

**SHEET INDEX:**

- 1 OF 4 = COVER
- 2 OF 4 = BOUNDARY SURVEY
- 3 OF 4 = TOPO
- 4 OF 4 = TOPO

**ABBREVIATIONS:**

- BM = BENCHMARK
- CB = CATCH BASIN
- CINL = DRAINAGE CURB INLET
- CLF = CHAIN LINK FENCE
- CMP = CORRUGATED METAL PIPE
- COM. = COMMUNICATION
- CONC. = CONCRETE
- CPP = CORRUGATED PLASTIC PIPE
- C&G = CURB AND GUTTER
- D = CENTRAL ANGLE OF CURVE
- D.B. = DEED BOOK
- DNR = DID NOT RECOVER
- ELECS = ELECTRICAL SERVICE BOX
- EL = ELEVATION
- EP = EDGE OF PAVEMENT
- FCIP = FOUND IRON PIPE WITH CAP
- FIP = FOUND IRON PIPE
- FIR = FOUND IRON ROD
- FND = FOUND
- FPL = FLORIDA POWER AND LIGHT
- HDPE = PLASTIC DRAINAGE PIPE
- ICV = IRRIGATION CONTROL VALVE
- INV = INVERT
- I.P. = IRON PIPE
- IR&C = IRON ROD AND CAP
- L = LENGTH OF CURVE
- MHD = STORM DRAINAGE MANHOLE
- MHS = SANITARY SEWER MANHOLE
- N&D = NAIL & DISC
- NAVDBB = NORTH AMERICAN VERTICAL DATUM 1988
- O.R.B. = OFFICIAL RECORDS BOOK
- P.B. = PLAT BOOK
- (P) = PLAT
- PVC = PLASTIC DRAINAGE PIPE
- R = CURVE RADIUS
- RCP = REINFORCED CONCRETE PIPE
- R/W = RIGHT-OF-WAY
- SCIR = SET 1/2" IRON ROD W/ CAP #LB 7932
- SPV = SPRINKLER HEAD
- SWK = SIDEWALK
- SEC. = SECTION
- TC = TOP OF CURB
- TYPL = TYPICAL
- U.E. = UTILITY EASEMENT

**LINE TYPES:**

- BOUNDARY LINE
- BOUNDARY ADJACENT / ROW LINE
- SECTION LINE
- EASEMENT LINE
- SUBDIVISION LOT LINE
- UNDERLYING SUBDIVISION LOT LINE
- PROPOSED EASEMENT LINE
- BUILDING SET BACK LINE
- UNDERGROUND STORM LINE
- UNDERGROUND SANITARY LINE
- UNDERGROUND WATER LINE
- UNDERGROUND GAS LINE
- UNDERGROUND TELEPHONE LINE
- OVERHEAD TELEPHONE LINE
- OVERHEAD FIBER OPTIC LINE
- UNDERGROUND FIBER OPTIC LINE
- UNDERGROUND CABLE LINE
- OVERHEAD CABLE LINE
- UNDERGROUND ELECTRIC LINE
- OVERHEAD ELECTRIC LINE
- UNSPECIFIED UTILITY LINE
- EXISTING MAJOR GROUND CONTOUR
- EXISTING GROUND CONTOUR
- EXISTING FENCE
- EXISTING RAILROAD
- VEGETATION LINE
- EXISTING WETLAND
- EXISTING DITCH CENTERLINE
- EXISTING EDGE OF WATER
- EXISTING EDGE OF GRAVEL
- EXISTING CURB LINE
- EXISTING DEPRESSED CURB LINE
- EXISTING GUARD RAIL
- EXISTING ROAD CENTERLINE
- EXISTING SILT FENCE

