

Variance Application

2444 Prairie Avenue, Miami Beach, Florida

DATE

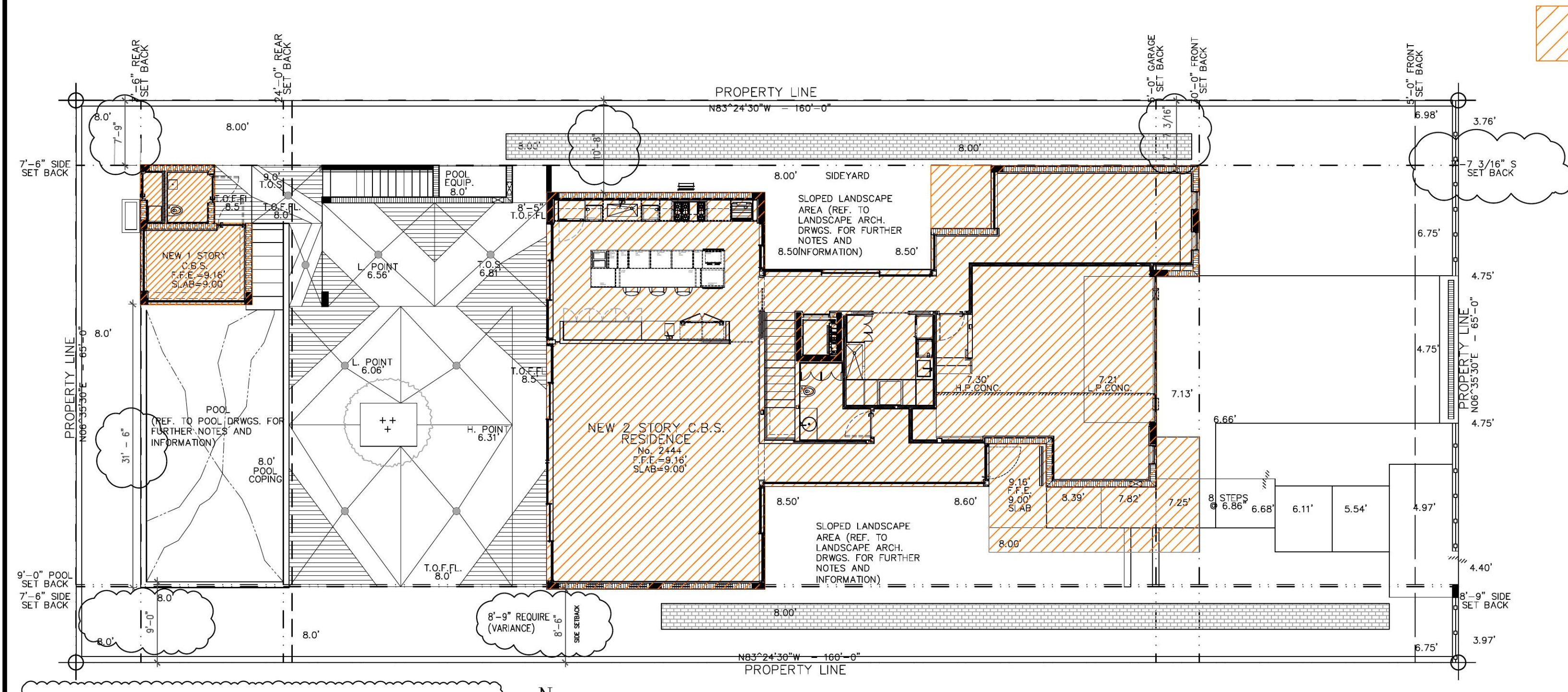
May 2026

SUBMITTAL STATUS

Final Submittal

FILE NO.

DRB26-1169

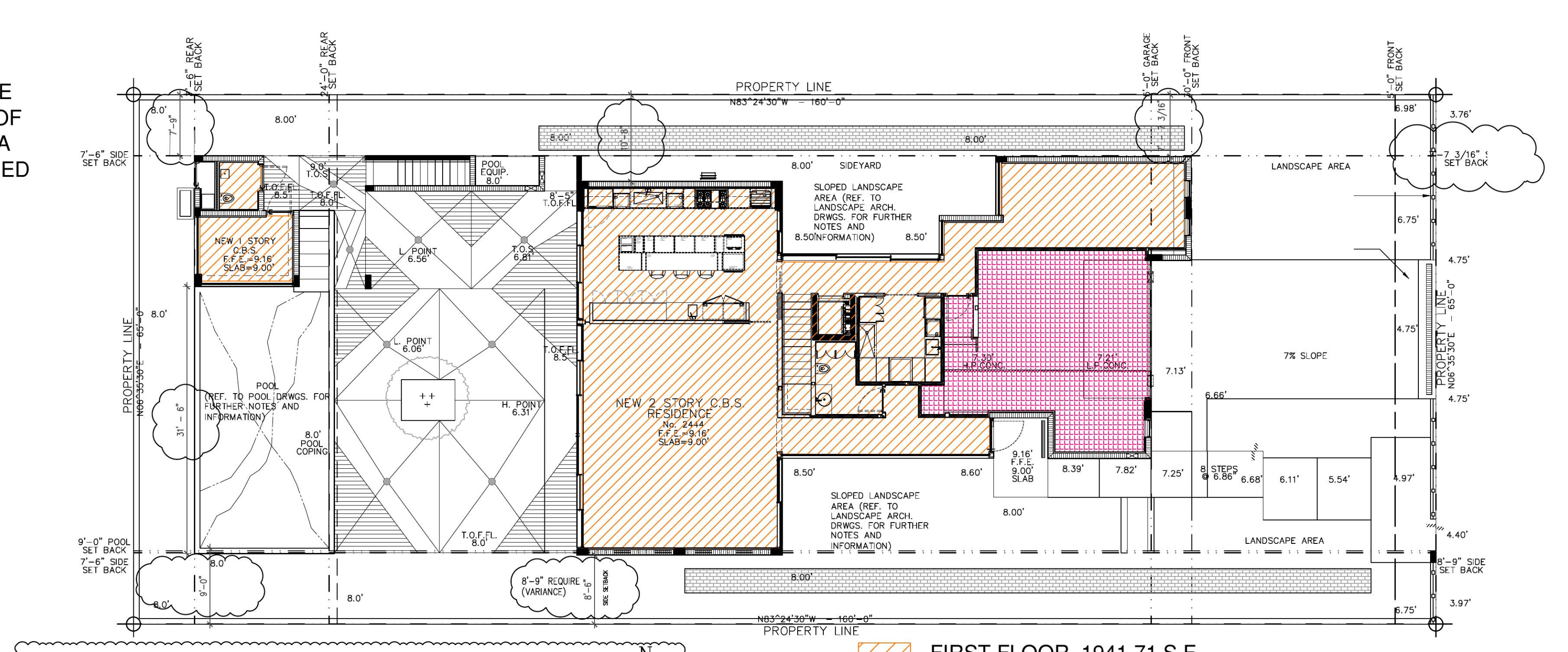


LOT COVERAGE
3,070 S.F.

