

PROPOSED COVER SHEET DRB26-1167



PROJECT LOCATION 

CORREDOR RESIDENCE

301 W SAN MARINO DR
MIAMI BEACH, FL. 33139

ZUBILLAGA DESIGN INC.

200 CRANDON BLVD. STE. 326
KEY BISCAIYNE, FL 33149

ADDITIONAL NOTES

- THESE PLANS COMPLY WITH THE FLORIDA BUILDING CODE 2020 EDITION.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND ANGLES AND ALL OTHER EXISTING CONDITIONS PRIOR TO COMMENCING ANY WORK. CONTRACTOR TO ALSO VERIFY AND APPROVE ALL INFORMATION ON DRAWINGS. ACCEPTANCE OF THESE PLANS CONSTITUTES APPROVAL. PLEASE NOTIFY ARCHITECT BY CERTIFIED MAIL OF ANY CONFLICTS OR DISCREPANCIES, IF ANY. DO NOT SCALE DRAWING.
- THE CONTRACTOR SHALL FURNISH AND BE SOLELY RESPONSIBLE FOR ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN PLUMPNESS AND STABILITY OF ALL STRUCTURAL ELEMENTS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN FROM ALL SUBCONTRACTORS THE FINAL APPROVED SITE AND LOCATION OF ALL OPENINGS TO BE PROVIDED FOR RESPECTIVE TRADES. HE SHALL BE RESPONSIBLE FOR LOCATION AND DETAILS.
- CONTRACTOR/OWNER SHALL NOTIFY ARCHITECT IN WRITING, BY CERTIFIED MAIL UPON COMMENCEMENT PROJECT.
- ALL WORK PERFORMED FOR THIS PROJECT SHALL COMPLY WITH ALL NATIONAL, STATE AND LOCAL CODES HAVING JURISDICTION, THE CURRENT FLORIDA BUILDING CODE 2020.

GENERAL PROJECT INFORMATION

SCOPE OF WORK	NEW 2 STORY RESIDENCE		
OCCUPANCY	RESIDENTIAL	GROUP CLASSIFICATION	RESIDENTIAL GROUP R-3 (FBC 310.5)
SCOPE	YEAR/CODE	AUTHORITY	
BUILDING	2020 - FLORIDA BUILDING CODE 7TH EDITION - BUILDING	CITY OF MIAMI BEACH	
EXISTING BUILDING	2020 - FLORIDA BUILDING CODE 7TH EDITION - EXISTING BUILDING	CITY OF MIAMI BEACH	
ELECTRICAL	2020 - FLORIDA BUILDING CODE 7TH EDITION - ELECTRICAL	CITY OF MIAMI BEACH	
PLUMBING	2020 - FLORIDA BUILDING CODE 7TH EDITION - PLUMBING	CITY OF MIAMI BEACH	
MECHANICAL	2020 - FLORIDA BUILDING CODE 7TH EDITION - MECHANICAL	CITY OF MIAMI BEACH	
ZONING	CITY OF MIAMI BEACH CODE OF ORDINANCES	CITY OF MIAMI BEACH	
FLOOD	CITY OF MIAMI BEACH FLOOD HAZARD INFORMATION	CITY OF MIAMI BEACH	

FINAL SUBMITTAL DRB26-1167

GENERAL NOTES TO COMPLY WITH FBC 2020:

- THE GENERAL NOTES AND CONSTRUCTION DOCUMENTS HERewith SHALL APPLY TO THE WORK OF THIS PROJECT. AND SHALL BE CAREFULLY REVIEWED BY THE GENERAL CONTRACTOR AND ALL HIS SUBCONTRACTORS. THE GENERAL CONTRACTOR SHALL COORDINATE EACH SUBCONTRACTORS' WORK WITH OTHER SUBCONTRACTORS' WORK ASSOCIATED WITH THIS PROJECT.
- THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL CARRY WORKMEN COMPENSATION INSURANCE IN STATUTORY AMOUNTS AS REQUIRED BY LAW. TO THE FULLEST EXTENT PERMITTED BY LAW, THE GENERAL CONTRACTOR AND ALL OF HIS SUBCONTRACTORS SHALL INDEMNIFY & HOLD HARMLESS THE OWNER, ARCHITECT AND HIS CONSULTING ENGINEERS AND THEIR AGENTS AND EMPLOYEES FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES RESULTING FROM THE PERFORMANCE OF THE WORK ASSOCIATED WITH THIS PROJECT.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL EXISTING CONDITIONS & DIMENSIONS AT THE JOBSITE. THE GENERAL CONTRACTOR SHALL COORDINATE ACTUAL FIELD CONDITIONS WITH THE WORK SPECIFIED IN THE CONSTRUCTION DOCUMENTS PRIOR TO BIDDING AND ANY CONSTRUCTION, AND NOTIFY THE ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES ARE ENCOUNTERED. BY SUBMISSION OF A BID FOR CONSTRUCTION, THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS ACKNOWLEDGE PERFORMING THE ABOVE INSPECTION, AND INCLUDE IN HIS PROPOSAL ALL COSTS AND/OR FEES PERTAINING TO THE COMPLETION OF THE PROJECT AS INTENDED IN THE BIDDING CONSTRUCTION DOCUMENT SET AND ANY ADDENDA. THESE COSTS MIGHT INCLUDE, BUT ARE NOT LIMITED TO THE REMOVAL, RELOCATION, AND/OR REPAIR OF ANY EXISTING OBJECTS OR OBSTRUCTIONS WHICH MAY BE ENCOUNTERED IN PERFORMANCE.
- ALL WORK PERFORMED FOR THIS PROJECT SHALL COMPLY WITH ALL NATIONAL, STATE AND LOCAL CODES HAVING JURISDICTION, THE CURRENT FLORIDA BUILDING CODE 2020, AND WITH THE REQUIREMENTS OF THE UTILITY COMPANIES WHOSE SERVICES SHALL BE UTILIZED. ALL MODIFICATIONS REQUIRED BY THE BUILDING DEPARTMENT SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER & ARCHITECT PRIOR TO, OR AT THE TIME OF PERMITTING. ANY REQUIRED CHANGES SHALL BE SHOWN, AS DETERMINED BY THE ARCHITECT, ON REVISED DRAWINGS ISSUED TO THE GENERAL CONTRACTOR. ANY ADJUSTMENTS TO CONSTRUCTION FEES SHALL TAKE PLACE AT THIS TIME, AND BE SUBMITTED FOR APPROVAL OF THE ARCHITECT AND OWNER.
- THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL MAKE ARRANGEMENTS FOR, OBTAIN, AND PAY FOR ALL PERMITS, TESTS, INSPECTIONS, AND APPROVALS REQUIRED OR HIS
- THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER & ARCHITECT OF ALL MANDATORY BUILDING INSPECTIONS REQUIRED BY THE BUILDING DEPARTMENT TO BE MADE BY THE ARCHITECT OR ANY OF HIS ENGINEERS UPON ISSUANCE OF THE PERMIT. THE GENERAL CONTRACTOR MUST CONTACT THE OWNER & ARCHITECT PRIOR TO SCHEDULING THE INSPECTION WITH THE BUILDING OFFICIAL SO THAT THE ENGINEER CAN CONDUCT THE SAME INSPECTION AND INITIAL THE INSPECTION LOG AS REQUIRED BY THE F.B.C. 2020 ED.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS MUST BE AWARE OF ALL COMMENTS AND NOTES MADE BY THE BUILDING OFFICIAL UPON THE FINAL PERMITTED JOBSITE SET OF CONSTRUCTION DOCUMENTS, AND SHALL INCORPORATE ALL INFORMATION WITHIN THE APPLICABLE CONTRACTORS' SCOPE OF WORK. IT SHALL, AS WELL, BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO KEEP AN AS-BUILT SET OF CONSTRUCTION DOCUMENTS, AND TO NOTIFY THE OWNER & ARCHITECT OF ANY AND ALL CHANGES MADE DUE TO FIELD DIRECTIVES BY THE BUILDING INSPECTORS. UPON SUBSTANTIAL COMPLETION OF THE PROJECT, THE GENERAL CONTRACTOR SHALL DELIVER THE AS-BUILT SET OF CONSTRUCTION DOCUMENTS TO THE ARCHITECT, WITH ALL AUTHORIZED FIELD CHANGES VERY CLEARLY INDICATED IN RED INK OR PENCIL.
- THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR VERIFYING THE REQUIRED GRADE AND FINISHED FLOOR ELEVATIONS WITH RESPECT TO APPLICABLE COUNTY FLOOR CRITERIA, FEDERAL FLOOD CRITERIA, EXISTING CROWN OF ROAD ELEVATIONS, AND APPLICABLE GOVERNING AGENCY. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY CONFLICTS OR DISCREPANCIES.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE INDIVIDUALLY RESPONSIBLE FOR THE PROTECTION OF BUILDING OCCUPANTS FROM ALL HAZARDS ASSOCIATED WITH HIS PARTICULAR WORK. THE CONTRACTOR SHALL PROVIDE, INSTALL, AND MAINTAIN ALL BARRICADES, BARRIERS, AND DUST CONTROL SYSTEMS NECESSARY TO PROTECT THE HEALTH AND SAFETY OF THE BUILDING OCCUPANTS, AND TO KEEP THE BUILDING WATERTIGHT.
- WRITTEN DIMENSIONS AND NOTES ARE TYPICAL FOR ALL SIMILAR CONDITIONS, UNLESS OTHERWISE SPECIFIED IN THE CONSTRUCTION DOCUMENTS. DO NOT SCALE DRAWINGS. IF REQUIRED DIMENSIONS OR NOTES ARE NOT INDICATED, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR RESOLUTION.
- THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ANY CUTTING, FITTING, AND PATCHING THAT MAY BE REQUIRED TO PROPERLY COMPLETE THE WORK OF HIS CONTRACT. NO CONTRACTOR SHALL ENDANGER THE WORK OF ANY OTHER CONTRACTOR. ANY FEES/COSTS INCURRED TO REPAIR DEFECTIVE OR LIMITED WORK SHALL BE BORNE BY THE SUBCONTRACTOR RESPONSIBLE THEREFORE.
- THE GENERAL CONTRACTOR SHALL SUBMIT PRODUCT APPROVALS, SHOP DRAWINGS, SAMPLES, AND EQUIPMENT SPECIFICATION SHEETS AS CALLED FOR IN THE CONSTRUCTION DOCUMENTS INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING: PRECAST CONCRETE, PREFABRICATED STAIRS, RAILINGS, WINDOWS, DOORS, GLASS BLOCK, STORM SHUTTERS, ELECTRICAL AND AIR CONDITIONING EQUIPMENT, APPLIANCES, PLUMBING FIXTURES, CABINETRY, AND FINISHES. ALL SUBMITTALS SHALL BE DELIVERED TO THE OWNER SUFFICIENTLY IN ADVANCE TO ALLOW FOR REVIEW. PROCUREMENT AND/OR FABRICATION SHALL NOT COMMENCE UNTIL SUBMITTALS ARE REVIEWED AND APPROVED BY THE OWNER, ARCHITECT, AND/OR ENGINEER.
- ALL REQUIRED LAB TESTS PERTAINING TO THE PROJECT SHALL BE PERFORMED AT THE SOLE EXPENSE OF THE GENERAL CONTRACTOR, AND BY A LICENSED TESTING LABORATORY UNDER THE SUPERVISION OF A FLORIDA REGISTERED ENGINEER. TEST RESULTS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS APPROVAL EACH TIME A TEST IS COMPLETED.
- THE GENERAL CONTRACTOR AND ALL APPLICABLE SUBCONTRACTORS SHALL FURNISH AND BE SOLELY RESPONSIBLE FOR ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN THE PLUMPNESS AND STABILITY OF STRUCTURAL ELEMENTS. THIS SHALL APPLY EVEN TO THOSE STRUCTURAL MEMBERS NOT INDICATED IN THE CONSTRUCTION DOCUMENTS.
- AFTER COMPLETION OF CONSTRUCTION ON A DAILY BASIS, ALL WORK AREAS SHALL BE LEFT CLEAN AND FREE OF ANY JOINT COMPOUND, PLASTER, STUCCO, PAINT SMEARS OR SPLATTERS, AND THE BUILDING IS TO BE BROOM CLEANED.
- ALL WORK SPECIFIED IN THE CONSTRUCTION DOCUMENTS, AND PERFORMED BY THE GENERAL CONTRACTOR OR HIS SUBCONTRACTORS, SHALL BE GIVEN A ONE (1) YEAR WARRANTY FROM THE DATE OF THE CITY OR COUNTY'S FINAL INSPECTION, AND WITH THE OWNER'S APPROVAL OF SATISFACTION. DURING THIS PERIOD, THE CONTRACTOR AGREES TO REPAIR AND/OR REPLACE, AS NECESSARY, ANY WORK PERFORMED UNDER HIS CONTRACT WHICH IS DEFECTIVE OR DAMAGED DUE TO CIRCUMSTANCES ASSOCIATED WITH THE WORKMANSHIP OF THE GENERAL CONTRACTOR'S WORK FORCE, OR THAT OF HIS SUBCONTRACTORS.
- THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF CONSTRUCTION AND REMAIN THE PROPERTY OF THE ARCHITECT. ANY REPRODUCTION OF SAID DRAWINGS, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT, IS STRICTLY PROHIBITED BY COPYRIGHT PROTECTION LAWS.
- THE GENERAL CONTRACTOR SHALL PROVIDE THE OWNER WITH SIGNED, PARTIAL RELEASE OF LIENS IN ACCURATE DOLLAR AMOUNTS FROM ALL SUPPLIERS, SUBCONTRACTORS AND CONTRACTORS PRIOR TO RECEIVING DRAW PAYMENTS, WITH FINAL RELEASES OF LIENS IN FULL DOLLAR AMOUNTS PRIOR TO RECEIVING FINAL PAYMENT.
- THE GENERAL CONTRACTOR SHALL PROVIDE THE OWNER WITH A SCHEDULE OF VALUES FOR ALL SEGMENTS OF THE WORK, AND A PROJECT SCHEDULE IN THE FORM OF A FLOWSHEET OR BAR GRAPH. THE SCHEDULE OF VALUES SHALL BE THE ESTABLISHED "100% COMPLETE" DOLLAR AMOUNTS TO BE USED IN ALL PAYMENT REQUISITIONS.
- THE GENERAL CONTRACTOR MAY NOT SUBSTITUTE ANY MATERIALS SPECIFIED IN THE CONSTRUCTION DOCUMENTS WITHOUT THE WRITTEN CONSENT OF THE OWNER & ARCHITECT.
- THE GENERAL CONTRACTOR SHALL MAINTAIN ALL APPLICABLE INSURANCE POLICIES FOR THE DURATION OF THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH PROOF OF RENEWAL AS OF THE DAY OF RENEWAL OF PREVIOUS POLICIES BEFORE ANY ADDITIONAL PAYMENTS WILL BE MADE BY THE OWNER.

SHOP DRAWINGS

ALL SHOP DRAWINGS SHALL BE THOROUGHLY CHECKED BY THE GENERAL CONTRACTOR AND APPLICABLE SUBCONTRACTOR, AND SHALL BEAR CHECKER'S SIGNATURE BEFORE BEING SUBMITTED TO THE OWNER FOR APPROVAL. WHEN REVIEWED BY THE ARCHITECT OR ENGINEER ON BEHALF OF THE OWNER, SUCH REVIEW SHALL BE FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH INFORMATION GIVEN AND THE DESIGN CONCEPT EXPRESSED IN THE CONSTRUCTION DOCUMENTS. APPROVAL WILL NOT RELIEVE THE GENERAL CONTRACTOR AND APPLICABLE SUBCONTRACTOR OF THEIR RESPONSIBILITY FOR QUANTITY, FIT, DIMENSIONS, MEANS, SEQUENCES, METHODS, AND PROCEDURES, NOR FOR ANY DEVIATION FROM THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS.

THE GENERAL CONTRACTOR SHALL SUBMIT A MIN. OF 5 COPIES OF ALL SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO COMMENCING FABRICATION. ALL SHOP DRAWINGS, ONCE REVIEWED BY THE ARCHITECT OR ENGINEER, SHALL BEAR THE SIGNATURE OF THE ARCHITECT OR ENGINEER, AND SHALL INDICATE WHAT ACTION SHOULD BE TAKEN BY THE CONTRACTOR, APPROVED AS NOTED, OR NOT APPROVED AND RESUBMIT. SHOP DRAWINGS AND ANY MARK-UPS AND/OR NOTES MADE BY THE ARCHITECT OR ENGINEER SHALL BE THOROUGHLY REVIEWED BY THE GENERAL CONTRACTOR. IN THE EVENT THE GENERAL CONTRACTOR IS UNCLEAR WITH ANY OF THE MARK-UPS OR NOTES, HE SHALL CONTACT THE ARCHITECT OR ENGINEER AT ONCE FOR CLARIFICATION. NO CHANGES OR DEVIATIONS SHALL BE MADE UNDER ANY CIRCUMSTANCES WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT OR ENGINEER.

ITEMS UNDER SEPARATE SUB-PERMITTS:

- WINDOWS/DOORS
- ROOFING/WATERPROOFING
- POOL
- RAILINGS/FENCES
- PRE-FAB. STAIRS
- POND
- TRELLIS
- SKYLIGHT

ZD
Zubillaga
DESIGN
200 CRANDON
BLVD. SUITE 314
KEY BISCAIYNE,
FLORIDA . 33149
TEL. 305-365-1284

ARCHITECTURE
CERTIFICATION
No. AA0003002

PROJECT: NEW 2 STORY RESIDENCE
CORREDOR RESIDENCE
301 W SAN MARINO DR
MIAMI BEACH, FL, 33139

DATE: 05/11/2026

REVISIONS:

SCALE: AS NOTED

BY: C.R.

