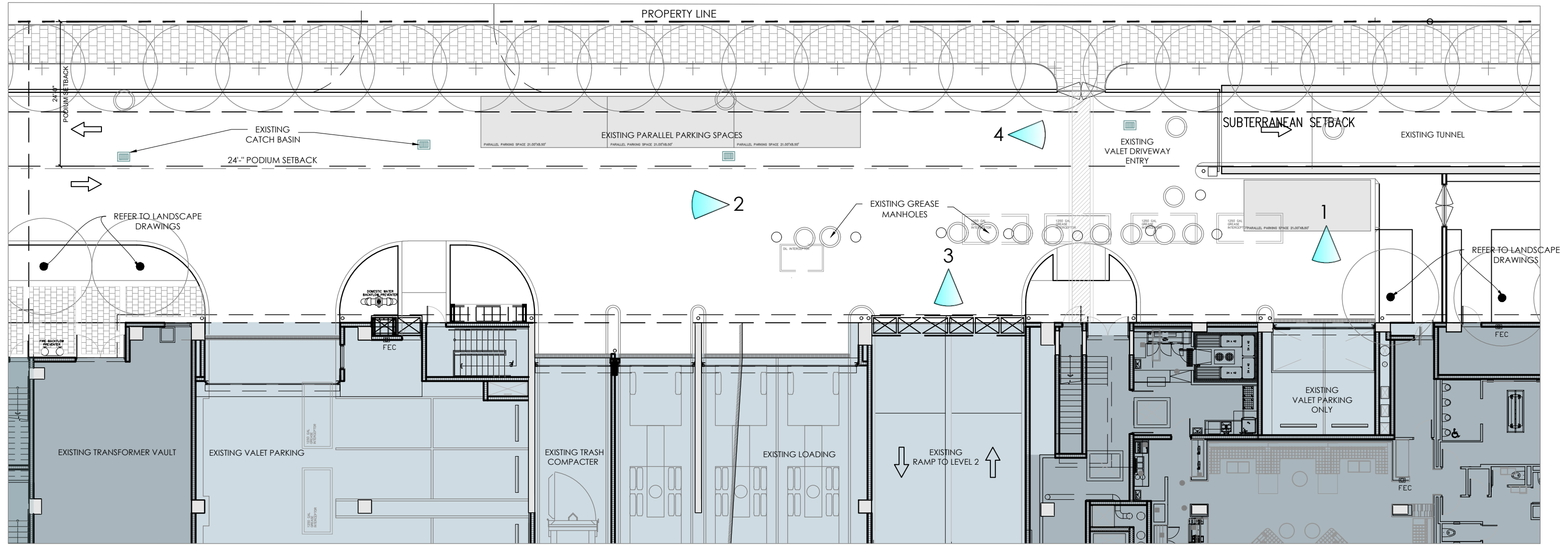
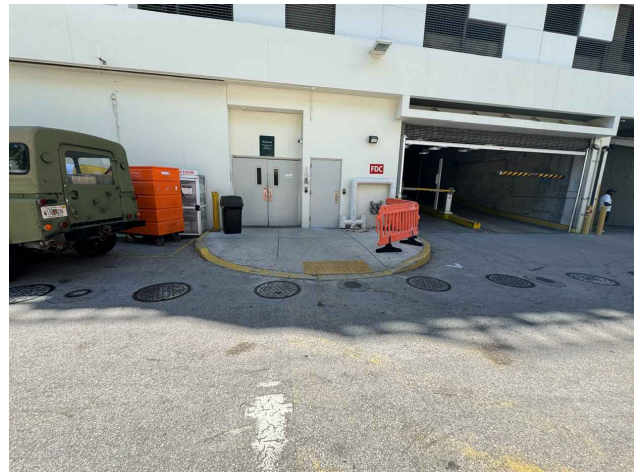


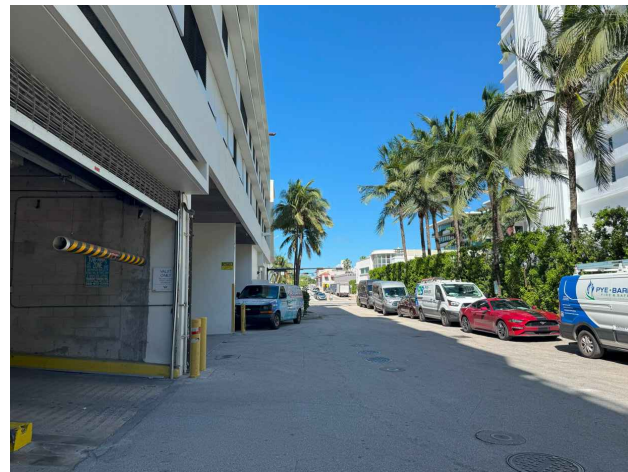
# DROP-OFF - EXISTING



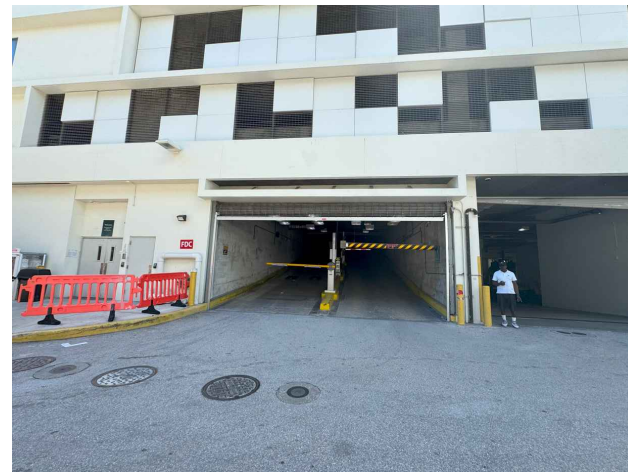
DROP-OFF - EXISTING CONDITIONS  
SCALE: 1/16" = 1'-0"



