

Historic Preservation Board File No. 25-0676

2201 Collins Avenue

Presentation by Law Offices of Kent Harrison Robbins, P.A.
on behalf of the Roney Palace Condominium Association, Inc.

April 14, 2026

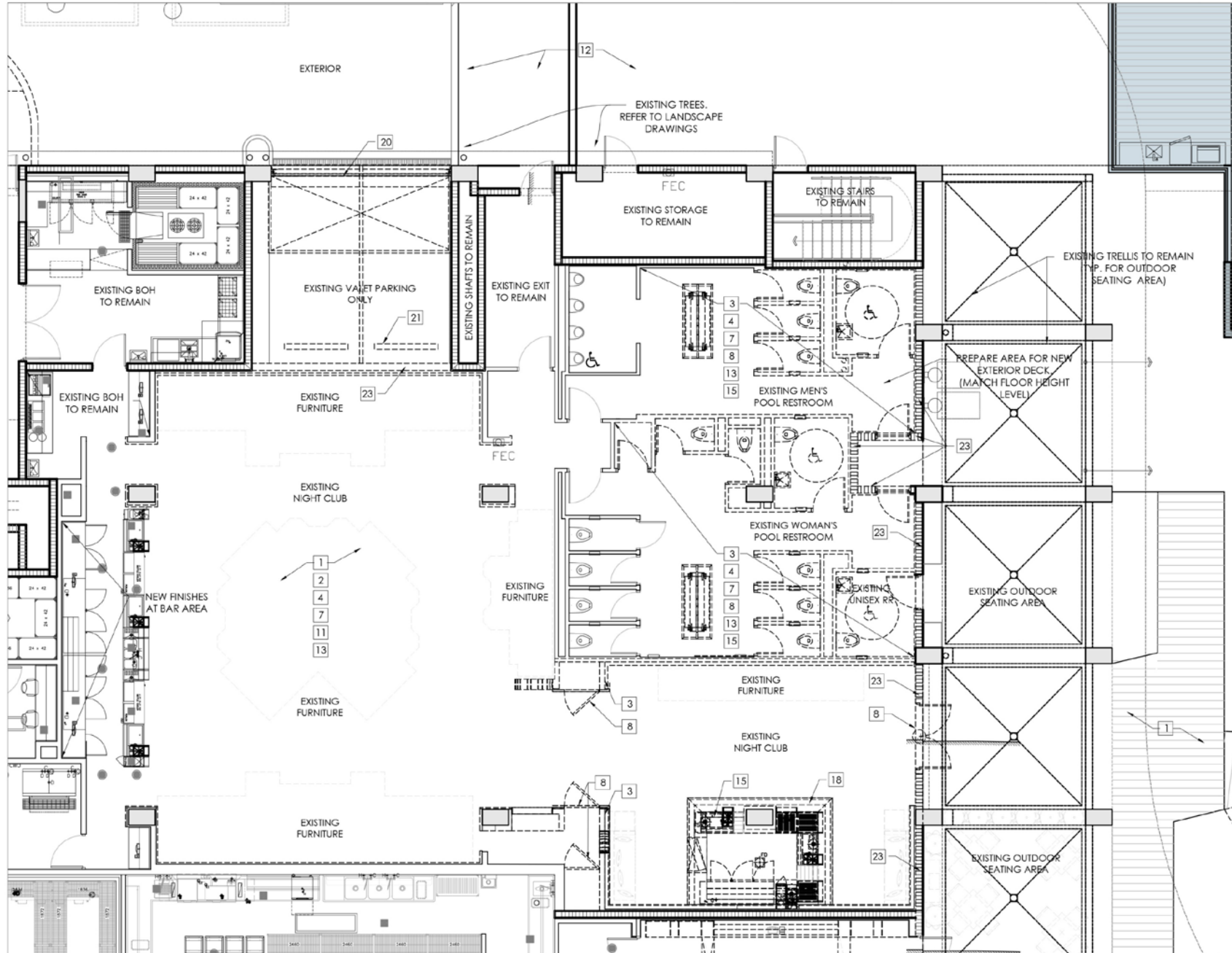
KHR The Law Offices of Kent Harrison Robbins, P.A.

