

LEGAL DESCRIPTION

THAT PART OF LOTS 10 AND 11 OF BLOCK FIFTY-FOUR (54) IN FISHER'S FIRST SUBDIVISION OF ALTON BEACH, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 2, AT PAGE 77, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, WHICH PART IS DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY LINE OF LINCOLN ROAD AT A DISTANCE OF SEVENTY (70) FEET WEST FROM THE NORTHEAST CORNER OF LOT 9 OF BLOCK 54 (THE NORTHERLY LINE OF LOTS 9, 10 AND 11 AND THE SOUTHERLY LINE OF LINCOLN ROAD BEING IDENTICAL), THENCE RUN WESTERLY ALONG THE SOUTHERLY LINE OF LINCOLN ROAD A DISTANCE OF FORTY (40) FEET MORE OR LESS, TO A POINT DISTANT TEN (10) FEET WESTERLY FROM THE NORTHEAST CORNER OF LOT 11; THENCE RUN SOUTHERLY ALONG THE LINE PARALLEL WITH THE EASTERLY LINE OF LOT 11, ONE HUNDRED (100) FEET TO A POINT; THENCE RUN EASTWARDLY AND PARALLEL WITH THE SOUTHERLY LINE OF LINCOLN ROAD A DISTANCE OF FORTY (40) FEET MORE OR LESS, TO A POINT; THENCE RUN NORTHWARDLY AND PARALLEL WITH THE EASTERLY LINE OF LOT 11 ONE HUNDRED (100) FEET TO A POINT AT THE PLACE OF BEGINNING.

TOGETHER WITH A NON-EXCLUSIVE EASEMENT OVER THAT CERTAIN FIVE (5) FOOT STRIP OF LAND EXTENDING FROM THE SOUTH LINE OF THE ABOVE DESCRIBED PROPERTY SOUTHWARDLY TO THE SOUTH LINE OF A TWENTY (20) FOOT EASEMENT DESCRIBED AS THE SOUTH TWENTY (20) FEET OF THE NORTH HALF OF LOT FOUR (4), BLOCK FIFTY-FOUR (54) IN FISHER'S FIRST SUBDIVISION OF ALTON BEACH, ACCORDING TO PLAT THEREOF RECORDED IN PLAT BOOK 2, AT PAGE 77, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, THE SAID FIVE (5) FOOT STRIP OF LAND HEREIN REFERRED TO BEING BOUNDED ON THE WEST BY A LINE WHICH IS A CONTINUATION IN THE SOUTHERLY DIRECTION OF THE WEST LINE OF THE TRACT OF LAND HEREINABOVE DESCRIBED TO A POINT WHERE IT INTERSECTS WITH THE SOUTH LINE OF THE NORTH HALF OF LOT FOUR (4), BLOCK FIFTY-FOUR (54) AFORESAID, ON THE EAST BY A LINE PARALLEL TO AND FIVE (5) FEET EAST FROM THE SAID WEST LINE AS HEREIN DESCRIBED, ON THE SOUTH BY THE SOUTH LINE OF THE SAID NORTH HALF OF LOT FOUR (4), BLOCK FIFTY-FOUR (54) AFORESAID AND ON THE NORTH BY THE SOUTH LINE OF THE LANDS CONVEYED UNDER THIS DEED SUBJECT NEVERTHELESS TO THE RIGHTS OF 300 LINCOLN ROAD, INC. TO THE USE OF SAID EASEMENT, AS SET FORTH AND DEFINED UNDER LEASE AGREEMENT RECORDED IN DEED BOOK 0496, PAGE 588 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, THE GRANTORS HEREUNDER RESERVING UNTO THEMSELVES ALL RENTALS UNDER SAID LEASE.

ALSO TOGETHER WITH THE RIGHT TO USE JOINTLY WITH OTHER PARTIES CLAIMING BY, THROUGH OR UNDER THE GRANTORS, THAT CERTAIN EASEMENT CREATED OVER THE SOUTH TWENTY (20) FEET OF THE NORTH HALF OF LOT FOUR (4), BLOCK FIFTY-FOUR (54) AFORESAID, LYING BETWEEN THE WEST LINE OF THE FIVE (5) FOOT STRIP OF LAND HEREINABOVE DESCRIBED AND THE WEST LINE OF COLLINS AVENUE.

THAT PART OF LOT 9 OF BLOCK FIFTY-FOUR (54) IN FISHER'S FIRST SUBDIVISION OF ALTON BEACH, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 2, AT PAGE 77, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, WHICH PART IS DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY LINE OF LINCOLN ROAD THE SAID POINT BEING THE NORTHEAST CORNER OF LOT NINE (9) AFORESAID (THE SOUTHERLY LINE OF LINCOLN ROAD AND THE NORTHERLY LINE OF LOT NINE (9) BEING IDENTICAL); THENCE RUN WESTERLY ALONG THE SOUTHERLY LINE OF LINCOLN ROAD, A DISTANCE OF FORTY (40) FEET TO A POINT; THENCE RUN SOUTHERLY PARALLEL WITH THE DIVIDING LINE BETWEEN LOTS NINE (9) AND TEN (10), OF BLOCK FIFTY-FOUR (54) AFORESAID, ONE HUNDRED (100) FEET TO A POINT; THENCE RUN EASTWARDLY PARALLEL WITH THE SOUTHERLY LINE OF LINCOLN ROAD, A DISTANCE OF FORTY (40) FEET TO THE EAST LINE OF LOT NINE (9), BLOCK FIFTY-FOUR (54) AFORESAID; THENCE RUN NORTHWARDLY ALONG THE EAST LINE OF LOT NINE (9), OF SAID BLOCK FIFTY-FOUR (54) AFORESAID, ONE HUNDRED (100) FEET TO THE PLACE OF BEGINNING.

