Grade on Collins Ave
- (b) Grade on James Ave
- (c) Per Resiliency Code Section 7.2.12.3.a Building Height (3)
- (d) Height on Collins Ave
- (e) Height on James Ave
- (f) Setback on Collins Ave frontage
- (g) Setback on James Ave frontage
- (h) No rear setback. Lot is a through lot with 2 frontages
- (i) Per Resiliency Code Section 7.2.12.3.a Building Height (4)
- (j) Provided as on street parking spaces on James Ave. with HPB Approval

DRAWING LIST

G-1.00 COVER

SURVEY

- G-1.01 ZONING DATA AND DRAWING LIST
- G-1.02 LOCATION MAP
- G-1.03 ZONING & HISTORIC DISTRICT MAP
- G-1.04 1/2 MILE RADIUS
- G-1.05 EXISTING FLOOR AREA DIAGRAMS
- G-1.06 PROPOSED FLOOR AREA DIAGRAMS
- G-1.07 UNIT COUNT PLAN
- G-1.08 SITE PLAN

- G-1.09 SAN JUAN HOTEL IN CONTEXT
- G-1.10 SAN JUAN HOTEL IN CONTEXT
- G-1.11 EXISTING EXTERIOR IMAGES
- G-1.12 EXISTING EXTERIOR IMAGES
- G-1.13 EXISTING EXTERIOR IMAGES
- G-1.14 EXISTING EXTERIOR IMAGES
- G-1.15 EXISTING EXTERIOR IMAGES
- G-1.16 EXISTING INTERIOR IMAGES
- G-1.17 EXISTING INTERIOR IMAGES
- G-1.18 EXISTING INTERIOR IMAGES
- G-1.19 EXISTING INTERIOR IMAGES
- G-1.20 EXISTING INTERIOR IMAGES
- G-1.21 EXISTING INTERIOR IMAGES
- G-1.22 CONTEXT IMAGES
- G-1.23 CONTEXT IMAGES
- G-1.24 CONTEXT IMAGES
- G-1.25 CONTEXT IMAGES
- G-1.26 CONTEXT IMAGES
- G-1.27 CONTEXT IMAGES
- G-1.28 CONTEXT IMAGES

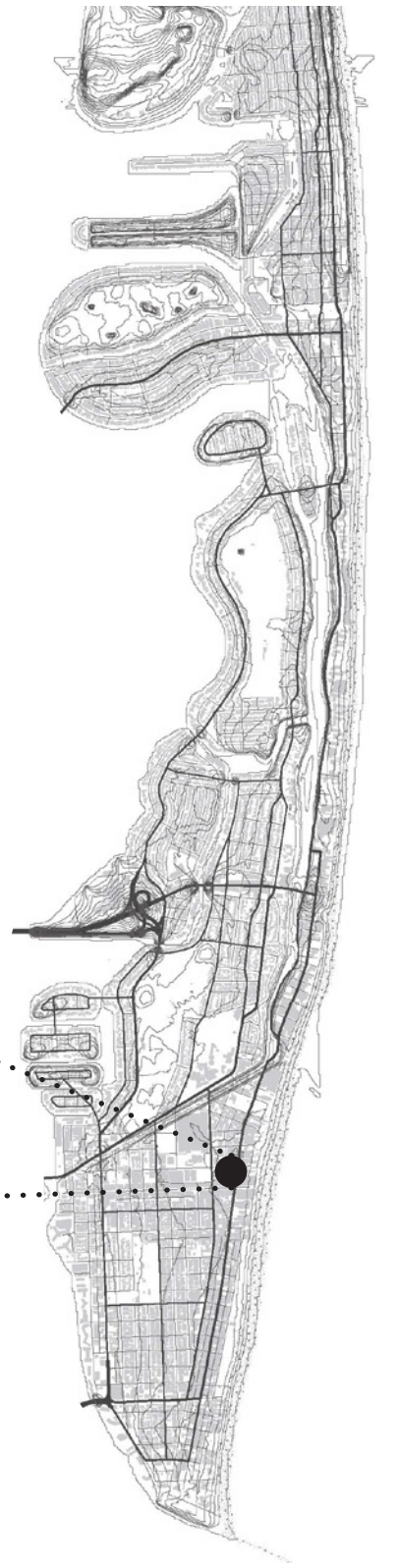
- AB-1.00 AS BUILT GROUND / BASEMENT PLAN
- AB-1.01 AS BUILT LOBBY PLAN
- AB-1.02 AS BUILT LOBBY ELEVATIONS
- AB-1.03 AS BUILT SECOND/ THIRD FLOOR PLAN
- AB-1.04 AS BUILT PENTHOUSE/ ROOF PLAN
- AB-2.05 EXISTING ELEVATIONS

- D-1.00 DEMOLITION GROUND FLOOR PLAN
- D-1.01 DEMOLITION LOBBY PLAN
- D-1.02 DEMOLITION LOBBY ELEVATIONS
- D-1.03 DEMOLITION BASEMENT PLAN
- D-1.04 DEMOLITION SECOND + THIRD PLAN
- D-1.05 DEMOLITION ROOF + PENTHOUSE PLAN
- D-2.00 DEMOLITION NORTH + SOUTH ELEVATION
- D-2.01 DEMOLITION EAST + WEST ELEVATION
- D-2.02 DEMOLITION NORTH ELEVATION
- D-2.03 DEMOLITION EAST ELEVATION

- A-1.00 GROUND FLOOR PLAN
- A-1.01 LOBBY + PORCH PLAN
- A-1.02 BASEMENT PLAN
- A-1.03 SECOND FLOOR PLAN
- A-1.04 THIRD FLOOR PLAN
- A-1.05 FOURTH FLOOR PLAN
- A-1.06 FIFTH FLOOR PLAN
- A-1.07 ROOF DECK PLAN
- A-1.08 ROOF DECK CALCULATIONS
- A-1.09 UNISEX RESTROOM PLANS
- A-1.10 CANOPY ON JAMES AVENUE
- A-2.00 BUILDING ELEVATIONS
- A-2.01 BUILDING ELEVATIONS
- A-2.02 BUILDING ELEVATIONS
- A-3.00 BUILDING SECTIONS
- A-3.01 BUILDING SECTIONS
- A-3.02 BUILDING SECTIONS
- A-4.00 PERSPECTIVE VIEW
- A-4.01 PERSPECTIVE VIEW
- A-4.02 PERSPECTIVE VIEW
- A-4.03 PERSPECTIVE VIEW
- A-4.04 PERSPECTIVE VIEW
- A-4.05 PERSPECTIVE VIEW
- A-4.06 PERSPECTIVE VIEW
- A-4.07 AERIAL VIEW

- A-5.00 CONTEXT ELEVATIONS
- A-5.01 LINE OF SIGHT ANALYSIS
- A-5.02 LINE OF SIGHT ANALYSIS
- A-5.03 PROPOSED MATERIALS
- A-5.04 MATERIALITY - GLASS BLOCK
- A-6.00 SIGNAGE - COLLINS AVENUE
- A-6.01 SIGNAGE - HISTORIC POLE SIGN LOCATION
- A-6.02 SIGNAGE - JAMES AVENUE
- A-6.03 NIGHT SIGNAGE REPRESENTATION
- A-6.04 NIGHT SIGNAGE REPRESENTATION
- A-6.05 TIMELINE DIAGRAM
- A-6.06 FACADE AREA CALCULATIONS
- A-6.07 RESIDENTIAL SETBACK SURVEY
- A-6.08 RESIDENTIAL SETBACK SURVEY