Picture #1: Exterior



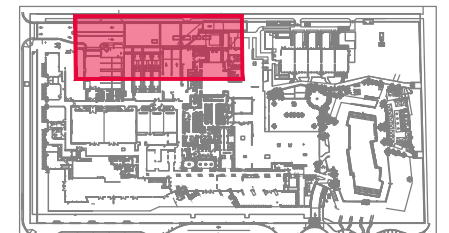
Picture #2: Exterior



Picture #3: Parking access

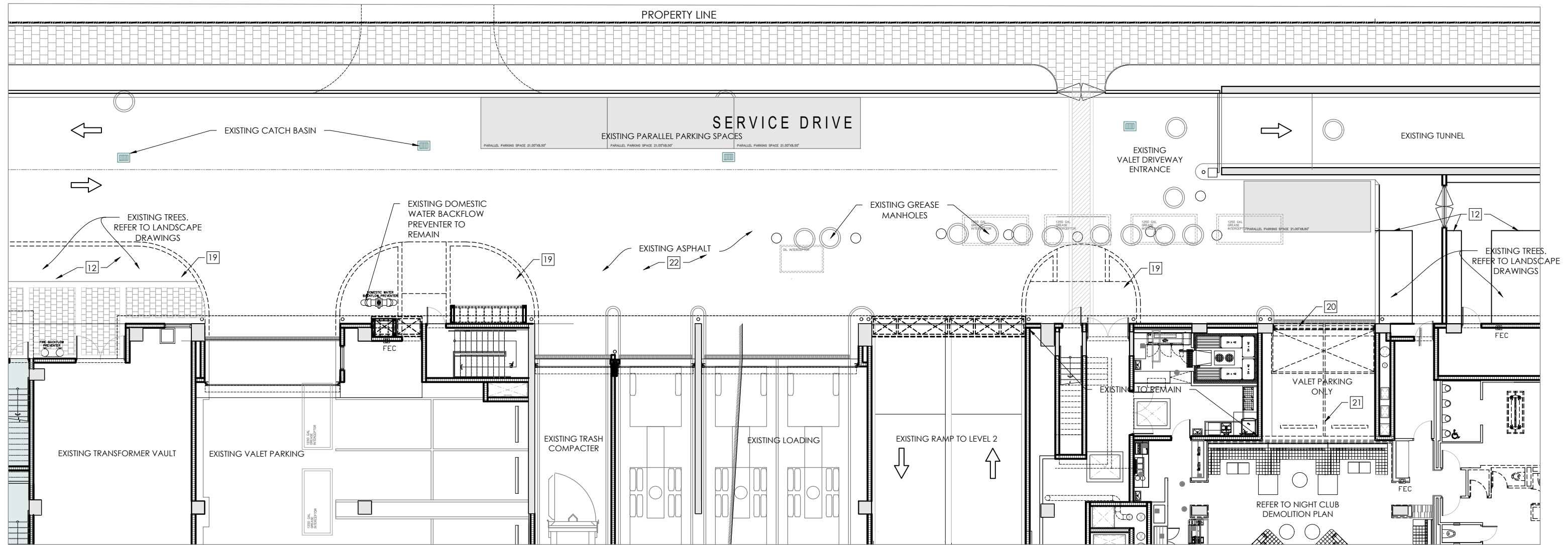


Picture #4: Subterranean tunnel



KEY PLAN  
SCALE: NTS

# DROP-OFF - DEMOLITION PLAN



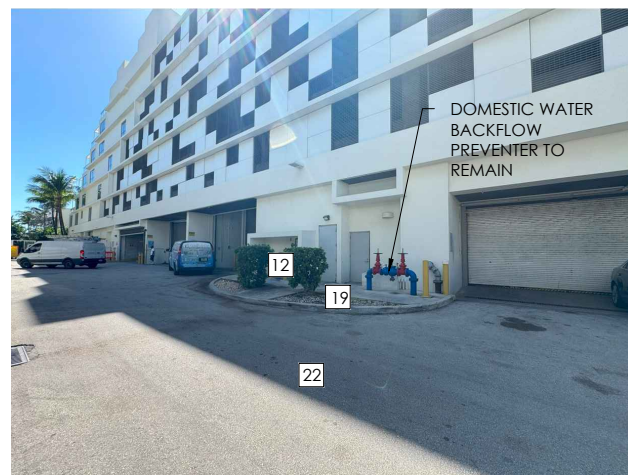
DROP-OFF - DEMOLITION PLAN  
SCALE: 1/16" = 1'-0"

## DEMOLITION LEGEND

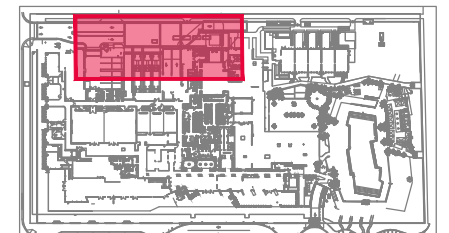
- 12 REMOVE ALL EXISTING PLANTS IN THEIR ENTIRETY; PROTECT ADJACENT SURFACES. PREPARE AREA TO RECEIVE NEW PLANTS AS INDICATED ON LANDSCAPING DRAWINGS.
- 19 REMOVE EXISTING SIDEWALK IN ITS ENTIRETY, INCLUDING CONCRETE PAVING, SUBBASE, AND ALL ASSOCIATED COMPONENTS; PROTECT ADJACENT AREAS AND UTILITIES TO REMAIN. PREPARE SUBGRADE TO RECEIVE NEW SIDEWALK AS SPECIFIED.
- 20 REMOVE EXISTING GATE IN ITS ENTIRETY, INCLUDING FRAME, HARDWARE, OPERATORS, AND ALL ASSOCIATED COMPONENTS; DISCONNECT AND CAP ALL RELATED ELECTRICAL AND CONTROL SYSTEMS AS REQUIRED. PROTECT ADJACENT SURFACES TO REMAIN. PATCH AND PREP OPENING TO RECEIVE NEW CONSTRUCTION AS INDICATED.
- 21 REMOVE EXISTING PARKING SPOT STRIPING, SIGNAGE, AND ALL ASSOCIATED MARKINGS WHERE INDICATED; PREPARE SURFACE FOR NEW PARKING LAYOUT AS SPECIFIED. COORDINATE WITH CIVIL AND LANDSCAPE DRAWINGS AS APPLICABLE.
- 22 REMOVE EXISTING ASPHALT PAVING IN ITS ENTIRETY WHERE INDICATED; PROTECT ADJACENT AREAS AND UTILITIES TO REMAIN. PREPARE SUBGRADE TO RECEIVE NEW PAVERS AS SPECIFIED. PATCH, REPAIR, AND RESTORE ALL DISTURBED AREAS TO A SMOOTH, LEVEL CONDITION.

## LEGEND

--- EXISTING TO BE REMOVED

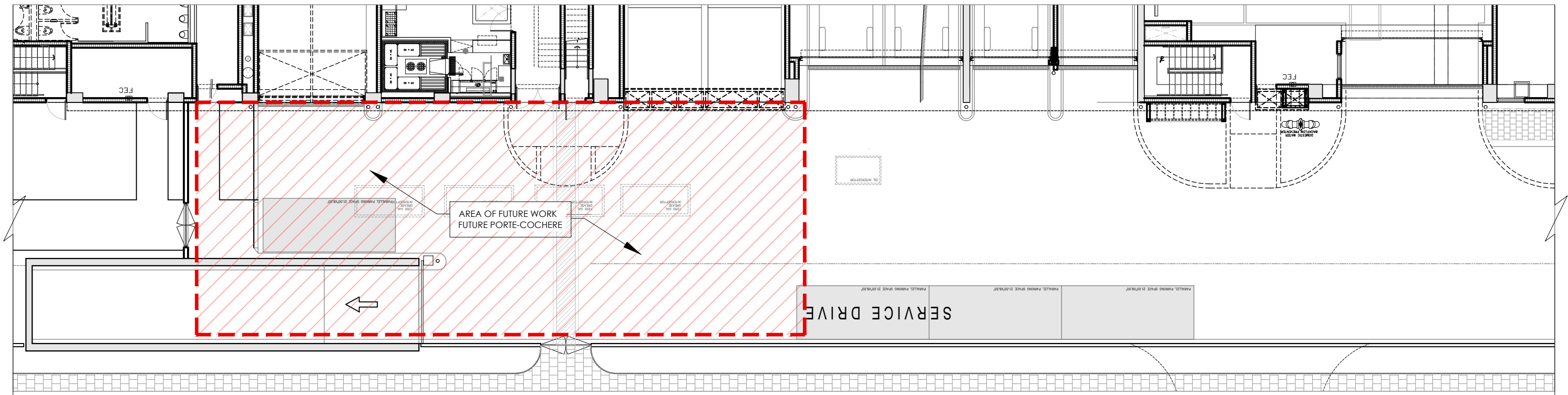


Existing exterior conditions

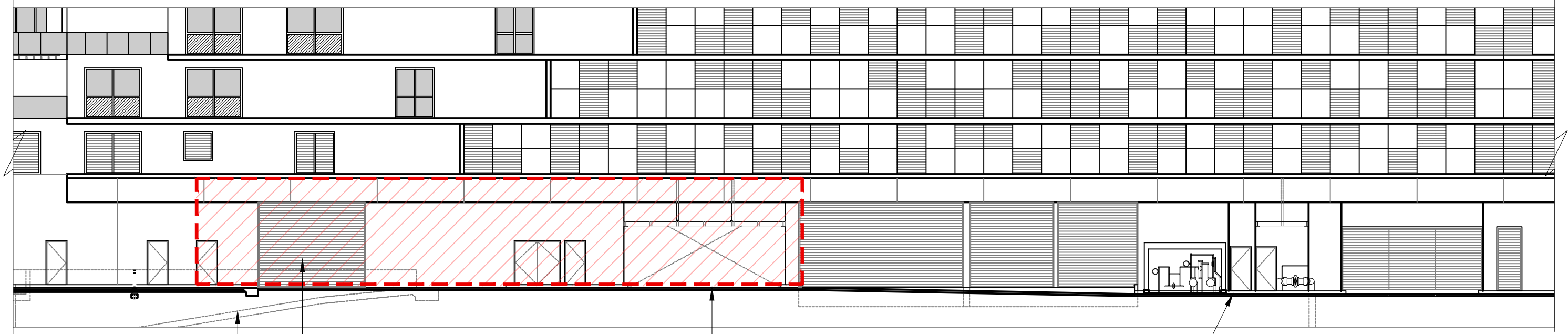


KEY PLAN  
SCALE: NTS

# NORTH BUILDING PARTIAL ELEVATION - DEMOLITION



PARTIAL FLOOR PLAN  
SCALE: 1/16" = 1'-0"



