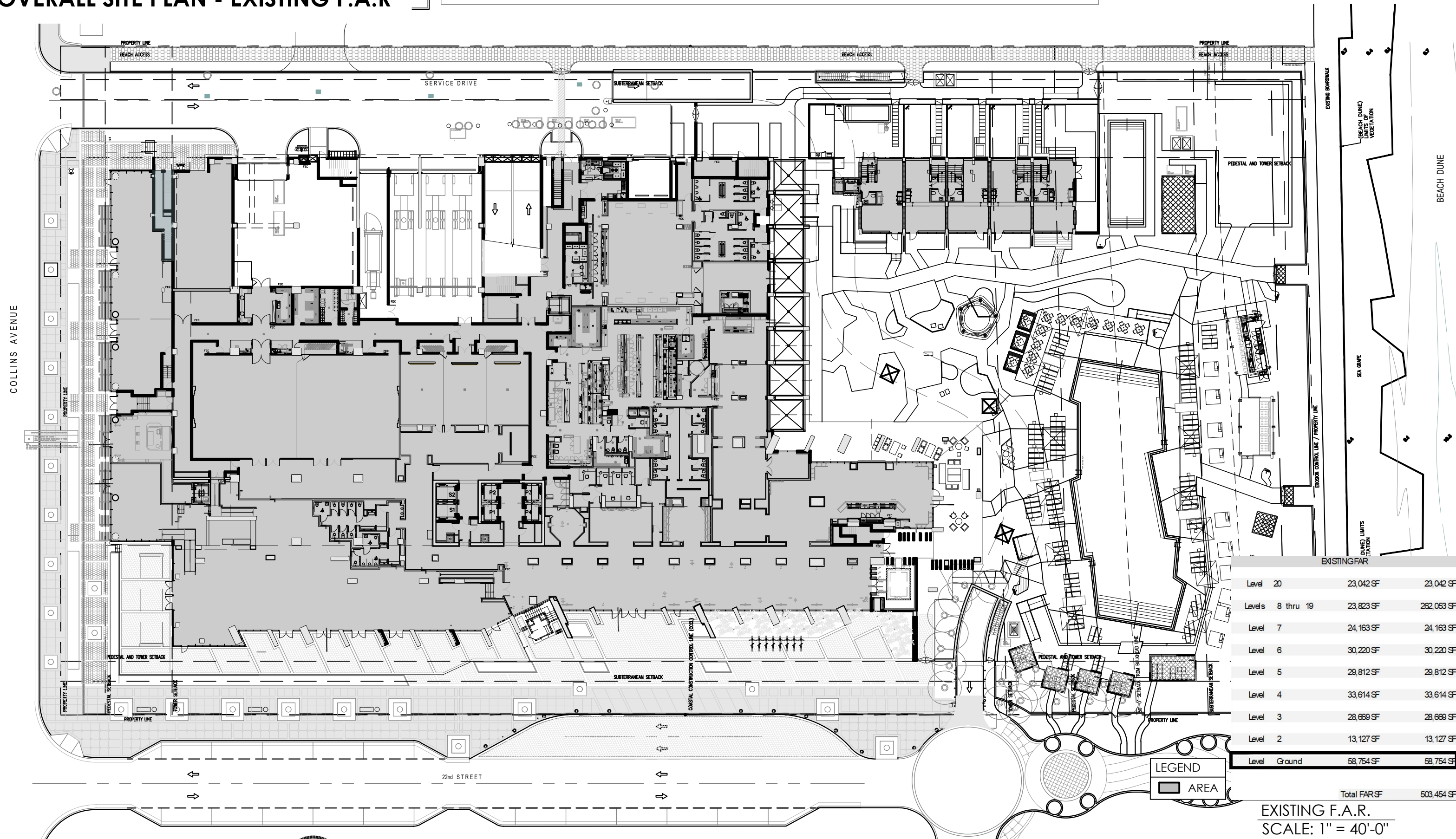


OVERALL SITE PLAN - EXISTING F.A.R

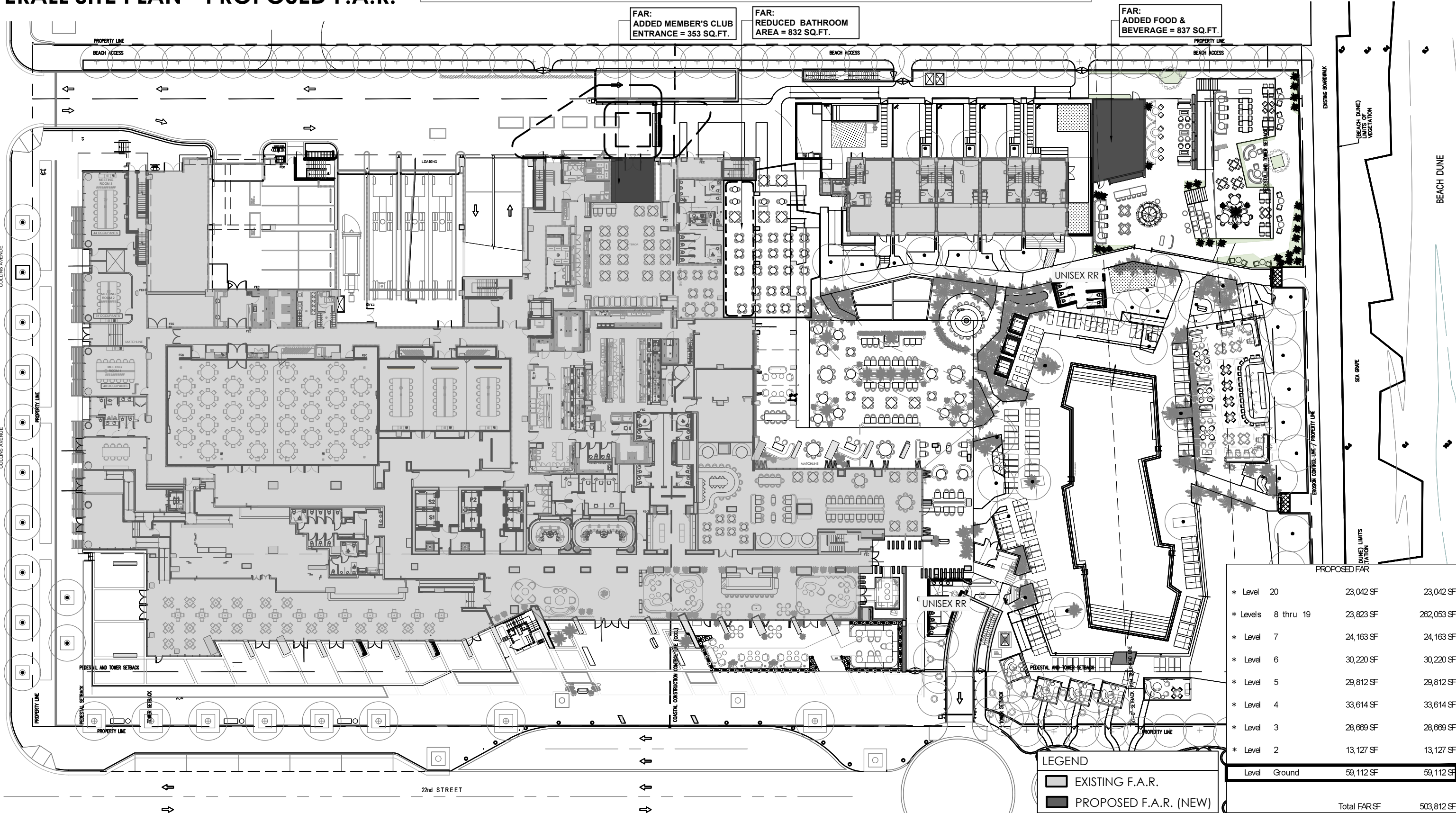


EXISTING FAR		
Level 20	23,042 SF	23,042 SF
Levels 8 thru 19	23,823 SF	262,053 SF
Level 7	24,163 SF	24,163 SF
Level 6	30,220 SF	30,220 SF
Level 5	29,812 SF	29,812 SF
Level 4	33,614 SF	33,614 SF
Level 3	28,669 SF	28,669 SF
Level 2	13,127 SF	13,127 SF
Level Ground	58,754 SF	58,754 SF
Total FAR SF	503,454 SF	503,454 SF

LEGEND
 AREA

EXISTING F.A.R.
 SCALE: 1" = 40'-0"

OVERALL SITE PLAN - PROPOSED F.A.R.