THAT CERTAIN FIVE (5) FOOT STRIP OF LAND CONNECTING THE SOUTH BOUNDARY LINE OF THE LANDS DESCRIBED IN PARCEL 1 WITH A TWENTY (20) FOOT EASEMENT CREATED OVER THE SOUTH TWENTY (20) FEET OF THE NORTH HALF OF LOT FOUR (4), BLOCK FIFTY-FOUR (54) IN FISHER'S FIRST SUBDIVISION OF ALTON BEACH, WHICH SAID EASEMENT PROVIDES A METHOD OF INGRESS AND EGRESS TO AND FROM COLLINS AVENUE AND THE PROPERTY DESCRIBED AS PARCEL 1, TOGETHER WITH OTHER PARCELS CONTIGUOUS AND TO THE WEST OF SAID FIVE FOOT STRIP OF LAND THERETO, THE SAID FIVE (5) FOOT STRIP OF LAND HEREIN REFERRED TO BEING MORE SPECIFICALLY DESCRIBED AS THAT CERTAIN FIVE (5) FOOT STRIP OF LAND BOUNDED ON ITS EAST BY A LINE WHICH IS A CONTINUANCE OF THE EAST LINE OF THE PREMISES HEREIN DESCRIBED AS PARCEL 1, EXTENDED SOUTHERLY UNTIL IT INTERSECTS THE SOUTH LINE OF THE NORTH HALF OF LOT FOUR (4), BLOCK FIFTY-FOUR (54) AFORESAID; ON ITS WEST BY A LINE PARALLEL TO AND FIVE (5) FEET WEST OF THE EAST LINE HEREIN DEFINED; ON THE NORTH BY THE SOUTH LINE OF THE LANDS DESCRIBED AS PARCEL 1 AND ON THE SOUTH BY THE SOUTH LINE OF THE NORTH HALF OF LOT FOUR (4), BLOCK FIFTY-FOUR (54) AFORESAID; THE CONVEYANCE OF THIS PARCEL OF LAND IS SUBJECT, NEVERTHELESS, TO ALL RECORDED EASEMENT RIGHTS OVER SAID FIVE (5) FOOT STRIP OF LAND WHICH HAVE HERETOFORE BEEN GIVEN TO GRANTEEES, ASSIGNEES OR LESSEES CLAIMING BY, THROUGH OR UNDER THE GRANTORS HEREIN NAMED, AND SUBJECT TO A PERMANENT EASEMENT OVER THE SOUTH TWENTY (20) FEET OF SAID FIVE (5) FOOT EASEMENT, AS CREATED BY A DECLARATION CREATING PERMANENT EASEMENTS.

ALSO TOGETHER WITH THE RIGHT TO USE JOINTLY WITH OTHER PARTIES CLAIMING BY, THROUGH OR UNDER THE GRANTORS HEREUNDER THAT PORTION OF THE SOUTH TWENTY (20) FEET OF THE NORTH HALF OF LOT FOUR (4), BLOCK FIFTY-FOUR (54) AFORESAID, LYING BETWEEN THE EAST LINE OF PARCEL 2 AS HEREINABOVE DESCRIBED, AND THE WEST LINE OF COLLINS AVENUE, THE GRANTORS, RIGHT TO THE USE OF SAID TWENTY (20) FOOT EASEMENT OR RIGHT OF WAY BEING VESTED UNDER AN AGREEMENT RECORDED IN DEED BOOK 2800, AT PAGE 459 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, WHICH EASEMENT HAS NOW BEEN MADE PERMANENT.

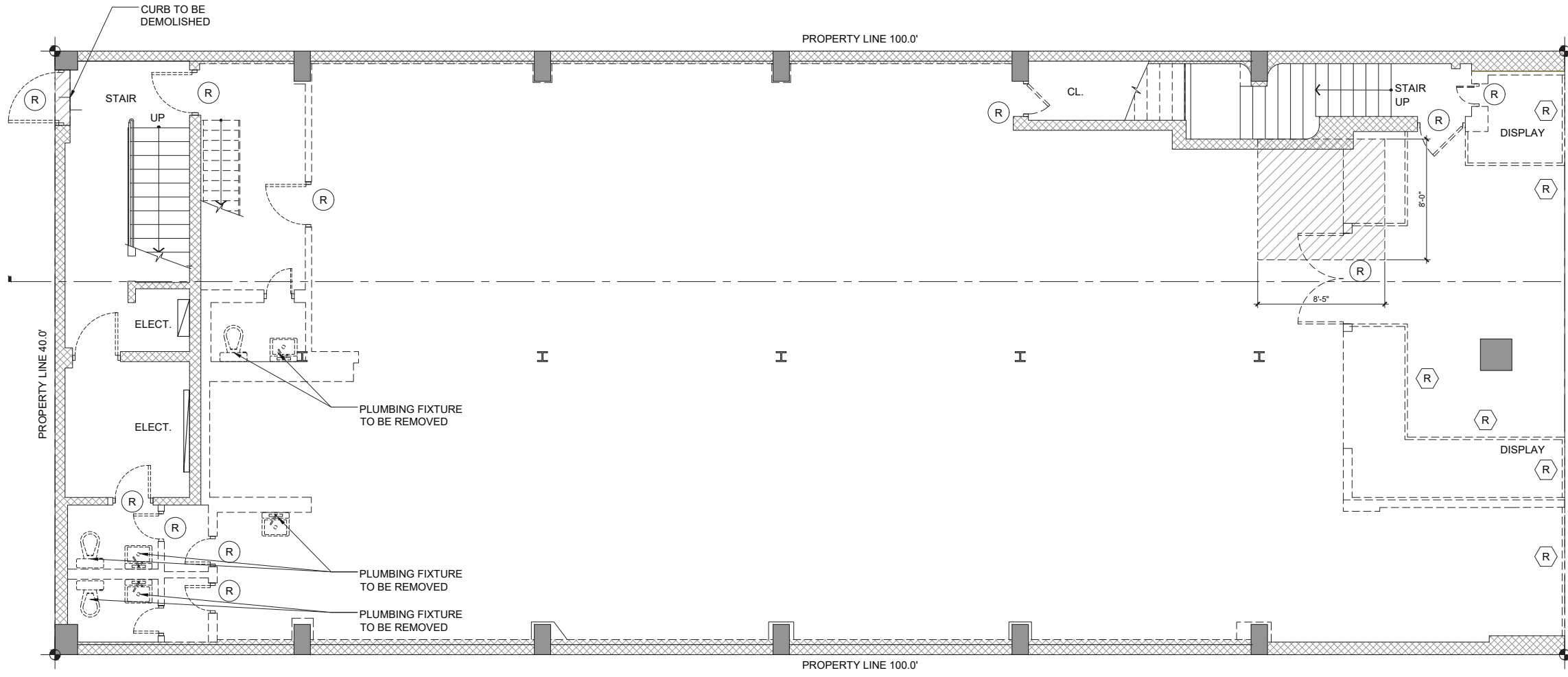
EXISTING SITE PLAN
SCALE: 1/4" = 1'-0"