REQ. LOT COVERAGE
3,120 S.F. REQ. 30% OF
LOT AREA (LOT AREA
10,400 S.F.) PROPOSED

LOT COVERAGE
3,070 S.F. (29.52%)

LOT COVERAGE DIAGRAM
SCALE: N.T.S.



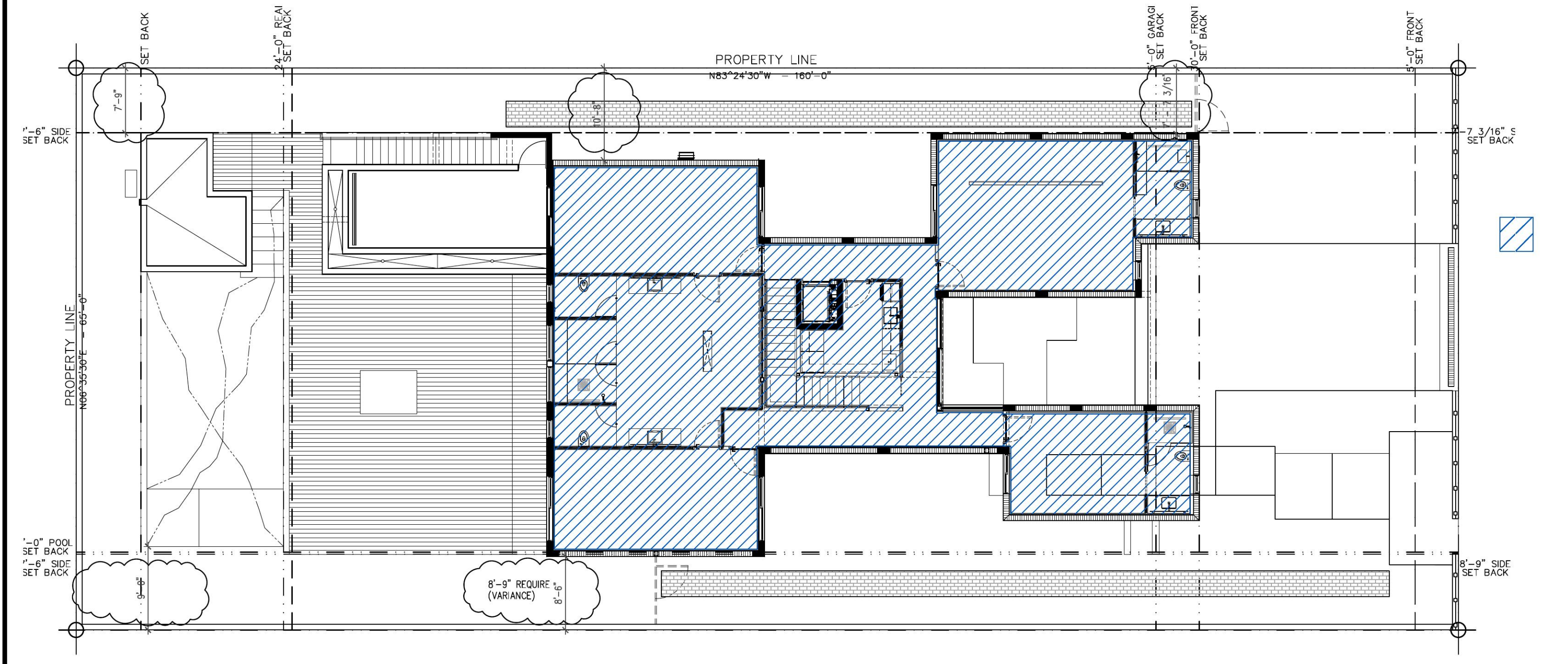
GROUND LEVEL UNIT SIZE DIAGRAM
SCALE: N.T.S.

FIRST FLOOR 1941.71 S.F.

MAX UNIT SIZE 5,200 S.F. REQ. 50% OF LOT AREA (LOT AREA 10,400 S.F.)

GARAGE 538.71 S.F.

