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# LULLABY CONDOMINIUM RESIDENCES

7928 BYRON AVENUE, MIAMI BEACH, FL 33141

DESIGN REVIEW BOARD

DRB26-1165

FINAL SUBMITTAL

05 APRIL 2026

## CIC ARCHITECTURE + INTERIOR DESIGN

JOSE R. CARLO

11 ISLAND AVENUE, SUITE 2105

MIAMI BEACH, FL 33139

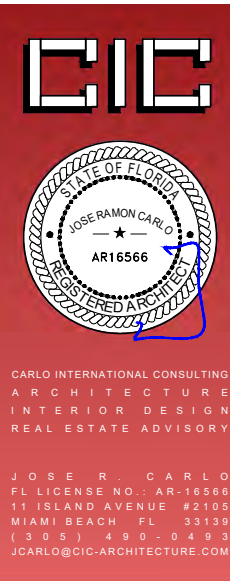
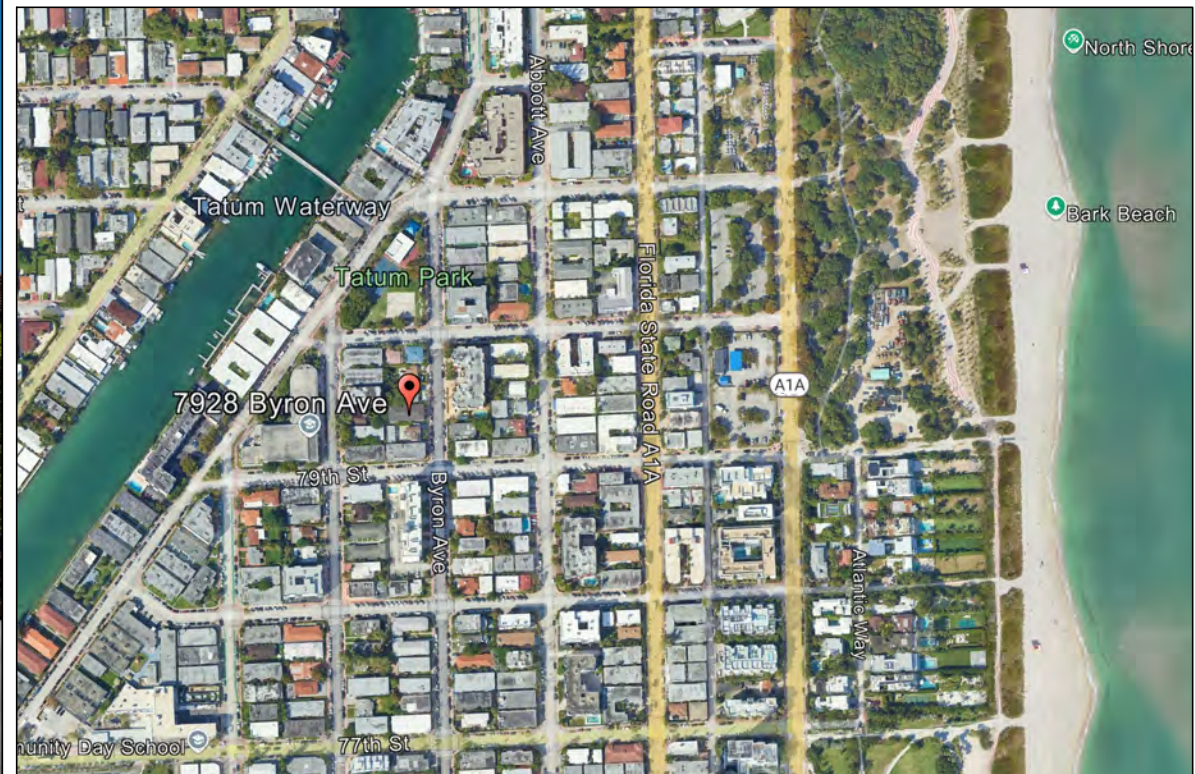
JCARLO@CIC-ARCHITECTURE.COM

FLORIDA LICENSE AR-16566

## LOEN LULLABY ESTATE

1200 BISCAYNE BOULEVARD, SUITE 506

NORTH MIAMI, FL 33181



Jose R Carlo  
Digitally signed by Jose R Carlo  
Date: 2026.04.05 22:37:12 -04'00'

**LULLABY CONDOMINIUM RESIDENCES**  
7928 BYRON AVENUE, MIAMI BEACH, FL 33141  
DESIGN REVIEW BOARD  
FINAL SUBMITTAL  
DRB26-1165  
05 APRIL 2026

PROJECT : 2501  
DATE : APRIL 5, 2025  
FILE : 7928B DRB 250401 FINAL  
REV. DESCRIPTION DATE

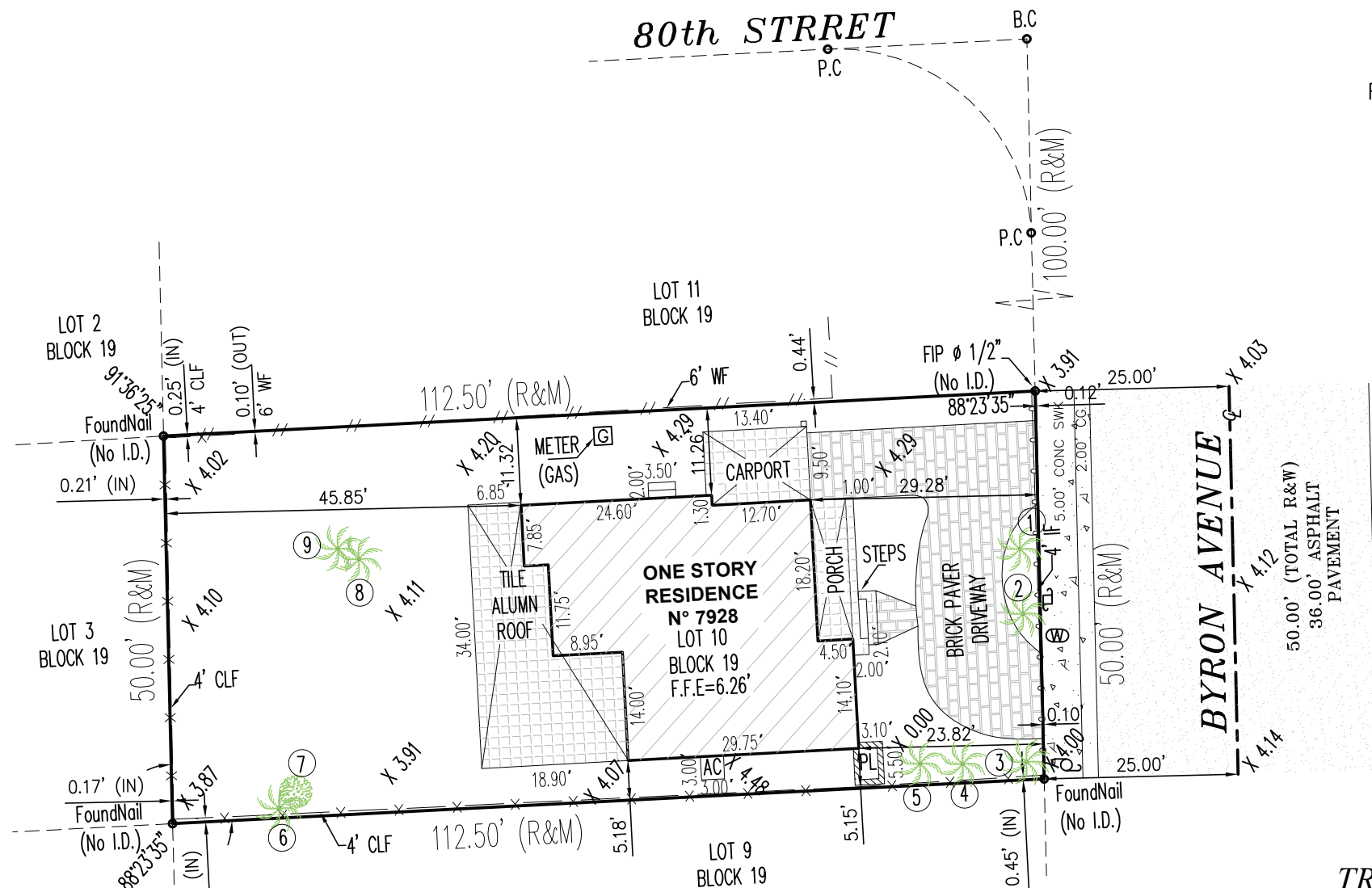
SCALE: AS NOTED  
**COVER SHEET**

# TOPOGRAPHIC AND TREE SURVEY

JOB Nº: 260113



SCALE 1"=20'



PROPERTY ADDRESS:  
7928 BYRON AVE, MIAMI BEACH, FLORIDA. 33141

FOLIO # 02-3202-007-1490

LEGAL DESCRIPTION:  
LOT 10, BLOCK 19, "ALTOS DEL MAR NO 3", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 8, AT PAGE 41, OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA

CERTIFIED TO: LOEN LULLABY ESTATE CORP

**SURVEYOR'S NOTES:**

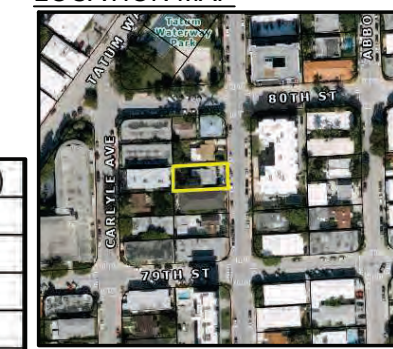
- 1) The above captioned Property was surveyed and described based on the above Legal Description: Provided by Client.
- 2) This Certification is only for the lands as described. It is not a certification of Title, Zoning, Easements, or Freedom of Encumbrances. ABSTRACT NOT REVIEWED
- 3) There may be additional Restrictions not shown on this survey that may be found in the Public Records of this County. Examination of ABSTRACT OF TITLE will have to be made to determine recorded instruments, if any affecting this property.
- 4) Accuracy: The expected use of the land, as classified in the Minimum Technical Standards (61G17-6FAC), is "Residential High Risk". The minimum relative distance accuracy for this type of boundary survey is 1 foot in 10,000 feet. The accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
- 5) Foundations and/or footings that may cross beyond the boundary lines of the parcel herein described are not shown hereon. Underground encroachments not located.
- 6) Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to survey maps or reports by other than the signing party or parties are prohibited without written consent of the signing party or parties.
- 7) Contact the appropriate authority prior to any design work on the herein-described parcel for Building and Zoning information.
- 8) Underground utilities are not depicted hereon; contact the appropriate authority prior to any design work or construction on the property herein described. Surveyor shall be notified as to any deviation from utilities shown hereon.
- 9) Area of the Property: 5,650 Sq.Ft(10)
- 10) This survey does not reflect or determine ownership. Ownership subject to opinion of title.
- 11) Type of Survey: TOPOGRAPHIC AND TREE SURVEY
- 12) The survey depicted here is covered by professional liability insurance. The liability of this survey is limited to the cost of the survey.
- 13) Elevations when shown refer to 1929 NATIONAL GEODETIC VERTICAL DATUM (NGVD 1929).

**TREE TABLE:**

IN CASE OF A DISPUTE AN ARBORIST REPORT WILL GOVERN.

No	COMMON NAME	DBH(Ø) (Inches)	HEIGHT (Feet)	CANOPY (Feet)
1	PALM	0.3	20	5
2	PALM	0.3	20	5
3	PALM	0.3	20	5
4	PALM	0.3	20	5
5	PALM	0.3	20	5
6	PALM	0.3	20	5
7	TREE	0.5	25	15
8	PALM	0.3	20	5
9	PALM	0.3	20	5

**PROJECT SITE LOCATION MAP**



BM USED: D-180  
Elev(NGVD29): 3.51

COMMUNITY NAME AND NUMBER: CITY OF MIAMI BEACH: 120651	PANEL NUMBER AND SUFFIX: 12086 C 0326 L	FIRM PANEL EFFECTIVE DATE: 09 / 11 / 2009
COUNTY NAME: MIAMI-DADE	FLOOD ZONE:AE	BASE FLOOD ELEVATION: 8.00'
STATE: FLORIDA		

**VIZCAYA SURVEYING & MAPPING, INC.**

13217 S.W. 46th LANE  
MIAMI, FLORIDA 33175  
PHONE: (305) 223-6060  
E-Mail: RVIZCAYA.13@GMAIL.COM LB.# 8000

**LEGEND AND ABBREVIATIONS:**

- A. = ARC
- A/C = AIR CONDITIONER PAD
- B.S. = BUILDING SETBACK
- C.B. = CATCH BASIN
- C.L.F. = CHAIN LINK FENCE
- CL = CENTER LINE
- CL. = CLEAR
- CONC. = CONCRETE
- C.B.S. = CONCRETE BLOCK STRUCTURE
- Δ = DELTA
- D.E. = DRAINAGE EASEMENT
- ENC. = ENCROACHMENT
- F.P.C.P. = FOUND PERMANENT CONTROL POINT
- F.I.P.1/2" = FOUND IRON PIPE 1/2"
- F.I.R.1/2" = FOUND IRON REBAR 1/2"
- F.N. = FOUND NAIL
- F.N.&D. = FOUND NAIL AND DISC
- N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
- OL = ON LINE
- P.C. = POINT OF CURVATURE
- P.C.P. = PERMANENT CONTROL POINT
- F.P.R.M. = FOUND PERMANENT REFERENCE MONUMENT
- P.T. = POINT OF TANGENCY
- R.P. = RADIUS POINT
- R.&M. = RECORD AND MEASURE
- S.N.&D. = SET NAIL & DISC
- TYP. = TYPICAL
- U.E. = UTILITY EASEMENT
- WM = WATER METER
- R/W=RIGHT OF WAY
- M.F=METAL FENCE

**SURVEYOR'S CERTIFICATION:**

I HEREBY CERTIFY: THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY DIRECTION, AND THAT THIS SURVEY MEETS THE "MINIMUM TECHNICAL STANDARDS" AS SET FORTH BY THE FLORIDA STATE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

**Arturo R Toirac**  
Digitally signed by Arturo R Toirac  
Date: 2026.02.12 14:55:55 -05'00'  
ARTURO R. TOIRAC P.L.S.  
PROFESSIONAL SURVEYOR AND MAPPER # 3102

**SURVEYOR'S SEAL**



Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper.

FIELD DATE :02-09-2026  
DATE : 02-11-2026

**REVISIONS :**

- 1 \_\_\_\_\_
- 2 \_\_\_\_\_
- 3 \_\_\_\_\_
- 4 \_\_\_\_\_

DRAWN \_\_\_\_\_ Y.C.  
DESIGNED \_\_\_\_\_  
CHECKED \_\_\_\_\_ A.T.