**HATCH TYPES:**

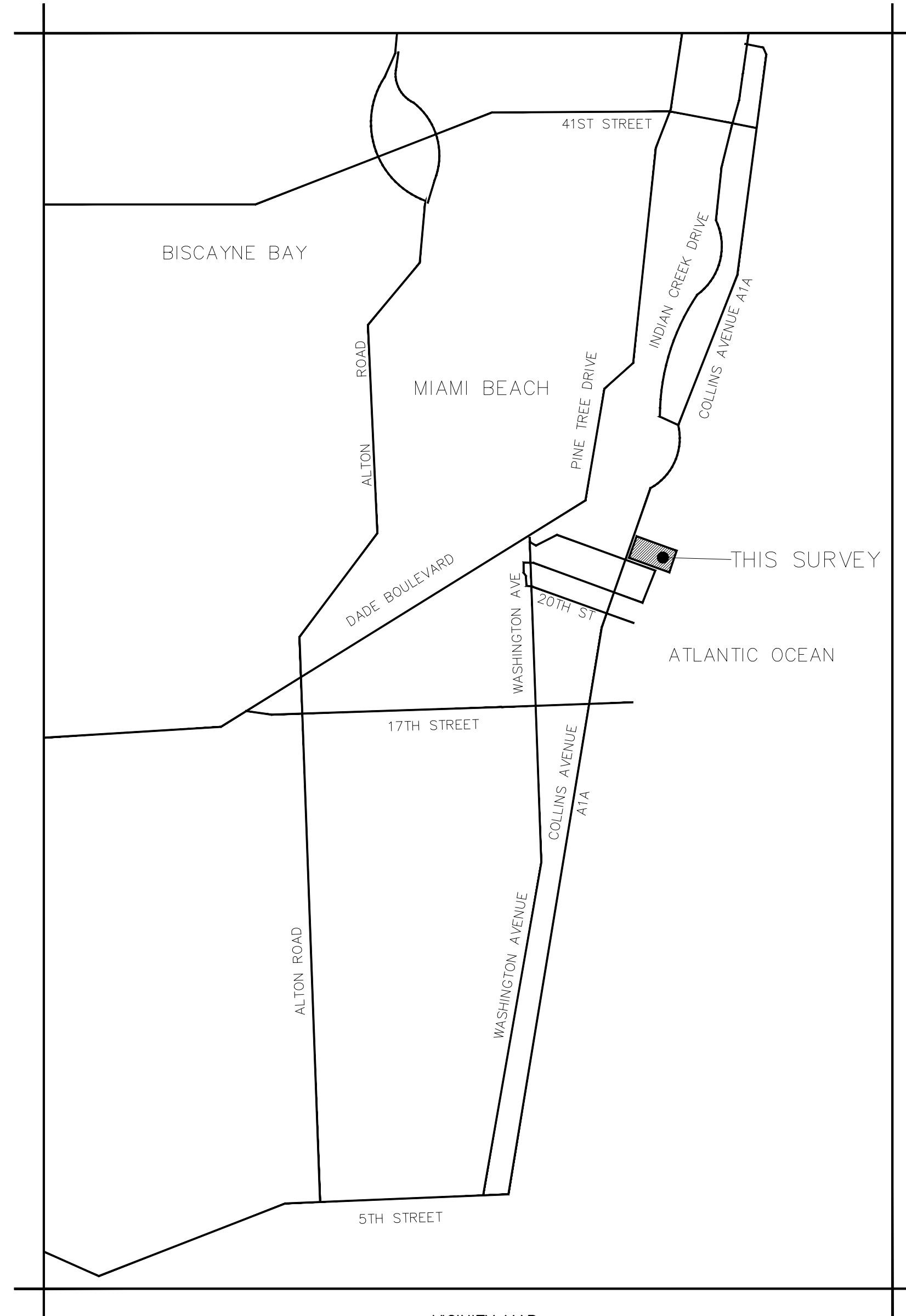
- ASPHALT SURFACE
- CONCRETE SURFACE
- WOOD SURFACE
- TILE SURFACE
- BRICK SURFACE