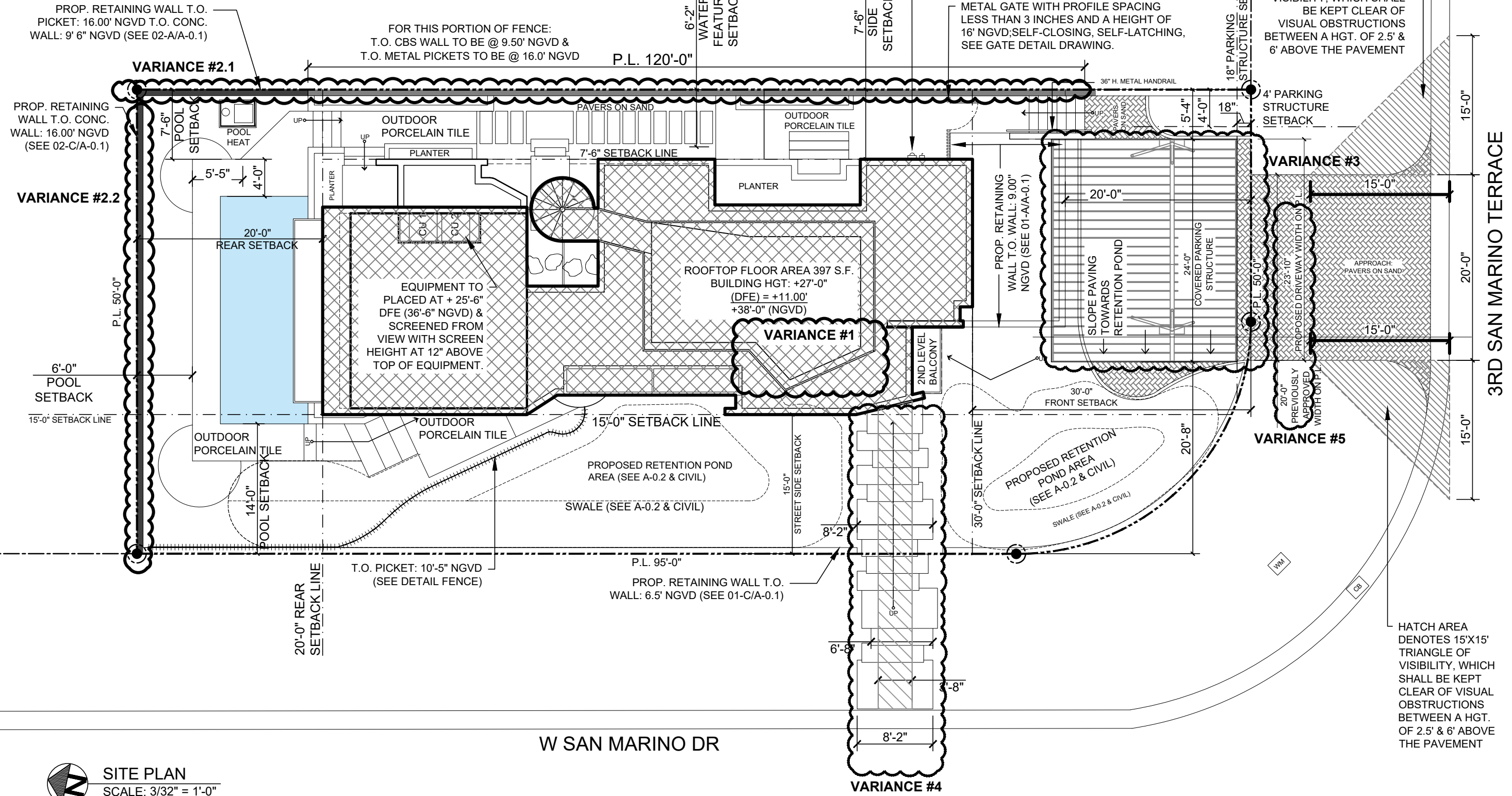
JUAN J. ZUBILLAGA
REG. ARCHITECT
AR 14147

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COVER

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PROPOSED SITE PLAN DRB26-1167



SITE PLAN
SCALE: 3/32" = 1'-0"

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Zubillaga
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SITE PLAN

PAGE #:
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PROPOSED DRB26-1167



Planning Department
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY FAIL THE REVIEW

ITEM #	Project Information				
1	Address:	301 W San Marino Dr, Miami Beach, FL. 33139			
2	Folio number(s):	02-3232-003-0840			
3	Board and file number(s) :	DRB26-1167			
4	Year built: N/A	Zoning District:	RS-4		
5	Located within a Local Historic District (Yes or No):	NO			
6	Individual Historic Single Family Residence Site (Yes or No):	NO			
7	Home determined Architecturally Significant by CMB (Yes or No):	NO			
8	Base Flood Elevation:	9.00' NGVD	Grade value in NGVD:	4.00' NGVD	
9	Adjusted grade (Flood+Grade/2):	6.50' NGVD	Free board:	11.00' NGVD	
10	30" above grade:	9.00' NGVD	Lot Area:	5,868 SF	
11	Lot width:	50'-0"	Lot Depth:	120'-0"	
12	Max Lot Coverage SF and %:	30% 1,760 SF	Proposed Lot Coverage SF and %:	27.68% 1,624 SF	
13	Existing Lot Coverage SF and %:	N/A	Net Lot coverage (garage-storage)	1,624 SF	
14	Front Yard Open Space SF and %:	58.16% 795 SF	Rear Yard Open Space SF and %:	70.20% 702 SF	
15	Max Unit Size SF and %:	50% 2,934 SF	Proposed Unit Size SF and %:	49.09% 2,880 SF	
16	Existing First Floor Unit Size:	N/A	Proposed First Floor Unit Size:	24.23% 1,422 SF	
17	Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	21.97% 339 SF	AREA ENCLOSE BELOW = 1,543 SF (25% 385 sf)		
18	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan).	Yes or No:	YES		
ZONING INFORMATION / CALCULATION		Required	Existing	Proposed	Deficiencies
19	Height measured from B.F.E. plus freeboard	27'-0"	N/A	27'-0"	
20	Front Setbacks:	30'-0"	N/A	30'-0"	
	Front First level:	30'-0"	N/A	30'-0"	
	Front second level:	30'-0"	N/A	30'-0"	
21	Front second level if lot coverage is 25% or greater:	N/A			
	a) At least 35% of the front façade shall be setback 5' from the minimum required setback.	35' - 0"	N/A	N/A	
	b) At least 50% of the second floor along a side elevation facing a street shall be setback 5' from the minimum required setback.	20'-0"	N/A	N/A	
22	Sum of side yard :				
23	Side 1:	7'-6"	N/A	7'-6"	
24	Side 2 or (facing street):	15'-0"	N/A	15'-0"	
25	Rear:	20'-0"	N/A	20'-0"	
26	Accessory Structure Side 1:	N/A	N/A	N/A	
27	Accessory Structure Side 2 or (facing street) :	N/A	N/A	N/A	
28	Accessory Structure Rear:	N/A	N/A	N/A	
30	Additional data or information that may be applicable to the project shall be provided in the following fields.				

Notes: Indicate N/A if not applicable.

FLOODPLAIN MANAGEMENT DATA

NEW CONSTRUCTION FLOODPLAIN MANAGEMENT DATA

FLOOD ZONE:	AE-9
BASE FLOOD ELEVATION:	9.00' NGVD
MIN. REQ. DESIGN FLOOD ELEV.:	10.00' NGVD
PROP. DESIGN FLOOD ELEVATION:	11.00' NGVD
CRAWLSPACE GRADE ELEVATION:	4.00' NGVD PENDING
PROP. LOWEST T.O.S. ELEV. OF HABITABLE SPACE:	11.00' NGVD
PROP. TOP OF NEXT HIGHER FLOOR:	23.00' NGVD
PROP. LOWEST ADJACENT GRADE NEXT TO BLDG.	6.10' NGVD
PROP. HIGHEST ADJACENT GRADE NEXT TO BLDG.	10.21' NGVD
LOWEST ELEV. OF EQUIPMENT:	10.00' NGVD (POOL EQUIP. SEE A-0.1)
CROWN OF ROAD ELEV.:	4.85' NGVD
LOWEST GRADE ELEVATION:	4.00' NGVD
ADJUSTED GRADE ELEVATION:	6.50' NGVD
FIRM MAP NUMBER:	12086C0316L
FLOOD DESIGN CLASS OF BLDG. & STRUCTURES:	FLOOD DESIGN CLASS 2
BUILDING USE:	SINGLE FAMILY RESIDENCE
FUTURE ADJUSTED GRADE:	8.03' NGVD



ARCHITECTURE
CERTIFICATION
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ZONING &
FLOOD INFO

PAGE #:

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CDF/S

Corredor De Freitas Studio

FINAL SUBMITAL

DRB FILE DRB26-1167

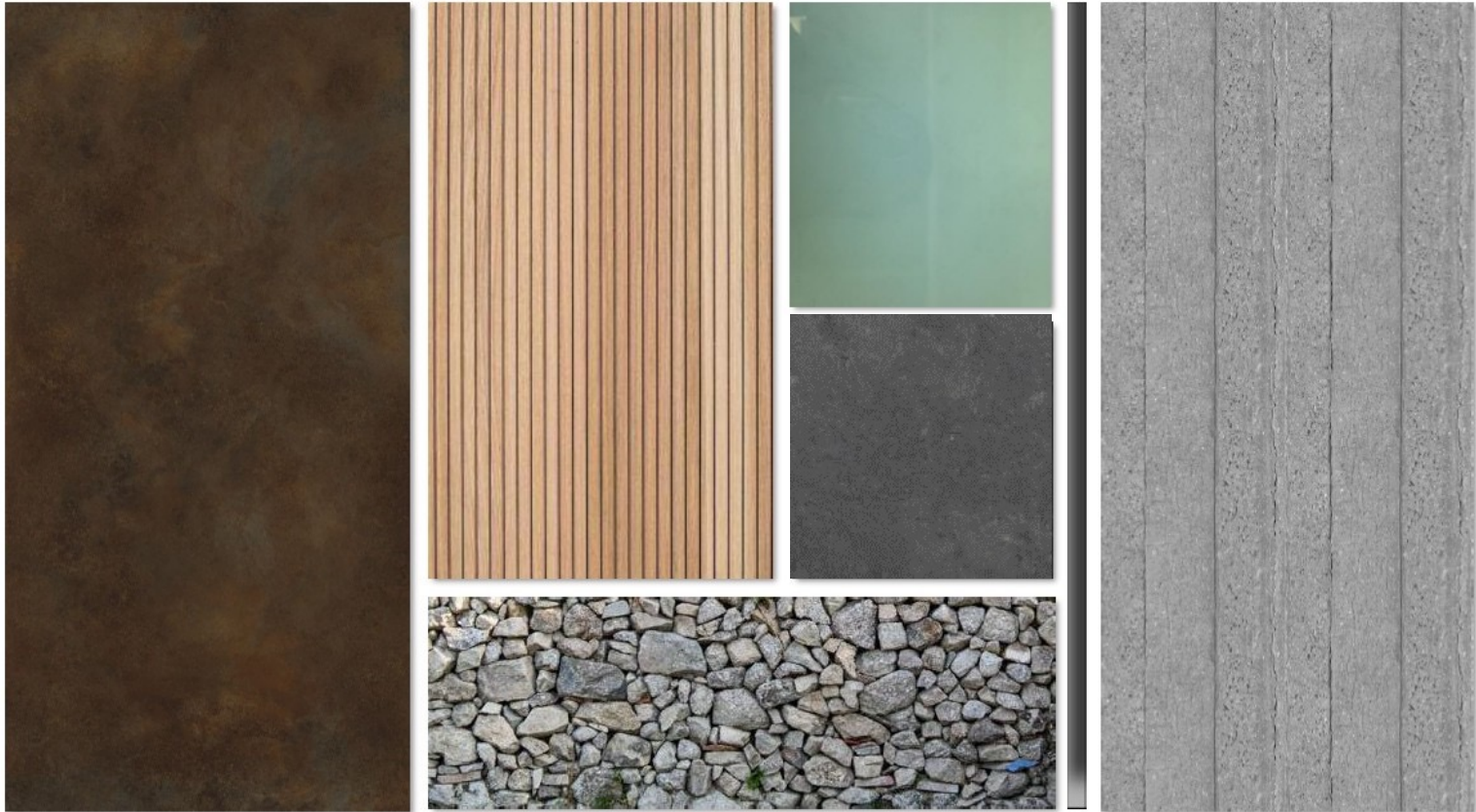
San Marino

Exterior Finishes

NOTE: THIS DOCUMENT ILLUSTRATES THE APPROVED DRB22-0833 DESIGN AND THE PROPOSED REVISIONS

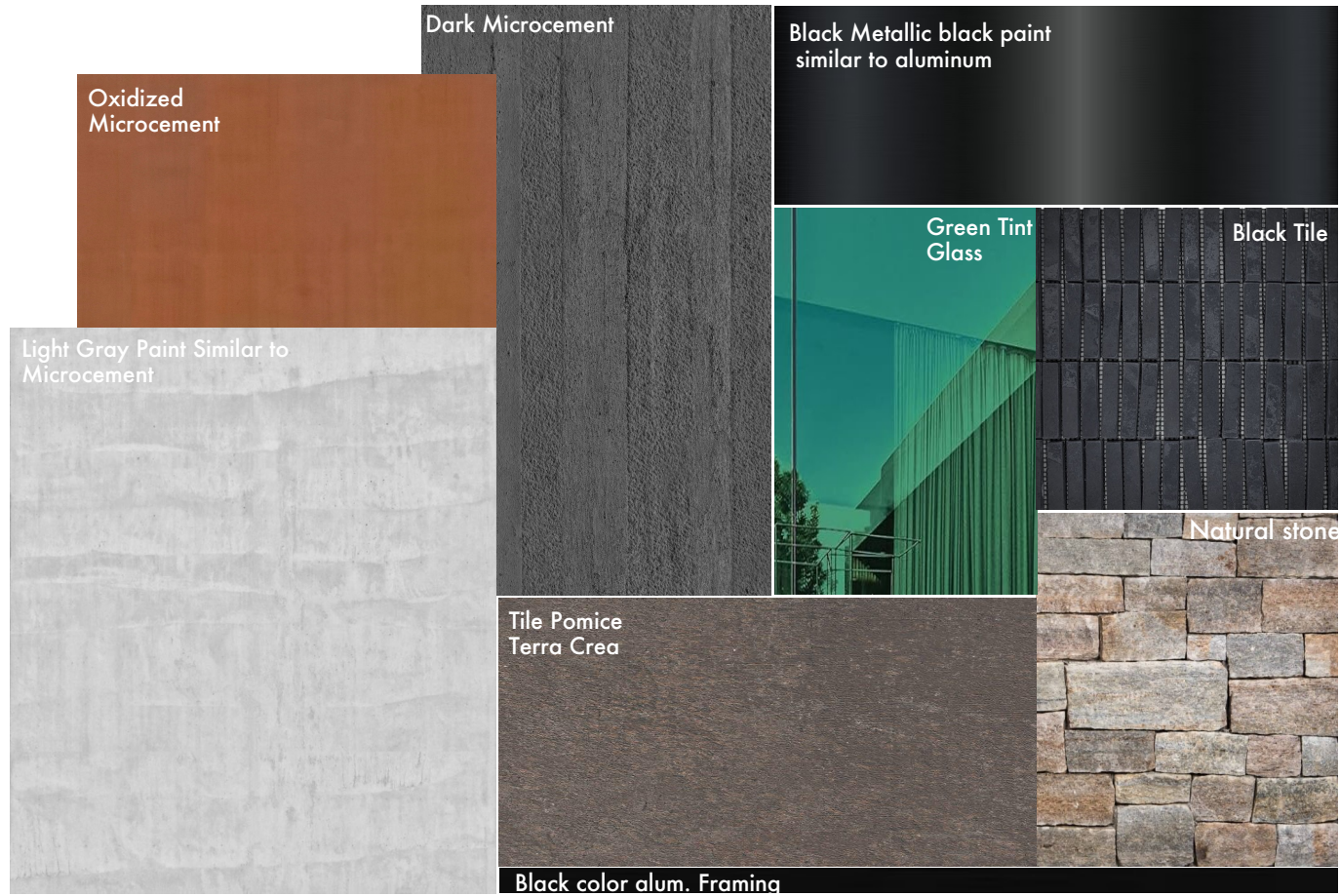


APPROVED DRB22-0833



NOTE: DRB APPROVED FACADE FINISHES

PROPOSED DRB26-1167



NOTE: PROPOSED NEW FINISHES

APPROVED DRB22-0833



NOTE: DRB APPROVED FACADE WEST SIDE

PROPOSED FACADE WEST VIEW



Metallic black paint similar to aluminum

Light Gray Paint Similar to Microcement

Dark Microcement

Light Gray Microcement

Green Tint glass rail

Green Tint glass rail

Oxidized Microcement

Light Gray Paint Similar to Microcement

Black ceramic Tile

Oxidized Microcement

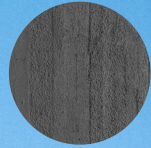
APPROVED DRB22-0833



NOTE: DRB APPROVED FACADE SOUTH SIDE

PROPOSED FACADE SOUTH VIEW

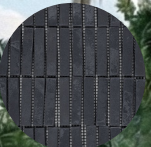
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Dark
Microcement



