

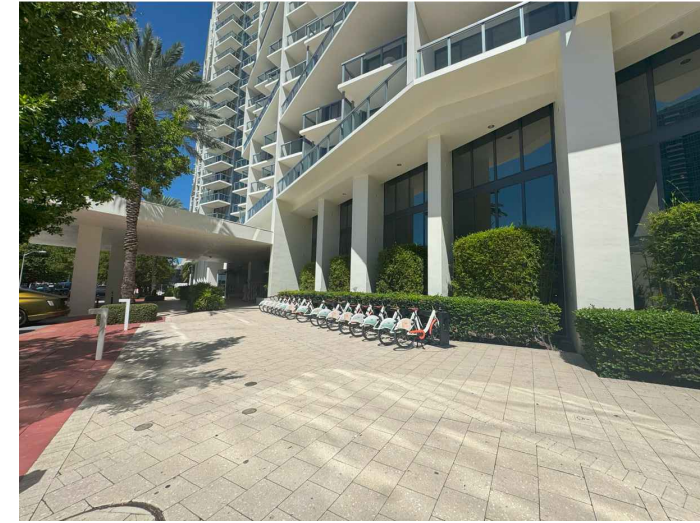
# LOBBY (INDOOR AND OUTDOOR) - EXISTING



Picture #1: Lobby entrance - Side view

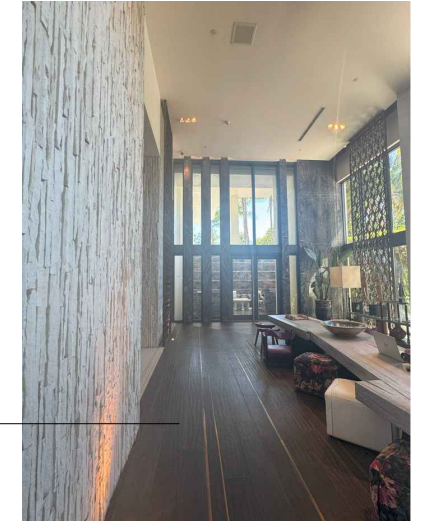


Picture #2: Exterior facing main entrance



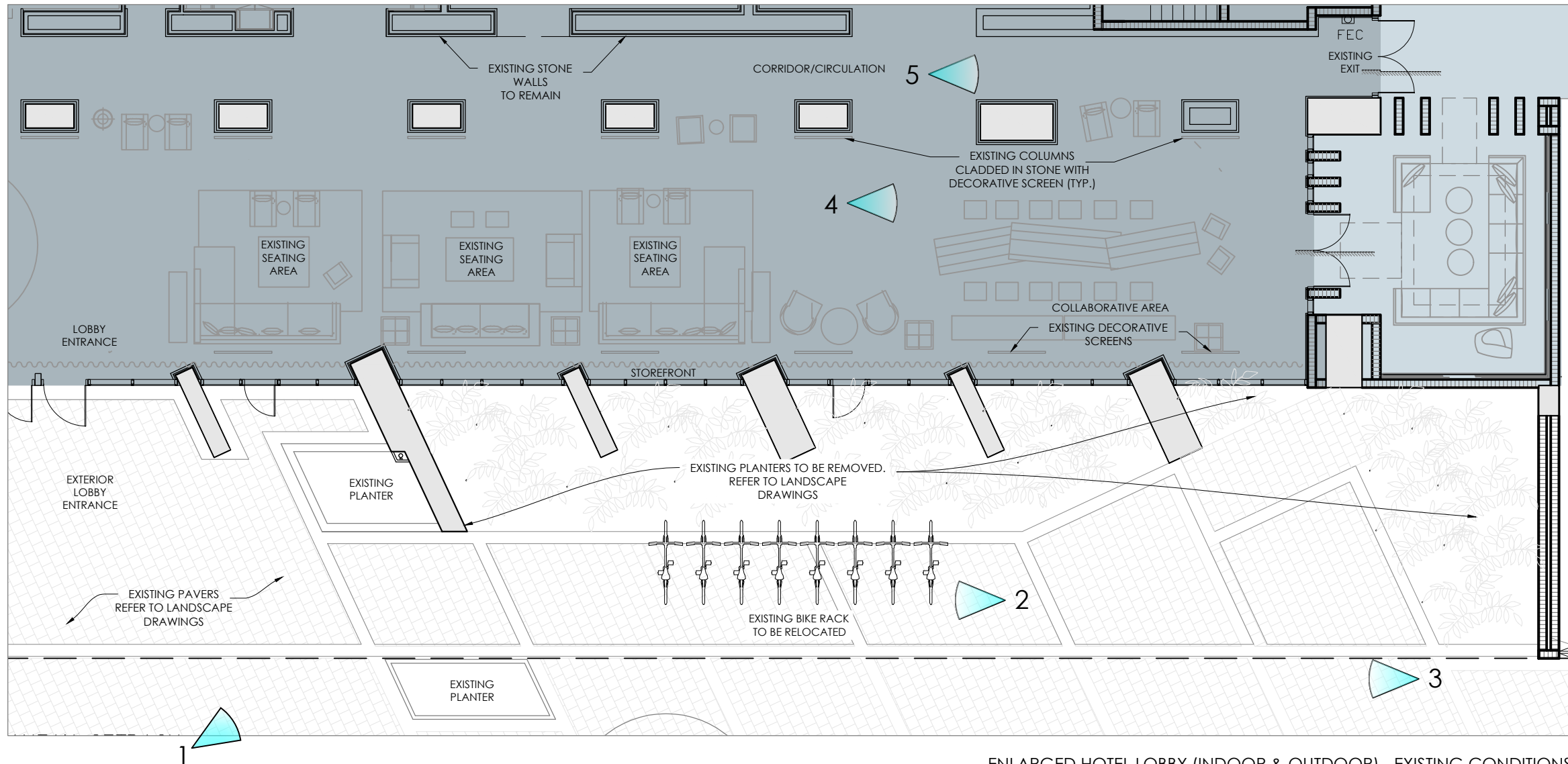
Picture #3: Exterior facing main entrance

Interior pictures:

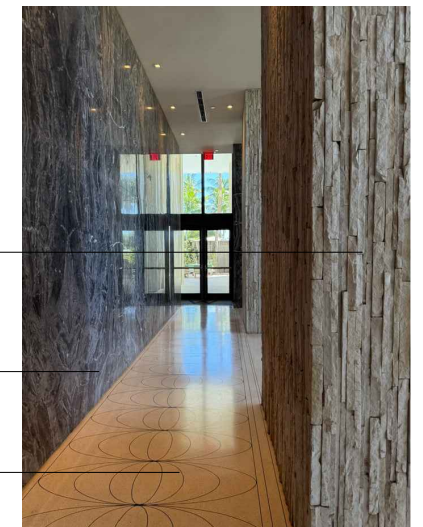


EXISTING WOOD FLOORING

Picture #4: Collaborative area

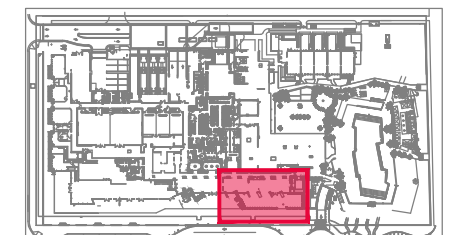


ENLARGED HOTEL LOBBY (INDOOR & OUTDOOR) - EXISTING CONDITIONS  
SCALE: 3/32" = 1'-0"