RONEY'S FOUR ISSUES OF CONCERN

1. The noise impact of enlarging and increasing the seating of the outdoor area of the nightclub on the north side of the property facing the Roney;
2. The conflict between the existing valet circulation system and the proposed new valet drop-off on the north driveway adding private vehicles directed to the nightclub drop-off navigating the north driveway in both directions, the same driveway that also serves as the means of access for the valet parking garage and commercial deliveries;
3. The increased congestion and conflicts arising from the parallel W Hotel and Roney driveways on Collins Avenue and 23rd Street; and
4. The near-failure of the 5-way traffic intersection at 23rd Street, the extensive queuing along both driveways and adjacent avenues, and how those conditions will be exacerbated by the additional traffic on Collins Avenue and 23rd Street driveways generated by the proposed uses.

OUTDOOR EXPANSION OF NIGHTCLUB

NIGHT CLUB - DEMOLITION PLAN

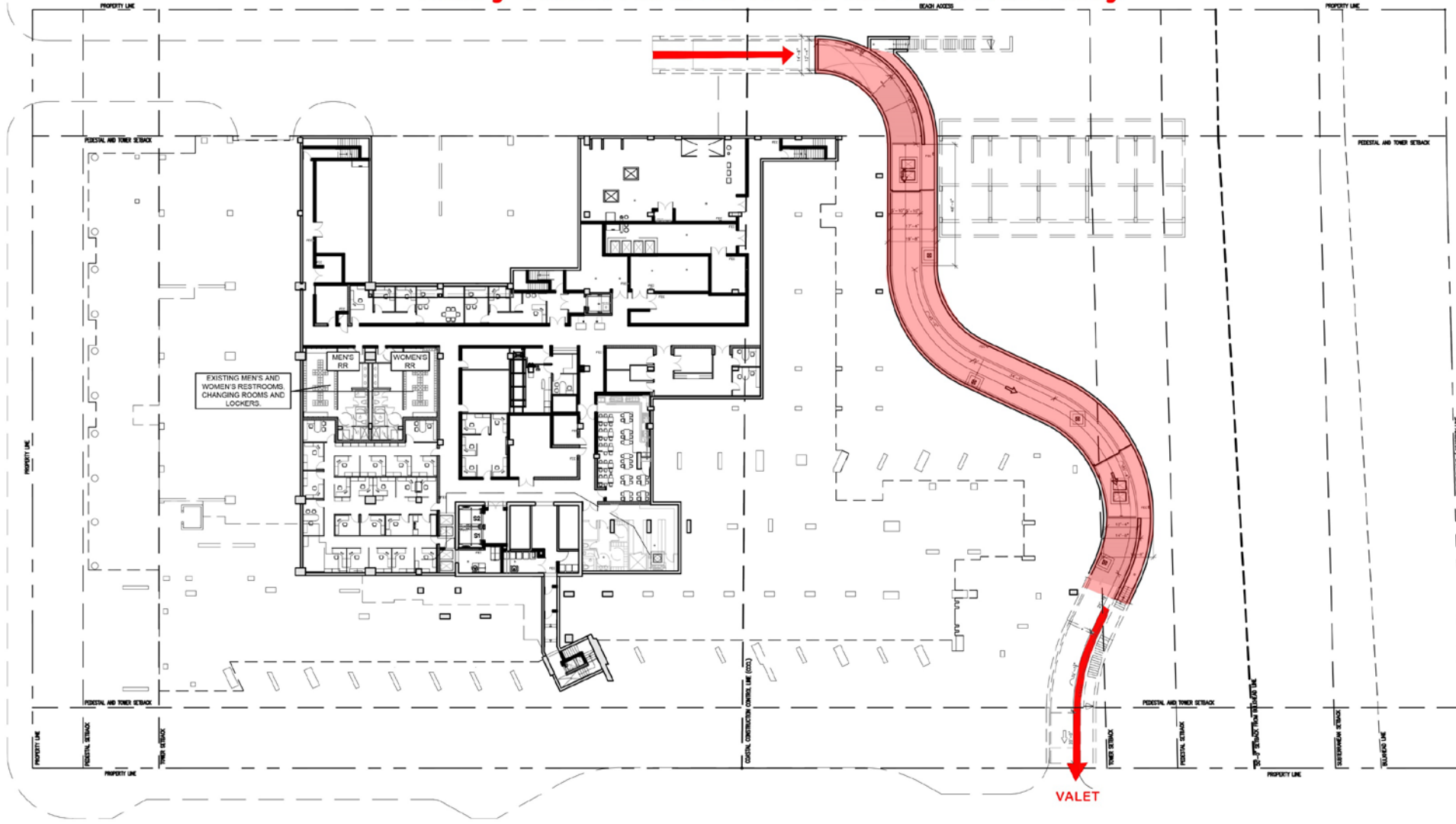


TRAFFIC CIRCULATION

New Valet Stand on 23rd Street Driveway

VALET TUNNEL

Entry West End of 23rd Street Driveway



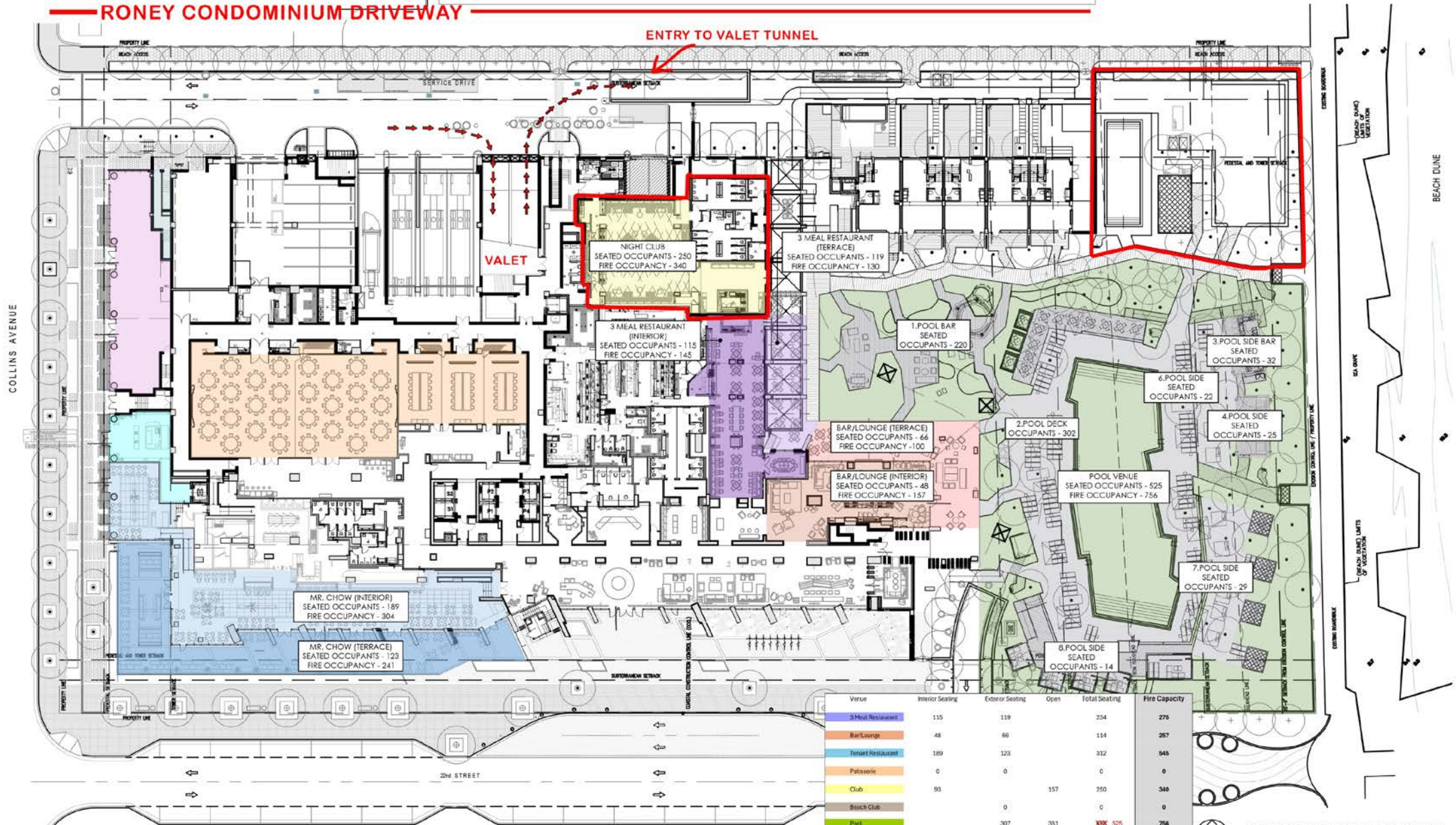
TUNNEL CONFIGURATION EXHIBIT
SCALE: 1" = 40'-0"