Planning Department  
1700 Convention Center Drive, 2nd Floor Miami Beach, Florida 33139, www.miamibeachfl.gov  
305.673.7550

**COMMERCIAL - MULTIFAMILY - HOTEL - MIXED USE - ZONING DATA SHEET**

**ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY RESULT IN A FAILED REVIEW**

ITEM #	Project Information				
1	Address: 7928 BYRON AVENUE, MIAMI BEACH, FL 33141	Folio number(s):	02-3202-007-1490	Year built:	1941
2	Board file number(s), Determination of Architectural Significance:	DRB26-1165		Lot Area:	5,650 SF
3	Located within a Local Historic District (Yes or No): YES	Zoning District:	RM-1	Lot width:	50 FT
4	Individual Historic Site (Yes or No):			Lot Depth:	112.5 FT
5	Base Flood Elevation:	8.00 FT	Grade value in NGVD:		3.95 FT
6	Future Adjusted Grade (BFE+Grade / 2):	5.97 FT	Free board:	5.00 FT	
7	Proposed Use:	R-2 RESIDENTIAL			
8	Proposed Accessory Use:	N/A			
9	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan):	<b>SEE ATTACHED</b>			
	<b>ZONING INFORMATION / CALCULATION</b>	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Deficiencies</b>
13	<b>Floor Area Ratio (FAR)</b>	1.25	0.24	1.25	N/A
14	<b>Building Height</b>	32 FT / 45 FT	15.75 FT	45 FT	N/A
15	<b>At grade parking lot on the same lot</b>	YES			
a	Front setbacks	20'-0"	29'-3"	20'-0"	N/A
b	Side interior setback	5'-0"	11'-3" & 5'-2"	5'-0" & 5'-0"	N/A
c	Side facing street setback	N/A	N/A	N/A	N/A
d	Rear setback	11'-3"	70'-5"	11'-3"	N/A
16	<b>Subterranean, Pedestal &amp; Tower (non-Oceanfront)</b>	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Deficiencies</b>
a	Front setbacks	10'-0" & 35'-0"	23'-10"	14'-6" & 35'-0"	N/A
b	Side interior setback	5'-0" & 10'-0"	11'-3" & 5'-2"	5'-0" & 10'-0"	N/A
c	Side facing street setback	N/A	N/A	N/A	N/A
d	Rear setback	5'-0"	45'-10"	5'-0"	N/A
17	<b>Subterranean, Pedestal &amp; Tower (Oceanfront)</b>	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Deficiencies</b>
a	Front setbacks	----	----	----	----
b	Side interior setback	----	----	----	----
c	Side facing street setback	----	----	----	----
d	Rear setback	----	----	----	----
18	<b>Minimum Apartment Unit Size</b>	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Deficiencies</b>
a	New Construction	400 SF	1,368 SF	1,600 SF	N/A
b	Rehabilitated Buildings	----	----	----	----
c	Hotel Unit	----	----	----	----
19	<b>Average Apartment Unit Size</b>	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Deficiencies</b>
a	New Construction	500 SF	1,368 SF	1,600 SF	N/A

b	Rehabilitated Buildings	----	----	----	----
c	Hotel Unit	----	----	----	----
20	<b>Required Open-space ratio (RPS, CPS)</b>	0 SF	4,282 SF	1,800SF	N/A
21	<b>Parking and Loading</b>	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Deficiencies</b>
a	Parking district	TIER 1	N/A	N/A	N/A
b	Total number of parking spaces	0	2	8	N/A
c	Total number of bicycle spaces	0	0	4	N/A
d	Total number of loading spaces	0	0	0	N/A
	Provide a separate chart for a breakdown calculation	----	----	----	----
22	<b>Restaurants, Cafes, Bars, Lounges, Nightclubs</b>	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Deficiencies</b>
a	Type of use	N/A	N/A	----	N/A
b	Total number of seats	----	----	----	----
c	Number of seats inside	----	----	----	----
d	Number of seats located outside on private property	----	----	----	----
	Provide a separate chart for a breakdown calculation	----	----	----	----

Additional data or information must be presented in the format outlined in this section



Jose R Carlo  
Digitally signed by Jose R Carlo  
Date: 2026.04.05 22:37:49 -04'00'

**LULLABY CONDOMINIUM RESIDENCES**  
7928 BYRON AVENUE, MIAMI BEACH, FL 33141  
DESIGN REVIEW BOARD  
FINAL SUBMITTAL  
DRB26-1165  
05 APRIL 2026

PROJECT : 2501  
DATE : APRIL 5, 2025  
FILE : 7928B DRB 250401 FINAL  
REV. DESCRIPTION DATE

SCALE: AS NOTED

ZONING DATA

**Z 0.0**

C. THESE IDEAS, PLANS, & DESIGNS MAY NOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN CONSENT OF CIC. DIMENSIONS SHOWN ON THESE DRAWINGS SUPERCEDE SCALE DIMENSIONS

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## 7928 BYRON AVENUE -Future Crown of Road

Osborne, Aaron <AaronOsborne@miamibeachfl.gov>  
To: "Jose R. Carlo" <JCarlo@cic-architecture.com>

Thu, Oct 31, 2024 at 5:23 PM

Good afternoon Mr. Carlo,

- The future Crown of the Road elevation adjacent to 7928 Byron Avenue, is projected at 4.5 feet NAVD.

In 2020, the City Commission adopted a new road elevation strategy which considers sea level rise (SLR) projections and tidal flooding. Since the SLR projections vary with time, so are the proposed elevation of the roads. We are currently using the 2025 projected values (see Table 1 below), and thus the elevation(s) of the road(s) at the edge of pavement for *non-state roads* like Byron Avenue at the referenced address is projected to be approximately 4.2 feet NAVD (and 4.4 feet NAVD at the crown of the road for a typical two-lane road with 10-foot-wide lanes).

Table 1- Future Edge of Pavement Elevation (in feet NAVD) per Adopted Road Elevation Strategy

Project Start Date	2020	2025	2030	2035	2040
State Roads	4.8	5.2	5.7	6.2	6.7
Non-state Roads	3.9	4.2	4.5	4.9	5.3

Please note that the projected future road elevation is only a *target* and *can be adjusted* to ensure proper harmonization. Harmonization refers to the transition in elevations between the private property and the right of way, including the driveway and pedestrian access as well as the front and side yard transitions.

Based on the prioritization of projects (see attached map), the above subject property falls within the North Shore B Neighborhood Improvement Project (NIP), and it is not expected to be raised within the next few years.

Feel free to contact me if you have any questions.

Best regards,



Aaron Osborne, Project Engineer

PUBLIC WORKS DEPARTMENT, Engineering Division  
1700 Convention Center Drive, Miami Beach, FL 33139  
Tel: 305-673-7080 x 26110 / Fax: 305-673-7028

[www.miamibeachfl.gov](http://www.miamibeachfl.gov)

#### Public Works Department Mission

We are a multi-disciplined department comprised of Operations, Engineering, Sanitation, and Greenspace Management divisions. Together, these divisions ensure the technologically advanced design, maintenance, functionality, delivery, and cleanliness of the City's water services and resources, roadways and greenways.

We place the utmost importance in valuing our employees and ensuring all are trained to be the most reliable, knowledgeable, environmentally-conscious and solutions-oriented professionals who provide for the City's stakeholder needs and concerns in an efficient and socially-responsible manner to foster a better, safer, and healthier community for all to live, work, and play.

#### Public Works Department Vision

CIC



CARLO INTERNATIONAL CONSULTING  
ARCHITECTURE  
INTERIOR DESIGN  
REAL ESTATE ADVISORY

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Jose R  
Carlo

Digitally signed  
by Jose R Carlo  
Date: 2026.04.05  
22:38:58 -04'00'

LULLABY CONDOMINIUM RESIDENCES

7928 BYRON AVENUE, MIAMI BEACH, FL 33141

DESIGN REVIEW BOARD

FINAL SUBMITTAL

DRB26-1165  
05 APRIL 2026

PROJECT : 2501  
DATE : APRIL 5, 2025  
FILE : 7928B DRB 250401 FINAL  
REV. DESCRIPTION DATE

SCALE: AS NOTED

FUTURE CROWN  
OF ROAD

Z 0.1



- NORTH BEACH PUBLIC SKATE PARK
- NORTH BEACH OCEANSIDE PARK
- TATUM PARK
- SITE  
7928 BYRON AVENUE
- YESHIVA ELEMENTARY GIRLS PRE-SCHOOL
- INTERCOASTAL WATERWAY
- ALTOS DEL MAR PARK
- BISCAYNE BEACH ELEMENTARY SCHOOL
- FAIRWAY PARK
- NORTH SHORE COMMUNITY CENTER
- NORTH SHORE PARK AND YOUTH CENTER

**1** CONTEXT LOCATION PLAN  
 SCALE: N.T.S. .5 MILE RADIUS



Jose R Carlo  
 Digitally signed by Jose R Carlo  
 Date: 2026.04.05 22:40:00 -04'00'

**LULLABY CONDOMINIUM RESIDENCES**  
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SCALE: AS NOTED  
 CONTEXT LOCATION PLAN  
**A0.1**

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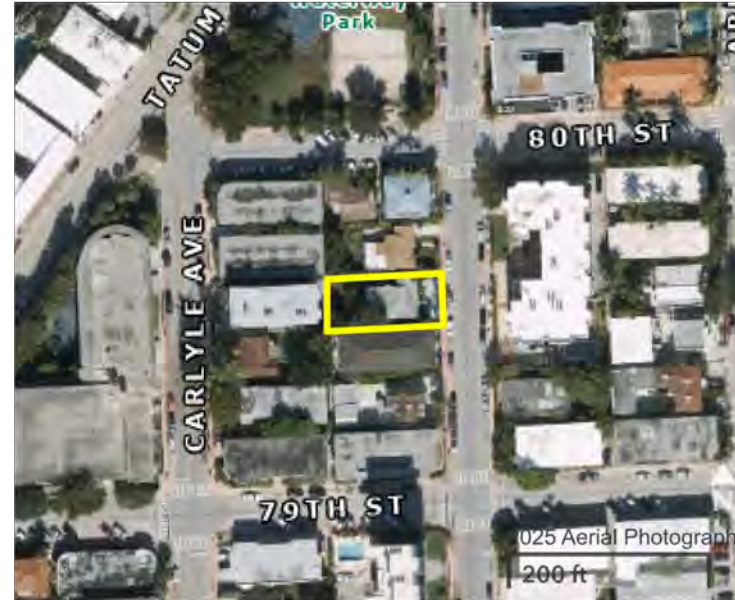


# PROPERTY APPRAISER OF MIAMI-DADE COUNTY

## Detailed Report

Generated On: 01/15/2026

PROPERTY INFORMATION	
<b>Folio</b>	02-3202-007-1490
<b>Property Address</b>	7928 BYRON AVE MIAMI BEACH, FL 33141-0000
<b>Owner</b>	LOEN LULLABY ESTATE CORP
<b>Mailing Address</b>	12000 BISCAYNE BLVD STE 506 NORTH MIAMI, FL 33181
<b>Primary Zone</b>	3900 MULTI-FAMILY - 38-62 U/A
<b>Primary Land Use</b>	0101 RESIDENTIAL - SINGLE FAMILY : 1 UNIT
<b>Beds / Baths /Half</b>	2 / 1 / 0
<b>Floors</b>	1
<b>Living Units</b>	1
<b>Actual Area</b>	1,368 Sq.Ft
<b>Living Area</b>	1,108 Sq.Ft
<b>Adjusted Area</b>	1,130 Sq.Ft
<b>Lot Size</b>	5,650 Sq.Ft
<b>Year Built</b>	Multiple (See Building Info.)



### Property Information

**Folio:** 02-3202-007-1490  
**Property Address:** 7928 BYRON AVE

### FULL LEGAL DESCRIPTION

ALTOS DEL MAR NO 3 PB 8-41  
 LOT 10 BLK 19  
 LOT SIZE 50.000 X 113  
 OR 16884-1605 0895 1  
 COC 25248-0421 11 2006 1

ALTOS DEL MAR NO 3 PB 8-41  
 LOT 10 BLK 19  
 LOT SIZE 50.000 X 113  
 OR 16884-1605 0895 1  
 COC 25248-0421 11 2006 1

**1** FULL LEGAL DESCRIPTION  
 SCALE: N.T.S. .5 MILE RADIUS

**CIC**



CARLO INTERNATIONAL CONSULTING  
 ARCHITECTURE  
 INTERIOR DESIGN  
 REAL ESTATE ADVISORY

JOSE R. CARLO  
 FL LICENSE NO.: AR-16566  
 11 ISLAND AVENUE #2105  
 MIAMI BEACH FL 33139  
 (305) 490-0493  
 JCARLO@CIC-ARCHITECTURE.COM

Jose R Carlo  
 Digitally signed by Jose R Carlo  
 Date: 2026.04.05 22:40:37 -04'00'

**LULLABY CONDOMINIUM RESIDENCES**  
 7928 BYRON AVENUE, MIAMI BEACH, FL 33141  
 DESIGN REVIEW BOARD  
 FINAL SUBMITTAL  
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PROJECT : 2501  
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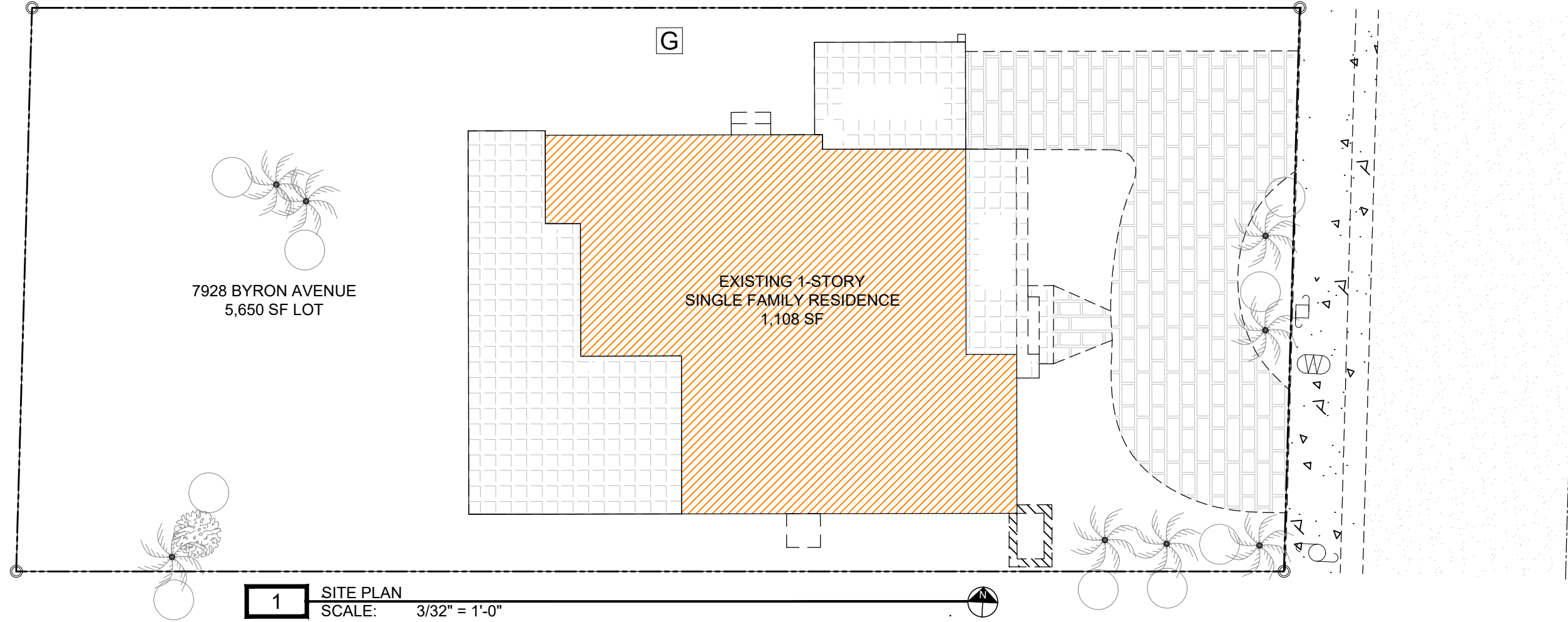
REV. DESCRIPTION DATE