G-1.01 ZONING DATA AND DRAWING LIST



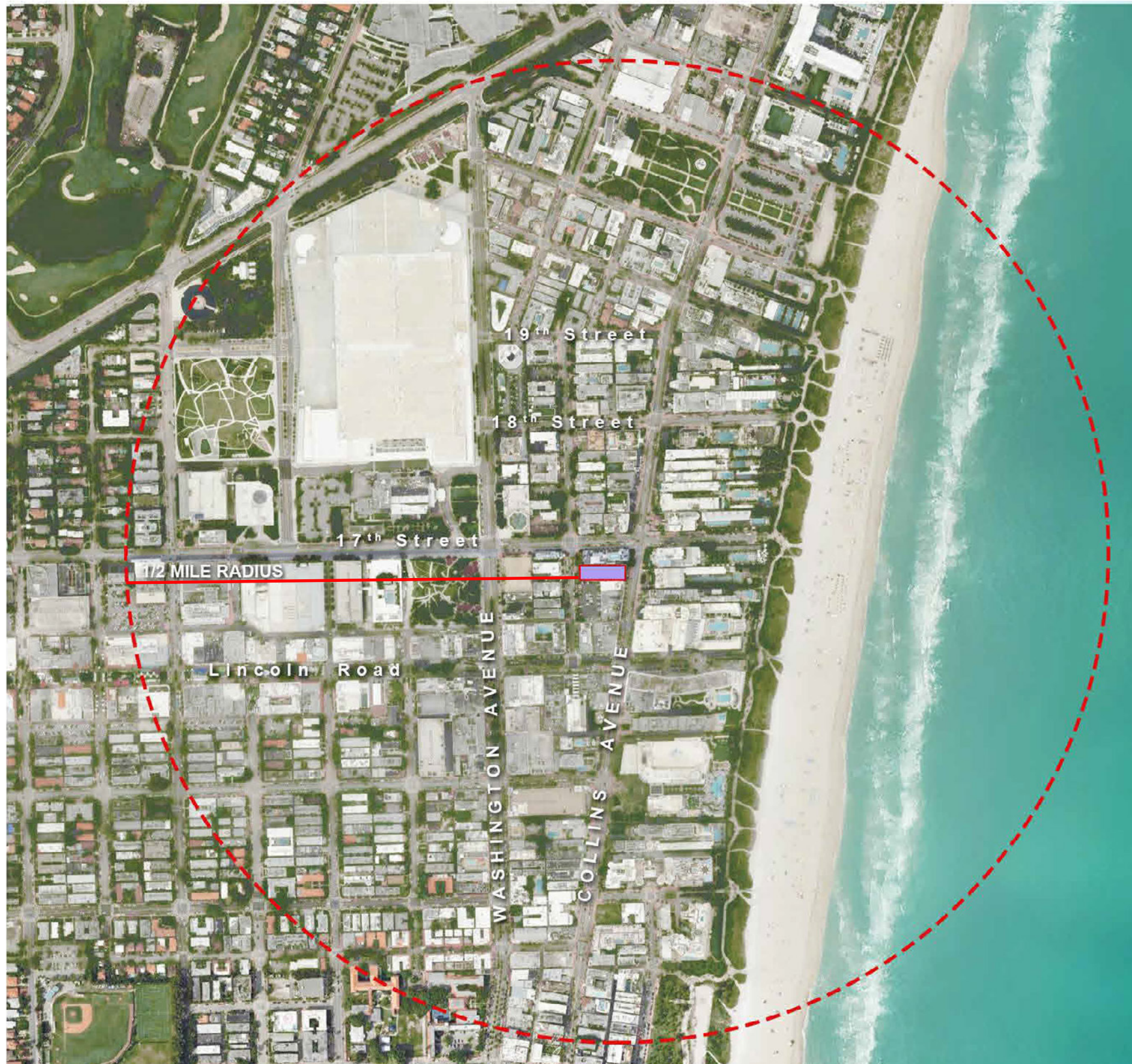
G-1.02 LOCATION MAP

Shulman + Associates

Allan Shulman
 Digitally signed by Allan Shulman
 Date: 2026.02.07 00:45:08 -05'00'

