

1509-1515 Washington Avenue & 1500 Collins Avenue

HPB25-0680

Modification to Existing Certificate of
Appropriateness



BERCOW RADELL FERNANDEZ LARKIN + TAPANES

ZONING, LAND USE AND ENVIRONMENTAL LAW



ROTTET STUDIO
ARCHITECTURE AND DESIGN



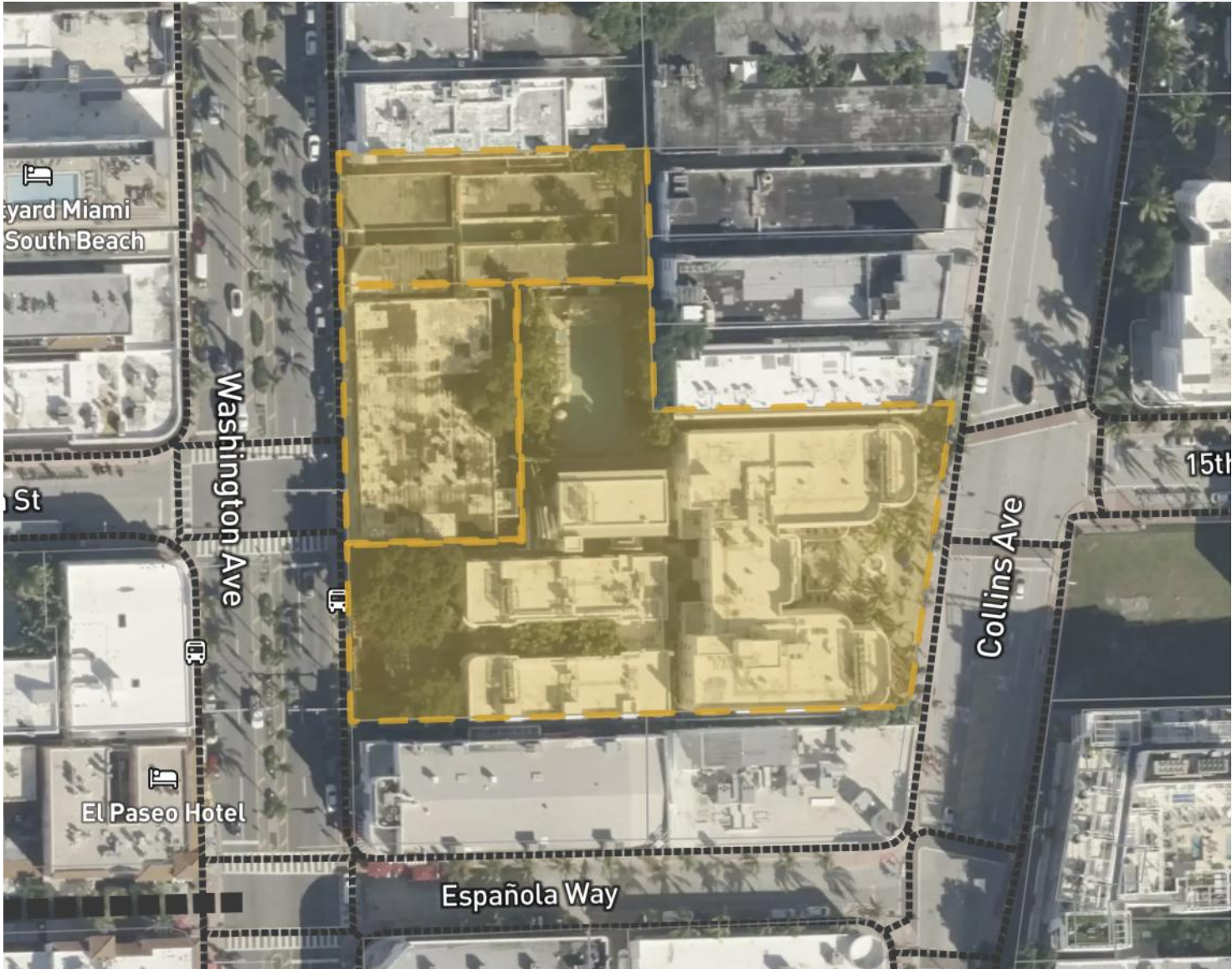
KEYAH
REAL ESTATE GROUP

NR
architect

NORBERTO ROSENSTEIN
ARCHITECT, INC.
ARCHITECTURE - INTERIOR DESIGN - PLANNING



Aerial



Haddon Hall – 1500 Collins Avenue (c. 1955)



Haddon Hall – 1500 Collins Avenue (2023)