NORTH BUILDING PARTIAL ELEVATION - DEMOLITION  
SCALE: 1/16" = 1'-0"

EXISTING TUNNEL TO REMAIN  
AND PROTECT DURING CONSTRUCTION

NOTE #20 - DEMOLITION LEGEND:  
REMOVE EXISTING GATE

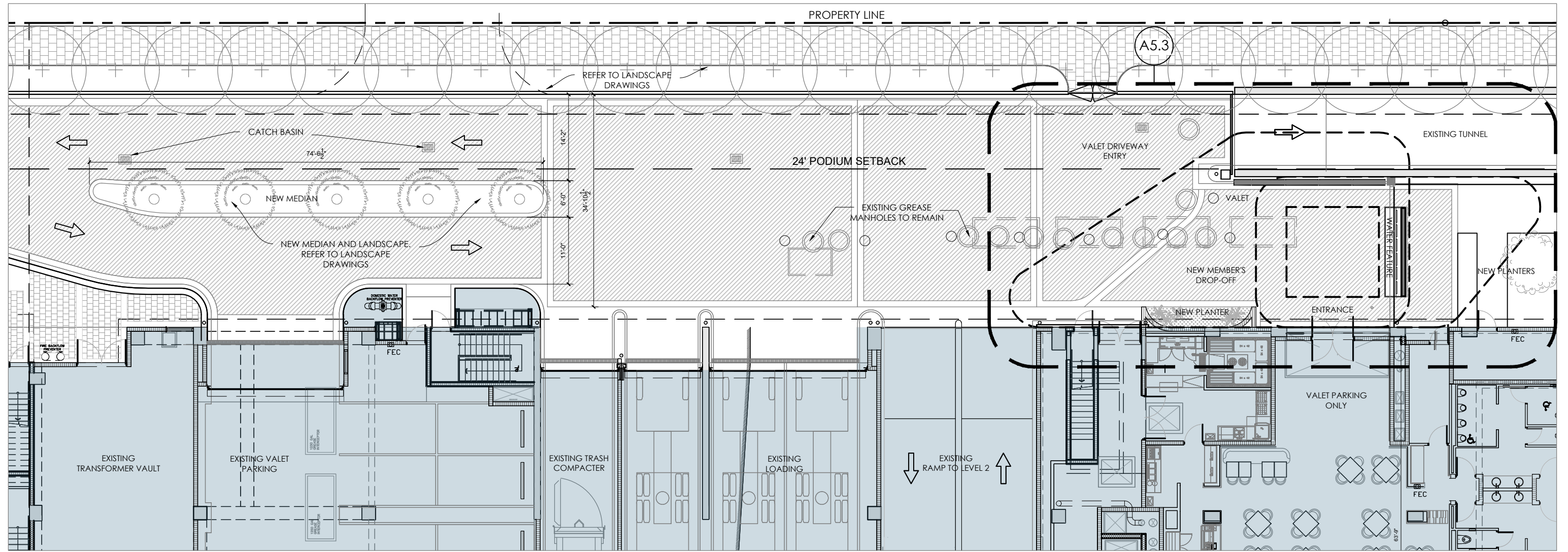
NOTE #22 - DEMOLITION LEGEND:  
REMOVE EXISTING ASPHALT PAVING

NOTE #19 - DEMOLITION LEGEND:  
REMOVE EXISTING SIDEWALK

**LEGEND**

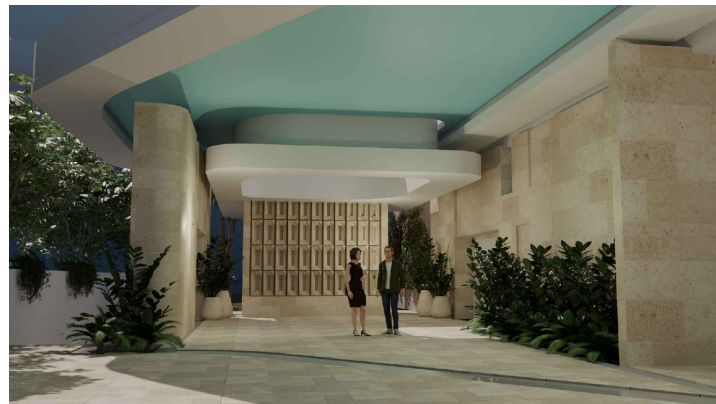
----- AREA OF FUTURE WORK

# MEMBER'S CLUB DROP-OFF - PROPOSED

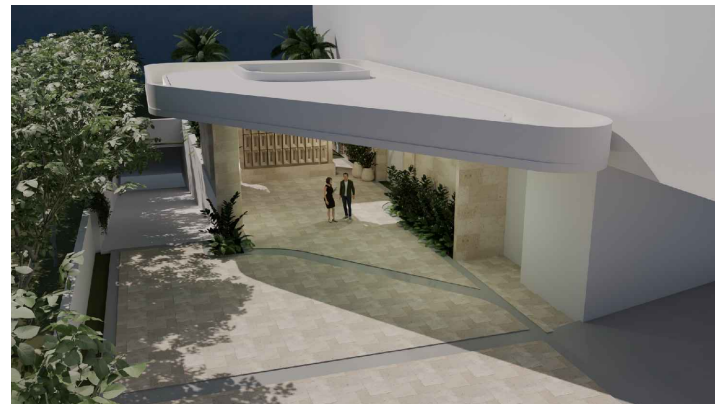


**NOTE: THE PROPOSED NEW CANOPY COMPLIES WITH CITY SETBACK REQUIREMENTS.**

MEMBER'S CLUB DROP-OFF - PROPOSED DESIGN  
SCALE: 1/16" = 1'-0"