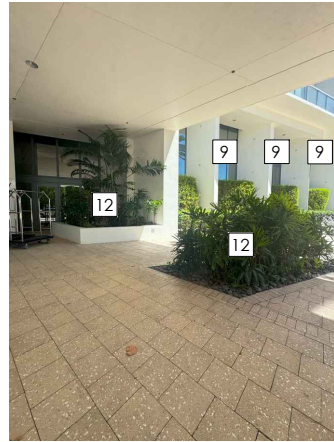
EXISTING CLADDED COLUMNS  
EXISTING NATURAL STONE WALLS TO REMAIN  
EXISTING GRANITE FLOORING WITH BRONZE INSETS TO REMAIN

Picture #5: Corridor

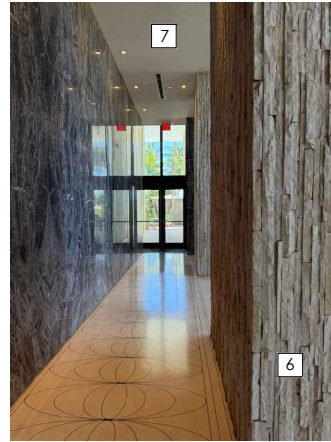


KEY PLAN  
SCALE: NTS

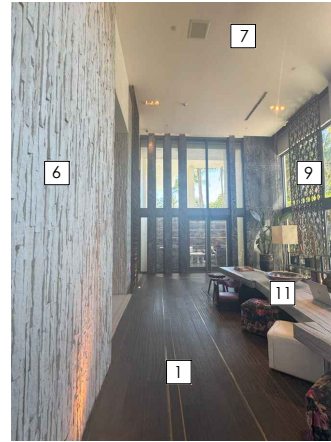
# LOBBY (INDOOR AND OUTDOOR) - DEMOLITION PLAN



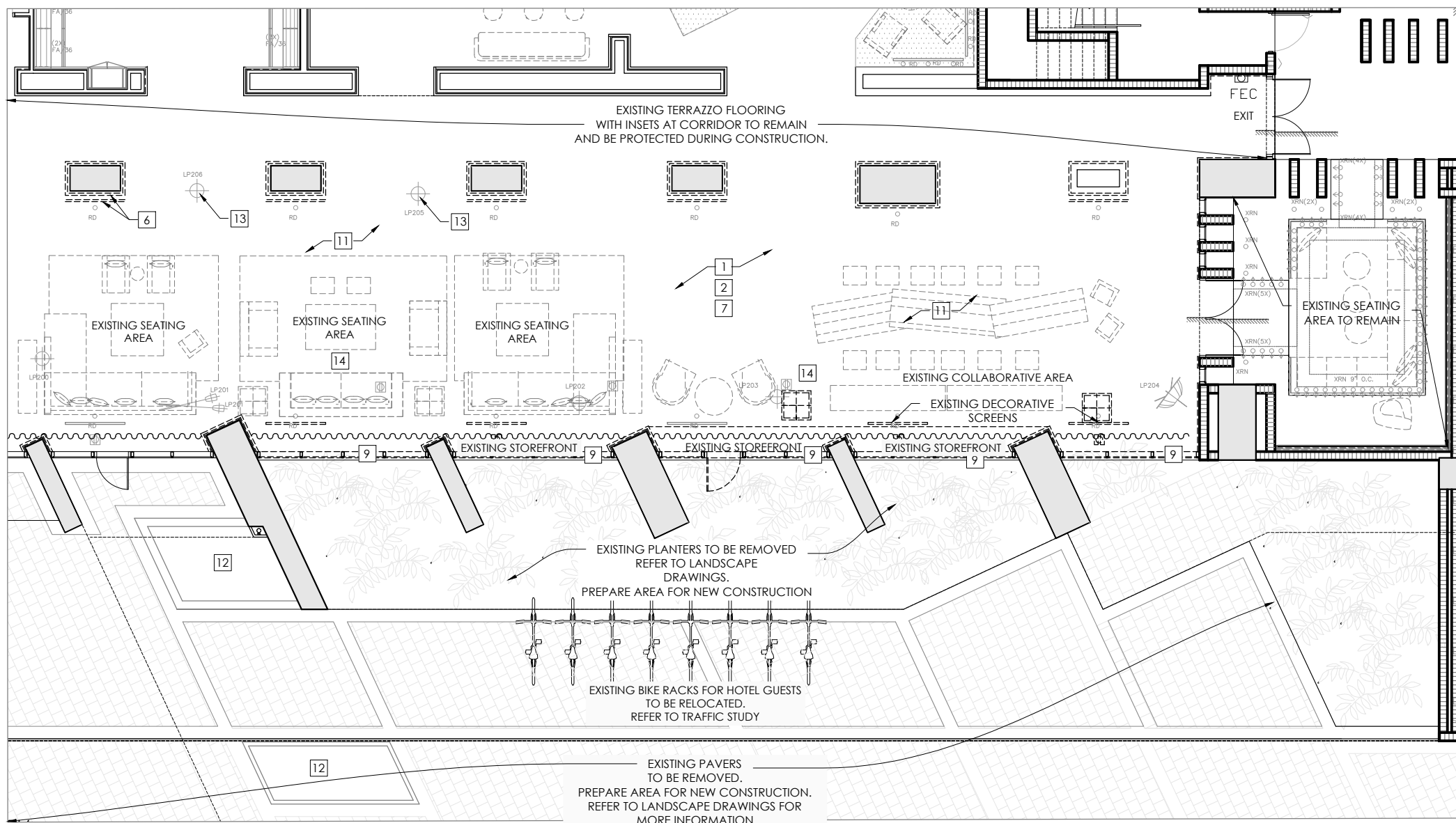
Lobby entrance (outdoor)