SCALE: AS NOTED

FULL LEGAL DESCRIPTION  
**A0.2**

C THESE IDEAS, PLANS, & DESIGNS MAY NOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE EXPRESS, WRITTEN CONSENT OF CIC. DIMENSIONS SHOWN ON THESE DRAWINGS SUPERCEDE SCALE DIMENSIONS 6

C O P Y R I G H T S R E S E R V E D



EXISTING FAR = 1,108 SF / 5,650 SF  
= .196

1 SITE PLAN  
SCALE: 3/32" = 1'-0"

CIC



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INTERIOR DESIGN  
REAL ESTATE ADVISORY  
  
JOSE R. CARLO  
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JCARLO@CIC-ARCHITECTURE.COM

Jose R Carlo  
Digitally signed by Jose R Carlo  
Date: 2026.04.05 22:41:16 -04'00'

**LULLABY CONDOMINIUM RESIDENCES**  
7928 BYRON AVENUE, MIAMI BEACH, FL 33141  
DESIGN REVIEW BOARD  
FINAL SUBMITTAL  
DRB26-1165  
05 APRIL 2026

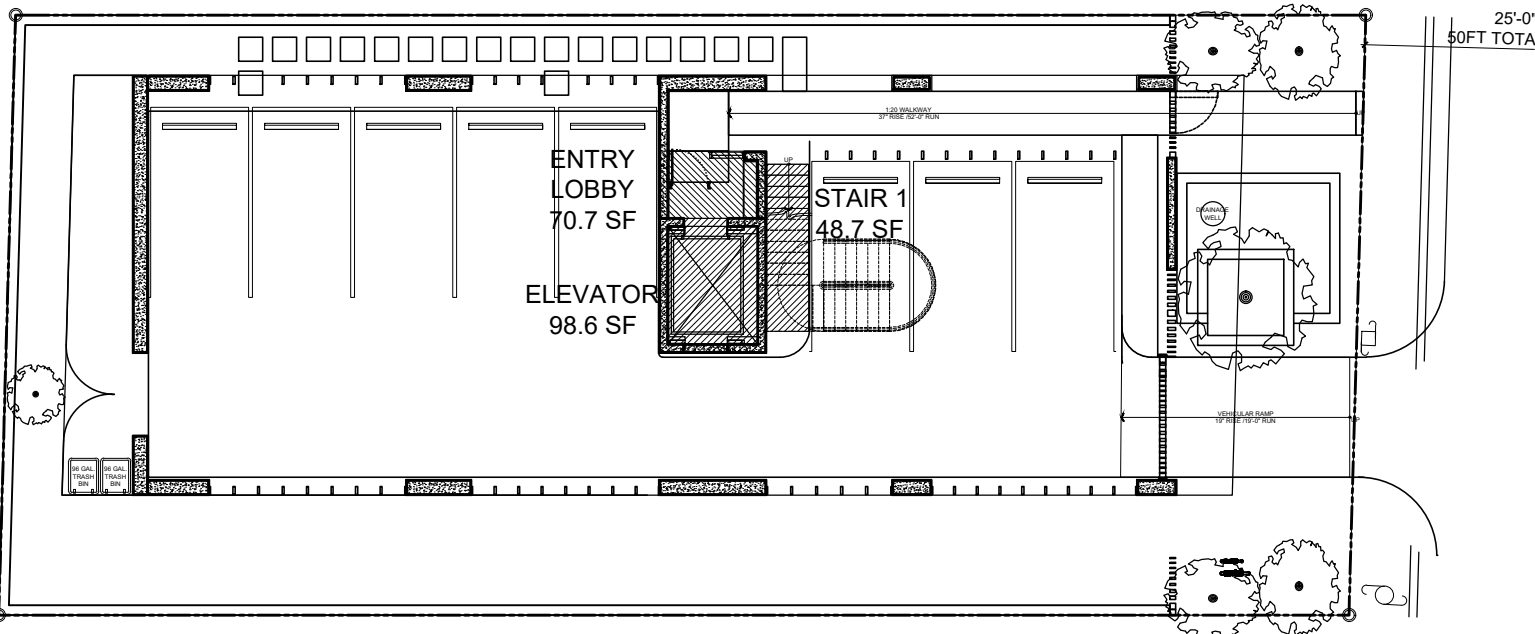
PROJECT : 2501  
DATE : APRIL 5, 2025  
FILE : 7928B DRB 250401 FINAL  
REV. DESCRIPTION DATE

SCALE: AS NOTED

EXISTING FAR  
**Z1.0**

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GROUND FLOOR / PARKING	FAR AREA	FAR AREA	NON-FAR AREA	NOTES
PARKING			8.0 SPACES	
TRANSFORMER ROOM			0.0 SF	
BICYCLE PARKING			126.0 SF	
STAIR 1	48.7 SF			
ELEVATOR	98.6 SF			
CIRCULATION	0.0 SF			
ENTRY LOBBY	70.7 SF			
<b>TOTAL</b>	<b>218.0 SF</b>	<b>0.039 FAR</b>	<b>126.0 SF</b>	



**1** PROPOSED FAR - GROUND LEVEL / PARKING  
 SCALE: 1/16" = 1'-0"

GROUND FLOOR / PARKING	FAR AREA	FAR AREA	NON-FAR AREA	NOTES
PARKING			8.0 SPACES	
TRANSFORMER ROOM			0.0 SF	
BICYCLE PARKING			126.0 SF	
STAIR 1	48.7 SF			
ELEVATOR	98.6 SF			
CIRCULATION	0.0 SF			
ENTRY LOBBY	70.7 SF			
<b>TOTAL</b>	<b>218.0 SF</b>	<b>0.039 FAR</b>	<b>126.0 SF</b>	

2ND FLOOR	FAR AREA	NON-FAR AREA	NOTES
RESIDENTIAL UNITS	2,298.8 SF		
UNIT 2A	1149.4 SF		
UNIT 2B	1149.4 SF		
STAIR 1	72.3 SF		
ELEVATOR	98.6 SF		
CIRCULATION	37.0 SF		
<b>TOTAL</b>	<b>2,506.7 SF</b>	<b>0.444 FAR</b>	<b>SF</b>

2ND FLOOR MEZZANINE	FAR AREA	NON-FAR AREA	NOTES
RESIDENTIAL UNITS	764.3 SF		
UNIT 2A MEZZANINE	382.1 SF		
UNIT 2B MEZZANINE	382.1 SF		
STAIR 1	72.3 SF		
ELEVATOR	98.6 SF		
CIRCULATION	30.0 SF		
<b>TOTAL</b>	<b>965.2 SF</b>	<b>0.171 FAR</b>	<b>SF</b>

3RD FLOOR	FAR AREA	NON-FAR AREA	NOTES
RESIDENTIAL UNITS	2,298.8 SF		
UNIT 3A	1149.4 SF		
UNIT 3B	1149.4 SF		
STAIR 1	72.3 SF		
ELEVATOR	0.0 SF		NO STOP AT THIS LEVEL
CIRCULATION	37.0 SF		
<b>TOTAL</b>	<b>2,408.1 SF</b>	<b>0.426 FAR</b>	<b>SF</b>

3RD FLOOR MEZZANINE	FAR AREA	NON-FAR AREA	NOTES
RESIDENTIAL UNITS	764.3 SF		
UNIT 3A MEZZANINE	382.1 SF		
UNIT 3B MEZZANINE	382.1 SF		
STAIR 1	72.3 SF		
ELEVATOR	SF		NO STOP AT THIS LEVEL
CIRCULATION	30.0 SF		
<b>TOTAL</b>	<b>866.6 SF</b>	<b>0.153 FAR</b>	<b>SF</b>

ROOFTOP	FAR AREA	NON-FAR AREA	NOTES
STAIR 1	0.0 SF	72.3 SF	TO SKY -NO ROOF
ELEVATOR	0.0 SF		
CIRCULATION	0.0 SF	37.0 SF	TO SKY -NO ROOF
SKY LOBBY	98.0 SF		2 x 49SF EACH
ELEVATOR MACHINE RM	0.0 SF	68.0 SF	
HVAC EQUIPMENT	0.0 SF	55.0 SF	
<b>TOTAL</b>	<b>98.0 SF</b>	<b>0.017 FAR</b>	<b>232.3 SF</b>

<b>TOTAL FAR AREA</b>	<b>7,062.5</b>	<b>1.250 FAR</b>
-----------------------	----------------	------------------



Jose R Carlo  
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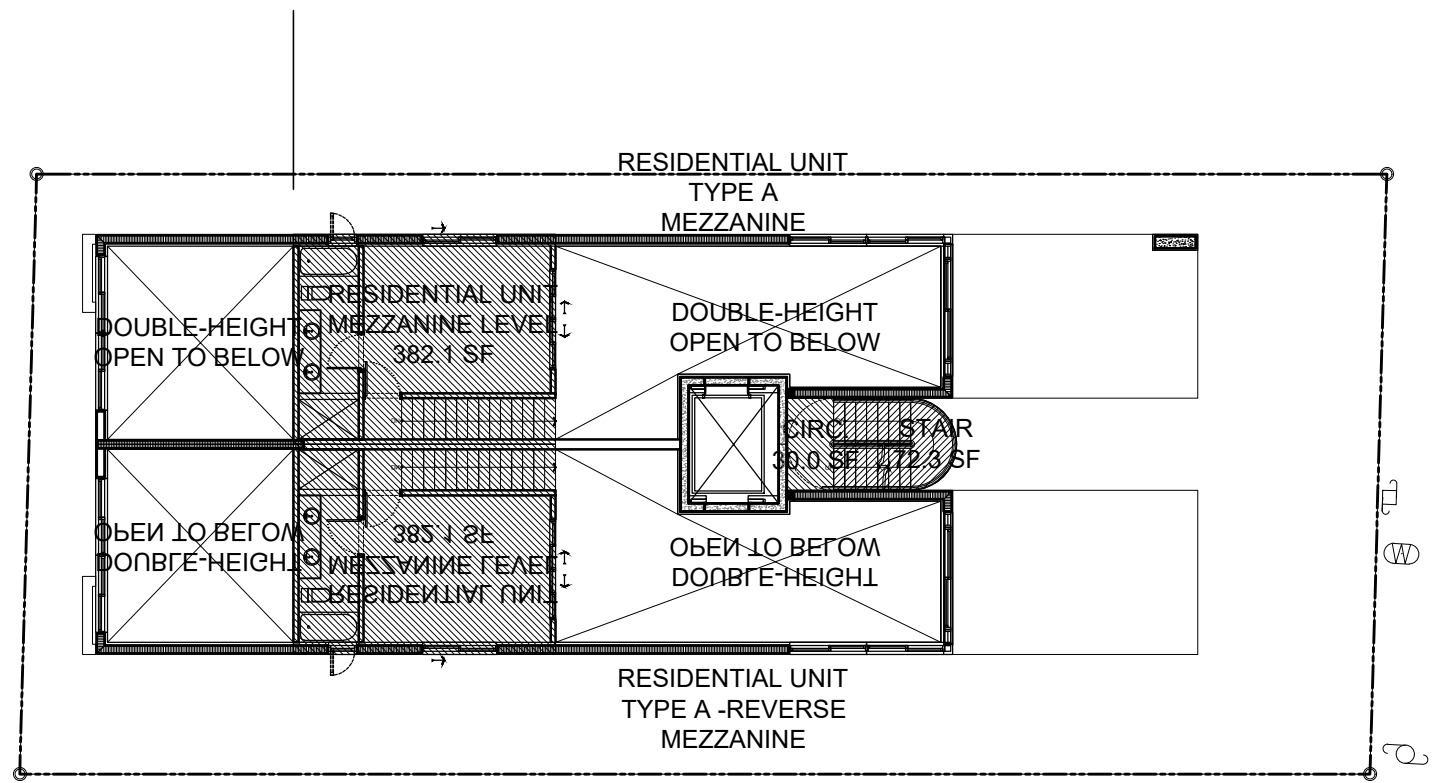
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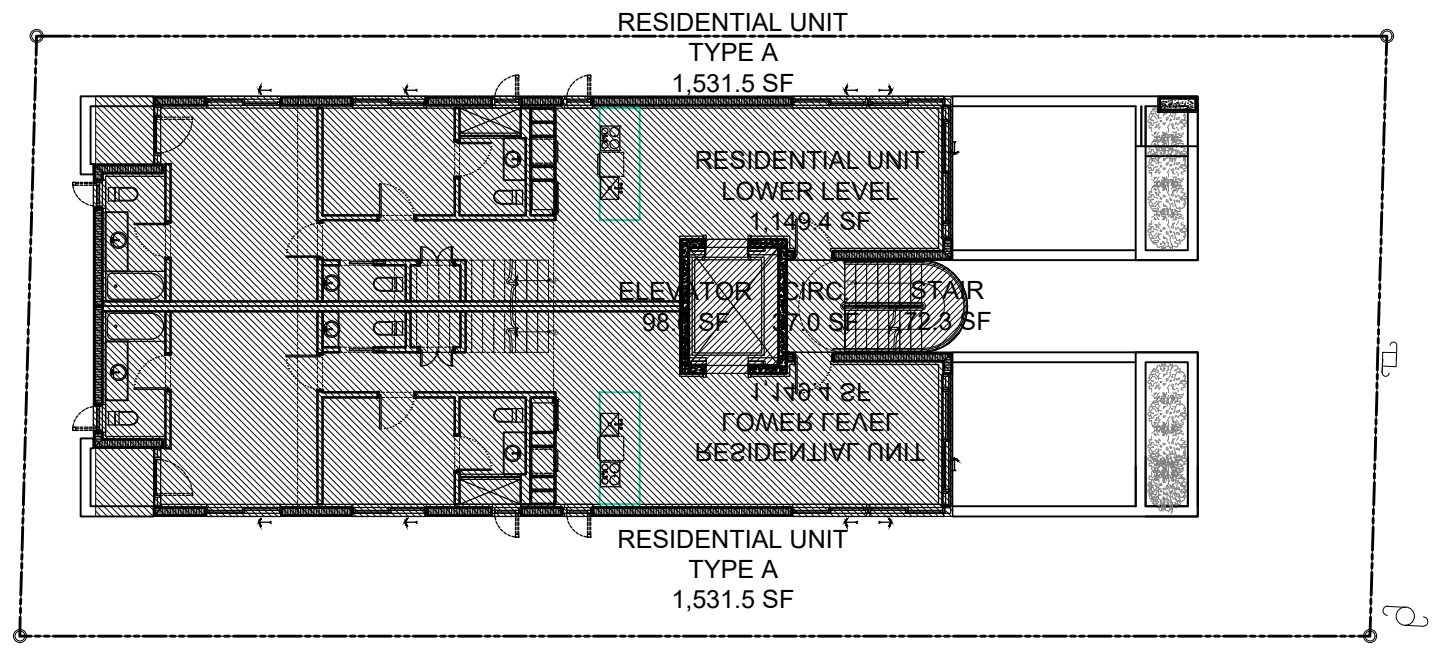
SCALE: AS NOTED