Rendering – East Façade – Haddon Hall



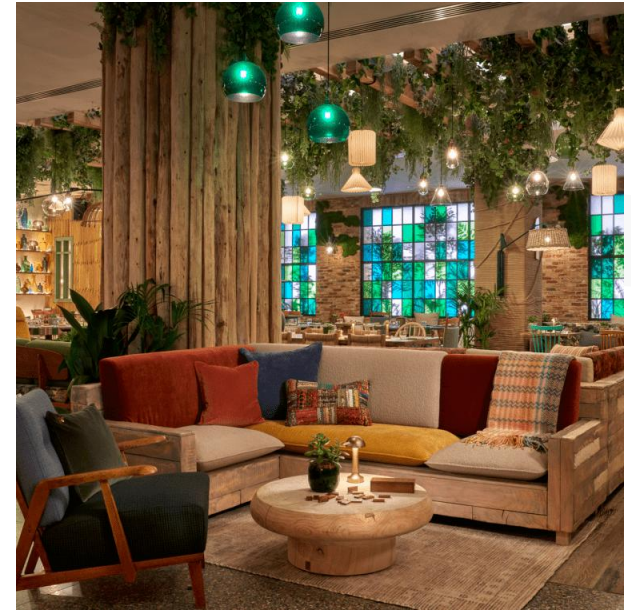
Rendering – West Façade – Washington Avenue



Treehouse Hotels



Silicon Valley



Manchester, UK



London

Modifications Approved by Planning Board at 3/10 Meeting

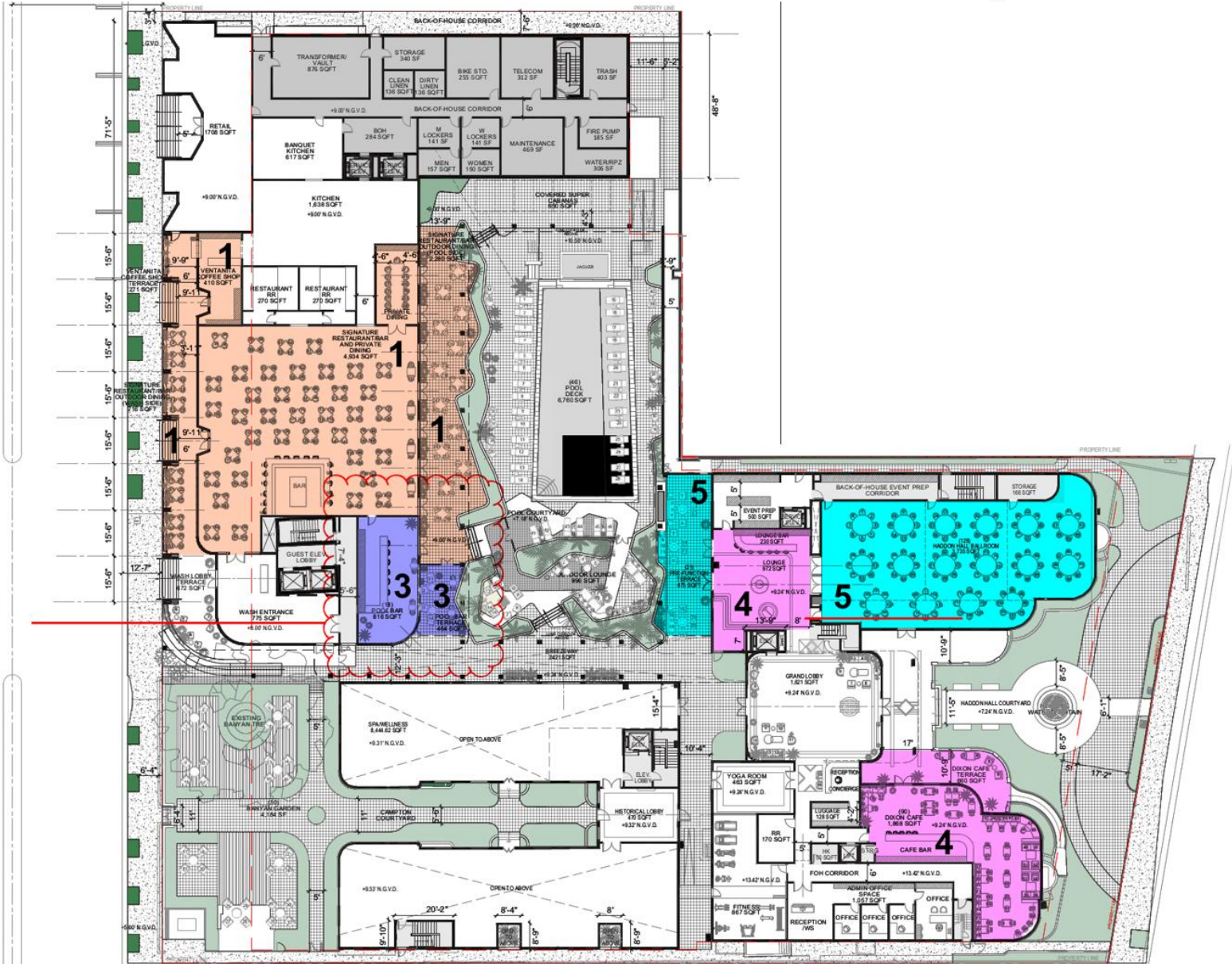
1. Modification to existing CUP conditions 4.A and 4.B related to approved seat counts and occupancy loads.
2. Relocate approved pool bar venue from southeast corner of Washington Avenue building to west side of Haddon Hall

Approved Planning Board Request #1 - Summary of Proposed Changes to Seat Counts and Occupancy Loads