Oxidized
Microcement



Black Tile



Light Gray
Microcement



Black paint
similar to
aluminum



Green Tint
glass rail

BLACK WOOD
DOOR



Light Gray Paint
Similar to
Microcement



APPROVED DRB22-0833



NOTE: DRB APPROVED FACADE NORTH VIEW

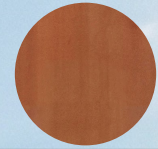
PROPOSED FACADE NORTH VIEW



Black paint
similar to
aluminum



Light Gray Paint
Similar to
Microcement



Oxidized
Microcement



Black Tile



Green Tint
glass rail



Light Gray
Microcement

APPROVED DRB22-0833

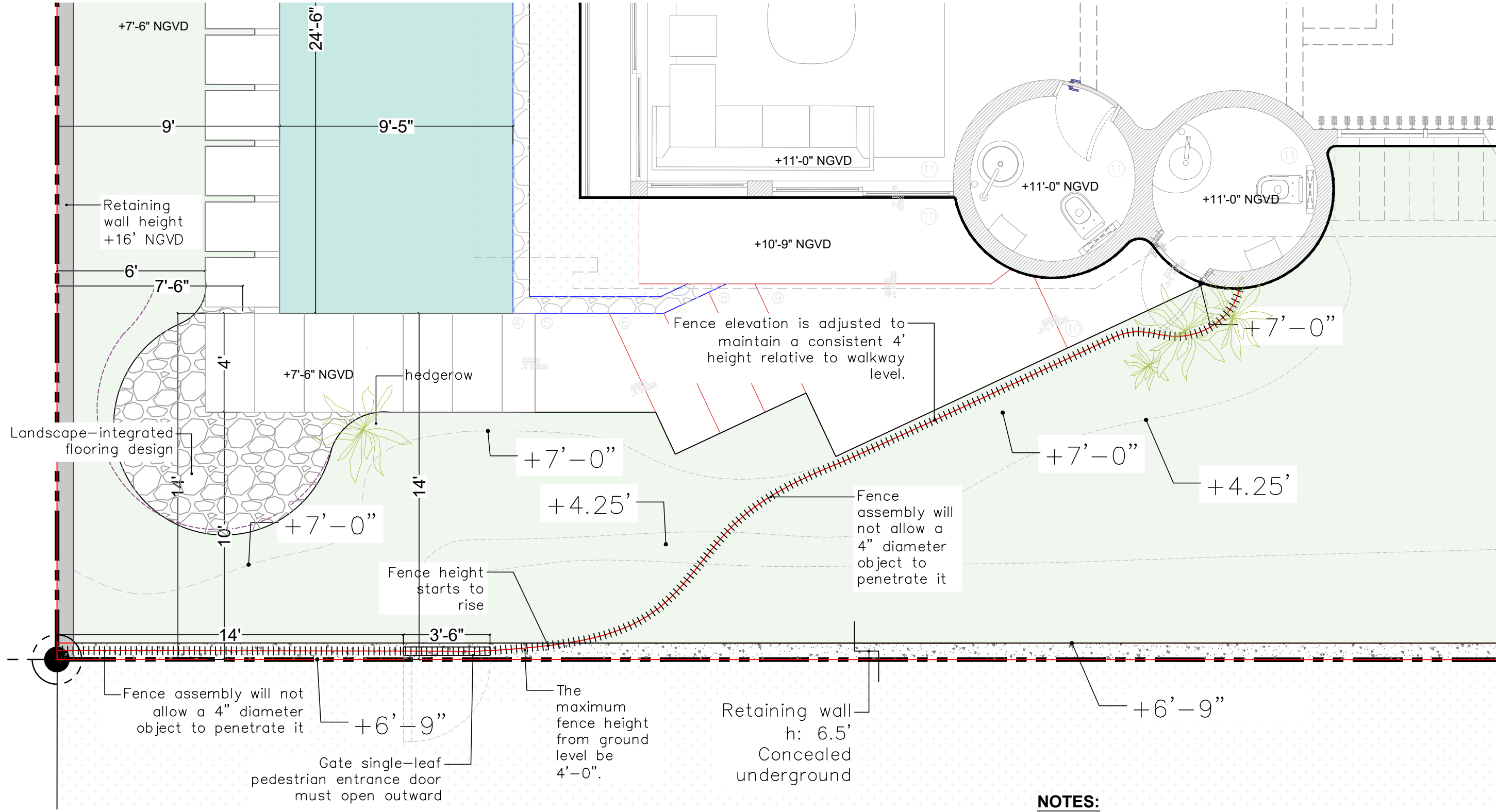


NOTE: DRB APPROVED EAST VIEW

PROPOSED FACADE EAST VIEW



PROPOSED WEST SIDE FENCE DRB26-1167



WEST FENCE ENLARGED
SCALE: 1/4" = 1'-0"

NOTES: NEW PROPOSED FENCE ON WEST SIDE OF PROPERTY

1. The fence shall be adjusted to accommodate changes in topography, maintaining a functional height of 4 feet along its entire length. Along the walkway to the circular bath, it shall rise to serve as a guardrail, extending at least 4 feet above the finished floor level.
2. Only the specified anchoring profiles shall be in contact with the ground; these must have proper anti-corrosion protection in accordance with applicable standards.
3. Structural anchoring dimensions shall be validated by a specialist.
4. Dimensions for curve layout are indicated on the drawing; however, the fence design shall be adapted to existing as-built conditions while maintaining the integrity of the original design.

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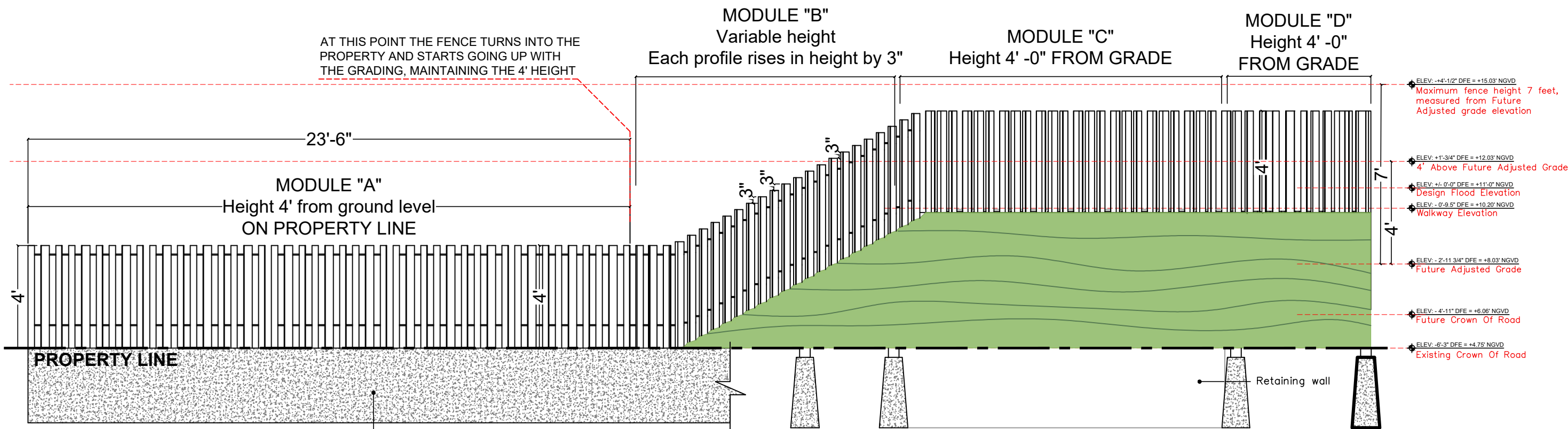
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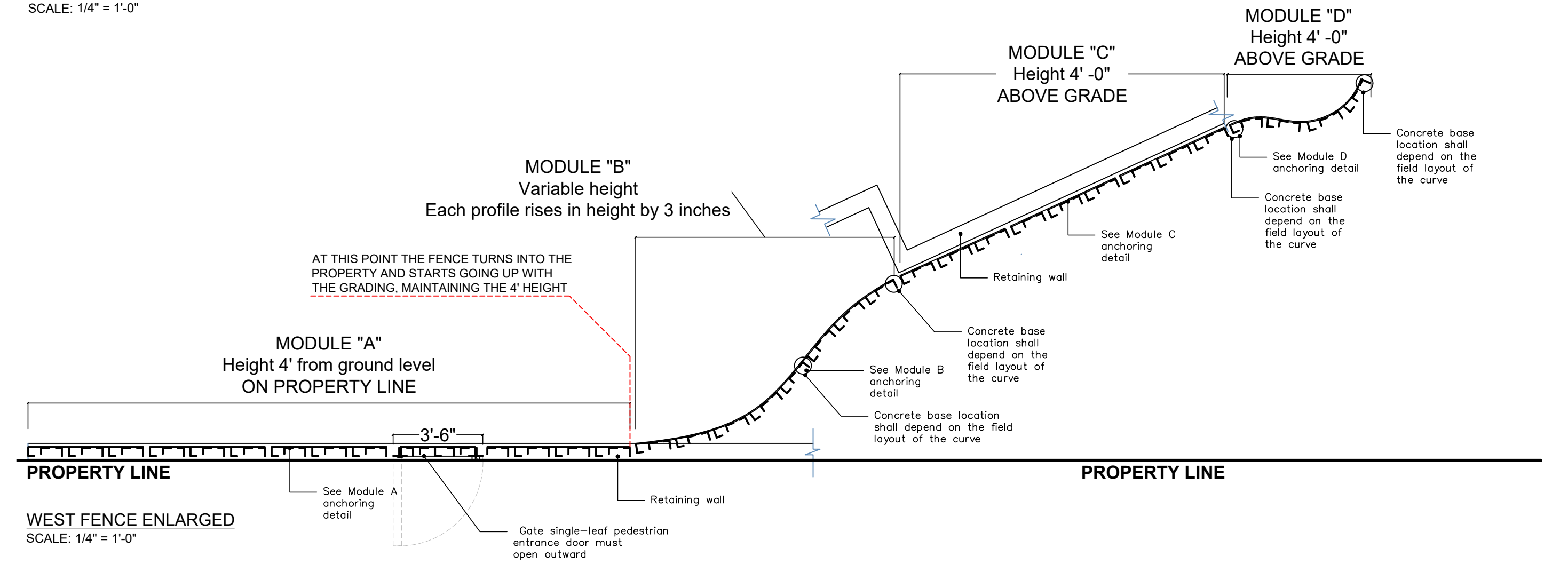
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WEST SIDE FENCE

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PROPOSED WEST SIDE FENCE DRB26-1167



WEST FENCE ENLARGED
SCALE: 1/4" = 1'-0"



WEST FENCE ENLARGED
SCALE: 1/4" = 1'-0"

ZD
Zubillaga
DESIGN
200 CRANDON
BLVD. SUITE 314
KEY BISCAYNE,
FLORIDA . 33149
TEL. 305-365-1284

ARCHITECTURE
CERTIFICATION
No. AA0003002

PROJECT: NEW 2 STORY RESIDENCE
CORREDOR RESIDENCE
301 W SAN MARINO DR
MIAMI BEACH, FL, 33139

DATE: 05/11/2026

REVISIONS:

SCALE: AS NOTED

BY: C.R.

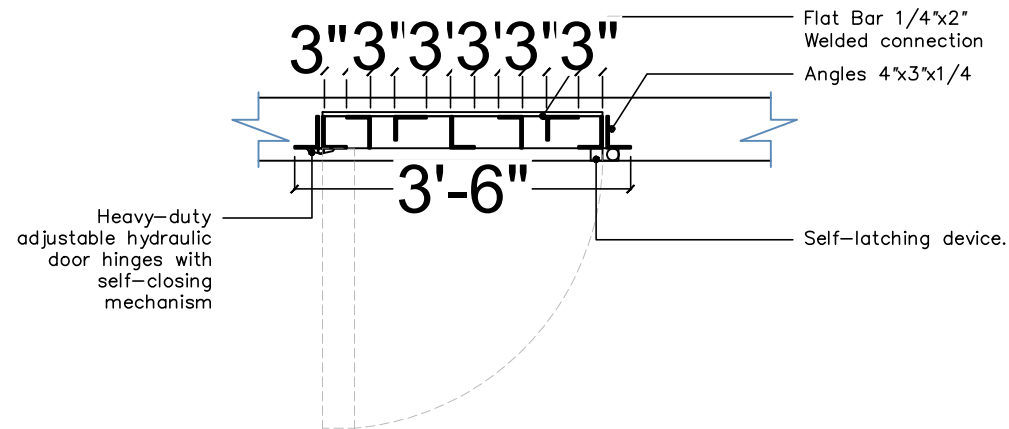
JUAN J. ZUBILLAGA
REG. ARCHITECT
AR 14147

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SHEET TITLE:
WEST SIDE FENCE
ELEVATIONS

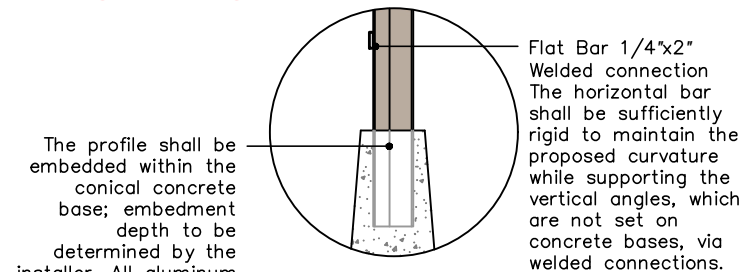
PAGE #:
A1.11

PROPOSED WEST SIDE FENCE DRB26-1167



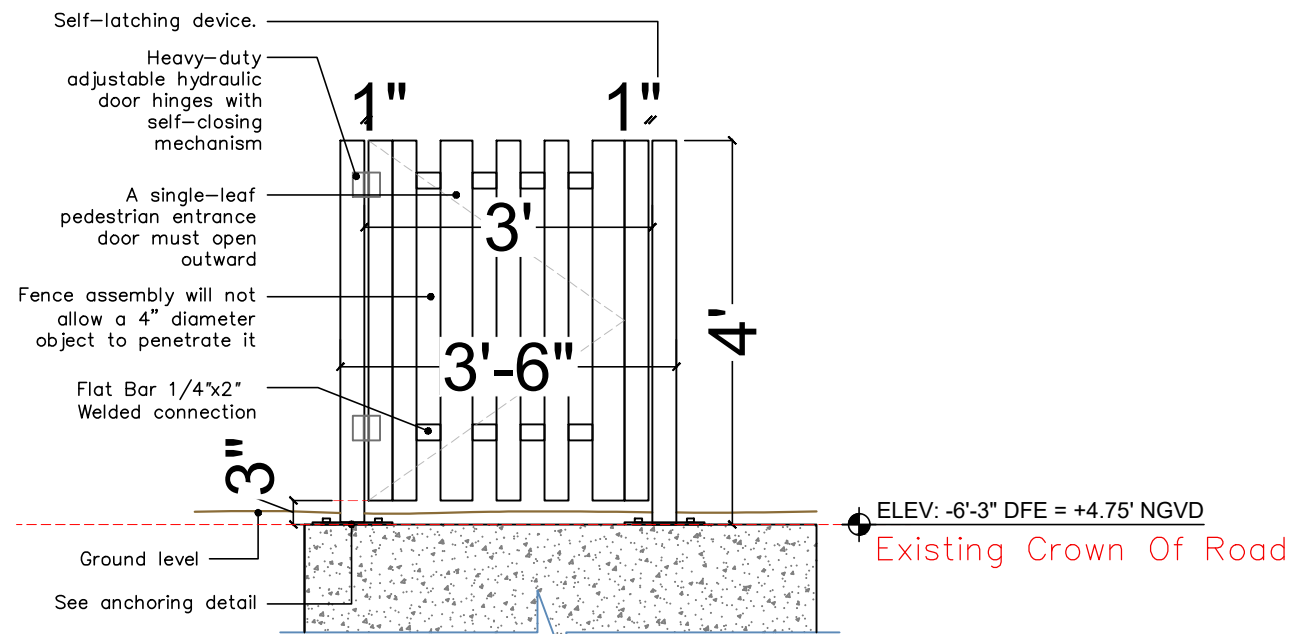
DOOR FENCE DETAIL

SCALE: 1/2" = 1'-0"



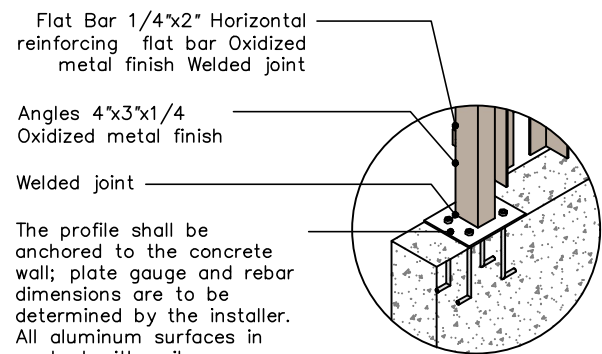
FENCE DETAIL

SCALE: 1/2" = 1'-0"