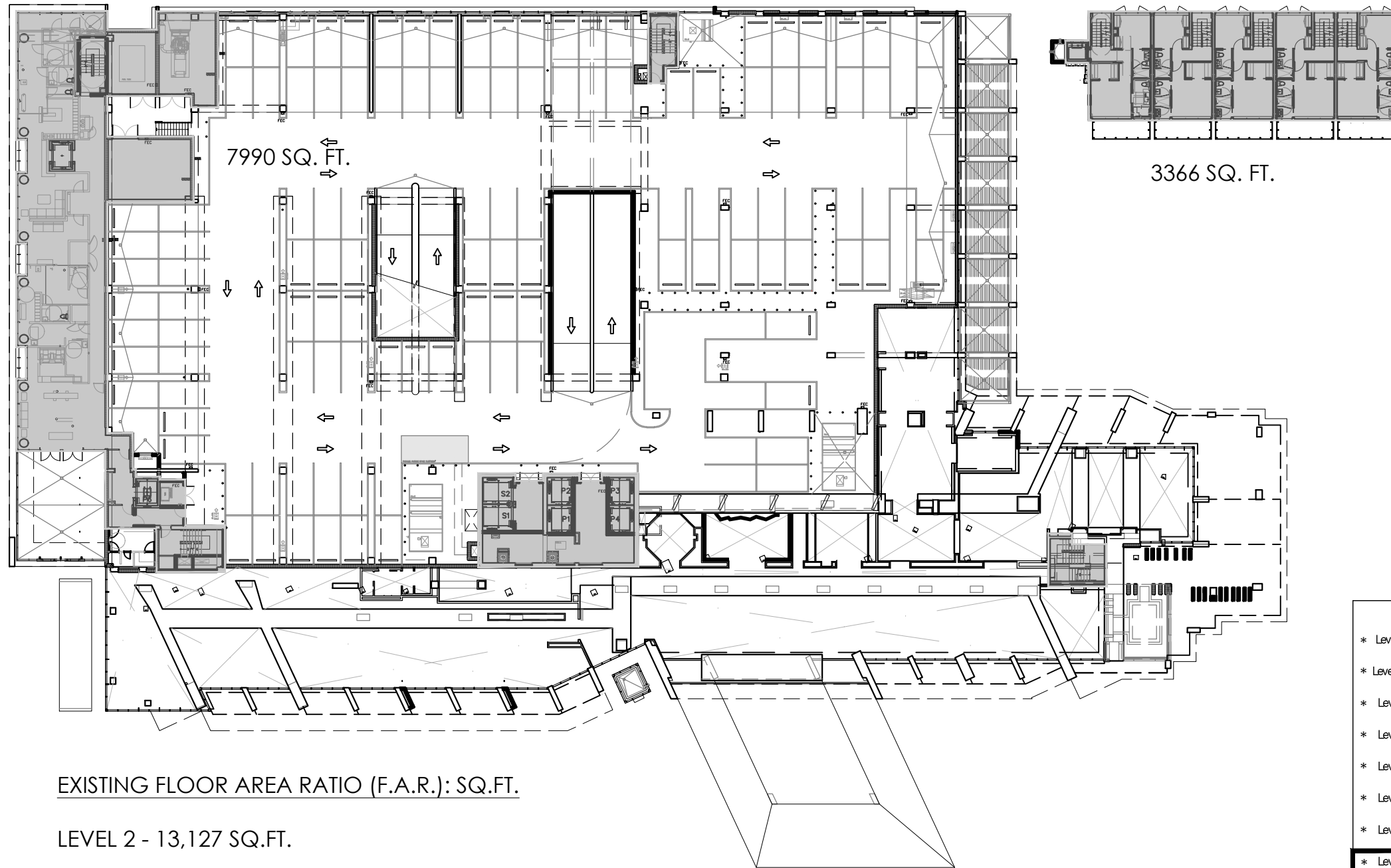
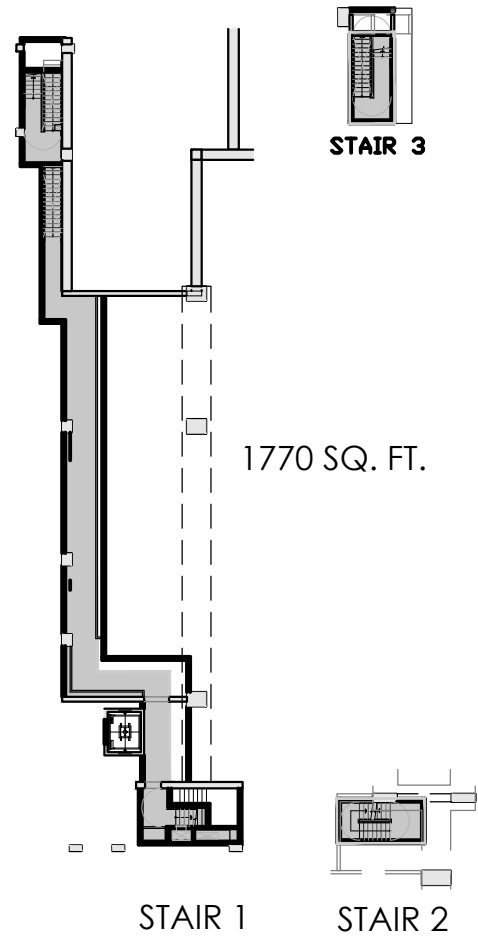
PROPOSED FAR		
* Level 20	23,042 SF	23,042 SF
* Levels 8 thru 19	23,823 SF	262,053 SF
* Level 7	24,163 SF	24,163 SF
* Level 6	30,220 SF	30,220 SF
* Level 5	29,812 SF	29,812 SF
* Level 4	33,614 SF	33,614 SF
* Level 3	28,669 SF	28,669 SF
* Level 2	13,127 SF	13,127 SF
Level Ground	59,112 SF	59,112 SF
Total FAR	503,812 SF	503,812 SF

LEGEND

- EXISTING F.A.R.
- PROPOSED F.A.R. (NEW)

*F.A.R TO REMAIN AS APPROVED
 ALLOWABLE F.A.R = 519,543 FT²
 GROUND FLOOR - PROPOSED F.A.R.
 SCALE: 1" = 40'-0"

LEVEL 2 - EXISTING F.A.R. TO REMAIN AS IS



EXISTING FLOOR AREA RATIO (F.A.R.): SQ.FT.

LEVEL 2 - 13,127 SQ.FT.

PROPOSED FAR			
* Level 20	23,042 SF	23,042 SF	
* Levels 8 thru 19	23,823 SF	262,053 SF	
* Level 7	24,163 SF	24,163 SF	
* Level 6	30,220 SF	30,220 SF	
* Level 5	29,812 SF	29,812 SF	
* Level 4	33,614 SF	33,614 SF	
* Level 3	28,669 SF	28,669 SF	
* Level 2	13,127 SF	13,127 SF	
Level Ground	59,112 SF	59,112 SF	
	Total FAR SF	503,812 SF	

LEGEND

■ EXISTING F.A.R. TO REMAIN AS IS

LEVEL 2 - EXISTING F.A.R.
SCALE: 1" = 40'-0"

LEVEL 3 - EXISTING F.A.R. TO REMAIN AS IS



28669 SQ. FT.

FLOOR AREA RATIO (F.A.R.): SQ.FT.

LEVEL 3 - 28,669 SQ.FT.

PROPOSED FAR			
* Level 20	23,042 SF	23,042 SF	
* Levels 8 thru 19	23,823 SF	262,053 SF	
* Level 7	24,163 SF	24,163 SF	
* Level 6	30,220 SF	30,220 SF	
* Level 5	29,812 SF	29,812 SF	
* Level 4	33,614 SF	33,614 SF	
* Level 3	28,669 SF	28,669 SF	
* Level 2	13,127 SF	13,127 SF	
Level Ground	59,112 SF	59,112 SF	
	Total FAR SF	503,812 SF	

LEGEND

■ EXISTING F.A.R. TO REMAIN AS IS

LEVEL 3 - EXISTING F.A.R.
SCALE: 1" = 40'-0"

LEVEL 4 - EXISTING F.A.R. TO REMAIN AS IS




33614 SQ. FT.


FLOOR AREA RATIO (F.A.R.): SQ.FT.

LEVEL 4 - 33,614 SQ.FT.

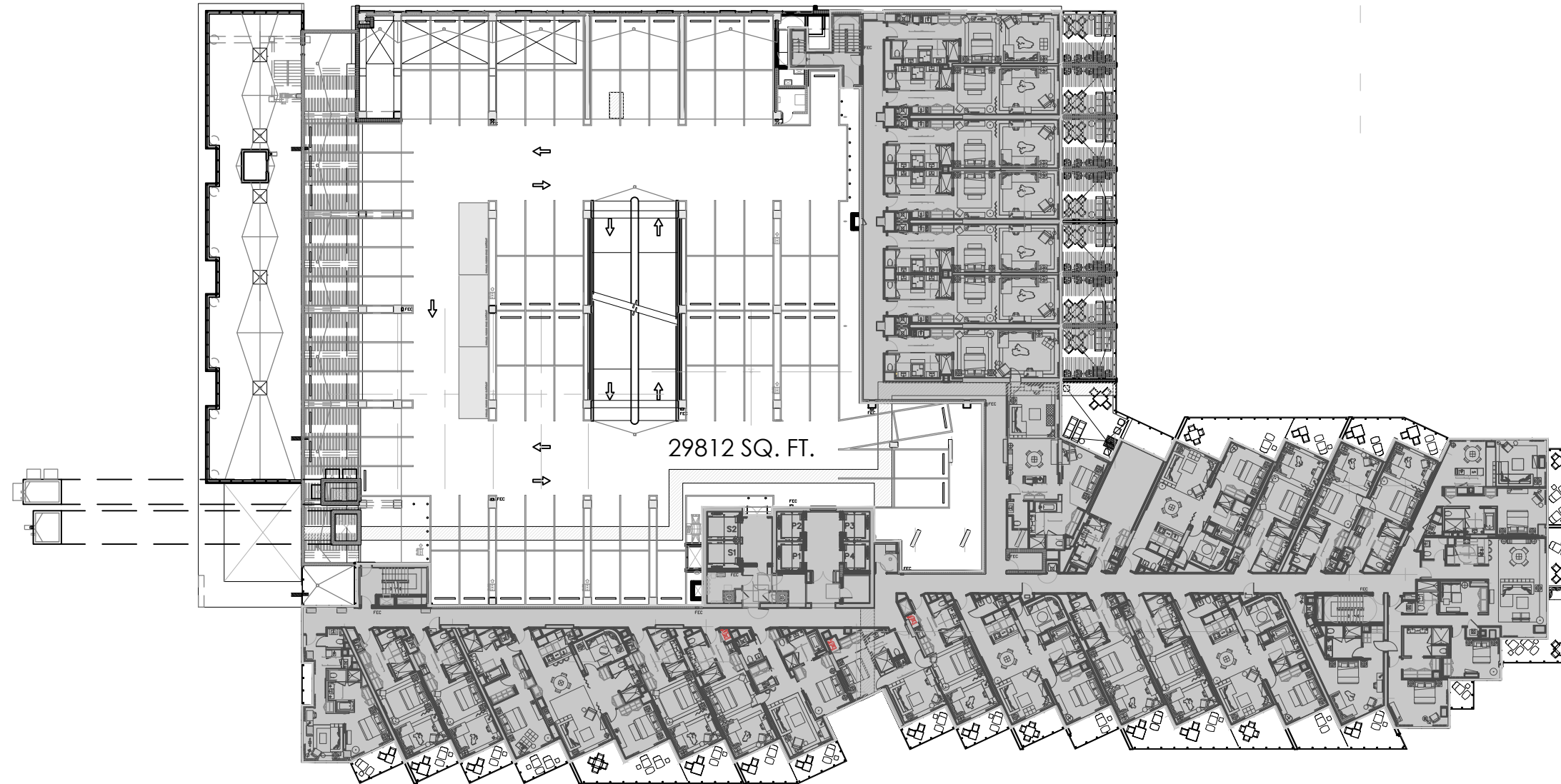
PROPOSED FAR		
* Level 20	23,042 SF	23,042 SF
* Levels 8 thru 19	23,823 SF	262,053 SF
* Level 7	24,163 SF	24,163 SF
* Level 6	30,220 SF	30,220 SF
* Level 5	29,812 SF	29,812 SF
* Level 4	33,614 SF	33,614 SF
* Level 3	28,669 SF	28,669 SF
* Level 2	13,127 SF	13,127 SF
Level Ground	59,112 SF	59,112 SF
	Total FAR/SF	503,812 SF