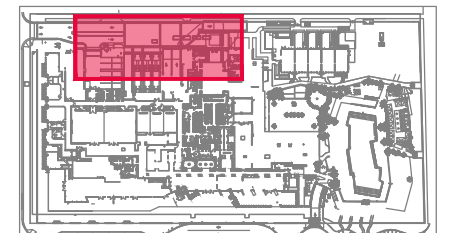
Rendering #1: Drop-off



Rendering #2: Drop-off

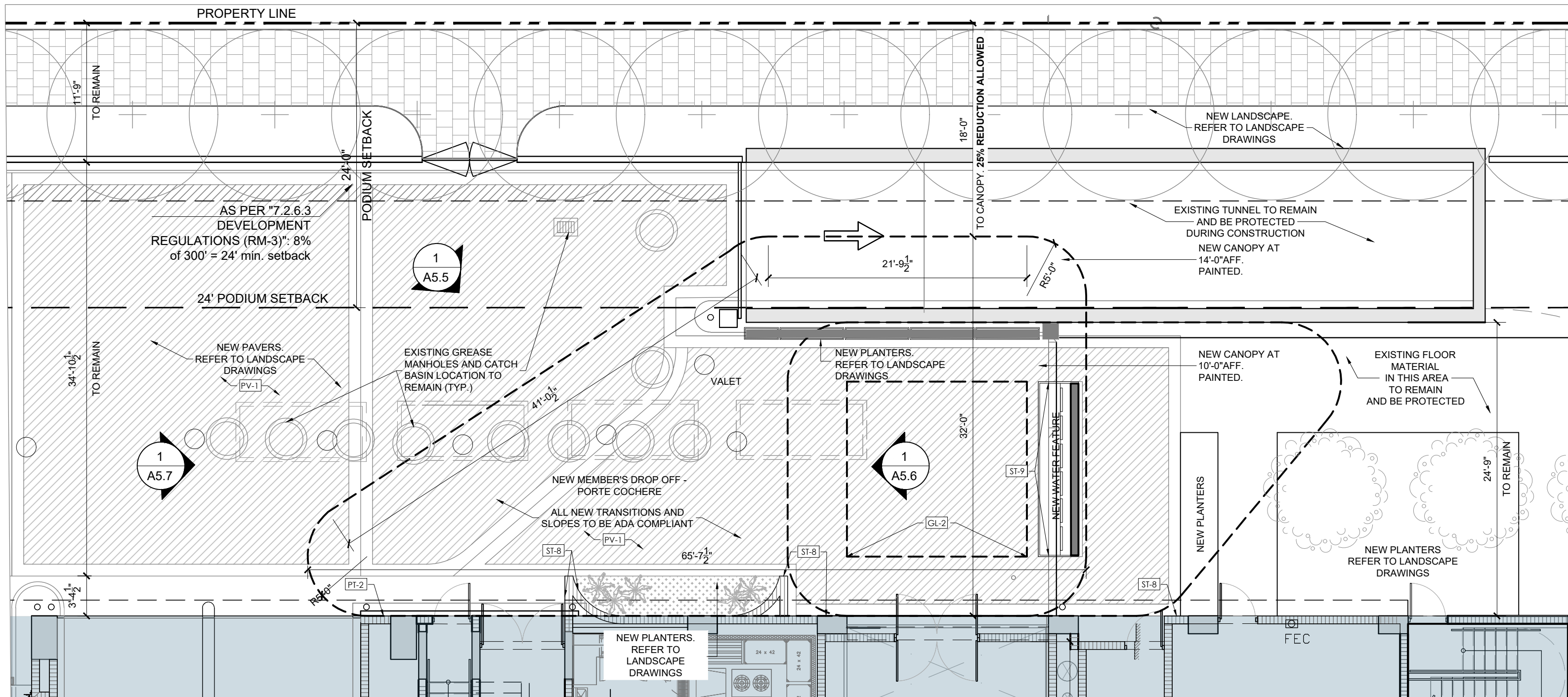


Rendering #3: Drop-off

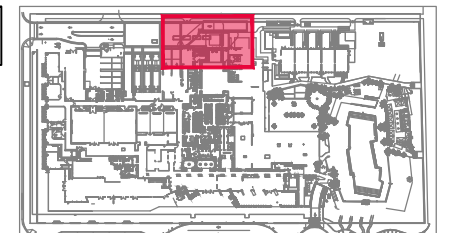


KEY PLAN  
SCALE: NTS

# MEMBER'S CLUB DROP-OFF - PROPOSED



NOTE: THE PROPOSED NEW CANOPY COMPLIES WITH CITY SETBACK REQUIREMENTS.



FINISH KEY LEGEND	
PT-2	NEW PAINT
ST-8	NEW STONE WALL
ST-9	NEW STONE FEATURE WALL
PV-1	PAVERS
GL-2	TRANSLUCENT GLASS (CANOPY DETAIL)

ENLARGED MEMBER'S CLUB / DROP-OFF PROPOSED DESIGN  
SCALE: 1/8" = 1'-0"

KEY PLAN SCALE: NTS



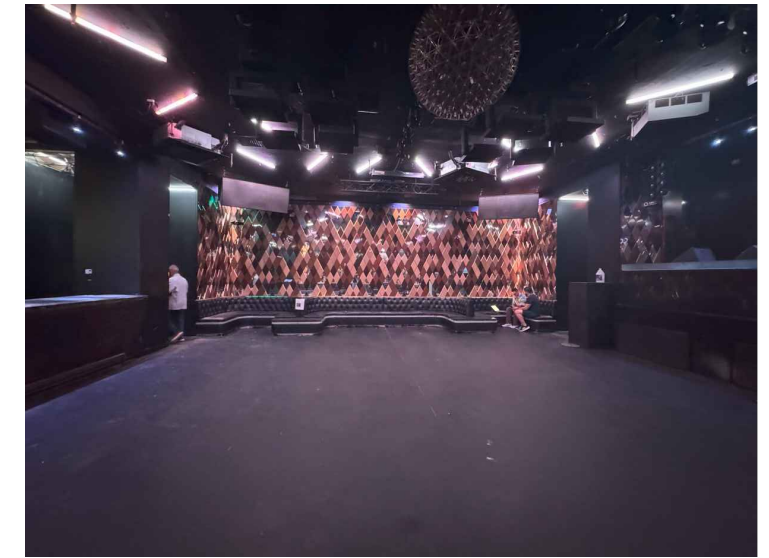




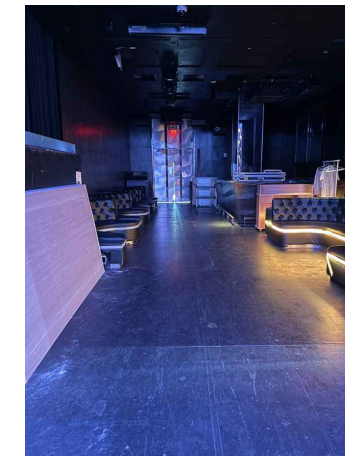
# NIGHT CLUB - EXISTING



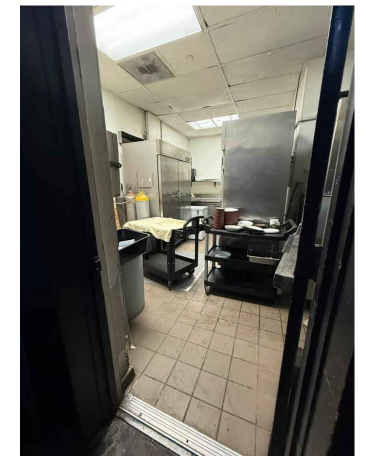
ENLARGED NIGHT CLUB - EXISTING CONDITIONS  
SCALE:  $\frac{3}{32}'' = 1'-0''$



