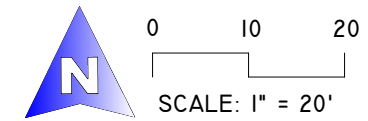
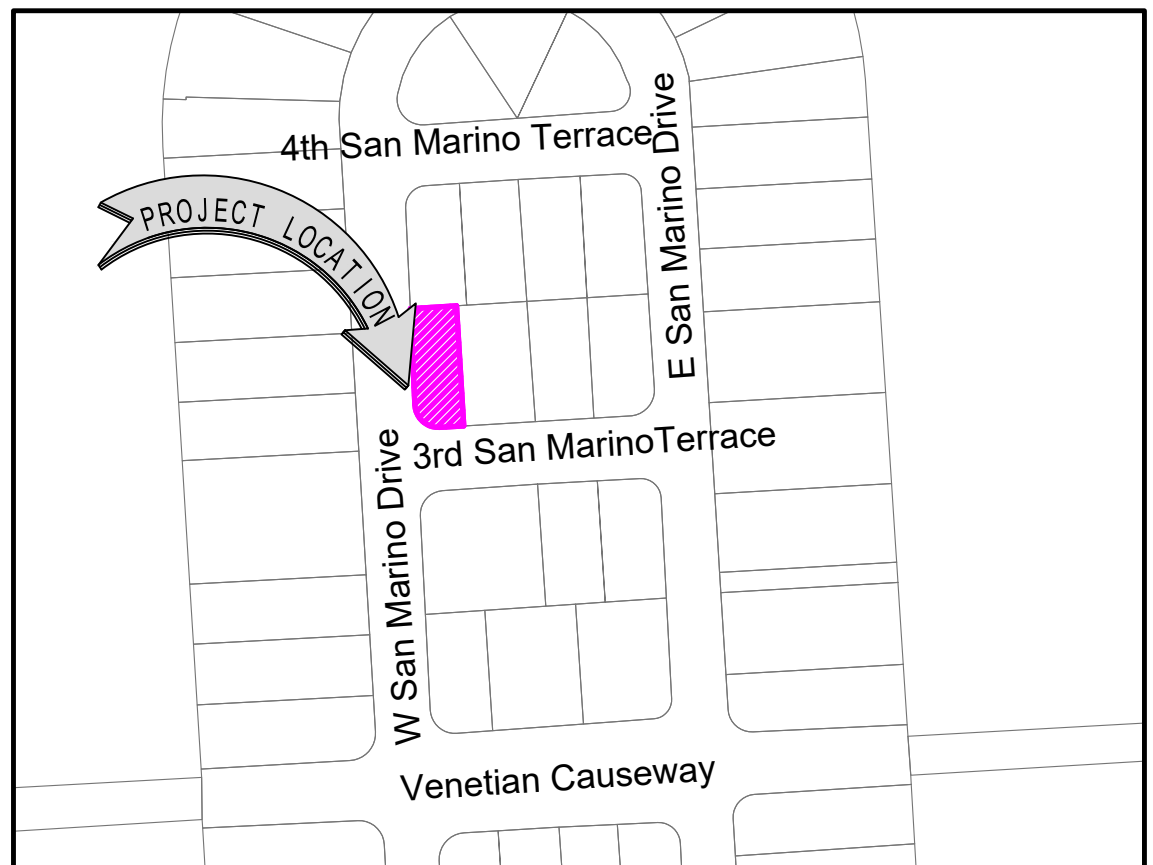


