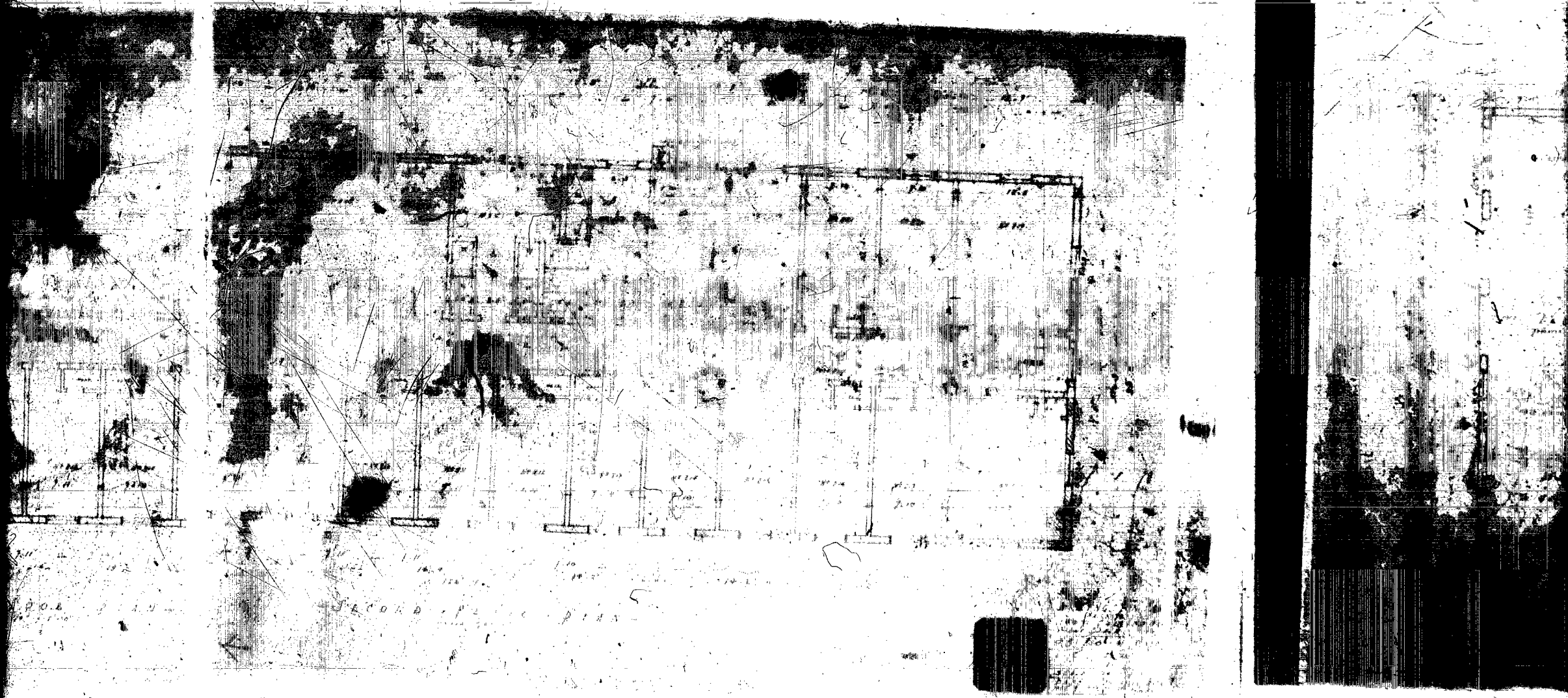


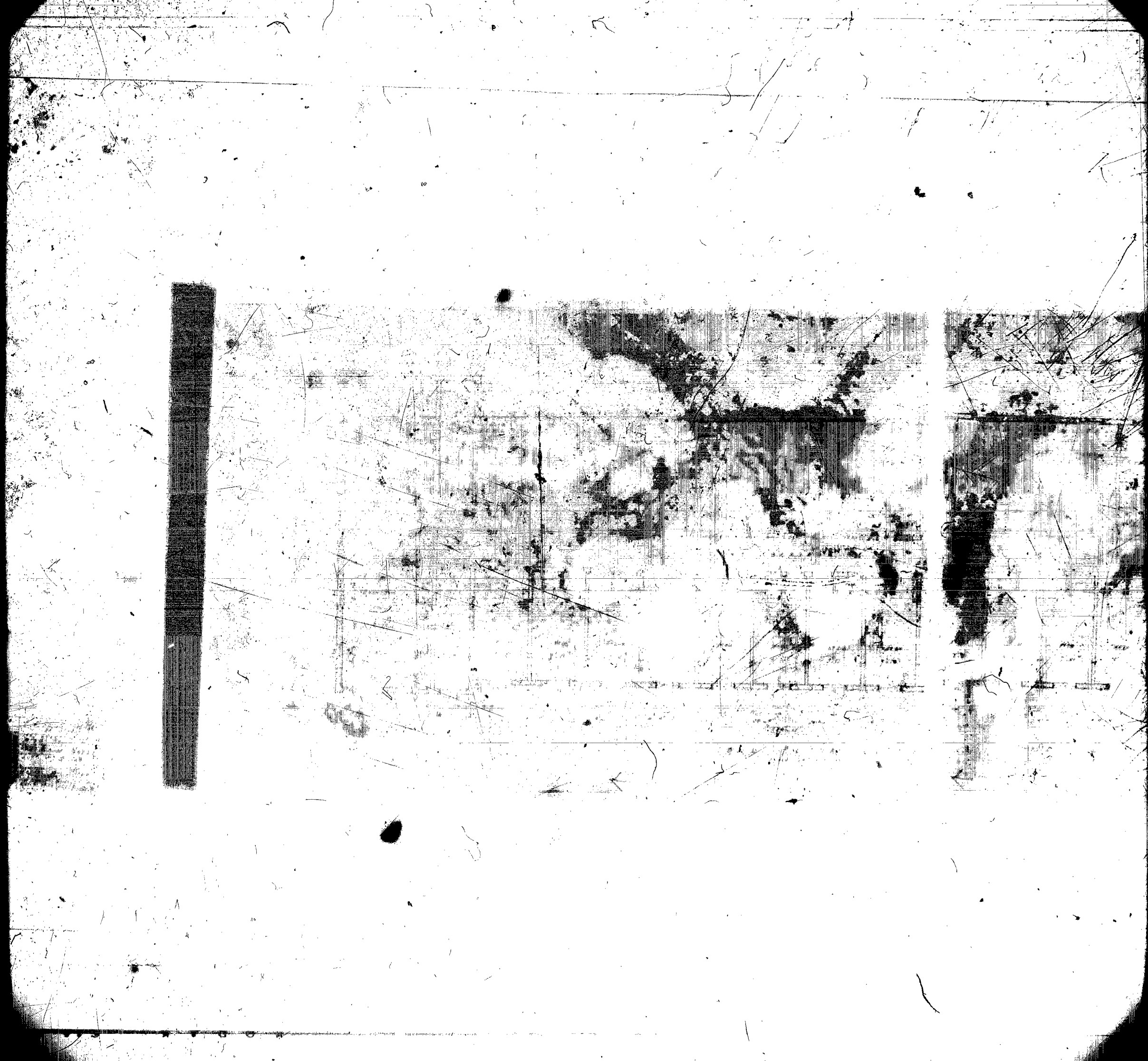
M O D A K S A F E T Y F I L M

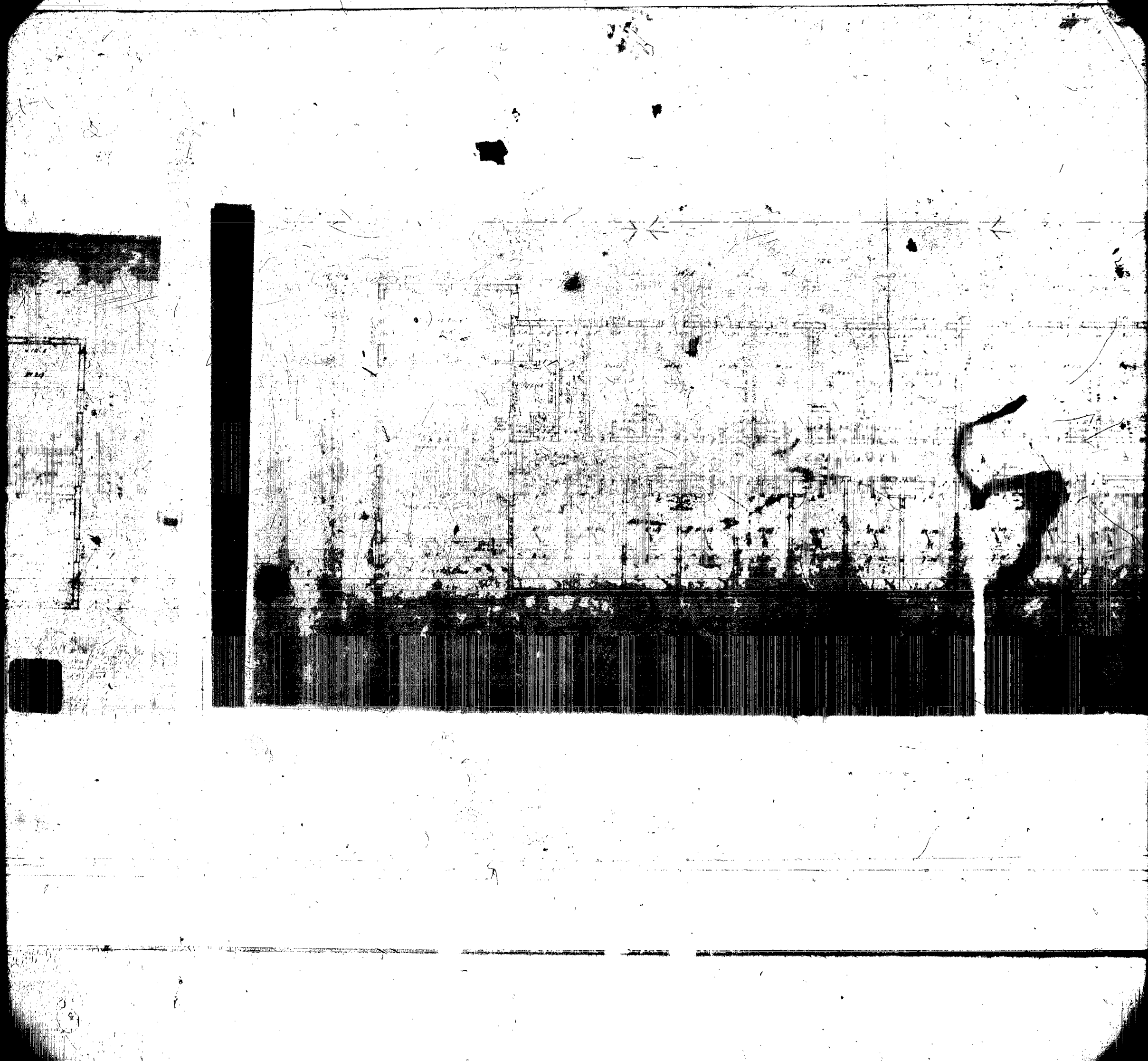


KODAK SAFETY



SECOND FLOOR PLAN



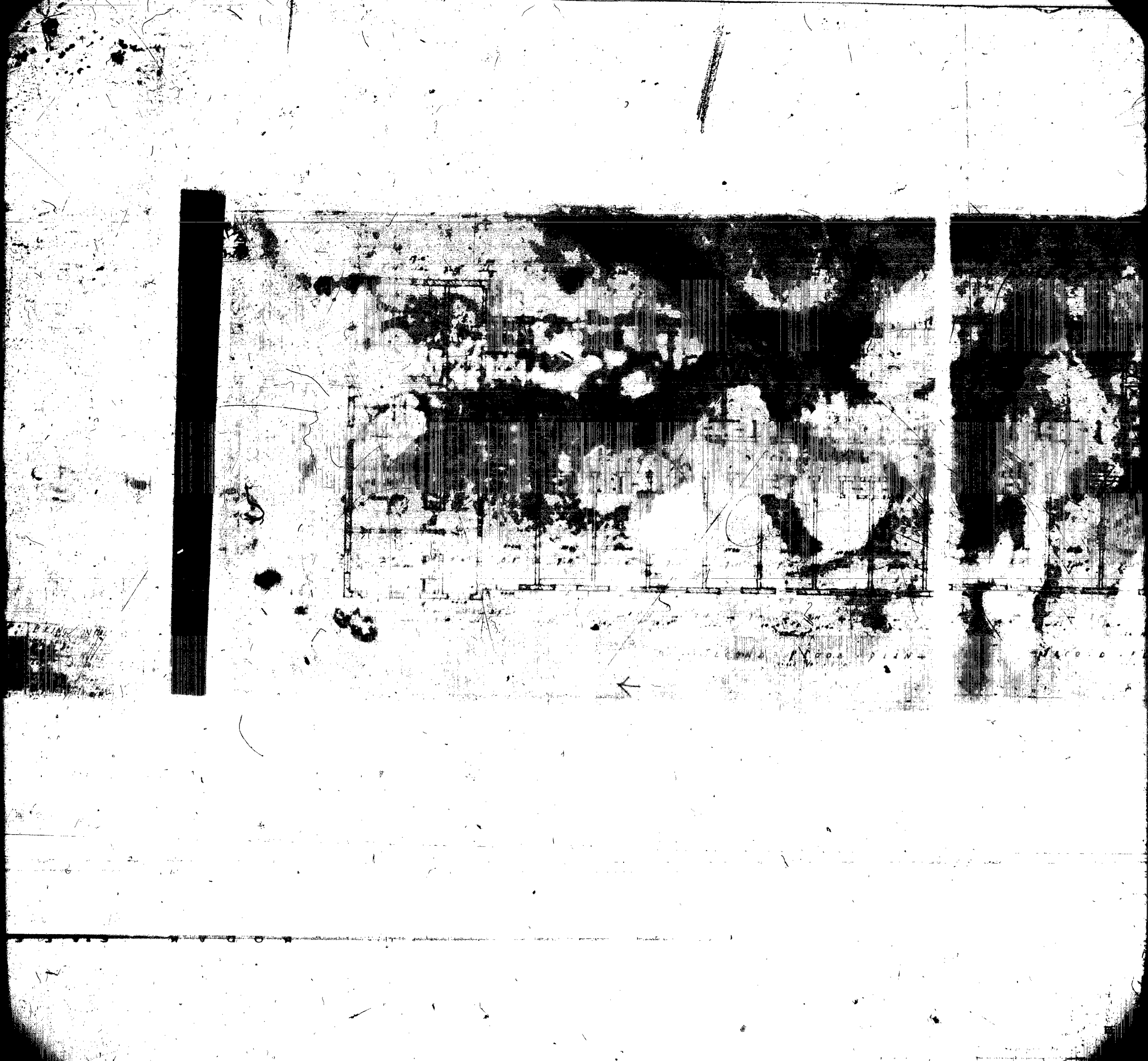




DOZ JOURNAL

1	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
---	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	-----

S A F E T Y F I L M





K O D A K   S A F E T Y



# MIAMI BEACH

## Plan Routing Sheet

General Information		
Date 12/17/13	Process/Permit Number Re-Submittals Only B1300886	Historic (Y/N)
Job Address 235 WASHINGTON		
Contact Name GARY PERNSCHON	E-mail GAP911@GMAIL.COM	Telephone 305.992.7443

Re-submittals - New Sheets:  Yes  No

List all new sheets:

A1 / LSI

---



---



---

### OFFICE USE ONLY

Required Approvals - As Indicated		
<input type="checkbox"/> Planning & Zoning	<input checked="" type="checkbox"/> Fire	<input type="checkbox"/> Public Works
<input type="checkbox"/> Flood Plain Management	<input checked="" type="checkbox"/> Building	<input type="checkbox"/> Structural
<input type="checkbox"/> Electrical	<input type="checkbox"/> Mechanical	<input type="checkbox"/> Plumbing
<input type="checkbox"/> Elevator		

Comments:

---



---



---

Reviewer: *[Signature]* Date: 12/17/13

Walk Thru  Drop Off



NEWDOC

B1300886

---

n/s



EXISTING FIRST FLOOR  
SCALE: 3/16"=1'-0"



EXISTING SECOND FLOOR  
SCALE: 3/16"=1'-0"

SCOPE OF WORK: Relocate bar. Install ice machine, bar sink, three compartment sink, hand sink. Electrical outlet for ice machine, refrigerator and small appliances. Smooth fins and paint.

**PUBLIC WORKS PLAN REVIEW NOTICE**  
Phone 305-673-7080 Fax 305-673-7028

THIS PLAN REVIEW CONSTITUTES APPROVAL FOR OBTAINING BUILDING PERMITS ONLY

All construction and/or use of equipment in the right-of-way and/or easements, requires a separate Public Works Department permit prior to start of construction.

Permit Requirements: Proof of existing sidewalk/swale area conditions (pictures) and/or posting of sidewalk/roadway bonds (Public Works Inspection of the right-of-way will be required prior to final sign-off on the C.C. / C.O., or the release of bonds.)

Approved/Reviewed By: [Signature] Date: 12/13/13

THIS SHEET HAS BEEN REVISED/REPLACED ORIGINAL SIGNATURE STAMP REMAINS VALID

NOTICE: In accordance with the requirement of this permit, the applicant is responsible for obtaining all necessary permits from the City of Miami Beach and other agencies. The City of Miami Beach does not assume any liability for the results of these plans which are approved subject to the Federal, State and Local Laws, Rules, and Regulations.

**B1300886**

CITY OF MIAMI BEACH  
PLANS APPROVAL

OFFICE COPY  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY THE FOLLOWING:

- BUILDING: [Signature]
- ZONING: [Signature]
- DRB/HPB: [Signature]
- CONCURRENCY: [Signature]
- PLUMBING: [Signature]
- ELECTRICAL: [Signature]
- MECHANICAL: [Signature]
- FIRE PREVENTION: [Signature]
- ENGINEERING: [Signature]
- PUBLIC WORKS: [Signature]
- STRUCTURAL: [Signature]
- ELEVATOR: [Signature]

**RODRIGUEZ & ANGLIN**  
PROFESSIONAL DESIGN  
MIAMI, FL 33175 TEL: (305) 510-7322  
MECHANICAL, ELECTRICAL, PLUMBING  
E-MAIL: enr\_rap@rbao.com  
ELECTRICAL & FIRE PROTECTION.

4/23/13  
CARLOS M. RODRIGUEZ  
P.E. # 55488

PROJECT TITLE  
SOUTH BEACH HOSTEL

PROJECT ADDRESS  
235 WASHINGTON AVENUE  
MIAMI BEACH, FLORIDA, 33139

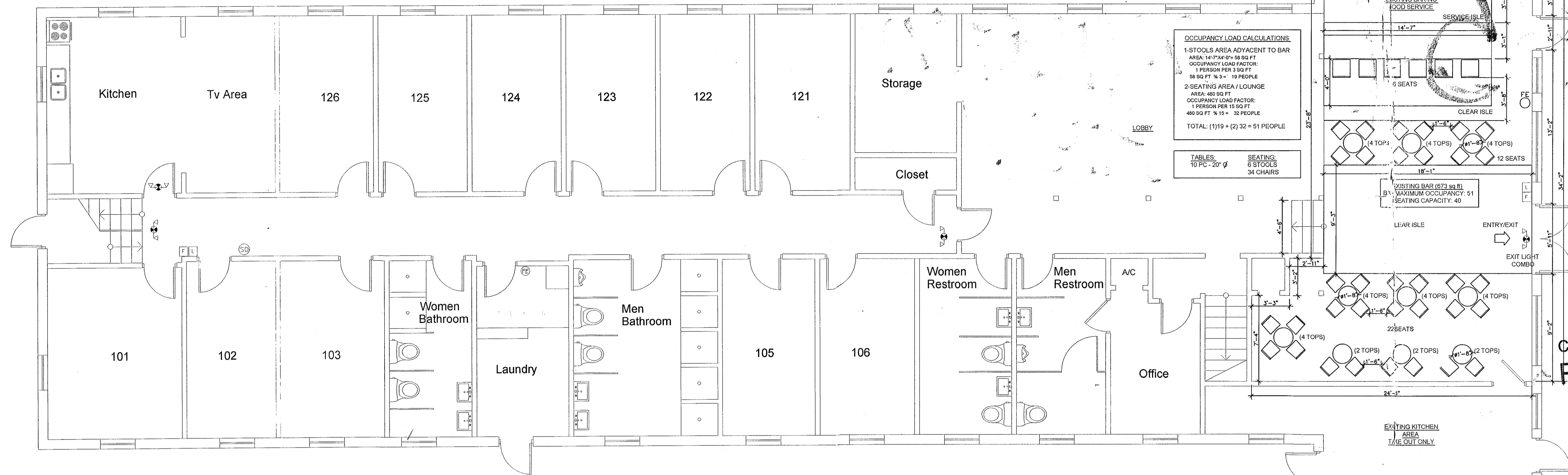
DRAWING TITLE  
FIRST & SECOND FLOOR ARCHITECTURAL PLAN

SCALE: 3/16"=1'-0"

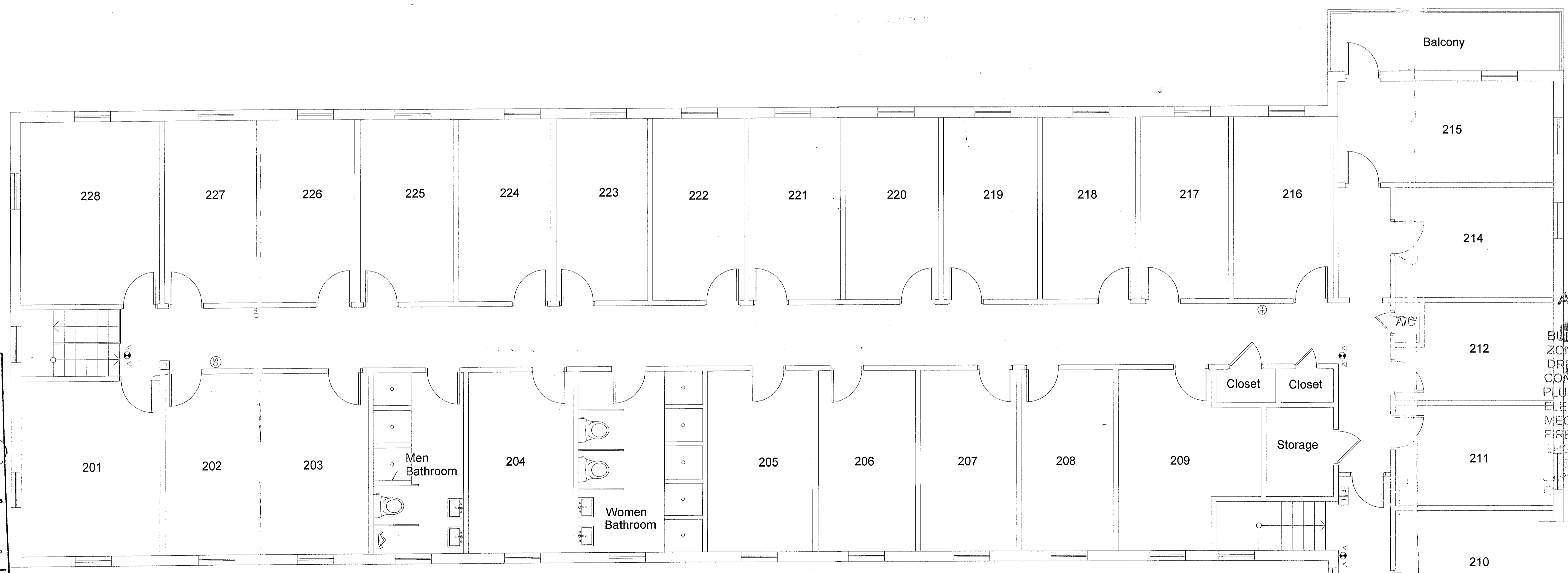
REVISIONS:

DRAWN BY: J.J.