Lobby and corridor



Lobby - Collaborative area



## DEMOLITION LEGEND

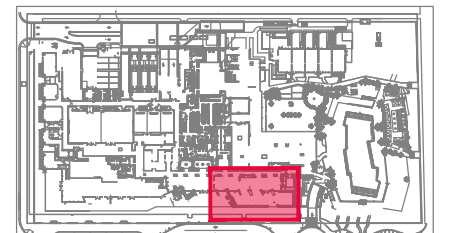
1. REMOVE ALL EXISTING FLOOR FINISHES, ADHESIVES, AND SETTING MATERIALS COMPLETE; CLEAN AND PREP FLOOR SLAB TO RECEIVE NEW FINISHES AS SPECIFIED.
2. REMOVE ALL EXISTING BASEBOARDS AND TRIMS IN THEIR ENTIRETY.
3. REMOVE PARTITIONS, FURRING, AND ASSOCIATED FINISHES WHERE INDICATED; PREPARE FOR NEW WALL CONSTRUCTION PER DRAWINGS.
4. REMOVE ALL EXISTING STONE WALL FINISHES AND SETTING MATERIALS COMPLETE; PREP WALL FOR NEW STONE APPLICATION.
5. REMOVE ALL EXISTING STONE WALL FINISHES AND SETTING MATERIALS COMPLETE; PREP WALL FOR NEW WALLCOVERING APPLICATION.
6. REMOVE ALL EXISTING STONE WALL CLADDING AND/OR DECORATIVE SCREEN ON COLUMNS; PREP WALL FOR NEW TAMBOUR WITH VENETIAN PLASTER APPLICATION. TYP. FOR ALL COLUMNS @ LOBBY AREA.
7. REMOVE ALL EXISTING CEILING FINISHES AND ASSOCIATED SUPPORT SYSTEMS WHERE INDICATED; A NEW ELECTRICAL LAYOUT SHALL BE PROVIDED. EXISTING HVAC DUCTWORK TO REMAIN ABOVE CEILING; DIFFUSERS, GRILLES, AND ASSOCIATED AIR DEVICES TO BE RELOCATED AND ADJUSTED AS REQUIRED TO ACCOMMODATE THE NEW LAYOUT.
8. REMOVE EXISTING DOORS, FRAMES, AND HARDWARE WHERE INDICATED; DISPOSE OF PROPERLY. PREPARE OPENINGS FOR NEW DOORS, FRAMES, AND HARDWARE AS SCHEDULED.
9. REMOVE EXISTING STOREFRONT WALL ASSEMBLY IN ITS ENTIRETY, INCLUDING GLAZING, FRAMING, ANCHORS, AND ALL ASSOCIATED COMPONENTS; PROTECT ADJACENT SURFACES. PREPARE OPENING TO RECEIVE NEW OPERABLE DOOR SYSTEM AS INDICATED ON DRAWINGS.
10. REMOVE EXISTING RECEPTION DESK IN ITS ENTIRETY; PROTECT ADJACENT SURFACES. DISCONNECT AND CAP ALL ASSOCIATED SERVICES. PREP AREA FOR NEW INSTALLATION.
11. REMOVE EXISTING FURNITURE WHERE INDICATED; PROTECT, SALVAGE, AND STORE AS REQUIRED BY OWNER.
12. REMOVE ALL EXISTING PLANTS IN THEIR ENTIRETY; PROTECT ADJACENT SURFACES. PREPARE AREA TO RECEIVE NEW PLANTS AS INDICATED ON LANDSCAPING DRAWINGS.
13. REMOVE EXISTING LIGHT FIXTURES.
14. EXISTING FLOOR OUTLETS, DATA, AND POWER CONNECTIONS SERVING DESKS OR OTHER EQUIPMENT TO BE RELOCATED AS REQUIRED TO ACCOMMODATE THE NEW LAYOUT.
15. REMOVE ALL EXISTING PLUMBING FIXTURES, ACCESSORIES, AND ASSOCIATED PIPING WHERE INDICATED; CAP AND SEAL ALL SERVICES FOR FUTURE CONNECTION. PROTECT, SALVAGE AND STORE AS DIRECTED BY OWNERSHIP.
16. EXISTING DOOR TO BE REMOVED AND REPLACED BY STOREFRONT.
17. REMOVE EXISTING CONCRETE STAIRS IN THEIR ENTIRETY; PROTECT ADJACENT SURFACES. COORDINATE WITH STRUCTURAL PRIOR TO DEMOLITION. PREP FOR NEW CONSTRUCTION.
18. REMOVE ALL EXISTING KITCHEN EQUIPMENT WHERE INDICATED, INCLUDING APPLIANCES, FIXTURES, AND ASSOCIATED COMPONENTS; DISCONNECT AND CAP ALL ELECTRICAL, GAS, WATER, AND DRAIN CONNECTIONS AS REQUIRED. PROTECT ADJACENT SURFACES TO REMAIN. PATCH AND PREP ALL AFFECTED AREAS TO RECEIVE NEW EQUIPMENT AND FINISHES. PROTECT, SALVAGE, AND STORE AS DIRECTED BY OWNERSHIP.

## GENERAL NOTES

ALL FIRE ALARM DEVICES, SPRINKLER HEADS, AND LIFE SAFETY SYSTEMS SHALL BE TEMPORARILY PROTECTED AND RELOCATED AS REQUIRED TO MAINTAIN CODE COMPLIANCE DURING CONSTRUCTION.

## LEGEND

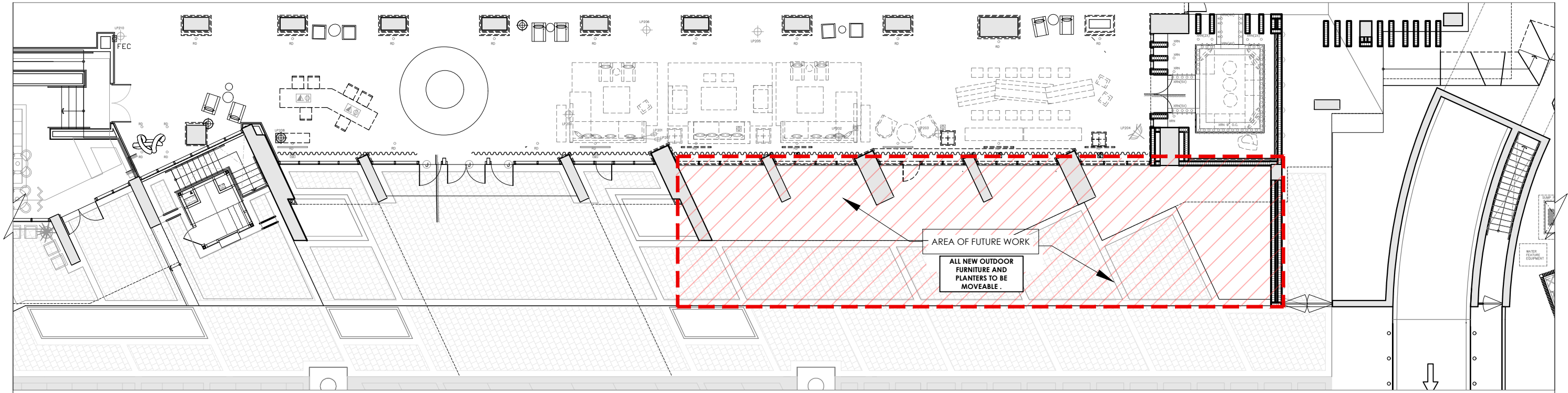
--- EXISTING TO BE REMOVED



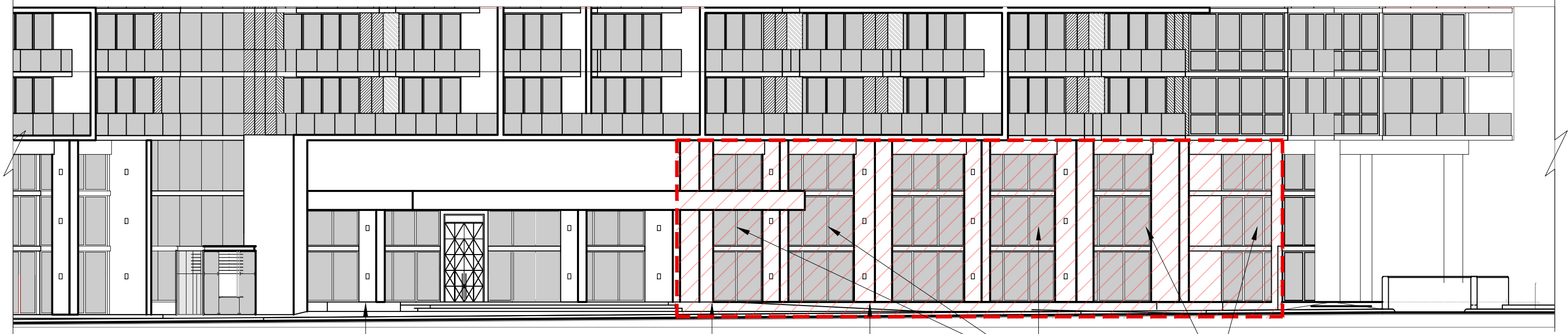
KEY PLAN  
SCALE: NTS

ENLARGED HOTEL LOBBY (INDOOR & OUTDOOR) - DEMOLITION PLAN  
SCALE: 3/32" = 1'-0"

# SOUTH BUILDING PARTIAL ELEVATION - DEMOLITION



PARTIAL FLOOR PLAN  
SCALE: 1/16" = 1'-0"



SOUTH BUILDING PARTIAL ELEVATION - DEMOLITION  
SCALE: 1/16" = 1'-0"

REMOVE ALL EXISTING PLANTS  
PREPARE AREA TO RECEIVE NEW  
ONE AS INDICATED ON LANDSCAPING  
DRAWINGS.