**SURVEYOR'S NOTES:**

1. THE PURPOSE OF THIS SURVEY IS TO DEPICT TOPOGRAPHIC FEATURES AND SURFACE ELEVATIONS RELATIVE TO THE SITE BOUNDARY.
2. THE LEGAL DESCRIPTION SHOWN HEREON IS TAKEN FROM THE DECLARATION OF 2201 COLLINS AVENUE CONDOMINIUM, RECORDED IN OFFICIAL RECORDS BOOK 26848, PAGE 2790, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
3. THE UNDERSIGNED SURVEYOR WAS NOT PROVIDED WITH AN ABSTRACT OF TITLE OR AN OPINION OF TITLE FOR THIS SITE. ADDITIONAL ENCUMBRANCES AND/OR RESTRICTIONS MAY AFFECT THIS PROPERTY.
4. ALL RECORDED REFERENCES NOTED HEREON ARE FROM THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
5. THE BASIS OF BEARINGS IS THE SOUTHERLY RIGHT-OF-WAY LINE OF 23RD STREET (NOW VACATED), HAVING A GRID BEARING OF N70°03'28"W. THE ROTATION FROM THE RECORD LEGAL DESCRIPTION BEARING (N70°02'49"W) TO GRID BEARING IS COUNTERCLOCKWISE 39".
6. THIS SURVEY IS NOT VALID WITHOUT THE DIGITAL SIGNATURE OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED.
7. THE HORIZONTAL DATUM FOR THIS PROJECT IS REFERENCED TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD 83/2011).
8. THE ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
9. REFERENCE BENCHMARKS:
  - FLORIDA PERMANENT REFERENCE NETWORK STATION: FLMB (MIAMI BEACH) #601
  - MIAMI-DADE COUNTY ENGINEERING DEPARTMENT BENCHMARK: D-160-ADJUSTED, ELEVATION 3.80'
10. SUBSURFACE UTILITIES AND OTHER UNDERGROUND IMPROVEMENTS ARE NOT INCLUDED IN THIS SURVEY.
11. THE LAND DESCRIBED HEREON CONTAINS 168,300 SQUARE FEET OR 3.864 ACRES, MORE OR LESS.
12. ACCORDING TO THE PROPERTY APPRAISER OF MIAMI-DADE COUNTY, THE LAND DESCRIBED HEREON IS IDENTIFIED AS FOLIO NO. 02-3234-218-0001.
13. THE SUBJECT PROPERTY LIES WITHIN FEMA FLOOD ZONE AE (BASE ELEVATION 8) AND FEMA FLOOD ZONE X, AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 12086C0317L, COMMUNITY PANEL NO. 120651, EFFECTIVE SEPTEMBER 11, 2009.
14. THE COASTAL CONSTRUCTION CONTROL LINE WAS TAKEN FROM THE STATE OF FLORIDA DEPT OF NATURAL RESOURCES MAP, PLAT BOOK 74, PAGE 25. FILE NUMBER 61716.75 DATED SEPTEMBER 1981.

**BOUNDARY AND TOPOGRAPHIC SURVEY**

**OF THE W SOUTH BEACH**  
2201 COLLINS AVENUE, MIAMI BEACH, FL



VICINITY MAP  
NOT TO SCALE

**SYMBOL LEGEND:**

- BENCHMARK
- RECOVERED SURVEY MONUMENT
- SURVEY MONUMENT NOT RECOVERED
- EXISTING CONCRETE ROW MARKER
- SITE CONTROL POINT
- EXISTING CURB INLET
- EXISTING STORM MANHOLE/CATCH BASIN
- EXISTING SANITARY MANHOLE
- EXISTING TELEPHONE MANHOLE
- EXISTING UTILITY MANHOLE
- EXISTING WATER MANHOLE
- EXISTING CULVERT
- EXISTING DOWN SPOUT
- EXISTING SANITARY CLEAN OUT
- EXISTING WATER BBOX
- EXISTING WATER VALVE
- EXISTING HYDRANT
- EXISTING FIRE DEPARTMENT CONNECTION
- EXISTING WELL
- EXISTING WATER METER
- EXISTING GAS METER
- EXISTING GAS RISER
- EXISTING GAS VALVE
- EXISTING TELEPHONE RISER
- EXISTING FIBER OPTIC RISER
- EXISTING TELEPHONE HAND HOLE
- EXISTING FIBER OPTIC HAND HOLE
- EXISTING TRAFFIC SIGNAL HAND HOLE
- EXISTING CABLE RISER
- EXISTING ELECTRIC TRANSFORMER
- EXISTING ELECTRIC METER
- EXISTING ELECTRIC RISER
- EXISTING ELECTRIC HAND HOLE
- EXISTING UNDERGROUND GAS LINE WARNING SIGN
- EXISTING UNDERGROUND PIPELINE WARNING SIGN
- EXISTING UNDERGROUND COMMUNICATIONS WARNING SIGN
- EXISTING UNDERGROUND FIBER OPTIC WARNING SIGN
- EXISTING UNDERGROUND ELECTRIC LINE WARNING SIGN
- EXISTING UNDERGROUND WATER LINE WARNING SIGN
- EXISTING UNDERGROUND WATER MARKER
- EXISTING UNDERGROUND GAS MARKER
- EXISTING UNDERGROUND TELEPHONE MARKER
- EXISTING UNDERGROUND CABLE MARKER
- EXISTING UNDERGROUND ELECTRIC MARKER
- EXISTING WETLAND MARKER
- EXISTING UNDERGROUND STORM SEWER MARKER
- EXISTING UNDERGROUND SANITARY SEWER MARKER
- EXISTING UNDERGROUND UNKNOWN MARKER
- EXISTING UTILITY POLE
- EXISTING GUY WIRE
- EXISTING FENCE POST
- EXISTING SIGN
- EXISTING BOLLARD
- EXISTING TRAFFIC SIGNAL
- EXISTING LIGHT POLE
- EXISTING GROUND LIGHT
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE
- EXISTING SHRUB
- EXISTING SOIL BORING
- EXISTING MONITORING WELL
- EXISTING AIR CONDITIONING UNIT
- EXISTING MAILBOX
- EXISTING ROAD STRIPES
- EXISTING FLAG POLE
- UNKNOWN TERMINUS