MAP OF BOUNDARY SURVEY

A PORTION OF THE SECTION 32, TOWNSHIP 53 SOUTH, RANGE 42, EAST,
CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA



LEGEND & ABBREVIATIONS	
[Symbol]	= CONCRETE (CONC.)
[Symbol]	= CONCRETE BLOCK WALL
[Symbol]	= WOOD DECK
[Symbol]	= COVERED AREA
[Symbol]	= ASPHALT
[Symbol]	= TILE
[Symbol]	= PAVERS
[Symbol]	= STONE
[Symbol]	= CHAIN LINK FENCE (CLF)
[Symbol]	= WOOD FENCE (WF)
[Symbol]	= IRON METAL BARS FENCE (IF)
[Symbol]	= OVERHEAD WIRES
[Symbol]	= WATER VALVE (WV)
[Symbol]	= POWER POLE (PP)
[Symbol]	= GUY ANCHOR
[Symbol]	= WATER METER (WM)
[Symbol]	= CONC. LIGHT POLE (LP)
[Symbol]	= WELL
[Symbol]	= STREET SIGN
[Symbol]	= SANITARY MANHOLE
[Symbol]	= DRAINAGE MANHOLE
[Symbol]	= MANHOLE
[Symbol]	= FIRE HYDRANT
[Symbol]	= CABLE BOX (CATV)
[Symbol]	= FPL TRANSFORMER
[Symbol]	= CATCH BASIN OR INLET
[Symbol]	= EXISTING ELEVATION
[Symbol]	= PERMANENT REFERENCE MONUMENT (PRM)
[Symbol]	= PROPERTY CORNER
[Symbol]	= PERMANENT CONTROL POINT (PCP)
PT	= POINT OF TANGENCY
PC	= POINT OF CURVATURE
PCC	= POINT OF COMPOUND CURVE
PRC	= POINT OF REVERSE CURVE
BM	= BENCH MARK
BR	= BEARING REFERENCE
TBM	= TEMPORARY BENCH MARK
PL	= PROPERTY LINE
CL	= CENTER LINE
ML	= MONUMENT LINE
BL	= BASE LINE
MEAS	= FIELD MEASURED
PSM	= PER PLAT
PRM	= PROFESSIONAL SURVEYOR AND MAPPER
A/C	= AIR CONDITIONER PAD
ENCR	= ENCROACHMENT
FF ELEV	= FINISHED FLOOR ELEVATION
(XX-XX)	= DENOTES PLAT BOOK XX - PAGE XX
ORB	= OFFICIAL RECORD BOOK
CBS	= CONCRETE BLOCK STRUCTURE
R/W	= RIGHT OF WAY
ELEV	= ELEVATION
SEC	= SECTION
T	= TOWNSHIP
R	= RANGE
CALC	= CALCULATED
(R)	= RECORD