**PROPOSED FAR  
 PARKING LEVEL  
 LOBBY**  
**Z1.1**

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**2** PROPOSED FAR - 2ND FLOOR MEZZANINE  
 SCALE: 1/16" = 1'-0"



**1** PROPOSED FAR - 2ND FLOOR  
 SCALE: 1/16" = 1'-0"

2ND FLOOR MEZZANINE	FAR AREA	NON-FAR AREA	NOTES
<b>RESIDENTIAL UNITS</b>	764.3 SF		
UNIT 2A MEZZANINE	382.1 SF		
UNIT 2B MEZZANINE	382.1 SF		
<b>STAIR 1</b>	72.3 SF		
<b>ELEVATOR</b>	98.6 SF		
<b>CIRCULATION</b>	30.0 SF		
<b>TOTAL</b>	<b>965.2 SF</b>	<b>0.171 FAR</b>	<b>SF</b>

2ND FLOOR	FAR AREA	NON-FAR AREA	NOTES
<b>RESIDENTIAL UNITS</b>	2,298.8 SF		
UNIT 2A	1149.4 SF		
UNIT 2B	1149.4 SF		
<b>STAIR 1</b>	72.3 SF		
<b>ELEVATOR</b>	98.6 SF		
<b>CIRCULATION</b>	37.0 SF		
<b>TOTAL</b>	<b>2,506.7 SF</b>	<b>0.444 FAR</b>	<b>SF</b>

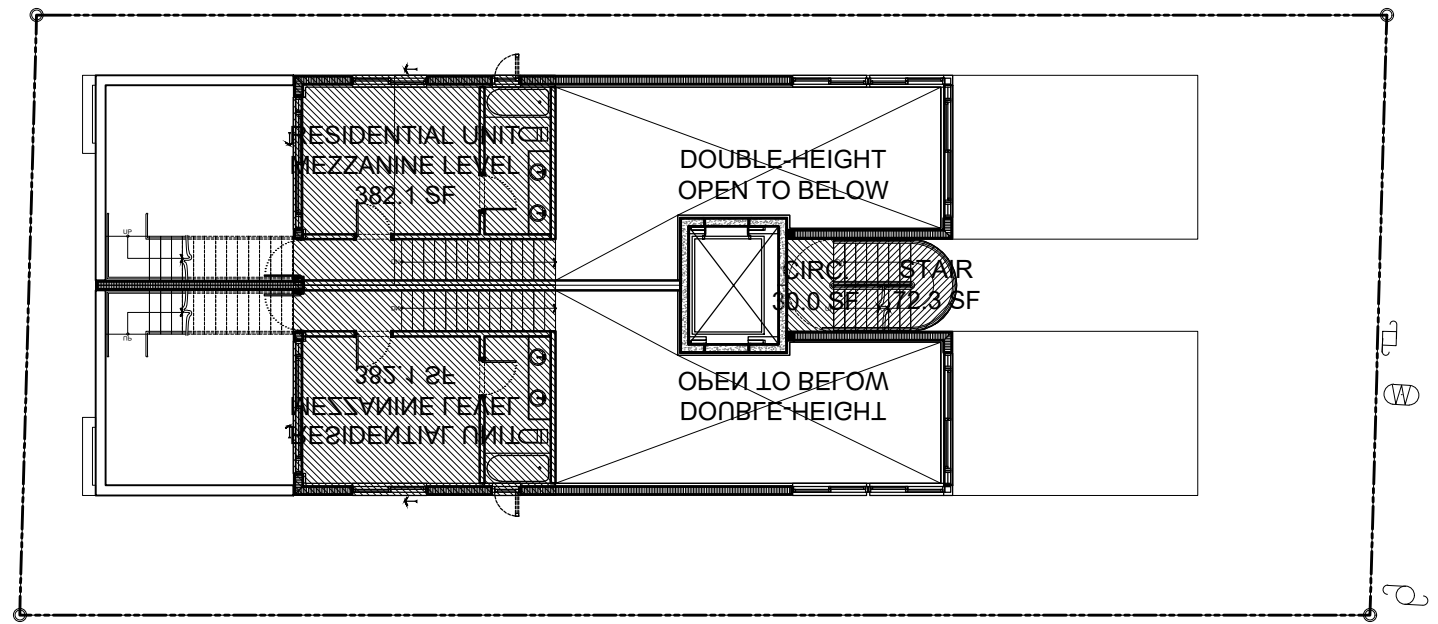
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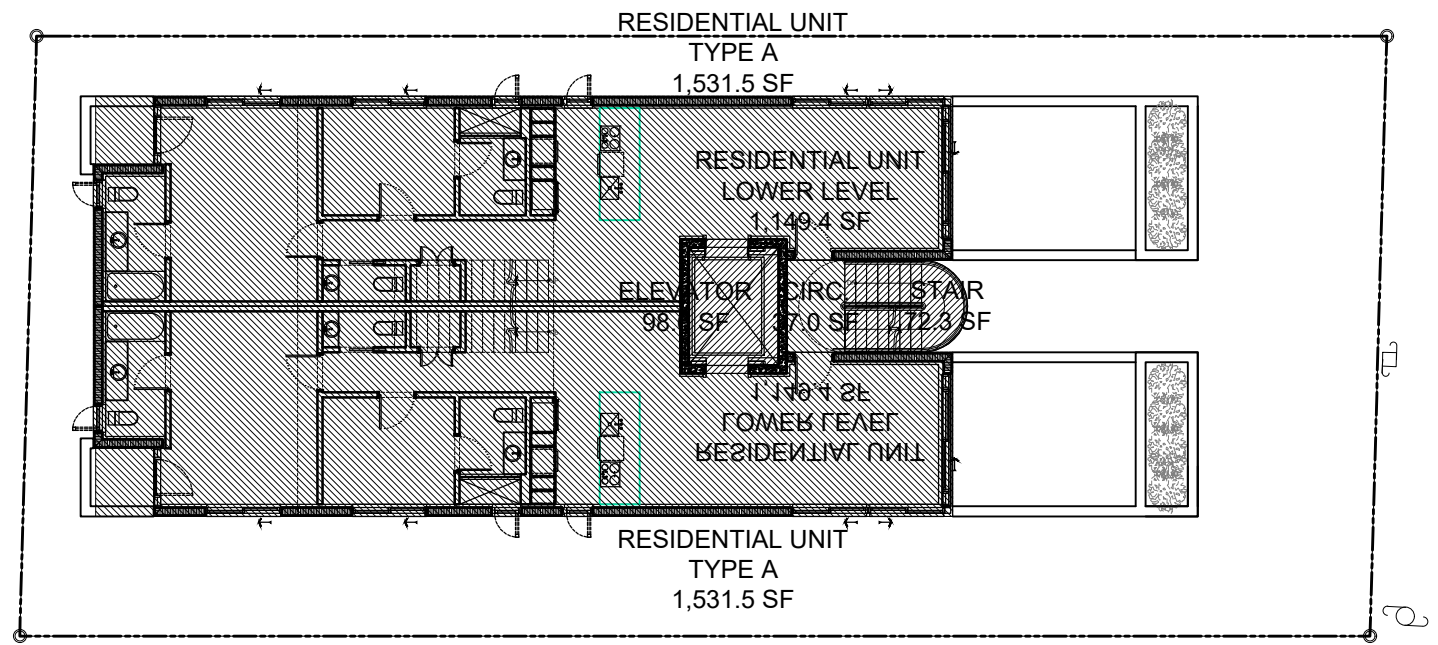
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 DATE: APRIL 5, 2025  
 FILE: 7928B DRB 250401 FINAL  
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SCALE: AS NOTED  
**PROPOSED FAR**  
 2ND FLOOR  
 3RD FLOOR  
**Z1.2**

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**2** PROPOSED FAR - 3RD FLOOR MEZZANINE  
SCALE: 1/16" = 1'-0"



**1** PROPOSED FAR - 3RD FLOOR  
SCALE: 1/16" = 1'-0"

3RD FLOOR MEZZANINE	FAR AREA	NON-FAR AREA	NOTES
<b>RESIDENTIAL UNITS</b>	764.3 SF		
UNIT 3A MEZZANINE	382.1 SF		
UNIT 3B MEZZANINE	382.1 SF		
<b>STAIR 1</b>	72.3 SF		
<b>ELEVATOR</b>	SF		NO STOP AT THIS LEVEL
<b>CIRCULATION</b>	30.0 SF		
<b>TOTAL</b>	<b>866.6 SF</b>	<b>0.153 FAR</b>	<b>SF</b>

3RD FLOOR	FAR AREA	NON-FAR AREA	NOTES
<b>RESIDENTIAL UNITS</b>	2,298.8 SF		
UNIT 3A	1149.4 SF		
UNIT 3B	1149.4 SF		
<b>STAIR 1</b>	72.3 SF		
<b>ELEVATOR</b>	0.0 SF		NO STOP AT THIS LEVEL
<b>CIRCULATION</b>	37.0 SF		
<b>TOTAL</b>	<b>2,408.1 SF</b>	<b>0.426 FAR</b>	<b>SF</b>

Jose R Carlo  
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 Date: 2026.04.05 22:43:09 -04'00'

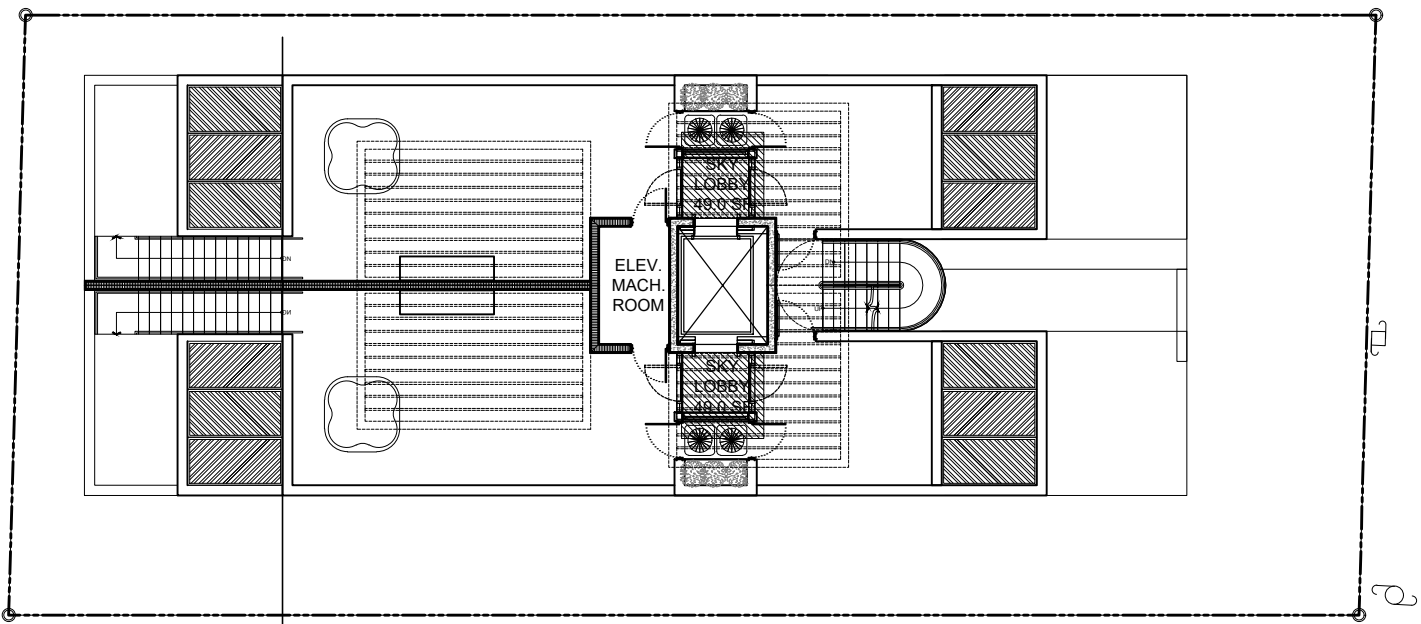
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SCALE: AS NOTED

PROPOSED FAR  
 2ND FLR. MEZZ.  
 3RD FLR. MEZZ.  
**Z1.3**

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**1** PROPOSED FAR - ROOF TERRACE  
 SCALE: 1/8" = 1'-0"

ROOFTOP	FAR AREA	NON-FAR AREA	NOTES
STAIR 1	0.0 SF	72.3 SF	TO SKY -NO ROOF
ELEVATOR	0.0 SF		
CIRCULATION	0.0 SF	37.0 SF	TO SKY -NO ROOF
SKY LOBBY	98.0 SF		2 x 49SF EACH
ELEVATOR MACHINE RM	0.0 SF	68.0 SF	
HVAC EQUIPMENT	0.0 SF	55.0 SF	
<b>TOTAL</b>	<b>98.0 SF</b>	<b>0.017 FAR</b>	<b>232.3 SF</b>