FRONT  
DRAWING NO: 1



FIRST FLOOR 3/16"=1'-0"



SECOND FLOOR 3/16"=1'-0"

**PUBLIC WORKS PLAN REVIEW NOTICE**  
 Phone 305-673-7080 Fax 305-673-7028  
 THIS PLAN REVIEW CONSTITUTES APPROVAL FOR OBTAINING BUILDING PERMITS ONLY.  
 All construction and/or use of equipment in the right-of-way and/or easements, requires a separate Public Works Department permit prior to start of construction.  
 Permit Requirements: Proof of existing sidewalk/walkway area conditions (pictures) and/or posting of sidewalk/roadway bonds (Public Works Inspection of the right-of-way will be required prior to final sign-off on the C.C./G.O., or the release of bonds).  
 Approved/Reviewed By: *HGF* Date: *12/17/12*  
*HGF* 03/14/13

**OCCUPANCY LOAD CALCULATIONS**  
 1- STOOLS AREA ADJACENT TO BAR  
 AREA: 147.744 SQ FT  
 OCCUPANCY LOAD FACTOR:  
 1 PERSON PER 3 SQ FT  
 58 SQ FT x 3 = 18 PEOPLE  
 2- SEATING AREA / LOUNGE  
 AREA: 480 SQ FT  
 OCCUPANCY LOAD FACTOR:  
 1 PERSON PER 10 SQ FT  
 480 SQ FT x 10 = 48 PEOPLE  
 TOTAL: (1)18 + (2)32 = 51 PEOPLE

**TABLES:**  
 10 PG- 20' g

**SEATING:**  
 6 STOOLS  
 34 CHAIRS

**CITY OF MIAMI BEACH  
 REFERENCE ONLY**



**JOB COPY**  
**CITY OF MIAMI BEACH**  
**APPROVED FOR PERMIT BY THE FOLLOWING:**  
 BUILDING DEPARTMENT  
 DR/100  
 CONCRETE  
 PLUMBING  
 ELECTRIC  
 MECHANICAL  
 FIRE PROTECTION  
 ENGINEERING  
 ELEVATOR

**FINAL APPROVAL**  
 DEPARTMENT OF ENVIRONMENTAL RESOURCES MANAGEMENT  
 CITY OF MIAMI BEACH  
 8727 S. Biscayne Blvd.  
 Miami, FL 33131  
 11/26/12

**RODRIGUEZ & ANGLIN**  
**PROFESSIONAL DESIGN**  
 MIAMI, FL 33175 TEL: (305) 510-7322  
 12735 SW 42 TERRACE  
 MECHANICAL, PLUMBING,  
 ELECTRICAL, FIRE PROTECTION

*Carlos M. Rodriguez*  
 9/28/12  
 CARLOS M. RODRIGUEZ  
 P.E. # 55488

PROJECT TITLE  
**SOUTH BEACH HOSTEL**

PROJECT ADDRESS  
 235 WASHINGTON AVENUE  
 MIAMI BEACH, FLORIDA, 33139

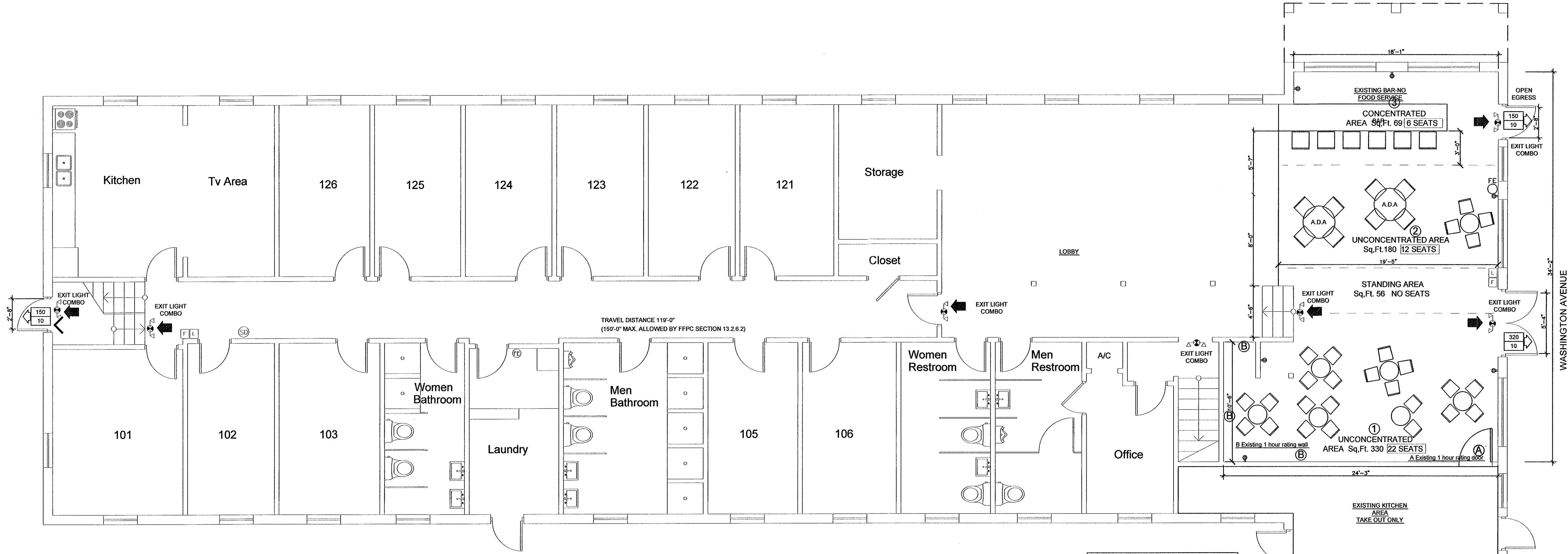
DRAWING TITLE  
 FIRST FLOOR ARCHITECTURE AND BAR SEATING PLAN  
 2ND FLOOR ARCHITECTURE

SCALE: 3/16"=1'-0"  
 REVISIONS:  
 1- JGF 03/14/13

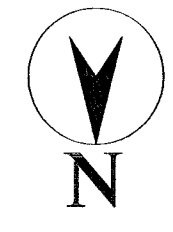
DRAWN BY: J.J.  
**A-1**  
 DRAWING NO:

Derm Number: 2012-1022-1549-5042  
 Contact Name: AVEL GONZALEZ  
 Contact Phone: (561) 508-3808  
 Folio: 02-4203-003-1-079  
 Project Name: SOUTH BEACH HOSTEL  
 Date Received: 10/22/2012





**BAR AT FIRST FLOOR LIFE SAFETY PLAN SCALE 3/16"=1'-0"**



**SCOPE OF WORK**  
 NO WORK TO BE DONE  
 NO SPRINKLERS SYSTEM

**OCCUPANT LOAD CALCS.**  
 FFPC TABLE 1004.1.2  
 ASSEMBLY WITHOUT FIXED SEATS

① UNCONCENTRATED AREA  
 AREA: 240 SQ. FT.  
 OCCUPANCY LOAD FACTOR:  
 3 PERSON PER 15 SQ. FT.  
 300 SQ. FT. ÷ 15 = 20 PERSONS

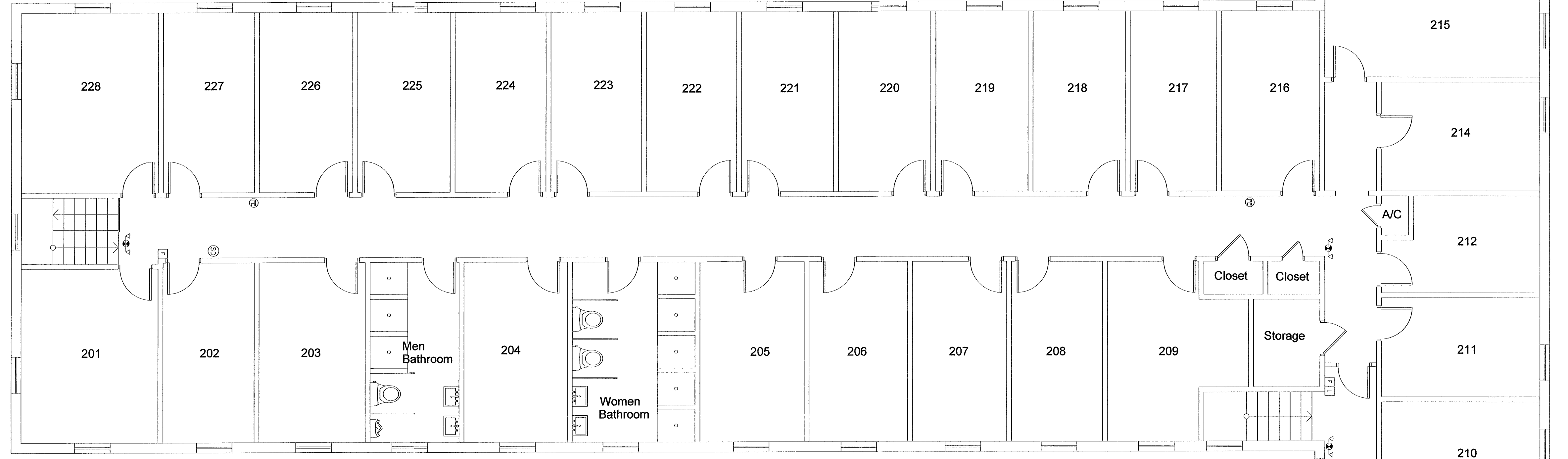
STANDING SPACE AREA  
 AREA: 80 SQ. FT.  
 OCCUPANCY LOAD FACTOR:  
 1 PERSON PER 7 SQ. FT.  
 80 SQ. FT. ÷ 7 = 11 PERSONS

② UNCONCENTRATED AREA  
 AREA: 180 SQ. FT.  
 OCCUPANCY LOAD FACTOR:  
 1 PERSON PER 15 SQ. FT.  
 180 SQ. FT. ÷ 15 = 12 PERSONS

③ CONCENTRATED AREA  
 AREA: 69 SQ. FT.  
 OCCUPANCY LOAD FACTOR:  
 1 PERSON PER 7 SQ. FT.  
 69 SQ. FT. ÷ 7 = 10 PERSONS

TOTAL SEATS 40 & 48 PEOPLE

MIN. REQUIRED WIDTH (IN)	PROVIDED WIDTH (IN)
DOOR	36
10 (50 PEOPLE)	36 (500 PEOPLE)

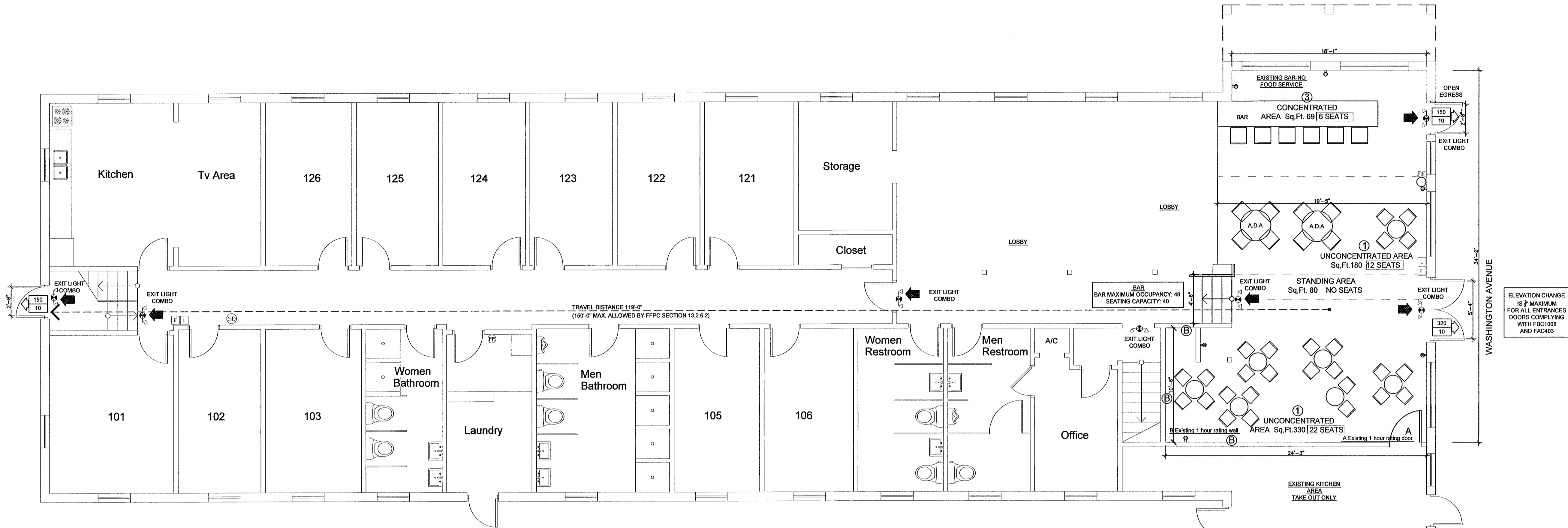


**EXISTING SECOND FLOOR**  
 SCALE: 3/16" = 1'-0"

City of Miami Beach  
 Fire Prevention Division  
 PLANS APPROVED



*ARC*



BAR AT FIRST FLOOR LIFE SAFETY PLAN SCALE 3/16"=1'-0"



OCCUPANCY CLASSIFICATION	MAXIMUM TRAVEL DISTANCE TO EXIT (ft)		MAXIMUM COMMON PATH OF TRAVEL (ft)		MAXIMUM DEAD END CORRIDOR LENGTH (ft)		EGRESS WIDTH PER OCCUPANT SERVED (ft)		MINIMUM CLEAR AISLE WIDTH (ft)	MINIMUM CLEAR DOOR WIDTH (ft)
	UNSPRK	SPRK	UNSPRK	SPRK	UNSPRK	SPRK	LEVEL	STAIRS		
GROUP A-2 (LC)	150	250	75	75	20	20	0.2	0.3	44	32

**NOTES:**  
 1- OCCUPANCY GROUP IN COMPLIANCE WITH FBC CHAPTER 3  
 2- TYPE OF CONSTRUCTION IN COMPLIANCE WITH FBC CHAPTER 6.3  
 3- PLANS IN COMPLIANCE WITH FBC 107.2.1, 2010 FLORIDA BUILDING CODE EXISTING BUILDING  
 4- BUILDING IS GOING FROM R2 TO A-2  
 5- INFORMATION TAKEN FROM FPPC, EDITION 2007 AND NFPA 101, EDITION 2006, SECTION 13, EXISTING NON SPRINKLERED BUILDING  
 6- ALL INTERIOR FINISHING MEET NFPA 101 TABLE A.10.2.2 2009 EDITION

MIN. REQUIRED WIDTH (ft)		PROVIDED WIDTH (ft)
DOOR	48	52
(50 PERSONS)		(60 PERSONS)

ELEVATION CHANGE  
 15'-2" MAXIMUM  
 FOR ALL ENTRANCES  
 DOORS COMPLYING  
 WITH FBC1009  
 AND FAC403

**RODRIGUEZ & ANGLIN**  
 PROFESSIONAL DESIGN  
 MIAMI, FL 33175 TEL: (305) 510-7322  
 12735 SW 42<sup>ND</sup> TERACE  
 MECHANICAL, PLUMBING,  
 ELECTRICAL  
 E-MAIL: cmi\_rac@yahco.com

2/6/13  
 CARLOS M. RODRIGUEZ  
 P.E. # 55488

PROJECT TITLE  
**SOUTH BEACH HOSTEL**

PROJECT ADDRESS  
 235 WASHINGTON AVENUE  
 MIAMI BEACH, FLORIDA, 33139

DRAWING TITLE  
**FIRST FLOOR BAR LIFE  
 SAFETY AND SEATING  
 PLAN**

SCALE: 3/16"=1'-0"

REVISIONS:

DRAWN BY: J.J.

**LS-1**

DRAWING NO:

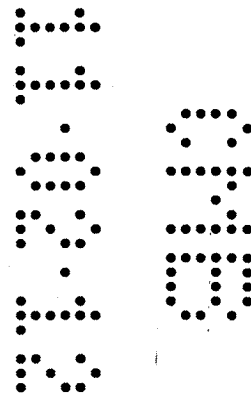
City of Miami Beach  
 Fire Prevention Division  
 PLANS APPROVED



10/11/12.

MUMBAI DE. HOTEL

### ROOFS (EXT.) & WINDOWS WIND ASCE 7-10



#	AREA	LONG	GCP	PROSS
A	22.	4	+1.9 -1.0	+80 -87
B	38.	4	+1.85 -1.95	+76 -83
C	16	4	+1.9 -1.0	+80 -87
D	23	5	+1.9 -1.3	+80 -96

x 1.6 → +46  
-50  
+48  
-52  
+48  
-58

P = 74 ( 1.8 +

1.9 → 80-  
1.0 → 87-  
1.85 → 76 x 1.6 →  
1.95 → 83-  
1.3 → 96

*[Handwritten signature]*



DEPARTMENT OF PERMITTING, ENVIRONMENT, AND REGULATORY AFFAIRS (PERA)  
 BOARD AND CODE ADMINISTRATION DIVISION  
**NOTICE OF ACCEPTANCE (NOA)**

MIAMI-DADE COUNTY, FLORIDA  
 PRODUCT CONTROL SECTION  
 11805 SW 26 Street, Room 208  
 Miami, Florida 33175-2474  
 T (786) 315-2590 F (786) 315-2599  
[www.miamidade.gov/pera/](http://www.miamidade.gov/pera/)

Trulite Glass & Aluminum Solution, LLC  
 800 Fairway Drive, Suite # 200  
 Deerfield Beach, FL 33441

**B/300265**

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County PERA-Product Control Section to be used in Miami-Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami-Dade County) and/or the AHJ (in areas other than Miami-Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. PERA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code. This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

**DESCRIPTION:** Series "Resistor Series 350 Medium Stile Impact Outswing Aluminum Storefront/Curtain Wall System Door - L.M.I.

**APPROVAL DOCUMENT:** Drawing No. 110-190 titled "Resistor Series 350 Medium Stile Impact Door" sheets 1 through 13 of 13, dated 10/10/11, prepared by Eng Co., Inc., signed and sealed by Pedro M. De Figueiredo, P. E., bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Section.