	Approved Occ. Load	Proposed Occ. Load	Approved Seat Count	Proposed Seat Count
TOTAL	1474 persons	1482 persons	706 seats	641 seats

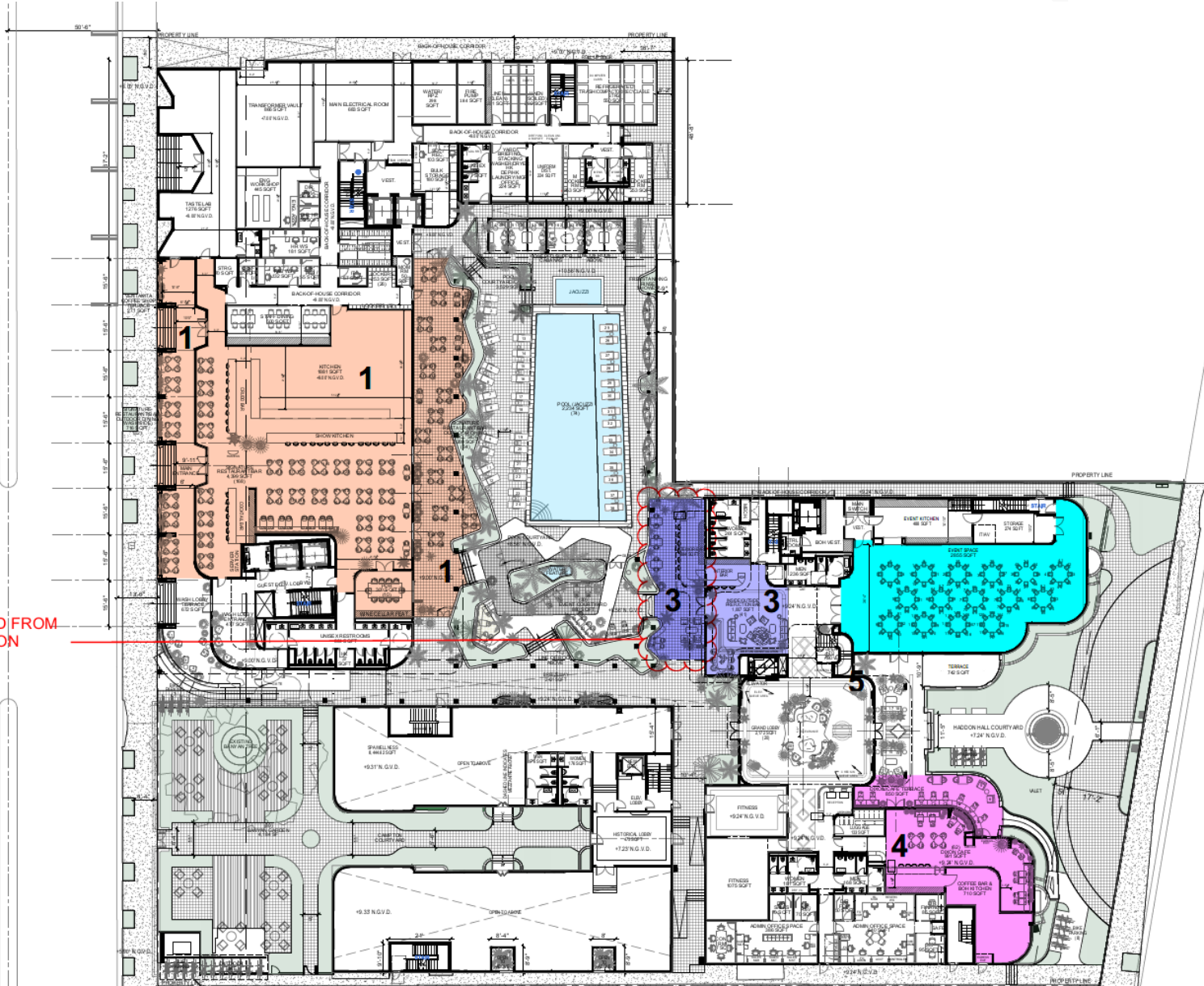
Planning Board Request # 2 – Previously Approved Location of Bar Counter – Ground Floor (no. 3)

RELOCATED TO HADDON HALL



Planning Board Request #2 – Newly Approved Location of Bar Counter – Ground Floor (no. 3)