(1941.71 + 538.71) = 2,480.72

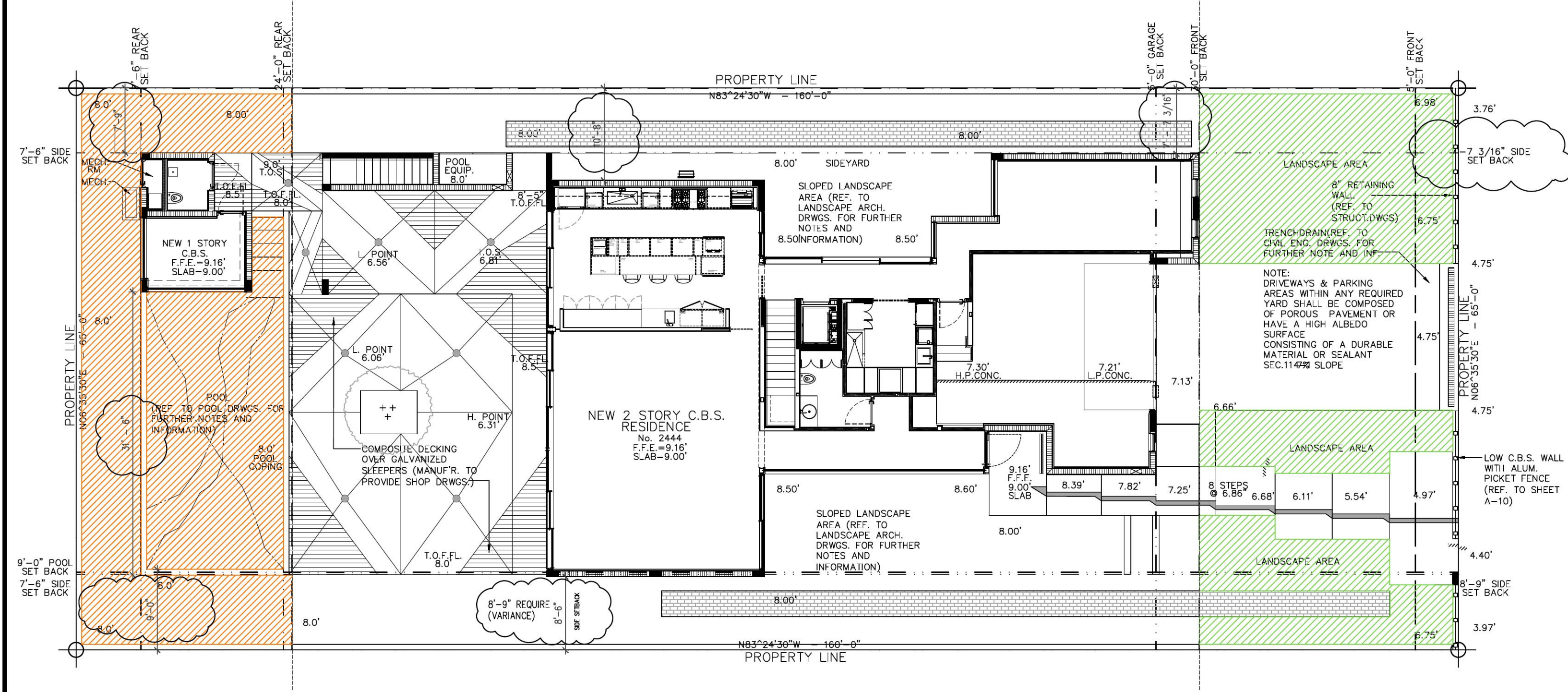


SECOND FLOOR 2,260.72 S.F.

MAX UNIT SIZE 5,200 S.F. REQ. 50%
OF LOT AREA (LOT AREA 10,400 S.F.)

TOTAL UNIT SIZE S.F. 4,741.44 SQ.FT
(FIRST FLOOR 2,480.72 SQFT+ SECOND
FLOOR 2,260.72 SQ.FT)

SECOND LEVEL UNIT SIZE DIAGRAM
SCALE: N.T.S.



OPEN SPACE DIAGRAM
SCALE: N.T.S.

REAR YARD REQ. 70%
REQ. 1,084.4 S.F.
(50% OF 1,950 S.F.)
PROPOSED 1,233 S.F. (56%)

FRONT YARD REQ. 50%
REQ. 975 S.F.
(50% OF 1,950 S.F.)
PROPOSED 1,039.65 S.F. (53%)

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Zoning Information
1	Address: 2444 PRAIRIE AVENUE, MIAMI BEACH FL, 33140
2	Folio number(s): 02-3227-006-0390
3	Board and file numbers : DRB21-0760
4	Year built: 1925
5	Based Flood Elevation: 8 FT
6	Adjusted grade (Flood+Grade/2): 5.96 FT
7	Lot Area: 10,400 SF
8	Lot width: 65 FT
9	Max Lot Coverage SF and %: 3,120 SF (30%)
10	Existing Lot Coverage SF and %: APPROX 2,500 SF
11	Front Yard Open Space SF and %: 1,039.65 (53%)
12	Max Unit Size SF and %: 5,200 SF (50%)
13	Existing First Floor Unit Size: APPROX. 1962 SF
14	Existing Second Floor Unit Size: 742 SF
15	
16	

	Required	Existing	Proposed	Deficiencies
17	Height:	24'	24'	
18	Setbacks:			
19	Front First level:	30'	30'	
20	Front Second level:		30'	
21	Side 1:	7.5'	7.6'	
22	Side 2 or (facing street):	7.5'	8.5'	
23	Rear:	MIN 20 FT- MAX 50 FT	24'	
24	Accessory Structure Side 1:	7.5'	7.75'	
25	Accessory Structure Side 2 or (facing street):	7.5'	42'	
26	Accessory Structure Rear:	7.5'	7.5'	
27	Sum of Side yard :	16.25'	16.1'	
27	Located within a Local Historic District?		Yes or no	
28	Designated as an individual Historic Single Family Residence Site?		Yes or no	
29	Determined to be Architecturally Significant?		Yes or no	

Notes:
If not applicable write N/A
All other data information should be presented like the above format

ZONING NOTE:

- PREVIOUSLY APPROVED UNDER BUILDING PERMIT BR2307664
- FINAL SUBMITTAL

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S & E ARCHITECTS, INC.
AM26002332
ROBERT J. SCHNECKENBERG
AR0015487

REVISIONS DATE

ZONING VARIANCE 03-26-20

PERMIT ISSUE 12-09-22

BID SET

CONSTRUCTION SET

2444 PRAIRIE AVENUE, WEST MIAMI BEACH, FLORIDA 33140

SHAMOSH STUDIO

ZONING DATA

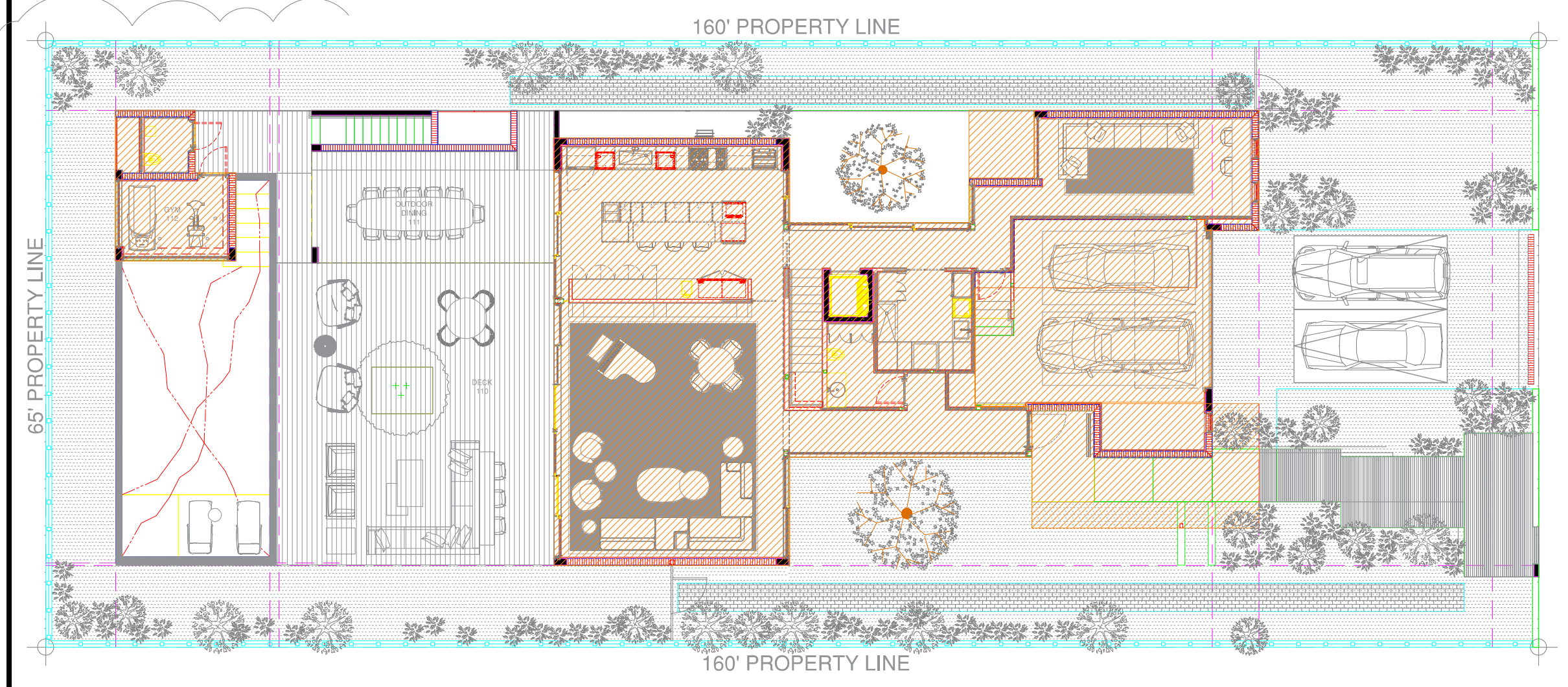
DATE 12-09-22

SCALE N.T.S.