**MISSILE IMPACT RATING:** Large and Small Missile Impact Resistant.

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state, model/series, and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/ or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

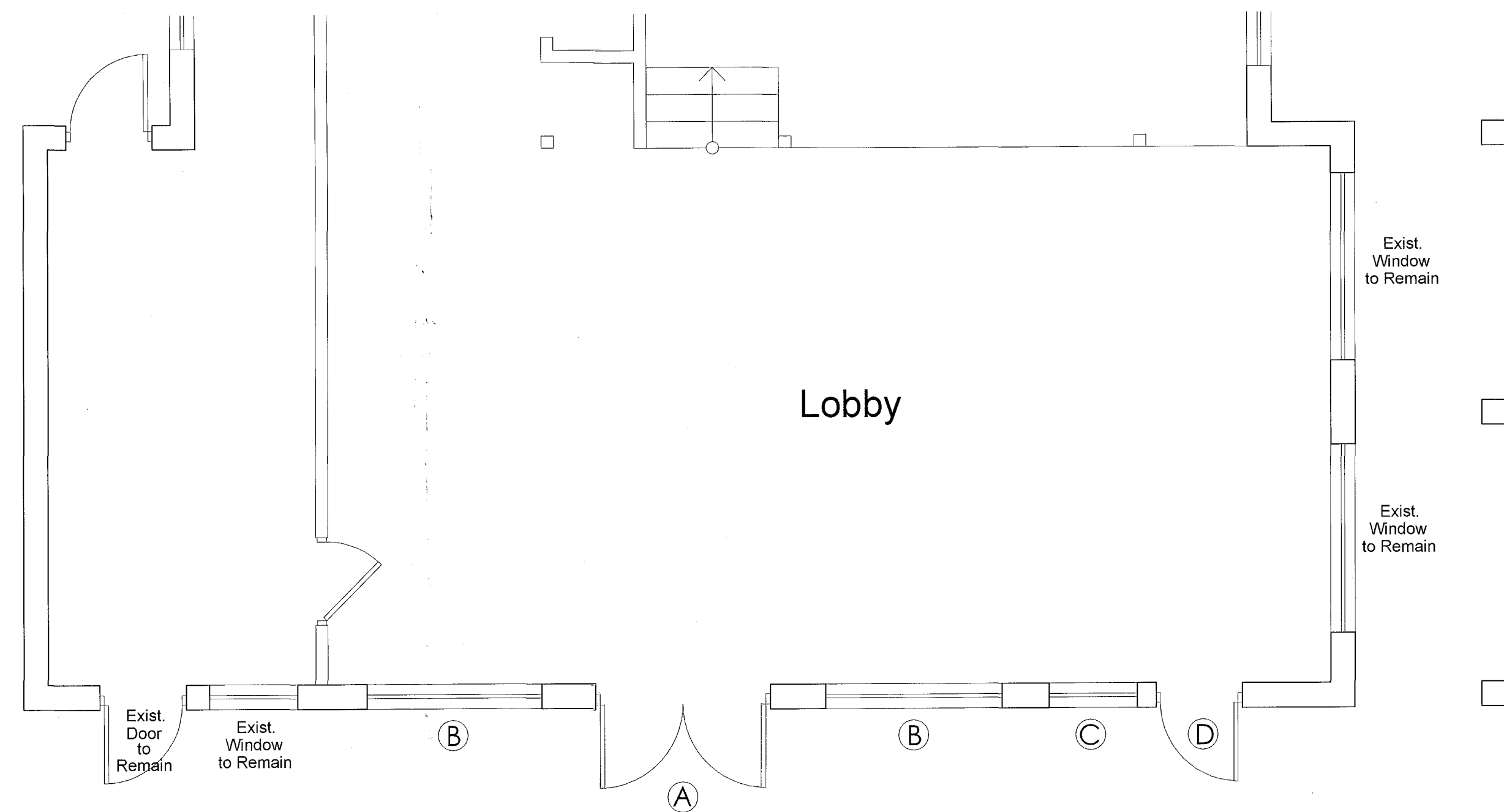
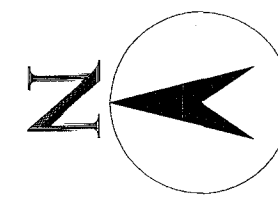
This NOA revises NOA No. 09-1110.04 and consists of this page 1 and evidence pages E-1, and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by Jaime D. Gascon, P. E.

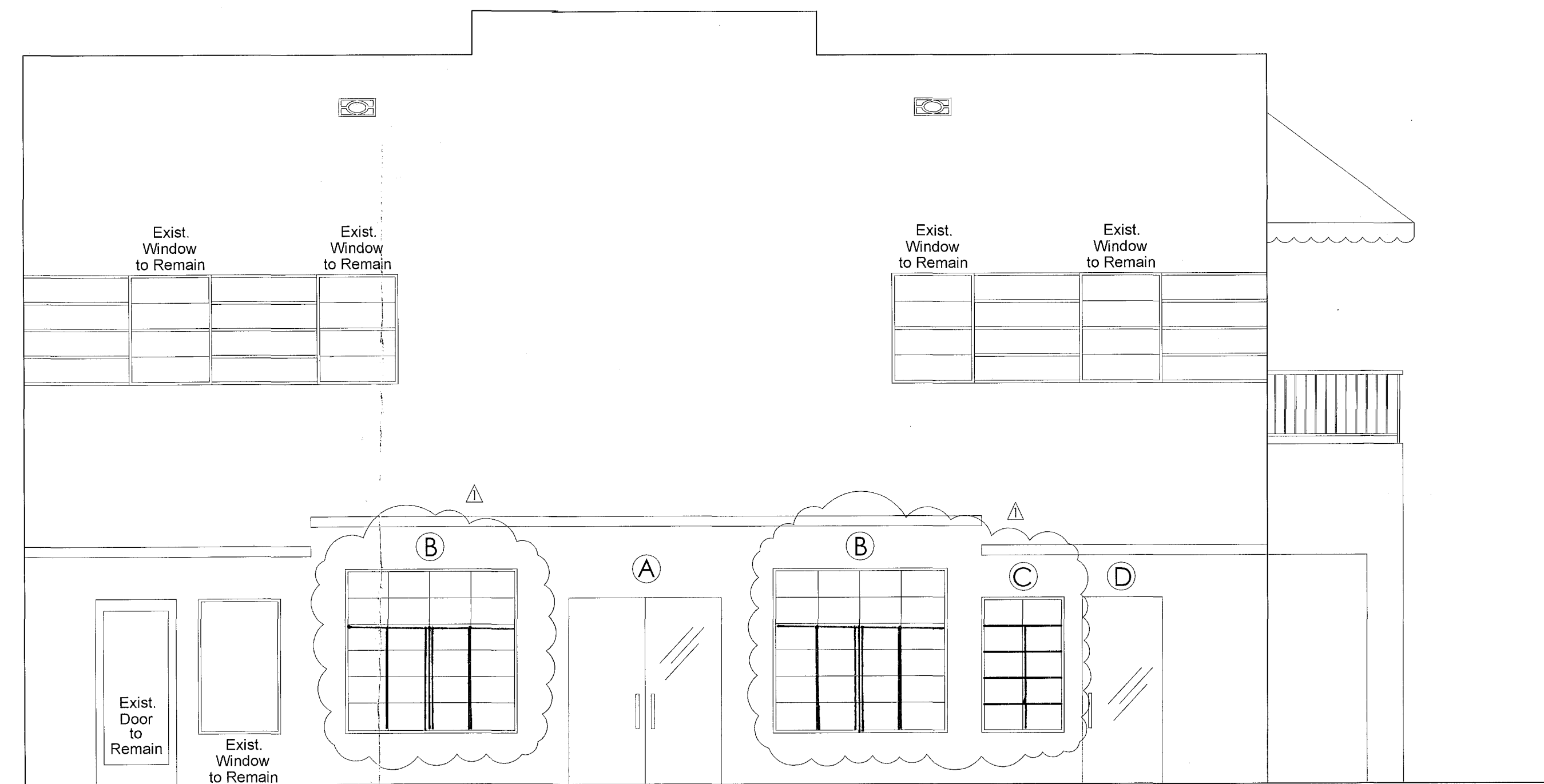


*J Gascon*  
 3/1/12

NOA No. 12-0117.05  
 Expiration Date: March 17, 2015  
 Approval Date: March 08, 2012  
 Page 1



FIRST FLOOR



WEST ELEVATION

## SCOPE OF WORK

### Alteration Level II

Replace windows and doors at front elevation only.  
 All work to be in accordance with FBC 2010.  
 Alteration type II.  
 No slab penetration.

#### DOOR & WINDOW SCHEDULE

MARK	QUAN.	DIMENSIONS		GLASS THICKNESS	MANUF.	TYPE	MATERIAL	ZONE	P.S.F.	N.O.A.
		WIDTH	HEIGHT							
A	1	75"	86"	X ANN-ANN	Tramson	ENTRANCE DOOR	ALUM/GLASS	4 + 48	- 52	12-0117.05
B	2	74"	74"	X ANN-ANN	Green World	FIXED WINDOW	ALUM/GLASS	4 + 46	- 50	12-0206.09
C	1	37"	63"	X ANN-ANN	Green World	FIXED WINDOW	ALUM/GLASS	4 + 48	- 52	12-0206.09
D	1	39"	86"	X ANN-ANN	Tramson	ENTRANCE DOOR	ALUM/GLASS	5 + 48	- 58	12-0117.05

#### WIND ASCE 7-10

kZT=1.0

Kd=.85

Kh--1.12

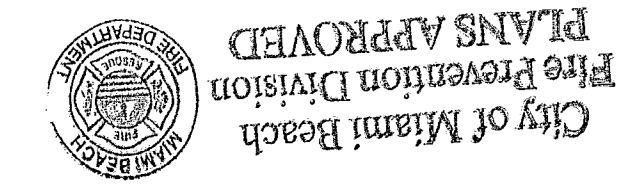
V=175m/h

IMP FACTOR +/- .18

HEIGHT (25')

q=62 PSF

RED. FACTOR - .6



OFFICE COPY  
 CITY OF MIAMI BEACH  
 APPROVED FOR PERMIT BY  
 THE FOLLOWING:  
 BUILDING: mm 11/13/12  
 ZONING: C 11/9/12  
 DRB/TPB: [Signature]  
 CONCURRENCY: \_\_\_\_\_  
 PLUMBING: \_\_\_\_\_  
 ELECTRICAL: \_\_\_\_\_  
 MECHANICAL: \_\_\_\_\_  
 FIRE PREVENTION: \_\_\_\_\_  
 ENGINEERING: [Signature]  
 PUBLIC WORKS: \_\_\_\_\_  
 STRUCTURAL: [Signature]  
 ELEVATOR: \_\_\_\_\_

REVISION:

11/6/12

MANUEL E. SIQUES  
 CIVIL STRUCTURAL PE-NO. 20233  
 8331 SW 12 TERRACE  
 MIAMI, FL. 33144  
 (305) 586 4776

The South Beach Hostel  
 235 Washington Avenue,  
 Miami Beach, Fl. 33139

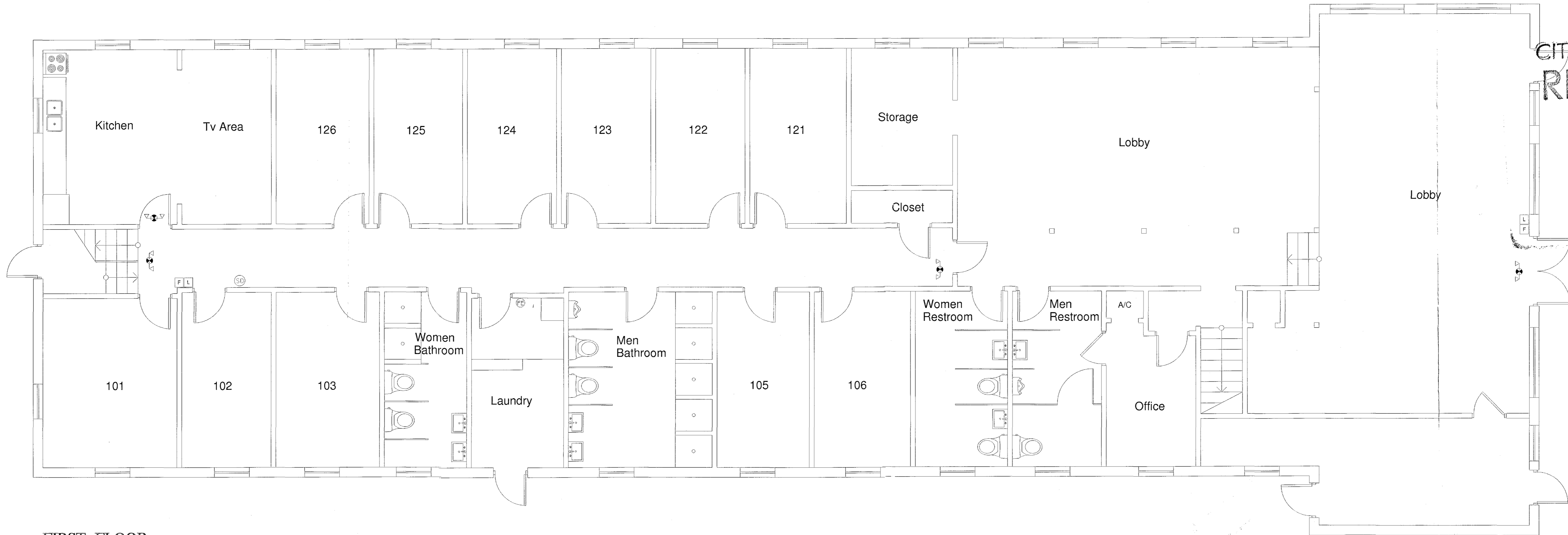
OWNER- ADDRESS

SCALE: 1'-1/4"

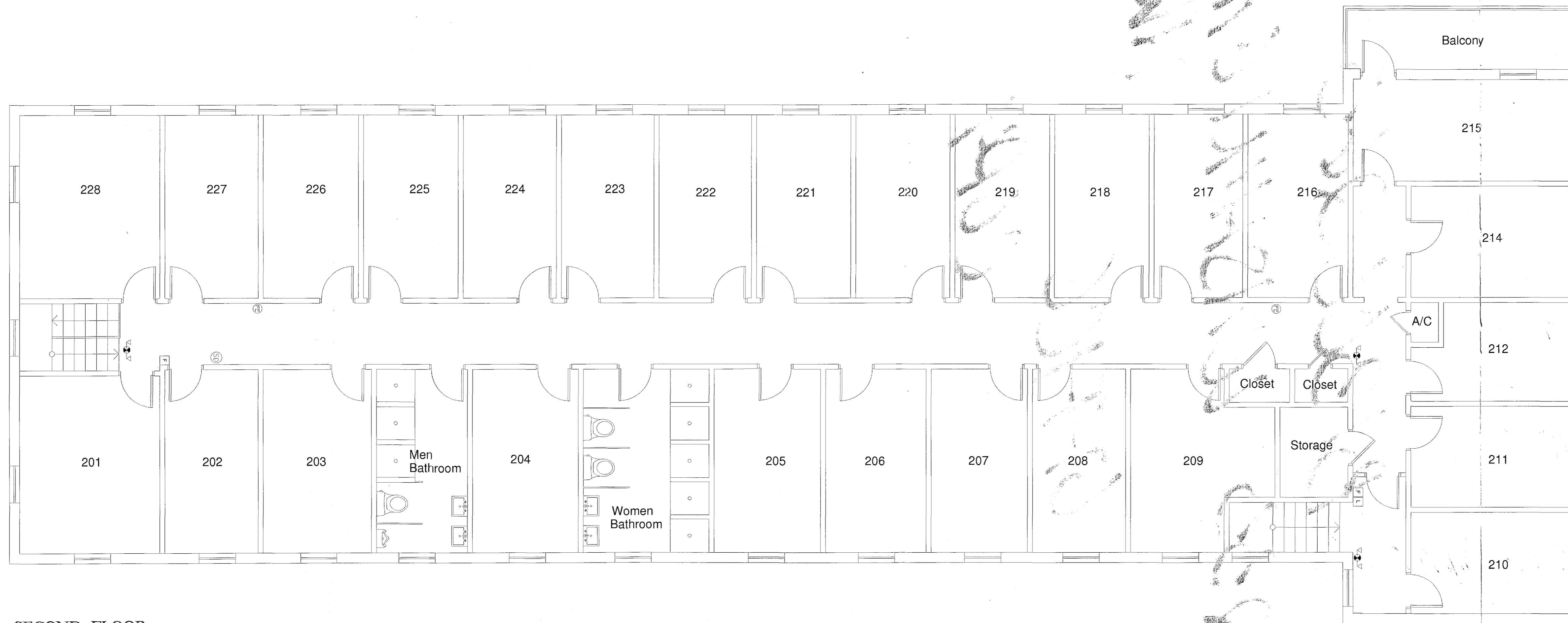
SHEET

A-1

OF 1



FIRST FLOOR



SECOND FLOOR

CITY OF MIAMI BEACH  
REFERENCE  
ONLY

PROPOSED ALTERATION FOR:  
SOUTH BEACH HOSTEL LLC  
235 WASHINGTON AVE  
MIAMI BEACH, FL 33139

REVISIONS

MANUEL E. SIKES  
CIVIL STRUCTURAL - PE No. 20233  
8331 SW 12 TERRACE  
MIAMI, FL 33144  
(305) 586-4176

City of Miami Beach  
Fire Prevention Division  
PLANS APPROVED



DRAWN BY:  
RAR  
CHECKED BY:  
MS  
DATE:  
10/12/12  
SCALE:  
AS SHOWN  
JOB NO.

PAGE #  
A-2

000  
00000

Master B1300265  
235 Washington  
- Geneva

OFFICE COPY  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:

BUILDING:	mm 10/15/12	mm 10/19/12
ZONING:	mm 11/5/12	mm 11/13/12
DRB/HPB:	mm 11/9/12	
CONCURRENCY:		
PLUMBING:		
ELECTRICAL:		
MECHANICAL:		
FIRE PREVENTION:	mm 11/15/12	mm 11/19/12
ENGINEERING:	mm 11/15/12	mm 11/19/12
PUBLIC WORKS:		
STRUCTURAL:	AV 11/5/12	AV 11/9/12
ELEVATOR:		

B1300265  
235 WASHINGTON  
AK

OFFICE  
COPY

3 1400141



# MIAMI BEACH

## Plan Routing Sheet

General Information		
Date <i>10/14/2013</i>	Process/Permit Number <i>B 1400141</i>	Re-Submittals Only
Historic (Y/N)		
Job Address <i>235 Washington Avenue</i>		
Contact Name <i>S. Gallo</i>	E-mail <i>permitdoctor@aol.com</i>	Telephone <i>3-447-0123</i>

Re-submittals - New Sheets:  Yes  No

List all new sheets:

---



---



---



---

### OFFICE USE ONLY

Required Approvals - As Indicated		
<input checked="" type="checkbox"/> Planning & Zoning	<input checked="" type="checkbox"/> Fire	<input checked="" type="checkbox"/> Public Works
<input type="checkbox"/> Flood Plain Management	<input checked="" type="checkbox"/> Building	<input checked="" type="checkbox"/> Structural
<input type="checkbox"/> Electrical	<input type="checkbox"/> Mechanical	<input type="checkbox"/> Plumbing
<input type="checkbox"/> Elevator		

Comments:

---



---



---

Reviewer: *AS*

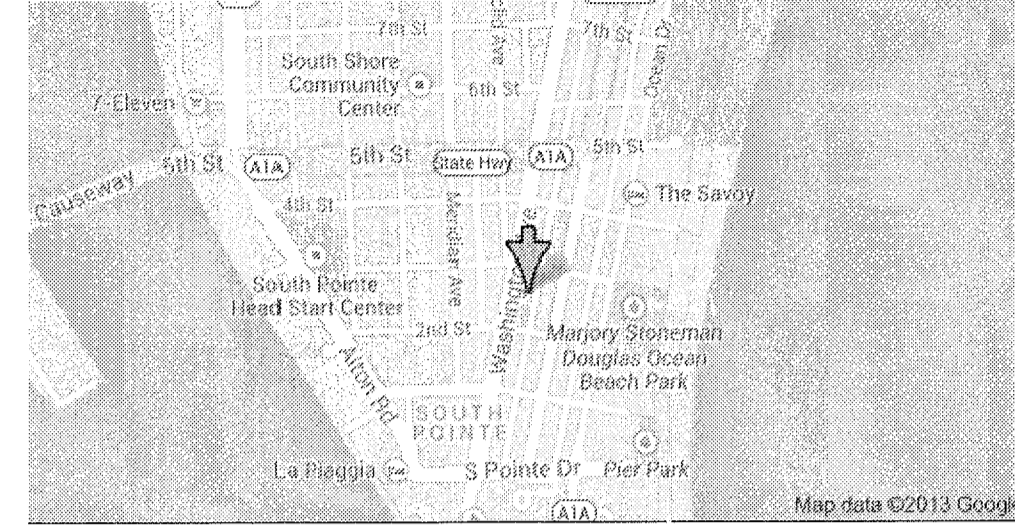
Date: *10/14/13*

Walk Thru

Drop Off

B1400141

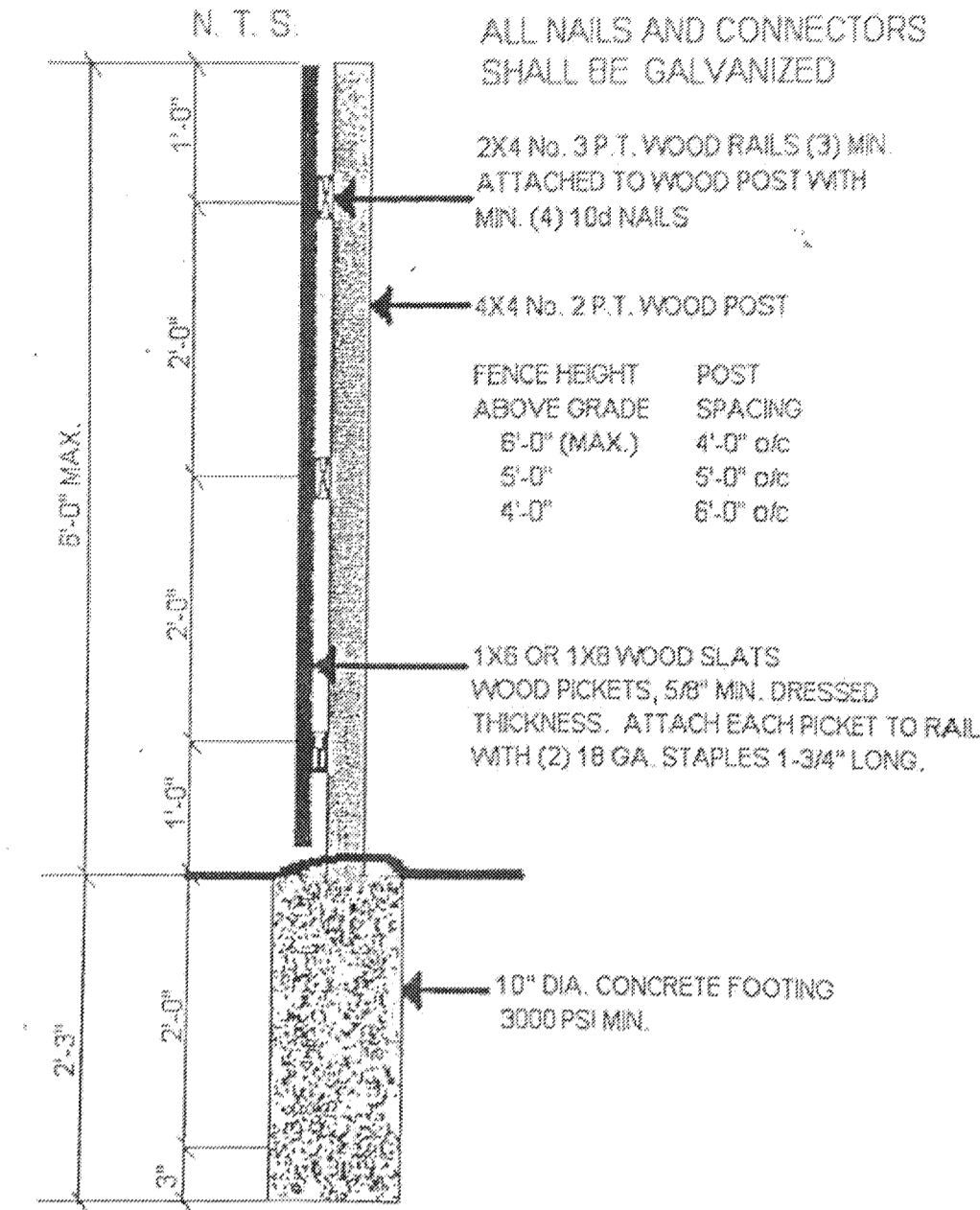
PROJECT LOCATION:  
235 WASHINGTON AVENUE  
MIAMI BEACH, FL



<b>SCOPE OF WORK</b>
<b>ALTERATION LEVEL II</b>
<b>OCCUPANCY USE: RESIDENTIAL R-1</b>
- PROVIDE NEW WOOD FENCE (12 L.F.) AS INDICATED IN PLAN.
<b>APPLICABLE CODES &amp; REGULATIONS</b>
JURISDICTION: MIAMI BEACH, FL. - 2010 EXISTING FLORIDA BUILDING CODE (FBCe).
<b>NOTES</b>
-NO MECHANICAL, ELECTRICAL OR PLUMBING WORK TO BE PERFORMED WITHIN THIS PERMIT.