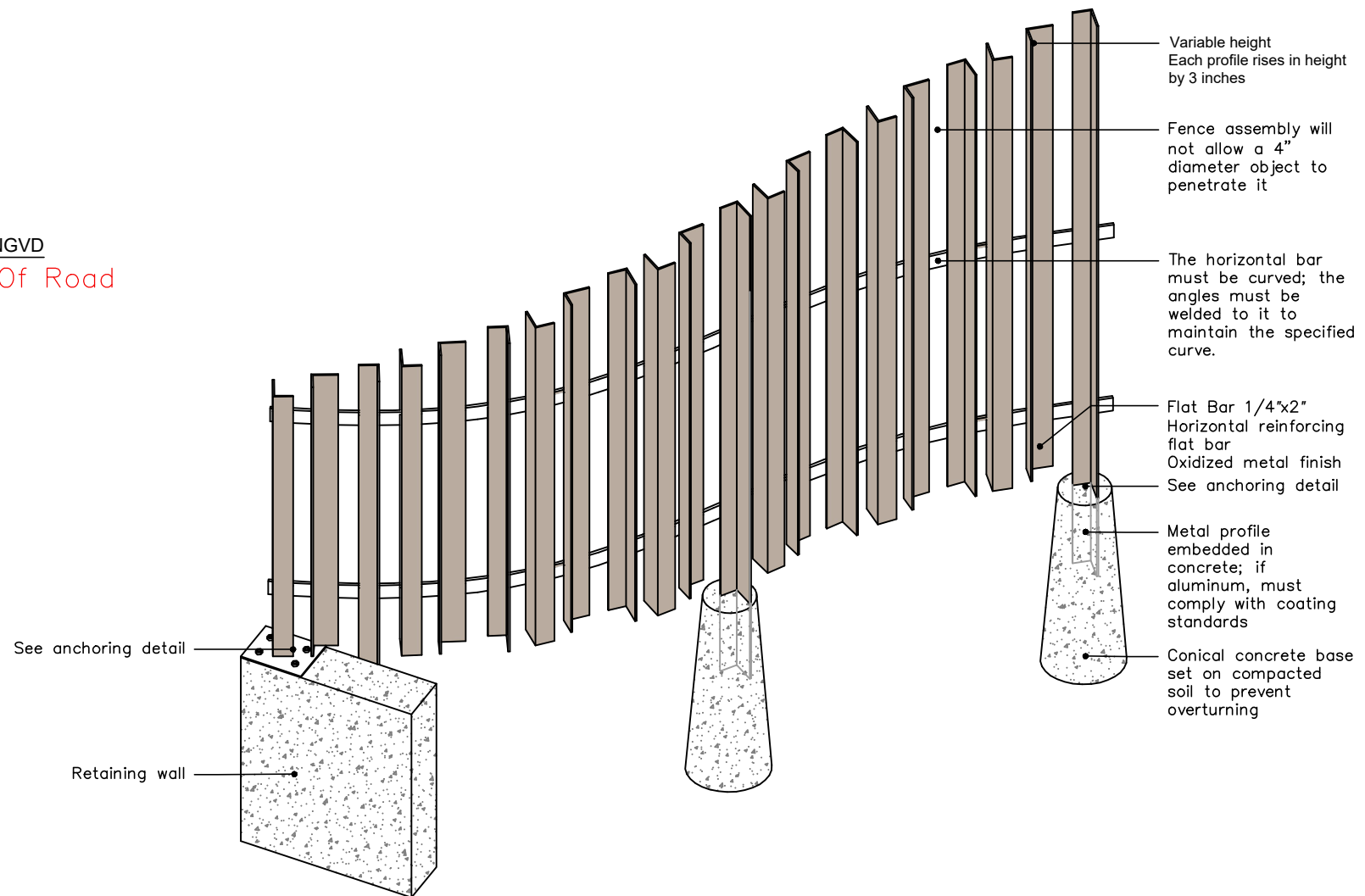
DOOR FENCE DETAIL

SCALE: 1/2" = 1'-0"



FENCE DETAIL

SCALE: 1/2" = 1'-0"



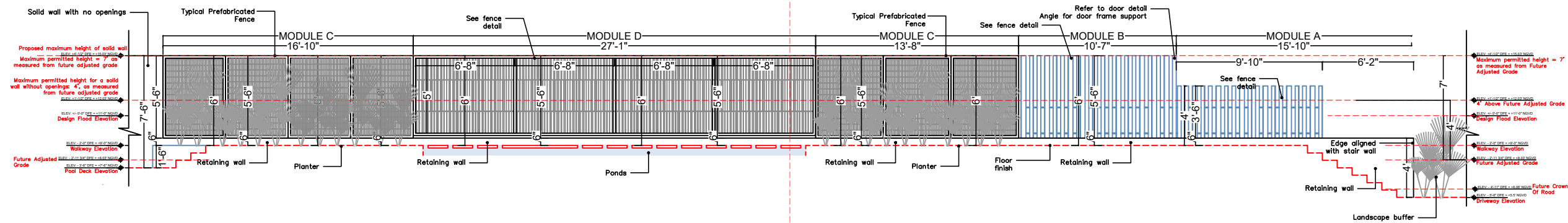
FENCE DETAIL

SCALE: 1/2" = 1'-0"



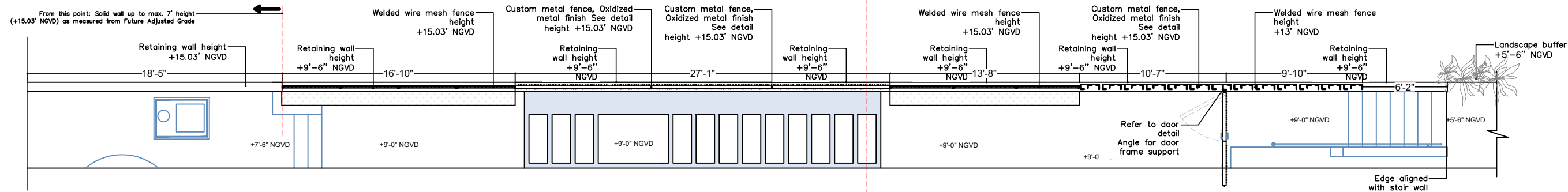
Oxidized metal finish
Reference image

PROPOSED EAST SIDE FENCE DRB26-1167



EAST FENCE ELEVATION

SCALE: 1/8" = 1'-0"



EAST FENCE FLOOR PLAN

SCALE: 1/8" = 1'-0"

Maximum Height at the Side Interior Yard		Wall: 4'-0" Max. Solid Base (Opaque) + 3'-0" Open Fencing. Total Height: 7'-0". Vertical members at 3" clear spacing Request for an additional 3 feet of solid wall above the maximum permitted 4-foot base. Only in the area indicated on the plans.
Side Interior Yard	7' as measured from future adjusted grade	
Future Adjusted Grade	+8.03' NGVD	
Maximum Proposed Height	+15.03' NGVD	
Waiver subject to City approval	Top 3' to be solid	

We are requesting a waiver to allow the full height of the fence up to 7' above Future Adjusted Grade to be solid on the final 18'-5" of the East Side fence (Interior Side Yard Fence) on it's North Side to provide privacy for the pool area from neighboring properties.

Variance 2.1 has been discarded. The height limitation for this fence being 7' above Future Adjusted Grade (+15.03' NGVD) will be used as the top height for the proposed fence on the East side of the property.

There is however, the request of a waiver to allow the full height of the fence to be solid up to the 7' max. height (+15.03' NGVD) on the last 18'-5" on North-East corner of the East side fence to provide privacy for the pool area from neighboring properties.

ZD
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DESIGN
 200 CRANDON
 BLVD. SUITE 314
 KEY BISCAYNE,
 FLORIDA . 33149
 TEL. 305-365-1284

ARCHITECTURE
 CERTIFICATION
 No. AA0003002

PROJECT: NEW 2 STORY RESIDENCE
CORREDOR RESIDENCE
 301 W SAN MARINO DR
 MIAMI BEACH, FL, 33139

DATE: 05/11/2026

REVISIONS:

SCALE: AS NOTED

BY: C.R.

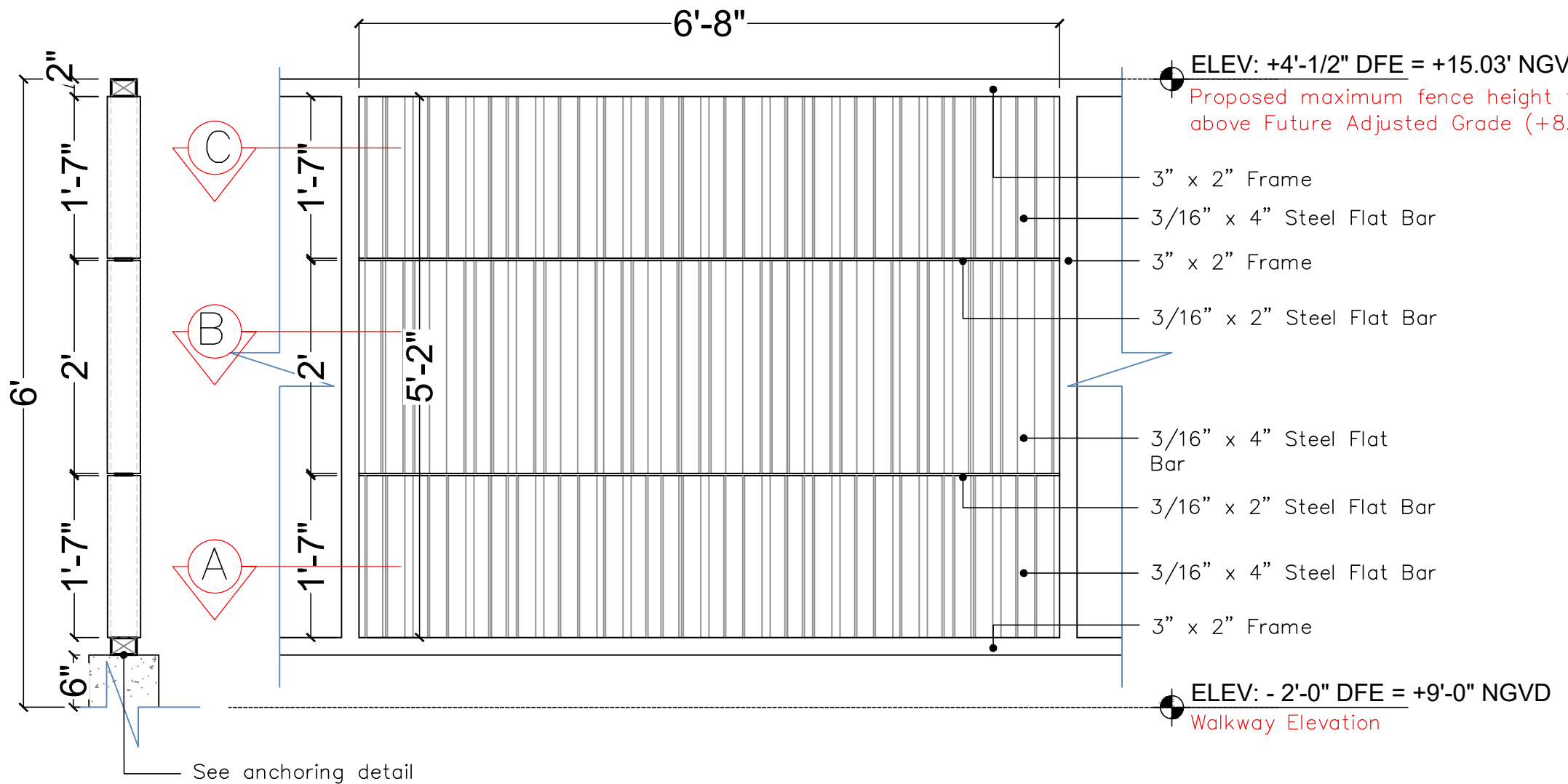
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 REG. ARCHITECT
 AR 14147

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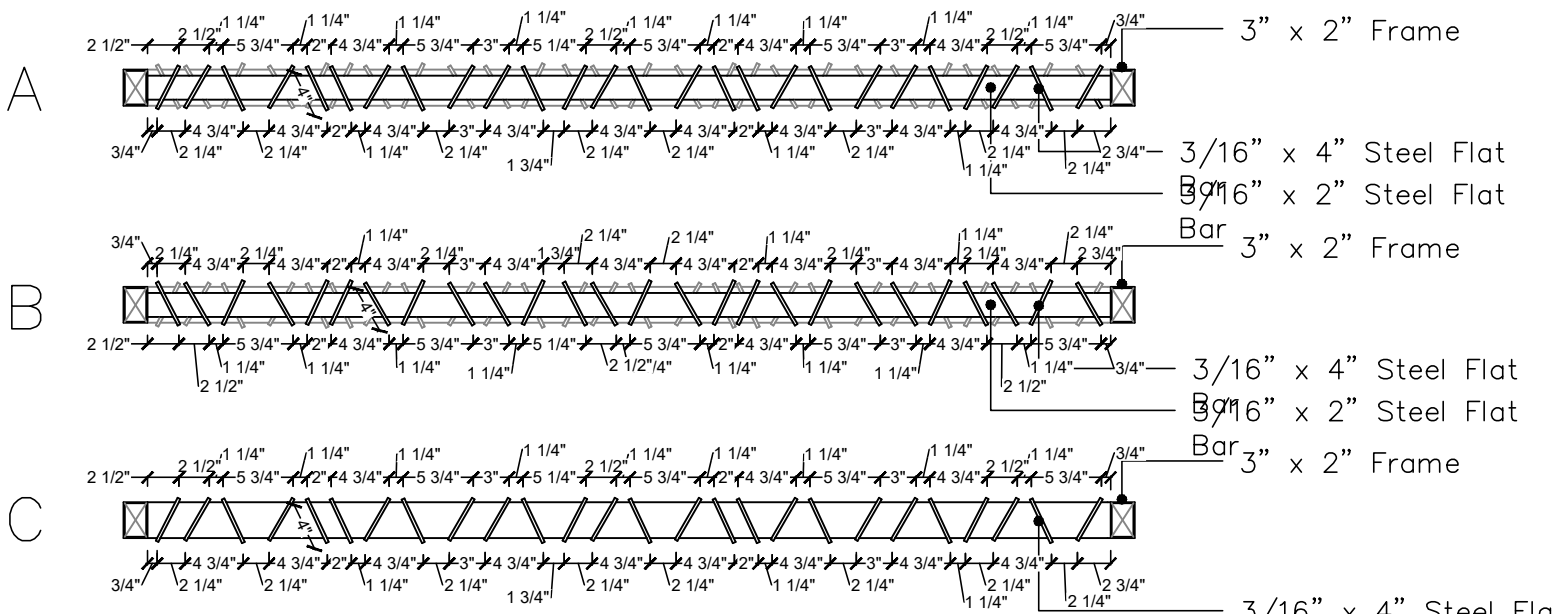
SHEET TITLE:
EAST SIDE FENCE

PAGE #:
A2.00

PROPOSED EAST SIDE FENCE DRB26-1167



EAST FENCE MODULE "D" ELEVATION & SECTION
 SCALE: 3/4" = 1'-0"

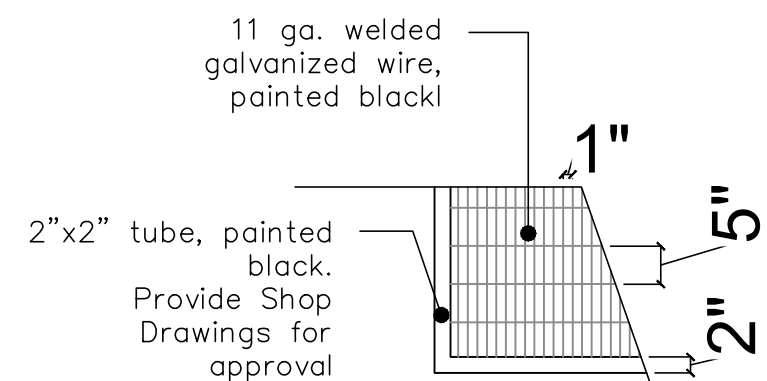


EAST FENCE MODULE "D" SECTIONS
 SCALE: 3/4" = 1'-0"

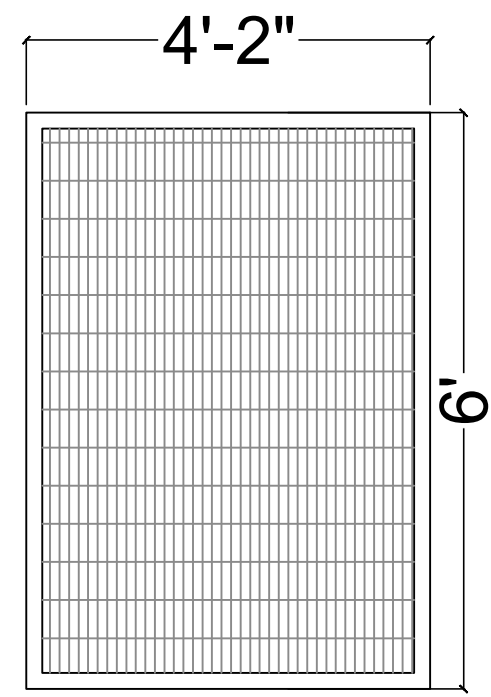
ELEV: +4'-1/2" DFE = +15.03' NGVD
 Proposed maximum fence height to match max. 7' height
 above Future Adjusted Grade (+8.03' + 7' = +15.03')

- 3" x 2" Frame
- 3/16" x 4" Steel Flat Bar
- 3" x 2" Frame
- 3/16" x 2" Steel Flat Bar
- 3/16" x 4" Steel Flat Bar
- 3/16" x 2" Steel Flat Bar
- 3/16" x 4" Steel Flat Bar
- 3" x 2" Frame