JOB NO. 2021-21

SHEET A-2

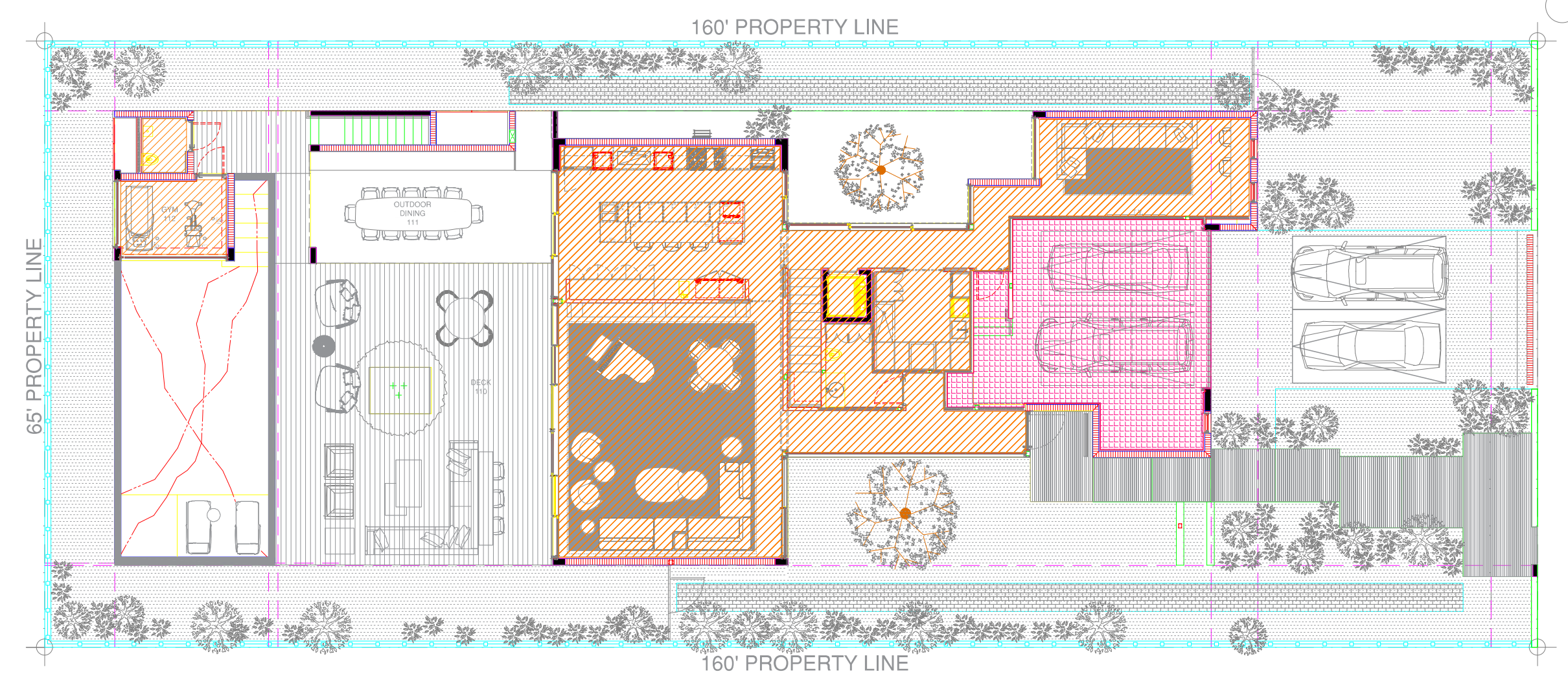
OF SHEETS



LOT COVERAGE
 3,063 S.F.

REQ. LOT COVERAGE
 3,120 S.F. REQ. 30% OF
 LOT AREA (LOT AREA
 10,400 S.F.) PROPOSED
 LOT COVERAGE
 3,063 S.F. (29%)

LOT COVERAGE DIAGRAM
 SCALE: N.T.S.



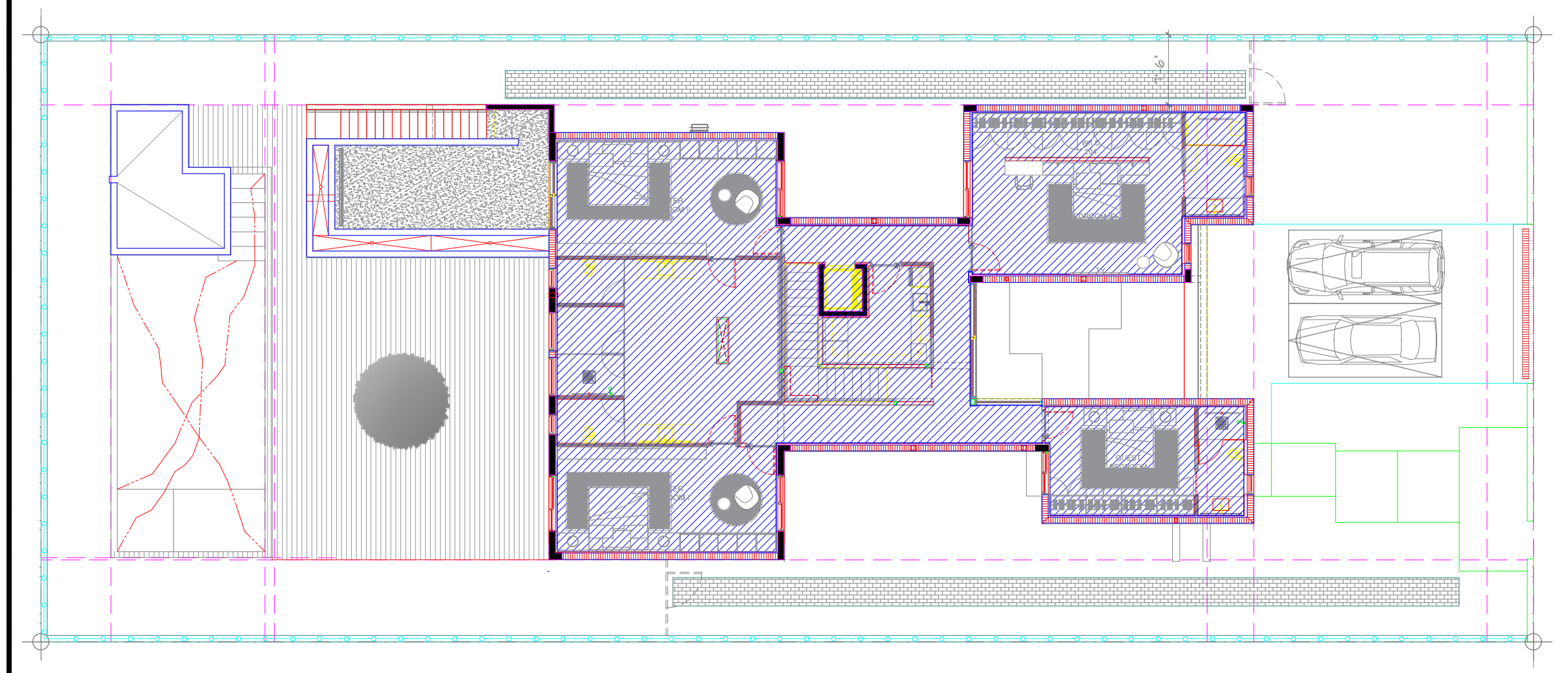
FIRST FLOOR 1938.61 S.F.