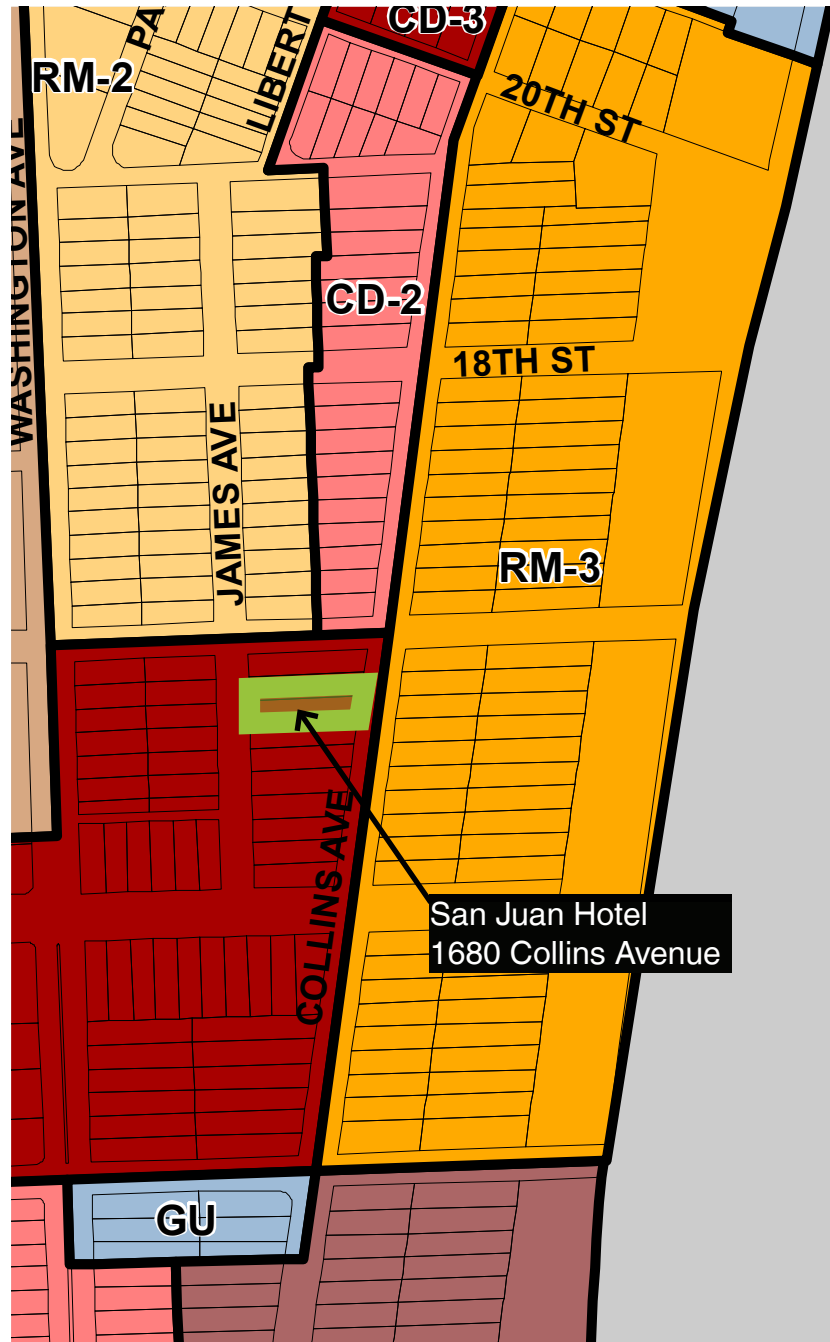


Scale = NTS



G-1.03 AERIAL OF 1/2 MILE RADIUS

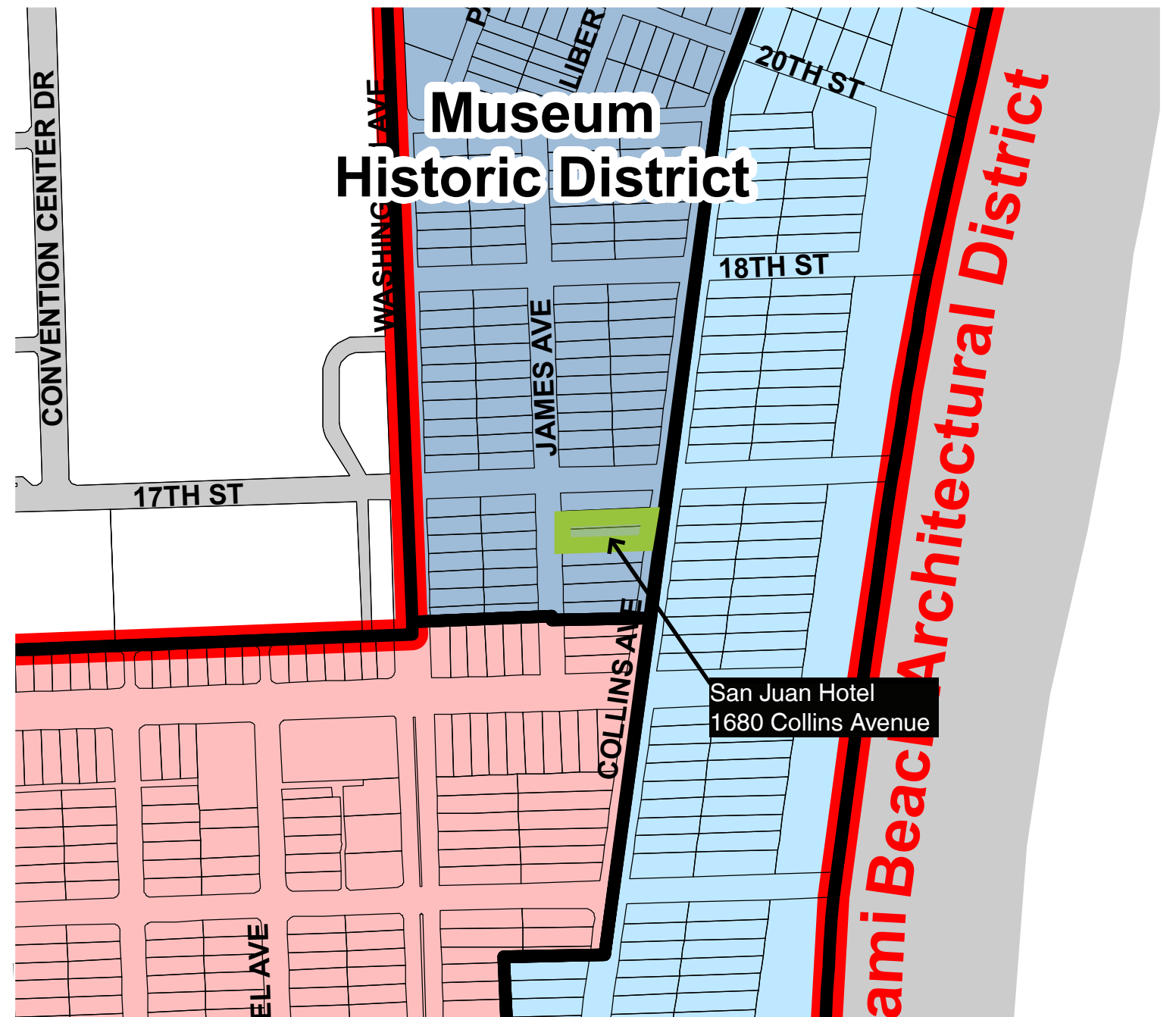




ZONING MAP

 CD-3 Zoning District

 Site

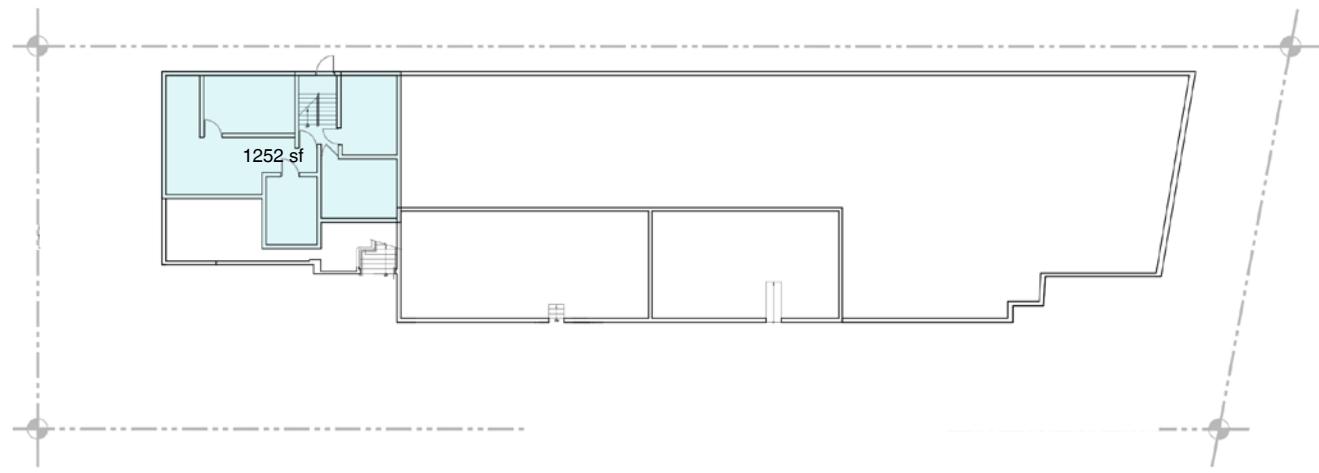


HISTORIC DISTRICT MAP

 Museum Historic District (Local)

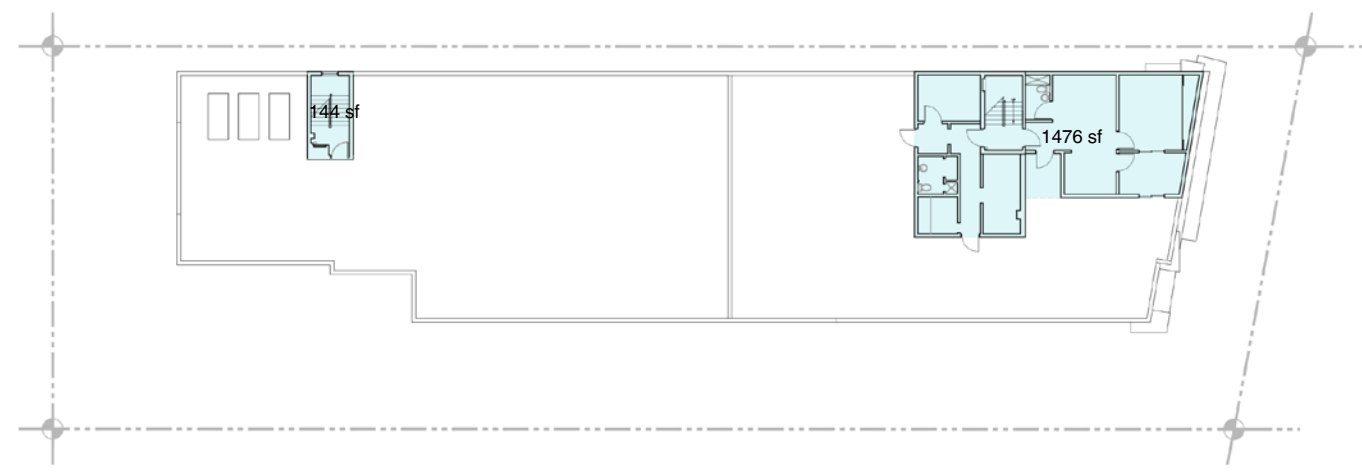
 Miami Beach Architectural District (National)
 Overlay District Art Deco MIMO Commercial Character Overlay