298 LINCOLN ROAD
298 LINCOLN RD
MIAMI BEACH, FL 33139



DWG. TITLE	EXISTING SITE PLAN
SCALE	VARIABLE
PROJECT NO.	2024-13
DATE	11-10-2025
SHEET NUMBER	EXIST-100
DATE	REVISION



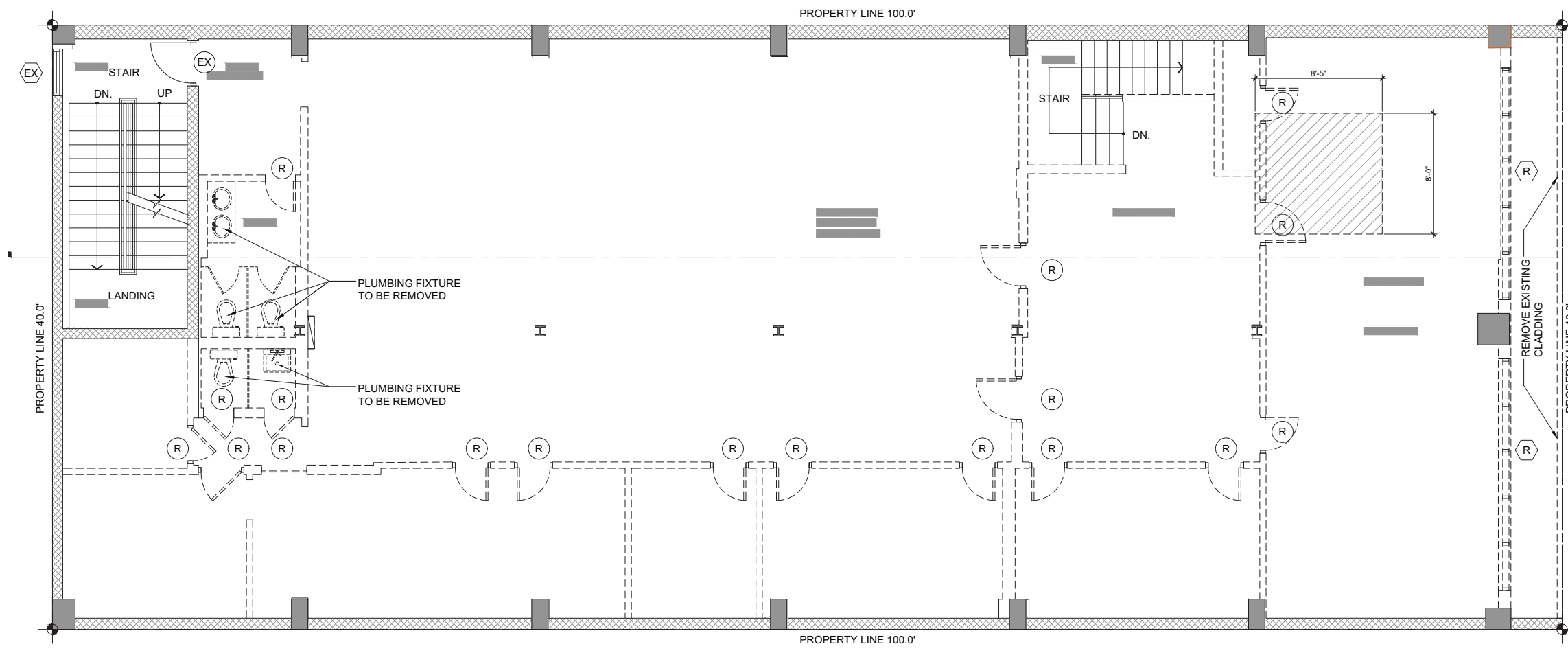
- LEGEND**
- EXISTING CMU / PARTITION TO REMAIN
 - DEMO EXISTING CMU/ INTERIOR PARTITION WALL
 - I** EXISTING METAL COLUMN TO REMAIN
 - EXISTING STRUCTURAL COLUMN
 - REMOVE STOREFRONT
 - REMOVE EXISTING DOOR
 - EXISTING DOOR TO REMAIN
 - SLAB AREA TO BE DEMOLISHED

GENERAL NOTES:
 ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

298 LINCOLN ROAD
 298 LINCOLN RD
 MIAMI BEACH, FL 33139



DWG. TITLE	EXISTING GROUND FLOOR PLAN
SCALE	1/4"=1'-0"
PROJECT NO.	2024-13
DATE	05-21-2024
SHEET NUMBER	EXIST-101
DATE	REVISION