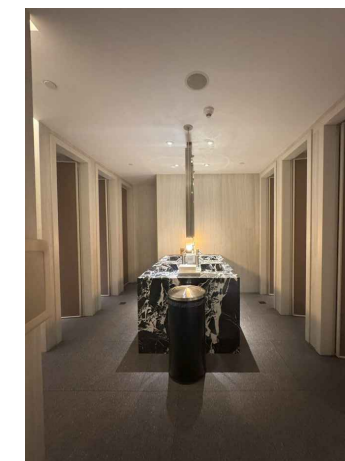
Picture #1: Night Club



Picture #2: Night Club



Picture #3: BOH



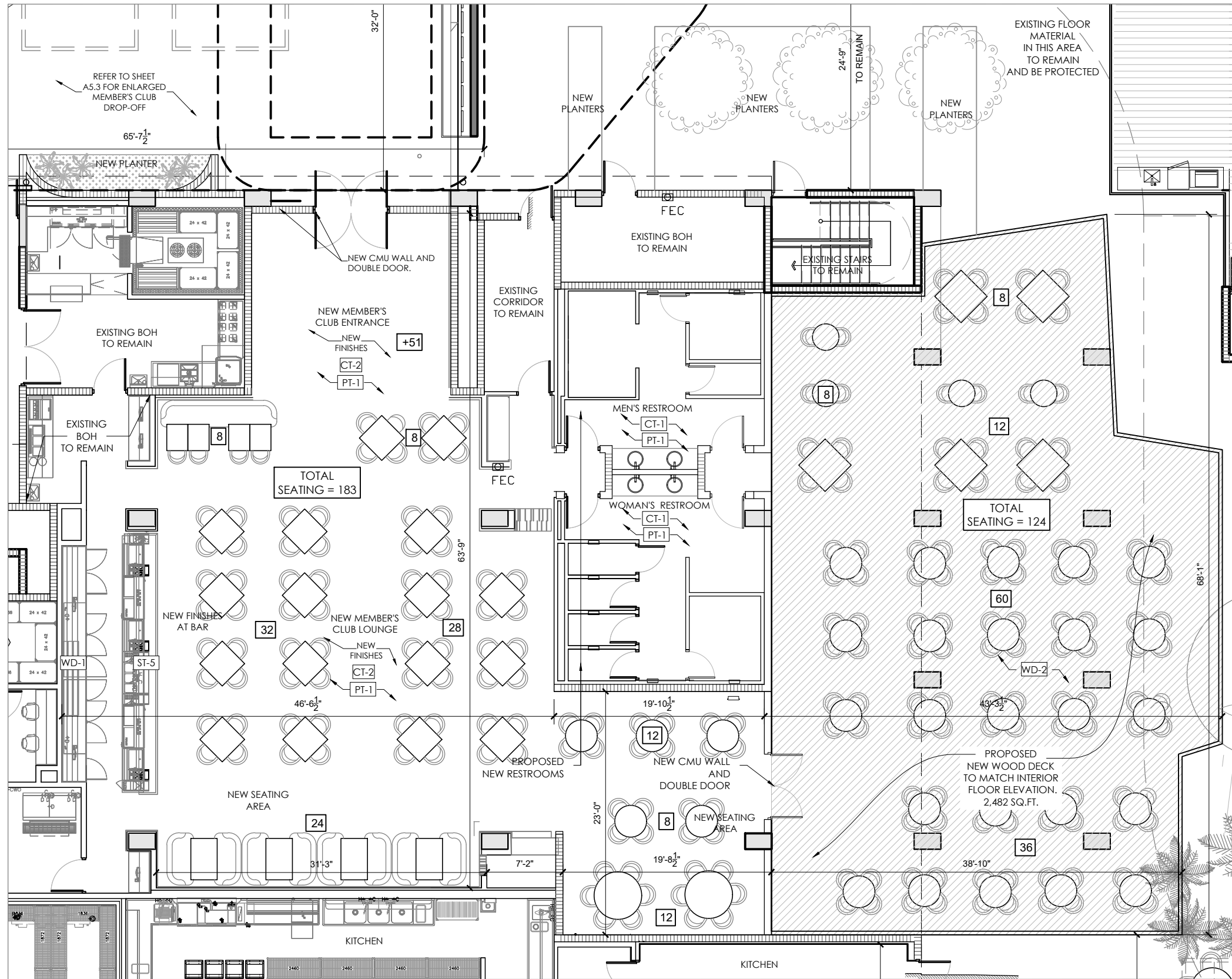
Picture #4: Bathrooms



KEY PLAN  
SCALE: NTS



# MEMBER'S CLUB LOUNGE - PROPOSED

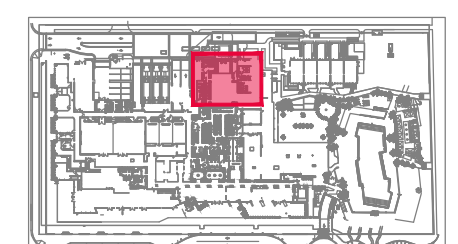


FINISH KEY LEGEND	
PT-1	NEW PAINT
CT-2	NEW CERAMIC TILE FLOORS
ST-5	NEW STONE COUNTERTOP
WD-1	NEW MILLWORK BAR AND SHELVING
WD-2	NEW WOOD DECK

# NUMBER OF SEATS

### LEGEND

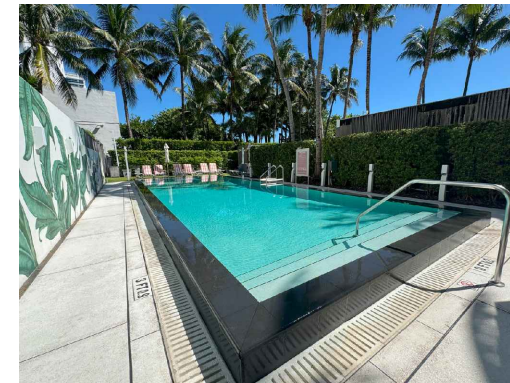
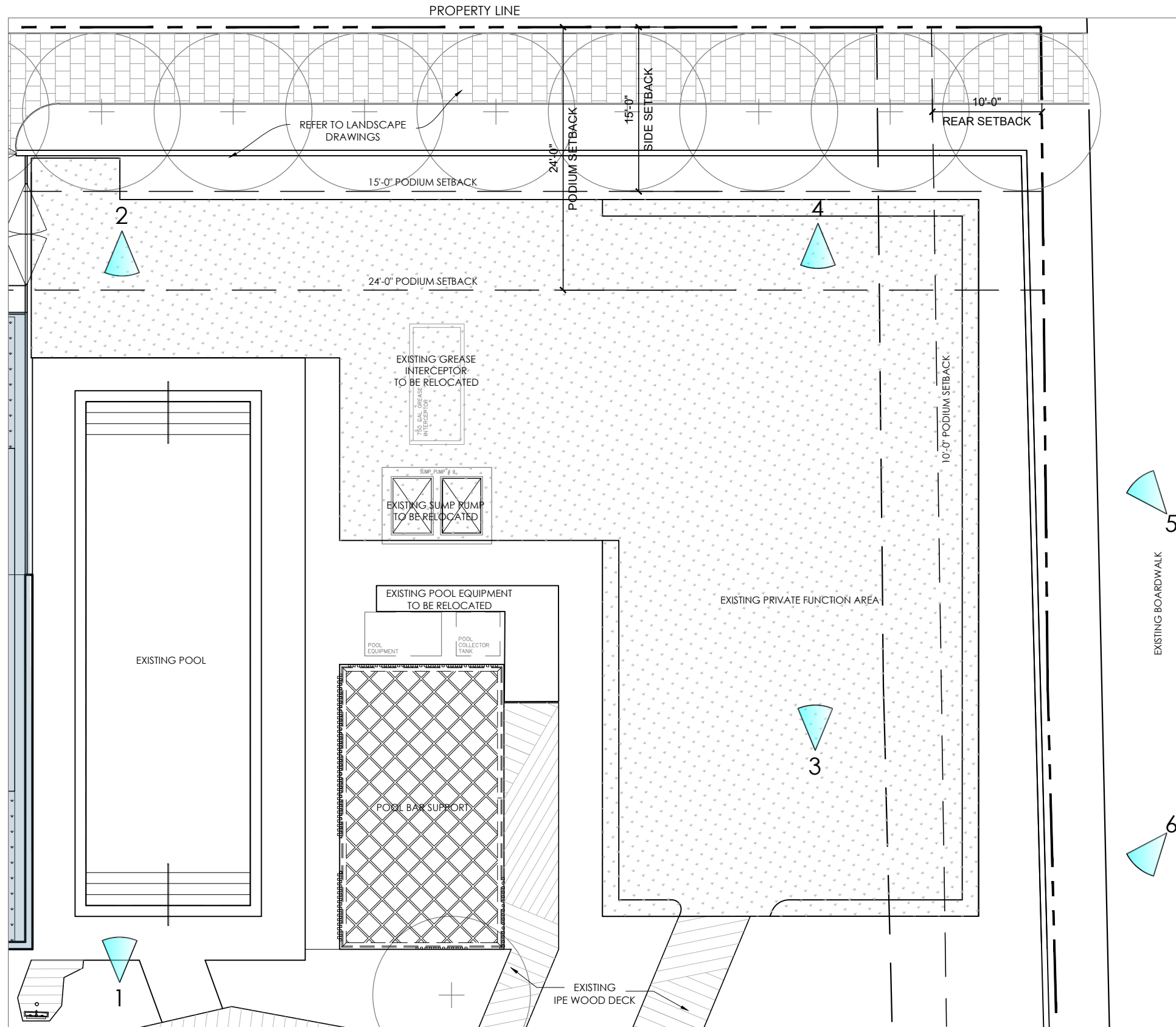
PROPOSED NEW WOOD DECK