G-1.04- ZONING AND HISTORIC DISTRICT MAP

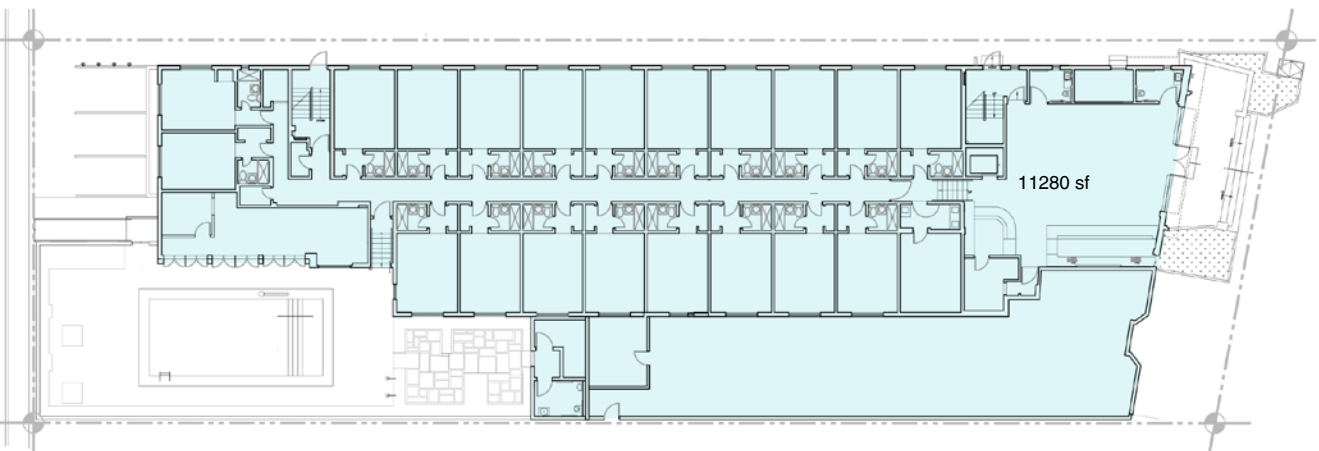


Floor area counted at half = 1252 sf / 2 = 626 sf

Basement = **626 sf**



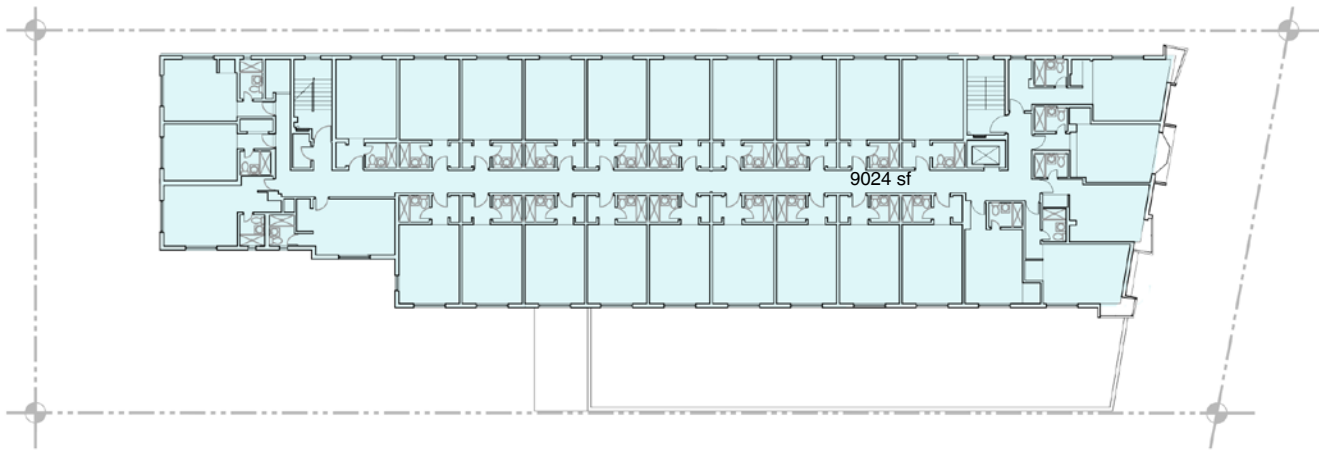
Fourth Floor = **1620 sf**



Ground Floor = **11280 sf**



Roof = **0 sf**

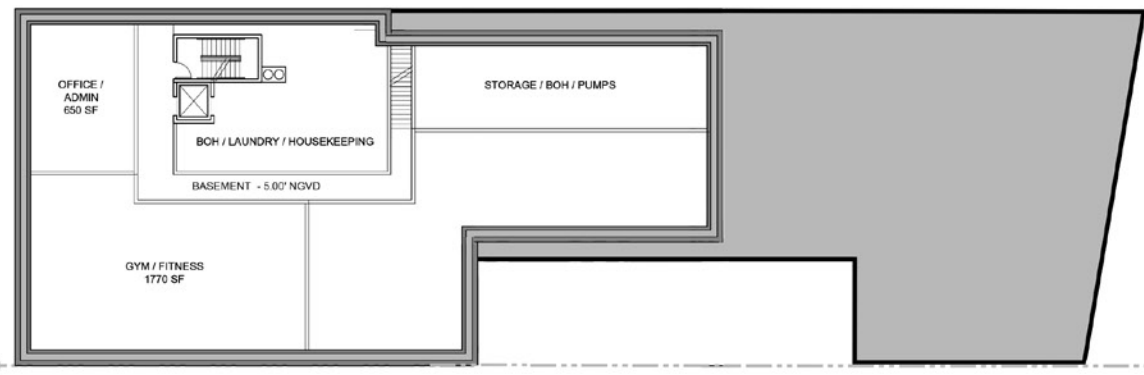


Second & Third Floors = **9024 sf**

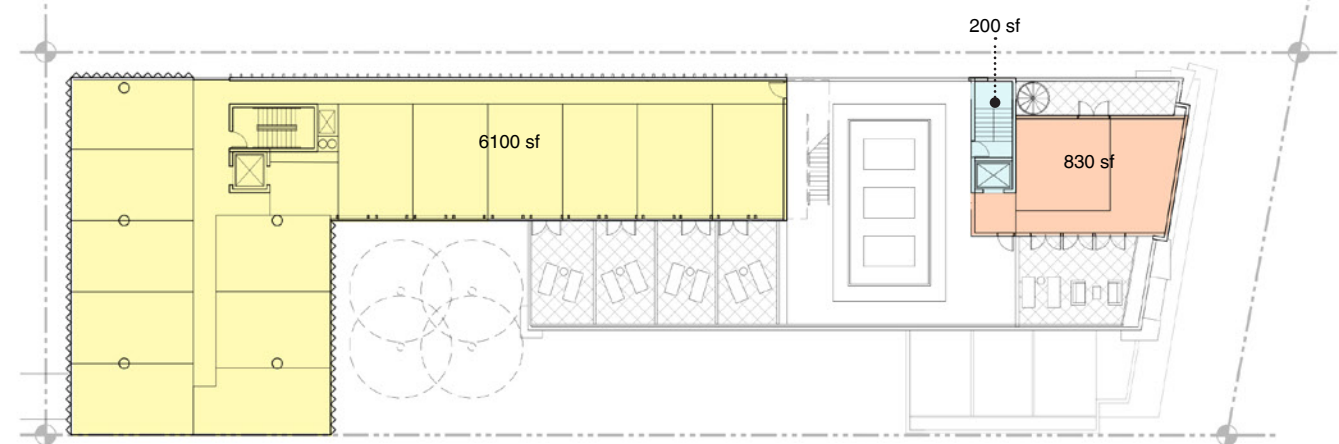
Basement = **626**
 Ground Floor = **11280**
 Second Floor = **9024**
 Third Floor = **9024**
 Fourth Floor = **1620**
 Roof = **0**

Existing Floor Area = 31574 sf
Allowable Floor Area = 44755 sf

G-1.05 EXISTING FLOOR AREA DIAGRAMS



Basement = 6850 sf not counted towards floor area. Top of the slab of the ceiling located below grade. Per Resiliency Code section 1.2.1 Floor area (i) **Basement = 0 sf**



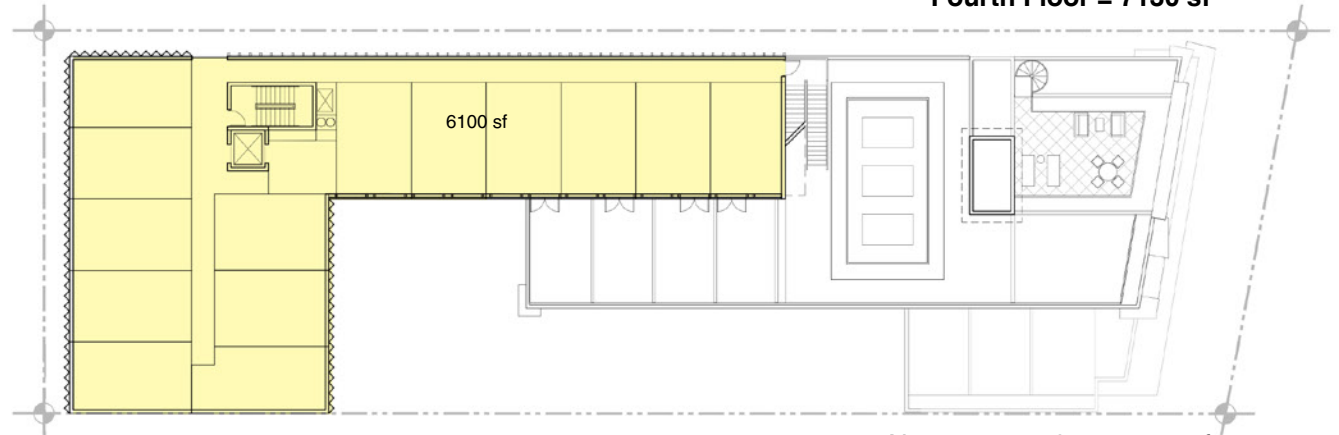
Existing to Remain = 200 sf
Existing to be reconstructed = 830 sf
New construction = 6100 sf

Fourth Floor = 7130 sf



Existing to Remain = 4490 sf
Existing to be reconstructed within existing exterior walls = 2730 sf
New construction = 2630 sf

Ground Floor = 9850 sf



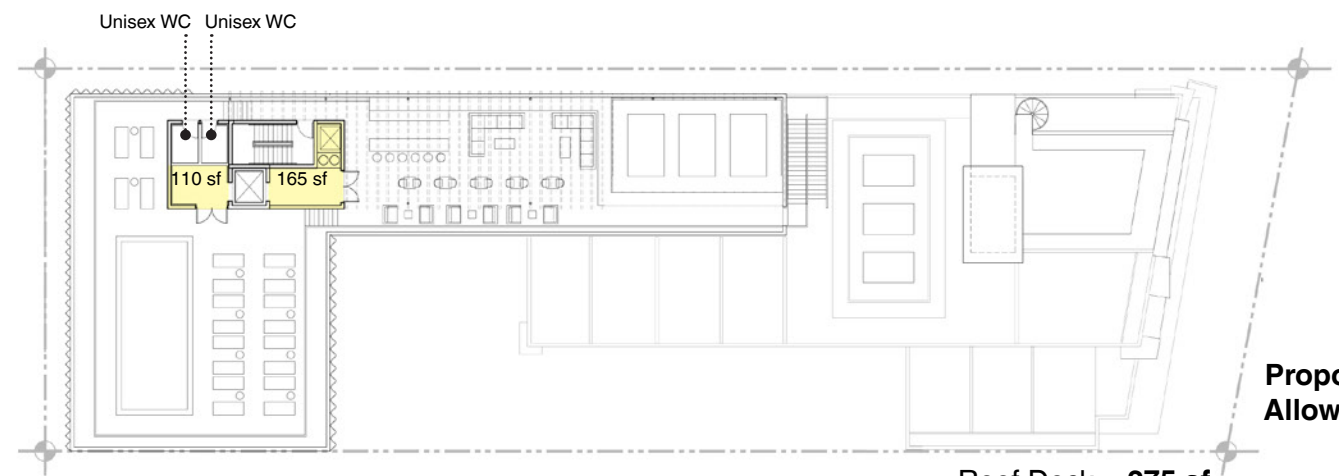
New construction = 6100 sf

Fifth Floor = 6100 sf



Existing to Remain = 4490 sf
Existing to be reconstructed within existing exterior walls = 2730 sf
New construction = 2630 sf

Second & Third Floors = 10700 sf



Roof Deck = 275 sf

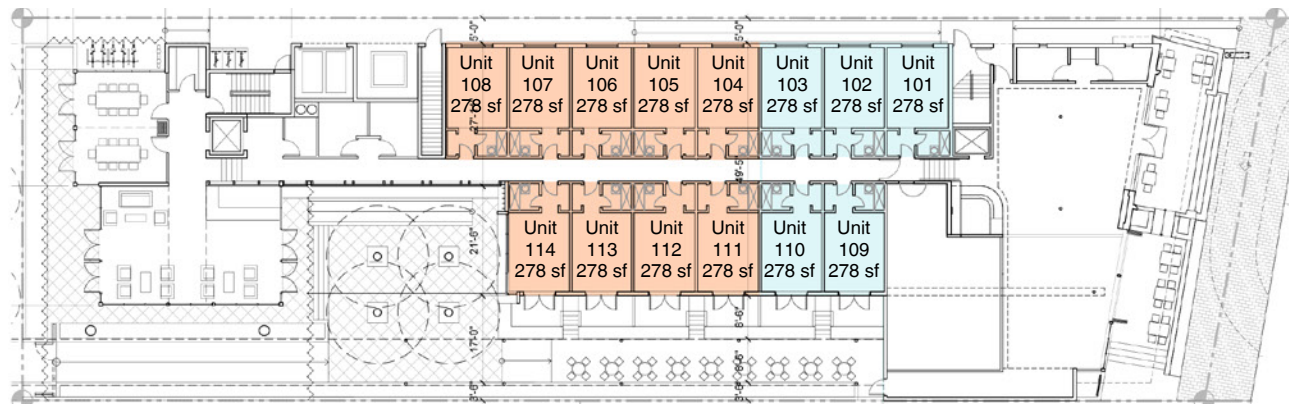
- Basement = 0
- Ground Floor = 9850
- Second Floor = 10700
- Third Floor = 10700
- Fourth Floor = 7130
- Fifth Floor = 6100
- Roof Deck = 275