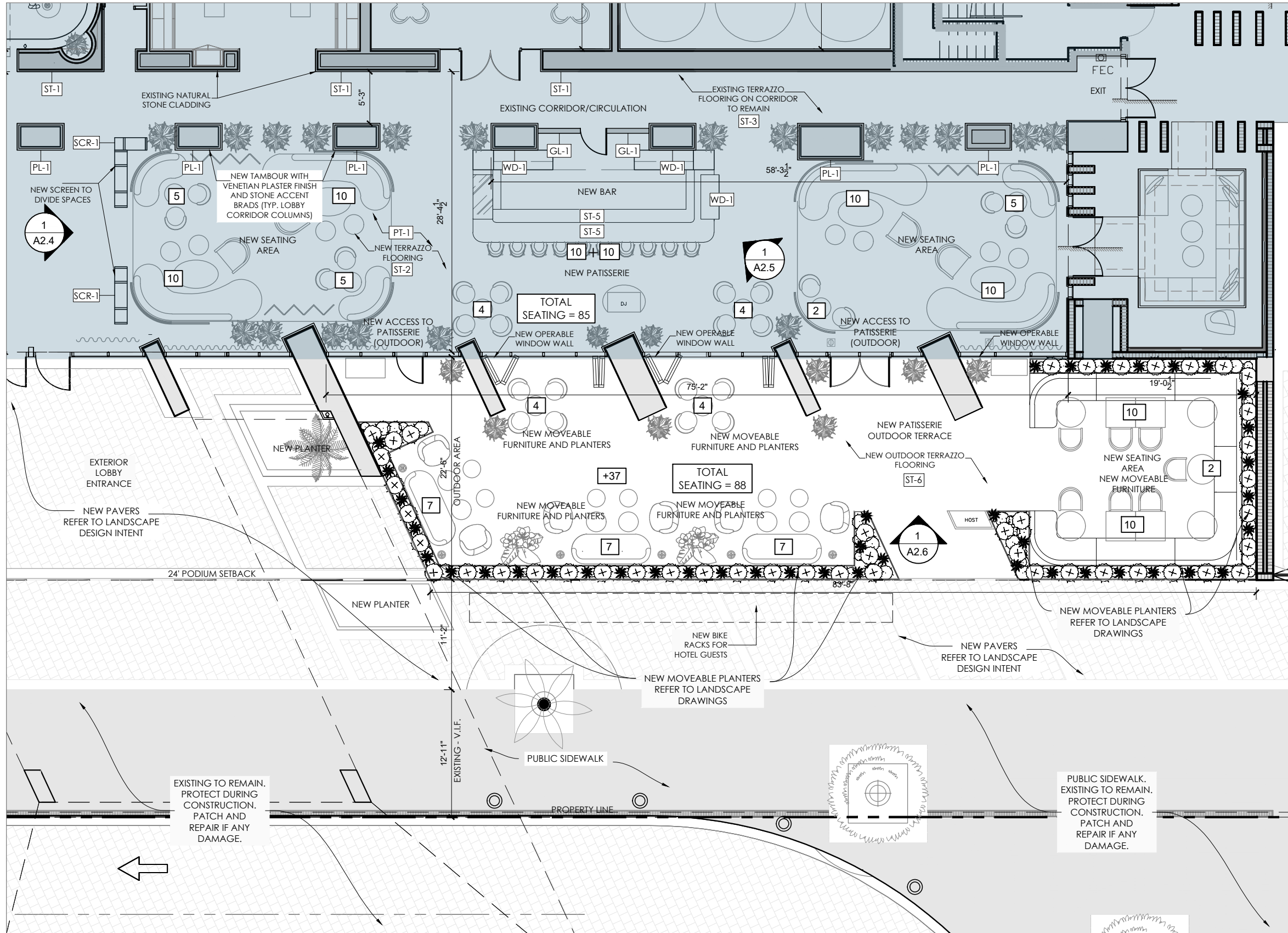
EXISTING BIKE RACKS FOR  
HOTEL GUESTS  
TO BE RELOCATED.  
REFER TO TRAFFIC STUDY