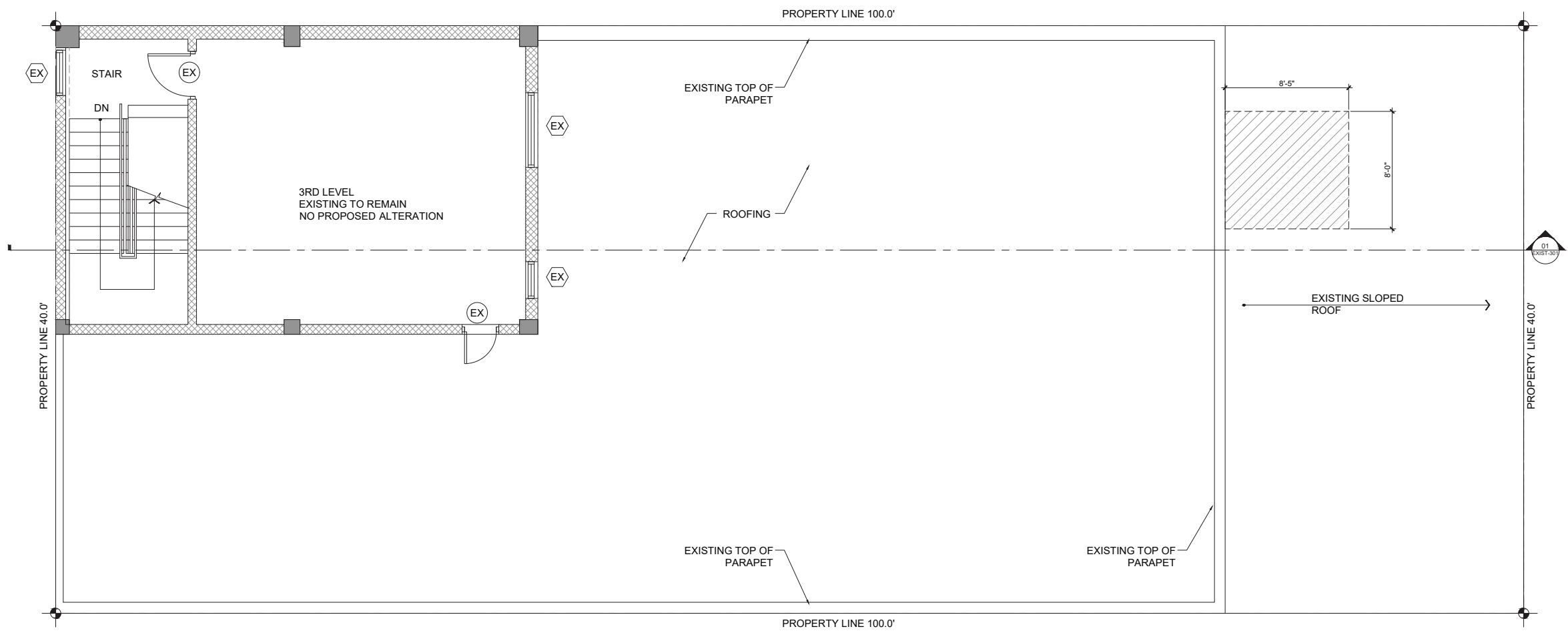
- LEGEND**
- EXISTING CMU / PARTITION TO REMAIN
 - DEMO EXISTING CMU/ INTERIOR PARTITION WALL
 - EXISTING METAL COLUMN TO REMAIN
 - EXISTING STRUCTURAL COLUMN
 - REMOVE WINDOWS
 - EXISTING WINDOWS
 - REMOVE EXISTING DOOR
 - EXISTING DOOR TO REMAIN
 - SLAB AREA TO BE DEMOLISHED









ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

298 LINCOLN ROAD
 298 LINCOLN RD
 MIAMI BEACH, FL 33139



DWG. TITLE	EXISTING SECOND FLOOR PLAN
SCALE	1/4"=1'-0"
PROJECT NO.	2024-13
DATE	11-10-2025
SHEET NUMBER	EXIST-102
DATE	REVISION



- LEGEND**
-  EXISTING CMU / PARTITION TO REMAIN
 -  STAIR LOW WALL
 -  EXISTING METAL COLUMN TO REMAIN
 -  EXISTING STRUCTURAL COLUMN
 -  EXISTING WINDOWS
 -  REMOVE EXISTING DOOR
 -  EXISTING DOOR TO REMAIN
 -  SLAB / ROOFING AREA TO BE DEMOLISHED

ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. 3RD LEVEL IS EXISTING TO REMAIN WITH NO ALTERATION

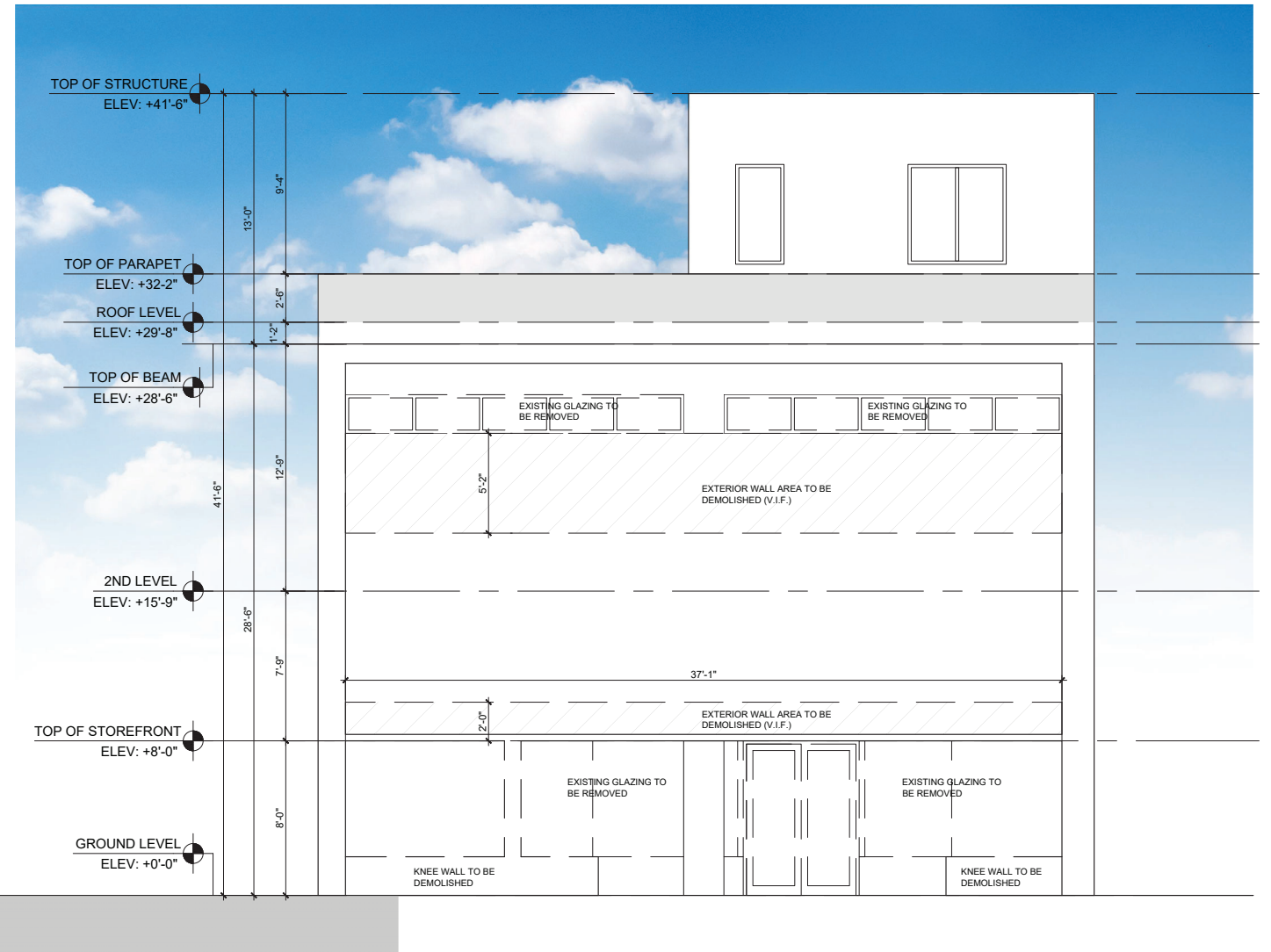
298 LINCOLN ROAD
 298 LINCOLN RD
 MIAMI BEACH, FL 33139



DWG. TITLE	EXISTING THIRD FLOOR PLAN
SCALE	1/4"=1'-0"
PROJECT NO.	2024-13
DATE	11-10-2025
SHEET NUMBER	EXIST-103
DATE	REVISION



01 EXISTING FRONT (NORTH ELEVATION)
SCALE: 1/4" = 1'-0"



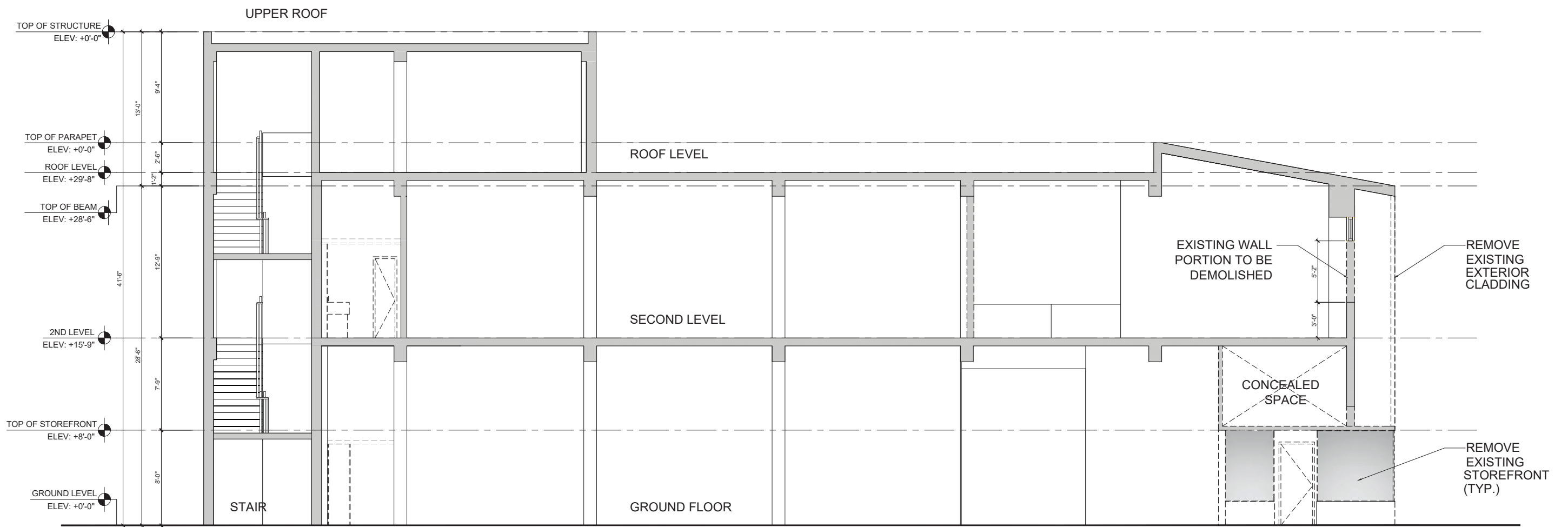
01 EXISTING NORTH ELEVATION
(REMOVING EXTERIOR CLADDING)
SCALE: 1/4" = 1'-0"

298 LINCOLN ROAD
298 LINCOLN RD
MIAMI BEACH, FL 33139



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DWG. TITLE	FRONT ELEVATION
SCALE	1/4" = 1'-0"
PROJECT NO.	2024-13
DATE	07-19-24
SHEET NUMBER	EXIST-201
DATE	REVISION