RELOCATED FROM WASHINGTON BUILDING



Requests

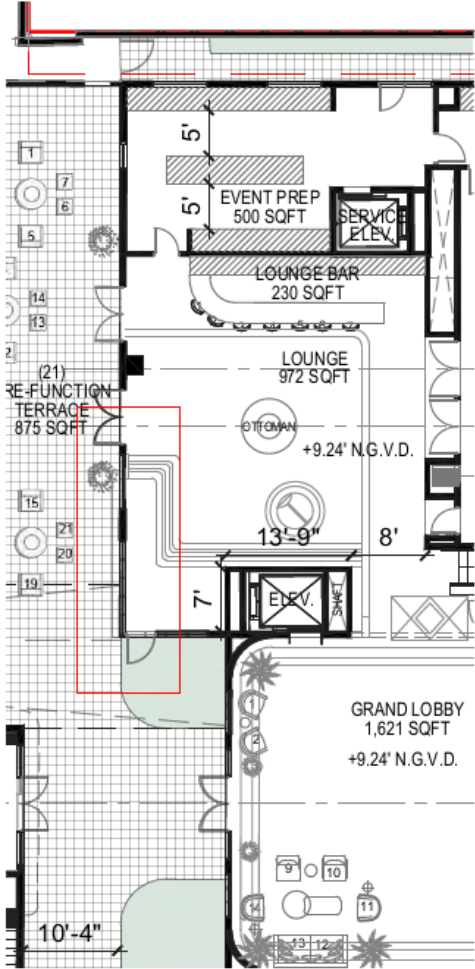
1. Addition of operable glass door within existing historic opening of Haddon Hall building.
2. Addition of new egress door in Haddon Hall building to satisfy life-safety requirements.
3. Enlarge window opening at south elevation of Haddon Hall building to satisfy second egress for Dixon Café.
4. Approval of relocated pool bar.
5. Waiver to permit demolition of noncontributing building at interior of Haddon Hall parcel prior to building permit.

Staff Recommendation - Approval

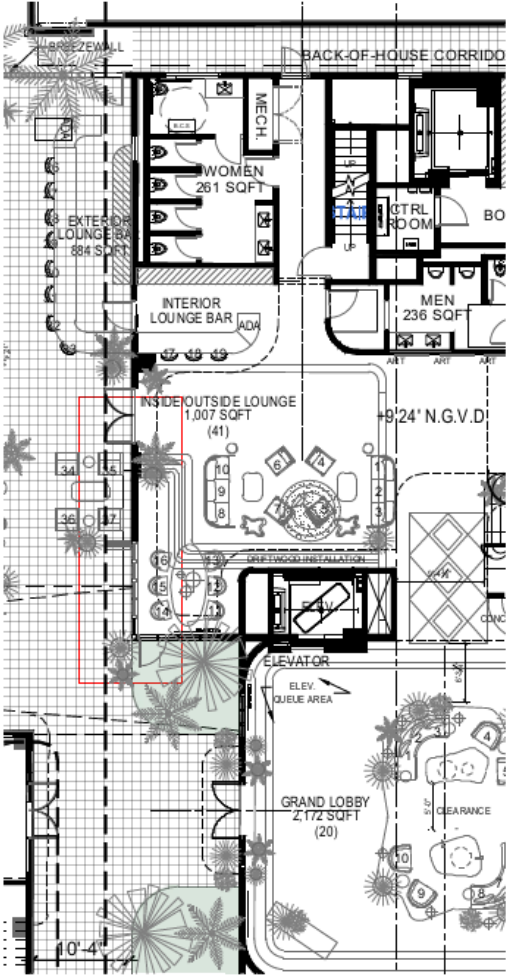
RECOMMENDATION

In view of the foregoing analysis, staff recommends that the requests for a Certificate of Appropriateness be **approved**, subject to the conditions enumerated in the attached draft Order, which address the inconsistencies with the aforementioned Certificate of Appropriateness and practical difficulty and hardship criteria, as applicable.