EXISTING PAVERS  
TO BE REMOVED.  
PREPARE AREA FOR NEW  
CONSTRUCTION

NOTE #9 - DEMOLITION LEGEND:  
REMOVE EXISTING STOREFRONT

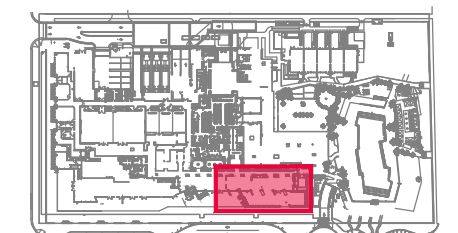
**LEGEND**  
----- AREA OF FUTURE WORK

# NEW BAR / PATISSERIE (INDOOR AND OUTDOOR) - PROPOSED



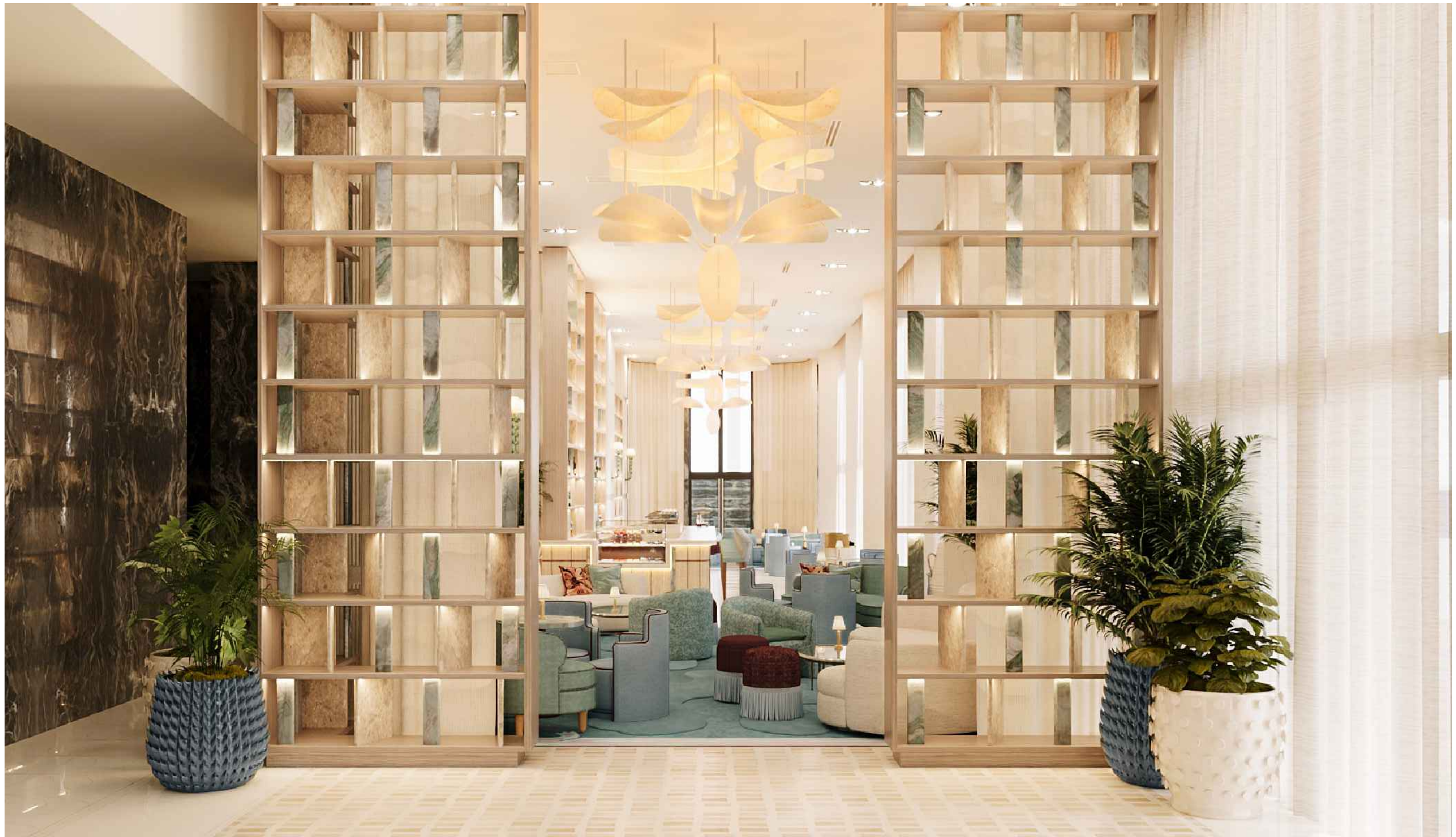
FINISH KEY LEGEND	
ST-1	EXISTING NATURAL STONE WALL CLADDING TO REMAIN
ST-2	NEW SCARPA TERRAZZO FLOORING
ST-3	EXISTING TERRAZZO FLOORING TO REMAIN (CORRIDORS)
ST-4	NEW PALLADIANA TERRAZZO FLOORING
ST-5	NEW STONE COUNTERTOP
ST-6	NEW OUTDOOR PALLADIANA TERRAZZO FLOORING
WD-1	NEW MILLWORK BAR AND SHELVING
PT-1	NEW PAINT (TYP. ALL WALLS & CEILINGS)
PL-1	NEW TAMBOUR W/ VENETIAN PLASTER & STONE ACCENT
PL-2	NEW BAS RELIEF PLASTER MURAL
PL-3	NEW SCULPTURAL PLASTER ALCOVE
PL-4	NEW PLASTER CEILING
WP-1	NEW WALLCOVERING
SCR-1	NEW WOOD AND STONE DECORATIVE SCREEN
GL-1	NEW ANTIQUE MIRROR WALL

# NUMBER OF SEATS



KEY PLAN  
SCALE: NTS

ENLARGED BAR / PATISSERIE PLAN (INDOOR & OUTDOOR) - PROPOSED DESIGN  
SCALE: 3/32" = 1'-0"



## PATISSERIE

SCALE: N/A



PÂTISSERIE BAR

SCALE: N/A

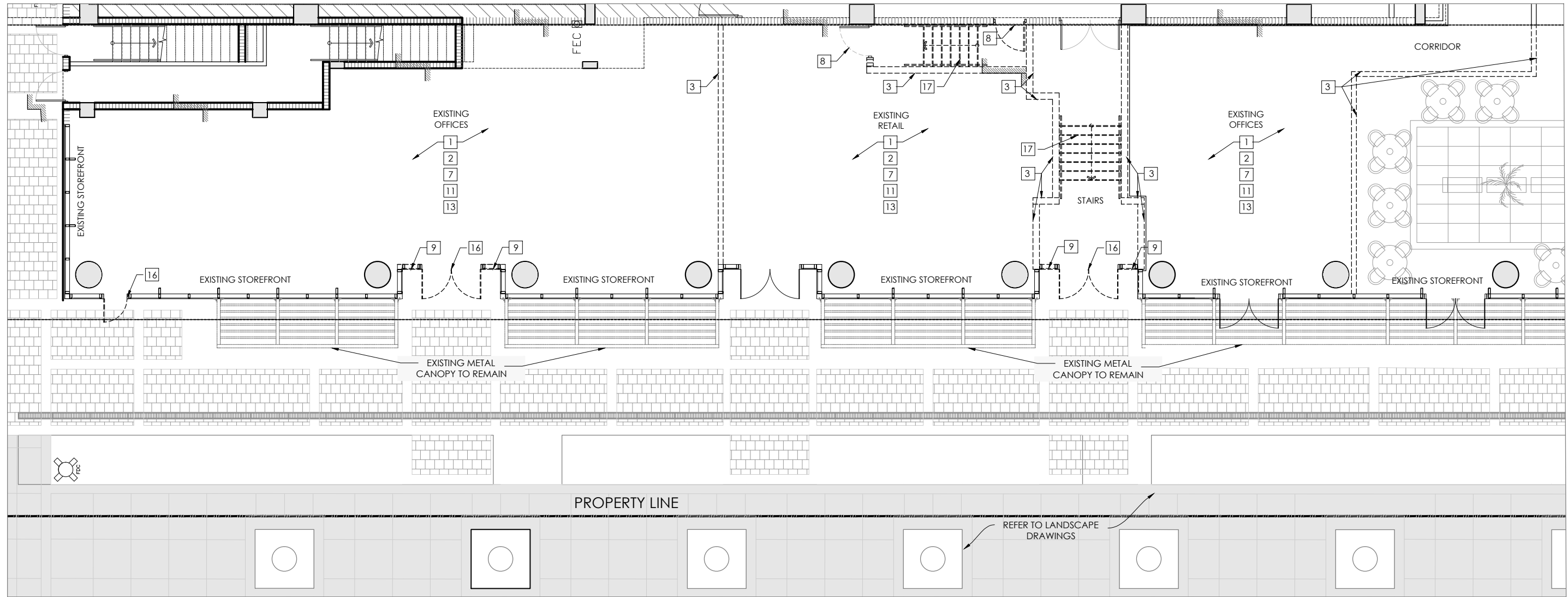


**GENERAL NOTE FOR OUTDOOR PATISSERIE:  
ALL NEW OUTDOOR FURNITURE AND PLANTERS TO BE MOVEABLE .**

**OUTDOOR PATISSERIE BAR**  
SCALE: N/A



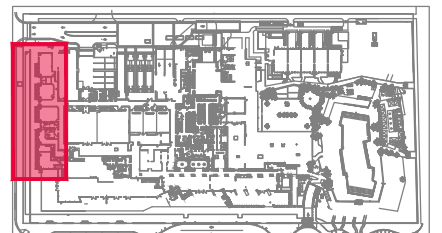
# RETAIL - DEMOLITION PLAN



ENLARGED RETAIL PLAN - DEMOLITION PLAN  
SCALE: 3/32" = 1'-0"