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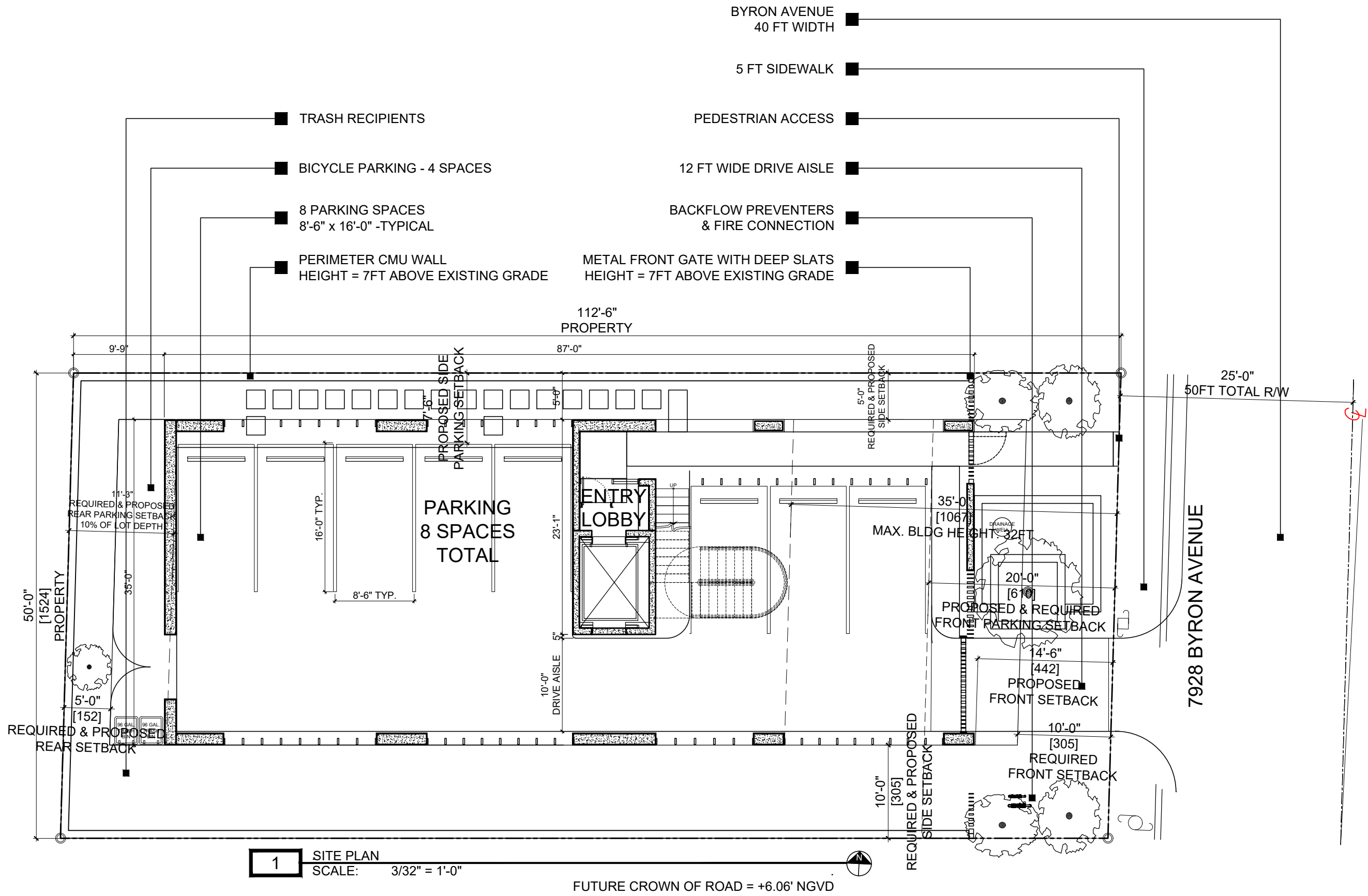
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SCALE: AS NOTED  
**PROPOSED FAR ROOF TERRACE**  
**Z1.4**

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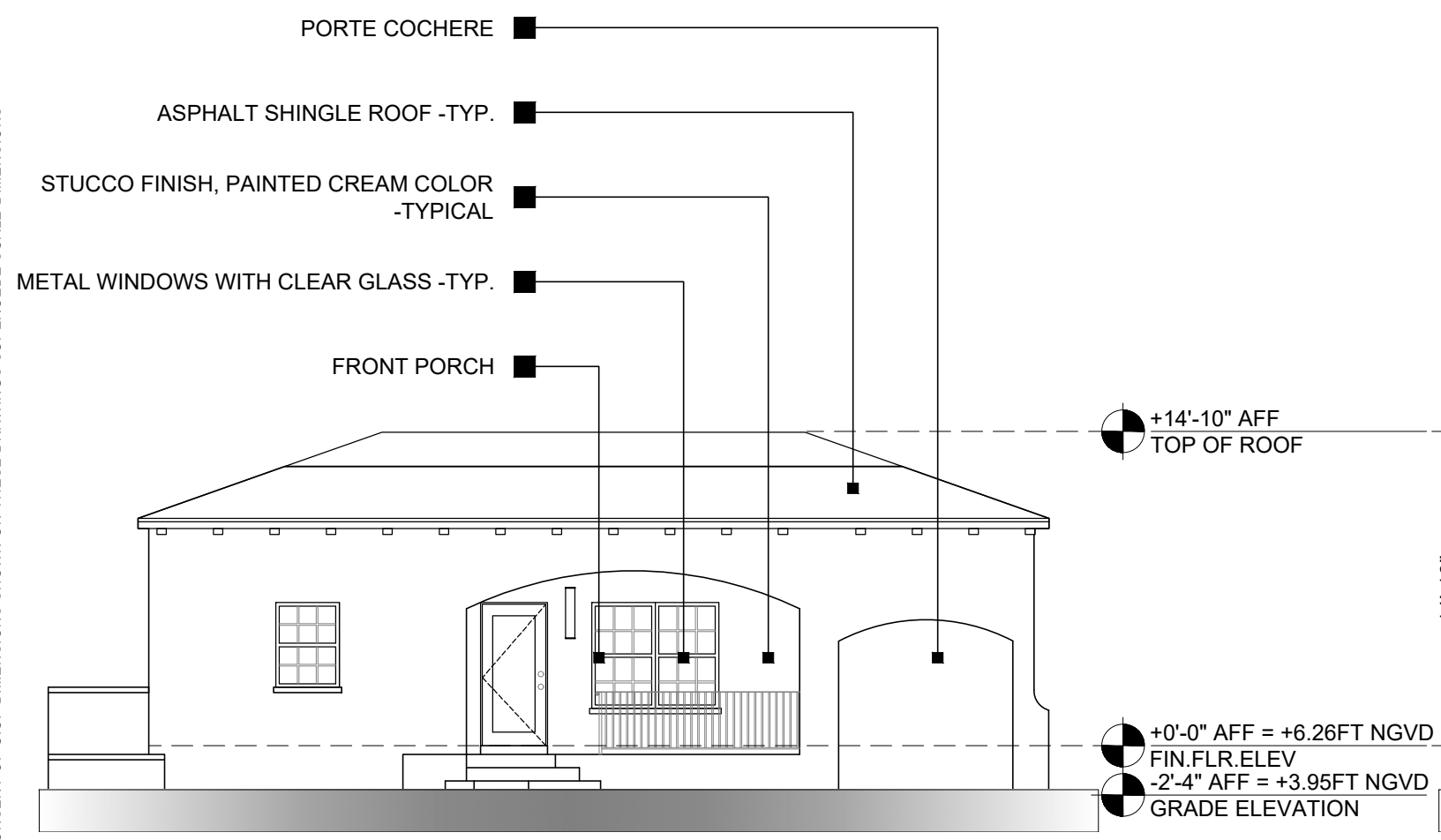
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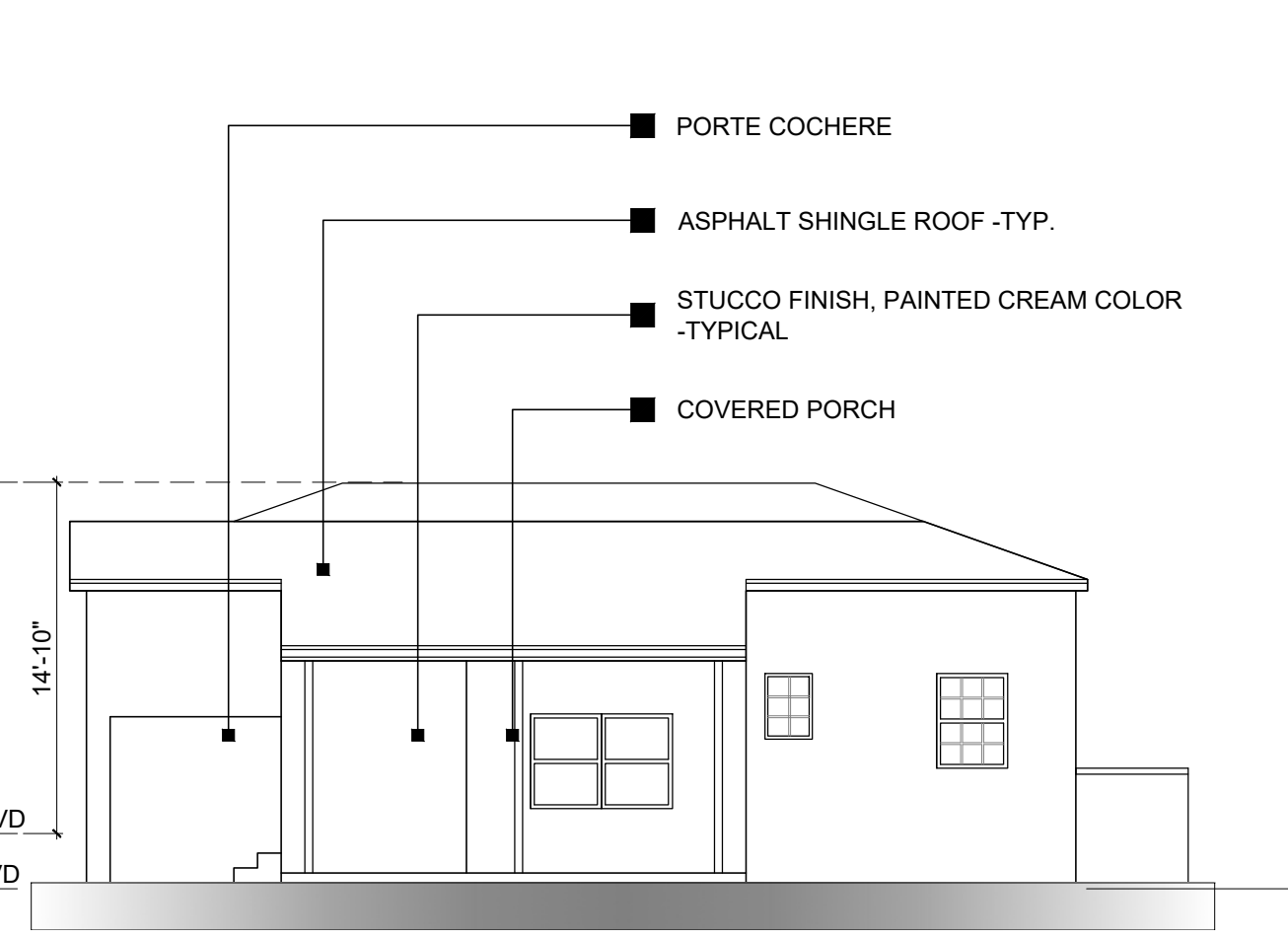
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**SITE PLAN**  
**A2.0**