Proposed Floor Area = 44755 sf
Allowable Floor Area = 44755 sf

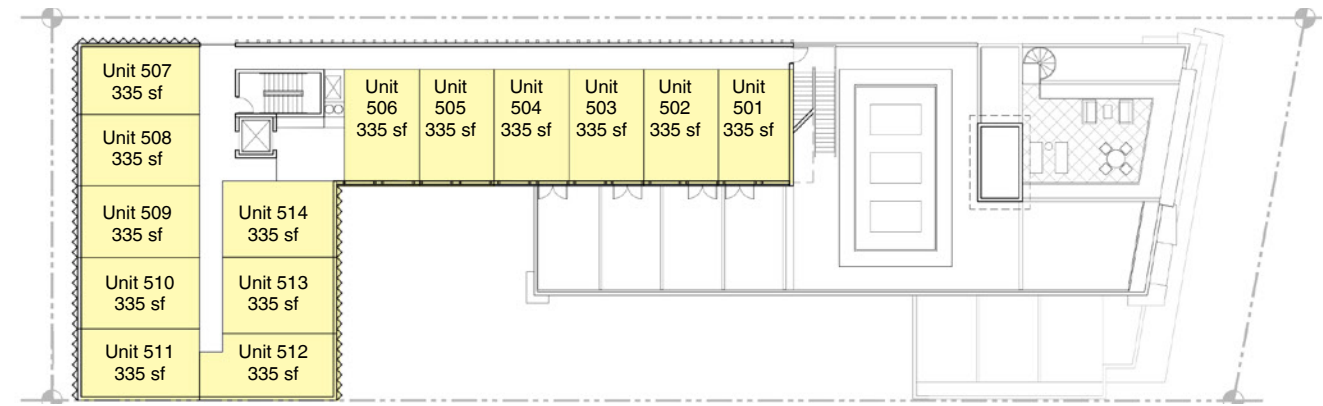
- Existing to remain
- Existing to be reconstructed within existing exterior walls
- New Construction
- Not counted towards floor area

G-1.06 PROPOSED FLOOR AREA DIAGRAMS

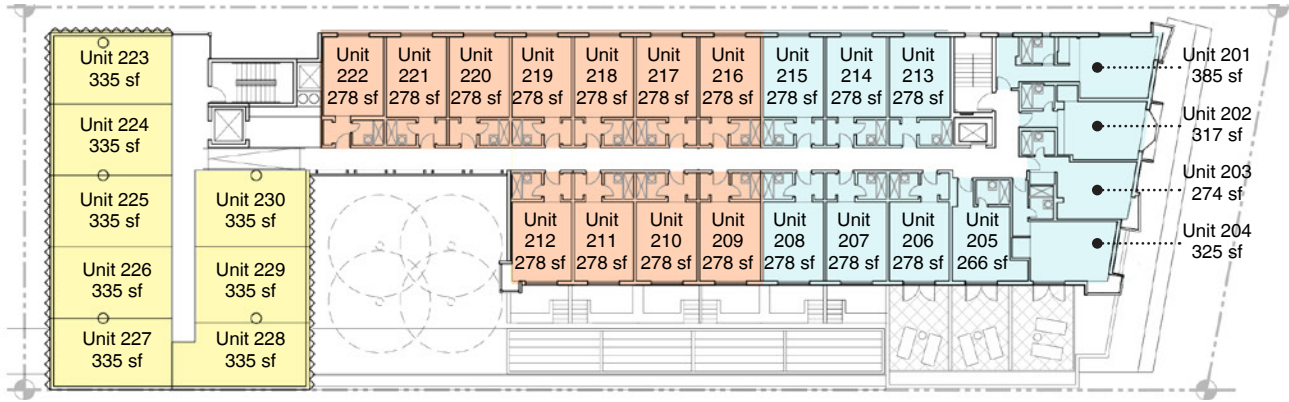
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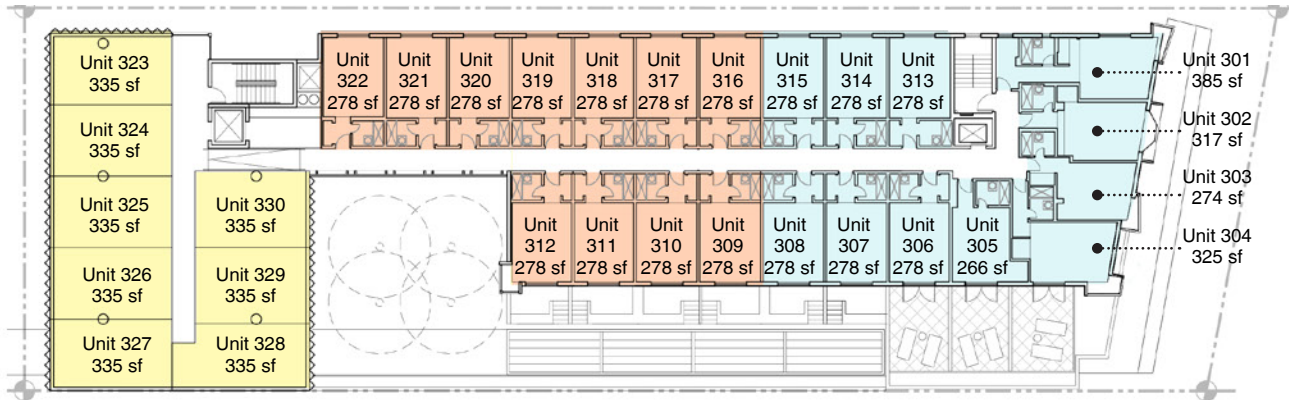
Ground Floor - 14 hotel units