MAX UNIT SIZE 5,200 S.F.
 REQ. 50% OF LOT AREA
 (LOT AREA 10,400 S.F.)

GARAGE 538.71 S.F.

(1938.61 + 538.71) = 2477.32

GROUND LEVEL UNIT SIZE DIAGRAM
 SCALE: N.T.S.

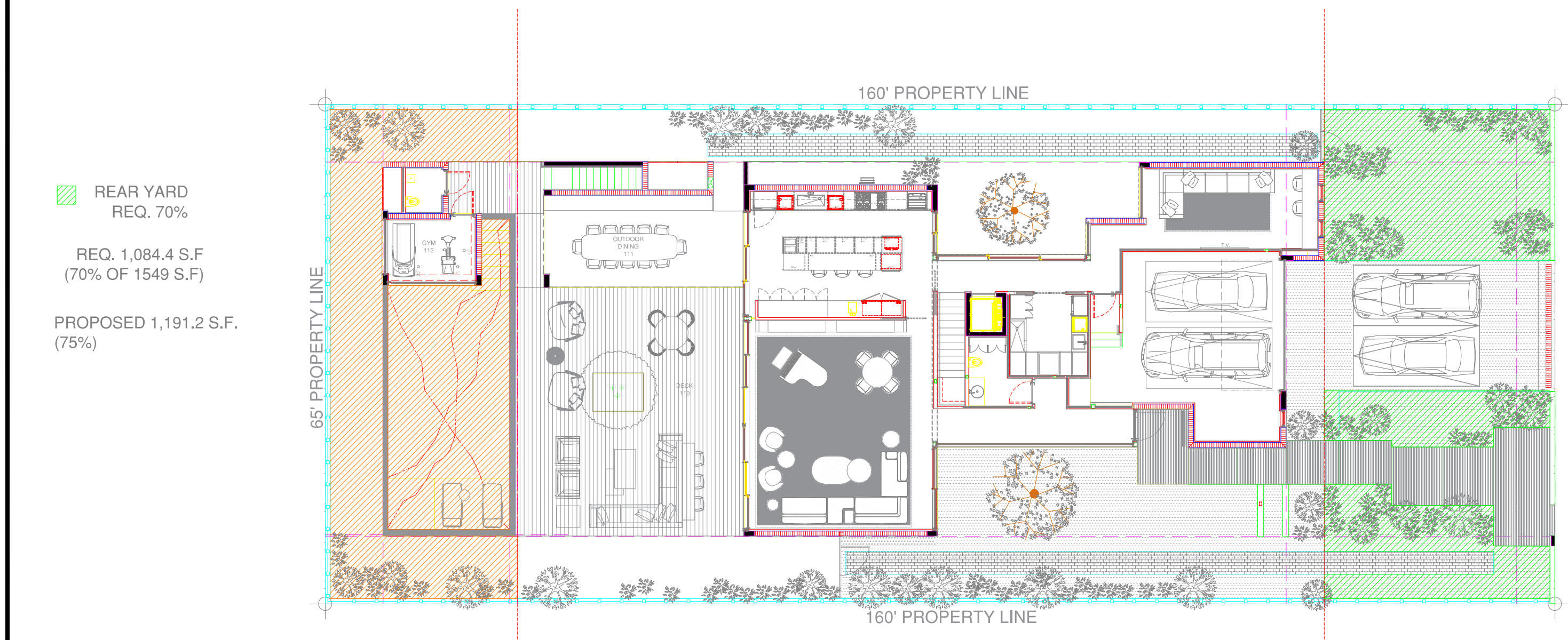


SECOND FLOOR UNIT
 SIZE 2,256.86 S.F.

MAX. UNIT SIZE 5,200 S.F.
 REQ. 50% OF LOT AREA
 (LOT AREA 10,400 S.F.)

TOTAL UNIT SIZE 4,734 S.F.
 (FIRST FLOOR+ SECOND
 FLOOR 2477.32 +2,256.86
 S.F.)

SECOND LEVEL UNIT SIZE DIAGRAM
 SCALE: N.T.S.



REAR YARD
 REQ. 70%

REQ. 1,084.4 S.F.
 (70% OF 1549 S.F.)

PROPOSED 1,191.2 S.F.
 (75%)

FRONT YARD
 REQ. 50%

REQ. 975 S.F.
 (50% OF 1,950 S.F.)

PROPOSED 1,039.65 S.F.
 (53%)

OPEN SPACE DIAGRAM
 SCALE: N.T.S.