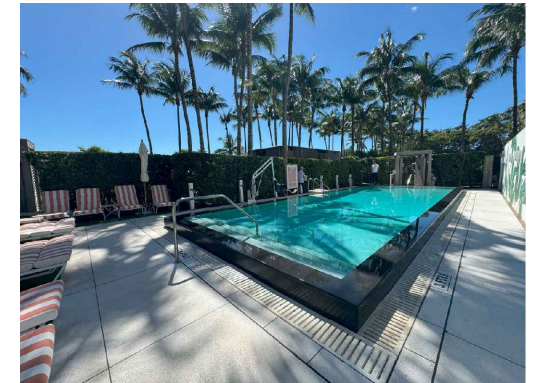
KEY PLAN  
SCALE: NTS

ENLARGED MEMBER'S CLUB LOUNGE - PROPOSED DESIGN  
SCALE:  $\frac{3}{32}'' = 1'-0''$

# PRIVATE FUNCTION AREA AND POOL - EXISTING



Picture #1: Pool



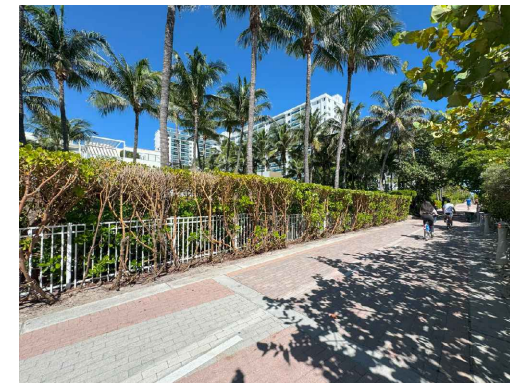
Picture #2: Pool



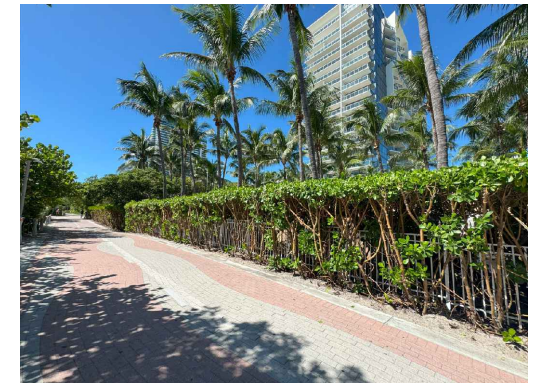
Picture #3: Pool



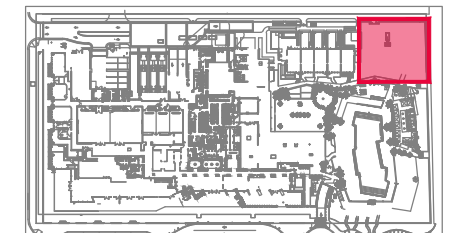
Picture #4: Pool



Picture #5: Pool



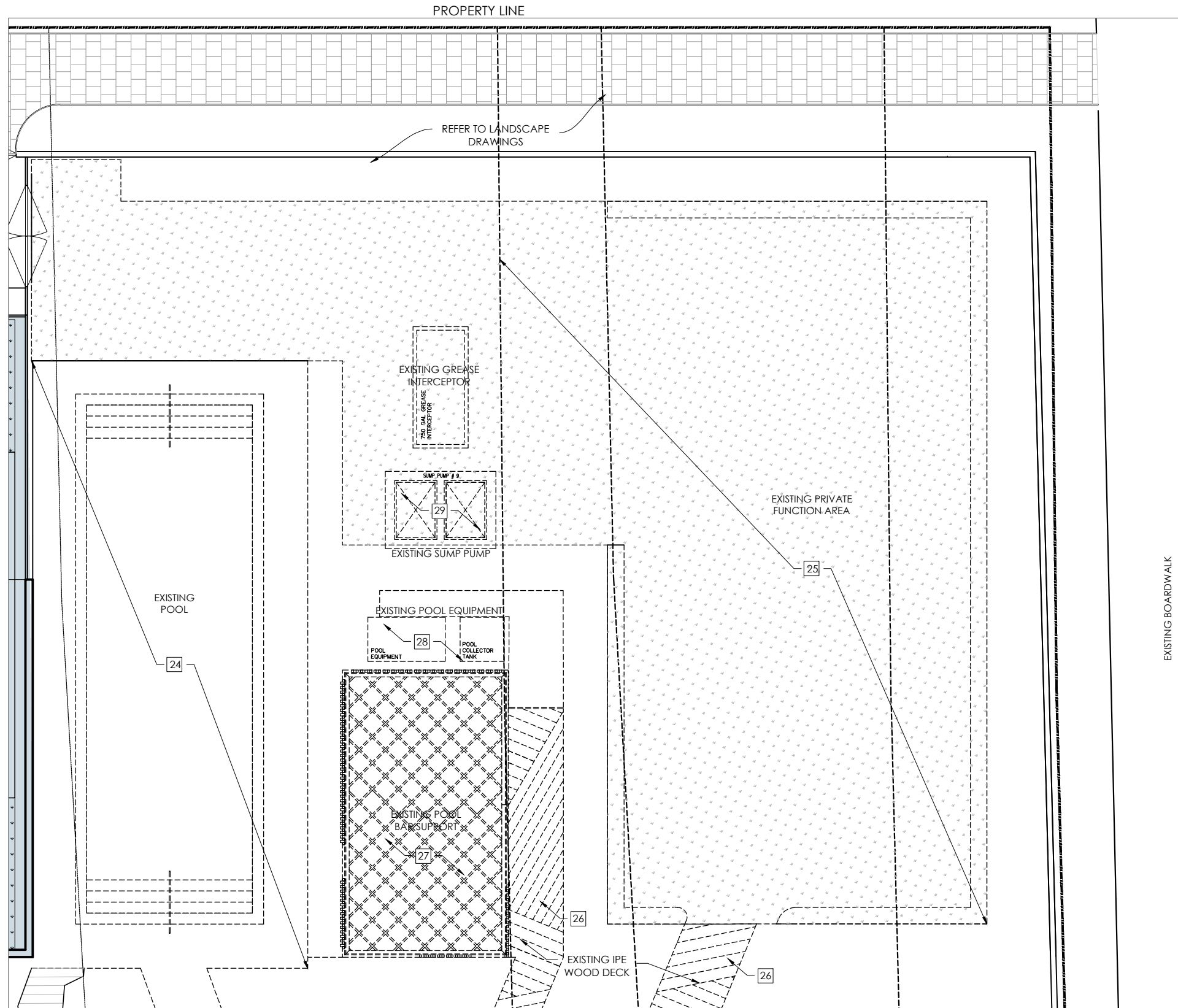
Picture #6: Pool



KEY PLAN  
SCALE: NTS

PRIVATE FUNCTION AREA & POOL - EXISTING CONDITIONS  
SCALE: 3/32" = 1'-0"

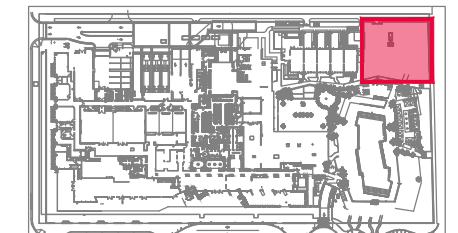
# PRIVATE FUNCTION AREA AND POOL - DEMOLITION PLAN



- ### DEMOLITION LEGEND
- 24 REMOVE EXISTING SWIMMING POOL WHERE INDICATED, INCLUDING ALL COPING, POOL RAILINGS, DECK EDGES, LIGHTING, DRAINS, AND ALL ASSOCIATED PLUMBING, ELECTRICAL, AND MECHANICAL COMPONENTS. DISCONNECT AND CAP ALL UTILITIES AS REQUIRED. PROTECT ADJACENT STRUCTURES, HARDSCAPE, UTILITIES, AND FINISHES TO REMAIN. PATCH, BACKFILL, COMPACT, AND PREPARE AREA TO RECEIVE NEW CONSTRUCTION.
  - 25 REMOVE EXISTING ARTIFICIAL TURF WHERE INDICATED. REMOVE ALL ASSOCIATED BASE MATERIALS, EDGING, AND ANCHORAGE SYSTEMS. PREPARE SUBGRADE FOR NEW SCOPE OF WORK.
  - 26 REMOVE EXISTING IPE WOOD DECK WHERE INDICATED. REMOVE ALL DECKING, SLEEPERS, FASTENERS, AND ASSOCIATED SUPPORT ELEMENTS. PATCH AND PREPARE SUBSTRATE TO RECEIVE NEW CONSTRUCTION.
  - 27 REMOVE EXISTING NON-STRUCTURAL WOOD BAR SUPPORT / SHADE STRUCTURE WHERE INDICATED. PROTECT ALL ADJACENT STRUCTURAL ELEMENTS, UTILITIES, AND FINISHES TO REMAIN. PATCH AND REPAIR ALL AFFECTED SURFACES.
  - 28 RELOCATE EXISTING POOL EQUIPMENT AND POOL COLLECTOR AS REQUIRED BY NEW LAYOUT. DISCONNECT, CAP, AND RECONNECT ALL ASSOCIATED UTILITY SERVICES. COORDINATE WITH MECHANICAL ENGINEER AND POOL CONSULTANT.
  - 29 RELOCATE EXISTING GREASE INTERCEPTOR AND SUMP PUMP AS REQUIRED BY NEW DESIGN. DISCONNECT AND RECONNECT ALL PLUMBING AND ELECTRICAL SERVICES. COORDINATE WITH CIVIL, PLUMBING, AND MECHANICAL ENGINEERS.
  - 30 REMOVE ENTIRE EXISTING POOL BAR AND POOL BAR SEATING AS INDICATED, INCLUDING ALL FIXED EQUIPMENT, SINKS, MILLWORK, CANOPIES, AND ASSOCIATED COMPONENTS. PROTECT, SALVAGE, AND STORE ALL DESIGNATED FURNITURE AND APPLIANCES/EQUIPMENT AS DIRECTED BY OWNERSHIP. DISCONNECT AND CAP ALL ASSOCIATED PLUMBING AND ELECTRICAL SERVICES AS REQUIRED. PROTECT ADJACENT SURFACES AND STRUCTURES TO REMAIN.
  - 31 REMOVE AND REPLACE EXISTING COPING AT MAIN POOL ONLY. CAREFULLY REMOVE EXISTING COPING MATERIAL AND PREPARE SUBSTRATE TO RECEIVE NEW SPECIFIED FINISH. PROTECT POOL SHELL, WATERPROOFING, AND ADJACENT SURFACES TO REMAIN.
  - 32 REMOVE EXISTING POOL DECK FINISHES WHERE INDICATED TO RECEIVE NEW MATERIAL. REMOVE ALL EXISTING DECK SURFACE MATERIALS DOWN TO SUBSTRATE. PATCH, REPAIR, AND PREPARE SURFACE TO RECEIVE NEW POOL DECK FINISHES PER DESIGN.
  - 33 PROVIDE NEW EXTERIOR FURNITURE PER NEW DESIGN. REMOVE AND REPLACE EXISTING OUTDOOR FURNITURE AS REQUIRED. COORDINATE FINAL LAYOUT, QUANTITIES, AND SPECIFICATIONS WITH OWNERHIP AND INTERIOR DESIGNER.
  - 34 REMOVE EXISTING WOOD POOL CABANAS WHERE INDICATED, INCLUDING ROOF STRUCTURES, SEATING AREAS, AND ALL ASSOCIATED SUPPORT ELEMENTS. PROTECT ADJACENT HARDSCAPE, POOL DECK, AND UTILITIES TO REMAIN. PATCH AND PREPARE ALL AFFECTED AREAS TO RECEIVE NEW CONSTRUCTION.
  - 35 PREPARE AREA WHERE INDICATED FOR CONSTRUCTION OF NEW UNISEX RESTROOM. REMOVE EXISTING FINISHES AND ARTIFICIAL TURF AS REQUIRED AND PREPARE SUBSTRATE TO RECEIVE NEW CONSTRUCTION. COORDINATE WITH ARCHITECTURAL, STRUCTURAL, PLUMBING, ELECTRICAL, AND MECHANICAL DRAWINGS.