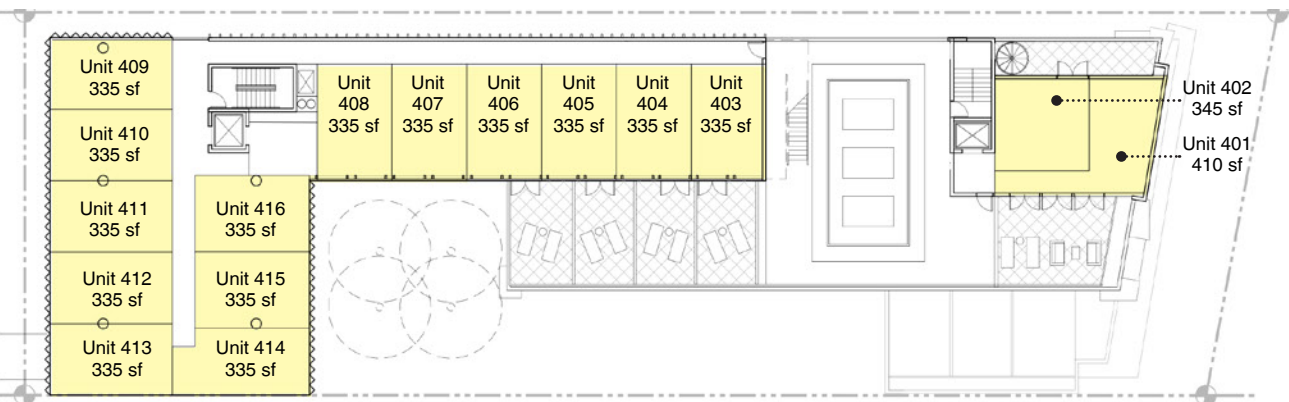
Fifth Floor - 14 hotel units



Second Floor - 30 hotel units



Third Floor - 30 hotel units

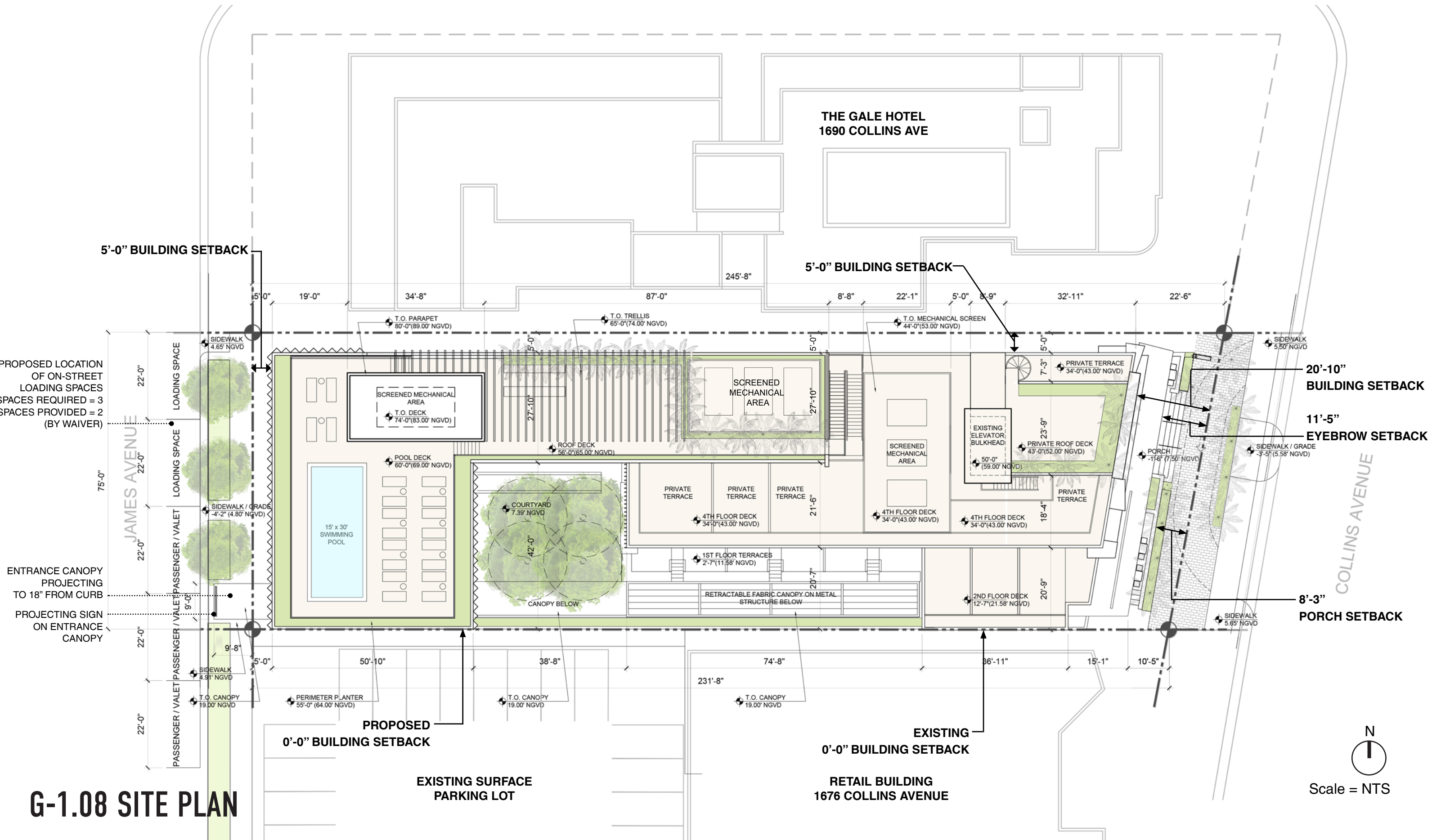


Fourth Floor - 16 hotel units

UNIT AREA SCHEDULE				UNIT AREA SCHEDULE				UNIT AREA SCHEDULE			
LEVEL	ROOM #	AREA	ROOM TYPE	LEVEL	ROOM #	AREA	ROOM TYPE	LEVEL	ROOM #	AREA	ROOM TYPE
GROUND FLOOR	101	278 SF	EXISTING TO REMAIN	THIRD FLOOR	301	385 SF	EXISTING TO REMAIN	FOURTH FLOOR	401	345 SF	NEW
GROUND FLOOR	102	278 SF	EXISTING TO REMAIN	THIRD FLOOR	302	317 SF	EXISTING TO REMAIN	FOURTH FLOOR	402	410 SF	NEW
GROUND FLOOR	103	278 SF	EXISTING TO REMAIN	THIRD FLOOR	303	274 SF	EXISTING TO REMAIN	FOURTH FLOOR	403	335 SF	NEW
GROUND FLOOR	104	278 SF	EXISTING TO REMAIN	THIRD FLOOR	304	325 SF	EXISTING TO REMAIN	FOURTH FLOOR	404	335 SF	NEW
GROUND FLOOR	105	278 SF	EXISTING TO REMAIN	THIRD FLOOR	305	266 SF	EXISTING TO REMAIN	FOURTH FLOOR	405	335 SF	NEW
GROUND FLOOR	106	278 SF	EXISTING TO REMAIN	THIRD FLOOR	306	278 SF	EXISTING TO REMAIN	FOURTH FLOOR	406	335 SF	NEW
GROUND FLOOR	107	278 SF	EXISTING TO REMAIN	THIRD FLOOR	307	278 SF	EXISTING TO REMAIN	FOURTH FLOOR	407	335 SF	NEW
GROUND FLOOR	108	278 SF	EXISTING TO REMAIN	THIRD FLOOR	308	278 SF	EXISTING TO REMAIN	FOURTH FLOOR	408	335 SF	NEW
GROUND FLOOR	109	278 SF	EXISTING TO REMAIN	THIRD FLOOR	309	278 SF	EXISTING TO BE RECONSTRUCTED	FOURTH FLOOR	409	335 SF	NEW
GROUND FLOOR	110	278 SF	EXISTING TO REMAIN	THIRD FLOOR	310	278 SF	EXISTING TO BE RECONSTRUCTED	FOURTH FLOOR	410	335 SF	NEW
GROUND FLOOR	111	278 SF	EXISTING TO REMAIN	THIRD FLOOR	311	278 SF	EXISTING TO BE RECONSTRUCTED	FOURTH FLOOR	411	335 SF	NEW
GROUND FLOOR	112	278 SF	EXISTING TO REMAIN	THIRD FLOOR	312	278 SF	EXISTING TO BE RECONSTRUCTED	FOURTH FLOOR	412	335 SF	NEW
GROUND FLOOR	113	278 SF	EXISTING TO REMAIN	THIRD FLOOR	313	278 SF	EXISTING TO REMAIN	FOURTH FLOOR	413	335 SF	NEW
GROUND FLOOR	114	278 SF	EXISTING TO REMAIN	THIRD FLOOR	314	278 SF	EXISTING TO REMAIN	FOURTH FLOOR	414	335 SF	NEW
SECOND FLOOR	201	385 SF	EXISTING TO REMAIN	THIRD FLOOR	315	278 SF	EXISTING TO REMAIN	FOURTH FLOOR	415	335 SF	NEW
SECOND FLOOR	202	317 SF	EXISTING TO REMAIN	THIRD FLOOR	316	278 SF	EXISTING TO BE RECONSTRUCTED	FOURTH FLOOR	416	335 SF	NEW
SECOND FLOOR	203	274 SF	EXISTING TO REMAIN	THIRD FLOOR	317	278 SF	EXISTING TO BE RECONSTRUCTED				
SECOND FLOOR	204	325 SF	EXISTING TO REMAIN	THIRD FLOOR	318	278 SF	EXISTING TO BE RECONSTRUCTED				
SECOND FLOOR	205	266 SF	EXISTING TO REMAIN	THIRD FLOOR	319	278 SF	EXISTING TO BE RECONSTRUCTED	FIFTH FLOOR	501	335 SF	NEW
SECOND FLOOR	206	278 SF	EXISTING TO REMAIN	THIRD FLOOR	320	278 SF	EXISTING TO BE RECONSTRUCTED	FIFTH FLOOR	502	335 SF	NEW
SECOND FLOOR	207	278 SF	EXISTING TO REMAIN	THIRD FLOOR	321	278 SF	EXISTING TO BE RECONSTRUCTED	FIFTH FLOOR	503	335 SF	NEW
SECOND FLOOR	208	278 SF	EXISTING TO REMAIN	THIRD FLOOR	322	278 SF	EXISTING TO BE RECONSTRUCTED	FIFTH FLOOR	504	335 SF	NEW
SECOND FLOOR	209	278 SF	EXISTING TO BE RECONSTRUCTED	THIRD FLOOR	323	335 SF	NEW	FIFTH FLOOR	505	335 SF	NEW
SECOND FLOOR	210	278 SF	EXISTING TO BE RECONSTRUCTED	THIRD FLOOR	324	335 SF	NEW	FIFTH FLOOR	506	335 SF	NEW
SECOND FLOOR	211	278 SF	EXISTING TO BE RECONSTRUCTED	THIRD FLOOR	325	335 SF	NEW	FIFTH FLOOR	507	335 SF	NEW
SECOND FLOOR	212	278 SF	EXISTING TO BE RECONSTRUCTED	THIRD FLOOR	326	335 SF	NEW	FIFTH FLOOR	508	335 SF	NEW
SECOND FLOOR	213	278 SF	EXISTING TO REMAIN	THIRD FLOOR	327	335 SF	NEW	FIFTH FLOOR	509	335 SF	NEW
SECOND FLOOR	214	278 SF	EXISTING TO REMAIN	THIRD FLOOR	328	335 SF	NEW	FIFTH FLOOR	510	335 SF	NEW
SECOND FLOOR	215	278 SF	EXISTING TO REMAIN	THIRD FLOOR	329	335 SF	NEW	FIFTH FLOOR	511	335 SF	NEW
SECOND FLOOR	216	278 SF	EXISTING TO BE RECONSTRUCTED	THIRD FLOOR	330	335 SF	NEW	FIFTH FLOOR	512	335 SF	NEW
SECOND FLOOR	217	278 SF	EXISTING TO BE RECONSTRUCTED					FIFTH FLOOR	513	335 SF	NEW
SECOND FLOOR	218	278 SF	EXISTING TO BE RECONSTRUCTED					FIFTH FLOOR	514	335 SF	NEW
SECOND FLOOR	219	278 SF	EXISTING TO BE RECONSTRUCTED								
SECOND FLOOR	220	278 SF	EXISTING TO BE RECONSTRUCTED								
SECOND FLOOR	221	278 SF	EXISTING TO BE RECONSTRUCTED								
SECOND FLOOR	222	278 SF	EXISTING TO BE RECONSTRUCTED								
SECOND FLOOR	223	335 SF	NEW								
SECOND FLOOR	224	335 SF	NEW								
SECOND FLOOR	225	335 SF	NEW								
SECOND FLOOR	226	335 SF	NEW								
SECOND FLOOR	227	335 SF	NEW								
SECOND FLOOR	228	335 SF	NEW								
SECOND FLOOR	229	335 SF	NEW								
SECOND FLOOR	230	335 SF	NEW								

- Existing to remain
- Existing to be reconstructed
- New

G-1.07 UNIT COUNT PLANS

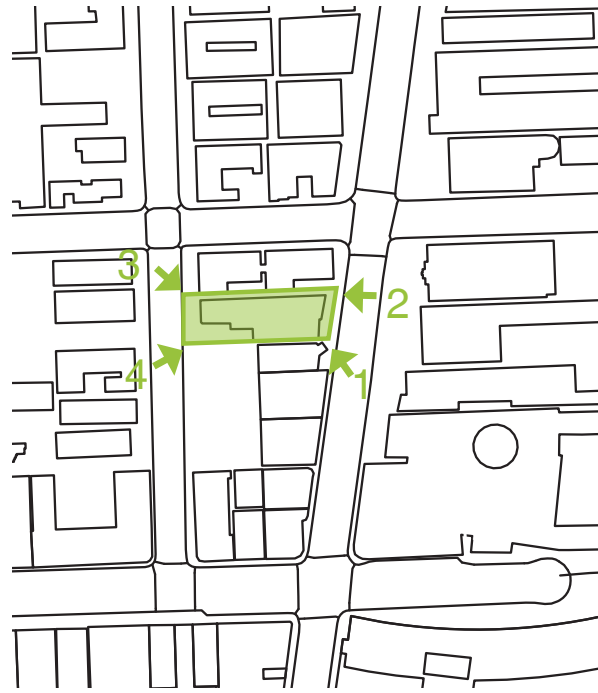


G-1.08 SITE PLAN

Shulman + Associates
 Allan Shulman
 Digitally signed by Allan Shulman
 Date: 2026.02.07 00:52:21 -05'00'