Planning Department, 1700 Convention Center Drive
 Miami Beach, Florida 33139, www.miamibeachfl.gov
 305.673.7550

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Zoning Information
1	Address: 2444 PRAIRIE AVENUE, MIAMI BEACH FL, 33140
2	Folio number(s): 02-3227-006-0390
3	Board and file numbers : DRB21-0760
4	Year built: 1925 Zoning District: RS-3
5	Based Flood Elevation: 8 FT Grade value in NGVD: 3.38 FT
6	Adjusted grade (Flood+Grade/2): 5.96 FT Free board: 1 FT
7	Lot Area: 10,400 SF
8	Lot width: 65 FT Lot Depth: 160 FT
9	Max Lot Coverage SF and %: 3,120 SF (30%) Proposed Lot Coverage SF and %: 3,120 SF (30%)
10	Existing Lot Coverage SF and %: APPROX 2,500 SF Lot coverage deducted (garage-storage) SF: N/A
11	Front Yard Open Space SF and %: REQ. 975 SF (50% OF 1,950) Rear Yard Open Space SF and %: REQ. 1,092 SF (70% OF 1,560)
12	Max Unit Size SF and %: 5,200 SF (50%) Proposed Unit Size SF and %: 4,258 SF (41%)
13	Existing First Floor Unit Size: APPROX. 1962 SF Proposed First Floor Unit Size: 1,972 SF (20%)
14	Existing Second Floor Unit Size: 742 SF Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval): 2,286 SF (21%)
15	Proposed Second Floor Unit Size SF and % : 2,286 SF (21%)
16	Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):

	Required	Existing	Proposed	Deficiencies
17 Height:	24'		24'	
18 Setbacks:				
19 Front First level:	30'		30'	
20 Front Second level:			30'	
21 Side 1:	7.5'		7.5'	
22 Side 2 or (facing street):	7.5'		8.75' ZONING COMMENT #4	
23 Rear:	MIN 20 FT- MAX 50 FT		24' ZONING COMMENT #4	
24 Accessory Structure Side 1:	7.5'		7.5'	
25 Accessory Structure Side 2 or (facing street):	7.5'		42'	
26 Accessory Structure Rear:	7.5'		7.5' ZONING COMMENT #5	
26 Sum of Side yard :	16.25' ZONING COMMENT #5		16.25' ZONING COMMENT #5	
27 Located within a Local Historic District?			Yes or No	
28 Designated as an individual Historic Single Family Residence Site?			Yes or No	
29 Determined to be Architecturally Significant?			Yes or No	

Notes:
 If not applicable write N/A
 All other data information should be presented like the above format

Private Provider Services by:

 Private Provider Services
 305.501.4788
www.arcprivateprovider.com

Reviewed for Code Compliance with The Florida Building Code and all local amendments per Florida Statutes Section 553.791 by duly authorized representative in corresponding plans compliance affidavit

STATE OF FLORIDA

 Robert Schneckenberg
 2024.04.09
 14:56:30 -04'00'

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2444 PRAIRIE AVENUE, WEST
 MIAMI BEACH, FLORIDA 33140

SHAMOSH STUDIO
 2000 South Dixie Highway #203 | Miami, FL 33133
 Office: 305-441-2226

ZONING DATA
 SHEET TITLE
 DATE: 12-09-22
 SCALE: N.T.S.
 JOB NO.: 2021-21
 SHEET: A-2

REVISIONS	DATE
ZONING VARIANCE	03-26-24
PERMIT ISSUE	12-09-22
BID SET	
CONSTRUCTION SET	

2444 PRAIRIE AVENUE, WEST
MIAMI BEACH, FLORIDA 33140

ARCHITECTS, P.A.
2000 South Dixie Highway #2031 Miami, FL 33133
Office: 305-441-2226

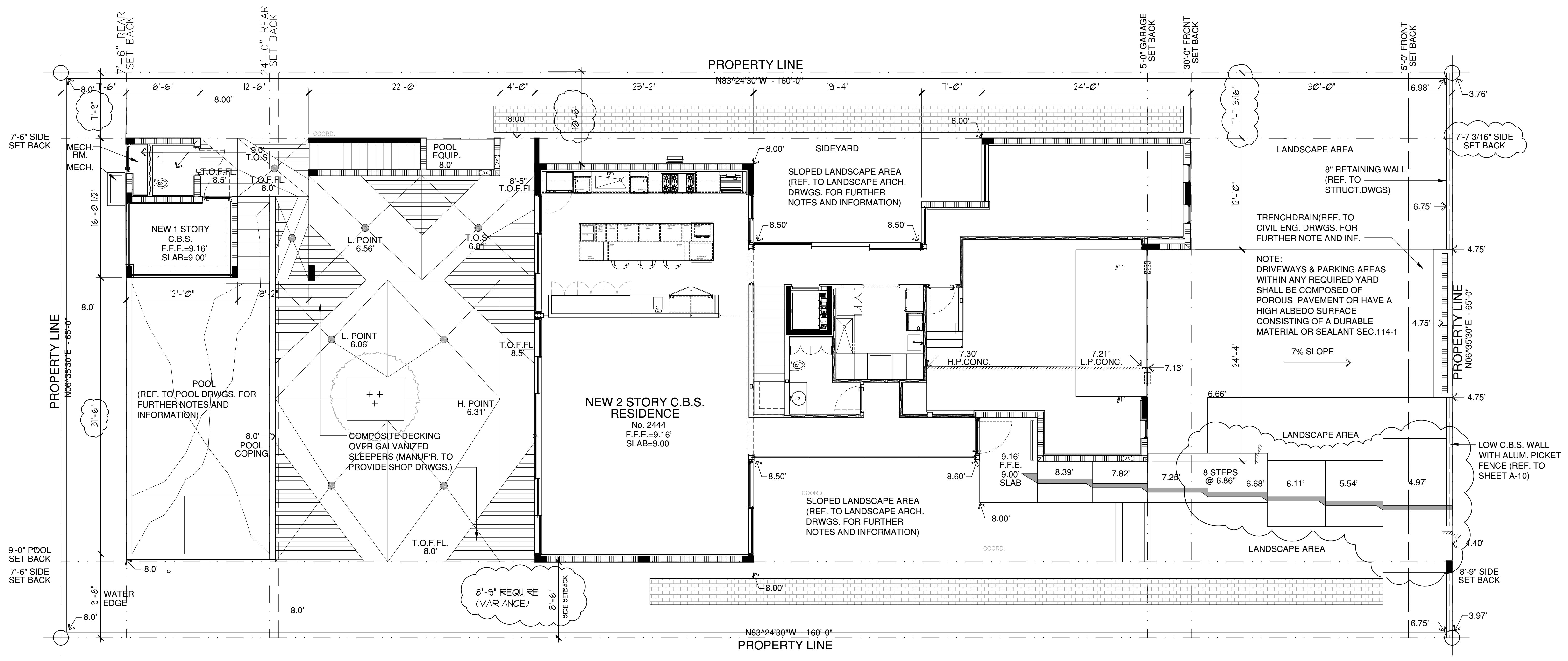
SHAMOSH
STUDIO

SHEET TITLE
SITE PLAN

DATE 12-09-22
SCALE 3/16" = 1'-0"
JOB NO. 2021-21
SHEET

A-4

OF SHEETS



SITE PLAN
SCALE: 3/16" = 1'-0"