**LEGAL DESCRIPTION:**

BEGIN (P.O.B.) AT THE NORTHEASTERLY CORNER OF 22ND STREET (FORMERLY KNOWN AS OCEAN AVENUE) AND COLLINS AVENUE, AS SAID STREET AND AVENUE ARE SHOWN ON THE AMENDED MAP OF THE OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT COMPANY'S SUBDIVISION, RECORDED IN PLOT BOOK 5, AT PAGES 7 AND 8, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; AND RUN SOUTH 70°02'49.4" EAST ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF 22ND STREET, A DISTANCE OF 564.715 FEET TO A POINT ON THE EROSION CONTROL LINE OF THE ATLANTIC OCEAN, RECORDED IN PLAT BOOK 105, AT PAGE 62, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; THENCE NORTH 18°28'10.4" EAST ALONG THE SAID EROSION CONTROL LINE, A DISTANCE OF 240.081 FEET TO A POINT; THENCE CONTINUE ALONG THE EROSION CONTROL LINE NORTH 19°20'59.4" EAST A DISTANCE OF 60.003 FEET; THENCE RUN NORTH 70°02'49.4" WEST ALONG THE NORTHERLY PROPERTY LINE, A DISTANCE OF 557.868 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF COLLINS AVENUE; THENCE SOUTH 19°57'10.6" WEST ALONG THE EASTERLY RIGHT-OF-WAY LINE OF COLLINS AVENUE, A DISTANCE OF 300.00 FEET TO THE POINT OF BEGINNING (P.O.B.)

**SURVEYOR'S CERTIFICATION:**

I HEREBY CERTIFY THAT THIS "BOUNDARY AND TOPOGRAPHIC SURVEY" INCLUDING ALL ASSOCIATED PAGES, WAS PREPARED UNDER MY RESPONSIBLE CHARGE AND COMPLIES WITH THE STANDARDS OF PRACTICE FOR SURVEYING AND MAPPING, AS PROMULGATED BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO CHAPTER 472.027 OF THE FLORIDA STATUTES.

**Daniel C Laak**  
Professional Surveyor and Mapper No. 5118  
 State of Florida  
 Florida Licensed Business No. LB 7832

SURVEY DATE: 07-18-2025

THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY DANIEL C. LAAK, PSM, USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED.