*NO USE of key  
from egress side,  
lockbox to be provided*

**Wood Fence Design Detail**

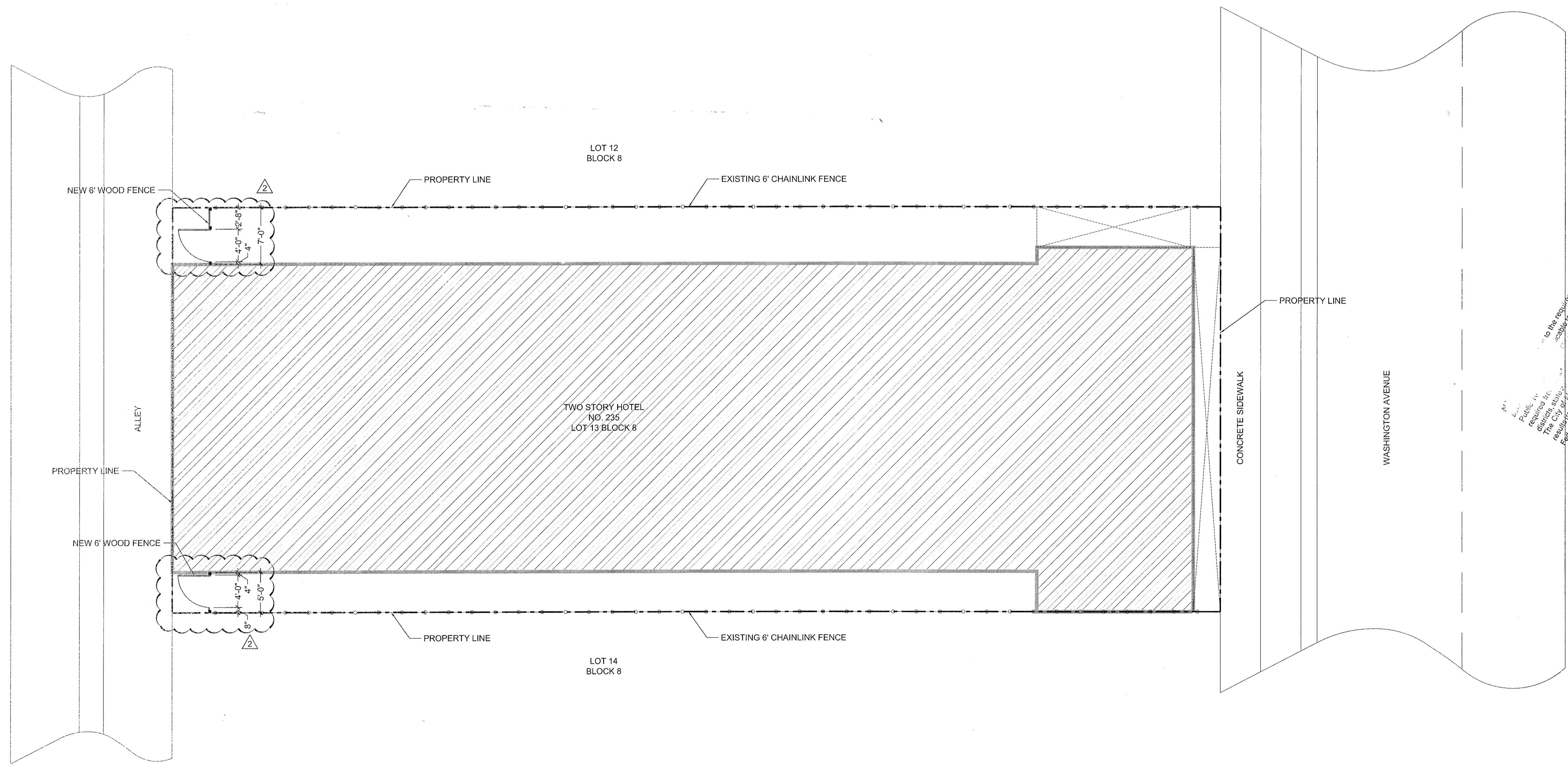


**PUBLIC WORKS  
PLAN REVIEW NOTICE**  
Phone 305-673-7069 Fax 305-673-7028  
THIS PLAN REVIEW CONSTITUTES APPROVAL FOR OBTAINING BUILDING PERMITS ONLY.  
All construction and/or use of equipment in the right-of-way and/or easements, requires a separate Public Works Department permit prior to start of construction.  
Permit Requirements: Proof of existing sidewalk-swale area conditions (pictures) and/or posting of sidewalk roadway bonds (Public Works Inspection of the right-of-way will be required prior to final sign-off on the C.C., C.O., or the release of bonds.)  
Approved: *ENL* Date: 10/14/2013

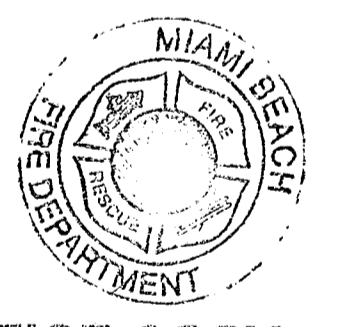
48 HOURS PRIOR TO EXCAVATING CONTRACTOR SHALL CALL FOR LOCATION OF UNDERGROUND UTILITIES  
DIGGING ONE-CALL 1-800-432-4770  
CITY OF MIAMI BEACH 305-673-7060

PROJECT NAME  
**235 WASHINGTON AVENUE  
MIAMI BEACH, FL. 33139**

BY: STAFF  
SCALE: AS SHOWN  
REVISIONS  
10.10.13-B-D COMMENTS  
10.14.13-B-D COMMENTS



By: *ENL*  
Public Works Department  
I hereby certify that the plans shown hereon conform to the requirements of the Florida Building Code, Miami Beach, Florida, and all applicable rules, regulations, orders and laws.  
Date: 10/14/2013



**OFFICE COPY  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:**

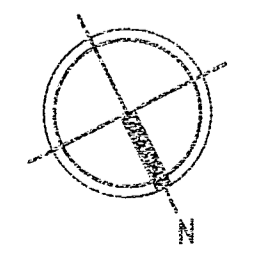
BUILDING: *ENL*  
ZONING: *AR 10/14/13*  
PLUMBING: *f. 10/14/13*  
ELECTRICAL:  
MECHANICAL:  
FIRE PREVENTION:  
FLOOD:  
PUBLIC WORKS: *ENL*  
STRUCTURAL: *AR 10/14/13*  
ELEVATOR:



City of Miami Beach  
Fire Prevention Division  
PLANS APPROVED

SHEET NAME  
**Existing  
Floor  
Plan**

SHEET NUMBER  
**A-1**





# MIAMI BEACH

## Plan Routing Sheet

General Information		
Date	Process/Permit Number <b>Re-Submittals Only</b> <i>P21401387</i>	Historic (Y/N)
Job Address <i>235 Washington</i>		
Contact Name	E-mail	Telephone

**Re-submittals - New Sheets:**  Yes  No

List all new sheets:

*A-1, E-1.*

### OFFICE USE ONLY

#### Required Approvals - As Indicated

<input type="checkbox"/> Planning & Zoning	<input type="checkbox"/> Fire	<input type="checkbox"/> Public Works
<input type="checkbox"/> Flood Plain Management	<input type="checkbox"/> Building	<input type="checkbox"/> Structural
<input type="checkbox"/> Electrical	<input type="checkbox"/> Mechanical	<input type="checkbox"/> Plumbing
<input type="checkbox"/> Elevator		

Comments:

Reviewer:

Date:

Walk Thru

Drop Off

B1401387

**RODRIGUEZ & ANGLIN**  
**PROFESSIONAL DESIGN**  
 MIAMI, FL 33176 TEL: (305) 510-7322  
 12735 SW 42 TERRACE  
 MECHANICAL, PLUMBING,  
 ELECTRICAL & FIRE PROTECTION.  
 E-MAIL: cmr\_@pdc@yahoo.com

CARLOS M. RODRIGUEZ  
 P.E. # 55488

PROJECT TITLE  
**SOUTH BEACH HOSTEL**

PROJECT ADDRESS  
 235 WASHINGTON AVENUE  
 MIAMI BEACH, FLORIDA 33139

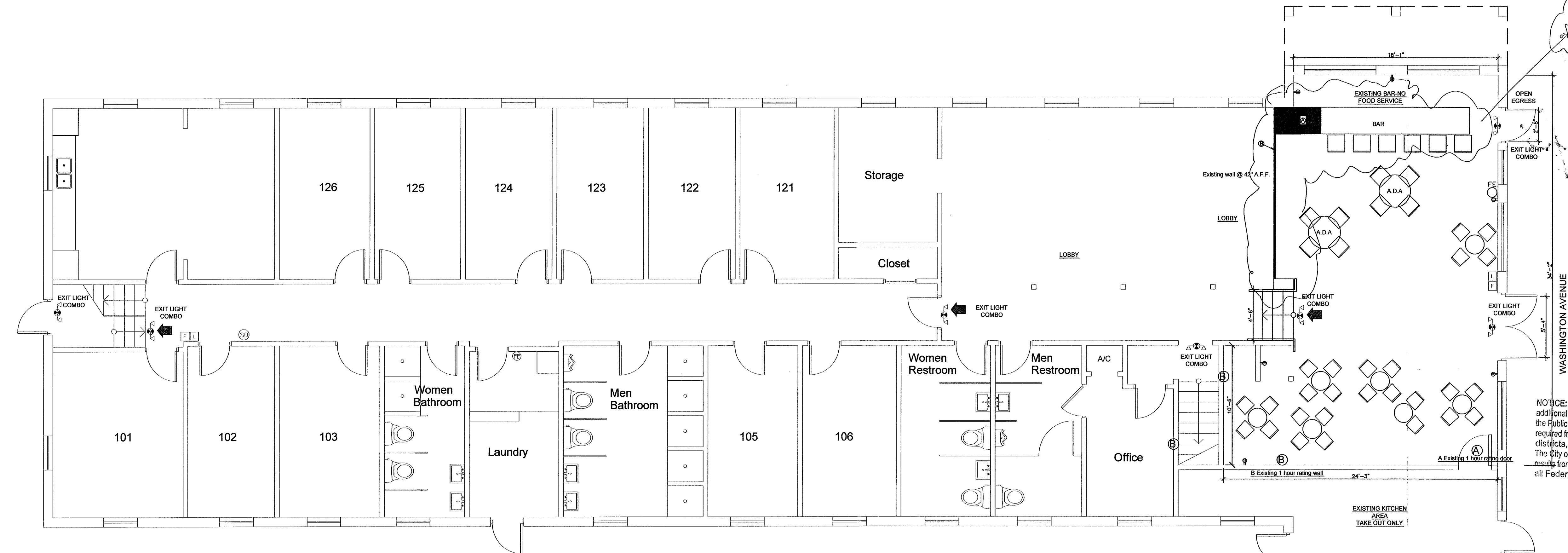
DRAWING TITLE  
**FIRST FLOOR BAR LIFE  
 SAFETY AND SEATING  
 PLAN**

SCALE: 3/16" = 1'-0"

REVISIONS:

DRAWN BY: J.J.

DRAWING NO:



Area of Work

ELEVATION CHANGE  
 IS 3" MAXIMUM  
 FOR ALL ENTRANCES  
 DOORS COMPLYING  
 WITH FBC1008  
 AND FAC403

NOTICE: In addition to the requirement of this permit, there may be additional restrictions applicable to this project that may be found in the Public Records of this County and the City of Miami Beach. It is the responsibility of the permittee to obtain and comply with all applicable laws, ordinances, rules, regulations, codes, and standards of the City of Miami Beach, State of Florida, and the United States of America. The City of Miami Beach assumes no liability for the accuracy or completeness of these plans which are the responsibility of the permittee and its compliance with all Federal, State, and local laws, codes, and Regulations.

City of Miami Beach  
 Fire Prevention Division  
 PLANS APPROVED

OFFICE COPY  
 CITY OF MIAMI BEACH  
 APPROVED FOR PERMIT BY  
 THE FOLLOWING:

BUILDING: [Signature] 12/13/13  
 ZONING: [Signature] 12/13/13  
 PLUMBING: [Signature] 12/13/13  
 ELECTRICAL: [Signature] 12/13/13  
 MECHANICAL: [Signature] 12/13/13  
 FIRE PREVENTION: [Signature] 12/13/13  
 FLOOD: [Signature] 12/13/13  
 PUBLIC WORKS: [Signature] 12/13/13  
 STRUCTURAL: [Signature] 12/13/13  
 ELEVATOR: [Signature] 12/13/13

SCALE 3/16"=1'-0"



**NOTE**  
 1- OCCUPANCY GROUP IN COMPLIANCE WITH FBC CHAPTER 3  
 2- TYPE OF CONSTRUCTION IN COMPLIANCE WITH FBC CHAPTER 5.3  
 3- PLANS IN COMPLIANCE WITH FBC 107.2.1: 2010 FLORIDA BUILDING CODE EXISTING BUILDING  
 4- BUILDING IS GOING FROM R2 TO A-2  
 5- INFORMATION TAKEN FROM FBC, EDITION 2007 AND NFPA 101, EDITION 2009, SECTION 13, EXISTING NON-SPRINKLERED BUILDING  
 6- ALL INTERIOR FINISHING MEET NFPA 101 TABLE A 10.2.2 2009 EDITION

**SCOPE OF WORK**

- A- Add 4 lineal ft of wood countertop to existing bar
- B- Remove PVC railing from top of existing wall @42"

**PUBLIC WORKS  
 PLAN REVIEW NOTICE**  
 Phone 305-673-7080 Fax 305-673-7028

THIS PLAN REVIEW CONSTITUTES APPROVAL FOR OBTAINING BUILDING PERMITS ONLY.

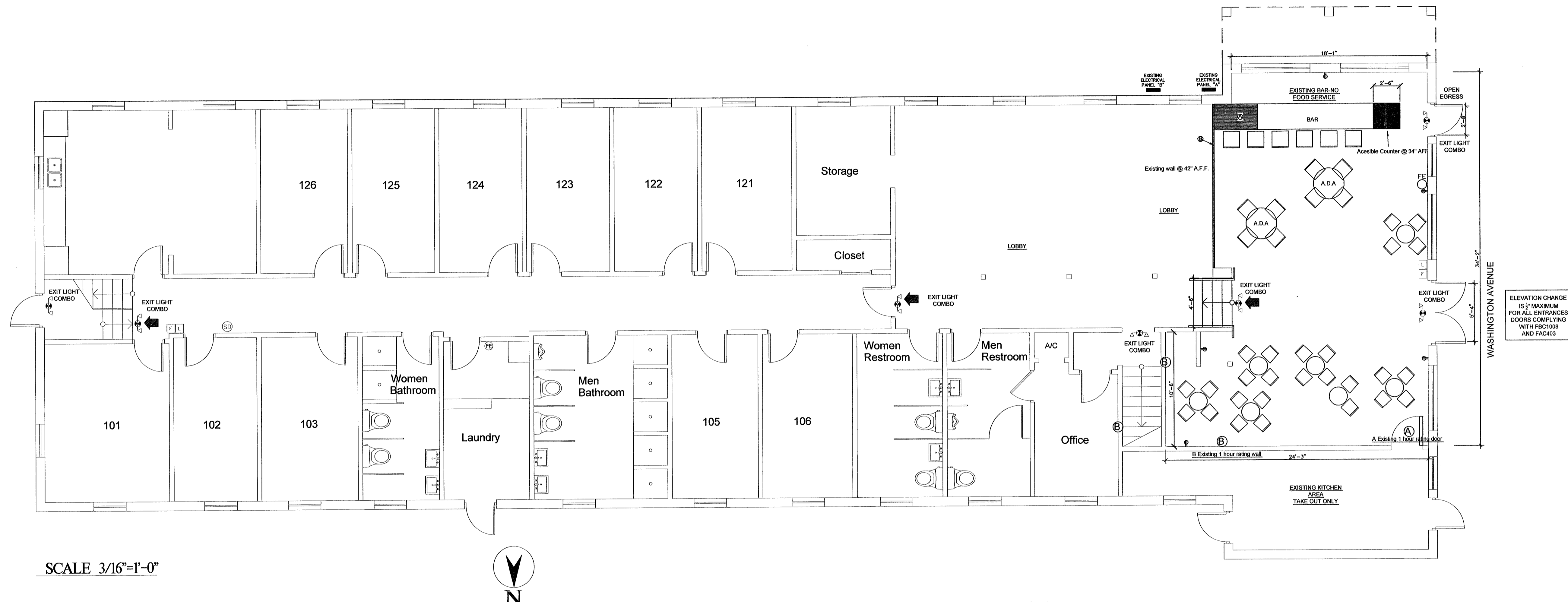
All construction and/or use of equipment in the right-of-way and/or easements, requires a separate Public Works Department permit prior to start of construction.

Permit Requirements: Proof of existing sidewalk/swale area conditions (pictures) and/or posting of sidewalk/roadway bonds (Public Works Inspection of the right-of-way will be required prior to final sign-off on the C.C. / C.O., or the release of bonds.)

Approved/Reviewed By: [Signature] Date: 12/13/13

THIS SHEET HAS BEEN  
 REVISED/REPLACED  
 ORIGINAL SIGNATURE STAMP  
 REMAINS VALID

FRONT



SCALE 3/16"=1'-0"



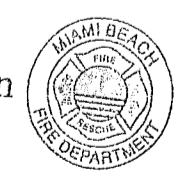
**NOTE**  
 1- OCCUPANCY GROUP IN COMPLIANCE WITH FBC CHAPTER 3  
 2- TYPE OF CONSTRUCTION IN COMPLIANCE WITH FBC CHAPTER 6.3  
 3- PLANS IN COMPLIANCE WITH FBC 107.2.1: 2010 FLORIDA BUILDING CODE EXISTING BUILDING  
 4- BUILDING IS GOING FROM R2 TO A-2  
 5- INFORMATION TAKEN FROM FFPC, EDITION 2007 AND NFPA 101, EDITION 2009, SECTION 13, EXISTING NON SPRINKLERED BUILDING  
 6- ALL INTERIOR FINISHING MEET NFPA 101 TABLE A 10.2.2 2009 EDITION

**SCOPE OF WORK**

- A- Install new GFCI on wood countertop addition
- B- Install new 240 30A.