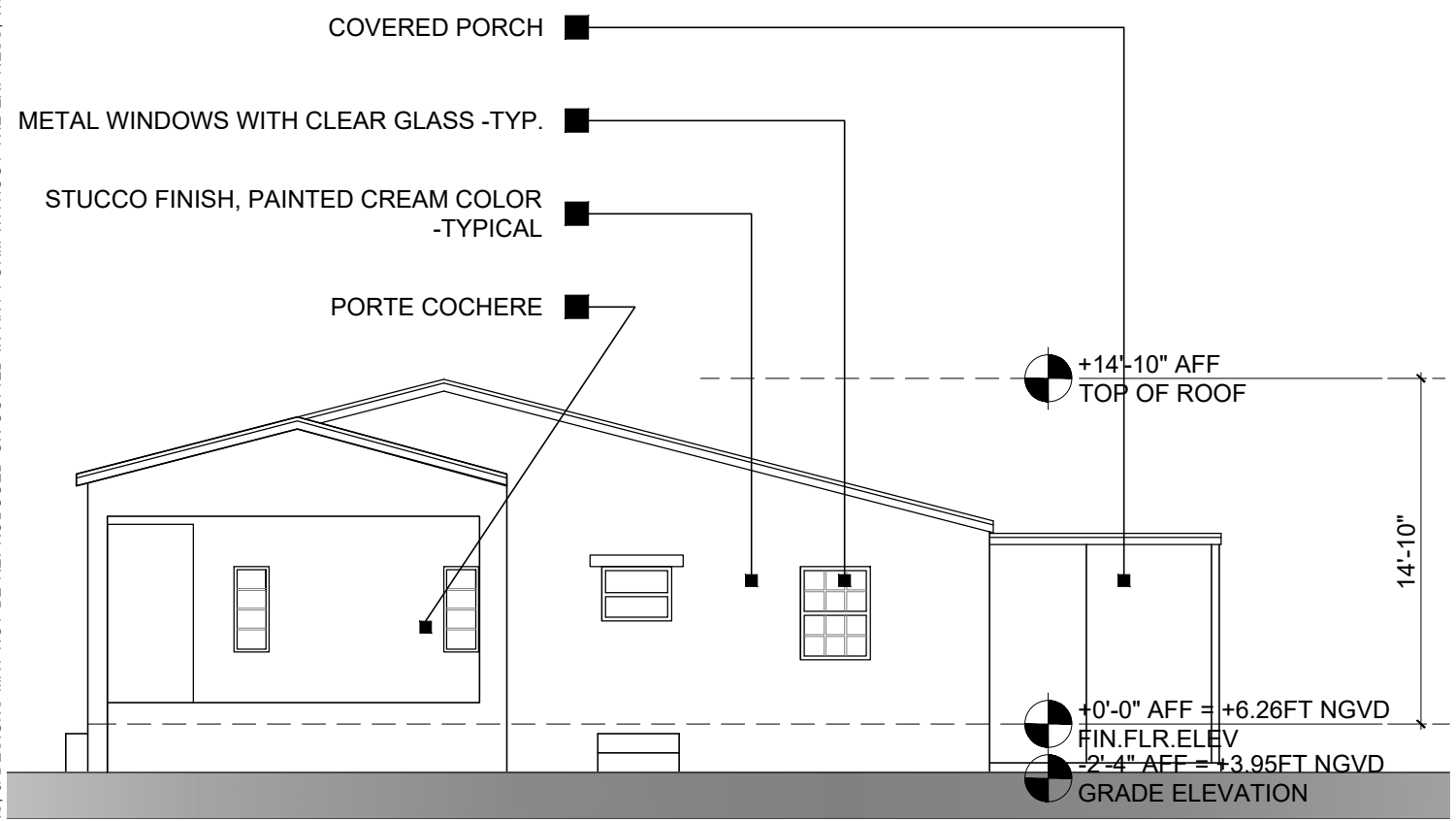
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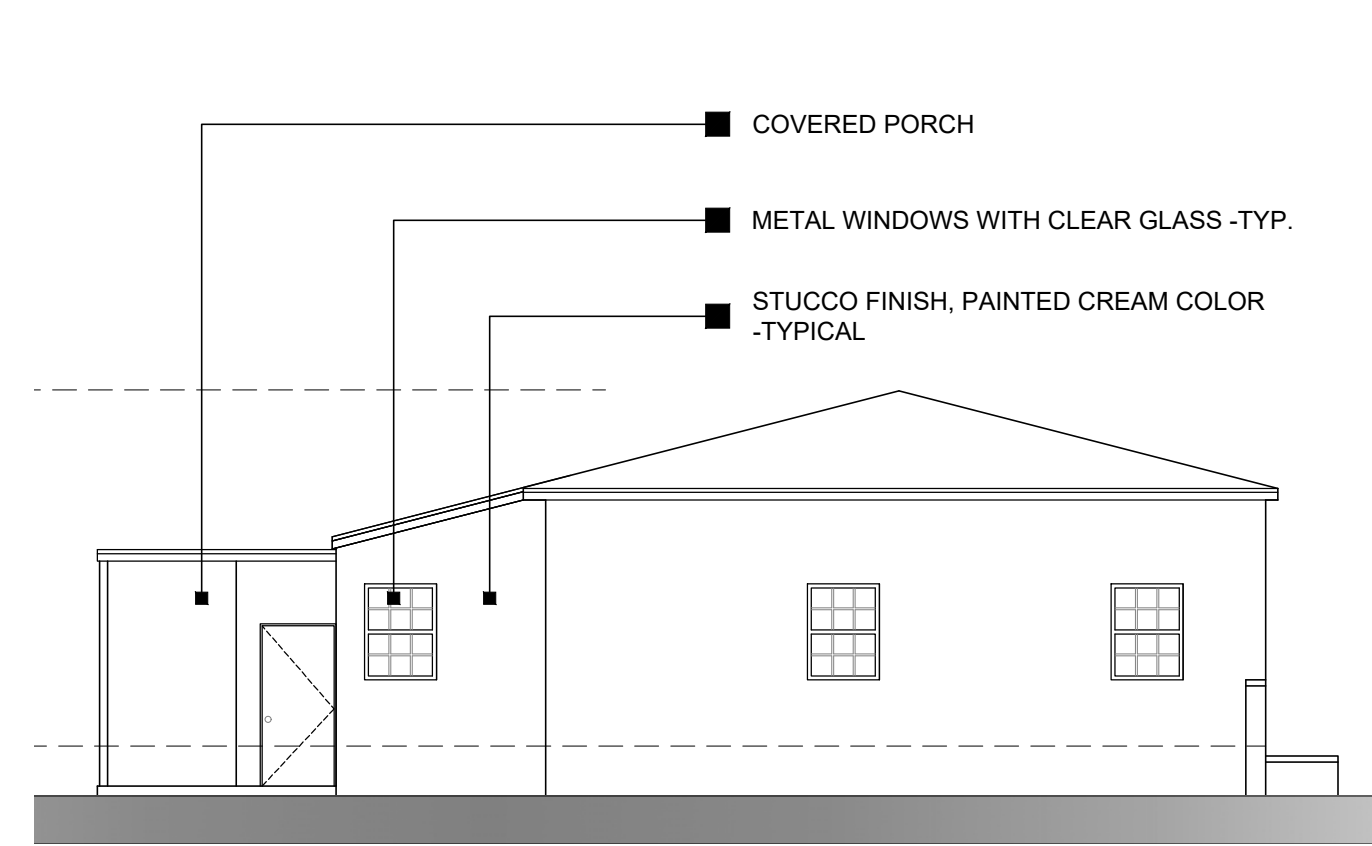
**EAST ELEVATION - BYRON AVENUE**



**WEST ELEVATION**



**NORTH ELEVATION**



**SOUTH ELEVATION**

**1** EXISTING ELEVATIONS  
SCALE: 1/8" = 1'-0"



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22:45:54 -04'00'

**LULLABY CONDOMINIUM RESIDENCES**  
7928 BYRON AVENUE, MIAMI BEACH, FL 33141  
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05 APRIL 2026

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EXISTING ELEVATIONS

**A1.2**

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EAST (FRONT) FACADE -VIEW FROM BYRON AVENUE

ALL PHOTOGRAPHS DATED FEBRUARY 17, 2026



PORTE COCHERE



EAST FACADE - VIEW FROM OPPOSITE SIDEWALK



PORTE COCHERE AND NORTH FACADE - VIEW FROM REAR OF PROPERTY

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Jose R. Carlo  
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7928 BYRON AVENUE, MIAMI BEACH, FL 33141  
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05 APRIL 2026

PROJECT : 2501  
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REV. DESCRIPTION DATE

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SITE  
PHOTOS

A1.3



PORCH AT WEST (REAR) FACADE

ALL PHOTOGRAPHS DATED FEBRUARY 17, 2026



WEST (REAR) FACADE - VIEW FROM SW



SOUTH FACADE - VIEW FROM REAR OF PROPERTY

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Jose R. Carlo  
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22:47:14 -04'00'

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05 APRIL 2026

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REV. DESCRIPTION DATE

SCALE: AS NOTED

SITE  
PHOTOS

A1.4



LIVING ROOM



ENTRANCE



BEDROOM



DINING ROOM

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Jose R. Carlo  
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Date: 2026.04.05  
22:49:01 -04'00'

**LULLABY CONDOMINIUM RESIDENCES**  
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INTERIOR  
PHOTOS

**A1.5**



HALLWAY



BATHROOM



KITCHEN

**CIC**



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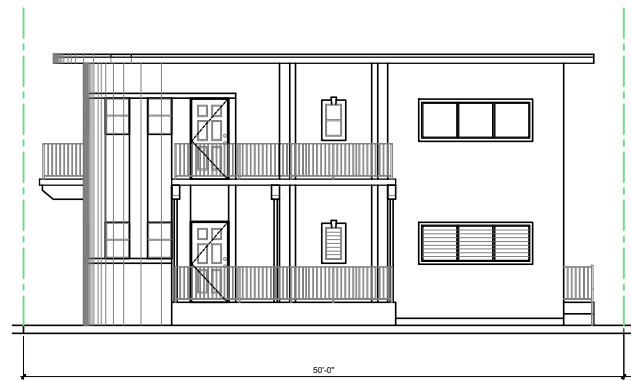
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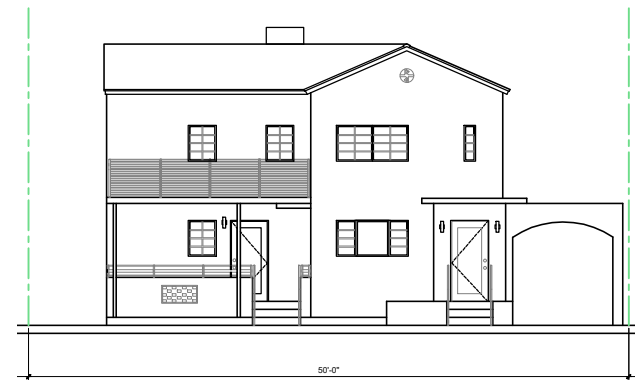
INTERIOR  
PHOTOS

A1.6

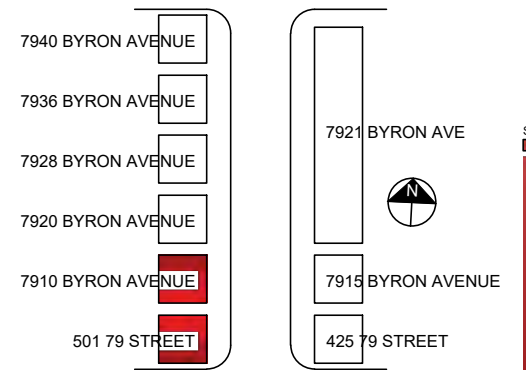
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501 79 ST

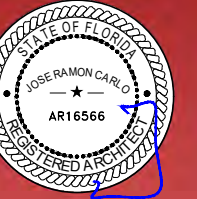


7910 BYRON AVE



**1** URBAN PHOTOS  
 SCALE: N.T.S.

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 by Jose R Carlo  
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 22:50:54 -04'00'

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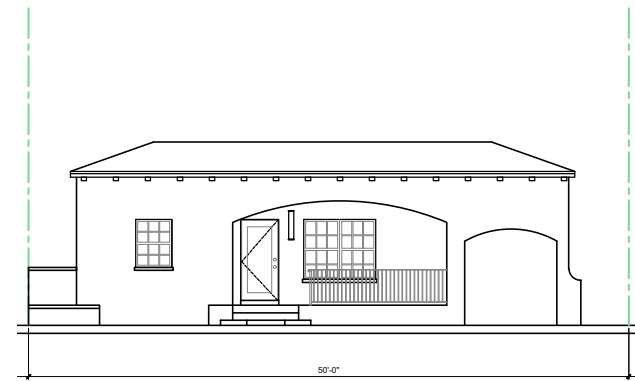
URBAN PHOTOS

**A1.7**

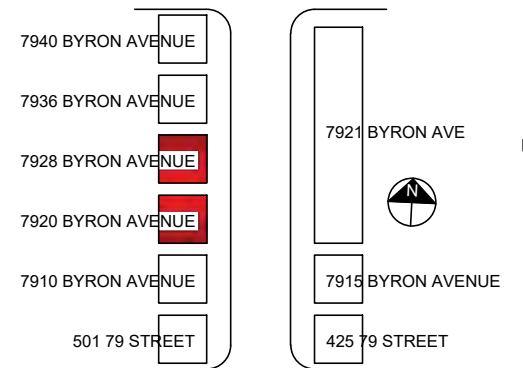
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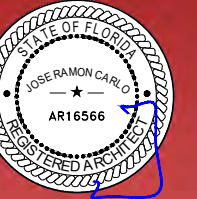


7928 BYRON AVE



1 URBAN PHOTOS SCALE: N.T.S.

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Jose R. Carlo Digitally signed by Jose R Carlo Date: 2026.04.05 22:52:06 -04'00'

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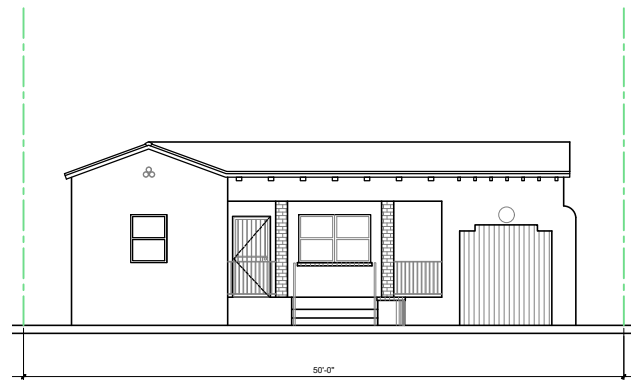
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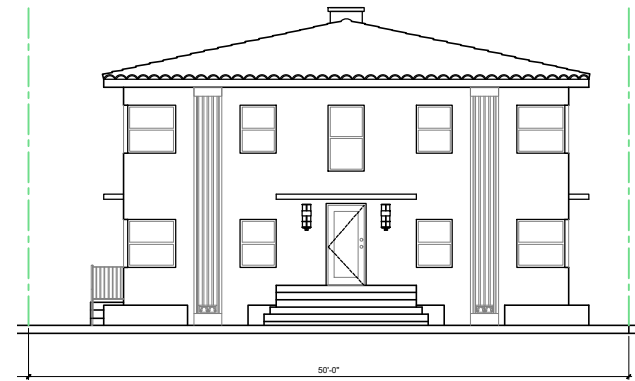
URBAN PHOTOS

A1.8

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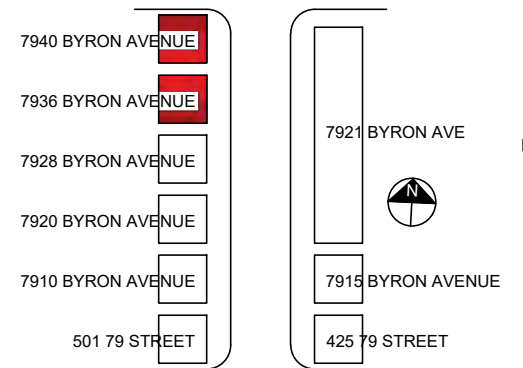


7936 BYRON AVE



7940 BYRON AVE

1 URBAN PHOTOS  
SCALE: N.T.S.



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05 APRIL 2026

PROJECT: 2501  
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FILE: 7928B DRB 250313  
REV. DESCRIPTION DATE

SCALE: AS NOTED

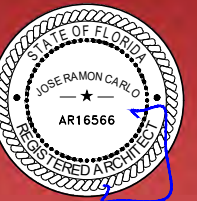
URBAN PHOTOS

**A1.9**

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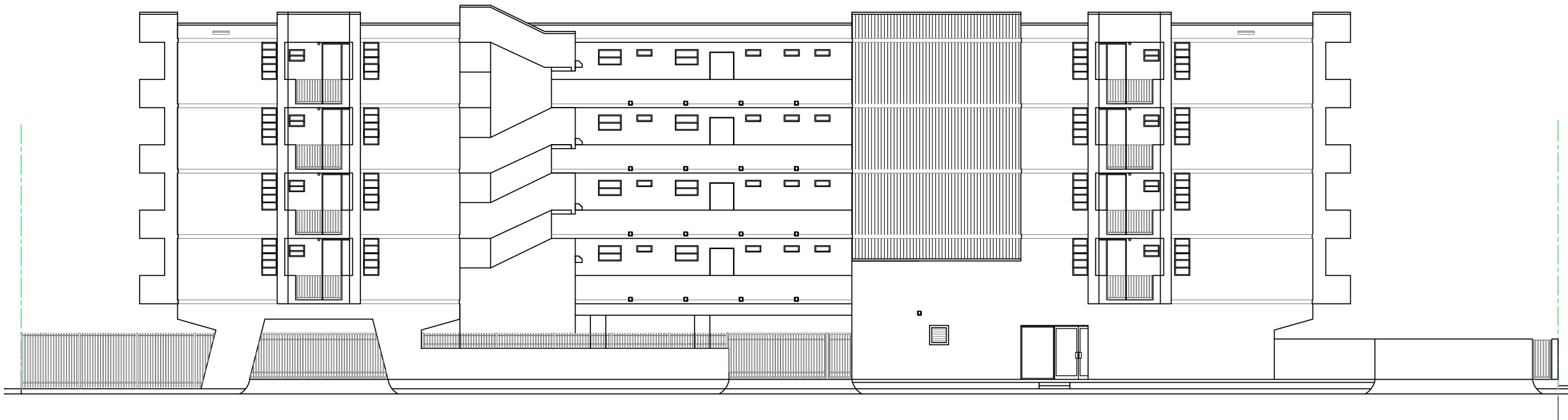
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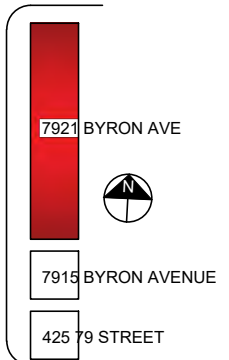
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7921 BYRON AVENUE