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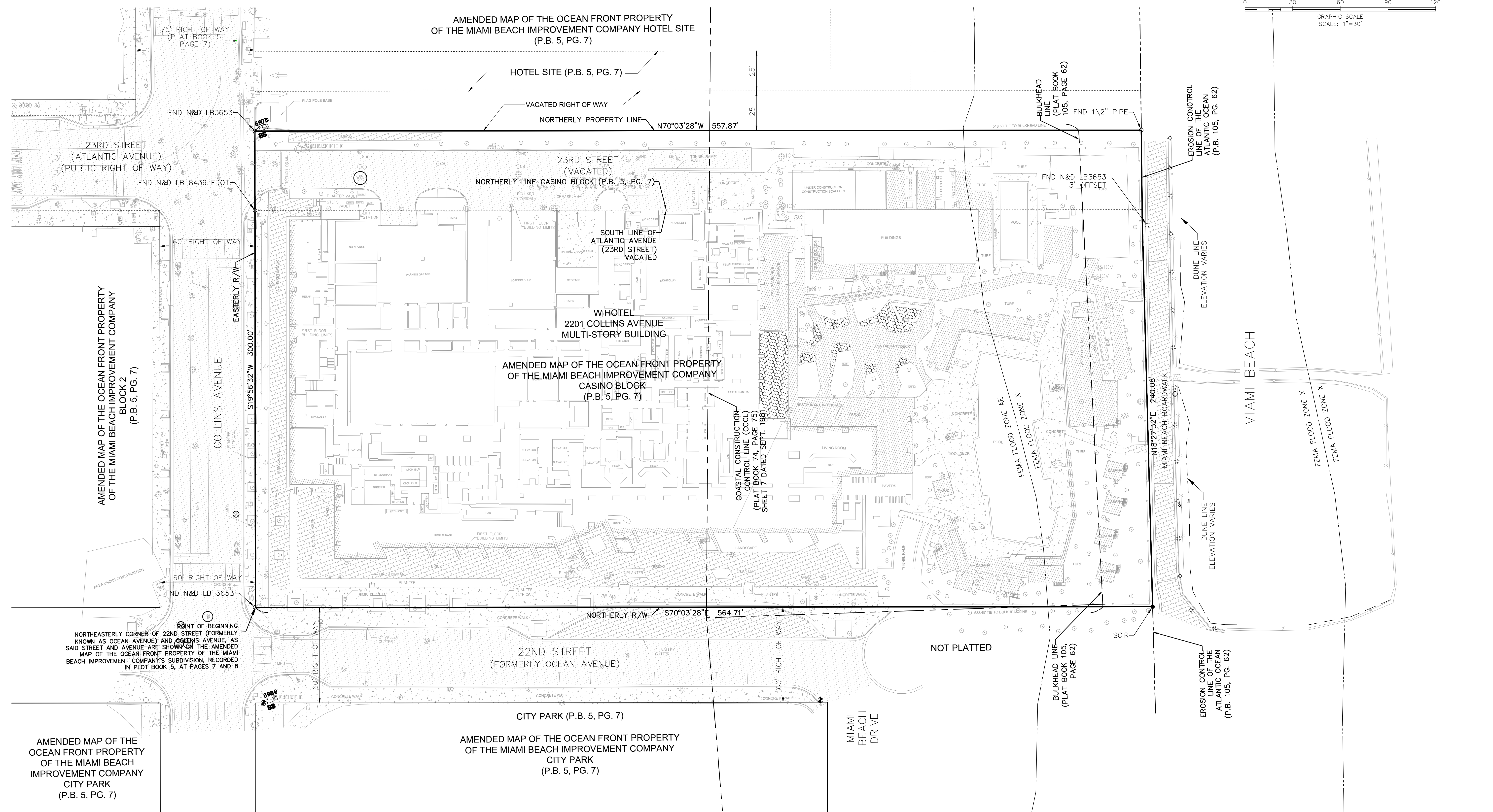
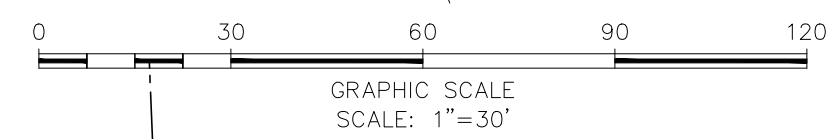
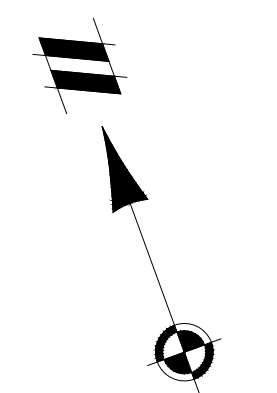
TOWNSHIP 53 SOUTH	RANGE 42 EAST	MIAMI BEACH	MIAMI-DADE COUNTY, FL
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CLIENT: 2201 COLLINS AVE PROPCO LLC  
 THE W SOUTH BEACH  
 BOUNDARY AND TOPOGRAPHIC SURVEY  
 2201 COLLINS AVENUE, MIAMI BEACH, FL  
 COVER SHEET

DATE	7-18-2025
REVISIONS	
12-1-2025 UPDATED TO REFLECT ADDITIONAL BEACH SHOTS	
DR.	AR
CH.	DCL
P.M.	WJR
JOB	25005241
SHEET NO.	1 OF 4