ELEVATION CHANGE IS 3" MAXIMUM FOR ALL ENTRANCES DOORS COMPLYING WITH FBC108 AND FAC403

City of Miami Beach  
 Fire Prevention Division  
 PLANS APPROVED



<b>MESA BROTHERS</b> ELECTRICAL CONTRACTOR 5216 SW 103 Ave. Miami, Florida	
RAUL MESA E.C 13001870	
PROJECT TITLE <b>SOUTH BEACH HOSTEL</b>	PROJECT ADDRESS 235 WASHINGTON AVENUE MIAMI BEACH, FLORIDA, 33139
DRAWING TITLE <b>FIRST FLOOR BAR LIFE SAFETY AND SEATING PLAN</b>	SCALE: 3/16"=1'-0" REVISIONS: 12/19/2013
DRAWN BY:	
<b>A1</b>	
DRAWING NO:	

*ML*

**MESA BROTHERS**  
ELECTRICAL CONTRACTOR  
5215 SW 103 Ave.  
Miami, Florida

RAUL MESA  
EPC 13001670

PROJECT TITLE  
**SOUTH BEACH HOSTEL**

PROJECT ADDRESS  
235 WASHINGTON AVENUE  
MIAMI BEACH, FLORIDA, 33139

DRAWING TITLE  
**FIRST FLOOR BAR LIFE  
SAFETY AND SEATING  
PLAN**

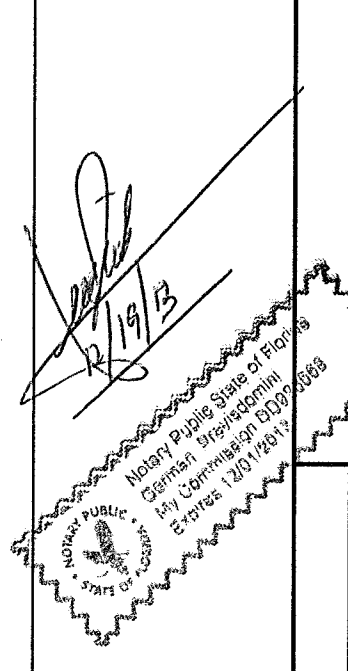
SCALE: 3/16" = 1'-0"

REVISIONS:  
12/18/2013

DRAWN BY:

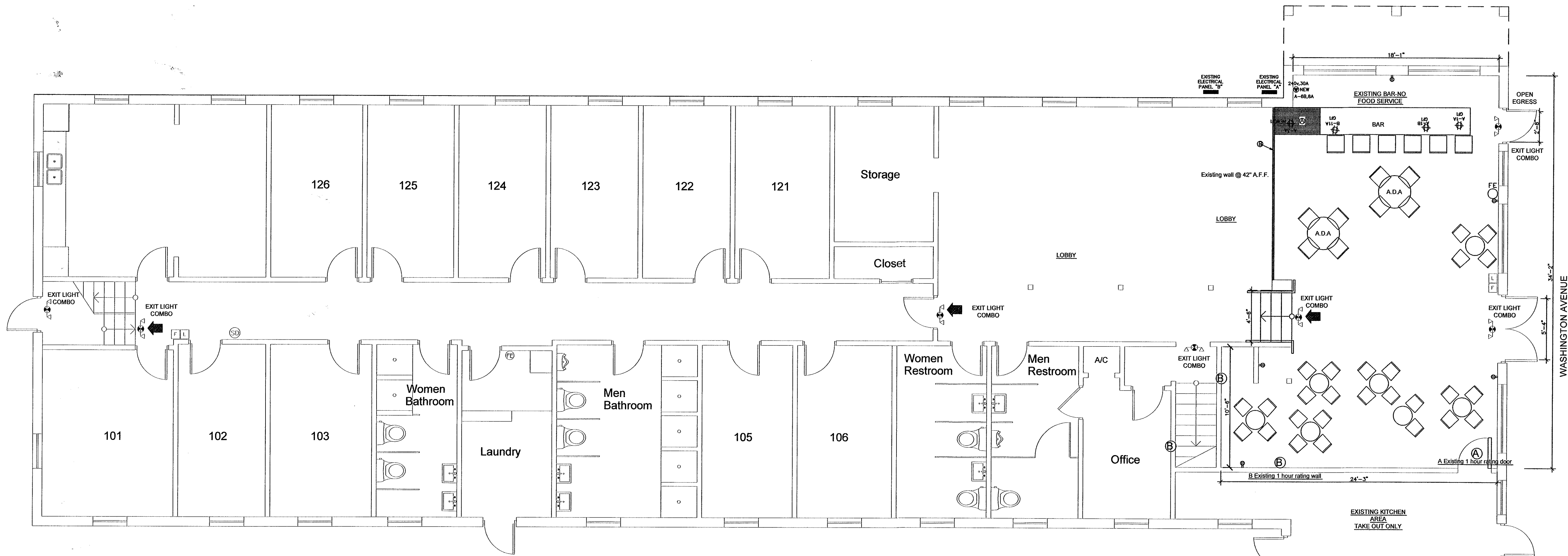
**E1**

DRAWING NO:

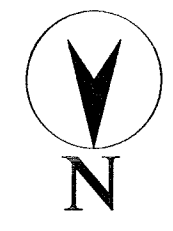


ELEVATION CHANGE  
IS 2" MAXIMUM  
FOR ALL ENTRANCES  
DOORS COMPLYING  
WITH FBC1008  
AND FAC403

City of Miami Beach  
Fire Prevention Division  
PLANS APPROVED



SCALE 3/16"=1'-0"



**NOTE**  
1- OCCUPANCY GROUP IN COMPLIANCE WITH FBC CHAPTER 3  
2- TYPE OF CONSTRUCTION IN COMPLIANCE WITH FBC CHAPTER 6.3  
3- PLANS IN COMPLIANCE WITH FBC 107.2.1, 2010 FLORIDA BUILDING CODE EXISTING BUILDING  
4- BUILDING IS GOING FROM R2 TO A-2  
5- INFORMATION TAKEN FROM FPPC, EDITION 2007 AND NFPA 101, EDITION 2009, SECTION 13, EXISTING NON SPRINKLERED BUILDING  
6- ALL INTERIOR FINISHING MEET NFPA 101 TABLE A.10.2.2 2009 EDITION

**SCOPE OF WORK**  
A- Install new GFCI on wood countertop addition  
B- Install new 240 30A.

12/20/13

B401387

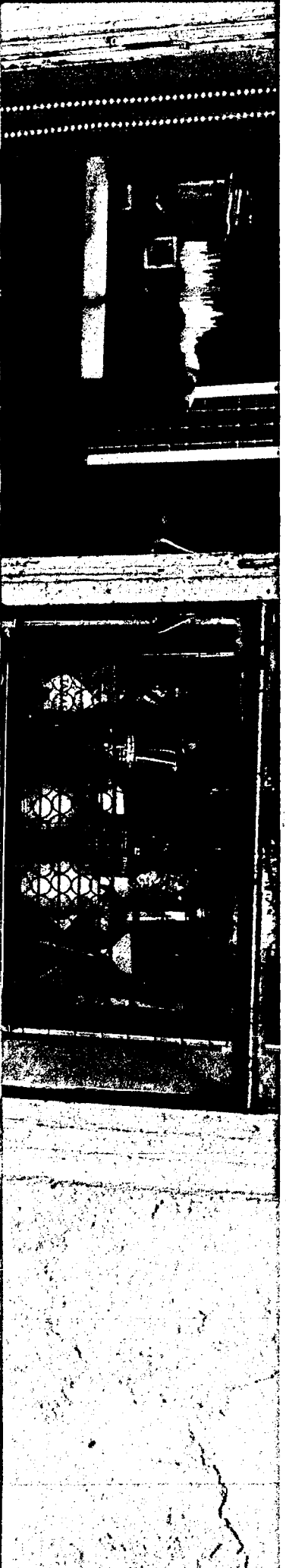
235 WASHINGTON

AV

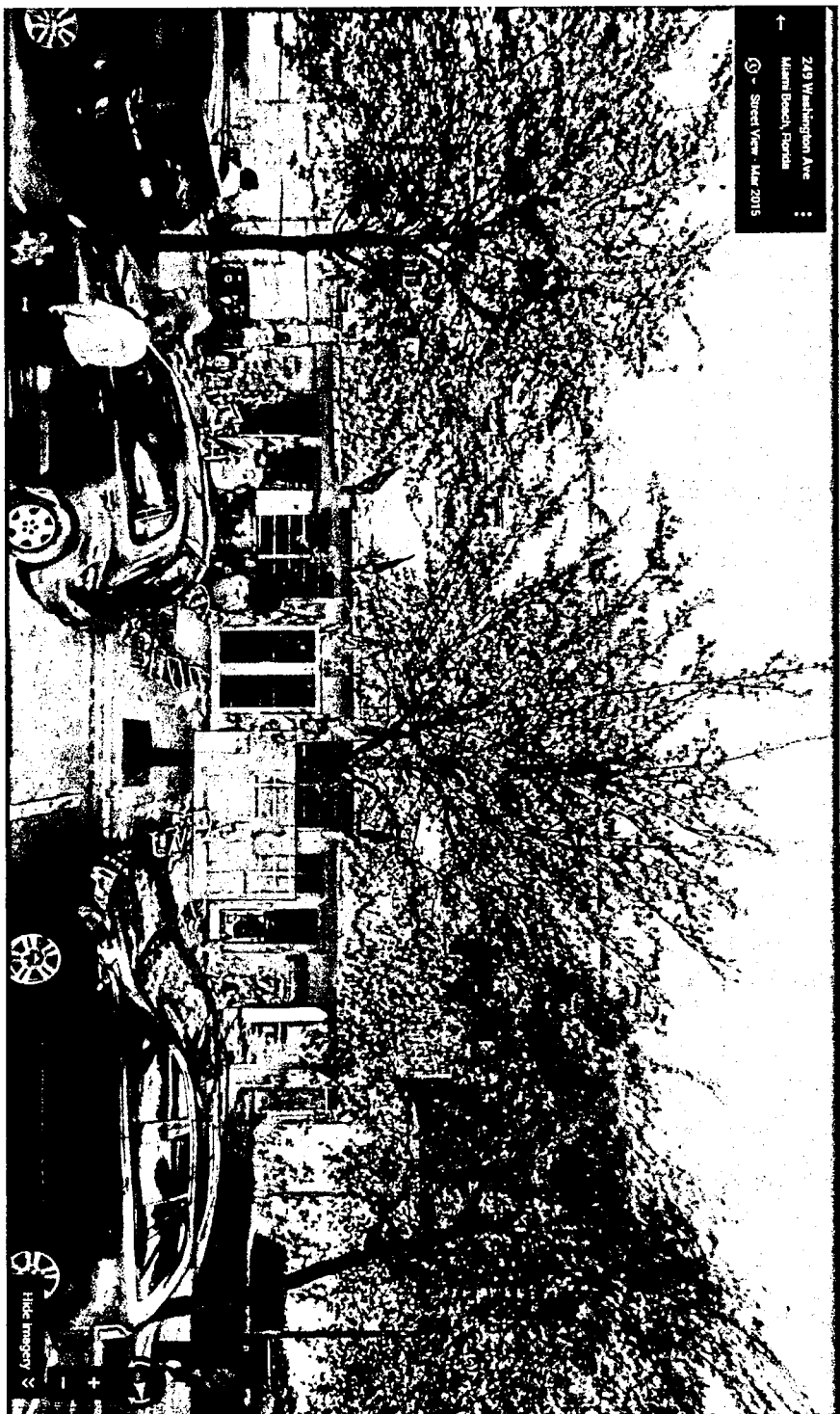
OFFICE COPY

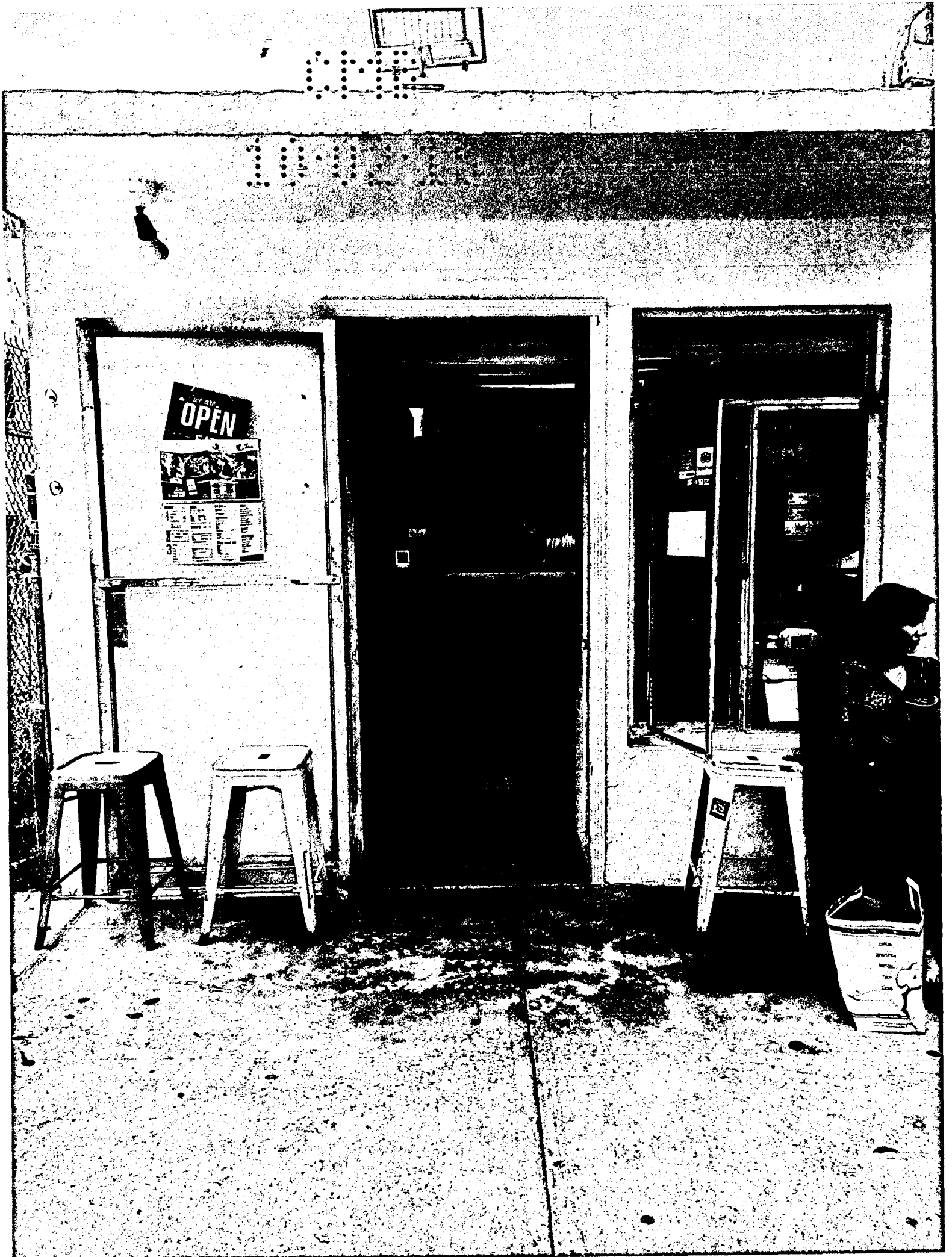


MY  
CEVICHE  
Go fish Go fresh



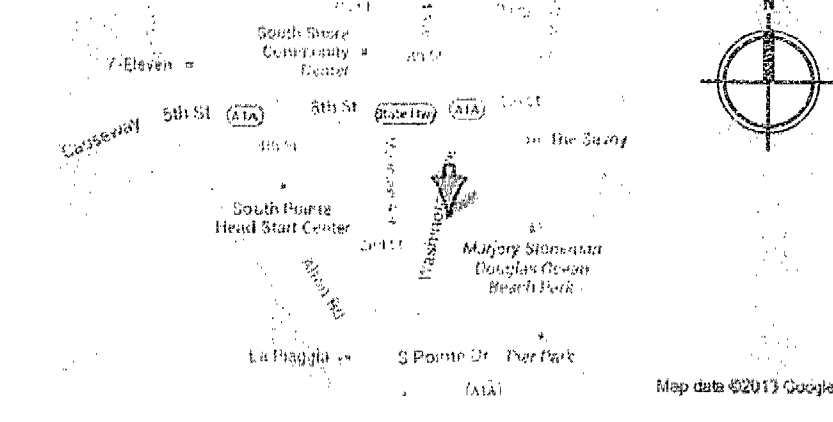
# MY CEVICHE™





B1600031

PROJECT LOCATION:  
235 WASHINGTON AVENUE  
MIAMI BEACH, FL.