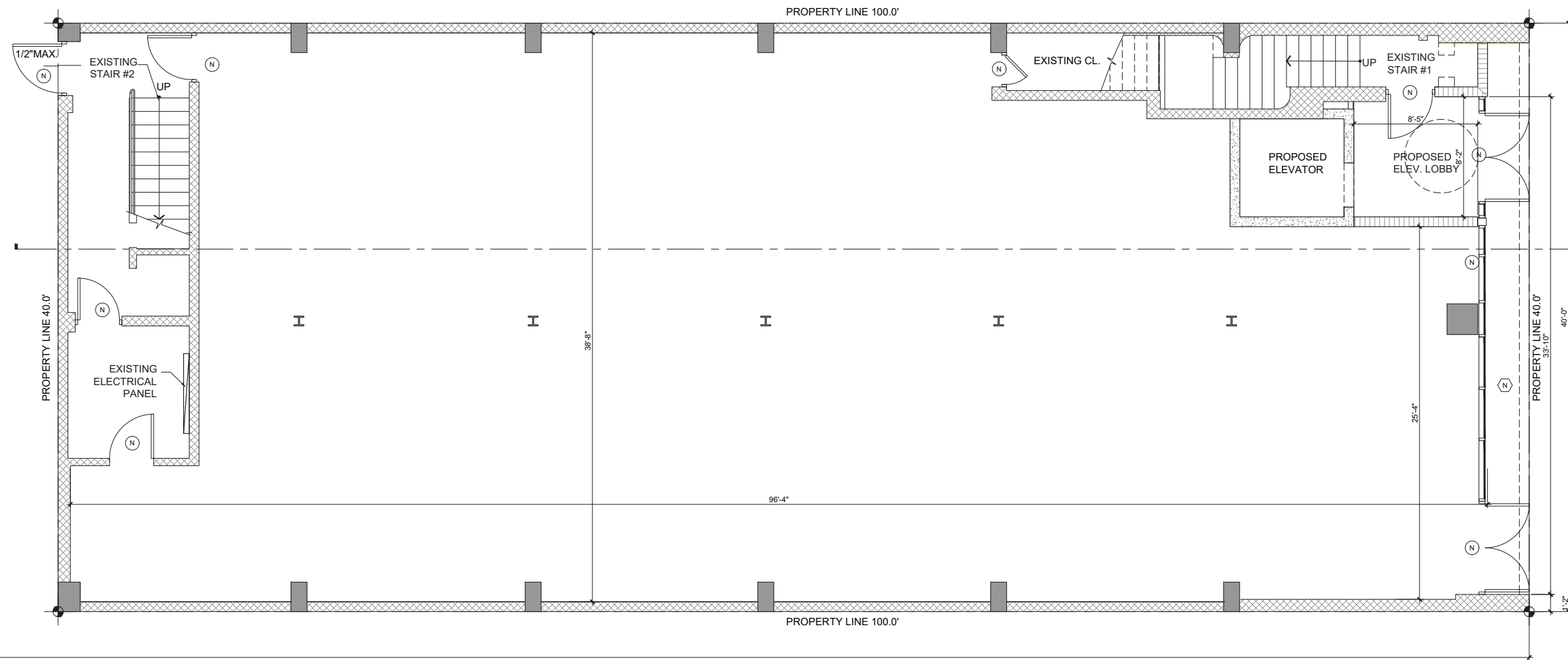


01 SECTION
SCALE: 1/4" = 1'-0"

298 LINCOLN ROAD
298 LINCOLN RD
MIAMI BEACH, FL 33139



DWG. TITLE	SECTION
SCALE	AS SHOWN
PROJECT NO.	2024-13
DATE	11-10-2025
SHEET NUMBER	EXIST-301
DATE	REVISION



LEGEND

- EXISTING CMU WALL
- PROPOSED CMU WALL
- PROPOSED CONCRETE WALL
- PROPOSED INTERIOR PARTITION
- PROPOSED INTERIOR PARTITION
- EXISTING METAL COLUMN
- EXISTING CONCRETE COLUMN
- NEW STOREFRONT
- EXISTING DOOR
- NEW DOOR

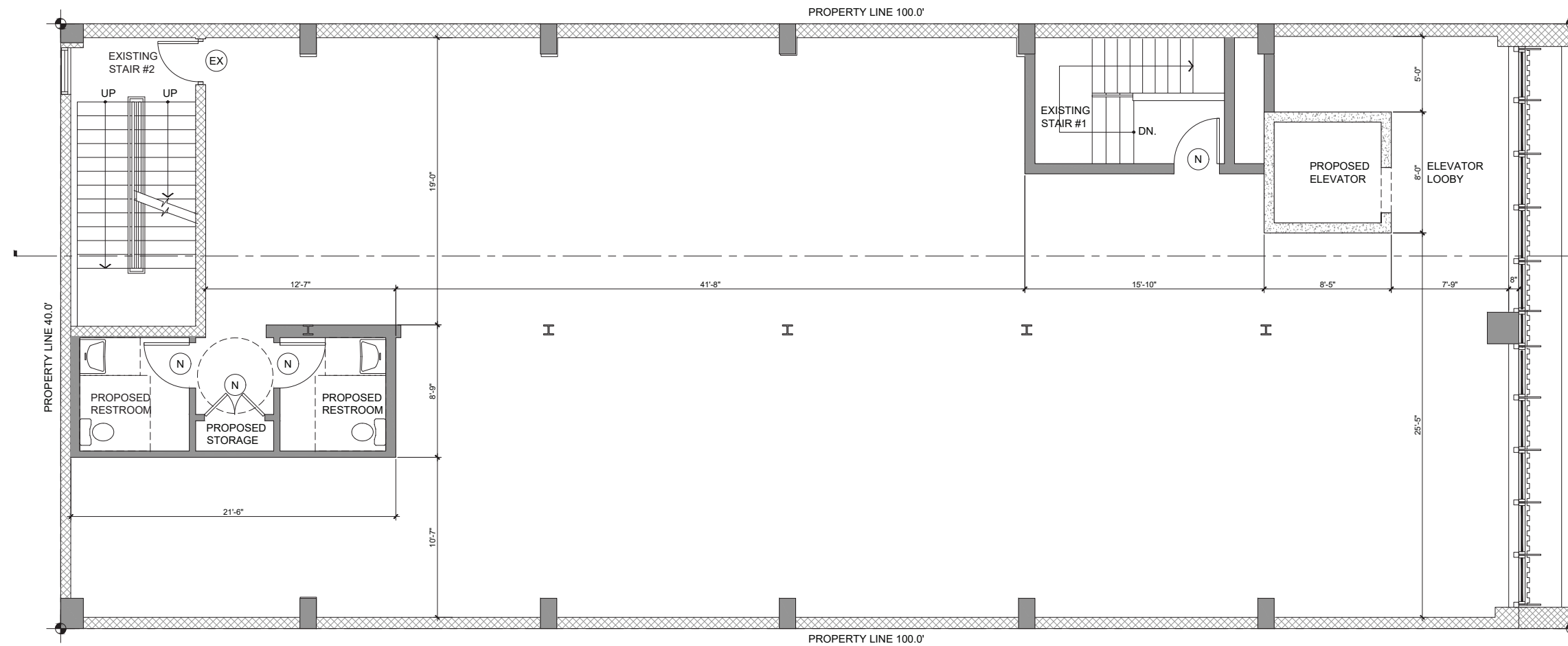
GENERAL NOTES:

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







298 LINCOLN ROAD

298 LINCOLN RD
MIAMI BEACH, FL 33139

DWG. TITLE	PROPOSED GROUND FLOOR PLAN
SCALE	1/4"=1'-0"
PROJECT NO.	2024-13
DATE	11-10-2025
SHEET NUMBER	A-101
DATE	REVISION



LEGEND

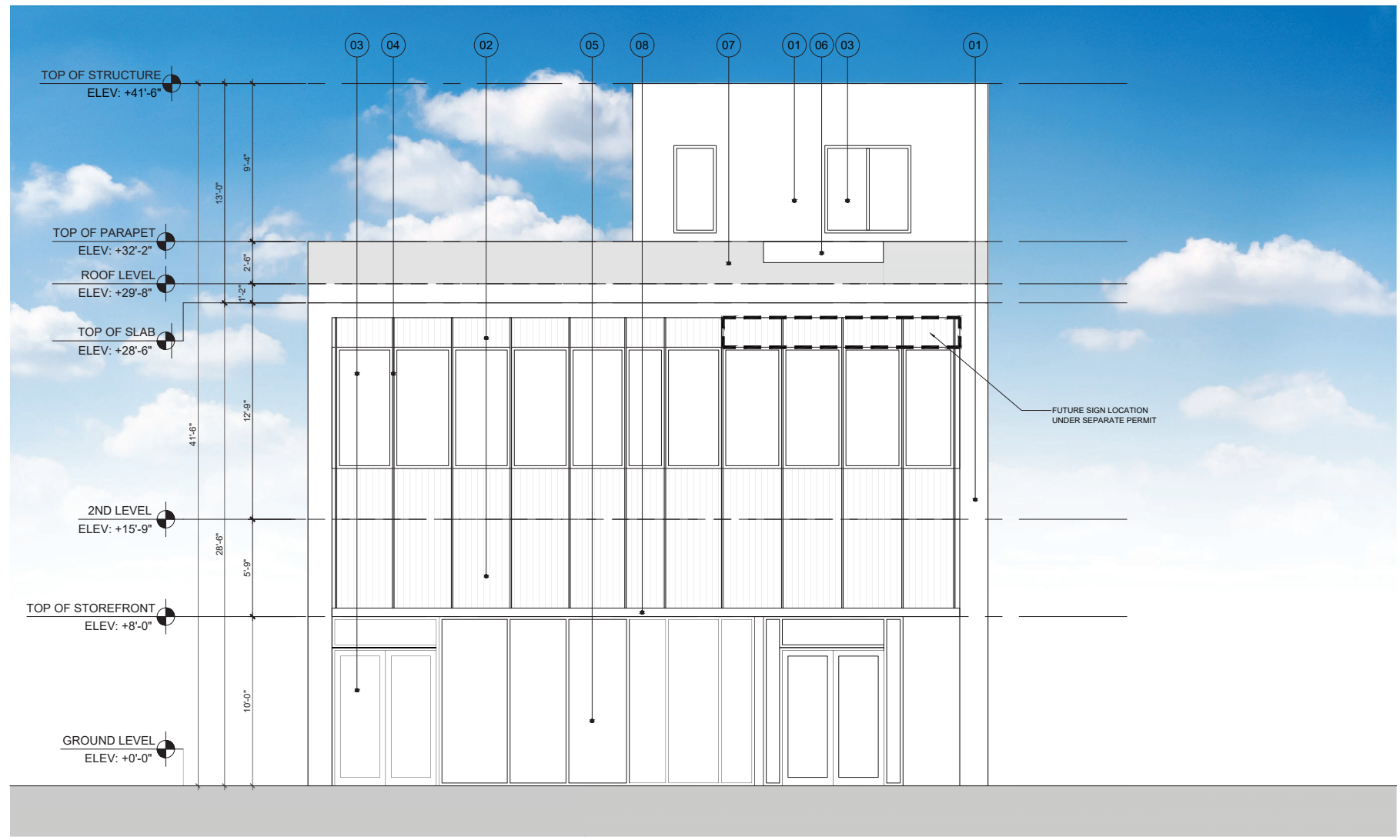
-  EXISTING CMU WALL
-  PROPOSED CMU WALL
-  PROPOSED CONCRETE WALL
-  PROPOSED INTERIOR PARTITION
-  EXISTING METAL COLUMN
-  EXISTING CONCRETE COLUMN
-  NEW STOREFRONT
-  EXISTING DOOR
-  NEW DOOR