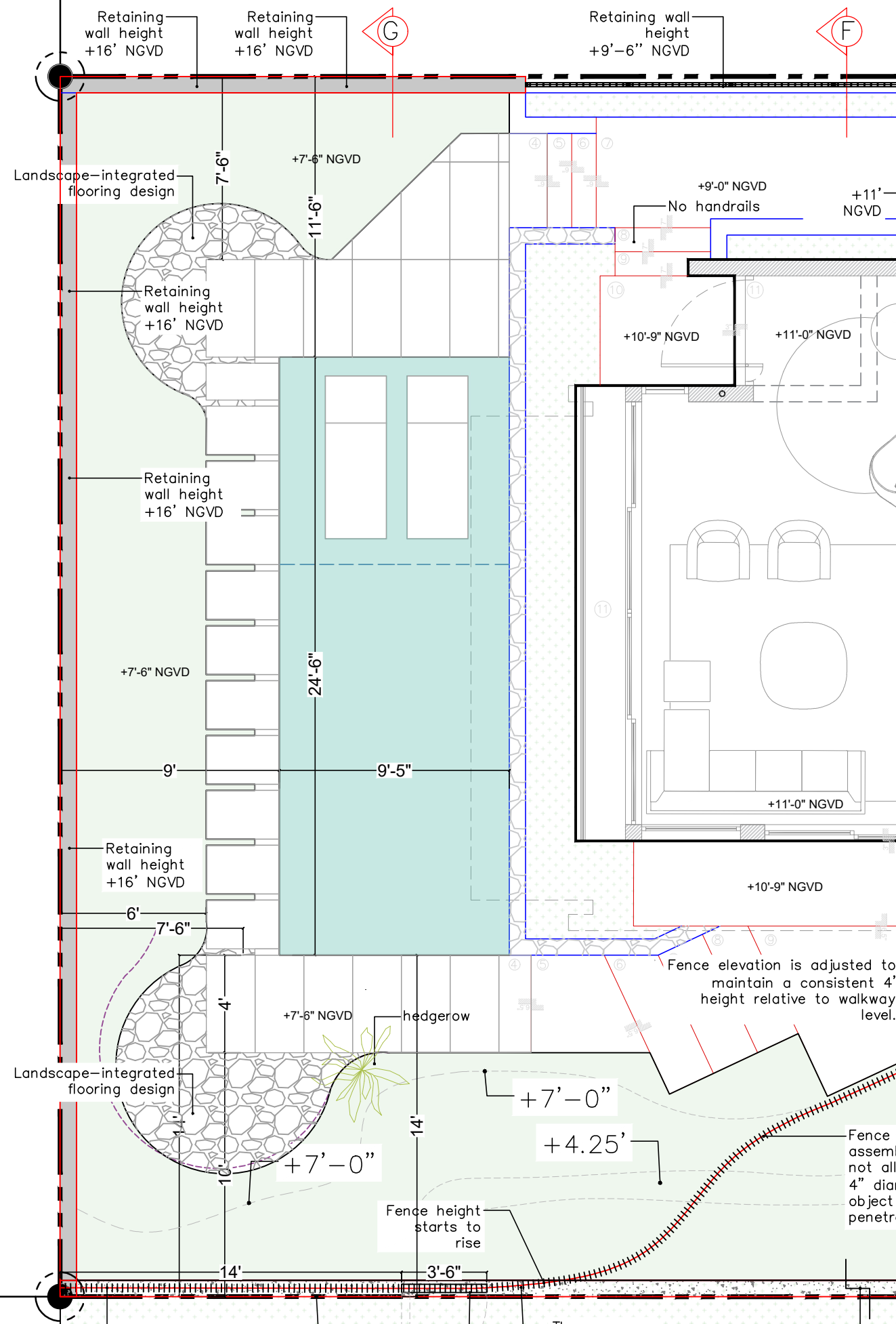
ELEV: -2'-0" DFE = +9'-0" NGVD
 Walkway Elevation



EAST FENCE MODULE "C" DETAILS
 SCALE: 1/2" = 1'-0"



PROPOSED REAR YARD FENCE DRB26-1167

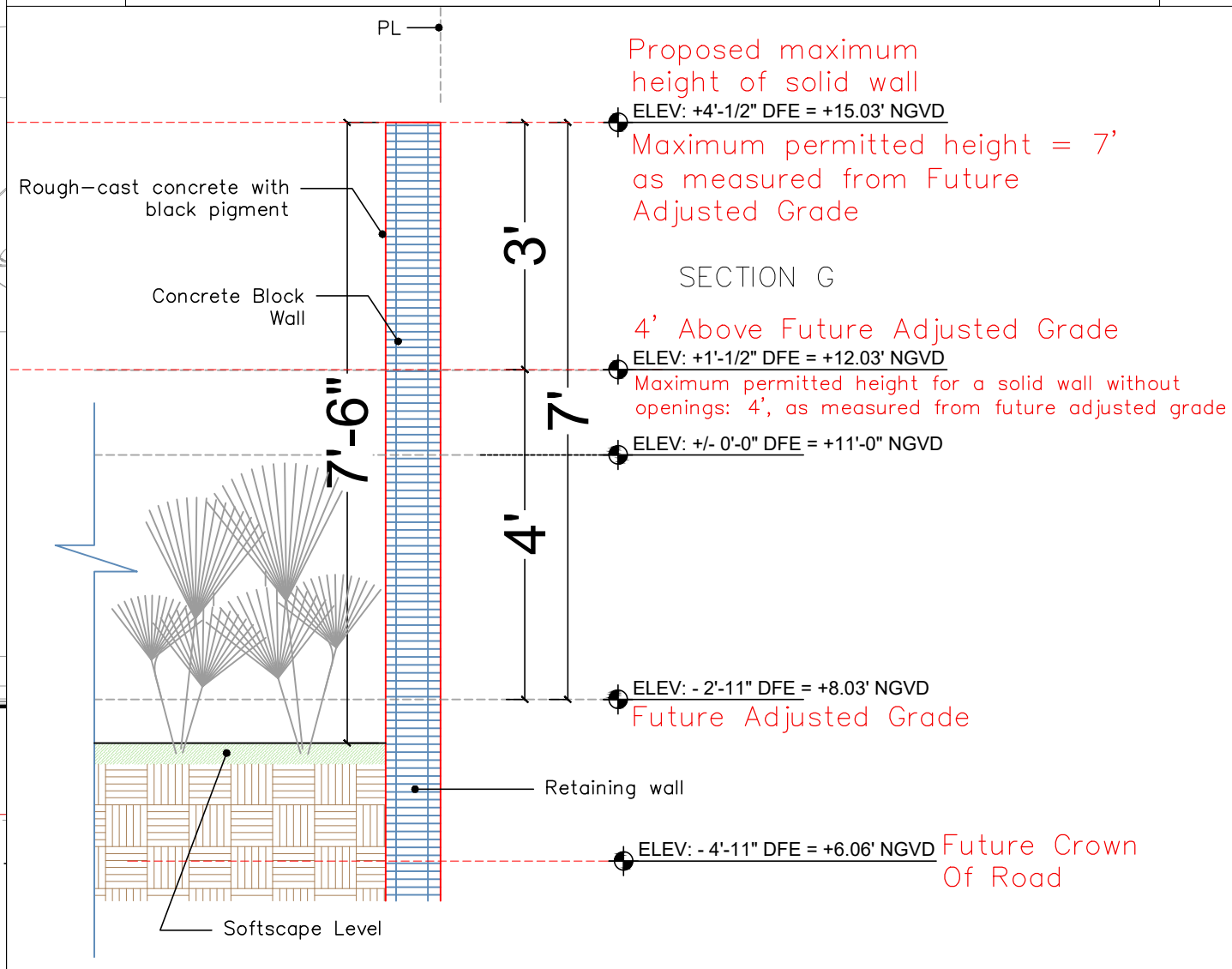


Maximum Height at the Rear Yard	
Rear Yard	7' as measured from future adjusted grade
Future Adjusted Grade	+8.03' NGVD
Maximum Proposed Height	+15.03' NGVD
Waiver subject to City approval	Top 3' to be solid

Wall: 4'-0" Max. Solid Base (Opaque) + 3'-0" Open Fencing. Total Height: 7'-0". Vertical members at 3" clear spacing

Request for an additional 3 feet of solid wall above the maximum permitted 4-foot base. Only in the area indicated on the plans.

We are requesting a waiver to allow the full height of the fence up to 7' above Future Adjusted Grade to be solid on the whole North Side Fence (Rear Yard Fence) to provide privacy for the pool area from neighboring properties.



NOTRH FENCE SECTION
SCALE: 1/2" = 1'-0"

Variance 2.2 has been discarded. The height limitation for this fence being 7' above Future Adjusted Grade (+15.03' NGVD) will be used as the top height for the proposed fence on the East side of the property.

There is however, the request of a waiver to allow the full height of the fence to be solid up to the 7' max. height (+15.03' NGVD) for the whole North Fence (Rear yard fence) to provide privacy for the pool area from neighboring properties.

ZD
Zubillaga
DESIGN
200 CRANDON
BLVD. SUITE 314
KEY BISCAYNE,
FLORIDA . 33149
TEL. 305-365-1284

ARCHITECTURE
CERTIFICATION
No. AA0003002

PROJECT: NEW 2 STORY RESIDENCE
CORREDOR RESIDENCE
301 W SAN MARINO DR
MIAMI BEACH, FL, 33139

DATE: 05/11/2026

REVISIONS:

SCALE: AS NOTED

BY: C.R.

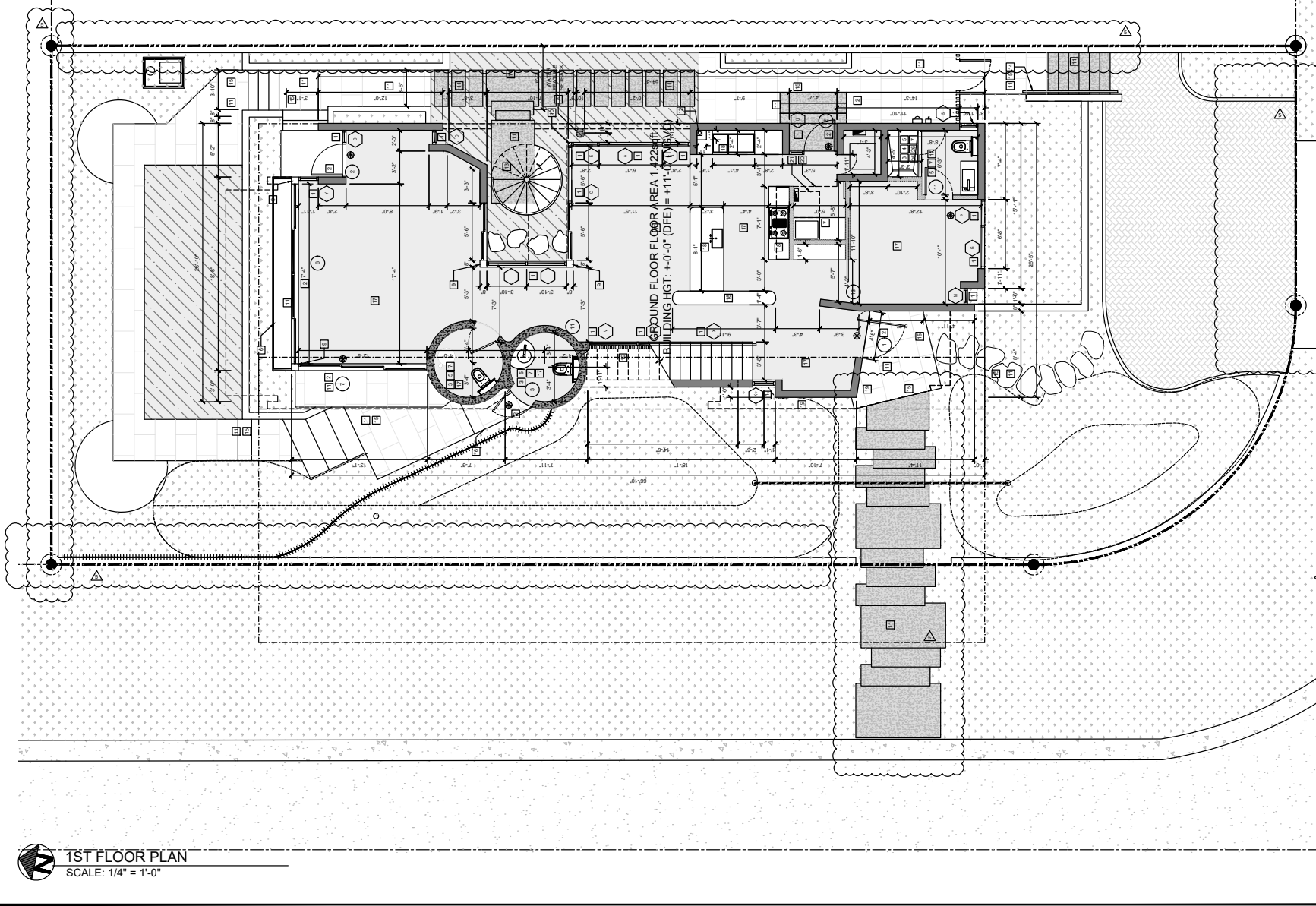
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REG. ARCHITECT
AR 14147

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SHEET TITLE:
NORTH SIDE FENCE

PAGE #:
A3.00

PROPOSED DRB 26-1167



ARCHITECTURE
 CERTIFICATION No. AAS20002

CORREDOR RESIDENCE
 301 W. SAN MARINO DR.
 MIAMI BEACH, FL. 33139

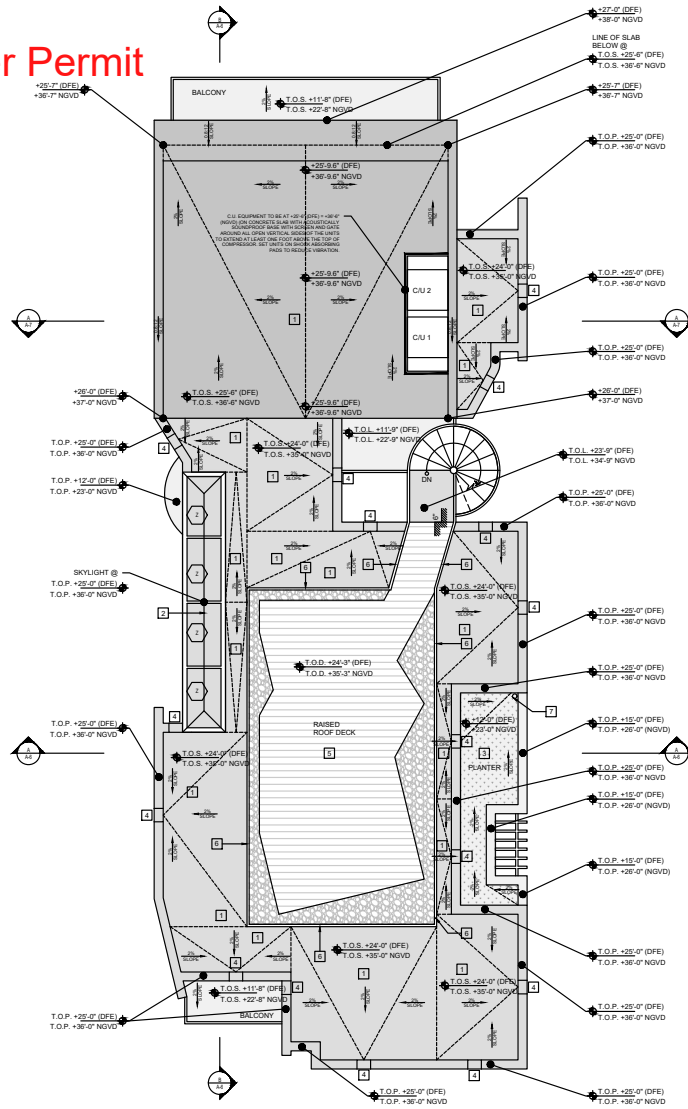
DATE:	06-14-2023
REVISIONS:	
▲ BDC 08.01.2023	
▲ BDC 11.07.2023	
▲ BDC 12.08.2023	
AFTER PERMIT REVISIONS:	
▲ CON REV 03.31.2025	
▲ 01.19.2025	
BY:	AS NOTED
SCALE:	C.R.
JUAN J. ZUBILLAGA REG. ARCHITECT AR 14147	

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CONSULTANT:

 **1ST FLOOR PLAN**
 SCALE: 1/4" = 1'-0"

**APPROVED Master Permit
No. BR2308287**



ROOF PLAN
SCALE: 1/4" = 1'-0"



ARCHITECTURE
CERTIFICATION No. AA000302

PROJECT: ONE (1) STORY RESIDENCE
CORREDOR RESIDENCE
301 W SAN MARINO DR
MIAMI BEACH, FL 33139

DATE: 06-14-2023

REVISIONS:
1) SDC 08-01-2023
Lighting layout change 11-05-23

SCALE: AS NOTED

BY: C.R.