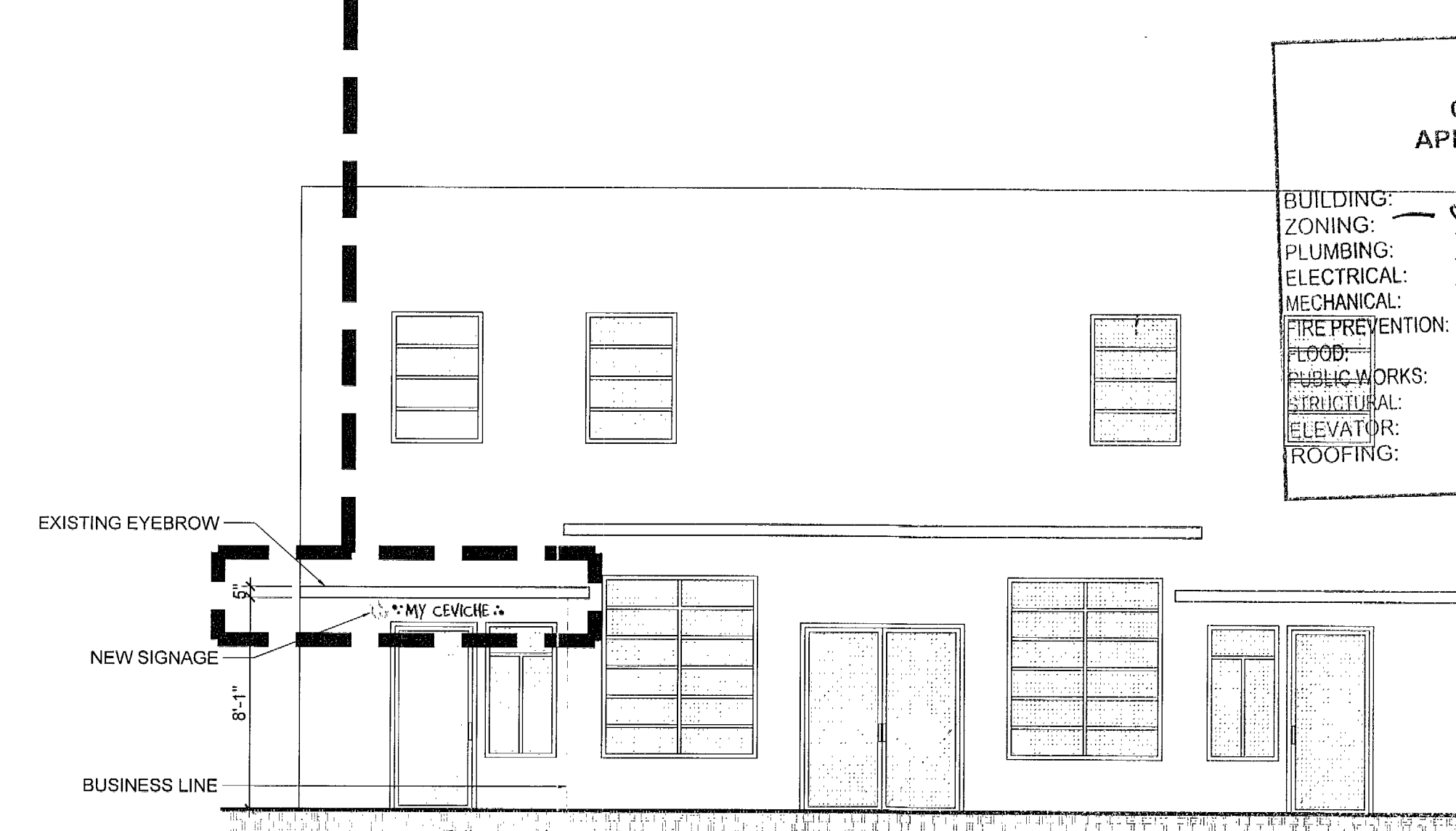
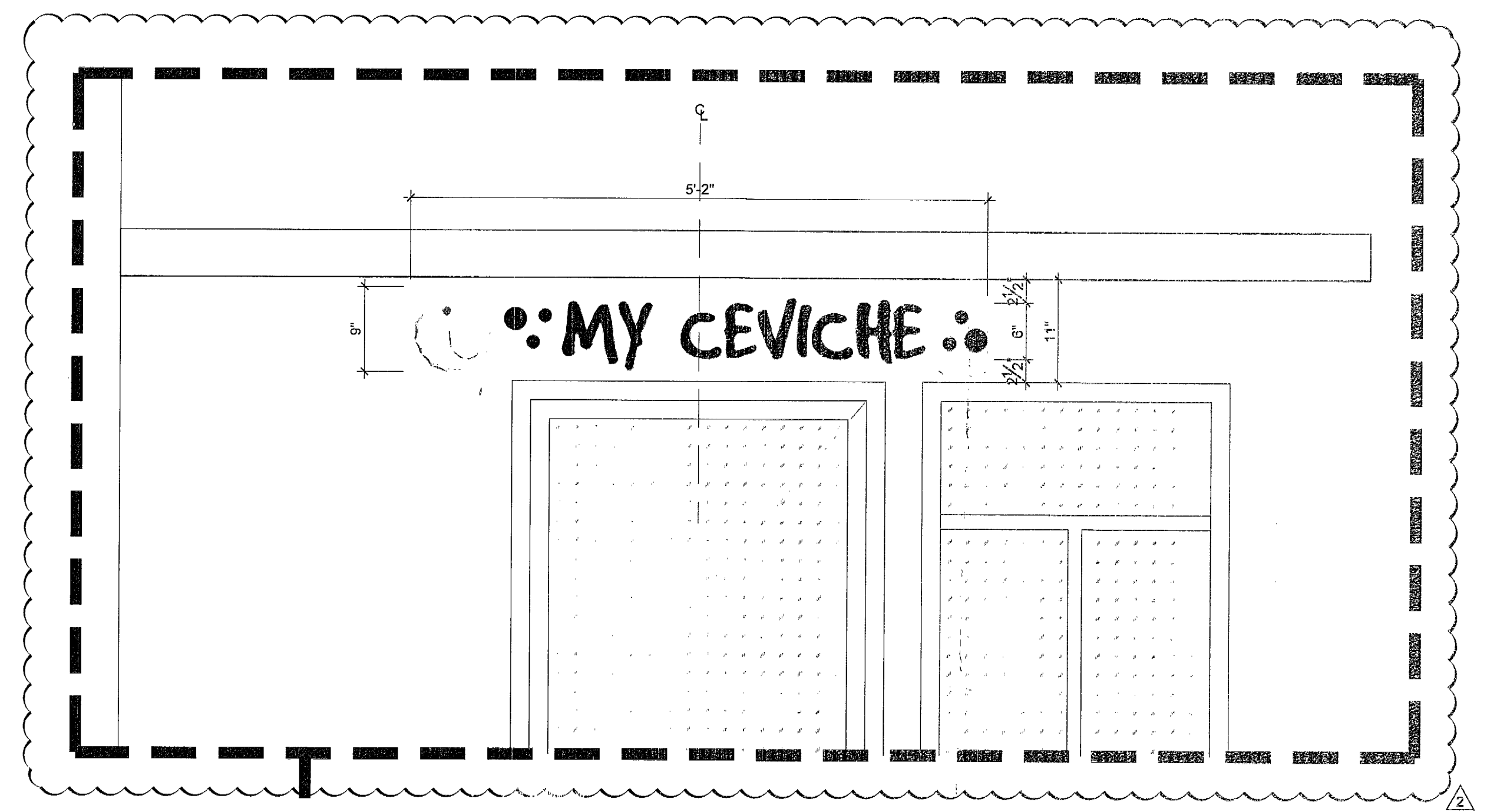
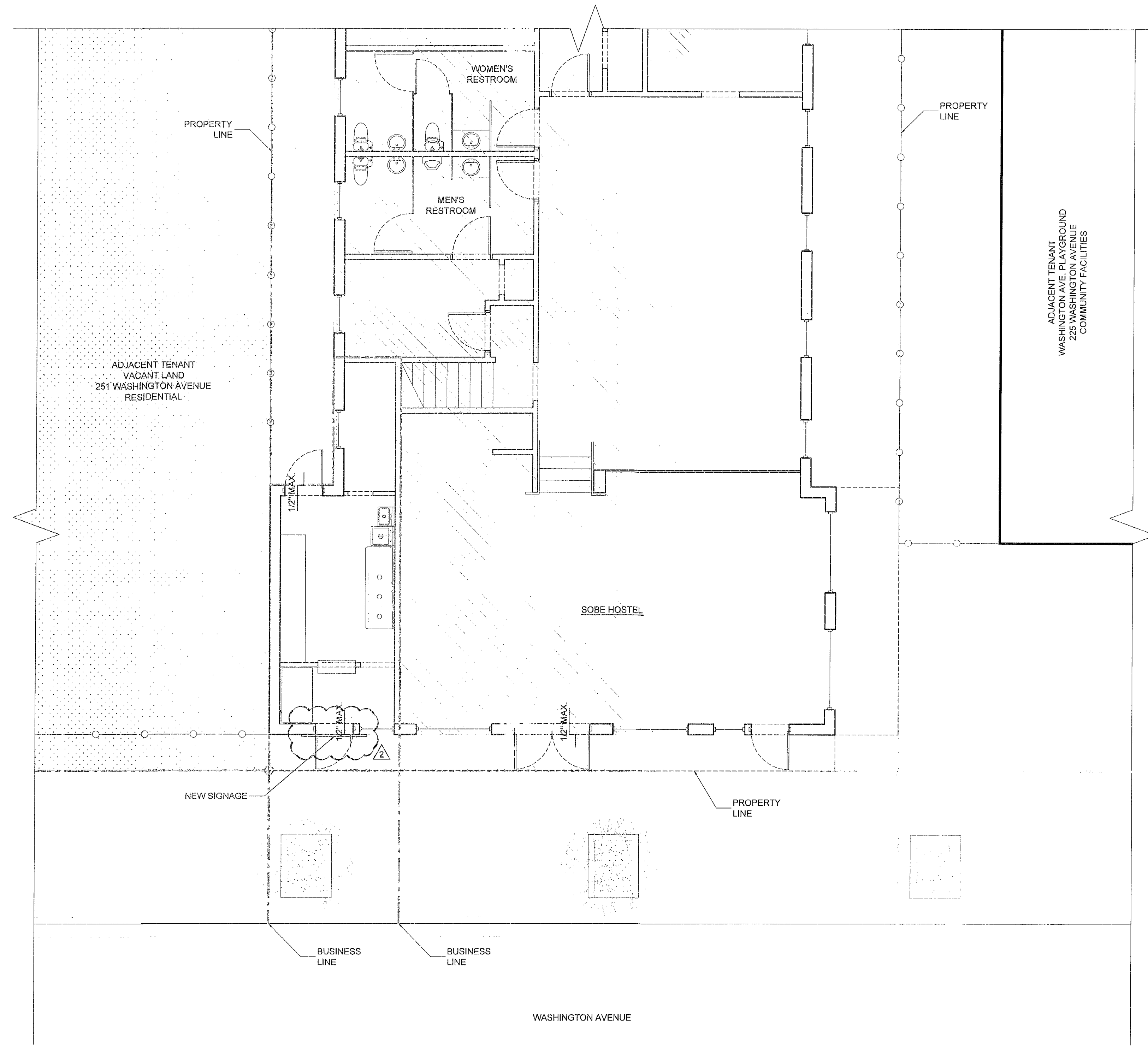


SCOPE OF WORK WORK AREA: 3 SQ.FT.
ALTERATION LEVEL II - CONSTRUCTION TYPE II A
OCCUPANCY USE: RESIDENTIAL R-1 / MERCANTILE M
- PROVIDE NEW FACADE SIGNAGE AS SHOWN IN PLAN.
APPLICABLE CODES & REGULATIONS
JURISDICTION: MIAMI BEACH, FL.
- 2014 EXISTING FLORIDA BUILDING CODE (FBCa)
- 2014 RESIDENTIAL FLORIDA BUILDING CODE (FBCr)

PROJECT NAME  
**MY CEVICHE**  
235 WASHINGTON AVENUE  
MIAMI BEACH, FL. 33139

BY: MB  
SCALE: AS SHOWN  
REVISIONS  
10.07.15-B.D COMMENTS  
10.14.15-B.D COMMENTS

SHEET NAME  
**Signage Floor Plan**  
SHEET NUMBER  
**A-1**



OFFICE COPY  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:

BUILDING: *SA 10/15/15*

ZONING: *SA 10/15/15*

PLUMBING:

ELECTRICAL:

MECHANICAL:

FIRE PREVENTION:

FLOOD:

PUBLIC WORKS: *SA 10/15/15*

STRUCTURAL:

ELEVATOR:

ROOFING:

EXISTING ELEVATION  
SCALE AS NOTED

NOTICE: In addition to the requirements of this permit, there may be additional conditions applicable to the project that may be found in the rules and regulations of the City of Miami Beach, Florida, and the rules and regulations of other governmental agencies. The City of Miami Beach assumes no responsibility for accuracy of the plans which are approved for permit by the City of Miami Beach, Florida, and the rules and regulations of other governmental agencies.

B1103248


HOSTEL FEMALE BATHROOM RENOVATION  
235 WASHINGTON AVENUE  
MIAMI BEACH, FL 33139

NOTICE: It is the responsibility of the permit holder to ensure that all work is done in accordance with the City of Miami Beach Building Code and all applicable laws and regulations. The City of Miami Beach does not assume any liability for damages or injuries resulting from the use of the permit. The permit holder is responsible for obtaining all necessary approvals from the appropriate agencies. The City of Miami Beach reserves the right to suspend or revoke the permit at any time if the permit holder fails to comply with the terms and conditions of the permit.

OFFICE COPY  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:

BUILDING:	4/15/16	4/15/16
ZONING:	4/15/16	4/15/16
PLUMBING:	4/15/16	4/15/16
ELECTRICAL:	4/15/16	4/15/16
MECHANICAL:	4/15/16	4/15/16
FIRE PREVENTION:	4/15/16	4/15/16
FLOORING:	4/15/16	4/15/16
PUBLIC WORKS:	4/15/16	4/15/16
STRUCTURAL:	N/A	4/15/16
ELEVATOR:		
ROOFING:		

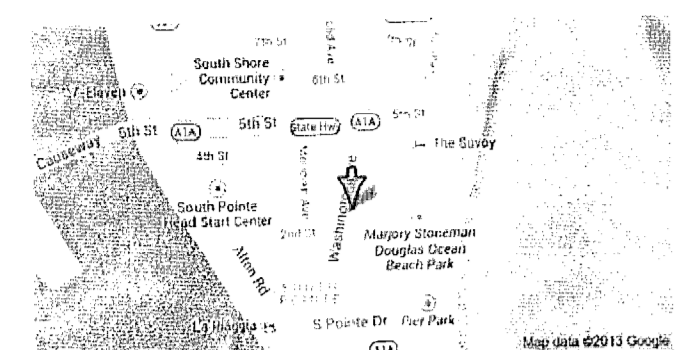
City of Miami Beach  
Fire Prevention Division  
PLANS APPROVED



REVIEWED  
CITY OF MIAMI BEACH  
FIRE DEPARTMENT

**PROJECT LOCATION:**

235 WASHINGTON AVENUE  
MIAMI BEACH, FL



**SCOPE OF WORK IN RESPONSE TO VIOLATION BV16000831**  
TOTAL AREA: 8,933 SQ.FT. / WORK AREA: 40 SQ.FT.

**ALTERATION LEVEL II**  
CONSTRUCTION TYPE II A

**OCCUPANCY USE: RESIDENTIAL R-1**

- REMOVE & REPLACE EXISTING PLUMBING FIXTURES IN FEMALE BATHROOM. PROVIDE NEW ADA FIXTURES (40 SQ.FT.)  
- REMOVE & REPLACE EXISTING TILE FLOOR AND WALL TILES THROUGHOUT RESTROOM (400 SQ.FT.)

**APPLICABLE CODES & REGULATIONS**

JURISDICTION: MIAMI BEACH, FL  
- 2014 EXISTING FLORIDA BUILDING CODE  
- 2014 RESIDENTIAL FLORIDA BUILDING CODE  
- 2014 FLORIDA BUILDING CODE PLUMBING  
- 2014 FLORIDA ACCESSIBILITY CODE  
- FLORIDA FIRE PREVENTION CODE 5TH EDITION.

**NOTES**

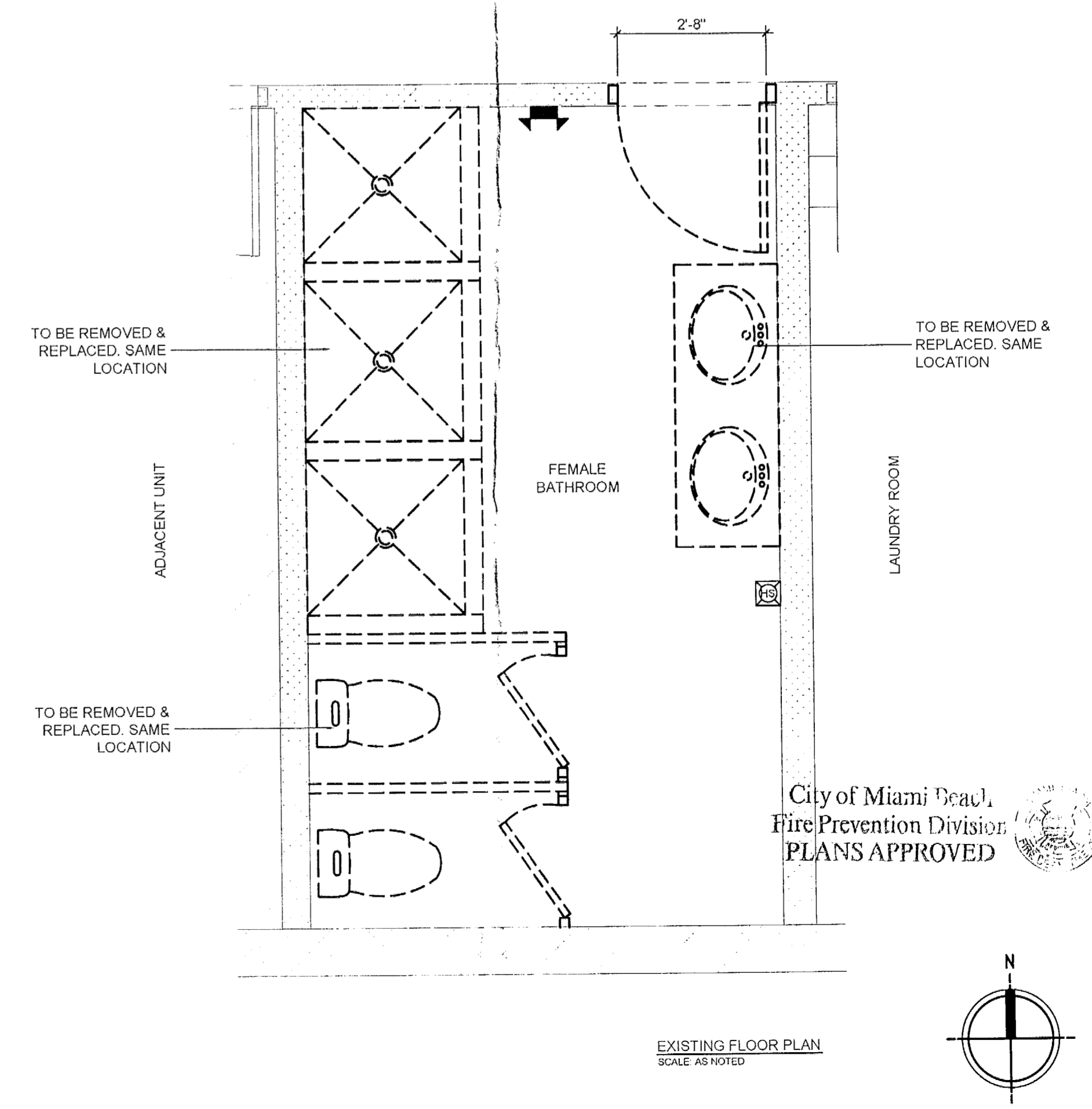
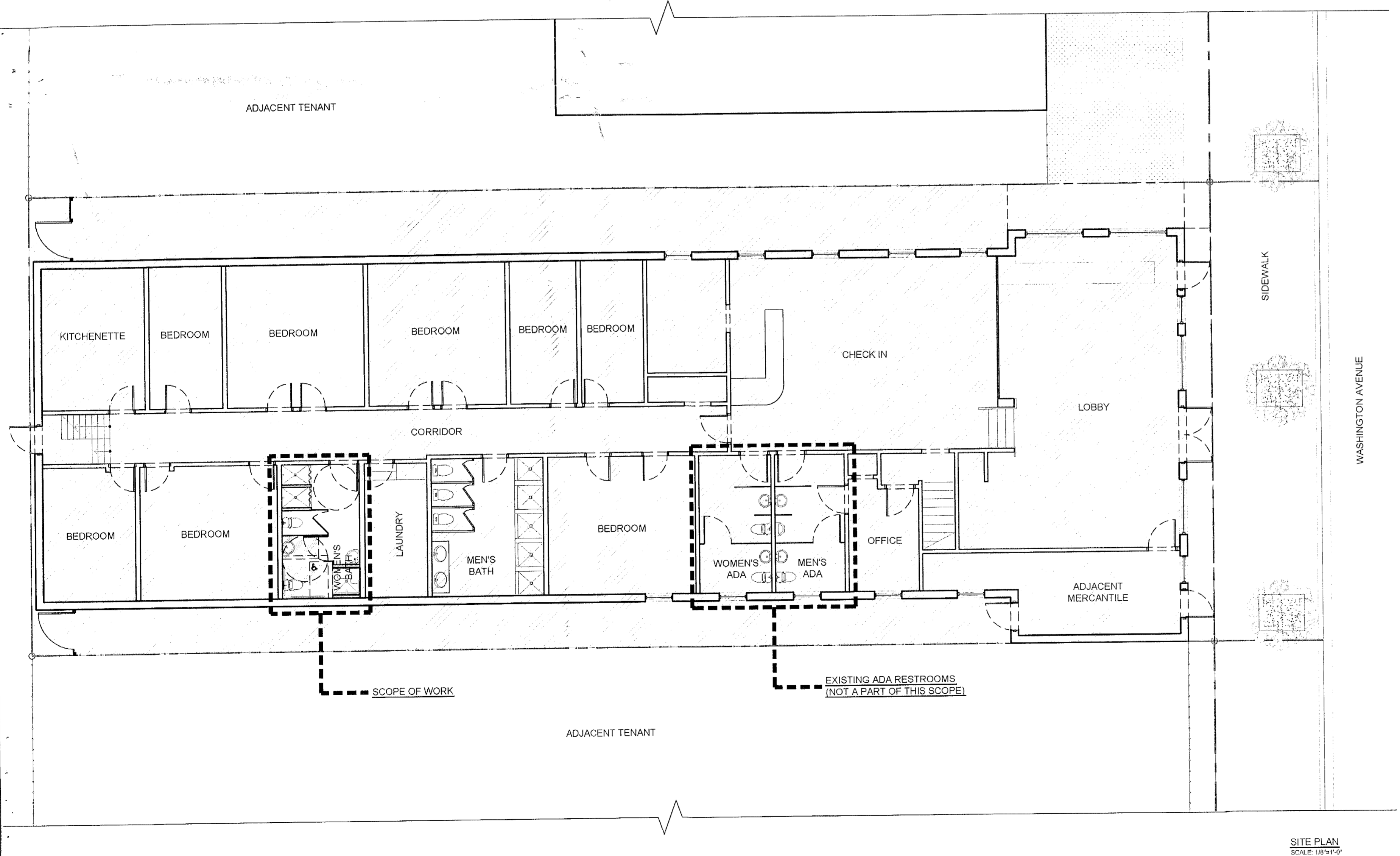
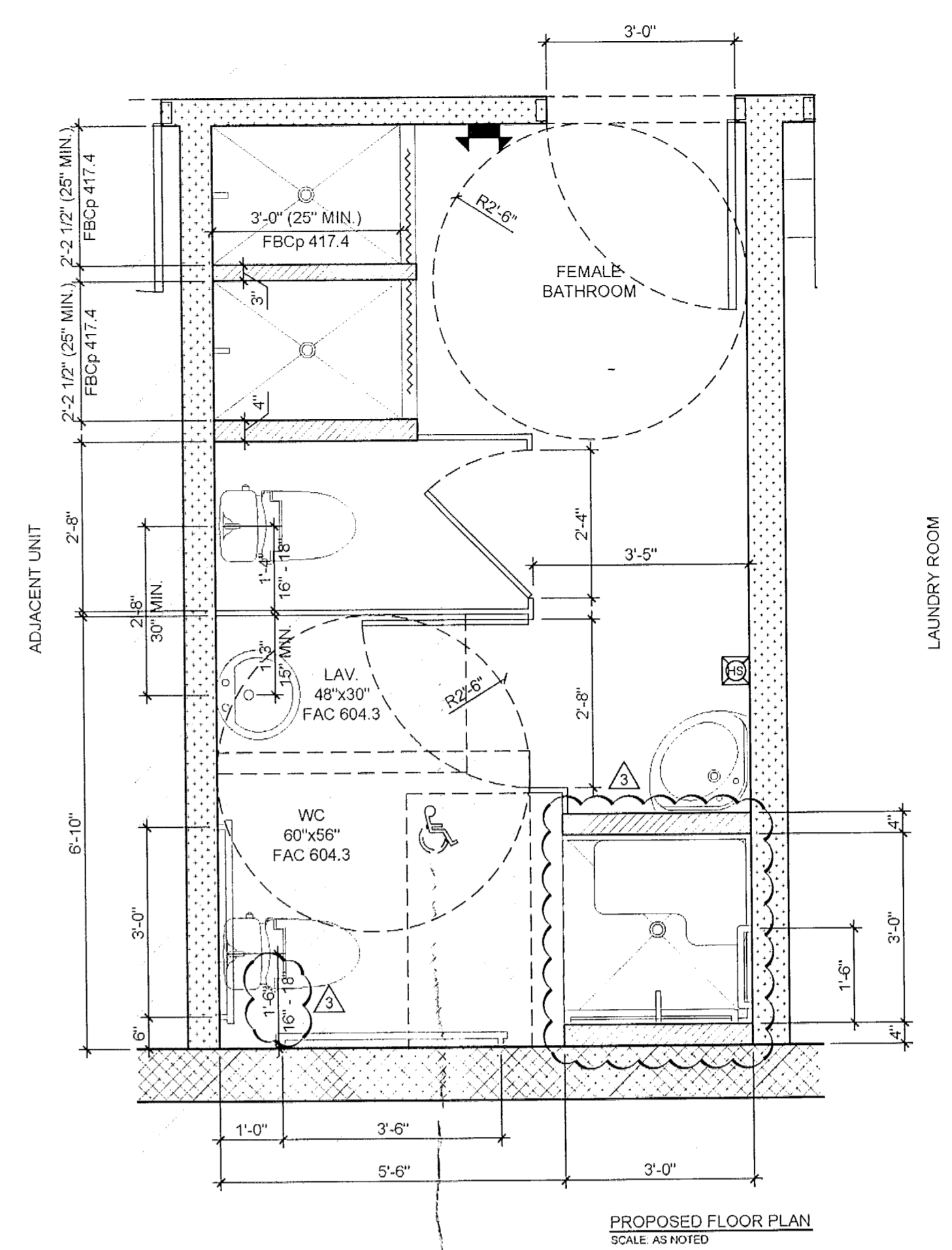
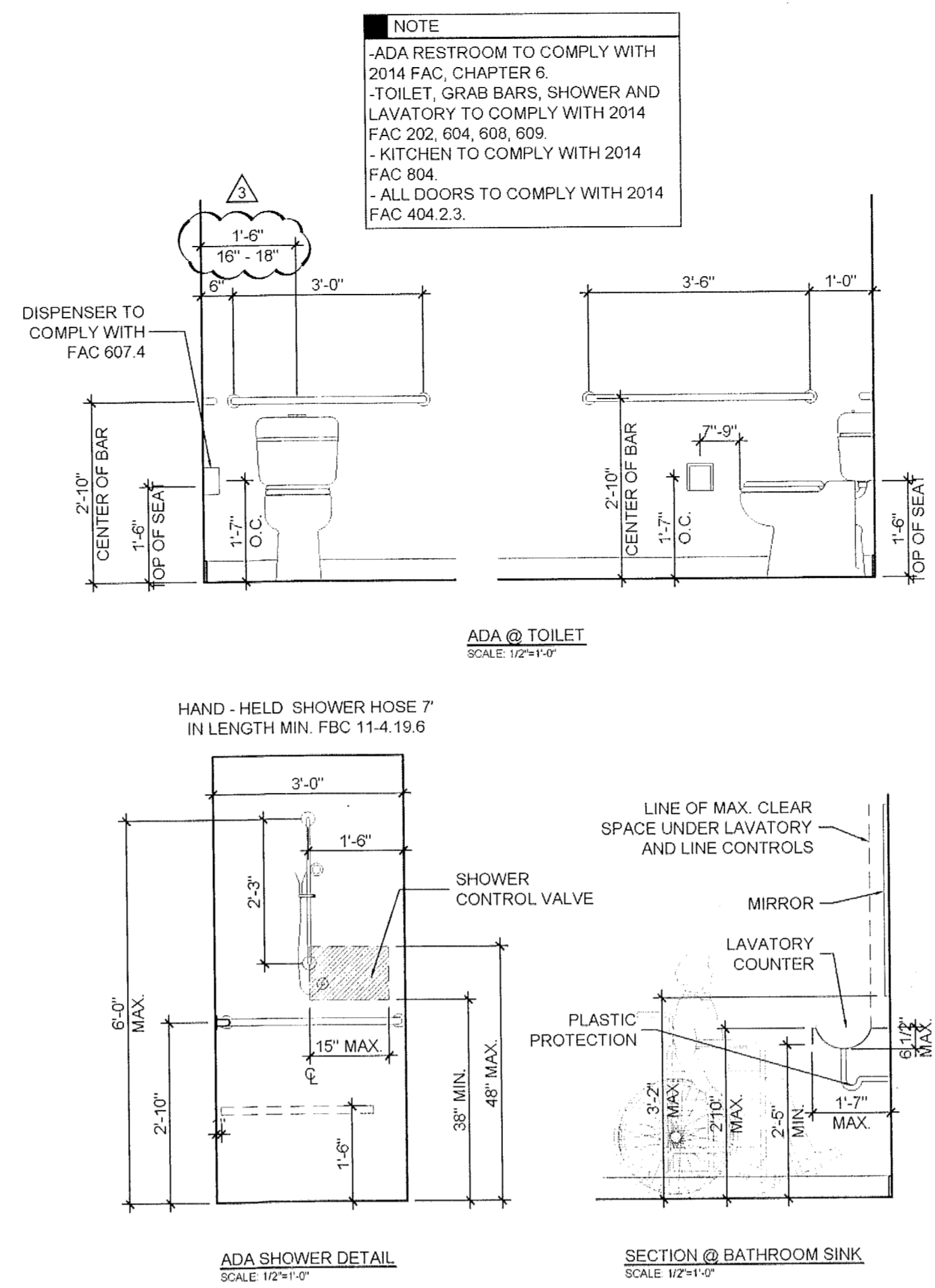
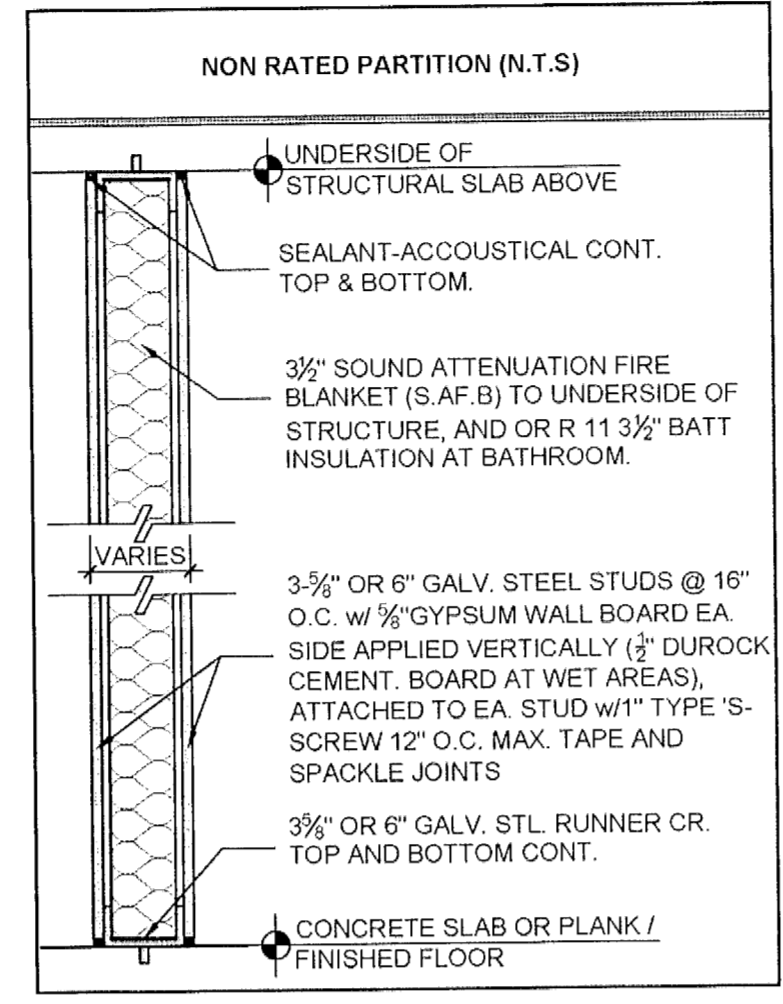
- NO MECHANICAL OR ELECTRICAL WORK TO BE PERFORMED WITHIN THIS PERMIT.
- EXIST. FIRE ALARM SYSTEM / NO SPRINKLER SYSTEM BUILDING.
- CEMENT BOARD BEHIND WALL TILES IN WET AREAS IN COMPLIANCE WITH FBC SEC. 2509 / FBC SEC. 702.4.2
- WALL TILES IN BATHROOM WET AREAS TO BE 6 FT MIN. ABOVE FLOOR IN COMPLIANCE WITH FBC SEC. 307 / FBC SEC. 1210.3
- PLUMBING FIXTURES TO COMPLY WITH 2014 FBCp SEC. 406 THROUGH 421.
- BATHROOMS FIXTURES TO COMPLY WITH 2014 FBCp SEC. 405.3.1
- ALL FINISH MATERIALS SHALL HAVE A MINIMUM FLAME SPREAD CLASSIFICATION REQUIRED BY FBC CHAPTER 8.
- ALL NEW FINISHES (WALL/CEILING/FLOOR) OTHER THAN PAINT, TO COMPLY WITH FBC 802 AND FBC 804.
- ALL INTERIOR FINISH SHALL COMPLY WITH FPFC 101.5TH ED. 10.22.