EXISTING CLUB

— RONEY CONDOMINIUM DRIVEWAY —

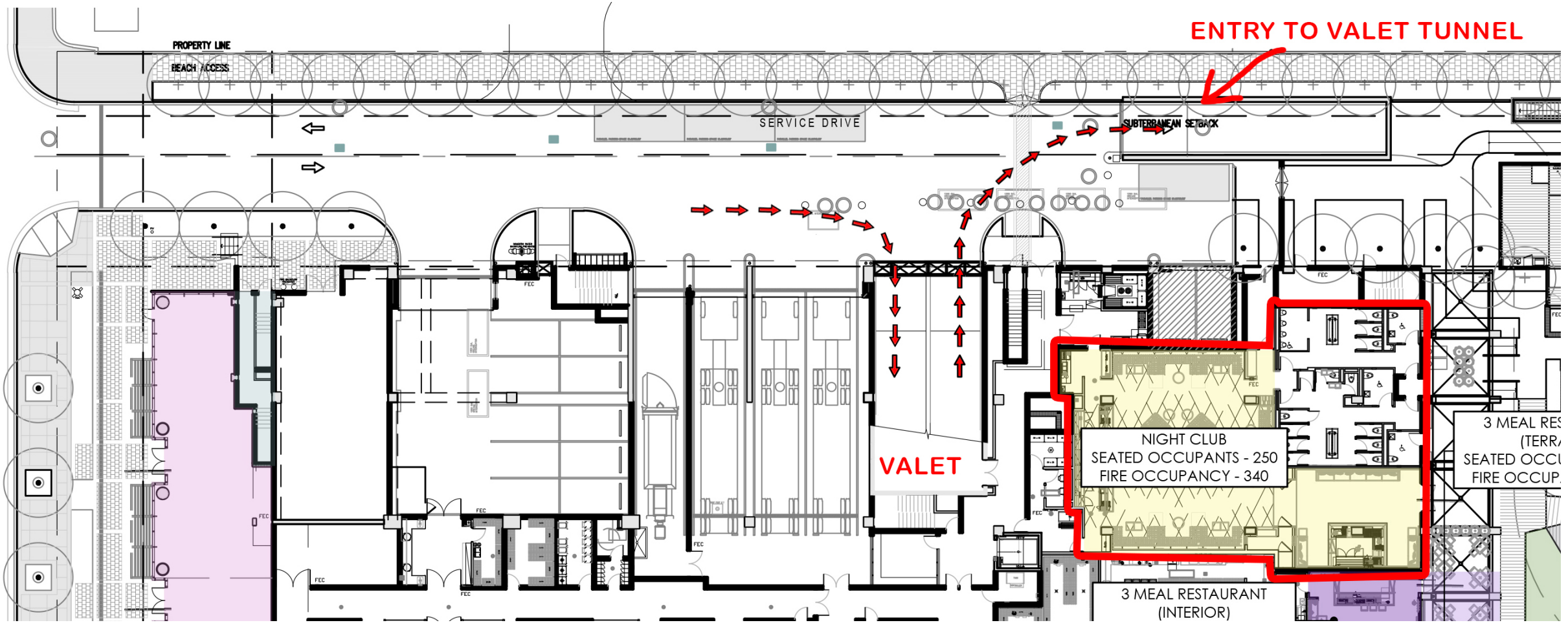
ENTRY TO VALET TUNNEL



Venue	Interior Seating	Exterior Seating	Open	Total Seating	Fire Capacity
3 Meal Restaurants	115	119		234	276
Bar/Lounge	48	66		114	267
Tenant Restaurant	189	123		312	945
Patios/terrace	0	0		0	0
Club	93		157	250	340
Beach Club		0		0	0
Pool		307	351	XXX 525	756
Total/Type	445	615	508	XXX 1435	2173