- 7940 BYRON AVENUE
- 7936 BYRON AVENUE
- 7928 BYRON AVENUE
- 7920 BYRON AVENUE
- 7910 BYRON AVENUE
- 501 79 STREET



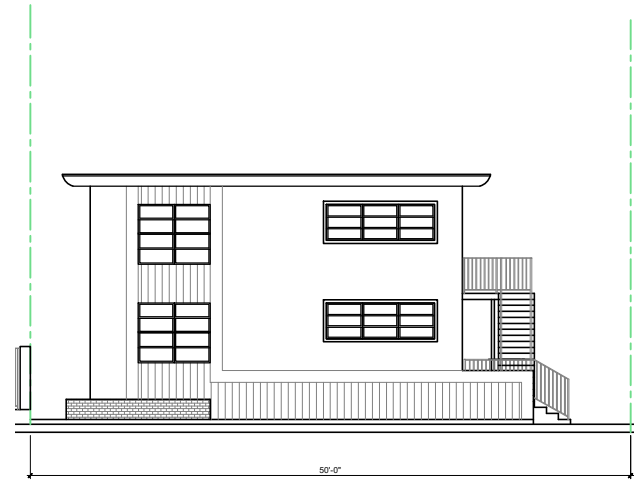
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URBAN PHOTOS

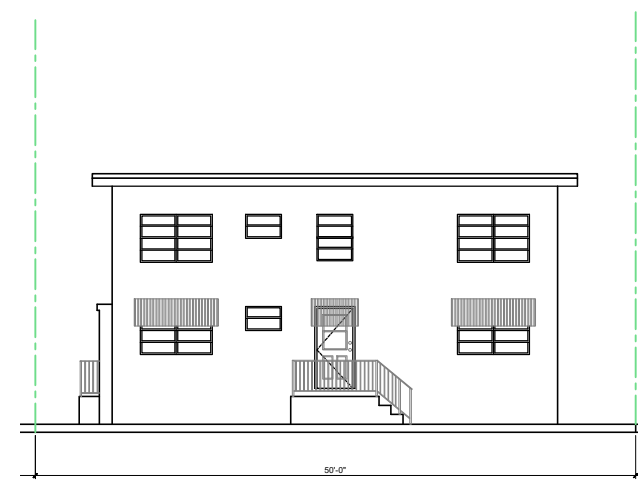
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**1** URBAN PHOTOS  
SCALE: N.T.S.

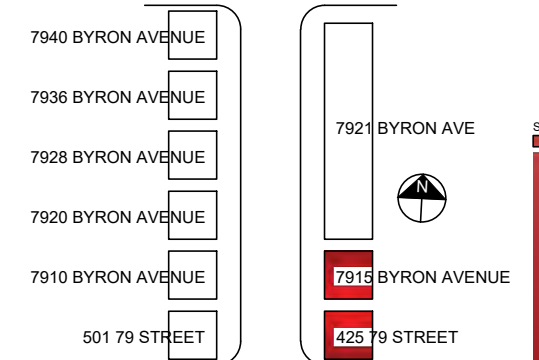
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7915 BYRON AVENUE



425 79 ST



1 URBAN PHOTOS SCALE: N.T.S.

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URBAN PHOTOS

**A1.11**

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AERIAL VIEW FACING NW



AERIAL VIEW FACING NE



AERIAL VIEW FACING WW



AERIAL VIEW FACING SE

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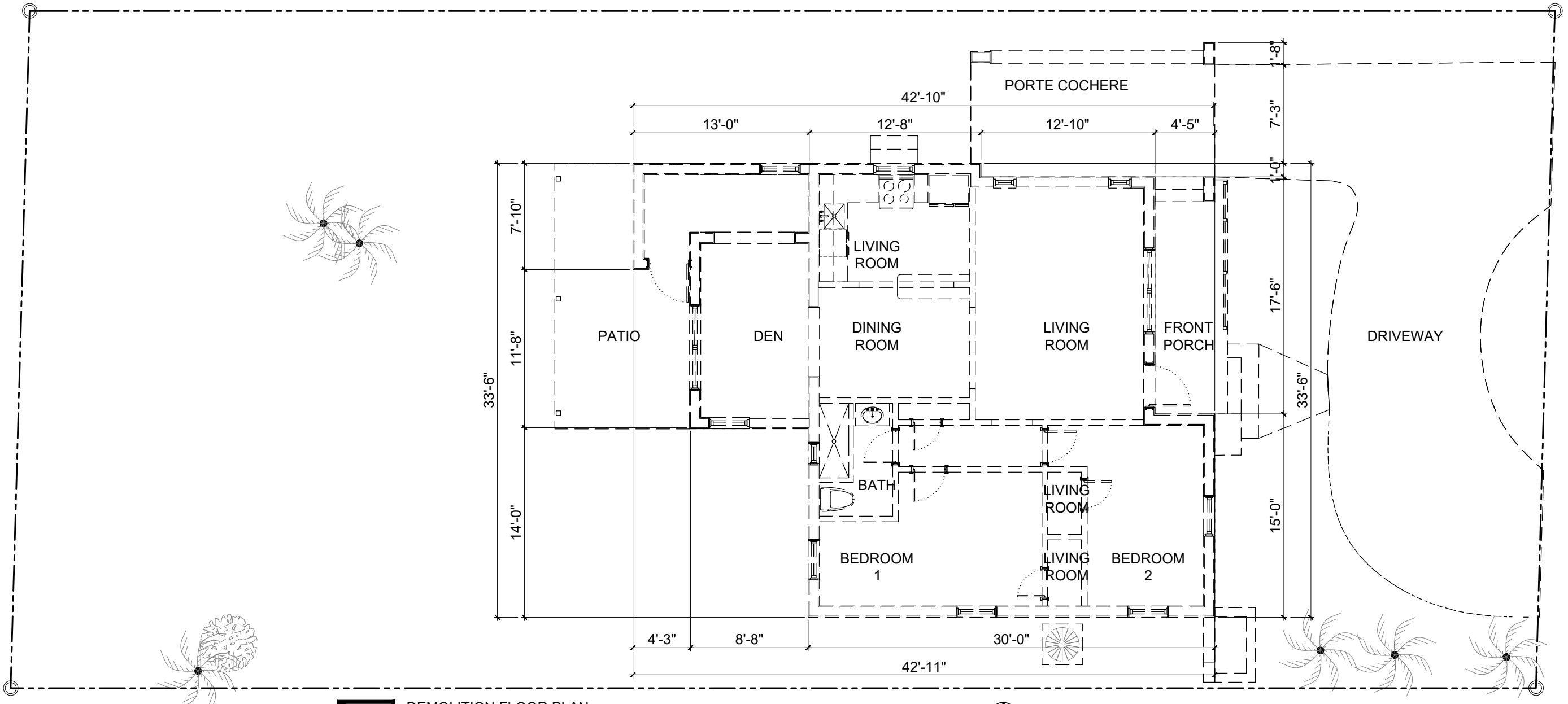
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URBAN  
PHOTOS

**A1.12**

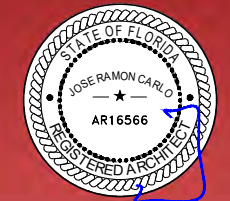
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**1** DEMOLITION FLOOR PLAN  
SCALE: 1/8" = 1'-0"



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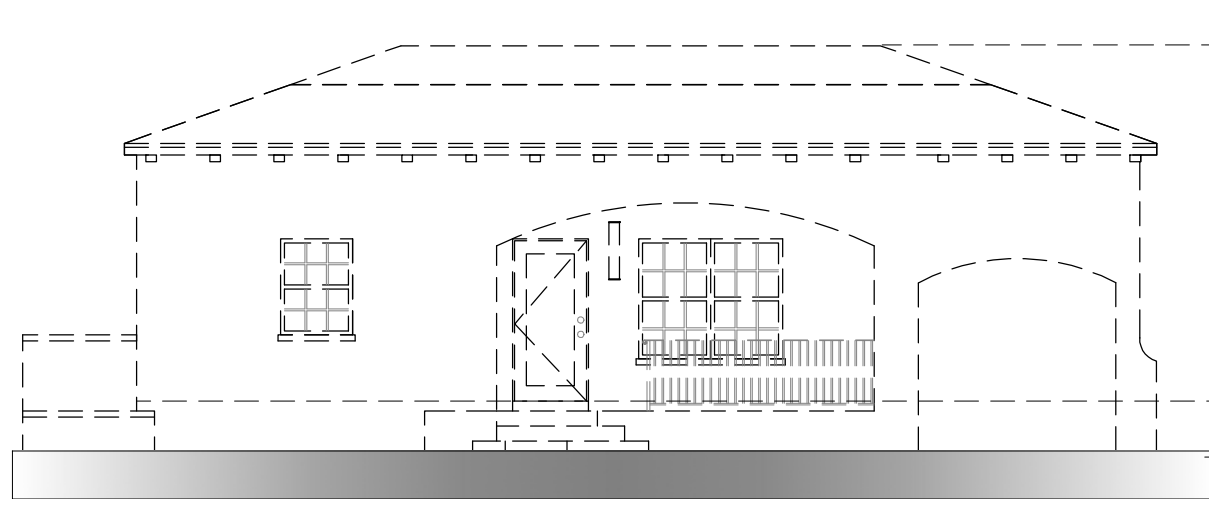
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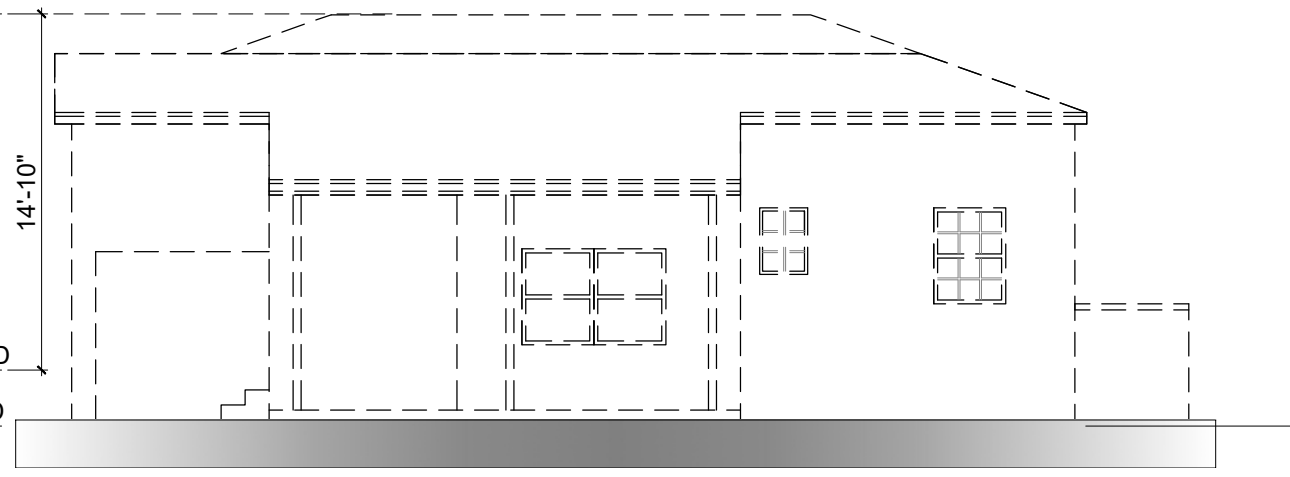
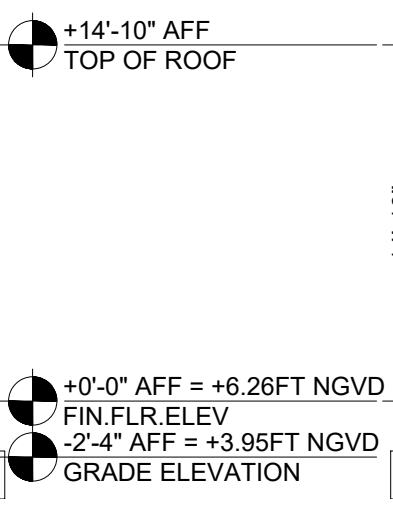
DEMOLITION  
FLOOR PLAN