**LEGEND**

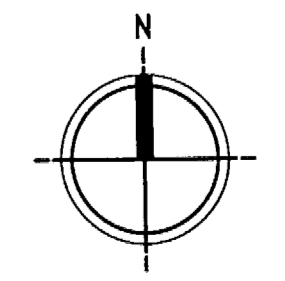
	EXIST. CMU WALL
	EXIST. 1HR FIRE RATED PARTITION
	EXIST. INTERIOR PARTITION
	TO BE REMOVED & REPLACED IN SAME LOCATION
	NEW INTERIOR PARTITION
	EXIST. WALL MOUNTED EMERGENCY LAMPS W/ BATTERY PACK
	EXIST. HORNSTROBE

**NOTE**

- BUILDING WILL REMAIN OCCUPIED DURING THE BATHROOM REMODELING. WORK AREA WILL BE ENCLOSED AND ALL DOORS WILL BE CLOSED AND LOCKED WHILE THE WORK IS BEING PERFORMED. ALL LIFE & SAFETY DEVICES WILL REMAIN FULLY OPERATIONAL AT ALL TIMES.



City of Miami Beach  
Fire Prevention Division  
PLANS APPROVED



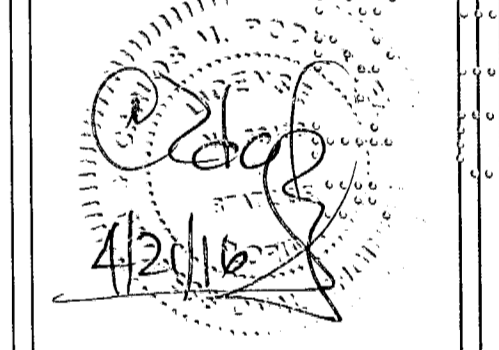
**PROJECT NAME**

235 WASHINGTON AVENUE  
MIAMI BEACH, FL. 33139

**BY:** MB

**SCALE:** AS SHOWN

- REVISIONS**
- 04.18.16-B-D COMMENTS
  - 04.20.16-B-D COMMENTS
  - 04.21.16-B-D COMMENTS



**CARLOS M. RODRIGUEZ**  
PE: 55488

**RODRIGUEZ & ANGLIN**  
PROFESSIONAL DESIGN  
12725 SW 42 TERRACE MIAMI, FL 33175  
ELECTRICAL & FIRE PROTECTION  
MECHANICAL & PLUMBING  
TEL: (305) 222-8855  
FAX: (305) 222-8855  
cmr\_ras@raho.com

**SHEET NAME**

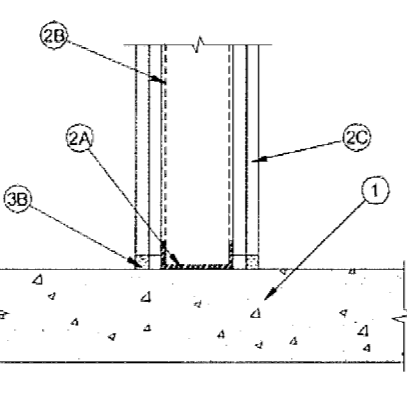
Existing & Proposed Floor Plans

**SHEET NUMBER**

A-1



**System No. BW-S-0006**  
August 2008  
Assembly Ratings - 1 and 2 Hr (See Item 2)  
Joint Width - 1 in. (25 mm) Max  
(UL/CUL)



- Floor Assembly** - Min 4-1/2 in. (114 mm) thick reinforced lightweight or normal weight (100-150 pcf (1600-2400 kg/cu meter)) structural concrete. Floor may also be constructed of any 6 in. (152 mm) thick UL Classified follow-core Precast Concrete Units\*. See Precast Concrete Units category in the Fire Resistance Directory for names of manufacturers.
- Wall Assembly** - The 1 or 2 hr fire-rated gypsum board/steel stud wall assembly shall be constructed of the materials and in the manner specified in the individual U400 or V400 Series Wall or Partition Design in the UL Fire Resistance Directory. In addition, the wall may incorporate a hood of joint system constructed as specified in the HW Series Joint Systems in the UL Fire Resistance Directory. The wall shall include the following construction features:
  - Steel Floor Runner** - Floor runners of wall assembly shall consist of min No. 25 galv steel channel sized to accommodate steel stud (Item 2B). Floor runners to be provided with min 1-1/4 in. (32 mm) flanges. Runners secured with steel fasteners spaced 12 in. (305 mm) OC.
  - Studs** - Steel studs to be min 2-1/2 in. (64 mm) wide. Studs cut 1/2 to 3/4 in. (13 to 19 mm) less in length than assembly height with bottom nesting in, resting on and fastened to floor runner with sheet metal screws. Stud spacing not to exceed 24 in. (610 mm) OC.
  - Gypsum Board\*** - Gypsum board installed to a min total thickness of 5/8 in. (16 mm) or 1-1/4 in. (32 mm) on each side of wall for a 1 or 2 hr rated wall, respectively. Wall to be constructed as specified in the individual U400 or V400 Series Design in the UL Fire Resistance Directory except that a max 1 in. (25 mm) gap shall be maintained between the bottom of the gypsum board and the top of the concrete floor.

The hourly fire rating of the joint system is equal to the hourly fire rating of the wall.

**Joint System** - Max separation between top of floor and bottom of gypsum board is 1 in. (25 mm). The joint system consists of a packing material and a fill material, as follows:

- Packing Material** - (Optional, Not Shown) - Foam backer rod firmly packed into the gap between the bottom of the gypsum board and the top of the concrete floor and recessed from each surface of the wall to accommodate the required thickness of fill material.
- Fill, Void or Cavity Material\*** - Sealant - Min 1/2 in. (13 mm) thickness of fill material installed on each side of the wall between the bottom of the gypsum board and the top of the concrete floor, with each surface of the wall.

TREMCO INC. - TREMCO Acrylic, TREMCO Intumescent Acrylic (IA), TREMCO Silicone (Fyre-Sil), TREMCO Ink, or FyreCaulk

\*Bearing the UL Classification Mark



Reprinted from the Online Certifications Directory with permission from Underwriters Laboratories Inc. Copyright © 2008 Underwriters Laboratories Inc. ®

**Tremco Commercial Sealants & Waterproofing**  
3735 Green Road, Beachwood, OH 44122 // Phone: 419.283.2050 // 800.321.2706  
220 Westlake Avenue, Beavercreek, OH 45416 // Phone: 419.283.2050 // 800.321.2706  
1451 Jacobsen Avenue, Ashland, OH 44805 // Phone: 419.283.2050 // 800.321.2706

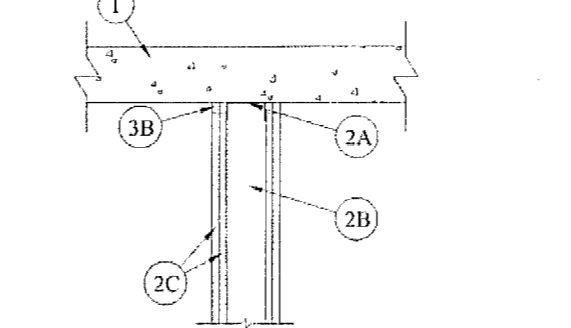


www.tremco.com

TOP & BOTTOM WALL ASSEMBLIES



**System No. HW-D-0016**  
July 22, 2005  
Assembly Ratings - 1 and 2 Hr (See Item 2)  
Nominal Joint Width - 1 in.  
Class II and III Movement Capabilities - 25% Compression (See Item 2)  
(UL/CUL)



- Floor Assembly** - Min 4-1/2 in. (114 mm) thick reinforced lightweight or normal weight (100-150 pcf (1600-2400 kg/m<sup>3</sup>)) structural concrete.
- Wall Assembly** - The 1 or 2 hr fire-rated gypsum board/steel stud wall assembly shall be constructed of the materials and in the manner described in the individual U400 or V400 Series Wall and Partition Designs in the UL Fire Resistance Directory and shall include the following construction features:
  - Steel Floor and Ceiling Runners** - Floor runners of wall assembly shall consist of galv steel channels sized to accommodate steel stud (Item 2B). Ceiling runners of wall assembly shall consist of min No. 26 galv steel channels sized to accommodate steel stud (Item 2B). Ceiling runners to be provided with 2 in. (51 mm) flanges. Ceiling runner secured to lower surface of floor with steel fasteners spaced max 7 in. (178 mm) OC.
  - Light Gauge Framing\*** - Clipped Ceiling Runner - As an alternate to the ceiling runner in Item 2A, clipped runner to consist of galv steel channel with clips preformed in track flanges which positively engage the inside flange of the steel studs (Item 2B). Track sized to accommodate steel stud (Item 2B). Track flanges to be min 2-1/2 in. (64 mm). Clipped ceiling runner installed to concrete floor (Item 1) with steel fasteners spaced max 24 in. (610 mm) OC.

**TOTAL STEEL SOLUTIONS L.L.C. - Snap Trak**

- Light Gauge Framing - Floor and Ceiling Runners** - As an alternate to the ceiling and floor runners in Item 2A and 2A1, floor and ceiling runners to consist of galv steel channel sized to accommodate the Light Gauge Framing\* Slotted Stud (Item 2B1) or Light Gauge Framing\* Slider C-Clip System (Item 2B2). Floor and ceiling runners to be provided with min 1-1/4 in. (32 mm) and 3 in. (76 mm) flanges, respectively. Ceiling runner secured to lower surface of floor with steel fasteners spaced max 12 in. (305 mm) OC.
- STEELER INC. - Floor and Ceiling Runners**
- Light Gauge Framing\* - Slotted Ceiling Runner** - As an alternate to the ceiling runner in Items 2A, 2A1 and 2A2, slotted ceiling runner to consist of galv steel channel with slotted flanges sized to accommodate steel stud (Item 2B). Ceiling runner secured to concrete floor with steel fasteners spaced max 24 in. (610 mm) OC.
- SUPTRACK SYSTEMS INC. - SUP-TRK**
- Light Gauge Framing\* - Matched Ceiling Runner** - As an alternate to the ceiling runner in Items 2A through 2A3, notched ceiling runner to consist of channel galv steel channel with notched rear flanges sized to accommodate steel stud (Item 2B). Notched ceiling runner secured to concrete floor with steel fasteners spaced max 24 in. (610 mm) OC. When notched ceiling runner is used, deflection channel (Item 3A) shall not be used.

**STEELER INC. - Type S28**

- Light Gauge Framing\* - Vertical Deflection Clip** - (Optional) Steel clips can be used in conjunction with steel stud (Item 2B) or ceiling runner (Item 2A). Clips installed over the top of studs and inserted within the ceiling runner. Clip shall be secured to the ceiling runner with No. 8 self-drilling, self-tapping steel fasteners through holes provided within the clip. Clip may be secured to the stud with No. 8 pan head steel screw through holes provided within the clip. As an alternate, the top of the clip may be installed over the top of the stud without attachment in accordance with manufacturer's installation instructions.



Reprinted from the Online Certifications Directory with permission from Underwriters Laboratories Inc. Copyright © 2008 Underwriters Laboratories Inc. ®

**Tremco Commercial Sealants & Waterproofing**  
3735 Green Road, Beachwood, OH 44122 // Phone: 419.283.2050 // 800.321.2706  
220 Westlake Avenue, Beavercreek, OH 45416 // Phone: 419.283.2050 // 800.321.2706  
1451 Jacobsen Avenue, Ashland, OH 44805 // Phone: 419.283.2050 // 800.321.2706



www.tremco.com

FOR FIRE RATED WALLS / WET AREAS

102913 BXUV.V452 - Fire Resistance Ratings - ANSUL 263

**Design No. V452**  
BXUV.V452  
Fire Resistance Ratings - ANSUL/UL 263

**Design/System/Construction/Assembly Usage Disclaimer**

Authorities Having Jurisdiction should be consulted in all cases as to the particular requirements covering the installation and use of UL Certified products, equipment, system, devices, and materials.

Authorities Having Jurisdiction should be consulted before construction.

Fire resistance assemblies and products are developed by the Design Submitter and have been investigated by UL for compliance with applicable requirements. The published information cannot address every construction nuance encountered in the field.