LEGEND

 EXISTING F.A.R. TO REMAIN AS IS

 LEVEL 4 - EXISTING F.A.R.
 SCALE: 1" = 40'-0"

LEVEL 5 - EXISTING F.A.R. TO REMAIN AS IS



FLOOR AREA RATIO (F.A.R.): SQ.FT.

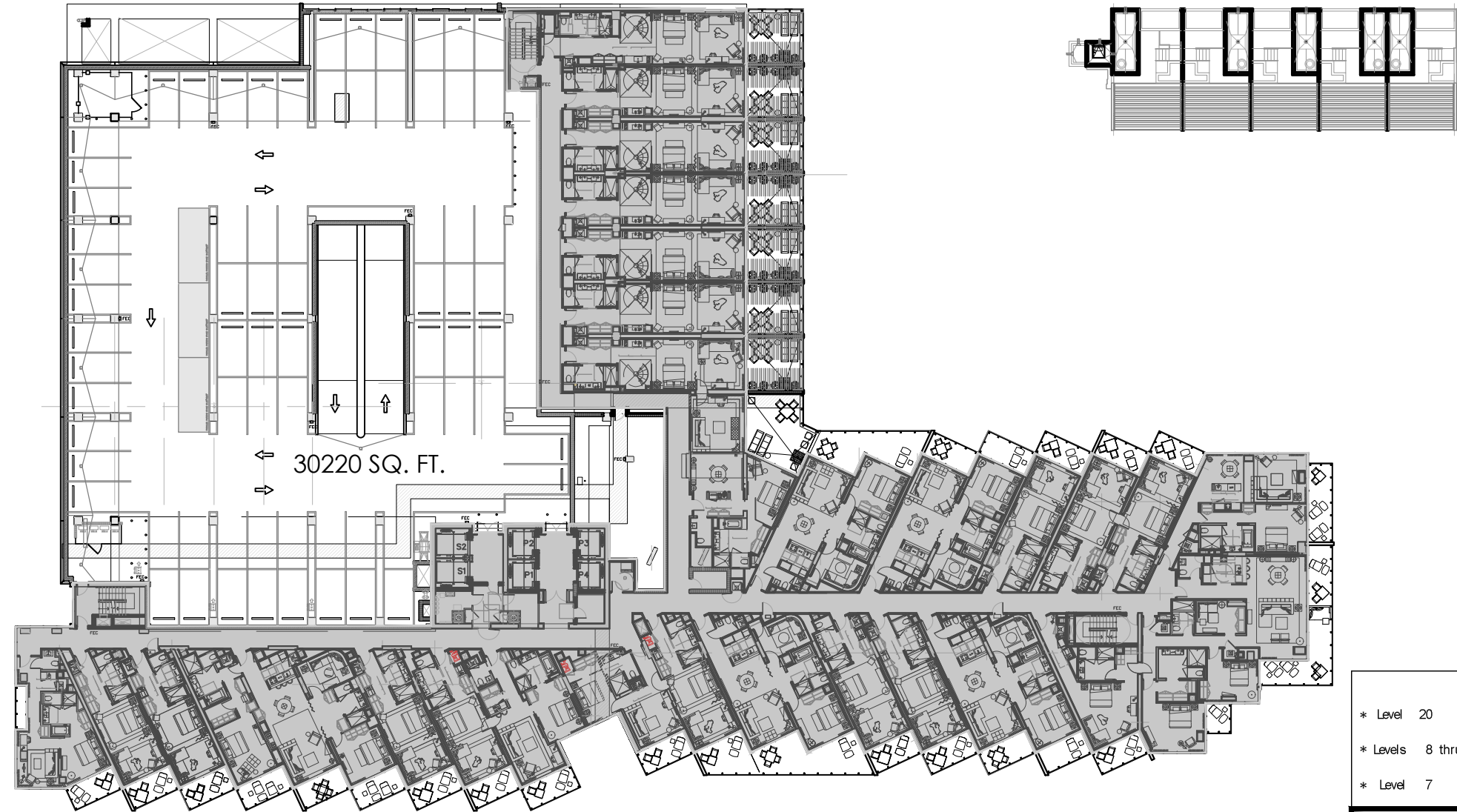
LEVEL 5 - 29,812 SQ.FT.

PROPOSED FAR		
* Level 20	23,042 SF	23,042 SF
* Levels 8 thru 19	23,823 SF	262,053 SF
* Level 7	24,163 SF	24,163 SF
* Level 6	30,220 SF	30,220 SF
* Level 5	29,812 SF	29,812 SF
* Level 4	33,614 SF	33,614 SF
* Level 3	28,669 SF	28,669 SF
* Level 2	13,127 SF	13,127 SF
Level Ground	59,112 SF	59,112 SF
	Total FAR/SF	503,812 SF

LEGEND	
	EXISTING F.A.R. TO REMAIN AS IS

LEVEL 5 - EXISTING F.A.R.
SCALE: 1" = 40'-0"


LEVEL 6 - EXISTING F.A.R. TO REMAIN AS IS




FLOOR AREA RATIO (F.A.R.): SQ.FT.

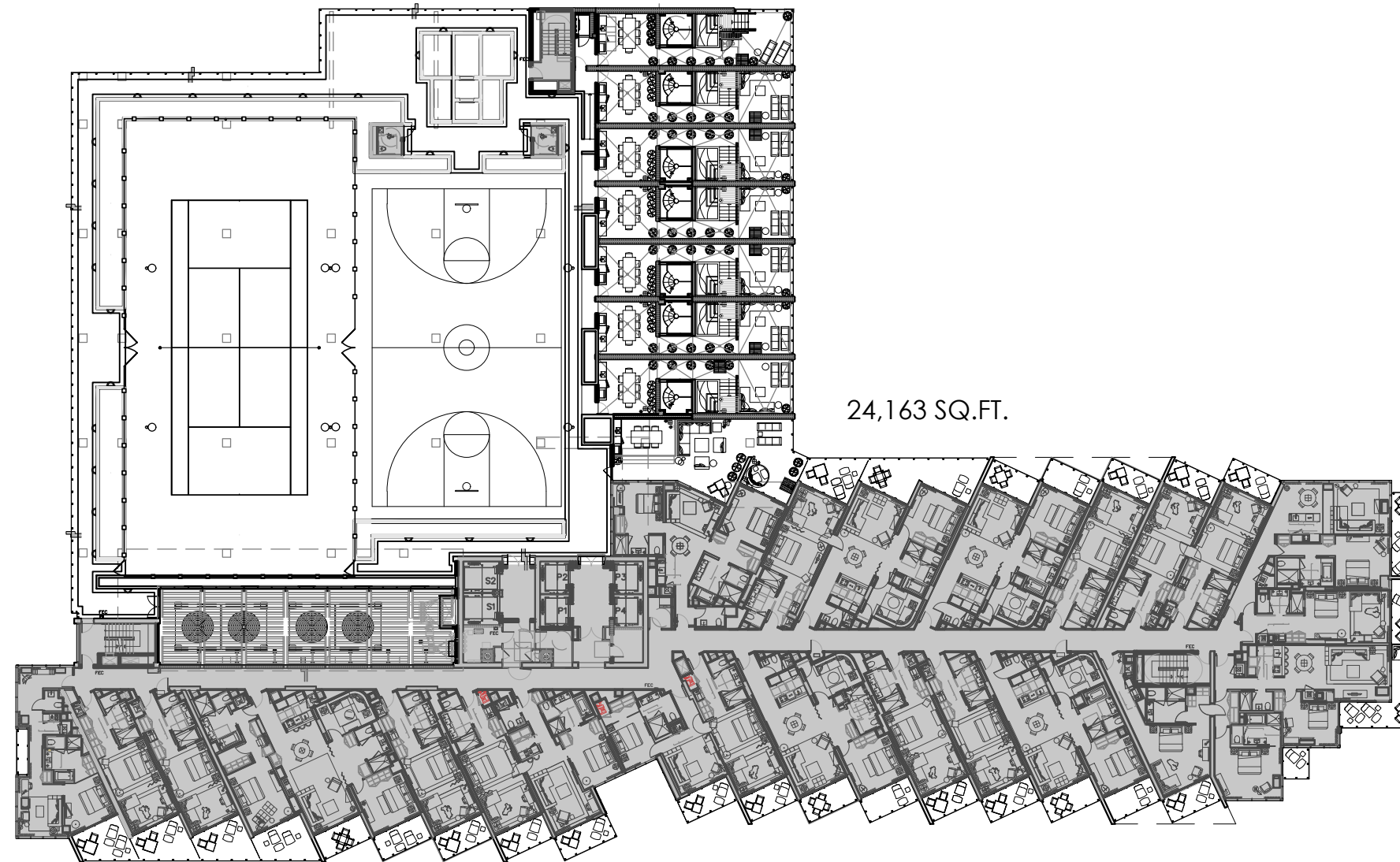
LEVEL 6 - 30,220 SQ.FT.