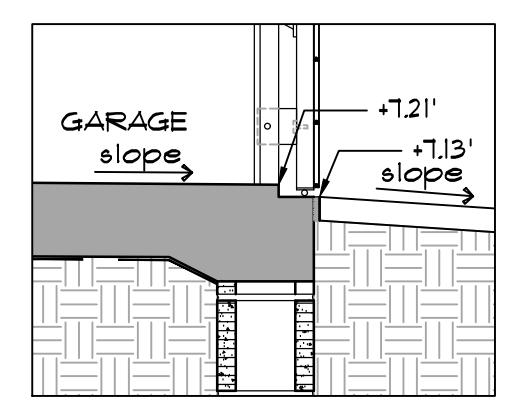
ZONING NOTE:
• PREVIOUSLY APPROVED UNDER BUILDING PERMIT BR2307664
• FINAL SUBMITTAL

FLOOD MANAGEMENT INFORMATION

A. FLOOD ZONE: AE
B. BASE FLOOD ELEVATION (BFE): 8.00' NGVD
C. DESIGN FLOOD ELEVATION (DFE): 9.00' NGVD
D. GARAGE TOP OF SLAB ELEVATION (LP): 7.21' NGVD
E. GARAGE TOP OF SLAB ELEVATION (HP): 7.30' NGVD
F. LOWEST TOS ELEVATION OF HABITABLE SPACE: 9.00' NGVD
G. NEXT HIGHER FLOOR ELEVATION: 21.03' NGVD
H. GYM/BATHROOM TOS ELEVATION: 9.00' NGVD
I. LOWEST GRADE ELEVATION ADJACENT TO THE BUILDING: 7.13' NGVD
J. HIGHEST GRADE ELEVATION ADJACENT TO THE BUILDING: 8.5' NGVD
K. LOWEST ELEVATION OF EQUIPMENT SERVICING THE BUILDING: 9.00' NGVD
L. CROWN OF ROAD ELEVATION: 3.62' NGVD
M. ADJUSTED GRADE ELEVATION: 5.96' NGVD
N. FIRM MAP NUMBER: 120860031TL

NB: Site is sloped from HP8.0' at back of property (West) to LP4.75' at front of property (East)

NB: Flood vent was removed from Mechanical Rm. (115) It is above Base Flood Elevation



GARAGE LP ELEV.
SCALE: 3/4" = 1'-0"

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S & E ARCHITECTS, INC.
AA26002332
ROBERT J. SCHNECKENBERG
ARO015487

2444 PRAIRIE AVENUE, WEST
 MIAMI BEACH, FLORIDA 33140

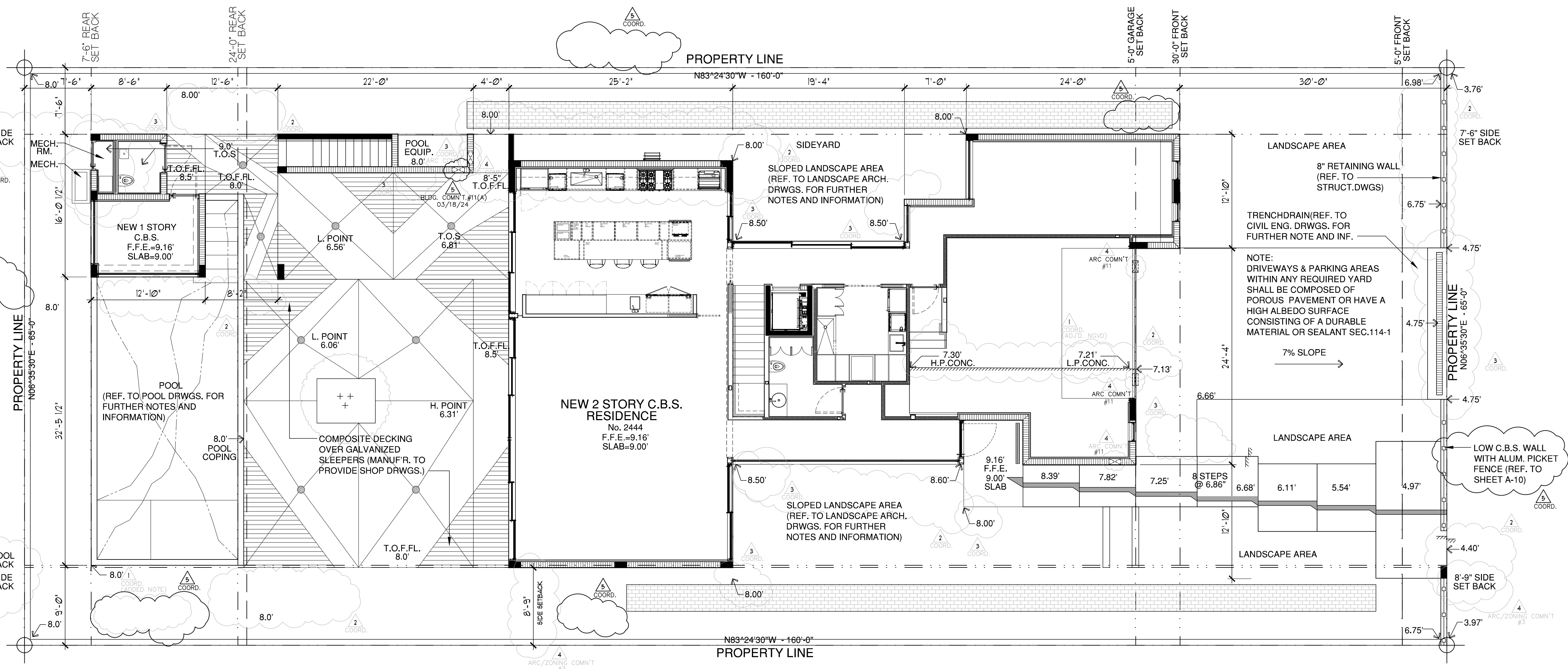
ARC CONSULTANTS
 2000 South Dixie Highway #203 | Miami, FL 33133
 Office: 305-441-2226

**SHAMOSH
 STUDIO**

SITE PLAN

DATE: 12-09-22
 SCALE: 3/16" = 1'-0"
 JOB NO.: 2021-21
 SHEET

A-4



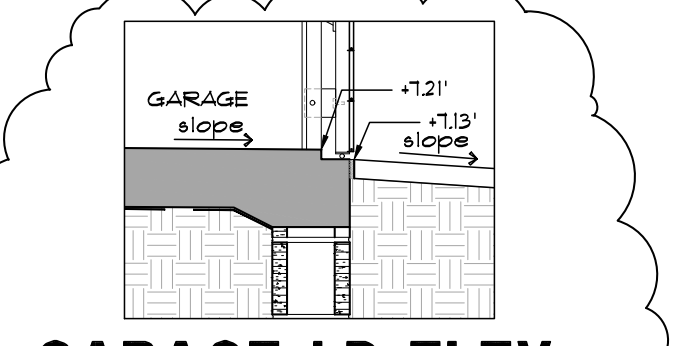
SITE PLAN
 SCALE: 3/16" = 1'-0"