LEGEND

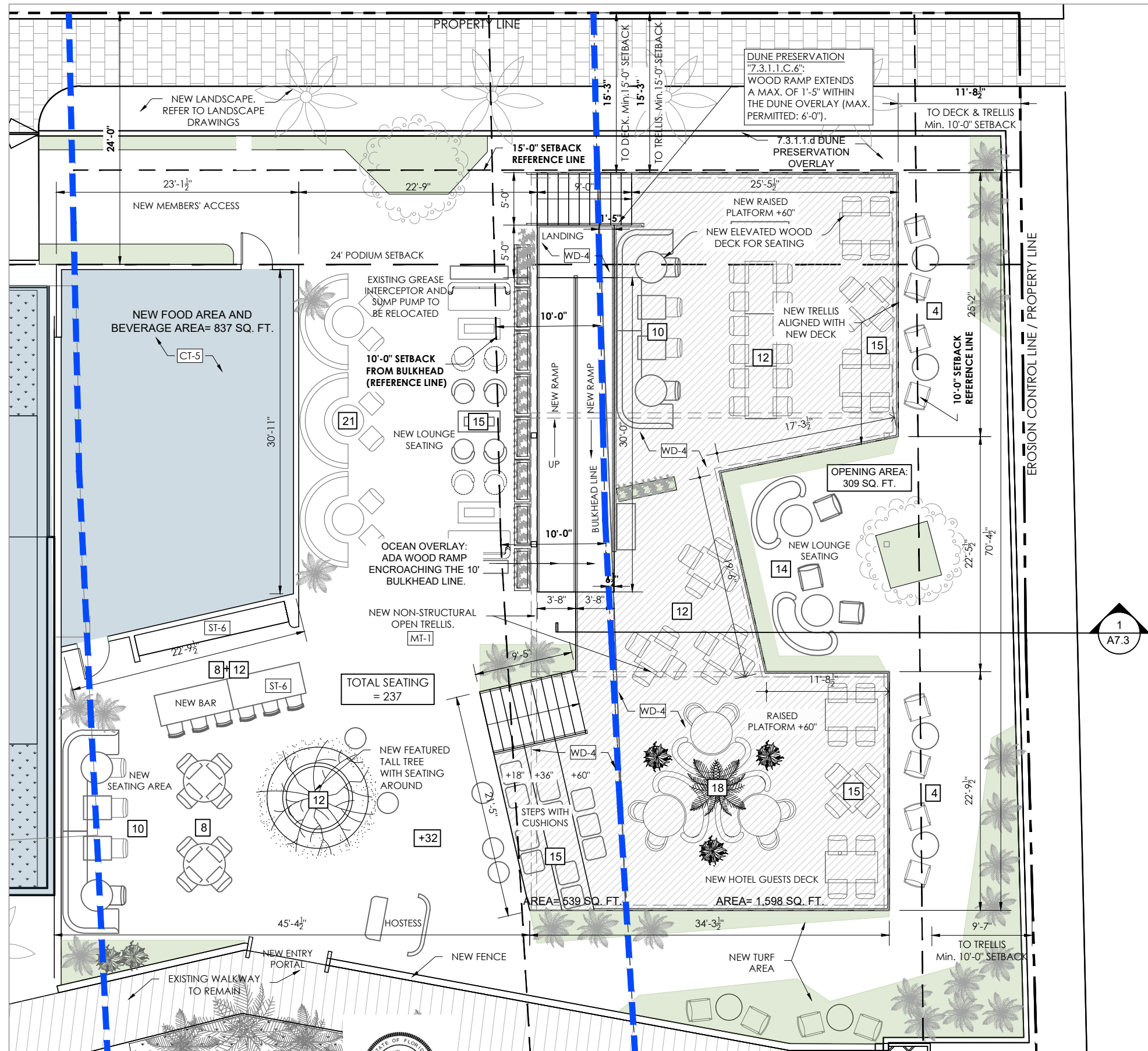
--- EXISTING TO BE REMOVED



KEY PLAN  
SCALE: NTS

PRIVATE FUNCTION AREA & POOL - DEMOLITION PLAN  
SCALE: 3/32" = 1'-0"

# BEACH RESTAURANT FOR MEMBERS CLUB & HOTEL GUESTS - PROPOSED



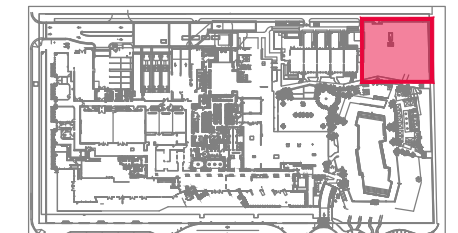
Rendering #1: Proposed outdoor area



Reference image: Trellis design intent

FINISH KEY LEGEND	
PT-1	NEW PAINT
CT-5	NEW CERAMIC TILE FLOOR
ST-6	BAR STONE COUNTERTOP
WD-4	NEW OUTDOOR GRADE WOOD FINISH DECK, WALKWAYS AND RAMP
MT-1	NEW PAINTED METAL TRELLIS STRUCTURE
#	NUMBER OF SEATS

LEGEND	
[Blue shaded area]	INDOOR SPACE



ENLARGED BEACH RESTAURANT FOR MEMBERS CLUB & HOTEL GUESTS - PROPOSED DESIGN  
SCALE: 3/32" = 1'-0"

KEY PLAN  
SCALE: NTS

# BEACH RESTAURANT FOR MEMBERS CLUB & HOTEL GUESTS - PROPOSED TRELLIS GENERAL SPECIFICATIONS

TECHNICAL DATA TABLE - GENERAL SPECIFICATIONS *		
OUTDOOR TRELLIS WITH FABRIC AWNING, SIDE SHADES, AND GLASS		
ITEM	TECHNICAL DESCRIPTION	MATERIAL / PERFORMANCE
System type	Free-standing pergola with overhead retractable fabric awning, side fabric shades and clear glass roof above to collect/drain rainwater.	Custom engineered pergola assembly.
Overall size	Per plan.	Verify field dimensions.
Height	Total height: 12'-0"H.	
Primary structure	Metal square frame; clean modern profile.	Aluminum (preferred for coastal exposure) with high-performance coating.
Posts	6" X 6" metal posts (square).	Min. wall thickness per engineer/manufacturer.
Beams & perimeter frame	Square metal members forming perimeter and intermediate supports.	Size and spacing per manufacturer's engineer.
Finish (metal)	Metal, exterior-grade, UV and corrosion resistant.	Powder coat. Minimum 10 year warranty.
Frame / structure color	White.	
Overhead fabric awning (ceiling)	Fabric canopy below glass roof. Retractable.	Outdoor-rated architectural fabric. Minimum 5 year warranty.
Awning operation	Motorized .	Motor rated for exterior use at coastal environment.
Rain collector roof (above awning)	Clear glass roof installed above the fabric awning to collect and drain rainwater.	Tempered/laminated safety glass.