Conditional use permit originally approved and provided: 1435

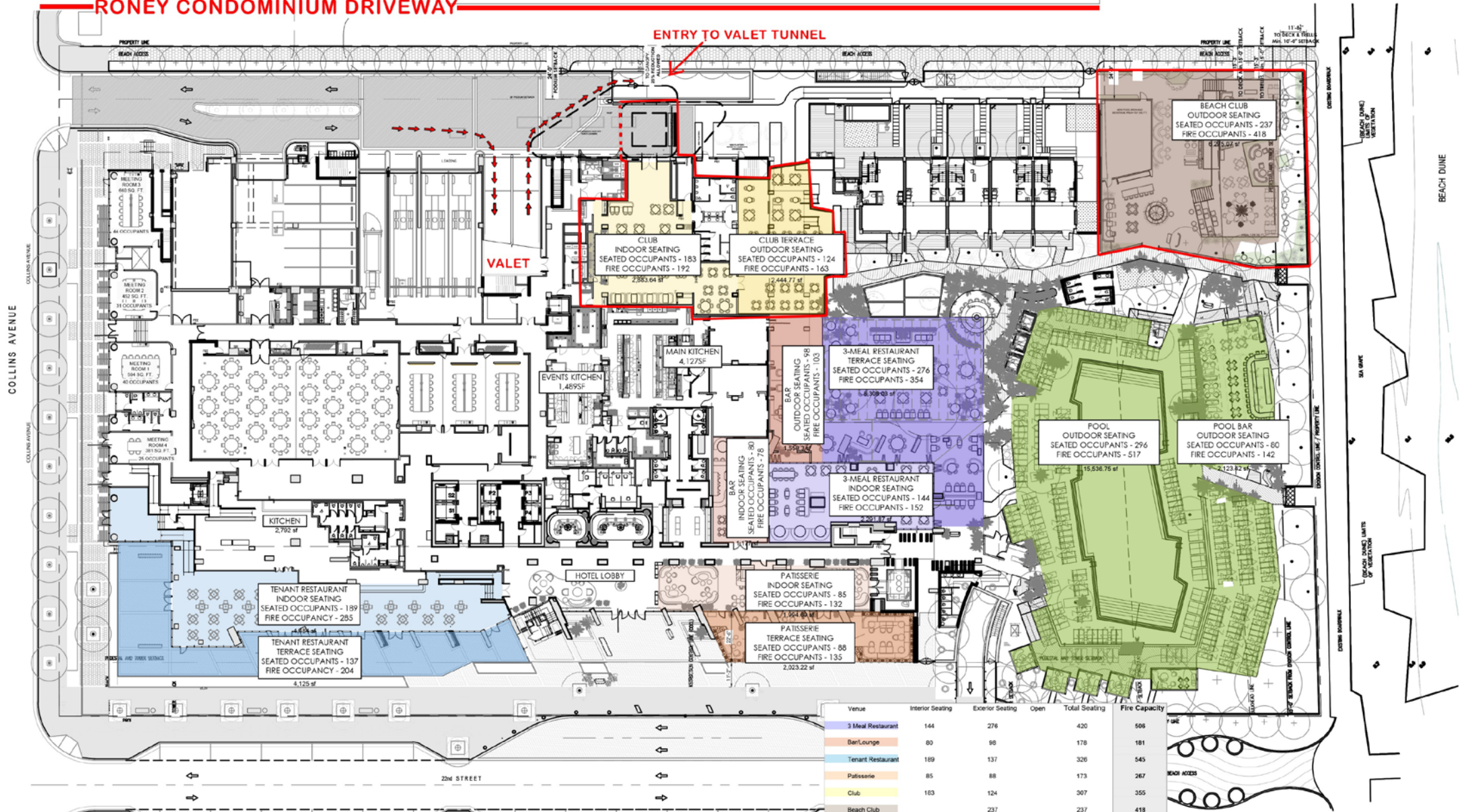
EXISTING CONDITIONAL USE PERMIT
SCALE: 1" = 40'-0"