FLOOD MANAGEMENT INFORMATION

A. FLOOD ZONE: AE
B. BASE FLOOD ELEVATION (BFE): 8.00' NGVD
C. DESIGN FLOOD ELEVATION (DFE): 9.00' NGVD
D. GARAGE TOP OF SLAB ELEVATION (LP): 1.21' NGVD BLDG. COMNT #4(D)-(E) 03/18/24
E. GARAGE TOP OF SLAB ELEVATION (HP): 1.30' NGVD
F. LOWEST TOS ELEVATION OF HABITABLE SPACE: 9.00' NGVD
G. NEXT HIGHER FLOOR ELEVATION: 21.83' NGVD
H. GYM/BATHROOM TOS ELEVATION: 4.00' NGVD
I. LOWEST GRADE ELEVATION ADJACENT TO THE BUILDING: 1.19' NGVD BLDG. COMNT #4(I) 03/18/24
J. HIGHEST GRADE ELEVATION ADJACENT TO THE BUILDING: 8.5' NGVD
K. LOWEST ELEVATION OF EQUIPMENT SERVICING THE BUILDING: 9.00' NGVD
L. GYM/BATHROOM TOS ELEVATION: 4.00' NGVD
M. CROWN OF ROAD ELEVATION: 3.62' NGVD
N. ADJUSTED GRADE ELEVATION: 5.76' NGVD
O. FIRM MAP NUMBER: 12086C0317L

NB: Site is sloped from HP8.0' at back of property (West) to LP4.75' at front of property (East)

NB: Flood vent was removed from Mechanical Rm. (115) It is above Base Flood Elevation



Private Provider Services by:

ARC
 Private Provider Services
 305.501.4788
www.arcprivateprovider.com

Reviewed for Code Compliance with The Florida Building Code and all local amendments per Florida Statutes Section 553.791 by duly educated representative in corresponding plans compliance affidavit

Robert Schneckenberg
 2024.04.09
 14:59:06 -04'00'

STATE OF FLORIDA
 REGISTERED ARCHITECT
 AR0015487

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REVISIONS	DATE
ZONING VARIANCE	03-26-20
PERMIT ISSUE	12-09-22
BID SET	
CONSTRUCTION SET	

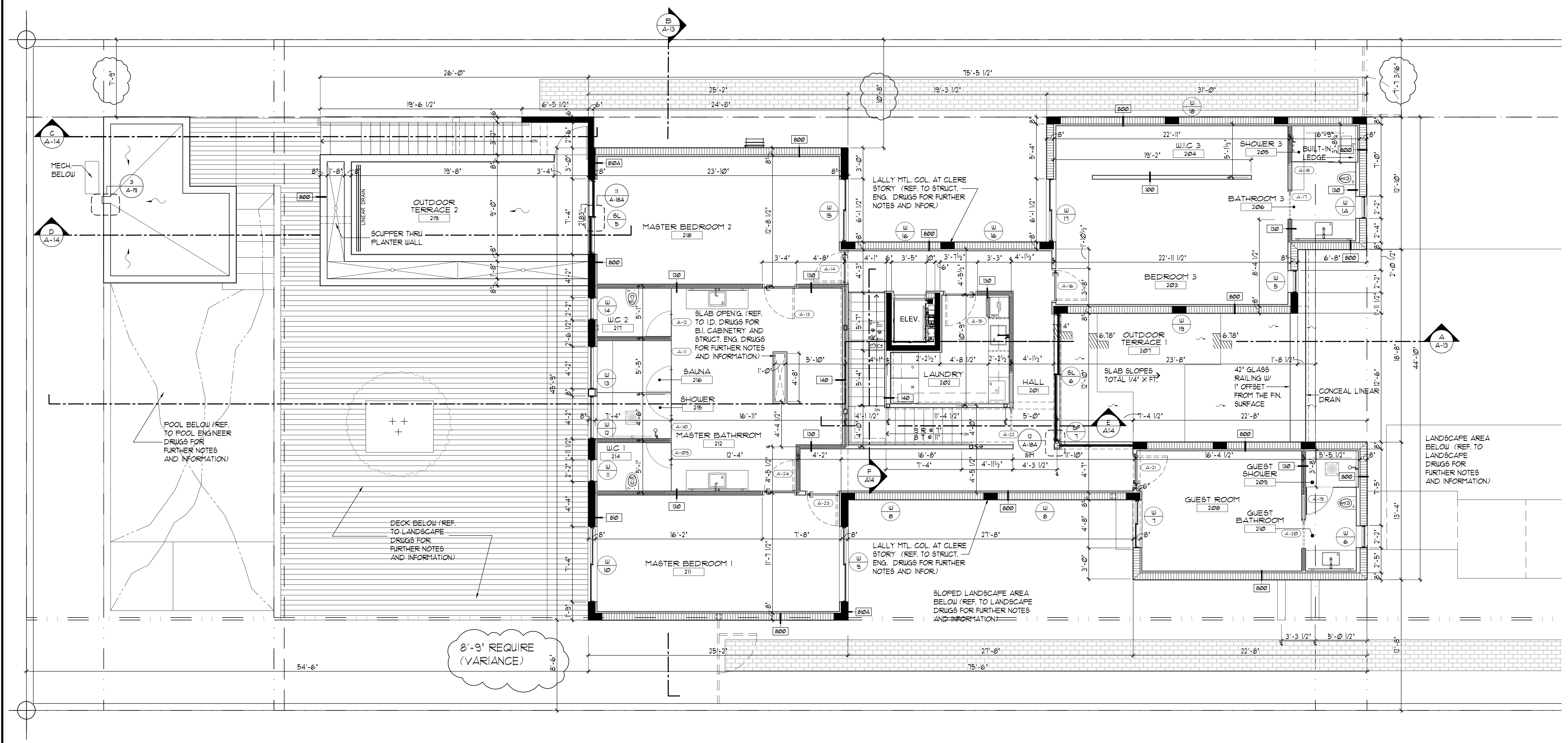
2444 PRAIRIE AVENUE, WEST
MIAMI BEACH, FLORIDA 33140

SHAMOSH STUDIO
ARCHITECTS, P.A.
2000 South Dixie Highway #2031 Miami, FL 33133
Office: 305-441-2226

SHAMOSH STUDIO

SECOND FLOOR PLAN

DATE: 12-09-22
SCALE: 1/4" = 1'-0"
JOB NO.: 2021-21
SHEET: A-6



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

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AA26002332
ROBERT J. SCHNECKENBERG
AR0015487