Scale = NTS



PHOTOS TAKEN OCTOBER 14, 2025



1



2



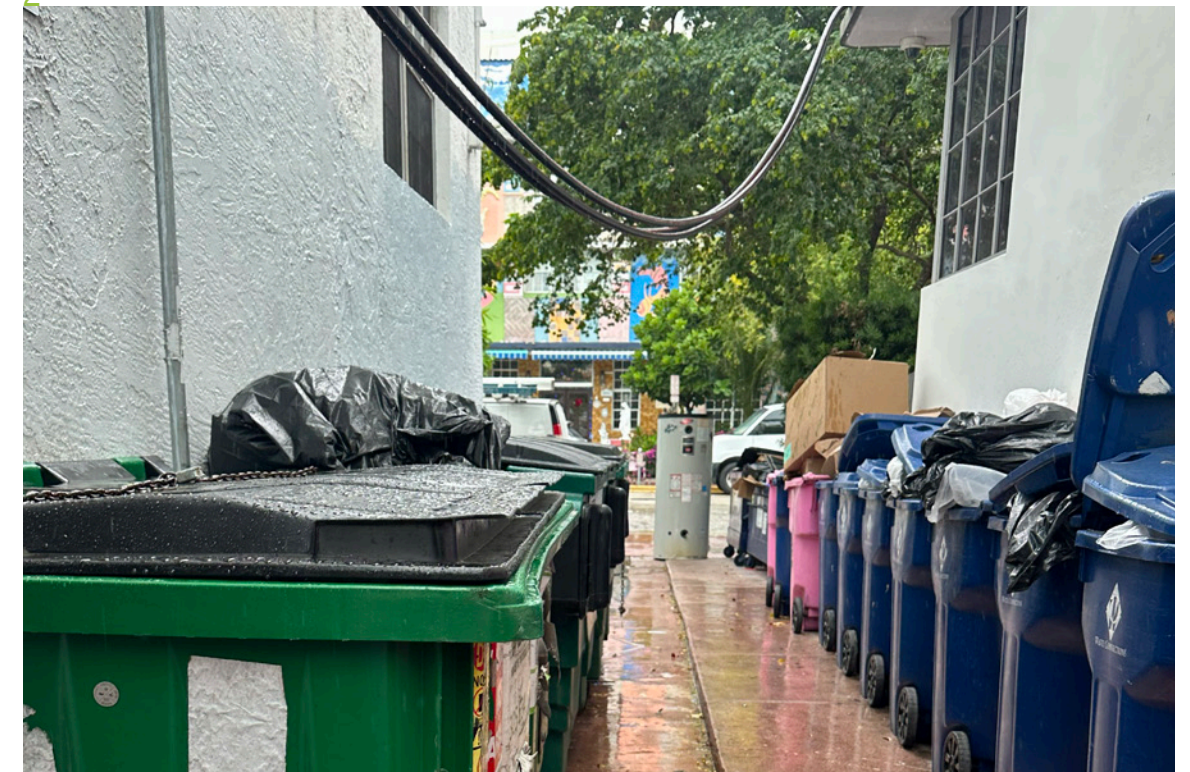
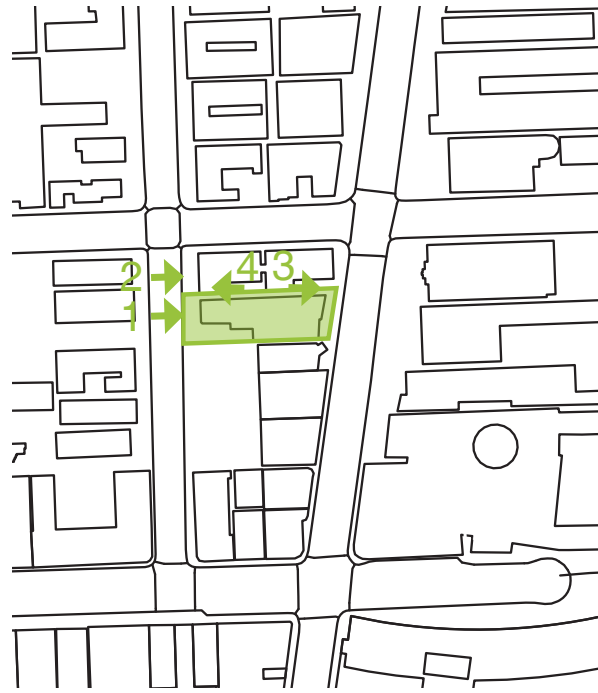
3



4

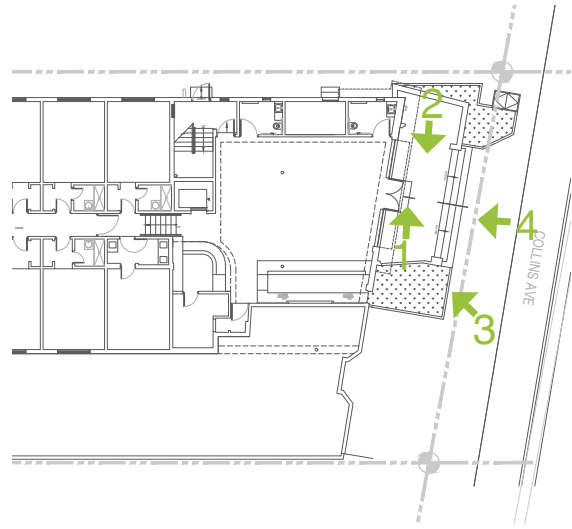
G-1.09 SAN JUAN HOTEL IN CONTEXT

Shulman + Associates
 Digitally signed by Allan Shulman
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PHOTOS TAKEN OCTOBER 14, 2025
(1,2) DECEMBER 15, 2025 (3,4)

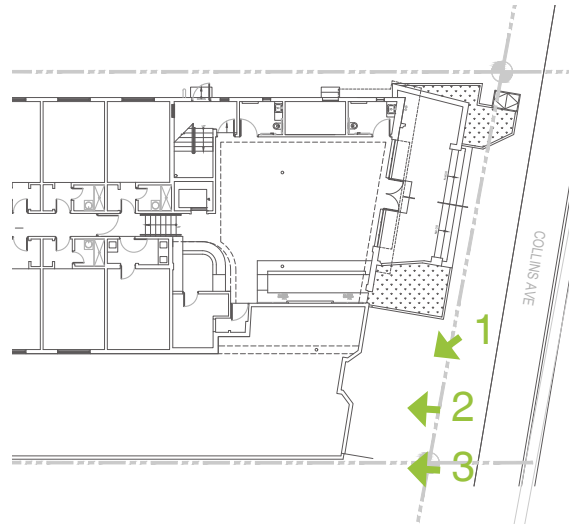
G-1.10 SAN JUAN HOTEL IN CONTEXT



PHOTOS TAKEN DECEMBER 15, 2025



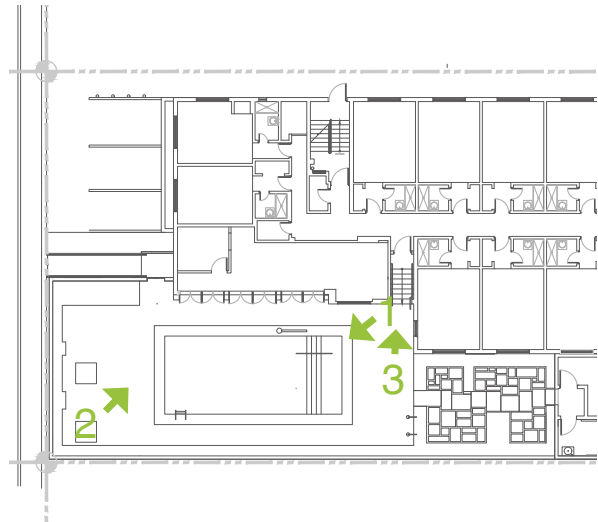
G-1.11 EXISTING EXTERIOR IMAGES - ENTRY



PHOTOS TAKEN OCTOBER 14, 2025
(1,3) DECEMBER 15, 2025 (2)



G-1.12 EXISTING EXTERIOR IMAGES - RETAIL SPACE



PHOTOS TAKEN DECEMBER 15, 2025



1



2



3

G-1.13 EXISTING EXTERIOR IMAGES - POOL

Shulman + Associates
 Digitally signed by Allan Shulman
 Date: 2026.02.07 00:56:41 -05'00'



PHOTOS TAKEN DECEMBER 15, 2025



1



2

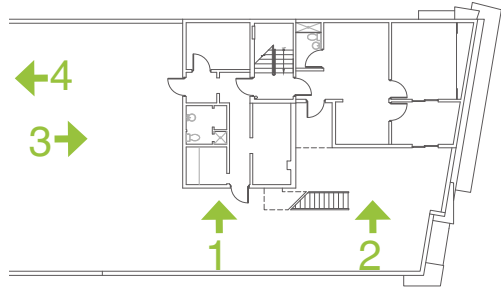


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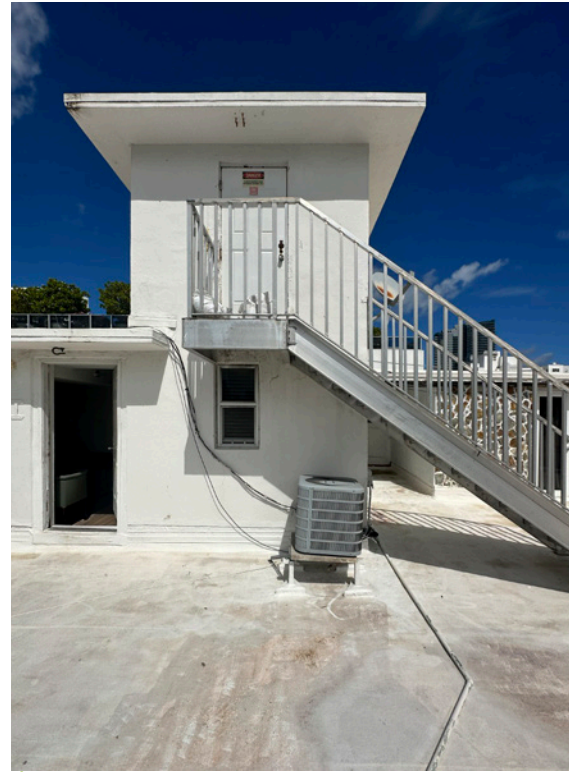