Request #1 – Addition of Operable Glass Door within Historic Opening



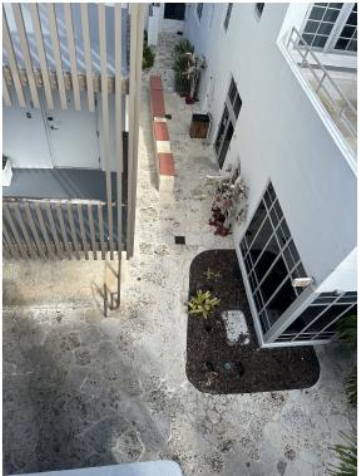
PREVIOUSLY APPROVED



PROPOSED



Request #1 – Existing Conditions



Request #1 – Existing and Proposed Opening



3D SCANNED MODEL OF EXISTING HADDON HALL BUILDING

PROPOSED

Request #1 – Rendering



CLEAR GLASS WITH
ALUMINUM TO MATCH
HISTORIC GLAZING AND
OPENINGS

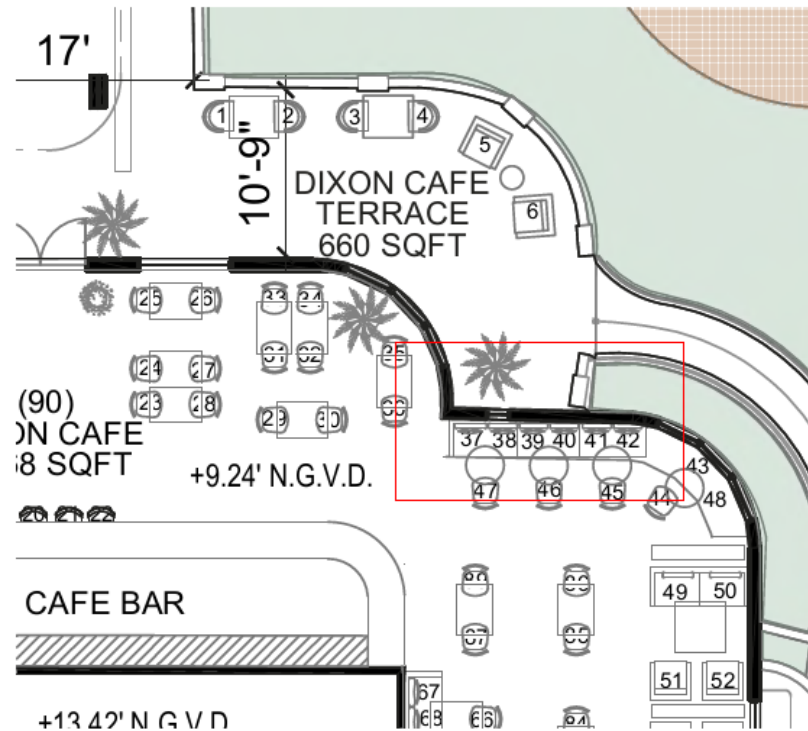
Pool Bar – Rendering & Materiality



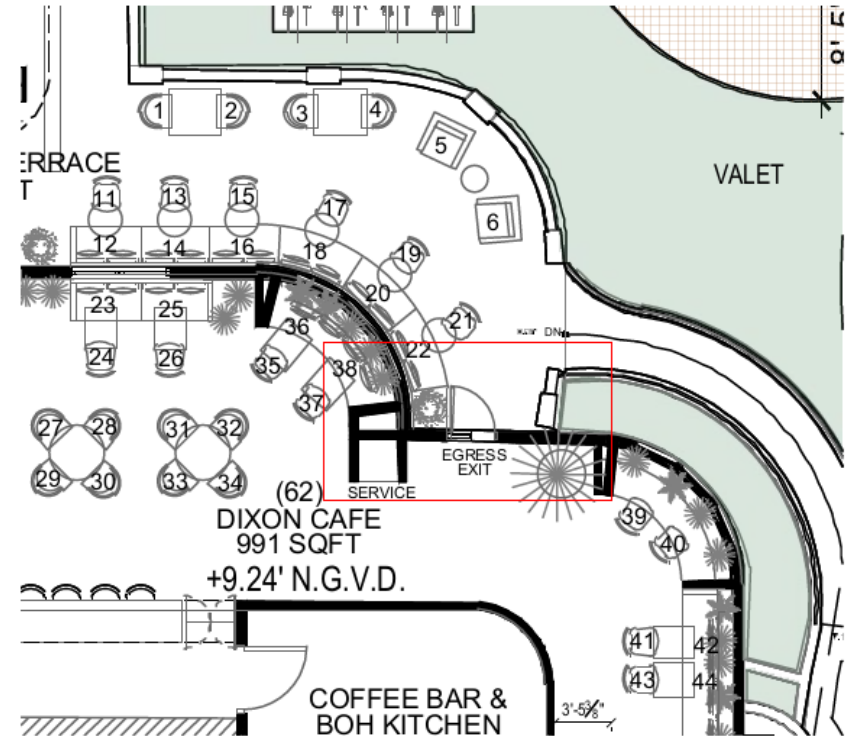
**OUTDOOR BAR
COUNTER
MATERIAL:
HONED STAINED
CONCRETE,
REFER TO
IMAGE.**



Request #2: Life-Safety Egress Door



PREVIOUSLY APPROVED



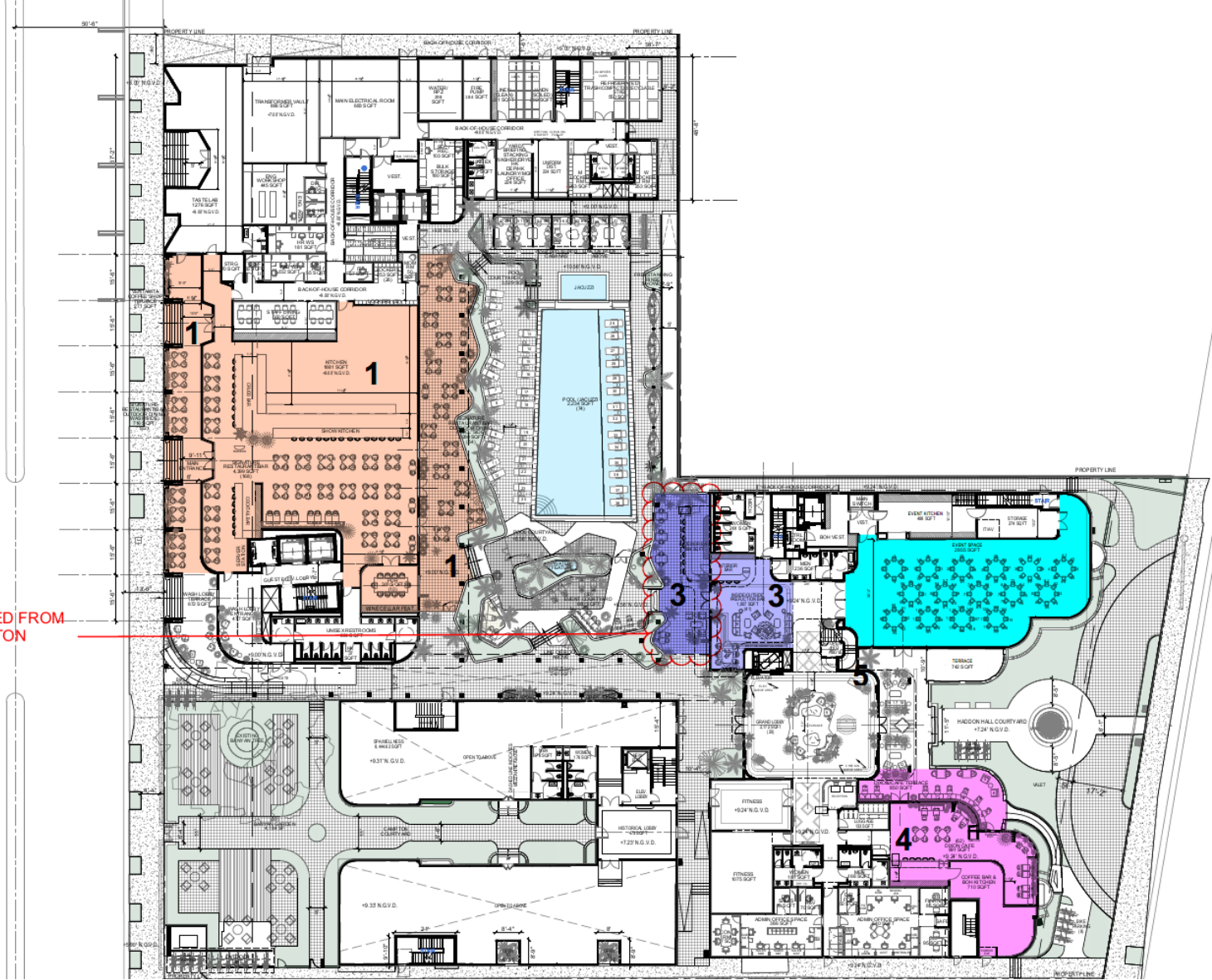
PROPOSED