PROPOSED FAR		
* Level 20	23,042 SF	23,042 SF
* Levels 8 thru 19	23,823 SF	262,053 SF
* Level 7	24,163 SF	24,163 SF
* Level 6	30,220 SF	30,220 SF
* Level 5	29,812 SF	29,812 SF
* Level 4	33,614 SF	33,614 SF
* Level 3	28,669 SF	28,669 SF
* Level 2	13,127 SF	13,127 SF
Level Ground	59,112 SF	59,112 SF
	Total FAR SF	503,812 SF

LEGEND	
	EXISTING F.A.R. TO REMAIN AS IS

 LEVEL 6 - EXISTING F.A.R.
SCALE: 1" = 40'-0"

LEVEL 7 - EXISTING F.A.R. TO REMAIN AS IS



24,163 SQ.FT.

FLOOR AREA RATIO (F.A.R.): SQ.FT.

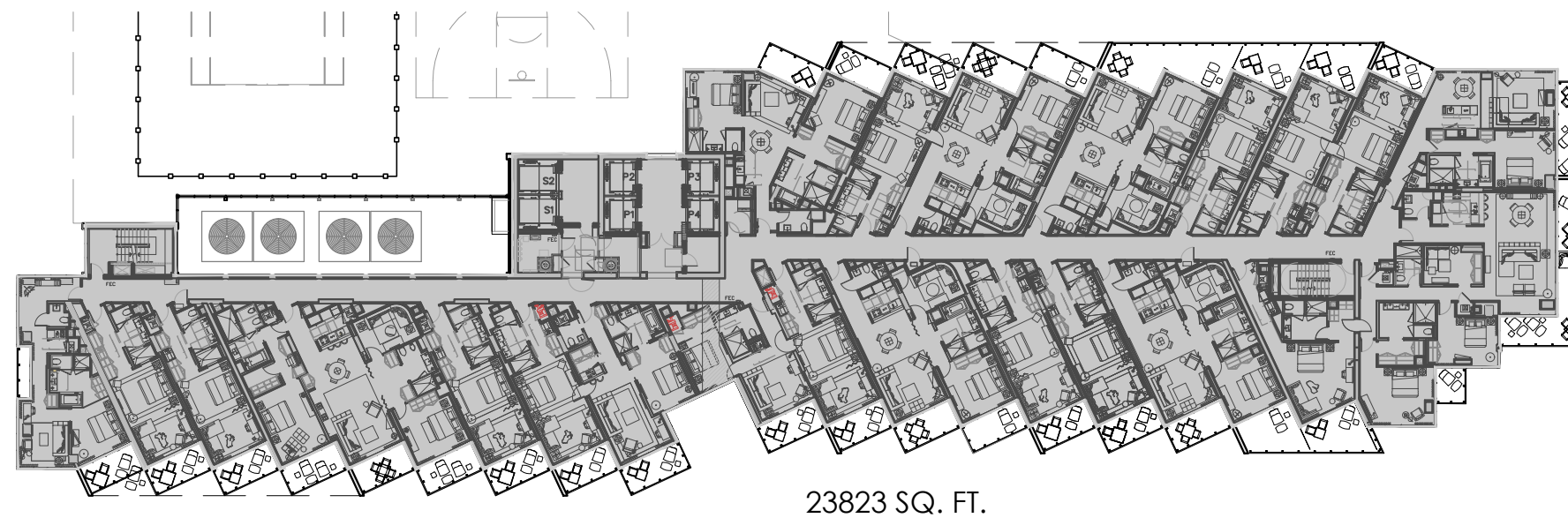
LEVEL 7 - 24,163 SQ.FT.

PROPOSED FAR			
* Level	20	23,042 SF	23,042 SF
* Levels	8 thru 19	23,823 SF	262,053 SF
* Level	7	24,163 SF	24,163 SF
* Level	6	30,220 SF	30,220 SF
* Level	5	29,812 SF	29,812 SF
* Level	4	33,614 SF	33,614 SF
* Level	3	28,669 SF	28,669 SF
* Level	2	13,127 SF	13,127 SF
Level	Ground	59,112 SF	59,112 SF
		Total FAR SF	503,812 SF

LEGEND	
	EXISTING F.A.R. TO REMAIN AS IS

LEVEL 7 - EXISTING F.A.R.
SCALE: 1" = 40'-0"

LEVELS 8 THRU 19 - EXISTING F.A.R. TO REMAIN AS IS



FLOOR AREA RATIO (F.A.R.): SQ.FT.

LEVEL(S) 8 thru 19 - 23,823 SQ.FT. x (11) =
262,053 SQ. FT.

LEGEND	
	EXISTING F.A.R. TO REMAIN AS IS

PROPOSED FAR		
* Level 20	23,042 SF	23,042 SF
* Levels 8 thru 19	23,823 SF	262,053 SF
* Level 7	24,163 SF	24,163 SF
* Level 6	30,220 SF	30,220 SF
* Level 5	29,812 SF	29,812 SF
* Level 4	33,614 SF	33,614 SF
* Level 3	28,669 SF	28,669 SF
* Level 2	13,127 SF	13,127 SF
Level Ground	59,112 SF	59,112 SF
Total FAR SF		503,812 SF

LEVELS 8 THRU 19 - EXISTING F.A.R.
SCALE: 1" = 40'-0"

LEVEL 20 - EXISTING F.A.R. TO REMAIN AS IS



23,042 SQ.FT.

FLOOR AREA RATIO (F.A.R.): SQ.FT.

LEVEL 20 - 23,042 SQ.FT.

LEGEND	
	EXISTING F.A.R. TO REMAIN AS IS

PROPOSED FAR		
* Level 20	23,042 SF	23,042 SF
* Levels 8 thru 19	23,823 SF	262,053 SF
* Level 7	24,163 SF	24,163 SF
* Level 6	30,220 SF	30,220 SF
* Level 5	29,812 SF	29,812 SF
* Level 4	33,614 SF	33,614 SF
* Level 3	28,669 SF	28,669 SF
* Level 2	13,127 SF	13,127 SF
Level Ground	59,112 SF	59,112 SF
Total FAR SF		503,812 SF

LEVEL 20 - EXISTING F.A.R.
SCALE: 1" = 40'-0"

PLANNING ZONING DATA SHEET

MIAMI BEACH

Planning Department, 1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

Item #	Project Information				
1	Address:	2201 Collins Avenue, 33139 Miami Beach, Florida			
2	Board and file numbers :	HPB25-0676			
3	Folio number(s):	Parcel ID: 02-3234-218-0001			
4	Year constructed:	2009	Zoning District:	RM-3	
5	Based Flood Elevation:	AE - 8'-0"	Grade value in NGVD:	N/A	
6	Adjusted grade (Flood+Grade/2):	N/A	Lot Area:	168,291 SF	
7	Lot width:	300'	Lot Depth:	North: 557.87' / South: 564.71'	
8	Minimum Unit Size	N/A	Average Unit Size	N/A	
9	Existing use:	Hotel / Apartments	Proposed use:	Hotel / Apartments	
Zoning Information / Calculations		Maximum	Existing	Proposed	Deficiencies
10	Height	200'-0"	200'-0"	N/A	N/A
11	Number of Stories	N/A	20 + Roof & elevator machine room	N/A	N/A
12	FAR	504,873 SF	503,454 SF	503,812 SF	N/A
13	Gross square footage	N/A	N/A	N/A	N/A
14	Square Footage by use	N/A	N/A	N/A	N/A
15	Number of units Residential	N/A	N/A	N/A	N/A
16	Number of units Hotel	N/A	N/A	N/A	N/A
17	Number of seats	N/A	N/A	N/A	N/A
18	Occupancy load	N/A	N/A	N/A	N/A
Setbacks		Required	Existing	Proposed	Deficiencies
Subterranean:					
19	Front Setback (Collins Avenue):	20'-0"	104'-8"	N/A	N/A
20	Side Setback (23rd street):	15'-0"	50'-0"	N/A	N/A
21	Side Setback:	N/A	N/A	N/A	N/A
22	Side Setback facing street (22nd Street):	15'-0"	75'-10"	N/A	N/A
23	Rear Setback (Ocean):	50'-0"	238'-7"	N/A	N/A
At Grade Parking:					
24	Front Setback (Collins Avenue):	N/A	N/A	N/A	N/A
25	Side Setback (23rd street):	N/A	N/A	N/A	N/A
26	Side Setback:	N/A	N/A	N/A	N/A
27	Side Setback facing street (22nd Street):	N/A	N/A	N/A	N/A
28	Rear Setback (Ocean):	N/A	N/A	N/A	N/A
Pedestal:					
29	Front Setback (Collins Avenue):	20'-0"	20'-0"	N/A	N/A
30	Side Setback (23rd street):	24'-0" (8% of 300')	50'-0"	18'-0"	25% reduction allowed
31	Side Setback:	N/A	N/A	N/A	N/A
32	Side Setback facing street (22nd Street):	24'-0"	30'-7"	N/A	N/A
33	Rear Setback (Ocean):	112'-3"	146'-7"	N/A	N/A
Tower:					
34	Front Setback (Collins Avenue):	50'-0"	50'-0"	N/A	N/A
35	Side Setback (23rd street):	50'-0"	174'-8"	N/A	N/A