4

G-1.14 EXISTING EXTERIOR IMAGES - POOL



PHOTOS TAKEN OCTOBER 14, 2025



1



2

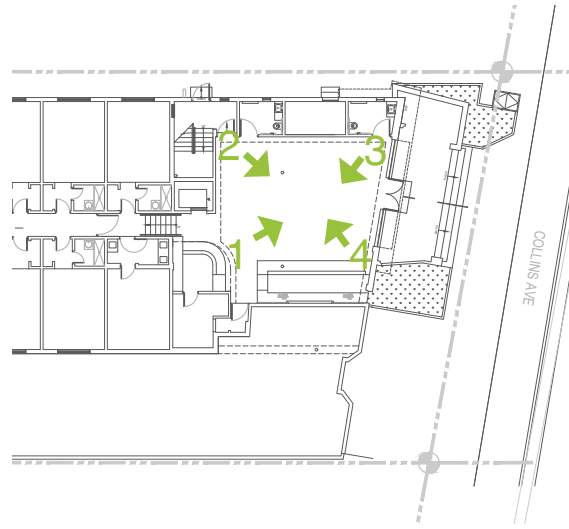


3



4

G-1.15 EXISTING EXTERIOR IMAGES - ROOFTOP



PHOTOS TAKEN OCTOBER 14, 2025 (4) / DECEMBER 15, 2025 (1,2,3)



1



2

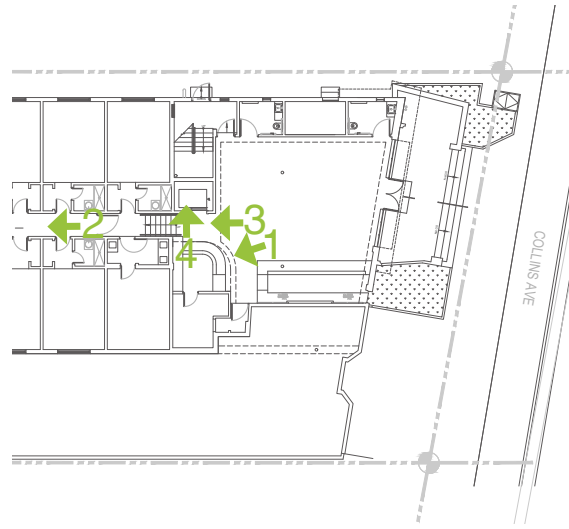


3



4

G-1.16 EXISTING INTERIOR IMAGES - LOBBY



PHOTOS TAKEN DECEMBER 15, 2025



1



2

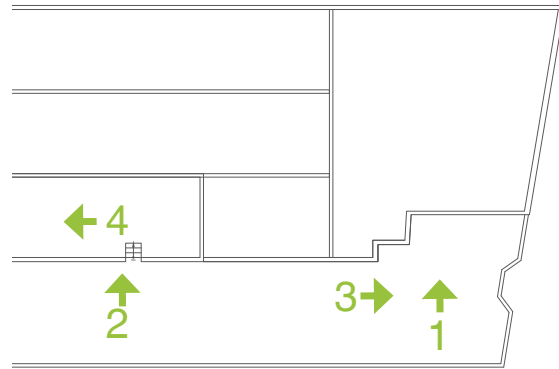


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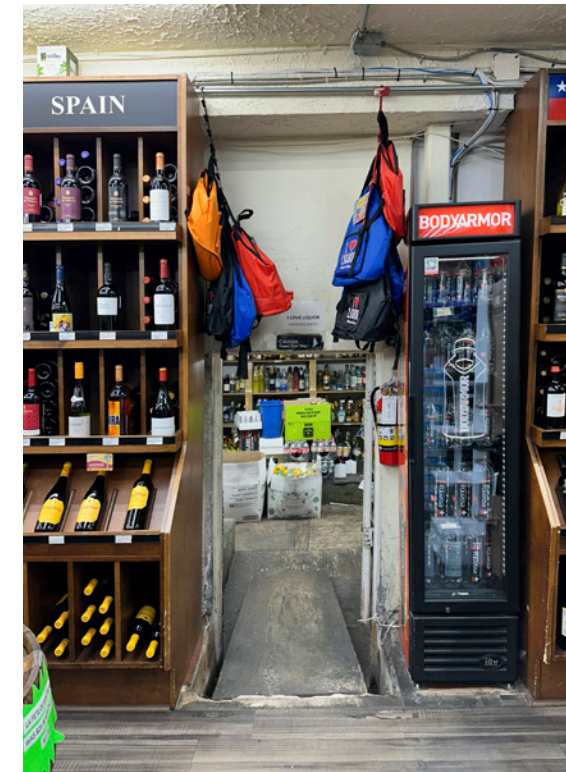
G-1.17 EXISTING INTERIOR IMAGES - LOBBY



PHOTOS TAKEN DECEMBER 15, 2025



1



2

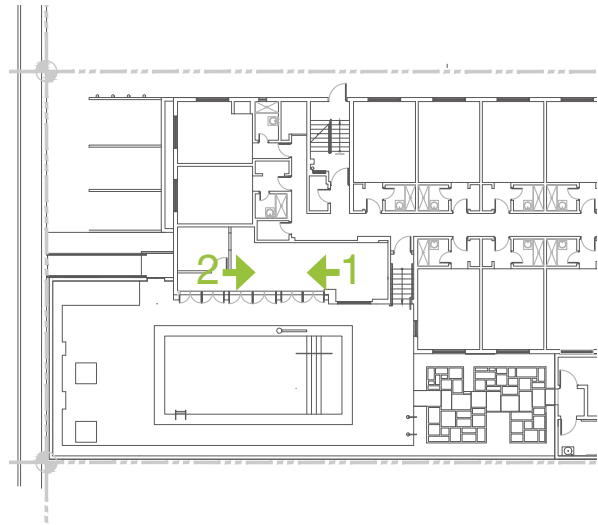


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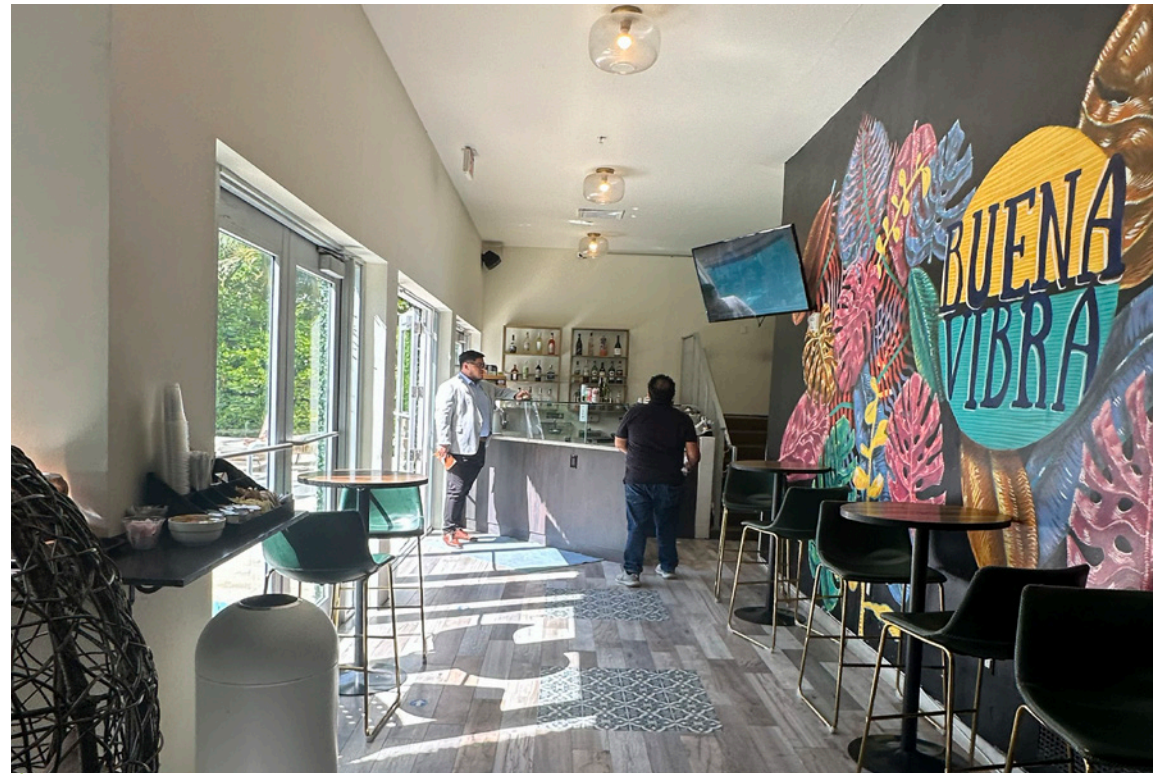


4

G-1.18 EXISTING INTERIOR IMAGES - RETAIL SPACE



PHOTOS TAKEN OCTOBER 14, 2025



1



2

G-1.19 EXISTING INTERIOR IMAGES- CAFE