NEW TRAFFIC CIRCULATION FOR OUTDOOR EXPANSION OF NIGHTCLUB

RONEY CONDOMINIUM DRIVEWAY

ENTRY TO VALET TUNNEL

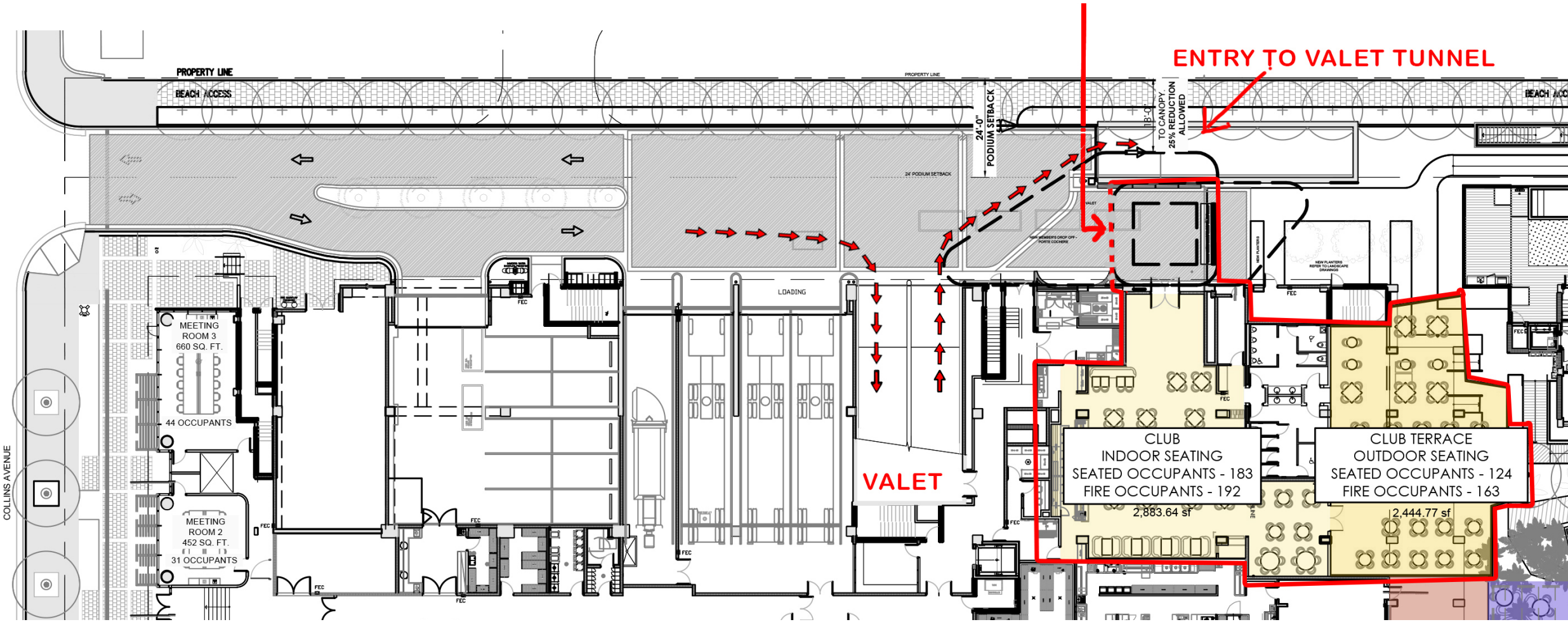


Venue	Interior Seating	Exterior Seating	Open	Total Seating	Fire Capacity
3 Meal Restaurant	144	276		420	506
Bar/Lounge	80	96		176	181
Tenant Restaurant	189	137		326	545
Patisserie	85	88		173	267
Club	163	124		307	355
Beach Club		237		237	418
Pool		376		376	659
Total/Type	681	960	0	2017	2931
				Conditional use permit originally approved and provided	1435
					Grand Total

PROPOSED CONDITIONAL USE PERMIT
SCALE: 1" = 40'-0"

**NEW NIGHTCLUB
DROPOFF / PORTE COCHERE**

ENTRY TO VALET TUNNEL



CLUB
INDOOR SEATING
SEATED OCCUPANTS - 183
FIRE OCCUPANTS - 192
2,883.64 sf

CLUB TERRACE
OUTDOOR SEATING
SEATED OCCUPANTS - 124
FIRE OCCUPANTS - 163
2,444.77 sf

VALET