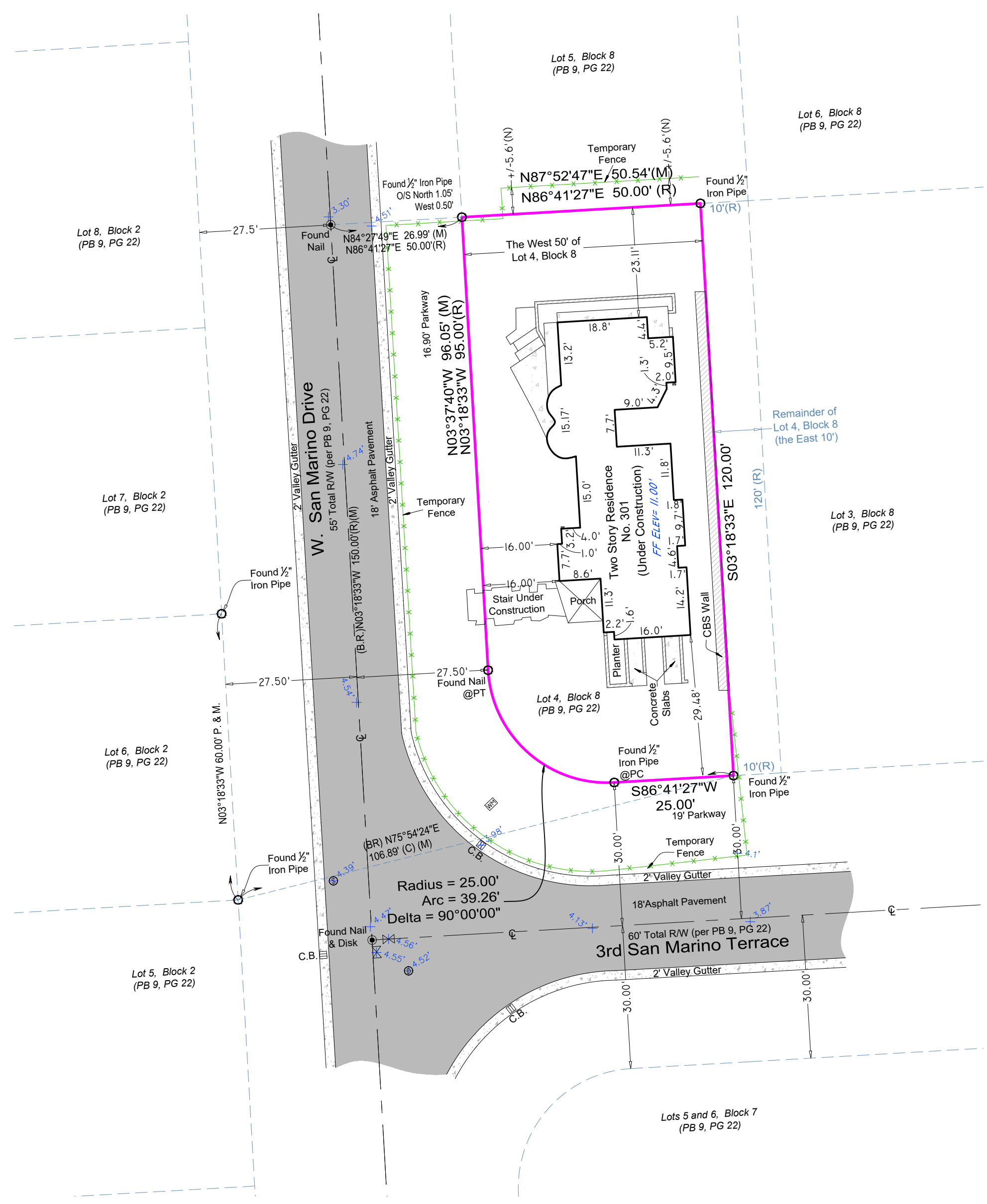


LOCATION MAP
Not to Scale

LEGAL DESCRIPTION:
The West 50 feet of Lot 4, Block 8, **SAN MARINO**, according to the plat thereof, as recorded Plat Book 9, Page 22, of the Public Records of Miami-Dade County, Florida.

SURVEYOR'S REPORT AND GENERAL NOTES
(Not valid without the attached Survey Map)

- Legal Description has been obtained from Public Records.
- References to "Deed", "Record" or "Plat" refer to documents and instruments of record as part of the pertinent information used for this survey work. Measured distances, directions and angles along boundary lines are in consistency with corresponding values from records, unless otherwise shown.
- These lands are subject to additional restrictions of record that were not furnished to the undersigning registered surveyor. A title search has not been performed by the surveyor.
- North arrow direction is based on an assumed Meridian. Bearings are based on an assumed meridian on a well-established line, said line is being noted as BR on the Survey Map.
- Only above ground improvements are shown herein. Foundations, underground features and utilities have not been located.
- Survey markers found in the field have no identification unless otherwise shown. Any survey marker set by our company is labeled LB 7262 or PSM 6169.
- Fence ownership has not been determined. Distances from existing fences to boundary lines are approximate. Fence/walls width and conditions must be considered to determine true location. Lands located beyond perimeter fences might or might not be being used by adjoining. Adjoining parcels have not been investigated.
- This Survey Map is intended to be displayed at the scale shown hereon. Data is expressed in U.S. Survey Foot.
- This Survey Map is being prepared for the use of the party/parties that it is certified to and does not extend to any unnamed individual, entity or assignee.
- FLOODPLAIN INFORMATION:** As scaled from Federal Insurance Rate Map (FIRM) of Community No. 120651 (City of Miami Beach), Panel 0316, Suffix L, revised on Sept 11th, 2009, this real property falls in Zone "AE" with Base Flood Elevation 9 feet (NGVD 1929)
- HORIZONTAL ACCURACY:** The accuracy obtained thru redundant measurements and calculations resulted from field occupation of survey points and control monuments, has been found satisfactory for the expected use of and the type of survey produced herein.
- VERTICAL CONTROL AND ACCURACY:** The elevations as shown are referred to the National Geodetic Vertical Datum of 1929 (NGVD 1929). The closure in feet, as computed, meets the standard of plus or minus 0.05 feet times the squared root of the loop distance in miles. Elevation are based on a level loop from and to the following official Bench Marks:
Bench Mark # 1: Miami-Dade County Public Works Department Bench Mark D-173, Elevation = 7.60 feet
Description: PK Nail and brass washer in concrete sidewalk at ne corner.
Location: 19' North of c/l of Venetian Causeway and West bridge of San Marino Island.
Bench Mark # 2: Miami-Dade County Public Works Department Bench Mark D-172, Elevation = 7.79 feet
Description: PK Nail and brass washer in concrete sidewalk at SW corner.
Location: 18' South of c/l of Venetian Causeway and East bridge of San Marino Island.



I HEREBY CERTIFY TO:
PC RE Development LLC.
That this Survey conforms to the Standards of Practice as set forth by the Florida Board of Professional Surveyors and Mappers in applicable provisions of Chapter 5J-17, Florida Administrative Code pursuant to Section 472.027 Florida Statutes. This Survey is accurate and correct to the best of my knowledge and belief.

Digitally signed by Odalys C Bello
DN: c=US, o=Bello and Bello Land Surveying Corp., dnQualifier=A01410C000001884E
3B67B800DD40A, cn=Odalys C Bello

Odalys C. Bello-Iznaga
Professional Surveyor and Mapper LS6169 - State of Florida
Field Work Date: 02/17/2026

Additions and deletions to this Survey Map are prohibited. This Survey Map and Report are not valid without the signature and original raised seal or without the authenticated electronic signature and seal of the undersigning Florida licensed Surveyor and Mapper.

Property Address:
301 West San Marino Drive, Miami Beach, FL 33139
Project No. 25475 D.B.: IC Page 1 of 1

BELLO & BELLO LAND SURVEYING
LB#7262
12230 SW 131st AVENUE MIAMI FL 33186
P: 305.251.9806 • P: 305.220-2424
e-mail: info@belloland.com • www.belloland.com