Request #3 – Enlarge/Lower Window Opening at South Elevation of Haddon Hall

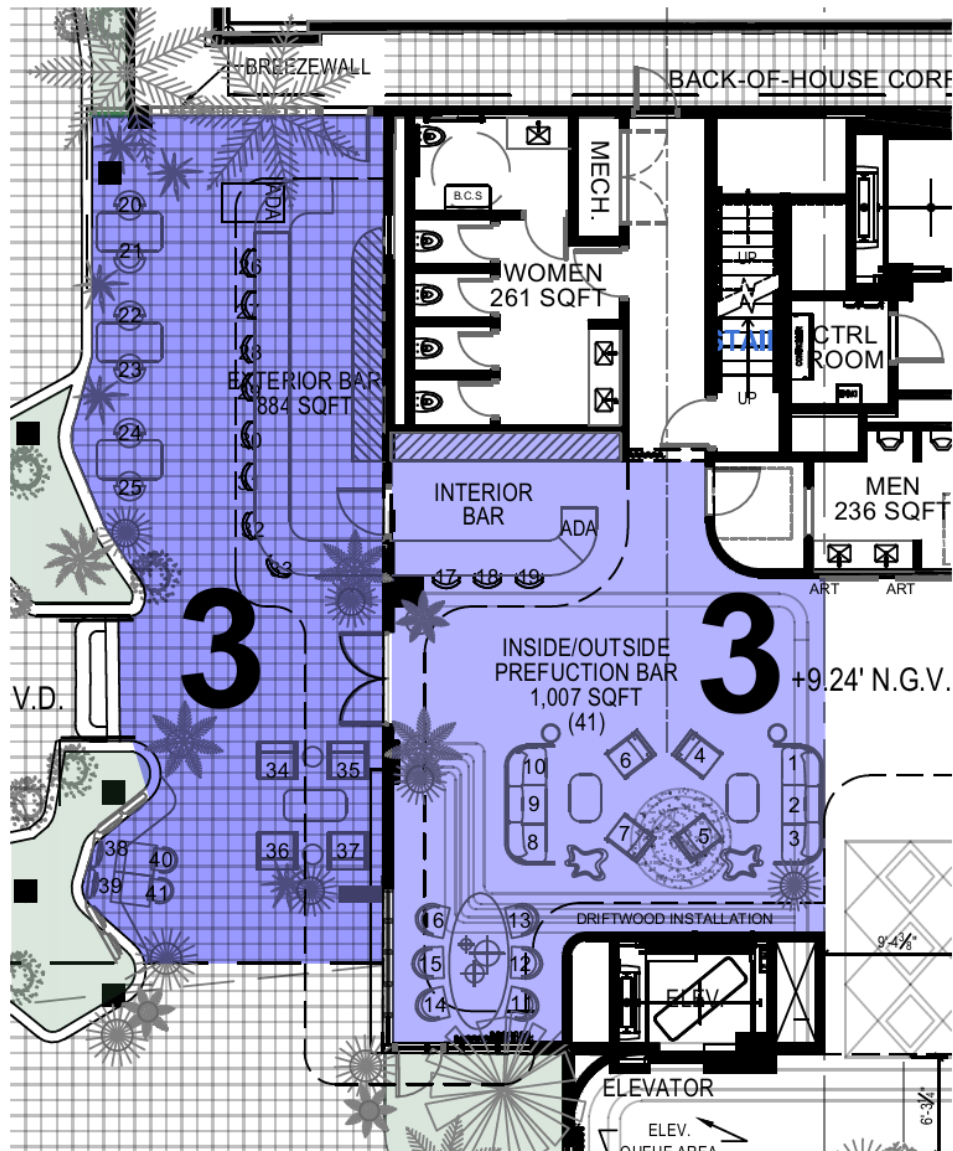


Request #4 – Newly Approved Location of Bar Counter – Ground Floor (no. 3)

RELOCATED FROM WASHINGTON BUILDING



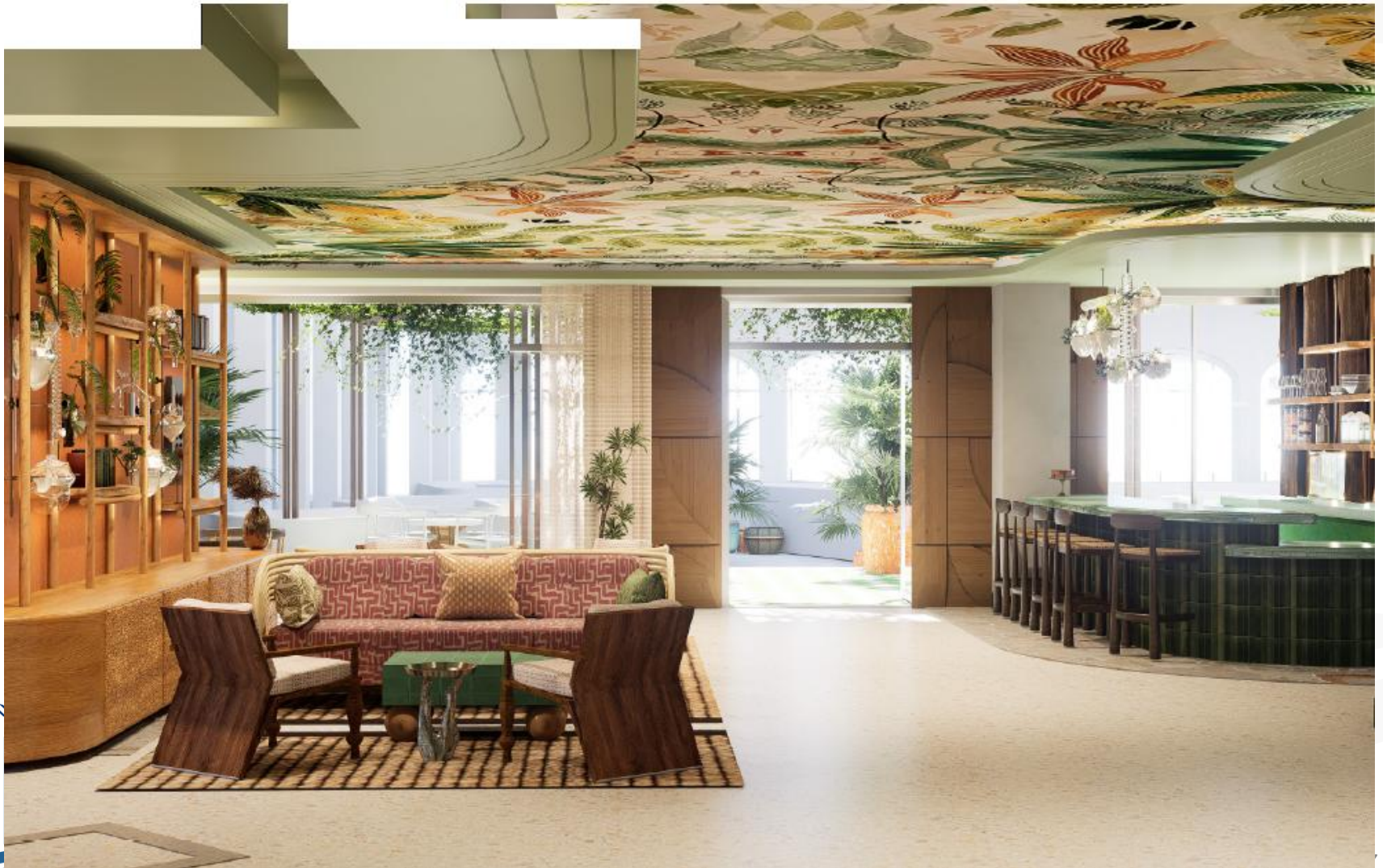
Request #4 – Newly Approved Location of Bar Counter – Ground Floor (no. 3)