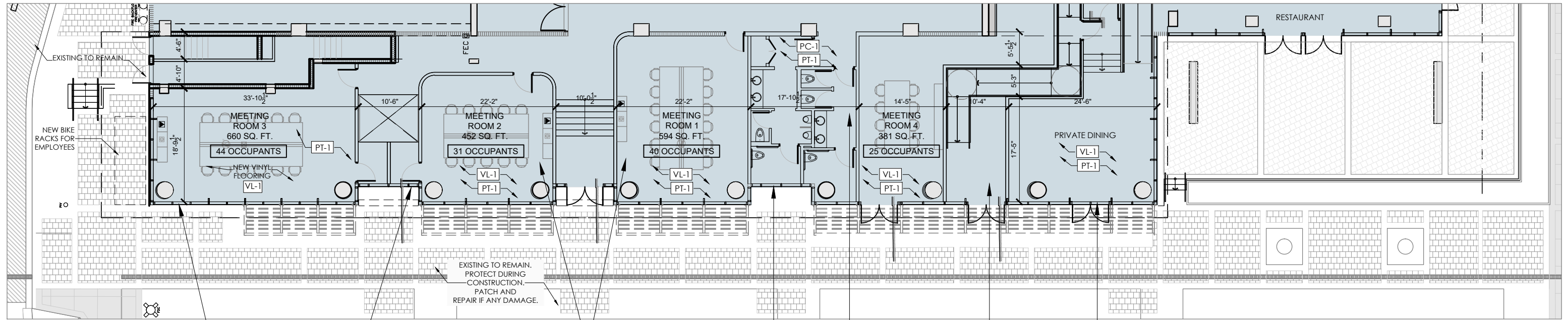
DEMOLITION LEGEND	
1. REMOVE ALL EXISTING FLOOR FINISHES, ADHESIVES, AND SETTING MATERIALS COMPLETE; CLEAN AND PREP FLOOR SLAB TO RECEIVE NEW FINISHES AS SPECIFIED.	10. REMOVE EXISTING RECEPTION DESK IN ITS ENTIRETY; PROTECT ADJACENT SURFACES. DISCONNECT AND CAP ALL ASSOCIATED SERVICES. PREP AREA FOR NEW INSTALLATION.
2. REMOVE ALL EXISTING BASEBOARDS AND TRIMS IN THEIR ENTIRETY.	11. REMOVE EXISTING FURNITURE WHERE INDICATED; PROTECT, SALVAGE, AND STORE AS REQUIRED BY OWNER.
3. REMOVE PARTITIONS, FURRING, AND ASSOCIATED FINISHES WHERE INDICATED; PREPARE FOR NEW WALL CONSTRUCTION PER DRAWINGS.	12. REMOVE ALL EXISTING PLANTS IN THEIR ENTIRETY; PROTECT ADJACENT SURFACES. PREPARE AREA TO RECEIVE NEW PLANTS AS INDICATED ON LANDSCAPING DRAWINGS.
4. REMOVE ALL EXISTING STONE WALL FINISHES AND SETTING MATERIALS COMPLETE; PREP WALL FOR NEW STONE APPLICATION.	13. REMOVE EXISTING LIGHT FIXTURES.
5. REMOVE ALL EXISTING STONE WALL FINISHES AND SETTING MATERIALS COMPLETE; PREP WALL FOR NEW WALLCOVERING APPLICATION.	14. EXISTING FLOOR OUTLETS, DATA, AND POWER CONNECTIONS SERVING DESKS OR OTHER EQUIPMENT TO BE RELOCATED AS REQUIRED TO ACCOMMODATE THE NEW LAYOUT.
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8. REMOVE EXISTING DOORS, FRAMES, AND HARDWARE WHERE INDICATED; DISPOSE OF PROPERLY. PREPARE OPENINGS FOR NEW DOORS, FRAMES, AND HARDWARE AS SCHEDULED.	17. REMOVE EXISTING CONCRETE STAIRS IN THEIR ENTIRETY; PROTECT ADJACENT SURFACES. COORDINATE WITH STRUCTURAL PRIOR TO DEMOLITION. PREP FOR NEW CONSTRUCTION.
9. REMOVE EXISTING STOREFRONT WALL ASSEMBLY IN ITS ENTIRETY, INCLUDING GLAZING, FRAMING, ANCHORS, AND ALL ASSOCIATED COMPONENTS; PROTECT ADJACENT SURFACES. PREPARE OPENING TO RECEIVE NEW OPERABLE DOOR SYSTEM AS INDICATED ON DRAWINGS.	

LEGEND
EXISTING TO BE REMOVED



KEY PLAN  
SCALE: NTS

# NEW MEETING ROOMS & RESTROOMS - PROPOSED



EXISTING DOORS TO BE REMOVED AND REPLACED BY STOREFRONT

NEW CONCRETE SLAB TO BE POURED AT NEW MEETING ROOMS TO MATCH THE FINISH FLOOR ELEVATION OF THE ADJACENT PRIVATE DINING ROOM.

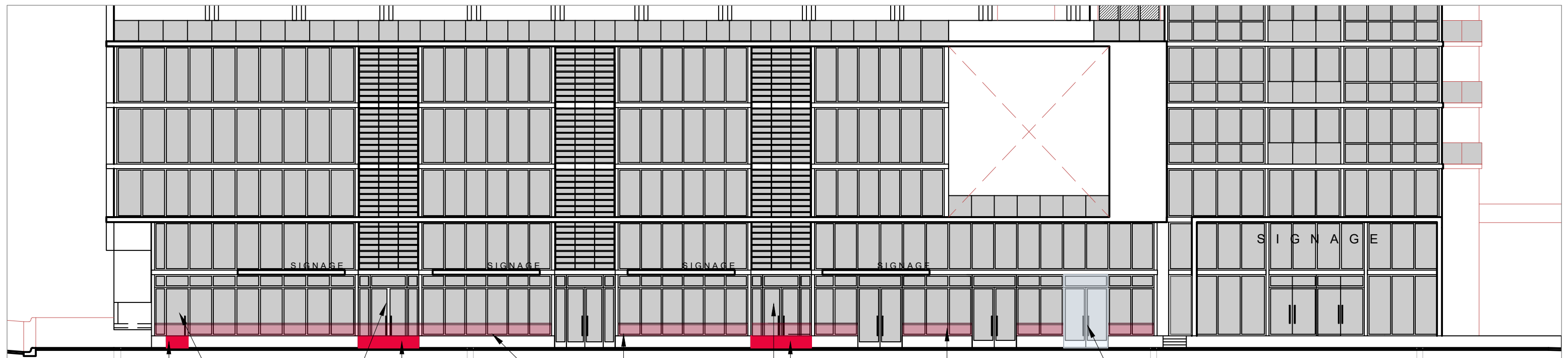
EXISTING DOOR TO BE REMOVED AND REPLACED BY STOREFRONT

NEW RESTROOMS

NEW ACCESS TO RESTAURANT

NEW DOOR TO PRIVATE DINING

NEW MEETING ROOMS & RESTROOMS  
PROPOSED DESIGN  
SCALE: 1/16" = 1'-0"



NEW SILL TO MATCH EXISTING

EXISTING DOORS TO BE REMOVED AND REPLACED BY STOREFRONT

NEW SILL TO MATCH EXISTING

EXISTING DOOR TO BE REMOVED AND REPLACED BY STOREFRONT

NEW SILL TO MATCH EXISTING

MODIFIED STOREFRONT WITH ADDED MULLIONS

NEW DOOR TO PRIVATE DINING

RAISE EXISTING SLAB IN PORTION OF MEETING ROOMS TO ALIGN WITH ADJACENT PRIVATE DINING ROOM FINISH FLOOR ELEVATION.