Item #	Setbacks	Required	Existing	Proposed	Deficiencies
36	Side Setback:	N/A	N/A	N/A	N/A
37	Side Setback facing street (22nd Street):	24'-0"	30'-7"	N/A	N/A
38	Rear Setback (Ocean):	140'-4"	146'-7"	N/A	N/A

Parking		Required	Existing	Proposed	Deficiencies
39	Parking district	N/A	N/A	N/A	N/A
40	Total # of parking spaces	N/A	N/A	N/A	N/A
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	N/A
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	N/A
43	Parking Space Dimensions	N/A	N/A	N/A	N/A
44	Parking Space configuration (45o, 60o, 90o, Parallel)	N/A	N/A	N/A	N/A
45	ADA Spaces	N/A	N/A	N/A	N/A
46	Tandem Spaces	N/A	N/A	N/A	N/A
47	Drive aisle width	N/A	N/A	N/A	N/A
48	Valet drop off and pick up	N/A	N/A	N/A	N/A
49	Loading zones and Trash collection areas	N/A	N/A	N/A	N/A
50	Bicycle parking, location and Number of racks		18 bikes for hotel guest at main entrance. 12 bikes for employees @ NW	18 bikes for hotel guest at main entrance. 12 bikes for employees @ NW	N/A

Restaurants, Cafes, Bars, Lounges, Nightclubs		Required	Existing	Proposed	Deficiencies
51	Type of use	N/A	F&B / Entertainment	F&B / Entertainment	
52	Number of seats located outside on private property	N/A	615	960	
53	Number of seats inside	N/A	445	681	
54	Total number of seats	N/A	1,060	2,017	
55	Total number of seats per venue (Provide a separate chart for a breakdown calculation)	N/A	Refer to sheet A0.7 for "Interior, exterior open" breakdown.	Refer to sheet A0.8	
56	Total occupant content	N/A	1435	2,017	
57	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A	Refer to sheet A0.7	Refer to sheet A0.8	

58	Proposed hours of operation	Refer to operational plan			
59	Is this an NIE? (Neighborhood Impact establishment, see sec. 1.2.2.4)	Refer to operational plan			
60	Is a dancing and / or entertainment proposed?	Refer to operational plan			
61	Is this a contributing building?	No			
62	Located within a Local Historic District?	Yes			
Additional data or information must be presented in the format outlined in this section					

Notes:
If not applicable write N/A

SETBACKS

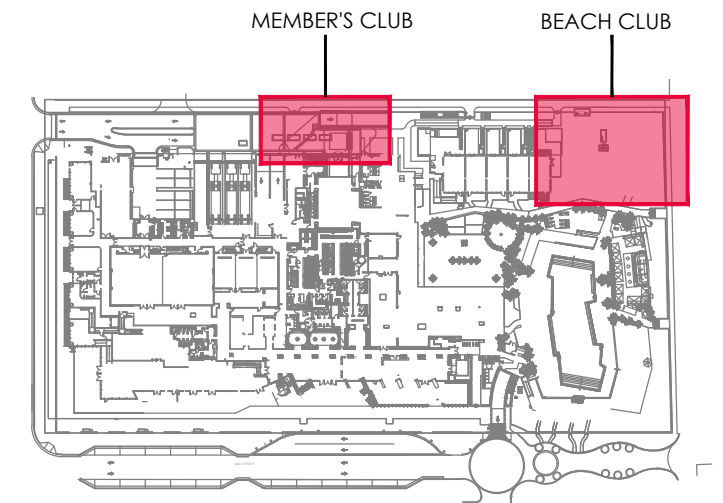
PLANNING ZONING DATA SHEET

SETBACK REQUIREMENTS - DUNE PRESERVATION OVERLAY

AREA	BUILDING SETBACKS	REQUIRED	EXISTING	PROPOSED	VARIANCE	ZONING ORDINANCE
PROPOSED BEACH CLUB (Refer to sheet A.7.2)	SIDE YARD REQUIREMENTS	15'-0" min.	N/A	NON-STRUCTURAL TRELLIS AT 15'-3" FROM NORTH PROPERTY LINE.	N/A	7.3.1.1.d.4B "Development regulations" <ul style="list-style-type: none"> 15 feet adjacent to any side property line, municipal park, street end, or right-of-way.
		15'-0" min.	N/A	DECK AT 15'-3" FROM NORTH PROPERTY LINE.	N/A	
	REAR YARD REQUIREMENTS (EROSION CONTROL LINE)	10'-0" min.	N/A	DECK AT 11'-8 1/2" FROM EAST PROPERTY LINE.	N/A	7.3.1.1.c.2 "Uses and structures permitted": <ul style="list-style-type: none"> Decks and patios constructed of wood materials with or without built-in tables, chairs, lighting, and benches. All structures shall be located a minimum of 10 feet west of the erosion control line.
		10'-0" min.	N/A	NORTH TRELLIS AT 11'-8 1/2" FROM EAST PROPERTY LINE. SOUTH TRELLIS AT 11'-8 1/2" FROM EAST PROPERTY LINE.	N/A	7.3.1.1.d.4.C "Uses and structures permitted": <ul style="list-style-type: none"> 10 feet from the erosion control line when any structure has a finished floor elevation of 3 feet or less than the elevation of the top of the dune. For every additional 1 foot increase in the finished floor elevation of the structure an additional 1 foot of setback is required, to a maximum of 15 feet.