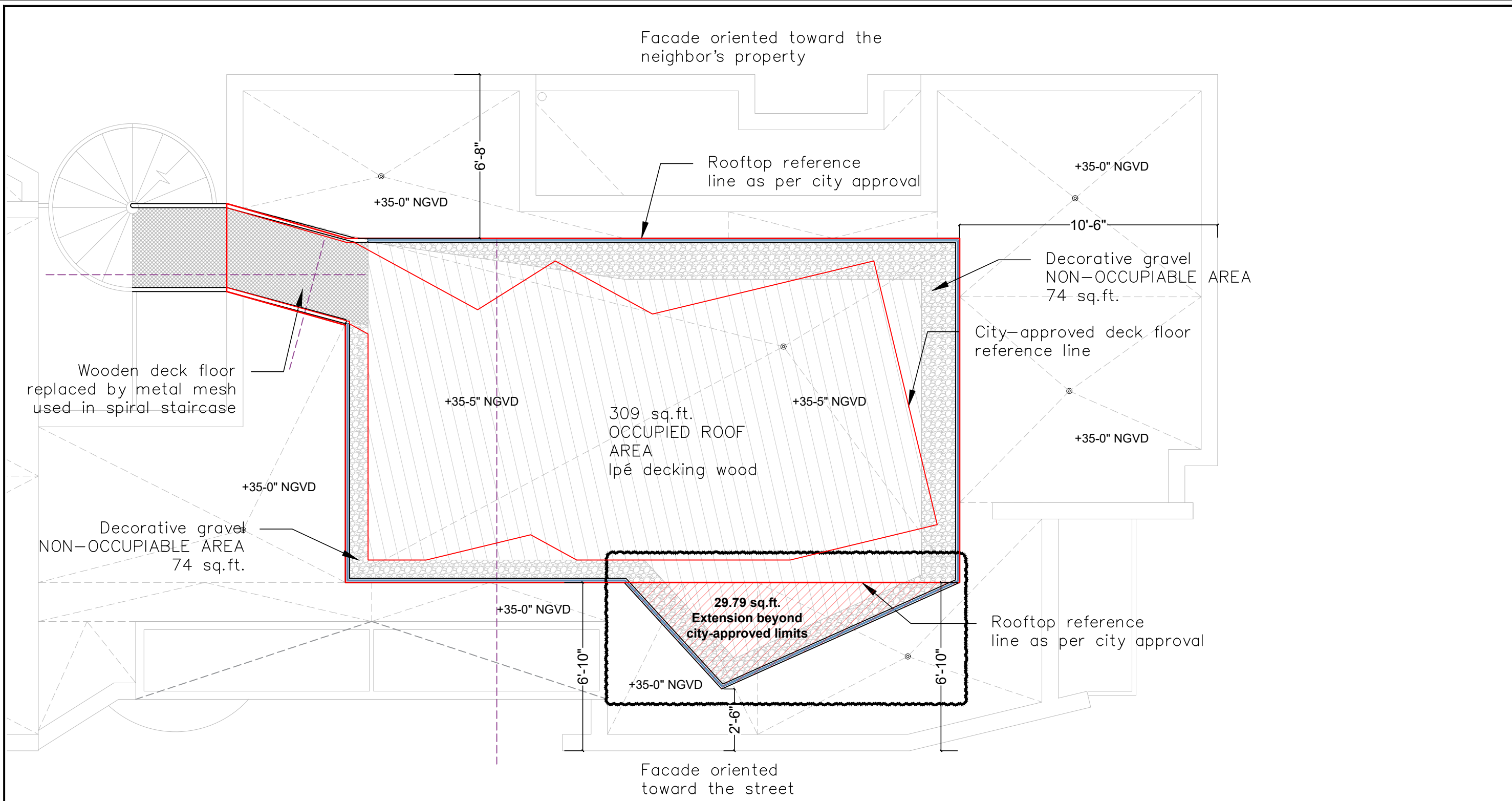
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CONSULTANT:

PAGE #:

A-3



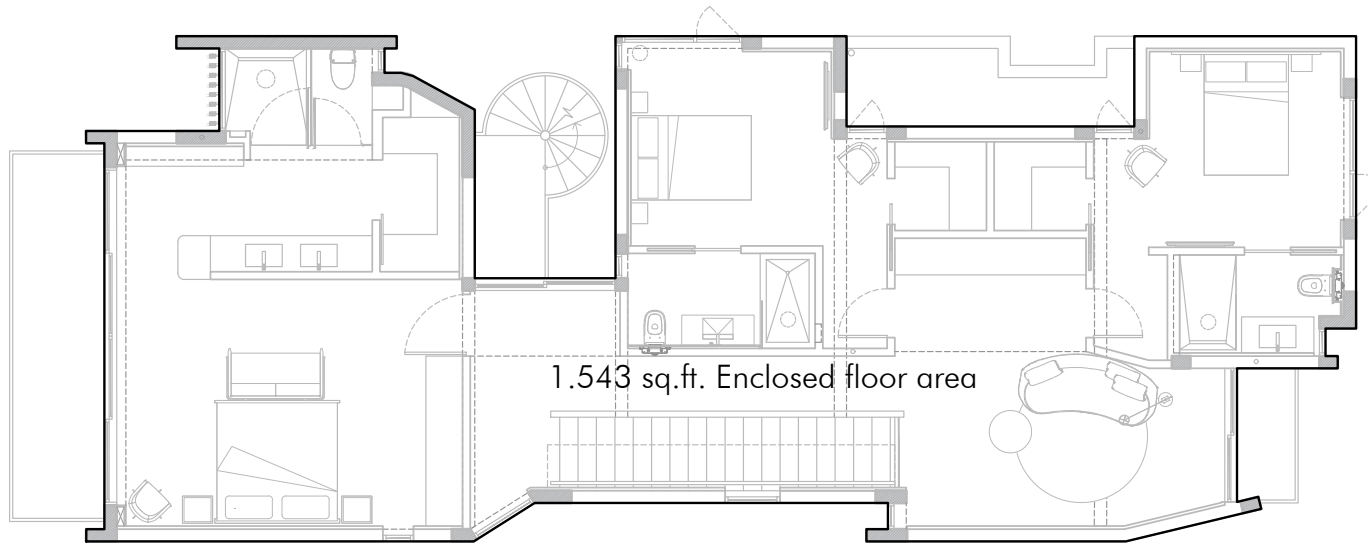
ROOF TOP DECK
 SCALE: 1/4" = 1'-0"

ROOF TOP DECK SETBACKS (TO RESIDENCE WALLS):

PREVIOUSLY APPROVED:
 EAST = 6'-8" (NO CHANGES)
 SOUTH = 10'-6" (NO CHANGES)
 WEST = 6'-10" (NOW TO BE CHANGED TO 2'-6" AS
 PART OF VARIANCE #1)

Variance 1: Rooftop deck: To reduce side street yard setback

a-The required setback between the bottom edge of the wall and the edge of the deck is 10 feet.
 b- The city-approved limit was 6' 10" toward the west facade.
 c- An additional approval is requested for a 29.79 sq. ft. segment on the west facade; only one edge of this segment reaches a 2' 6" setback. Additionally, the street is located 34' from the indicated setback.



1.543 sq.ft. Enclosed floor area

AREA SCHEDULE	
Maximum floor area of the level just below the roof	1.543 sq.ft.
25% OF THE INDICATED AREA	385,75 sq.ft.
OCCUPIABLE ROOF DECK AREA	309 sq.ft.
Decorative gravel NON-OCCUPIABLE AREA	74 sq.ft.

(Enclosed floor area)
(As per code)

Notes:
 ROOF DECK ZONING CALCULATION: 1. BASIS OF CALCULATION: THE MAXIMUM ALLOWABLE ROOF DECK AREA (25%) IS CALCULATED BASED ON THE SECOND FLOOR ENCLOSED AREA ONLY. 2. OCCUPIABLE AREA: THE CALCULATION INCLUDES ONLY THE PROPOSED ACCESSIBLE DECK. 3. EXCLUSIONS: ROOF AREAS COVERED WITH DECORATIVE GRAVEL ARE DESIGNATED AS NON-OCCUPIABLE / NON-ACCESSIBLE AND ARE FOR AESTHETIC PURPOSES AND MAINTENANCE ACCESS ONLY.



ARCHITECTURE
 CERTIFICATION No. AA020022

PROJECT: NEW 2-STORY RESIDENCE
CORREDOR RESIDENCE
 301 W SAN MARINO DR
 MIAMI BEACH, FL 33139

DATE: 03-19-2025

REVISIONS:

AFTER PERMIT REVISIONS:

SCALE: AS NOTED

C.R.

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 REG. ARCHITECT
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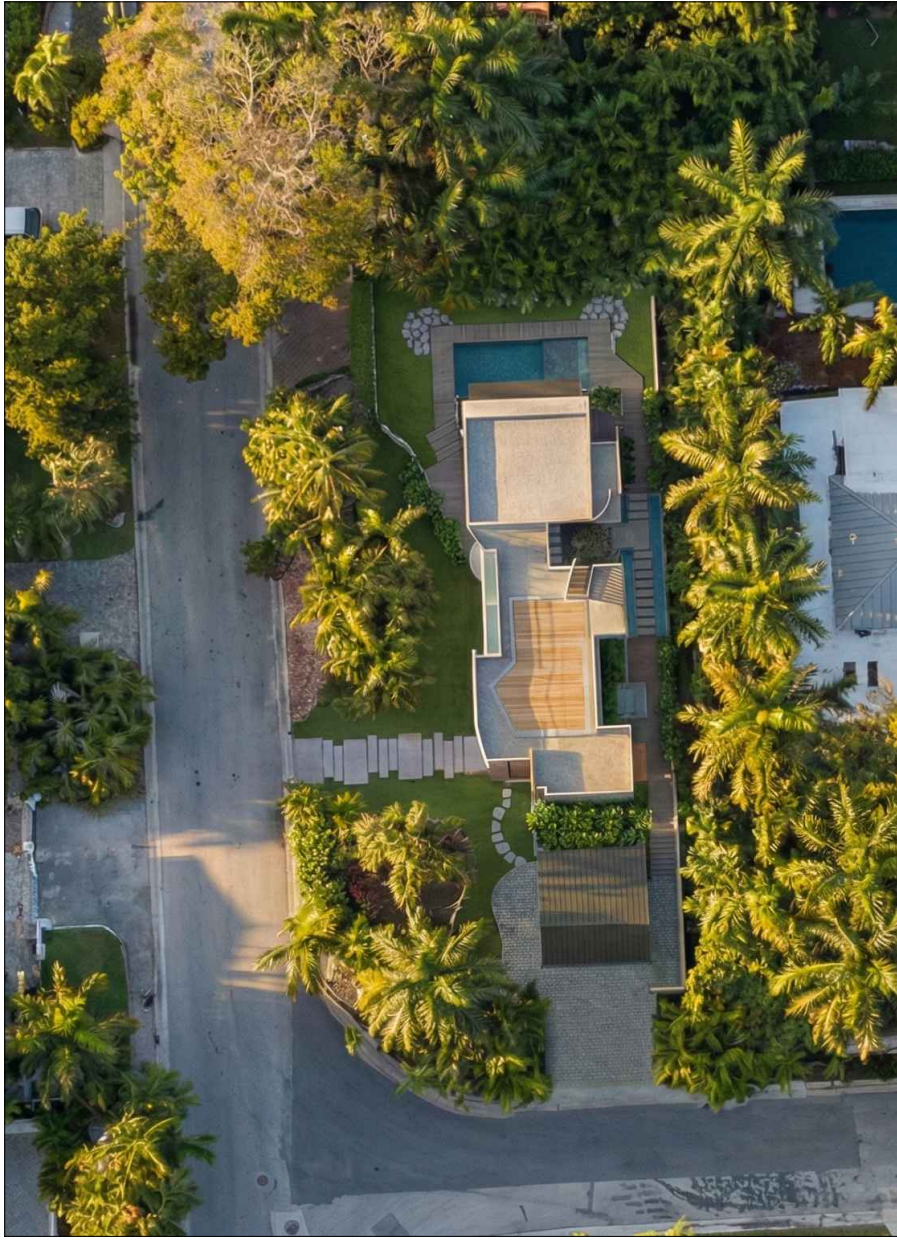
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CONSULTANT:

DESCRIPTION
 ROOF TOP
 FLOOR PLAN

PAGE #:

A-02



ARCHITECTURE
 CERTIFICATION NO. A6803002

PROJECT: NEW 2 STORY RESIDENCE
CORREDOR RESIDENCE
 301 W SAN MARINO DR
 MIAMI BEACH, FL 33139

DATE: 03-19-2026

REVISIONS:

AFTER PERMIT REVISIONS:

SCALE: AS NOTED
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CONSULTANT:

DESCRIPTION
 ROOF TOP
 RENDER

PAGE #:
A-05



ARCHITECTURE
CERTIFICATION NO. A6803002

PROJECT: NEW 2 STORY RESIDENCE
CORREDOR RESIDENCE
301 W SAN JUAN DR
MIAMI BEACH, FL 33139

DATE: 03-19-2026
REVISIONS:

AFTER PERMIT REVISIONS:

SCALE: AS NOTED
C.R.

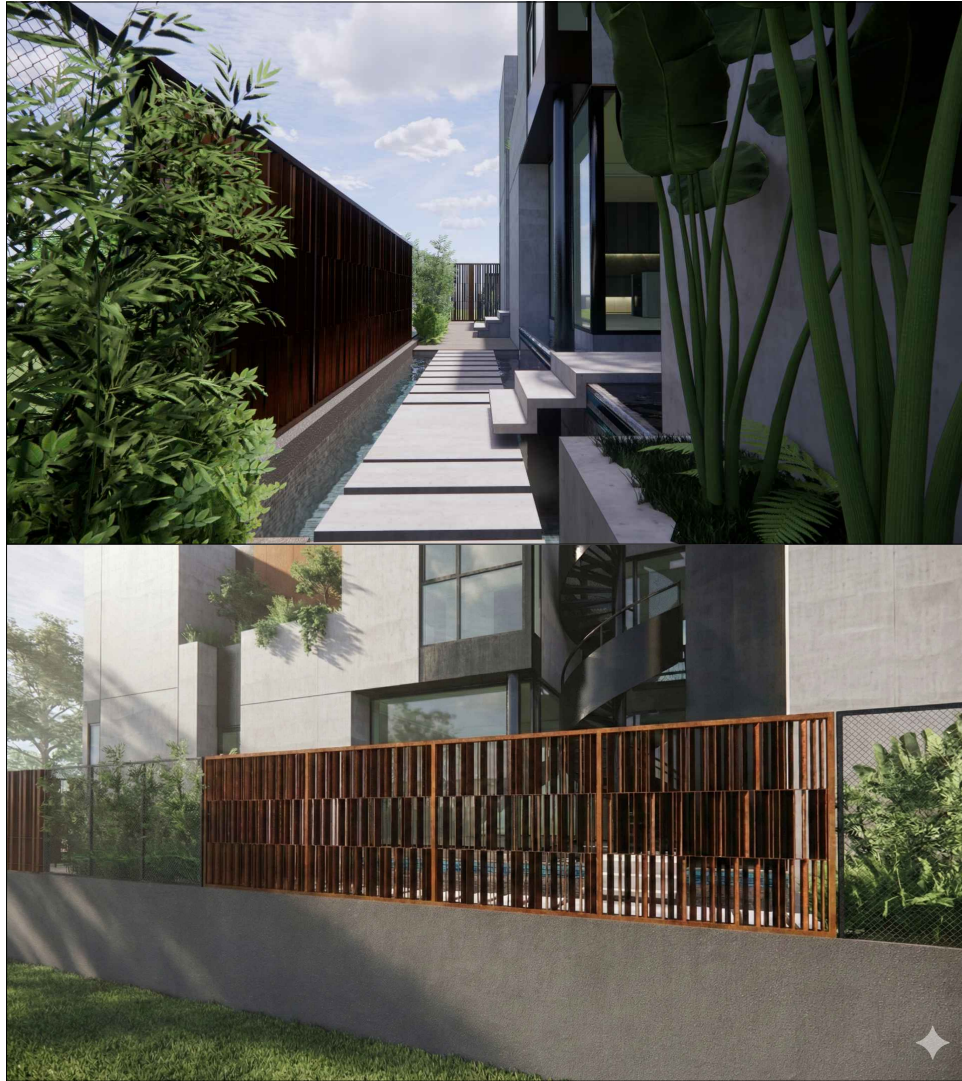
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REG. ARCHITECT
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CONSULTANT:

DESCRIPTION
ROOF TOP
RENDER

PAGE #:
A-06



Reference image



ARCHITECTURE
 CERTIFICATION No. AAS0000

PROJECT: 1st/2nd STORY RESIDENCE

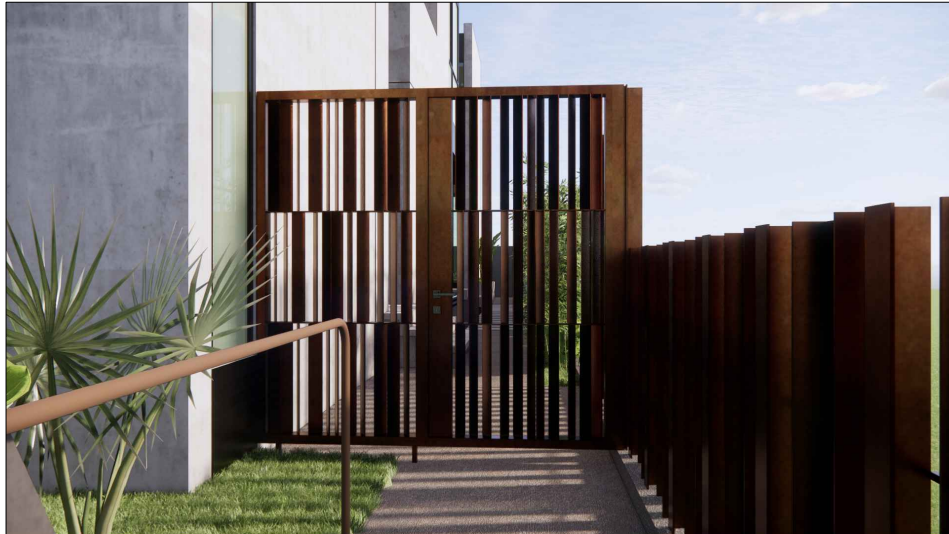
CORREDOR RESIDENCE
 301 W SAN MARINO DR
 MIAMI BEACH, FL 33139

DATE:	03-19-2008
REVISIONS:	
AFTER PERMIT REVISIONS:	
SCALE:	AS NOTED
	C.R.
JUAN J. ZUBILLAGA REG. ARCHITECT AR 14147	

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CONSULTANT:

DESCRIPTION
 OUTDOOR AREA
 FENCE EAST



Oxidized metal finish
Reference image

Oxidized metal finish
Reference image



ARCHITECTURE
CERTIFICATION No. AAS0000

PROJECT: 10/12 2 STORY RESIDENCE
CORREDOR RESIDENCE
301 W SAN MARINO DR
MIAMI BEACH, FL 33139

DATE: 03-19-2008

REVISIONS:

AFTER PERMIT REVISIONS:

SCALE: AS NOTED

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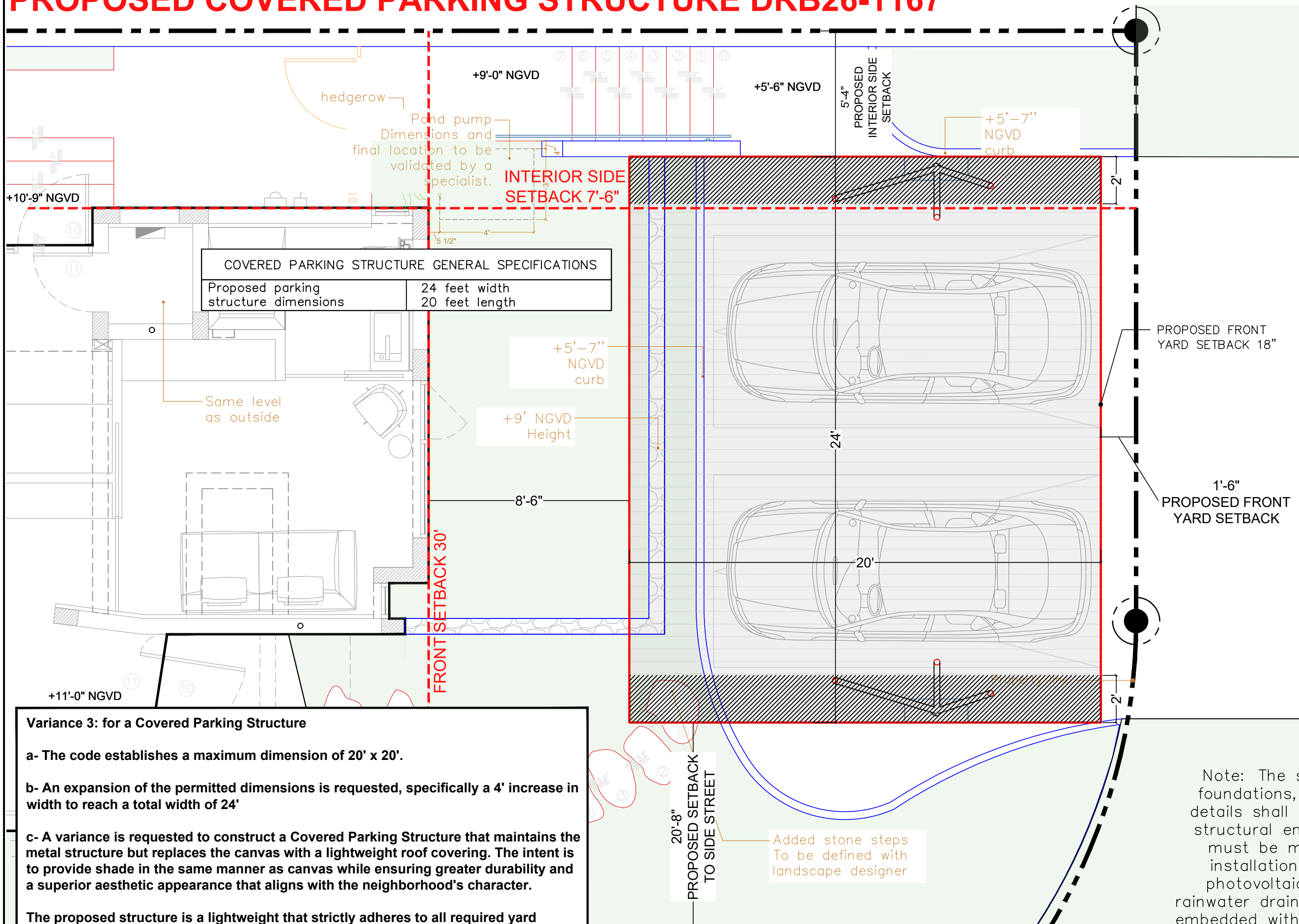
CONSULTANT:

DESCRIPTION
GARAGE STRUCTURE
GATE EAST

PAGE #:

A-17

PROPOSED COVERED PARKING STRUCTURE DRB26-1167



COVERED PARKING STRUCTURE GENERAL SPECIFICATIONS	
Proposed parking structure dimensions	24 feet width 20 feet length

Variance 3: for a Covered Parking Structure

a- The code establishes a maximum dimension of 20' x 20'.

b- An expansion of the permitted dimensions is requested, specifically a 4' increase in width to reach a total width of 24'

c- A variance is requested to construct a Covered Parking Structure that maintains the metal structure but replaces the canvas with a lightweight roof covering. The intent is to provide shade in the same manner as canvas while ensuring greater durability and a superior aesthetic appearance that aligns with the neighborhood's character.

The proposed structure is a lightweight that strictly adheres to all required yard setbacks. Designed as an open-sided structure (open on all four sides), it minimizes visual impact and preserves natural light and airflow.

Note: The structural system, foundations, and construction details shall be validated by a structural engineer. Provisions must be made for electrical installations for lighting and photovoltaic panels, and the rainwater drainage pipe shall be embedded within the designated column and routed to its corresponding discharge point.

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FLORIDA . 33149
TEL. 305-365-1284

ARCHITECTURE
CERTIFICATION
No. AA0003002

PROJECT: NEW 2 STORY RESIDENCE
CORREDOR RESIDENCE
301 W SAN MARINO DR
MIAMI BEACH, FL, 33139

DATE: 05/11/2026

REVISIONS:

SCALE: AS NOTED

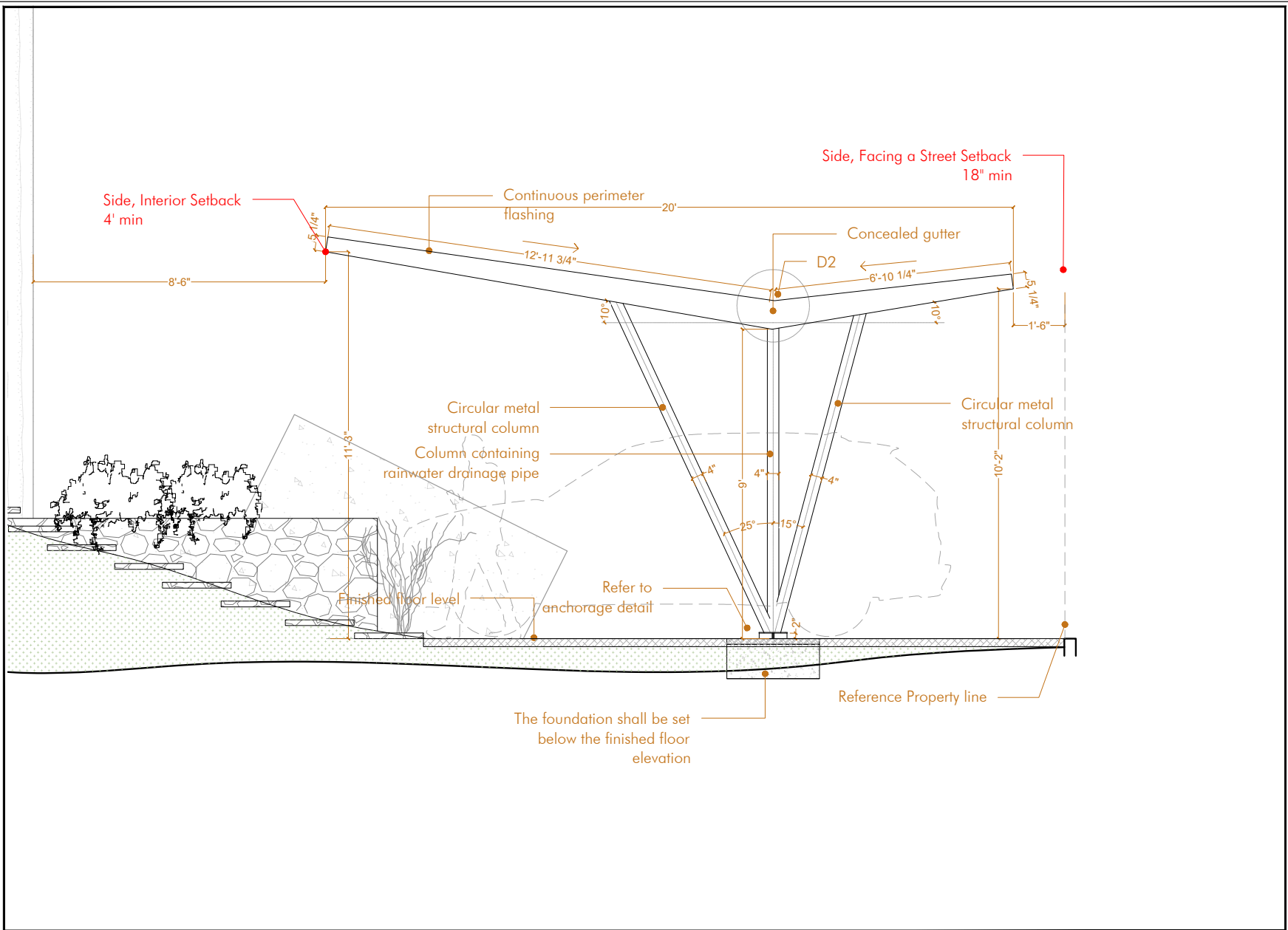
BY: C.R.

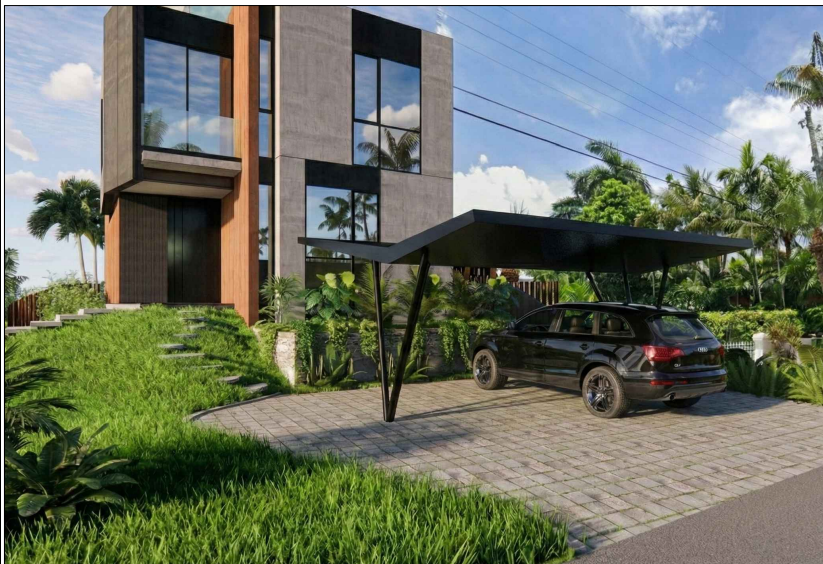
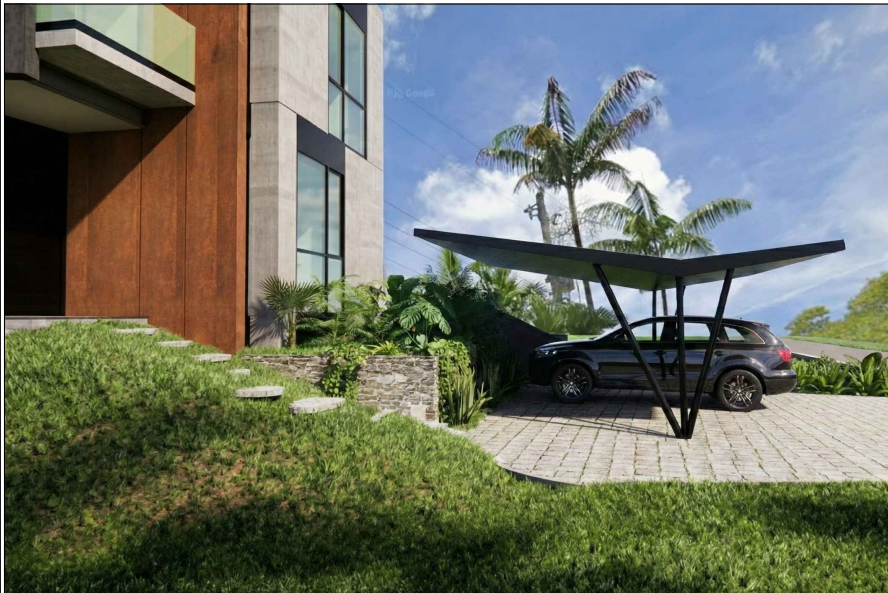
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REG. ARCHITECT
AR 14147

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SHEET TITLE:
**COVERED PARKING
STRUCTURE**

PAGE #:
A5.00





ARCHITECTURE
 CERTIFICATION No. A660000

PROJECT: 1st / 2nd STORY RESIDENCE
CORREDOR RESIDENCE
 301 W. SAN MARINO DR.
 MIAMI BEACH, FL. 33139

DATE: 03-19-2026

REVISIONS:

AFTER PERMIT REVISIONS:

SCALE: AS NOTED

C.R.

JUAN J. ZUBIILAGA
 REG. ARCHITECT
 AR 14147

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CONSULTANT:

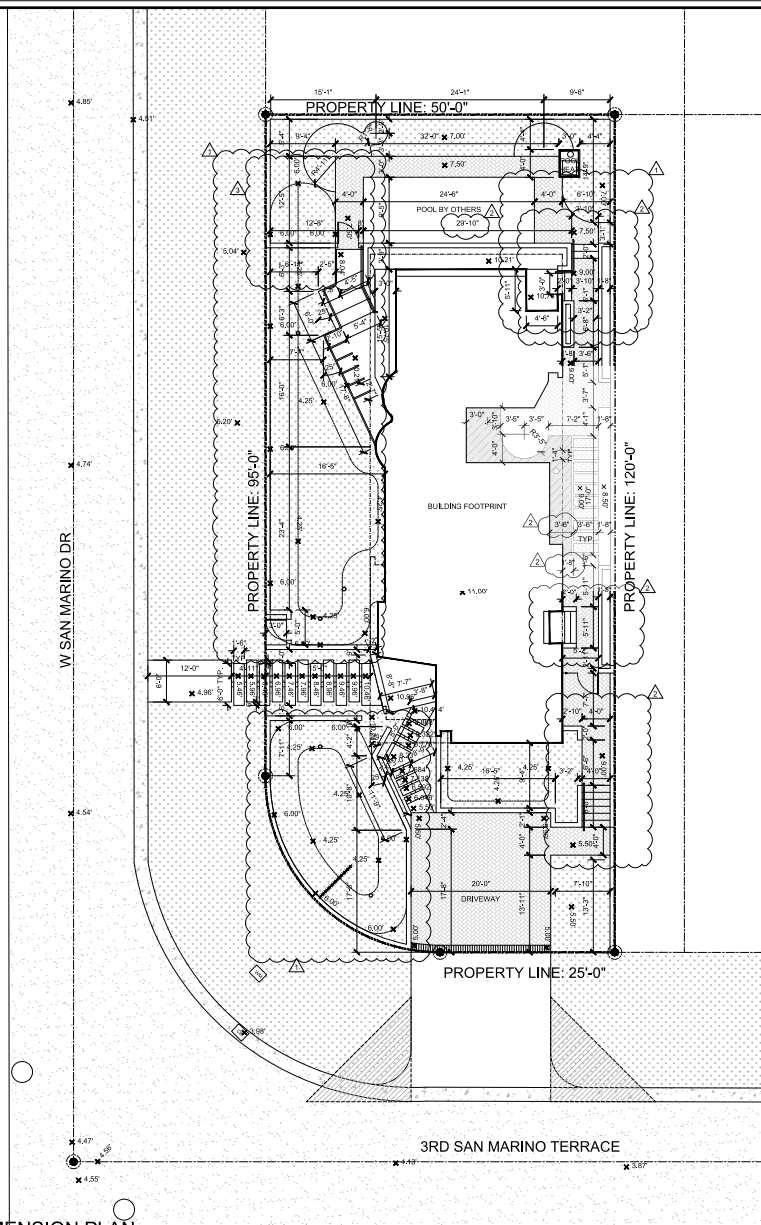
DESCRIPTION
 GARAGE STRUCTURE
 RENDER

PAGE #:

A-03

BZ-18-0287
D/17/2024 10:42:48 AM
REGISTRATION NO. AA000002

NOTES:
LOWEST GRADE ELEV. ON SITE = -7'-0" (DFE) = -4'-0" (NGVD)
ADJUSTED GRADE ELEV. = -4'-6" (DFE) = +6'-6" (NGVD)



SITE DIMENSION PLAN
SCALE: 1/8" = 1'-0"

ARCHITECTURE
CERTIFICATION NO. AA000002

PROJECT: NEW 2 STORY RESIDENCE
CORREDOR RESIDENCE
301 W SAN MARINO DR
MIAMI BEACH, FL 33139

DATE: 06-14-2023

- REVISIONS:
- ▲ BDC | 08.21.2023
 - ▲ BDC | 11.07.2023
 - ▲ BDC | 12.08.2023

SCALE: AS NOTED

BY: C.R.

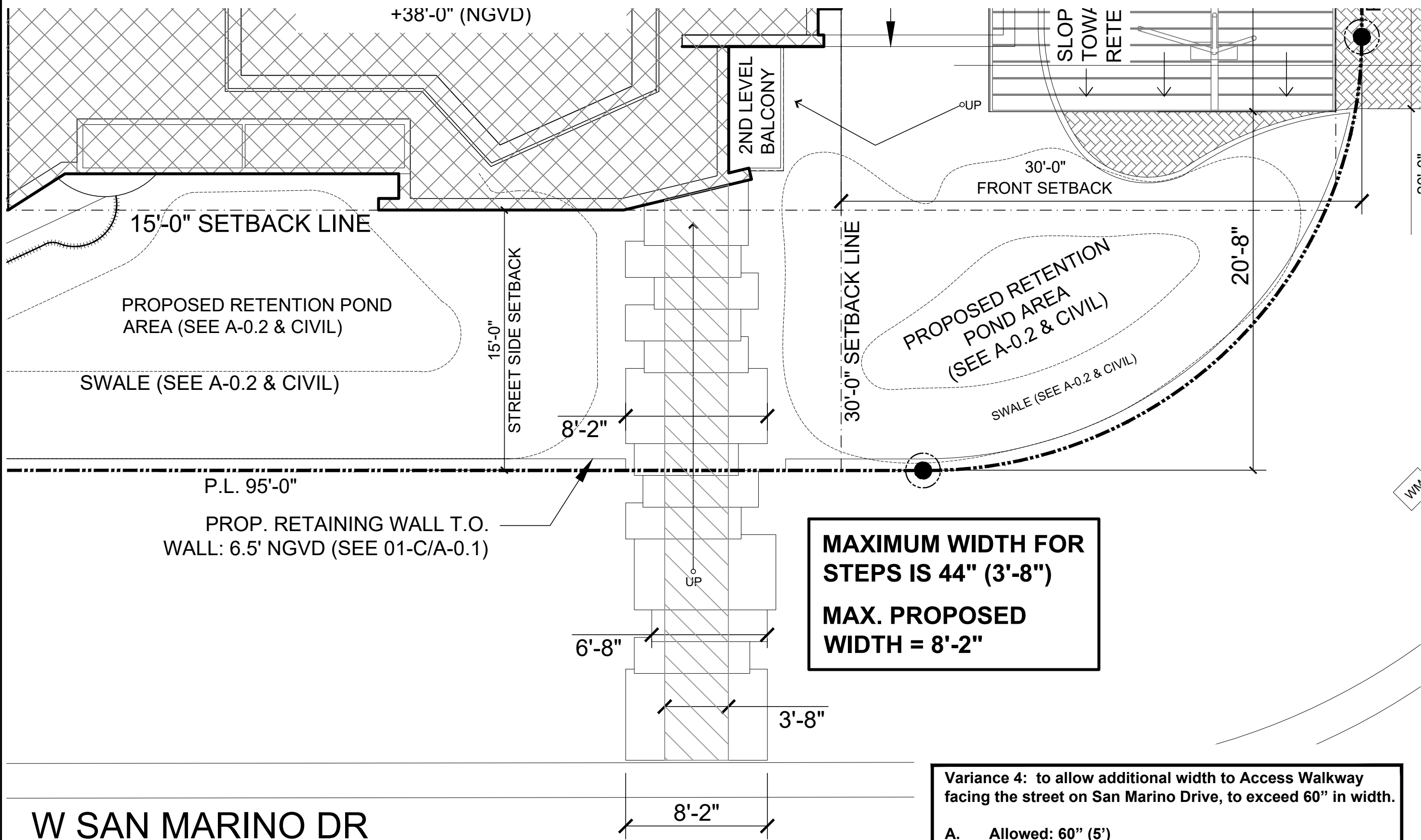
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AR 14147



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THIS PLAN IS ISSUED TO THE CLIENT AS A PRODUCT
FOR THE PROJECT NAMED ABOVE.