NEW MEETING ROOMS - PROPOSED ELEVATION  
SCALE: 1/16" = 1'-0"

FINISH KEY LEGEND	
PT-1	NEW PAINT (TYP. ALL WALLS & CEILINGS)
VL-1	NEW VINYL FLOORING
CT-1	NEW CERAMIC TILE FLOORS & WALLS

LEGEND	
	NEW SHADOW BOX
	NEW SILL
	NEW MULLIONS
	NEW DOOR

# LIVING ROOM (INDOOR AND OUTDOOR) - EXISTING



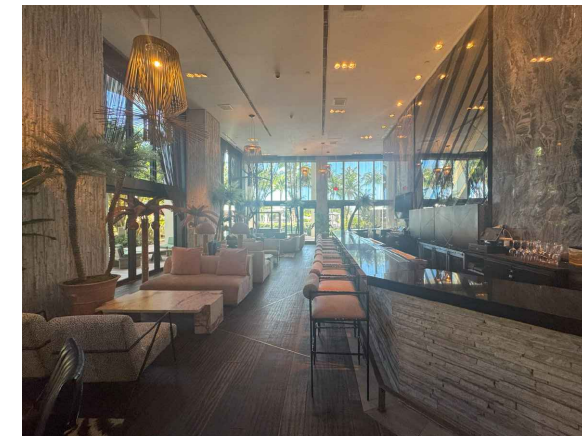
ENLARGED LIVING ROOM PLAN  
(INDOOR & OUTDOOR) - EXISTING CONDITIONS  
SCALE: 1/16" = 1'-0"