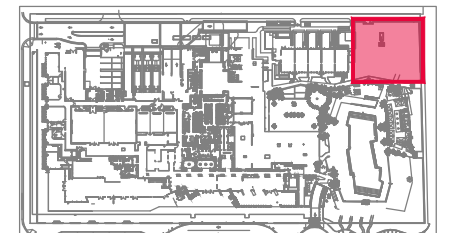
**\*PENDING ENGINEERED SHOP DRAWINGS**



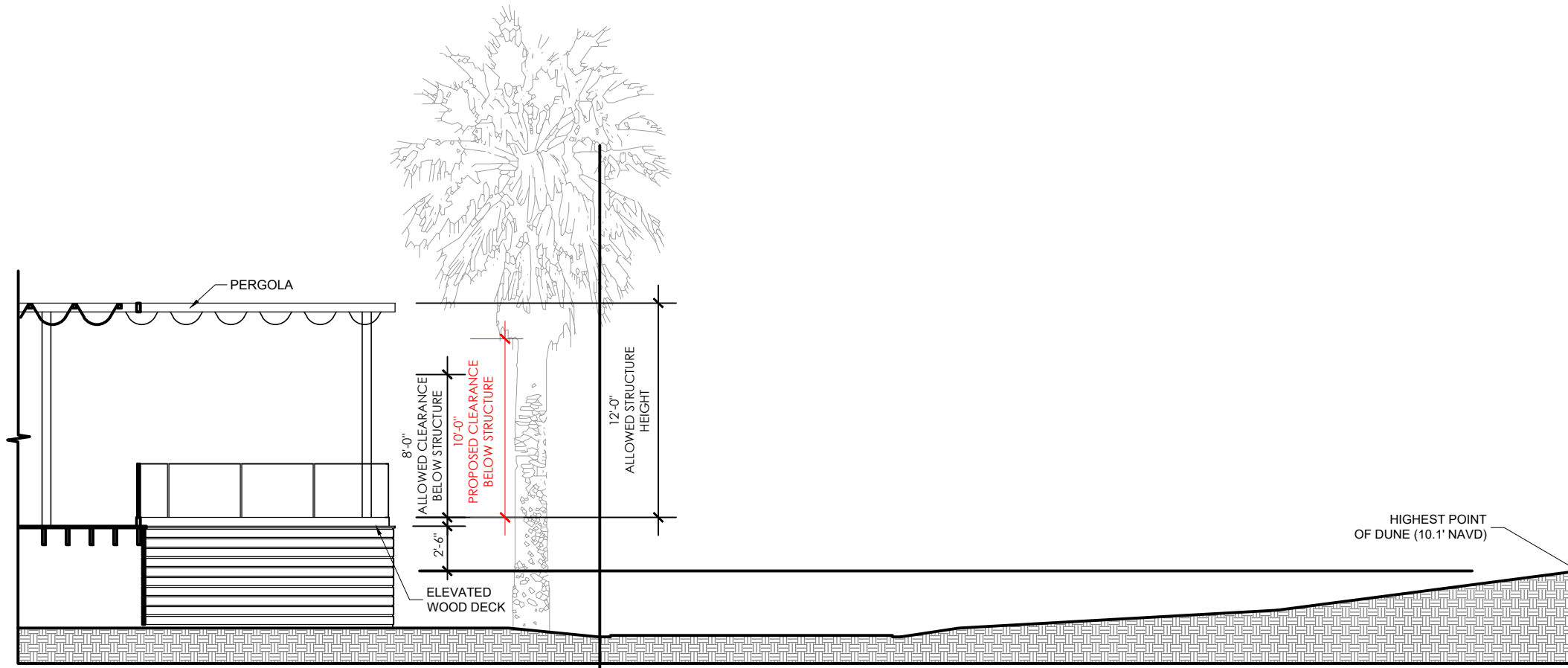
**Rendering #1:** Proposed outdoor area



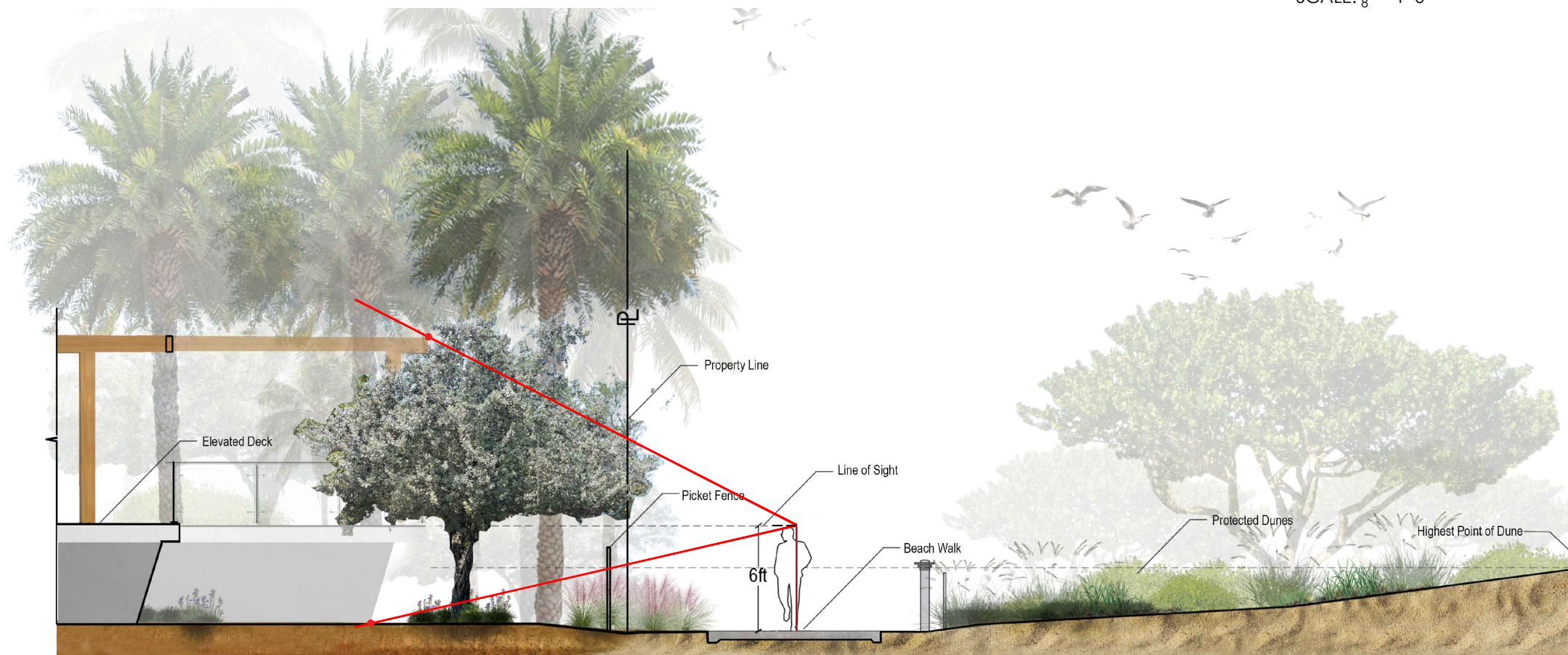
**Reference image:** Trellis design intent



KEY PLAN  
SCALE: NTS



① DECK SECTION - PROPOSED  
SCALE: 1/8" = 1'-0"



② DECK SECTION - RENDERED SECTION  
SCALE: 1/8" = 1'-0"