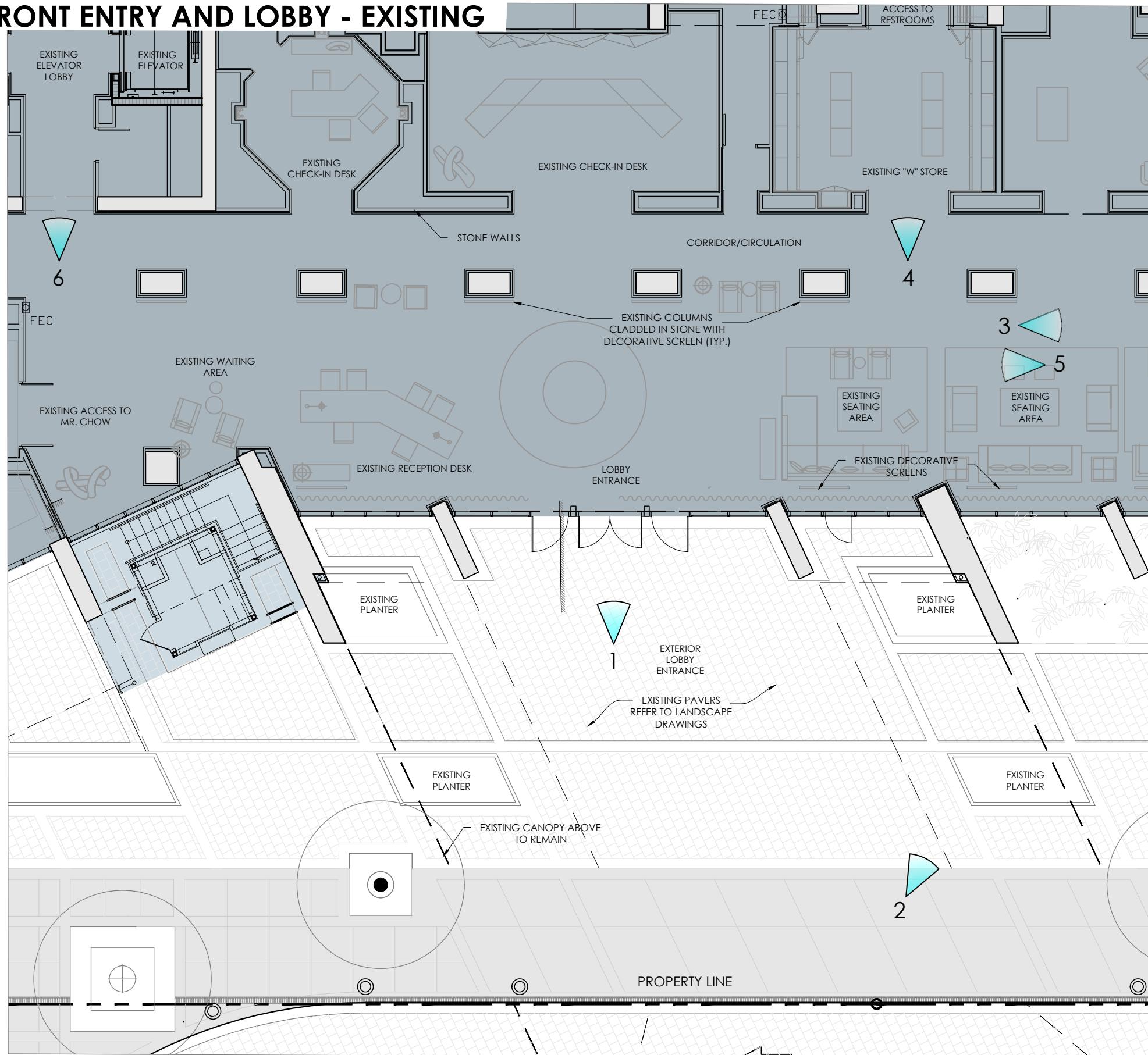
BUILDING SETBACKS

AREA	BUILDING SETBACKS	REQUIRED	EXISTING	PROPOSED	VARIANCE	ZONING ORDINANCE
PROPOSED MEMBER'S CLUB DROP-OFF (Refer to sheet A.5.3)	DEVELOPMENT REGULATIONS TABLE (RM-3)	8% of 300' = 24'-0" min. setback. 25% reduction allowed = 18'-0"	N/A	CANOPY AT 18'-0" FROM NORTH PROPERTY LINE.	N/A	7.2.6.3 "Development Regulations (RM-3)": <ul style="list-style-type: none"> Side, facing a street setback. 7.5 feet or 8% of lot width, whichever is greater Sum of the side yards shall equal 16% of lot width Minimum.

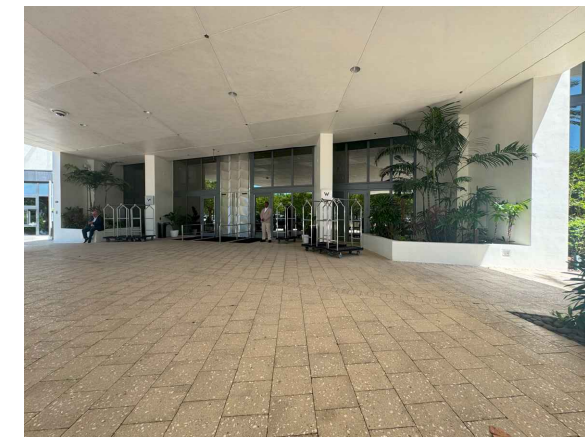


KEY PLAN
SCALE: NTS

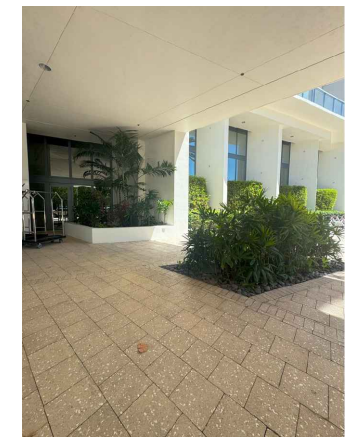
FRONT ENTRY AND LOBBY - EXISTING



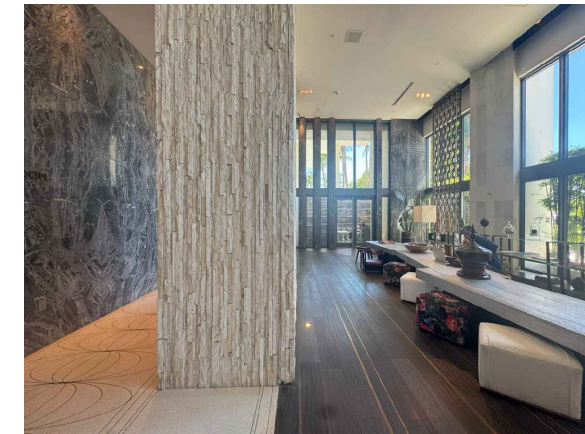
ENLARGED FRONT ENTRY AND LOBBY - EXISTING CONDITIONS
SCALE: 3/32" = 1'-0"