CONSULTANT:

PROPOSED WALKWAY DRB26-1167



MAXIMUM WIDTH FOR STEPS IS 44" (3'-8")
MAX. PROPOSED WIDTH = 8'-2"

Variance 4: to allow additional width to Access Walkway facing the street on San Marino Drive, to exceed 60" in width.

- A. Allowed: 60" (5')
- B. Proposed: Between 6' and 8'
- C. We comply with the 50% required open space
- D. Refer to Access Stairs PAGE A-01

W SAN MARINO DR

WALKWAY FLOOR PLAN
 SCALE: 3/32" = 1'-0"

ZD
Zubillaga
 DESIGN
 200 CRANDON
 BLVD. SUITE 314
 KEY BISCAYNE,
 FLORIDA . 33149
 TEL. 305-365-1284

ARCHITECTURE
 CERTIFICATION
 No. AA0003002

PROJECT: NEW 2 STORY RESIDENCE
CORREDOR RESIDENCE
 301 W SAN MARINO DR
 MIAMI BEACH, FL, 33139

DATE: 05/11/2026

REVISIONS:

SCALE: AS NOTED

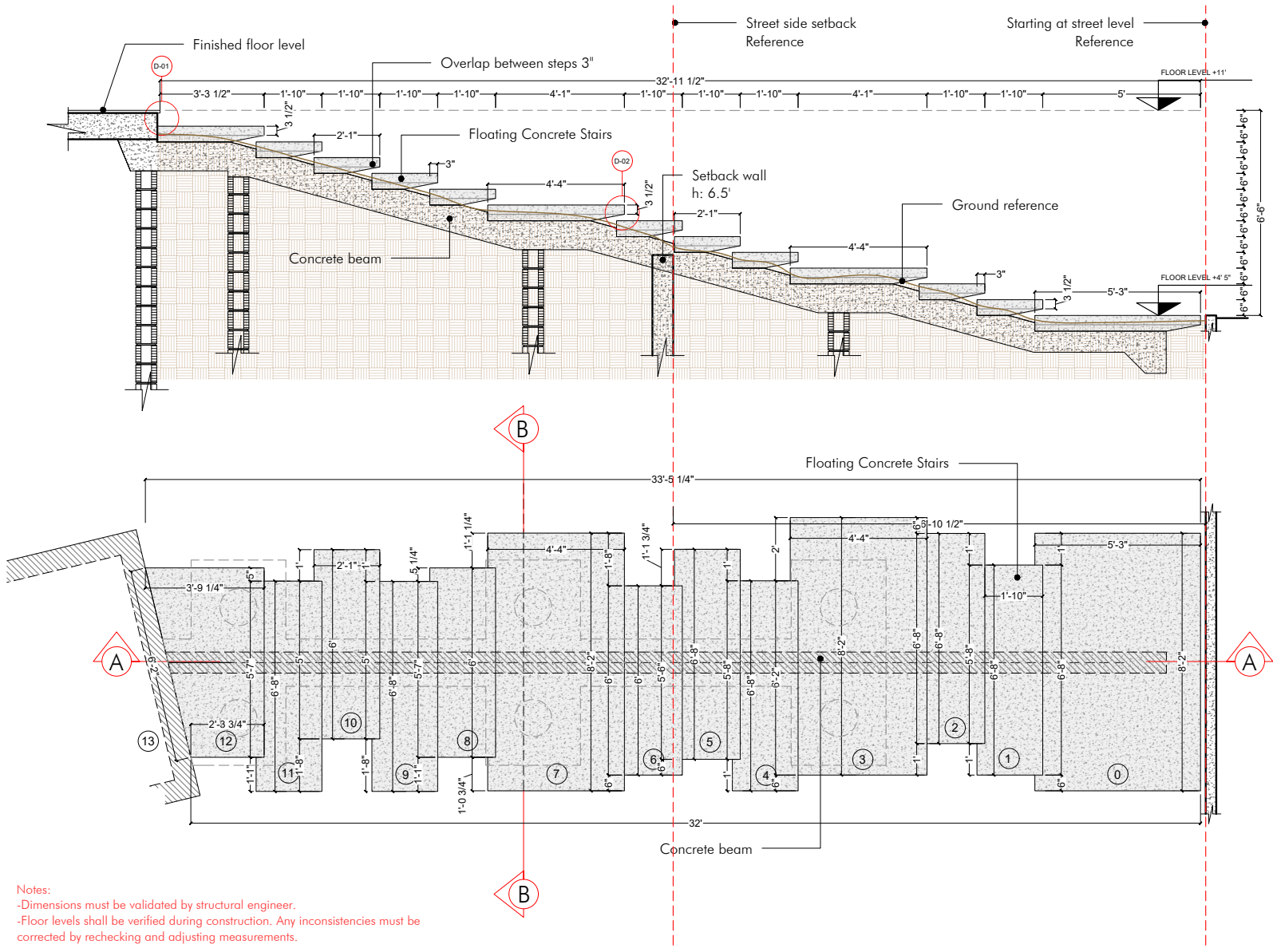
BY: C.R.

JUAN J. ZUBILLAGA
 REG. ARCHITECT
 AR 14147

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SHEET TITLE:
**SIDE STREET
 WALKWAY**

PAGE #:
A6.00



Notes:
 -Dimensions must be validated by structural engineer.
 -Floor levels shall be verified during construction. Any inconsistencies must be corrected by rechecking and adjusting measurements.



ARCHITECTURE
CERTIFICATION NO. A6880002

PROJECT: NEW 2-STORY RESIDENCE
CORREDOR RESIDENCE

301 W SAN MARINO DR
MIAMI BEACH, FL 33139

DATE: 03-19-2026

REVISIONS:

AFTER PERMIT REVISIONS:

SCALE: AS NOTED

C.R.

JUAN J. ZUBILLAGA
REG. ARCHITECT
AR 14147

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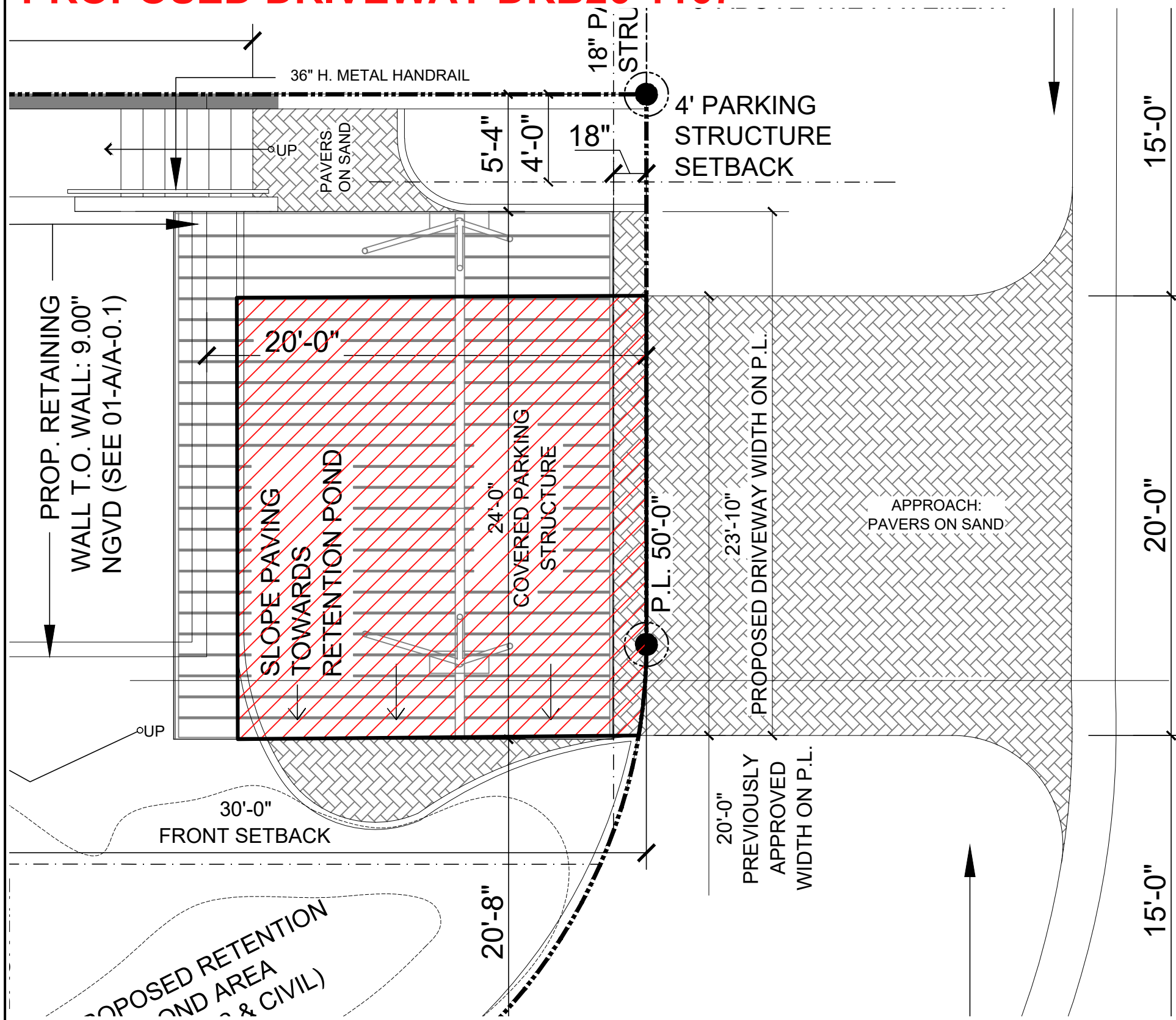
CONSULTANT:

DESCRIPTION
FLOATING CONCRETE STAIRS
RENDER



PAGE #:


A-04

PROPOSED DRIVEWAY DRB26-1167



LEGEND:

-  PREVIOUSLY APPROVED DRIVEWAY
-  PROPOSED DRIVEWAY

 DRIVEWAY FLOOR PLAN
SCALE: 3/32" = 1'-0"

Variance 5: to allow additional width to Driveway
A. Approved by Master Permit BR2308287: 20' width in approach (RoW) and inside property line
B. Proposed: 20' feet on the approach (RoW) and 23'-10" inside the property line
C. Refer to _Driveway PAGE A-7.00

ZD
Zubillaga
DESIGN
 200 CRANDON BLVD. SUITE 314
 KEY BISCAYNE, FLORIDA . 33149
 TEL. 305-365-1284

ARCHITECTURE
 CERTIFICATION
 No. AA0003002

PROJECT: NEW 2 STORY RESIDENCE
CORREDOR RESIDENCE
 301 W SAN MARINO DR
 MIAMI BEACH, FL, 33139

DATE: 05/11/2026

REVISIONS:

SCALE: AS NOTED

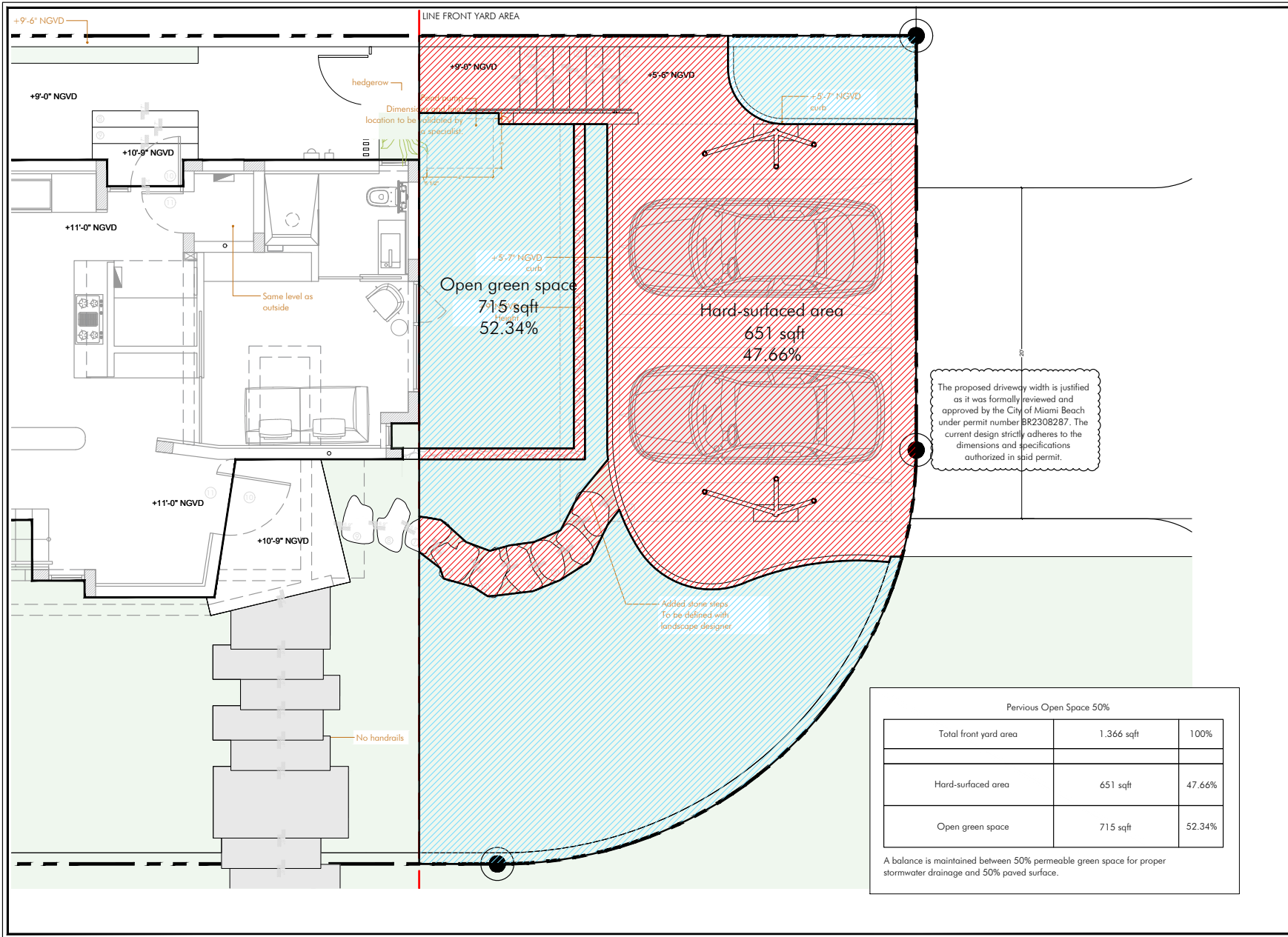
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SHEET TITLE:
 DRIVEWAY


PAGE #:
A7.00



PerVIOUS Open Space 50%

Total front yard area	1.366 sqft	100%
Hard-surfaced area	651 sqft	47.66%
Open green space	715 sqft	52.34%

A balance is maintained between 50% permeable green space for proper stormwater drainage and 50% paved surface.



**Zubillaga
DESIGN**
200 GRANDEN BLVD SUITE 214
MIAMI BEACH, FLORIDA 33149
TEL. 305-965-0244

ARCHITECTURE
CERTIFICATION No. A0003902

CORREDOR RESIDENCE

301 W SAN MARINO DR
MIAMI BEACH, FL 33139

DATE: 03-19-2026

REVISIONS:

AFTER PERMIT REVISIONS:

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CONSULTANT:

DESCRIPTION
DRIVEWAY
FRONT YARD LANDSCAPE PLAN

PAGE #:
A-02

SOUTH FACADE



ACCESS STAIRS



EAST FENCE



DRIVEWAY



ACCESS STARIS SIDE VIEW



NORTH/EAST FENCE



NORTH FENCE



NORTH FACADE



EAST FENCE



WEST FACADE



SOUTH/WEST CORNER



EAST FACADE



WINDOWS DETAIL WEST



SAN MARINO TERRACE



SAN MARINO DRIVE



CORNER SAN MARINO TERRACE / DRIVE



SAN MARINO DR FROM SOUTH



SAN MARINO TERRACE FROM EAST



SOUTH FAÇADE FROM STREET



EAST FAÇADE FROM NORTH



WEST FAÇADE FROM STREET



NORTH / WEST FAÇADE FROM STREET