GENERAL NOTES:
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298 LINCOLN ROAD
 298 LINCOLN RD
 MIAMI BEACH, FL 33139



DWG. TITLE	PROPOSED SECOND FLOOR PLAN
SCALE	1/4"=1'-0"
PROJECT NO.	2024-13
DATE	11-10-2025
SHEET NUMBER	A-102
DATE	REVISION



ELEVATION KEY NOTES:

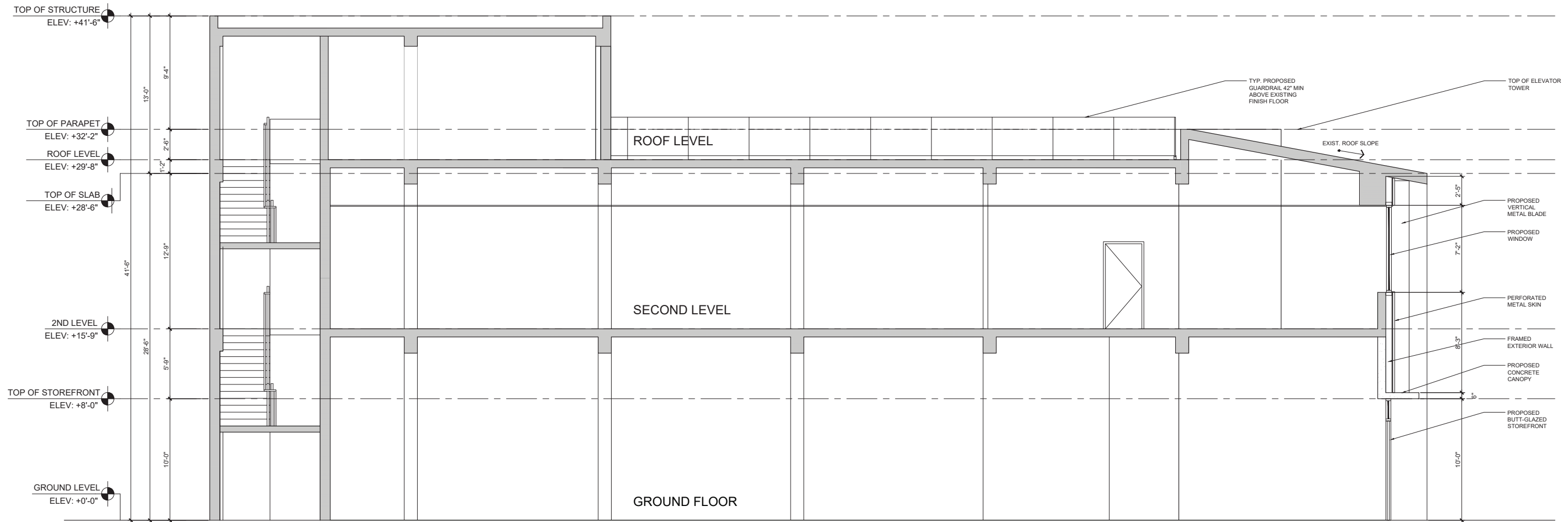
- 01 SMOOTH PAINTED STUCCO FINISH
- 02 PERFORATED METAL SKING
- 03 GLASS WINDOW CLEAR ANODIZED ALUMINUM FRAME
- 04 VERTICAL METAL BLADE
- 05 BUTT-GLAZED STOREFRONT
- 06 TOP OF ELEVATOR TOWER
- 07 EXISTING ROOFING TO REMAIN PATCH AND REPAIR AS NECESSARY
- 08 EXPOSED CONCRETE CANOPY

01 PROPOSED FRONT (NORTH ELEVATION)
SCALE: 1/4" = 1'-0"

298 LINCOLN ROAD
298 LINCOLN RD
MIAMI BEACH, FL 33139



DWG. TITLE		FRONT ELEVATION
SCALE		1/4"=1'-0"
PROJECT NO.		2024-13
DATE		11-10-2025
SHEET NUMBER		A-201
△ DATE	REVISION	



01 PROPOSED SECTION
SCALE: 1/4" = 1'-0"

298 LINCOLN ROAD
298 LINCOLN RD
MIAMI BEACH, FL 33139



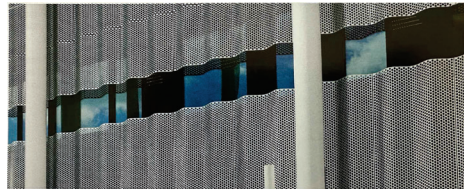
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DWG. TITLE	PROPOSED SECTION
SCALE	VARIABLES
PROJECT NO.	
DATE	2024-13
SHEET NUMBER	11-10-2025
DATE	REVISION

A-301



01 SMOOTH PAINTED STUCCO FINISH
COLOR SW 9542 NATURAL WHITE



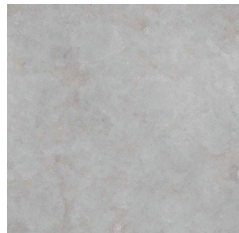
02 PERFORATED / CORRUGATED
WITH SQUARE PERFORATIONS METAL SHEET



03 BUTT-GLAZED STOREFRONT
DARK ALUMINUM MULLION



04 DARK VERTICAL METAL BLADE



05 EXPOSED CONCRETE
WHITE TINT ADDED

298 LINCOLN ROAD
298 LINCOLN RD
MIAMI BEACH, FL 33139



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DATE	REVISION	DWG. TITLE	MATERIALS
		SCALE	N.T.S.
		PROJECT NO.	2024-13
		DATE	11-10-2025
		SHEET NUMBER	A-401