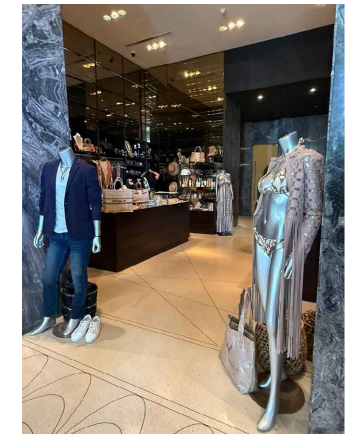
Picture #1: Lobby entrance



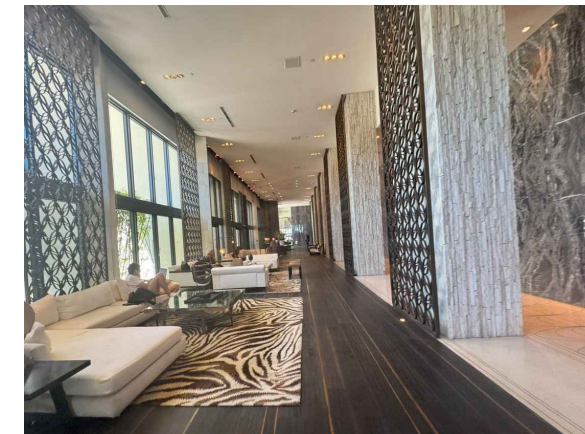
Picture #2: Lobby entrance



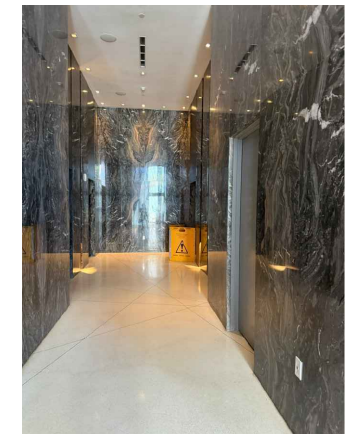
Picture #3: Lobby and corridor



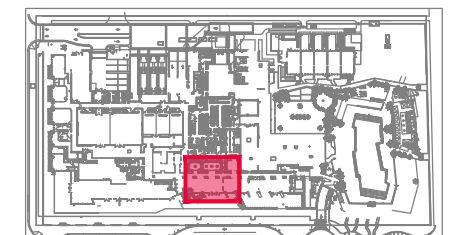
Picture #4: W Store



Picture #5: Lobby and corridor

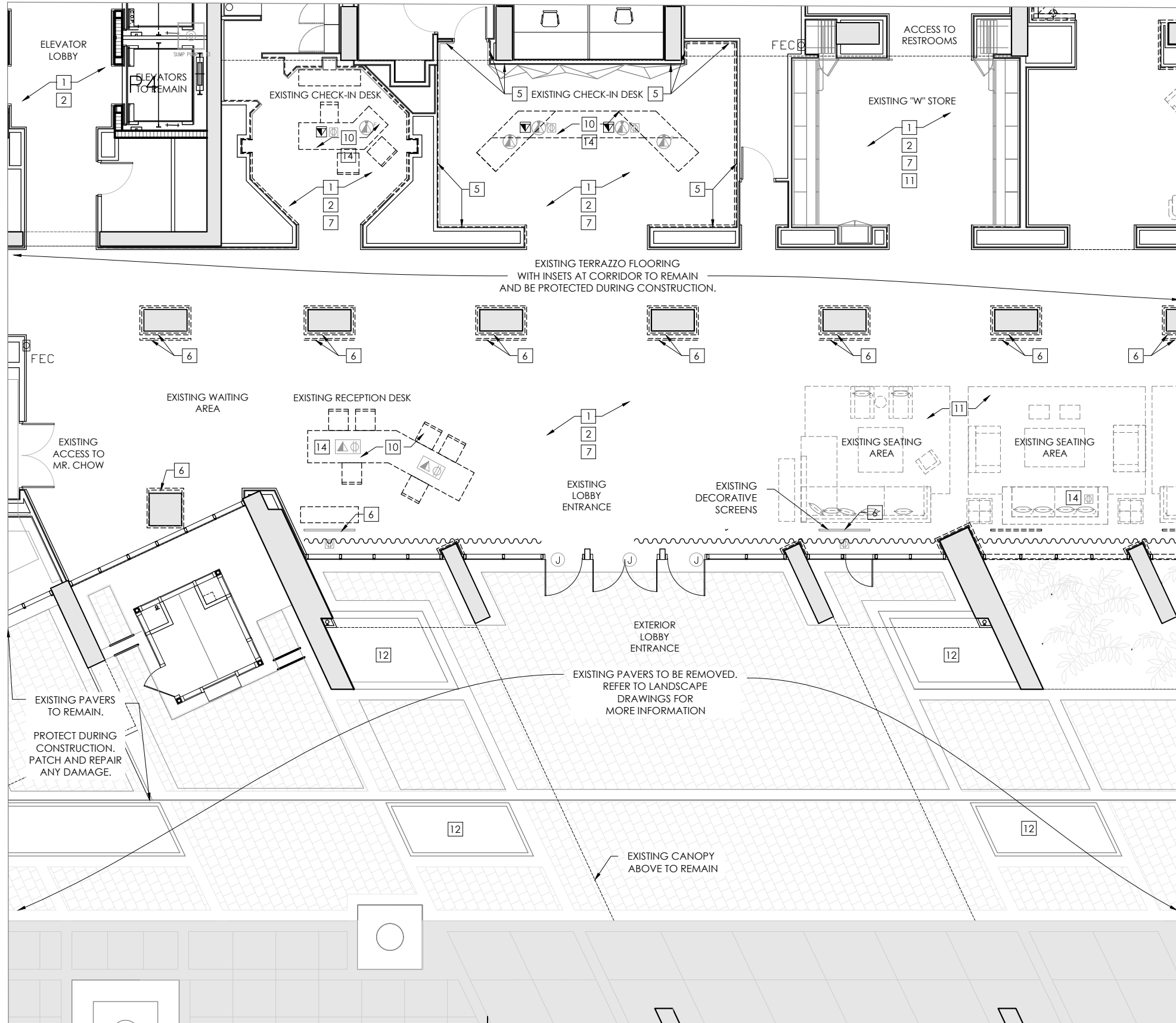


Picture #6: Elevators

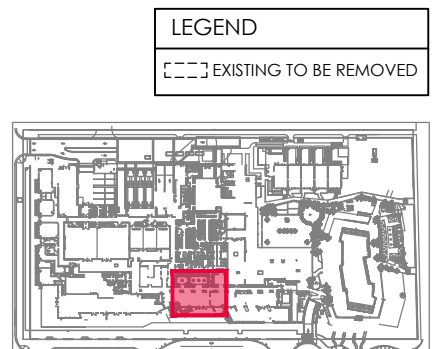
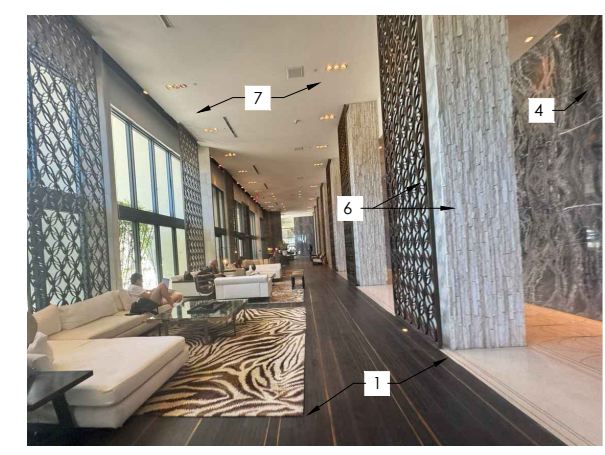


KEY PLAN
SCALE: NTS

FRONT ENTRY AND LOBBY - DEMOLITION PLAN



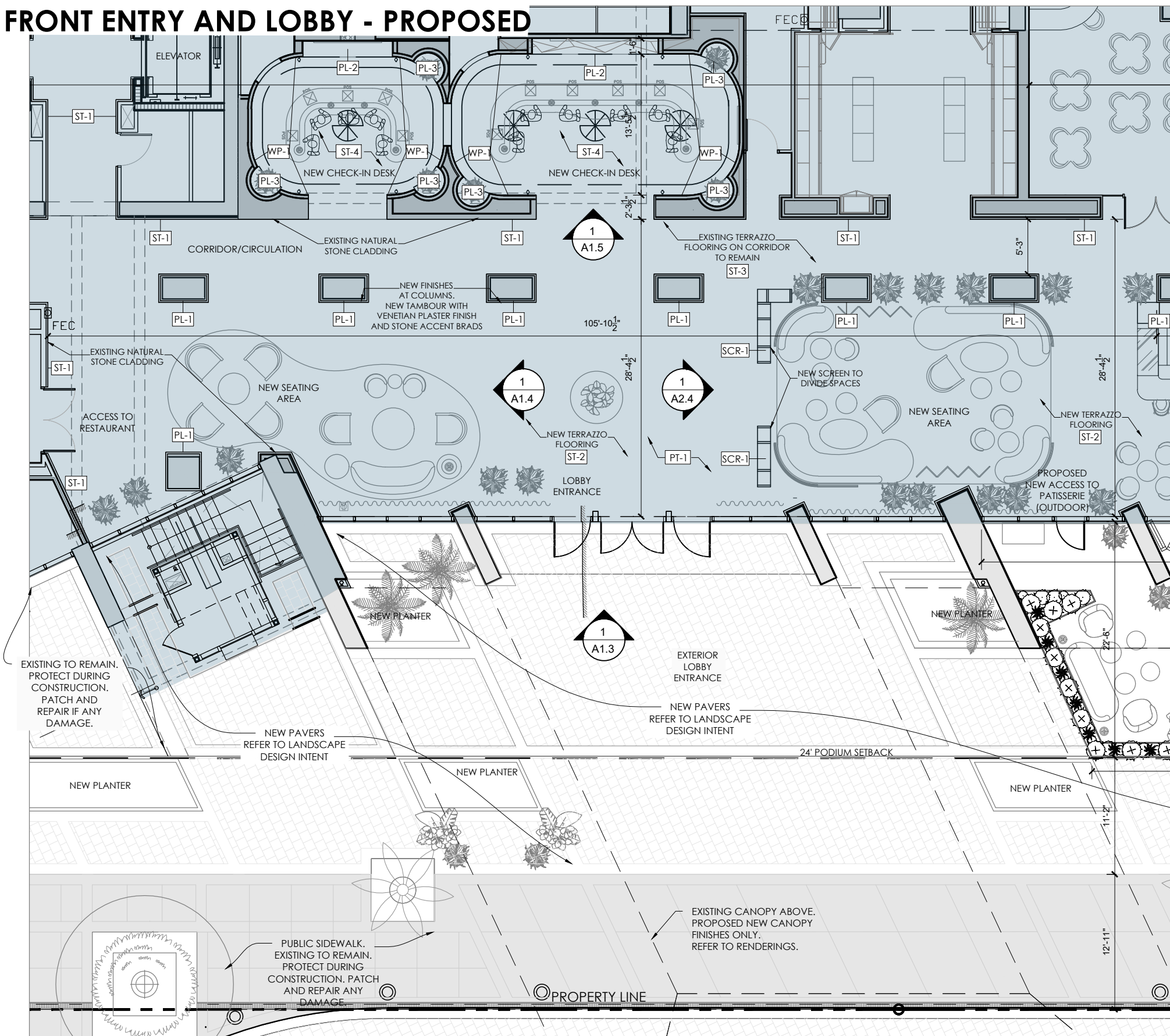
DEMOLITION LEGEND	
1	REMOVE ALL EXISTING FLOOR FINISHES, ADHESIVES, AND SETTING MATERIALS COMPLETE; CLEAN AND PREP FLOOR SLAB TO RECEIVE NEW FINISHES AS SPECIFIED.
2	REMOVE ALL EXISTING BASEBOARDS AND TRIMS IN THEIR ENTIRETY.
3	REMOVE PARTITIONS, FURRING, AND ASSOCIATED FINISHES WHERE INDICATED; PREPARE FOR NEW WALL CONSTRUCTION PER DRAWINGS.
4	REMOVE ALL EXISTING STONE WALL FINISHES AND SETTING MATERIALS COMPLETE; PREP WALL FOR NEW STONE APPLICATION.
5	REMOVE ALL EXISTING STONE WALL FINISHES AND SETTING MATERIALS COMPLETE; PREP WALL FOR NEW WALLCOVERING APPLICATION.
6	REMOVE ALL EXISTING STONE WALL CLADDING AND/OR DECORATIVE SCREEN ON COLUMNS; PREP WALL FOR NEW TAMBOUR WITH VENETIAN PLASTER APPLICATION. TYP. FOR ALL COLUMNS @ LOBBY AREA.
7	REMOVE ALL EXISTING CEILING FINISHES AND ASSOCIATED SUPPORT SYSTEMS WHERE INDICATED; A NEW ELECTRICAL LAYOUT SHALL BE PROVIDED. EXISTING HVAC DUCTWORK TO REMAIN ABOVE CEILING; DIFFUSERS, GRILLES, AND ASSOCIATED AIR DEVICES TO BE RELOCATED AND ADJUSTED AS REQUIRED TO ACCOMMODATE THE NEW LAYOUT.
8	REMOVE EXISTING DOORS, FRAMES, AND HARDWARE WHERE INDICATED; DISPOSE OF PROPERLY. PREPARE OPENINGS FOR NEW DOORS, FRAMES, AND HARDWARE AS SCHEDULED.
9	REMOVE EXISTING STOREFRONT WALL ASSEMBLY IN ITS ENTIRETY, INCLUDING GLAZING, FRAMING, ANCHORS, AND ALL ASSOCIATED COMPONENTS; PROTECT ADJACENT SURFACES. PREPARE OPENING TO RECEIVE NEW OPERABLE DOOR SYSTEM AS INDICATED ON DRAWINGS.
10	REMOVE EXISTING RECEPTION DESK IN ITS ENTIRETY; PROTECT ADJACENT SURFACES. DISCONNECT AND CAP ALL ASSOCIATED SERVICES. PREP AREA FOR NEW INSTALLATION.
11	REMOVE EXISTING FURNITURE WHERE INDICATED; PROTECT, SALVAGE, AND STORE AS REQUIRED BY OWNER.
12	REMOVE ALL EXISTING PLANTS IN THEIR ENTIRETY; PROTECT ADJACENT SURFACES. PREPARE AREA TO RECEIVE NEW PLANTS AS INDICATED ON LANDSCAPING DRAWINGS.
13	REMOVE EXISTING LIGHT FIXTURES.
14	EXISTING FLOOR OUTLETS, DATA, AND POWER CONNECTIONS SERVING DESKS OR OTHER EQUIPMENT TO BE RELOCATED AS REQUIRED TO ACCOMMODATE THE NEW LAYOUT.
15	REMOVE ALL EXISTING PLUMBING FIXTURES, ACCESSORIES, AND ASSOCIATED PIPING WHERE INDICATED; CAP AND SEAL ALL SERVICES FOR FUTURE CONNECTION. PROTECT, SALVAGE AND STORE AS DIRECTED BY OWNERSHIP.
16	EXISTING DOOR TO BE REMOVED AND REPLACED BY STOREFRONT.
17	REMOVE EXISTING CONCRETE STAIRS IN THEIR ENTIRETY; PROTECT ADJACENT SURFACES. COORDINATE WITH STRUCTURAL PRIOR TO DEMOLITION. PREP FOR NEW CONSTRUCTION.
18	REMOVE ALL EXISTING KITCHEN EQUIPMENT WHERE INDICATED, INCLUDING APPLIANCES, FIXTURES, AND ASSOCIATED COMPONENTS; DISCONNECT AND CAP ALL ELECTRICAL, GAS, WATER, AND DRAIN CONNECTIONS AS REQUIRED. PROTECT ADJACENT SURFACES TO REMAIN. PATCH AND PREP ALL AFFECTED AREAS TO RECEIVE NEW EQUIPMENT AND FINISHES. PROTECT, SALVAGE, AND STORE AS DIRECTED BY OWNERSHIP.