# BOUNDARY AND TOPOGRAPHIC SURVEY

OF  
**THE W SOUTH BEACH**  
 2201 COLLINS AVENUE, MIAMI BEACH, FL



**HATCH TYPES:**

ASPHALT SURFACE	
CONCRETE SURFACE	
WOOD SURFACE	
TILE SURFACE	
BRICK SURFACE	



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TOWNSHIP 53 SOUTH  
 RANGE 42 EAST  
 MIAMI BEACH  
 MIAMI-DADE COUNTY, FL

CLIENT: 2201 COLLINS AVE PROPCO LLC  
**THE W SOUTH BEACH**  
 BOUNDARY AND TOPOGRAPHIC SURVEY  
 2201 COLLINS AVENUE, MIAMI BEACH, FL  
 BOUNDARY SURVEY

DATE: 7-18-2025

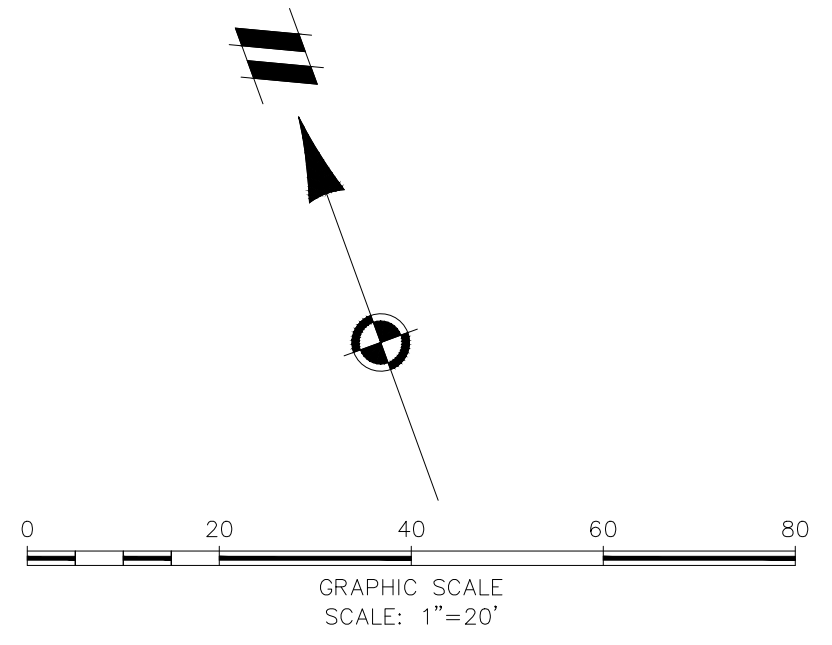
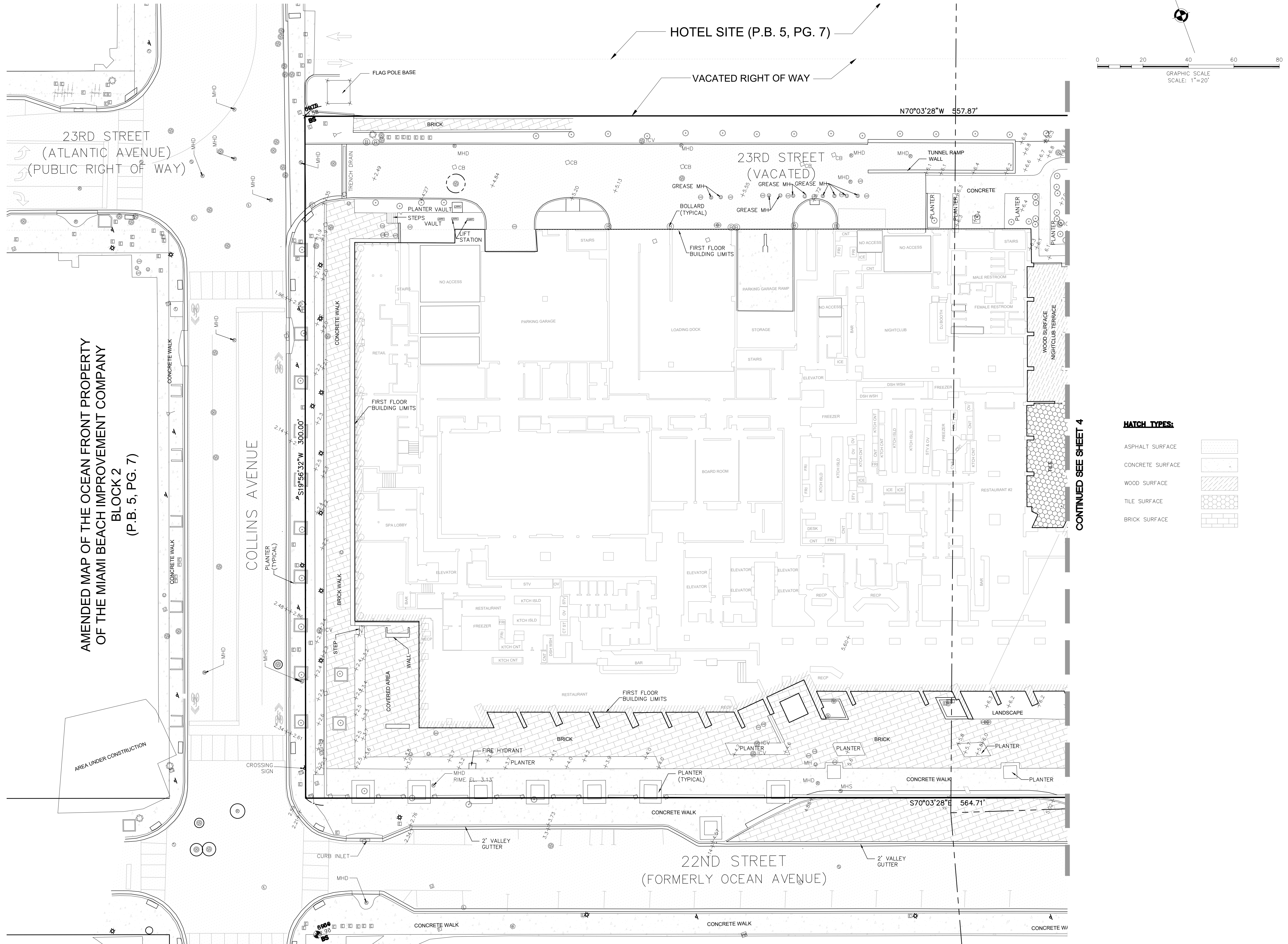
REVISIONS  
 07-18-2025 UPDATED TO REFLECT ADDITIONAL BEACH SHOTS