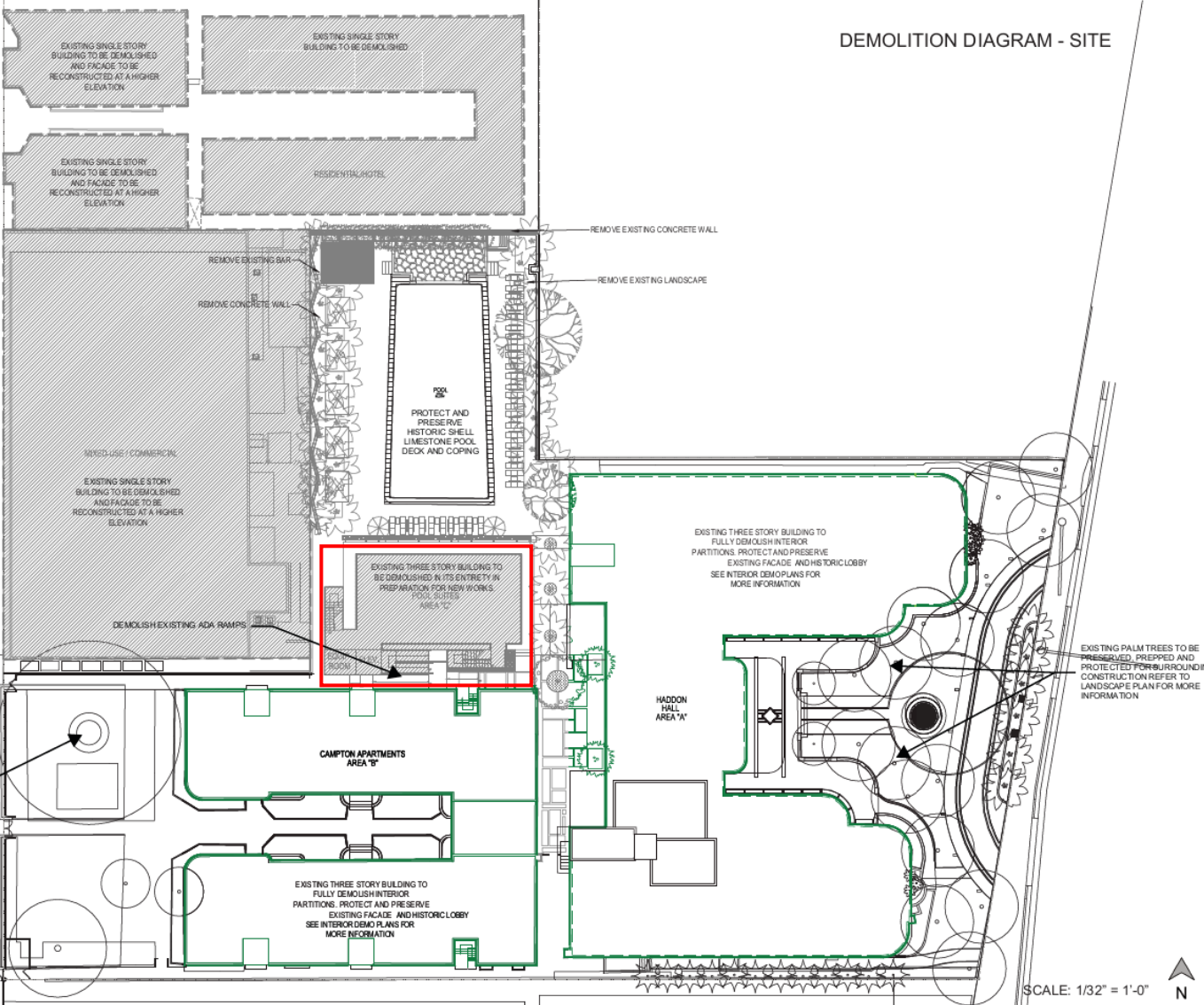
Request #4 – Relocated Pool Bar - Rendering



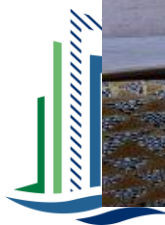
Prefunction Bar – Interior Rendering



Request #5 – Waiver to Permit Demolition of Noncontributing Building



Pool Bar + Prefunction Bar - Rendering



Thank You

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Resiliency Code Sec. 2.13.7: Waiver to Permit Demolition of Noncontributing Building

F. A building permit shall not be issued for the demolition of any building, structure, improvement, landscape feature, public interior or site individually designated in accordance with section 2.13.9, or located within an historic district until the new or replacement construction for the property has been approved and until all of the following criteria are satisfied:

- I. The issuance of a building permit process number for the new construction;
- II. The building permit application and all required plans for the new construction shall be reviewed and approved by the planning department;
- III. All applicable fees for the new construction shall be paid, including, but not limited to, building permit and impact fees, as well as applicable concurrency and parking impact fees;
- IV. A tree survey, if required, shall be submitted and a replacement plan, if required, shall be reviewed and approved by the Greenspace Management Division;
- V. All debris associated with the demolition of the structure shall be recycled, in accordance with the applicable requirements of the Florida Building Code.

For noncontributing structures located in one of the city's historic districts, this requirement may be waived or another permit substituted at the sole discretion of the historic preservation board.