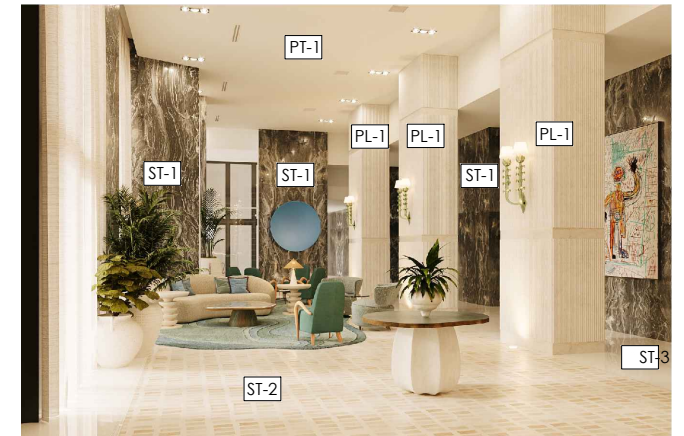
ENLARGED FRONT ENTRY AND LOBBY - DEMOLITION PLAN
SCALE: 3/32" = 1'-0"

KEY PLAN
SCALE: NTS

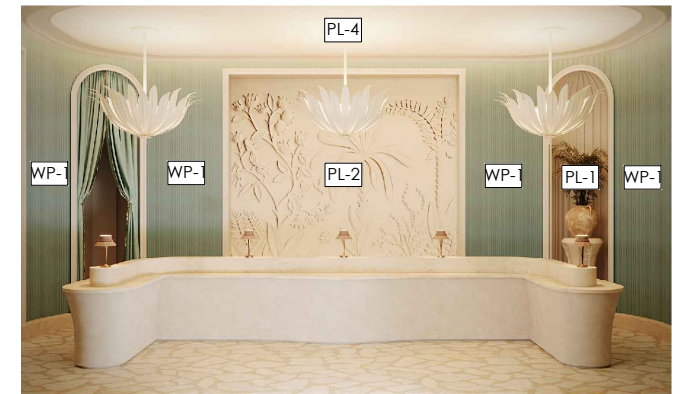
FRONT ENTRY AND LOBBY - PROPOSED



Rendering #1: Front hotel entrance

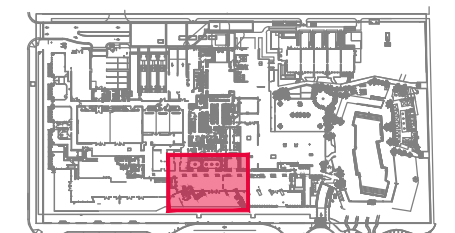


Rendering #2: Lobby lounge



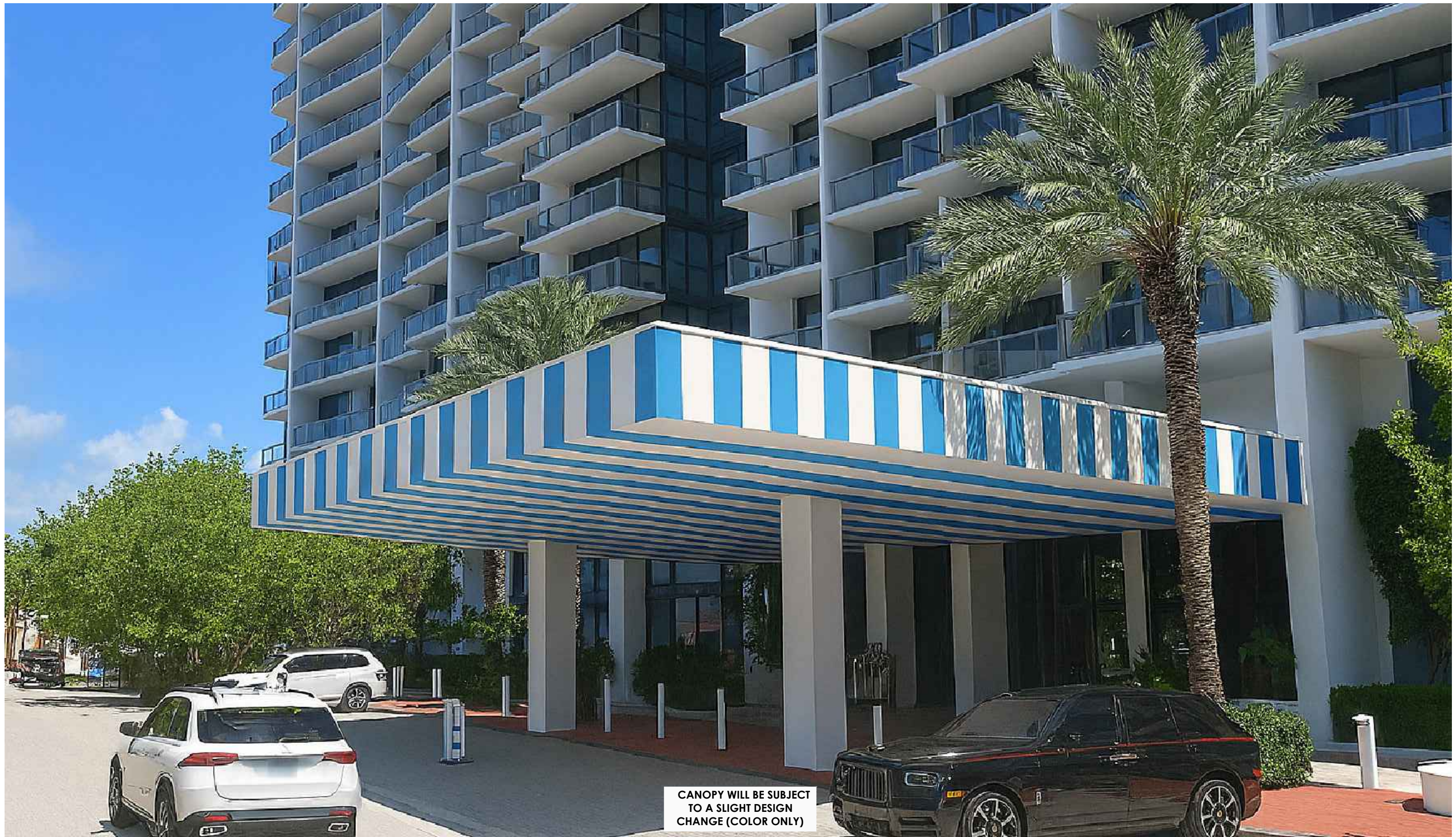
Rendering #3: Check-in desk

FINISH KEY LEGEND	
ST-1	EXISTING NATURAL STONE WALL CLADDING TO REMAIN
ST-2	NEW SCARPA TERRAZZO FLOORING
ST-3	EXISTING TERRAZZO FLOORING TO REMAIN (CORRIDORS)
ST-4	NEW PALLADIANA TERRAZZO FLOORING
ST-5	NEW STONE COUNTERTOP
ST-6	NEW OUTDOOR PALLADIANA TERRAZZO FLOORING
WD-1	NEW MILLWORK BAR AND SHELVING
PT-1	NEW PAINT (TYP. ALL WALLS & CEILINGS)
PL-1	NEW TAMBOUR W/ VENETIAN PLASTER & STONE ACCENT
PL-2	NEW BAS RELIEF PLASTER MURAL
PL-3	NEW SCULPTURAL PLASTER ALCOVE
PL-4	NEW PLASTER CEILING
WP-1	NEW WALLCOVERING
SCR-1	NEW WOOD AND STONE DECORATIVE SCREEN
GL-1	NEW ANTIQUE MIRROR WALL



KEY PLAN
SCALE: NTS

ENLARGED FRONT ENTRY AND LOBBY - PROPOSED DESIGN
SCALE: 3/32" = 1'-0"



CANOPY WILL BE SUBJECT TO A SLIGHT DESIGN CHANGE (COLOR ONLY)

FRONT HOTEL ENTRANCE

SCALE: N/A



LOBBY LOUNGE

SCALE: N/A



CHECK-IN DESK

SCALE: N/A

 Nichols Architects



 REUBEN BROTHERS

Kimley»Horn

 GreenbergTraurig



2201 Collins Ave
Miami Beach, FL

A1.5
01/11/2026