DR	AR	CH	DCL
P.M.	WJR		
JOB	25005241		
SHEET NO.	2 OF 4		

PLANNING PROJECTS, ATWELL CONSULTING, 2201 COLLINS AVE PROPCO, 2201 COLLINS AVE, MIAMI BEACH, FL 33134  
 07-18-2025 SHEET 2 OF 7 BOUNDARY & TOPO SURVEY OF THE W SOUTH BEACH, 2201 COLLINS AVE, MIAMI BEACH, FL 33134

# BOUNDARY AND TOPOGRAPHIC SURVEY

OF  
THE W SOUTH BEACH  
2201 COLLINS AVENUE, MIAMI BEACH, FL



**811**  
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AMENDED MAP OF THE OCEAN FRONT PROPERTY  
OF THE MIAMI BEACH IMPROVEMENT COMPANY  
BLOCK 2  
(P.B. 5, PG. 7)

CONTINUED SEE SHEET 4

- HATCH TYPES:**
- ASPHALT SURFACE
  - CONCRETE SURFACE
  - WOOD SURFACE
  - TILE SURFACE
  - BRICK SURFACE

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RANGE 42 EAST  
MIAMI BEACH  
MIAMI-DADE COUNTY, FL

CLIENT: 2201 COLLINS AVE PROPCO LLC  
THE W SOUTH BEACH  
BOUNDARY AND TOPOGRAPHIC SURVEY  
2201 COLLINS AVENUE, MIAMI BEACH, FL  
BOUNDARY SURVEY

DATE	7-18-2025		
REVISIONS	13-2025 UPDATED TO REFLECT ADDITIONAL BEACH SHOTS		
DR.	AR	CH	DCL
P.M.	WJR		
JOB	25005241		
SHEET NO.	3 OF 4		

PLANNING PROJECTS, ATWELL CONSULTING, 2201 COLLINS AVE PROPCO, 2201 COLLINS AVE, MIAMI BEACH, FL 33132. SHEET 3 OF 4. DATE: 7/18/2025. 3:50 AM.