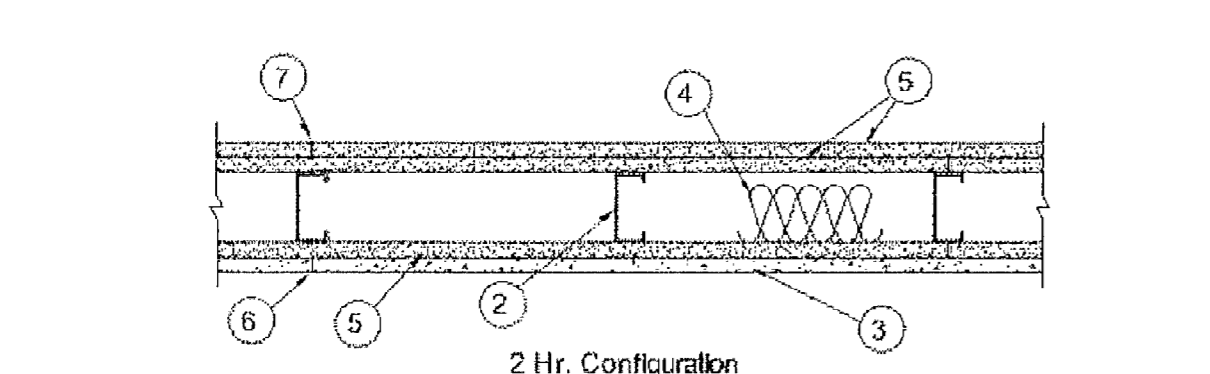
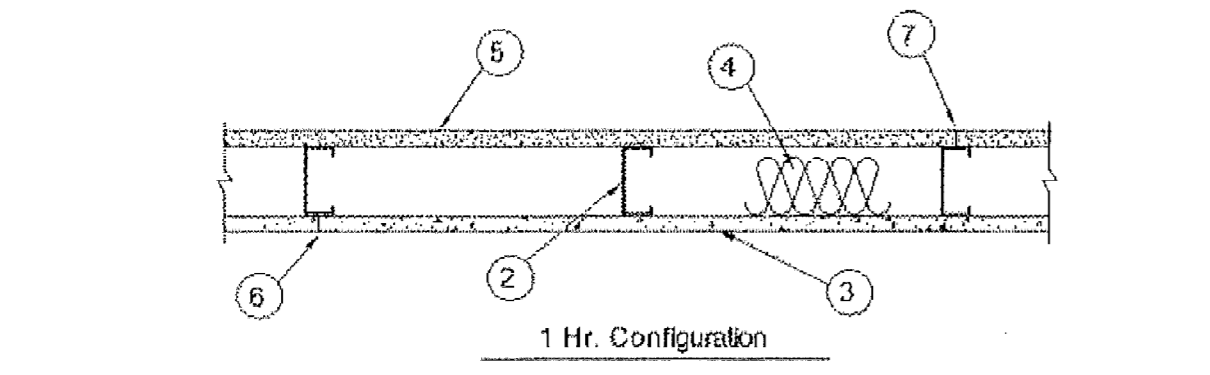
When field issues arise, it is recommended the first contact for assistance be the technical service staff provided by the product manufacturer noted for the design. Users of fire resistance assemblies are advised to consult the general Guide Information for each product category and each group of assemblies. The Guide Information includes specific concerning alternate materials and alternate methods of construction.

Only products which bear UL's Mark are considered Certified.

**Fire-resistance Ratings - ANSUL/UL 263**

**Design No. V452**  
June 06, 2013

Nonbearing Wall Rating - 1 and 2 Hr (See Items 3, 5 and 5A)



102913 BXUV.V452 - Fire Resistance Ratings - ANSUL 263

102913 BXUV.V452 - Fire Resistance Ratings - ANSUL 263

102913 BXUV.V452 - Fire Resistance Ratings - ANSUL 263

**Design No. V452**  
BXUV.V452  
Fire Resistance Ratings - ANSUL/UL 263

**Design/System/Construction/Assembly Usage Disclaimer**

Authorities Having Jurisdiction should be consulted in all cases as to the particular requirements covering the installation and use of UL Certified products, equipment, system, devices, and materials.

Authorities Having Jurisdiction should be consulted before construction.

Fire resistance assemblies and products are developed by the Design Submitter and have been investigated by UL for compliance with applicable requirements. The published information cannot address every construction nuance encountered in the field.

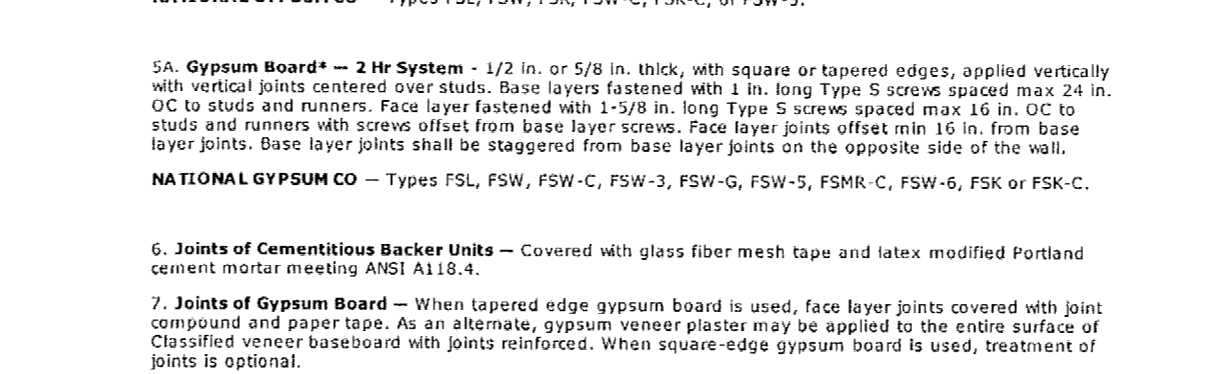
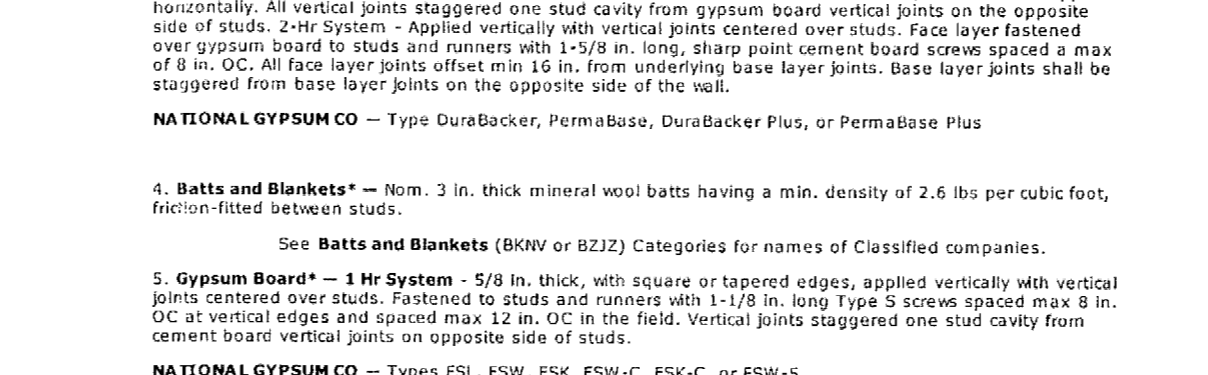
When field issues arise, it is recommended the first contact for assistance be the technical service staff provided by the product manufacturer noted for the design. Users of fire resistance assemblies are advised to consult the general Guide Information for each product category and each group of assemblies. The Guide Information includes specific concerning alternate materials and alternate methods of construction.

Only products which bear UL's Mark are considered Certified.

**Fire-resistance Ratings - ANSUL/UL 263**

**Design No. V452**  
June 06, 2013

Nonbearing Wall Rating - 1 and 2 Hr (See Items 3, 5 and 5A)



102913 BXUV.V452 - Fire Resistance Ratings - ANSUL 263

102913 BXUV.V452 - Fire Resistance Ratings - ANSUL 263

102913 BXUV.V452 - Fire Resistance Ratings - ANSUL 263

**Design No. V452**  
BXUV.V452  
Fire Resistance Ratings - ANSUL/UL 263

**Design/System/Construction/Assembly Usage Disclaimer**

Authorities Having Jurisdiction should be consulted in all cases as to the particular requirements covering the installation and use of UL Certified products, equipment, system, devices, and materials.

Authorities Having Jurisdiction should be consulted before construction.

Fire resistance assemblies and products are developed by the Design Submitter and have been investigated by UL for compliance with applicable requirements. The published information cannot address every construction nuance encountered in the field.

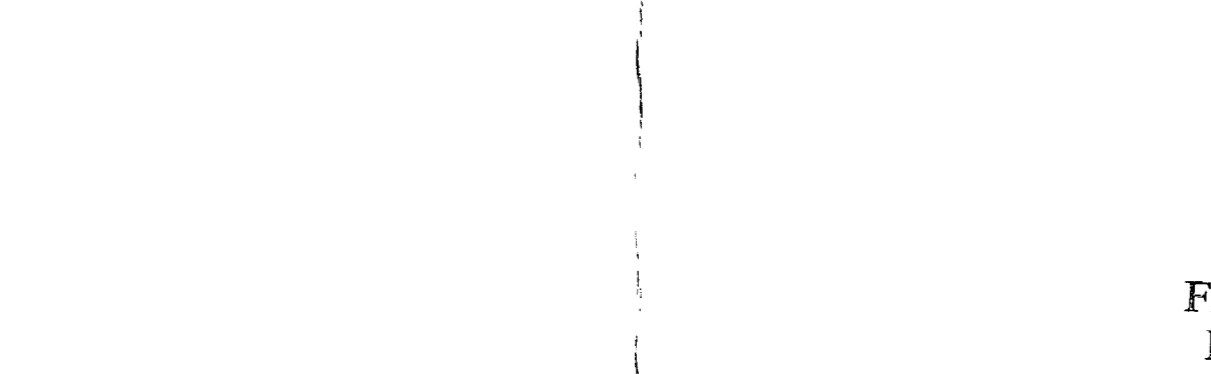
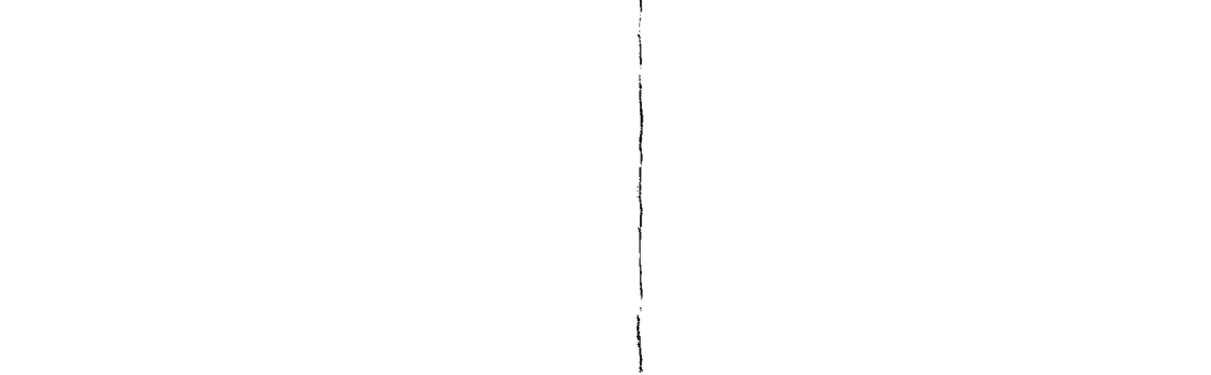
When field issues arise, it is recommended the first contact for assistance be the technical service staff provided by the product manufacturer noted for the design. Users of fire resistance assemblies are advised to consult the general Guide Information for each product category and each group of assemblies. The Guide Information includes specific concerning alternate materials and alternate methods of construction.

Only products which bear UL's Mark are considered Certified.

**Fire-resistance Ratings - ANSUL/UL 263**

**Design No. V452**  
June 06, 2013

Nonbearing Wall Rating - 1 and 2 Hr (See Items 3, 5 and 5A)



102913 BXUV.V452 - Fire Resistance Ratings - ANSUL 263

102913 BXUV.V452 - Fire Resistance Ratings - ANSUL 263

PROJECT NAME  
235 WASHINGTON AVENUE  
MIAMI BEACH, FL. 33139

BY: MB

SCALE: AS SHOWN

REVISIONS

4/21/16  
Charles M. Donawick  
P.E. 5488

SHEET NAME

UL  
Notes &  
Details

SHEET NUMBER

A-2

City of Miami Beach  
Fire Prevention Division  
PLANS APPROVED

REVIEWED  
CITY OF MIAMI BEACH  
FIRE DEPARTMENT

UL NOTES & DETAILS N.T.S. 1

FOR VERTICAL PENETRATIONS

**System No. C-AJ-2095**  
**F Rating - 3 Hr**  
**T Rating - 2-1/2 Hr**

**1.** Floor or Wall Assembly - Min 4-1/2 in. thick reinforced lightweight or normal weight (100-150 pcf) concrete. Wall may also be constructed of any UL Classified Concrete Block\*. Max diam of opening is 5 in.  
 See Concrete Blocks (CAZ) category in the Fire Resistance Directory for names of manufacturers.

**2.** Nonmetallic Pipe - Nom 4 in. diam (or smaller) Schedule 40 solid core polyvinyl chloride (PVC) or SDR 17 chlorinated polyvinyl chloride (CPVC) pipe for use in closed (process or supply) or vented (drain, waste or vent) piping systems. One pipe to be installed either concentrically or eccentrically within the firestop system. The annular space shall be min 0 in. (point contact) to max 1/2 in. Pipe to be rigidly supported on both sides of floor or wall assembly.

**3.** Steel Collars - Collar fabricated from one of pre-cut min 0.017 in. thick (No. 20 MSD) galv steel available from the sealant manufacturer. Collar shall be nom 1-3/4 in. deep with 1 in. wide by 2 in. long anchors tabs on 2 in. centers for attachment to floor or wall assembly. The opposite side incorporates retainer tabs, 1/2 in. wide by 3/16 in. long, pre-bent toward the pipe surface. Collar shall be wrapped around pipe maintaining a 1 in. distance between pipe and collar, and overlapping min 1 in at seam. Collar secured to concrete slab with 1/4 in. diam by 1-3/4 in. long steel expansion type masonry fasteners or 0.145 in. diam by 1-1/4 in. long powder actuated fasteners utilizing a 1-3/16 in. diam by 1/16 in. thick steel washer. In floor assemblies, one collar to be used at the bottom of the concrete floor only. In wall assemblies, a collar is used on both surfaces. After sealant is installed (Item 4), the collar shall be compressed around the pipe using a 1/2 in wide by 0.028 in. thick stainless steel band clamp fastened at the collar mid-height.

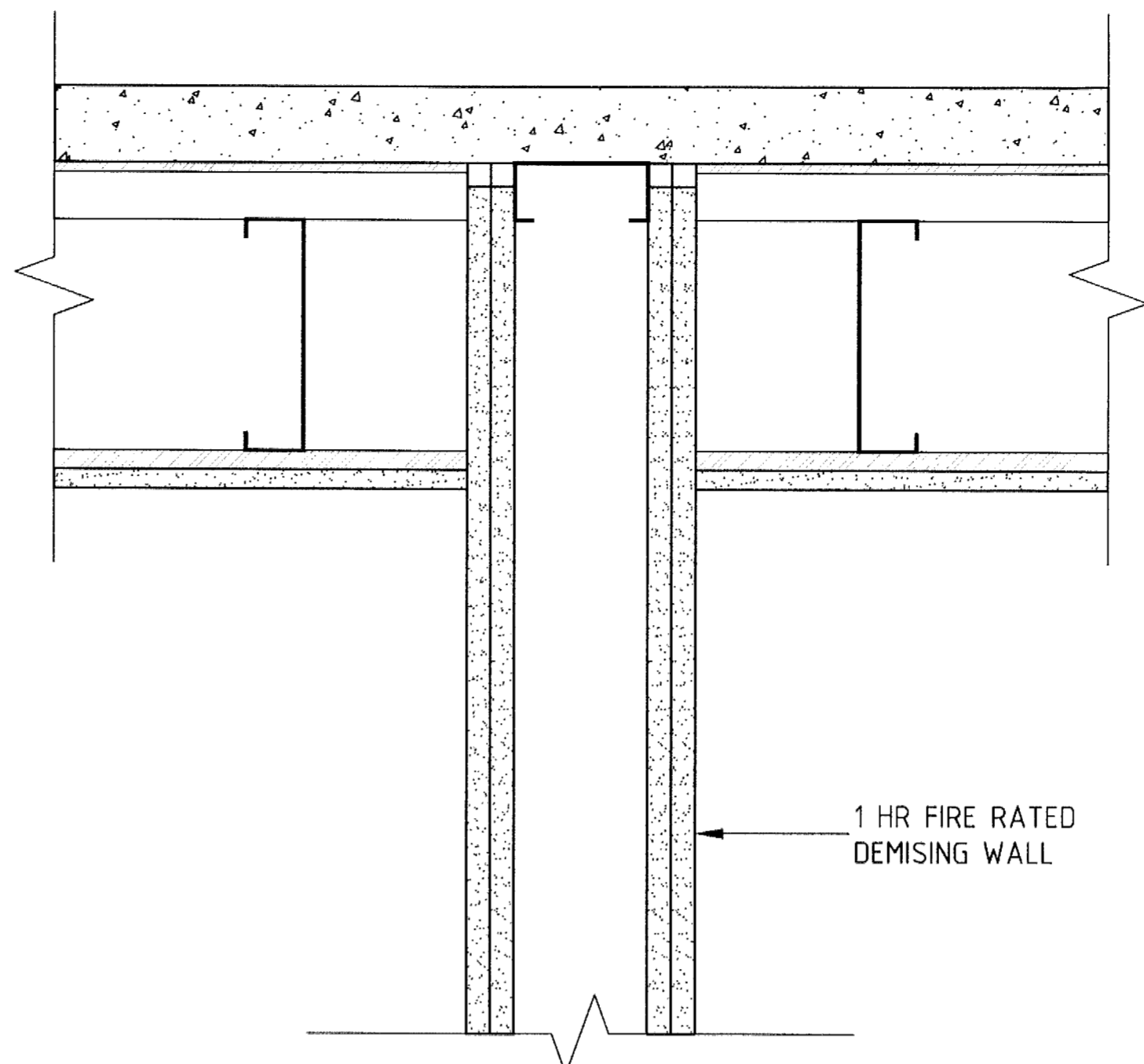
**4.** Fill, Void or Cavity Material - Sealant - Min 1-1/2 in. thickness of fill material applied within the annulus, flush with bottom surface of floor or with both surfaces of wall and applied to completely fill the steel collar.

HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC - F3611A or FS-ONE Sealant

\*Bearing the UL Classification Mark

Reproduced by HILTI, Inc. Courtesy of Underwriters Laboratories, Inc. July 27, 2005

FOR CEILING ASSEMBLIES



**GA-FC-1145**  
**Steel C-Joist**  
**Fire Rating** 1 hour  
**System Thickness** 10-1/2"

- Assembly Description**
- 2" concrete on steel deck
  - 6" 18 gauge structural steel joists 24" o.c.
  - resilient channel or equivalent
  - 1/2" Sheetrock® Brand Firecode® C Core Gypsum Panels or Sheetrock® Brand Firecode® C Core Gypsum Panels Mold Tough
  - joints finished

PROJECT NAME  
**235 WASHINGTON AVENUE**  
**MIAMI BEACH, FL. 33139**

BY: MB  
 SCALE: AS SHOWN

REVISIONS

Carlos H. Rodriguez  
 PE55488

City of Miami Beach  
 Fire Prevention Division  
 PLANS APPROVED

REVIEWED  
 CITY OF MIAMI BEACH  
 FIRE DEPARTMENT

SHEET NAME  
**UL**  
**Notes & Details**

SHEET NUMBER  
**A-3**



# MIAMI BEACH

Building Department  
1700 Convention Center Drive,  
2nd Fir Miami Beach, FL 33139

## NOTICE TO THE CITY OF MIAMI BEACH BUILDING DEPARTMENT OF EMPLOYMENT AS SPECIAL INSPECTOR UNDER THE FLORIDA BUILDING CODE

I have been retained by: DOMINION BUILDERS LLC to perform special inspector services under the Florida Building Code at the 235 WASHINGTON AVE project on the below listed structures as of 02/04/20. I am a Professional Engineer licensed in the State of Florida.

Process Number BC 2012896 Master Permit Number (IF APPLICABLE) \_\_\_\_\_

- Special Inspector for Pilings, FBC 1822.1.20
- Special Inspector for Lightweight Insulating Concrete, FBC 1917.2
- Special Inspector for Soil Compaction, FBC 1820.3.1
- Special Inspector for Precast Units and Attachments, FBC 1927.12.2 (By P.E. or R.A.)
- Special Inspector for Reinforced Masonry, FBC 2122.4 (By P.E. or R.A.)
- Special inspection for Steel Bolted & Welded Connections, FBC 2218.2 (By P.E. or R.A.)
- Special Inspector for Trusses over 35 feet long or 6 feet high, FBC 2319.17.2.4.2 (By P.E. or R.A.)
- Special Inspector for \_\_\_\_\_

**NOTE: Only the marked boxes apply.**

The following individuals employed by this firm or me are authorized representatives to perform inspections.

1. Only myself
2. \_\_\_\_\_
3. \_\_\_\_\_
4. \_\_\_\_\_

"Special inspectors utilizing authorized representatives shall insure the authorized representative is qualified by education or licensure to perform the duties assigned by the Special Inspector. The qualifications shall include: licensure as a professional engineer or architect; graduation from an engineering education program in civil or structural engineering; graduation from an architectural education program; successful completion of the NCEES Fundamentals Examination; or registration as a building inspector or general contractor.

I will notify the City of Miami Beach Building Department of any changes regarding authorized personnel performing inspection services.

I, understand that all mandatory inspections, as required by the Florida Building Code, shall be requested by the permit holder and approved by the Building Department Inspectors. Inspections performed by the Special inspector hired by the Owner are in addition to the mandatory inspections performed by the Building Department Inspectors. A Special Inspection Log for each building must be displayed in a convenient location on the site for inspection by the Building Department Inspectors. Further upon completion of the work under each building permit, I will submit to the Building Department at the time of final inspection the completed Inspection Log form and sealed statement that, to the best of my knowledge, belief and professional judgment these portions outlined above meet the intent of the Florida Building Code and are in subsequent accordance with the approved plans.

Architect/Engineer Signature: \_\_\_\_\_  
Name Printed: Charles E. Culpepper, Jr.  
Address: 825 Brickell Bay Drive, Suite 346; Miami, Florida 33131  
Phone number: 786 402 7617  
Owner/Agent Signature: \_\_\_\_\_  
Owner/Agent Name Printed: \_\_\_\_\_  
Building Department  
Accepted By: VF 2-7-20