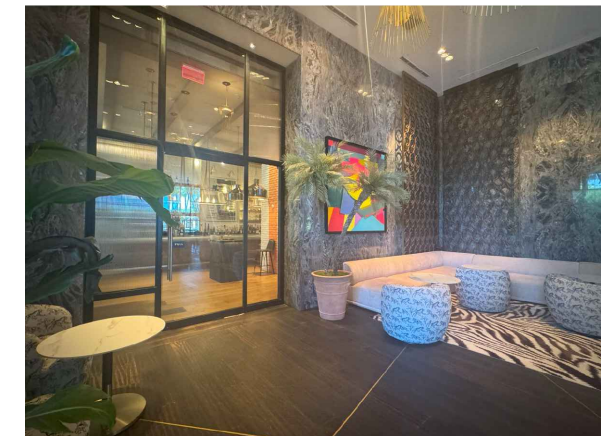
Picture #1: Outdoor seating area / bar



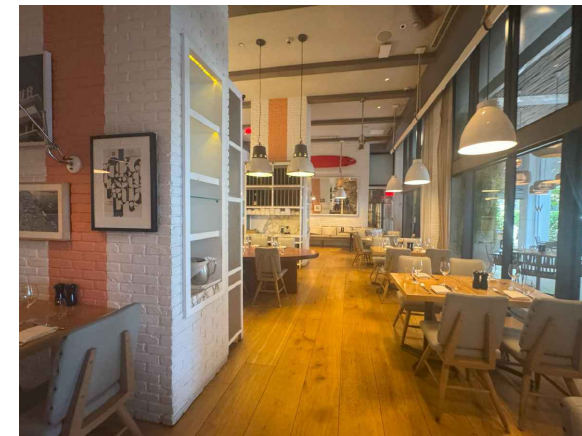
Picture #2: Outdoor seating area / bar



Picture #3: Living room entrance



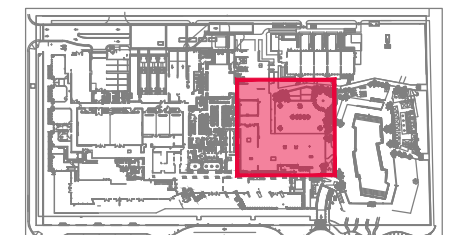
Picture #4: Living room



Picture #5: 3 Meal restaurant

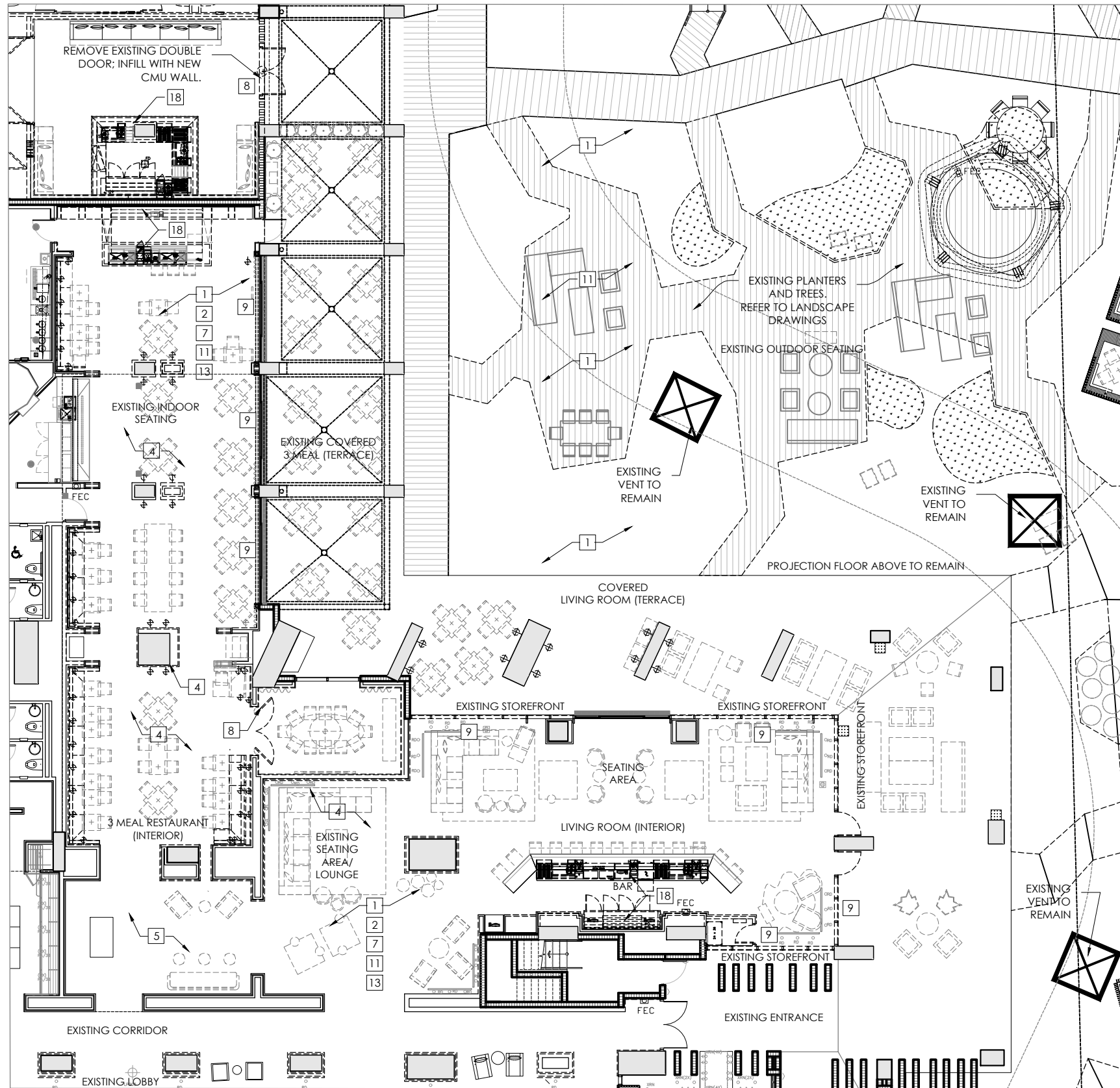


Picture #6: 3 Meal restaurant



KEY PLAN  
SCALE: NTS

# LIVING ROOM (INDOOR AND OUTDOOR) - DEMOLITION PLAN

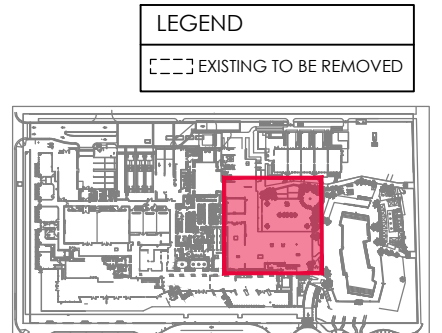
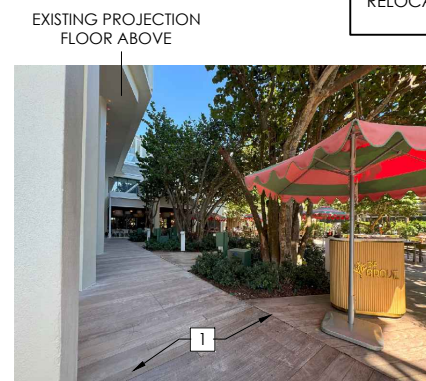


ENLARGED LIVING ROOM PLAN  
(INDOOR & OUTDOOR) - DEMOLITION PLAN  
SCALE: 1/16" = 1'-0"

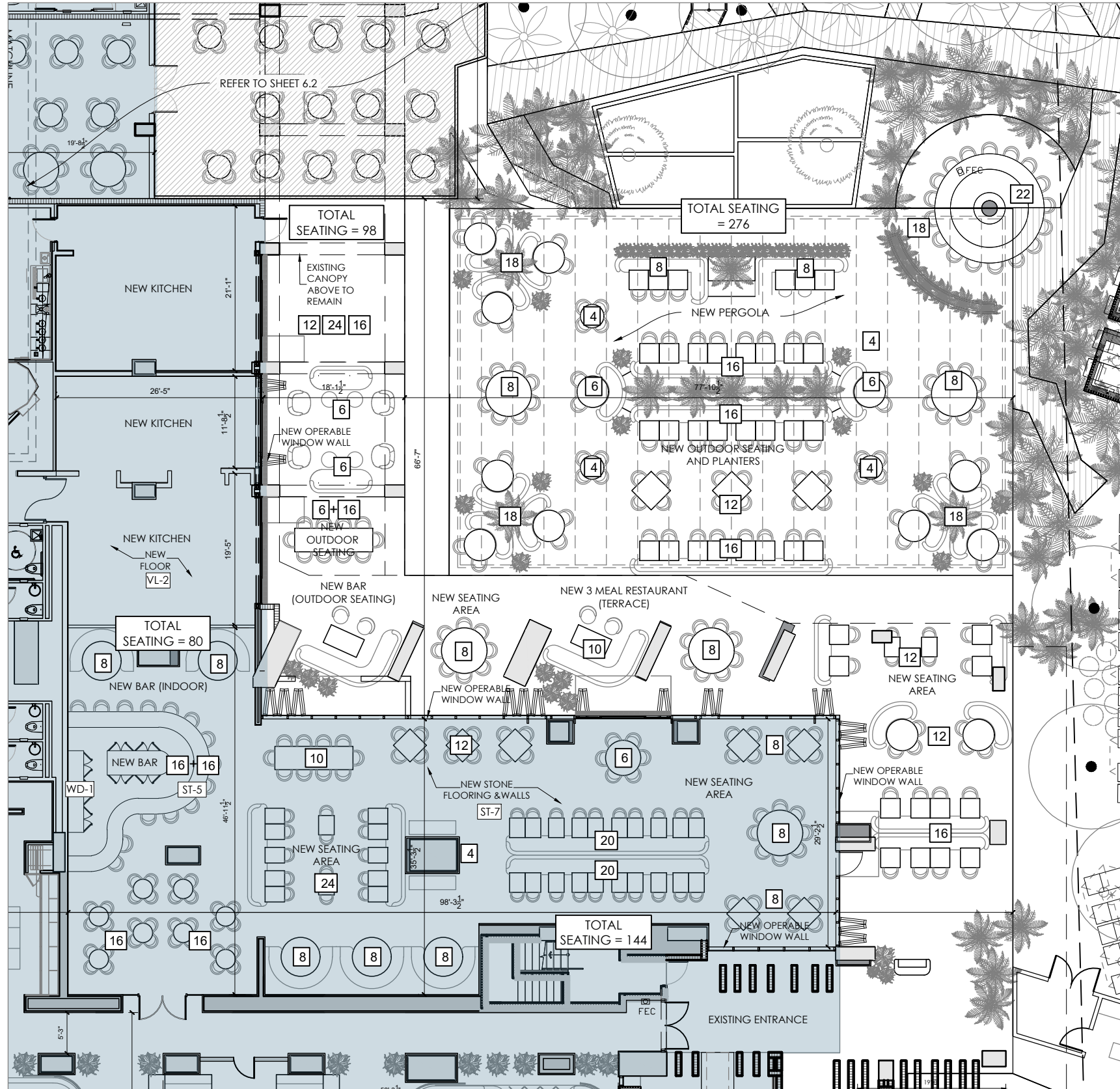
DEMOLITION LEGEND	
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3	REMOVE PARTITIONS, FURRING, AND ASSOCIATED FINISHES WHERE INDICATED; PREPARE FOR NEW WALL CONSTRUCTION PER DRAWINGS.
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9	REMOVE EXISTING STOREFRONT WALL ASSEMBLY IN ITS ENTIRETY, INCLUDING GLAZING, FRAMING, ANCHORS, AND ALL ASSOCIATED COMPONENTS; PROTECT ADJACENT SURFACES. PREPARE OPENING TO RECEIVE NEW OPERABLE DOOR SYSTEM AS INDICATED ON DRAWINGS.
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**GENERAL NOTES**

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# 3 MEAL AND BAR (INDOOR AND OUTDOOR) - PROPOSED



ENLARGED 3 MEAL & BAR (INDOOR & OUTDOOR)  
PROPOSED DESIGN  
SCALE:  $\frac{1}{16}'' = 1'-0''$



Reference image #1: Pergola design intent



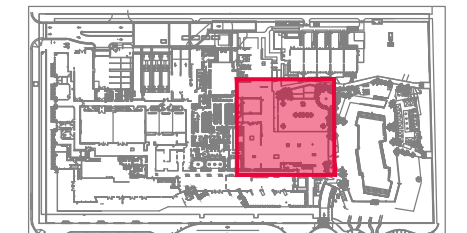
Reference image #2: Pergola design intent



Reference image #3: Pergola design intent

FINISH KEY LEGEND	
PT-1	NEW PAINT (TYP. ALL WALLS & CEILINGS)
VL-2	NEW VINYL FLOORING
ST-7	NEW COMMERCIAL-GRADE SHEET VINYL
ST-5	NEW STONE COUNTERTOP
WD-1	NEW MILLWORK BAR AND SHELVING

# NUMBER OF SEATS



KEY PLAN  
SCALE: NTS