**D1.1**

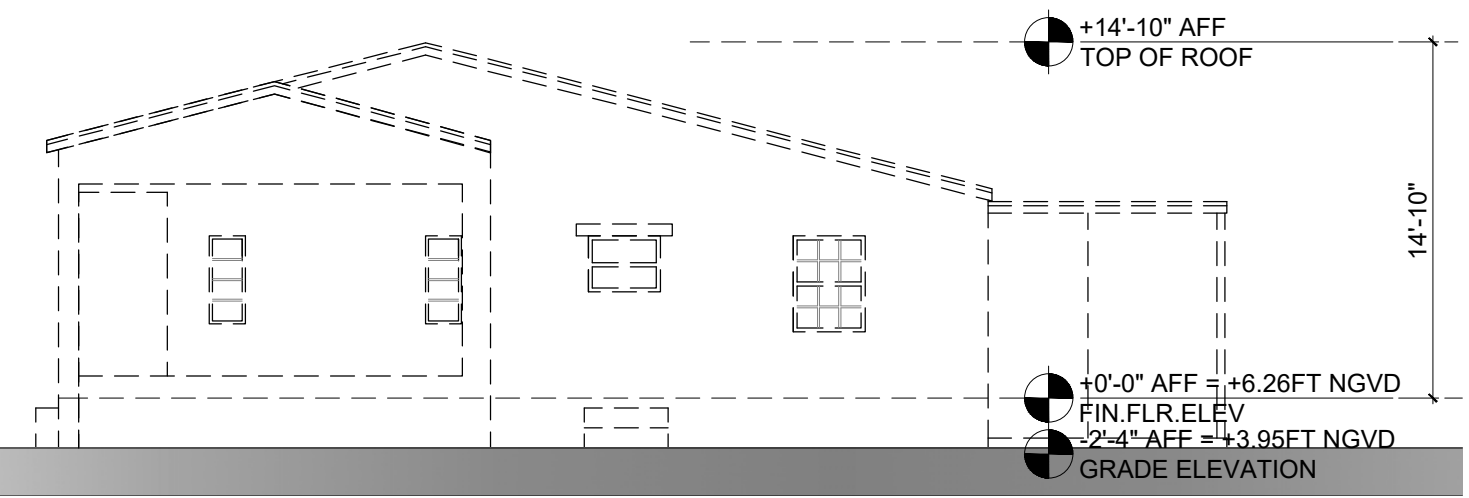
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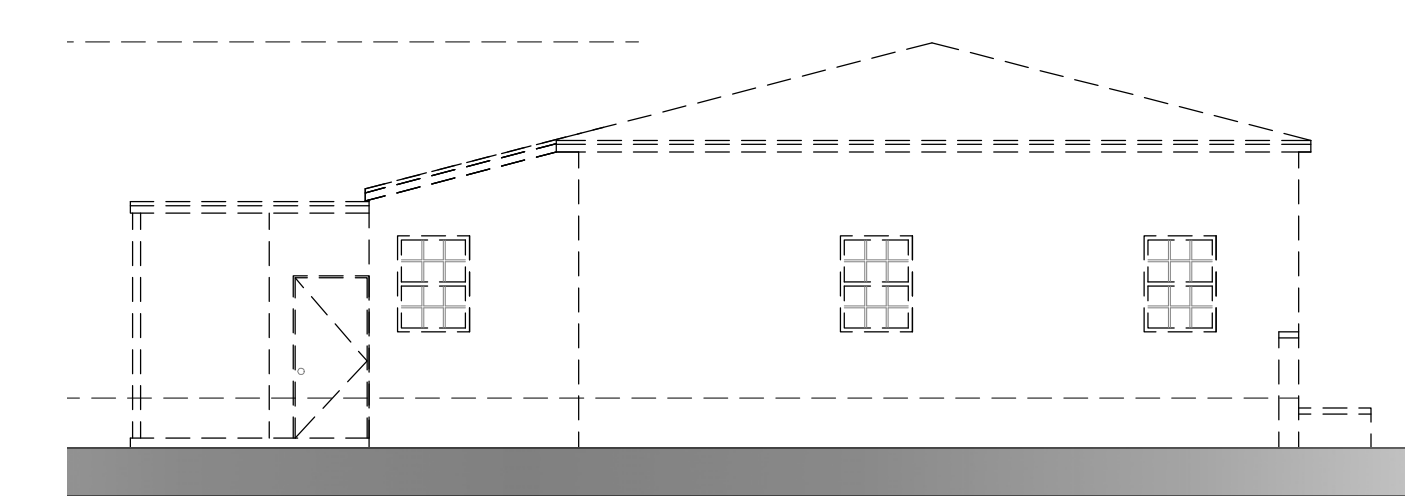
**EAST ELEVATION - BYRON AVENUE**



**WEST ELEVATION**



**NORTH ELEVATION**



**SOUTH ELEVATION**

**1** DEMOLITION ELEVATIONS  
SCALE: 1/8" = 1'-0"



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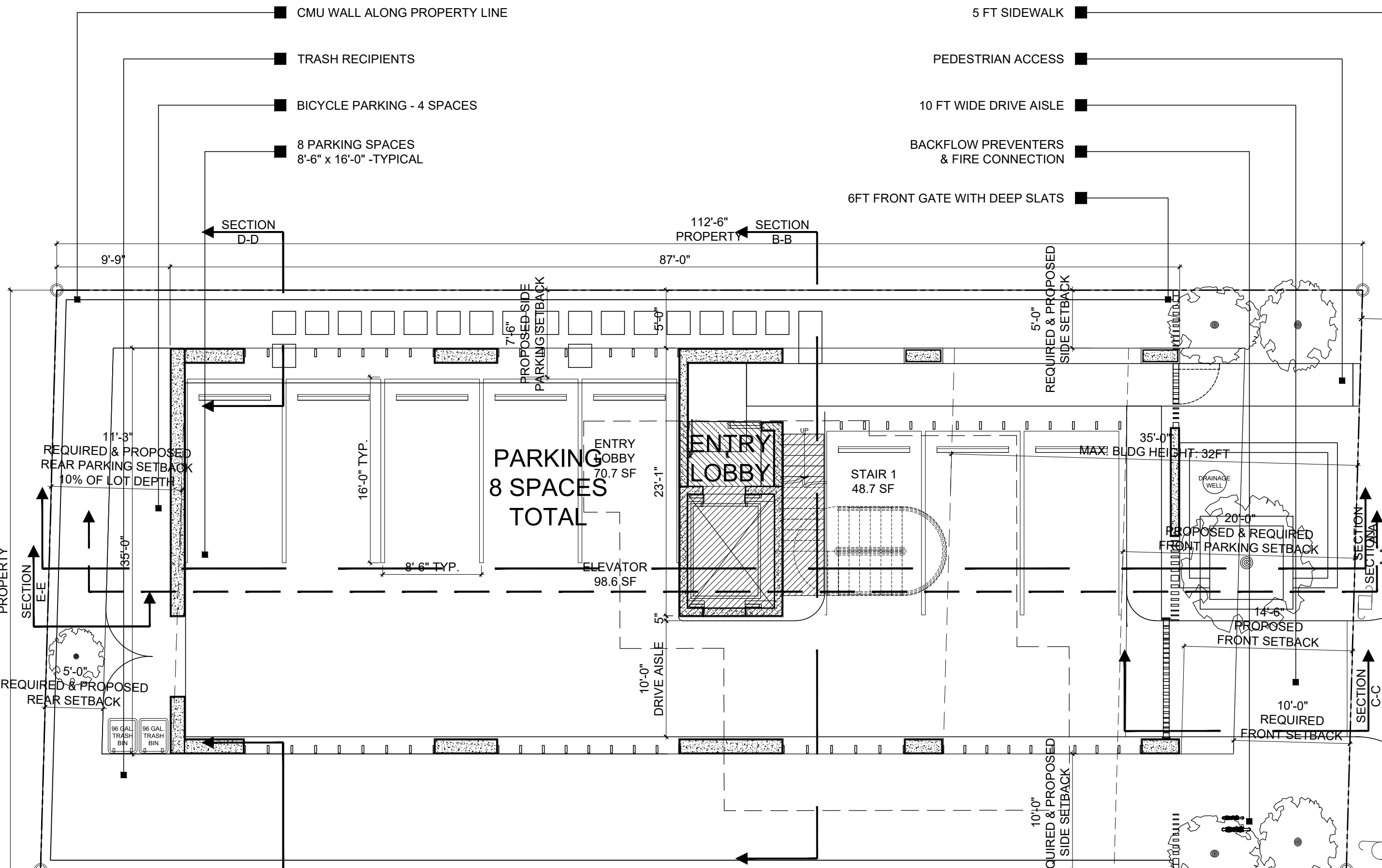
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SCALE: AS NOTED

DEMOLITION ELEVATIONS

**D1.2**

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**1** GROUND LEVEL / PARKING  
 SCALE: 1/8" = 1'-0"

- CMU WALL ALONG PROPERTY LINE
- TRASH RECIPIENTS
- BICYCLE PARKING - 4 SPACES
- 8 PARKING SPACES  
8'-6" x 16'-0" -TYPICAL

- 5 FT SIDEWALK
- PEDESTRIAN ACCESS
- 10 FT WIDE DRIVE AISLE
- BACKFLOW PREVENTERS & FIRE CONNECTION
- 6FT FRONT GATE WITH DEEP SLATS

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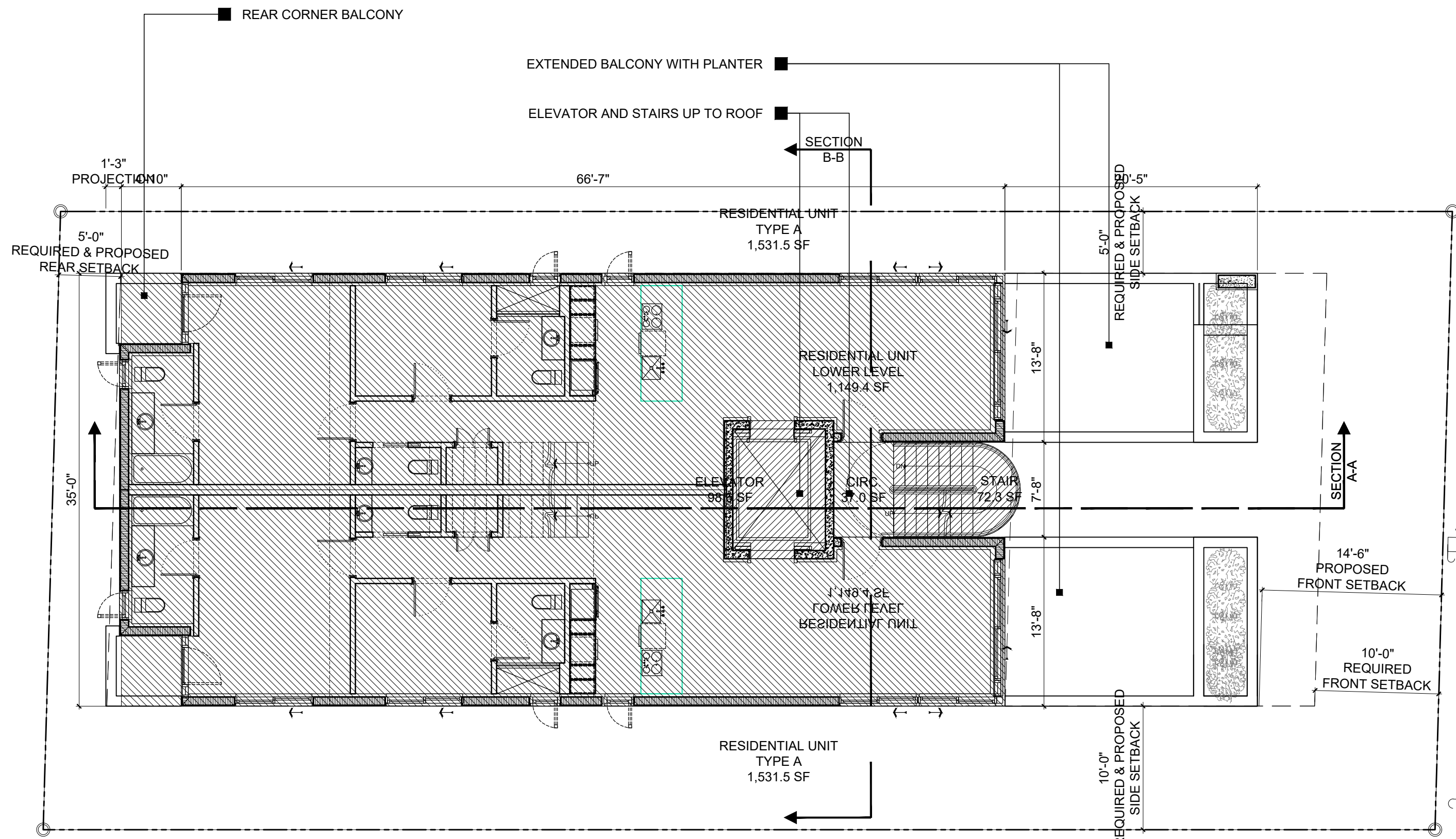
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SCALE: AS NOTED

GROUND FLOOR  
PARKING LEVEL  
LOBBY

A2.1

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1 2ND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

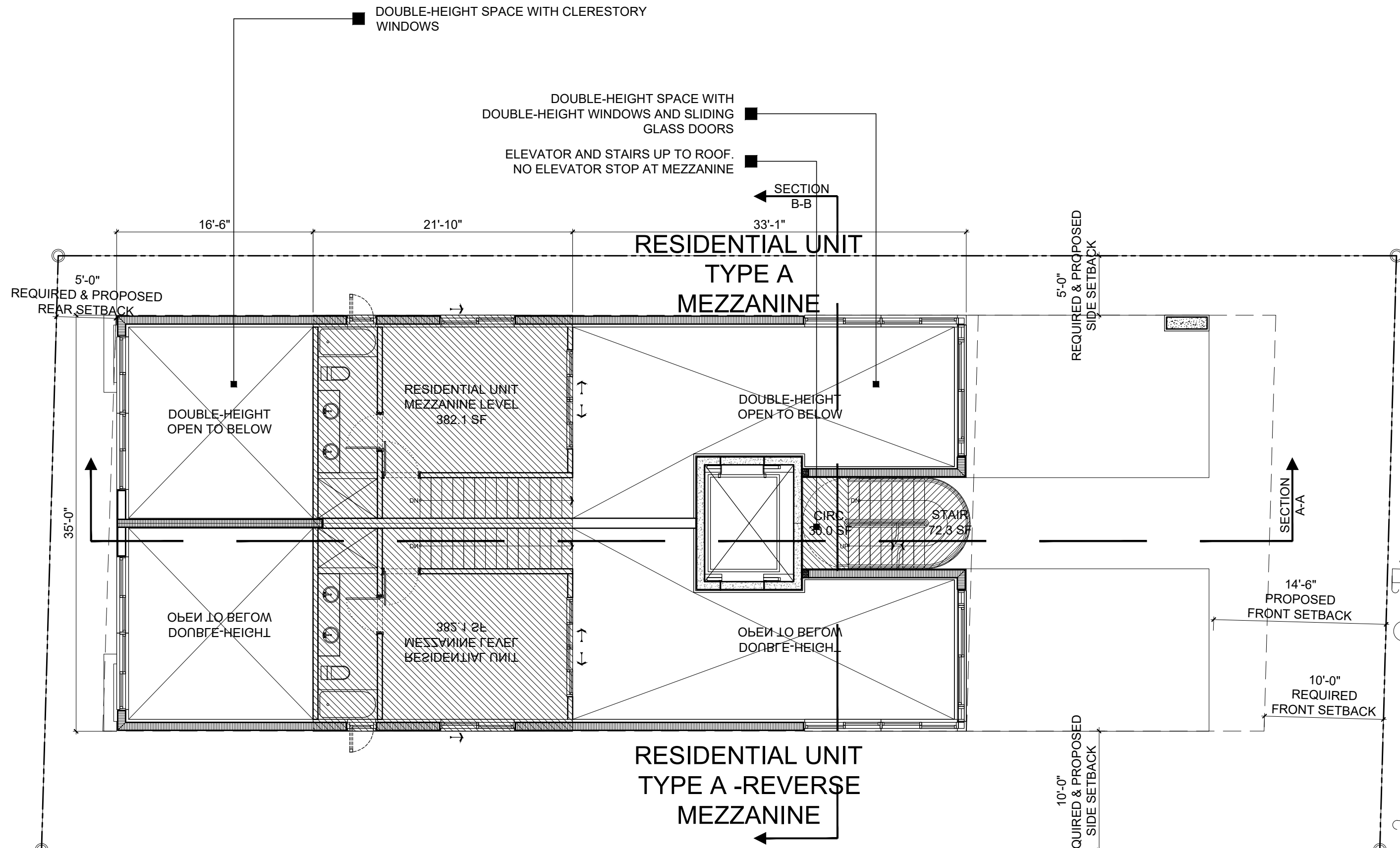


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**1** 2ND FLOOR MEZZANINE  
 SCALE: 1/8" = 1'-0"

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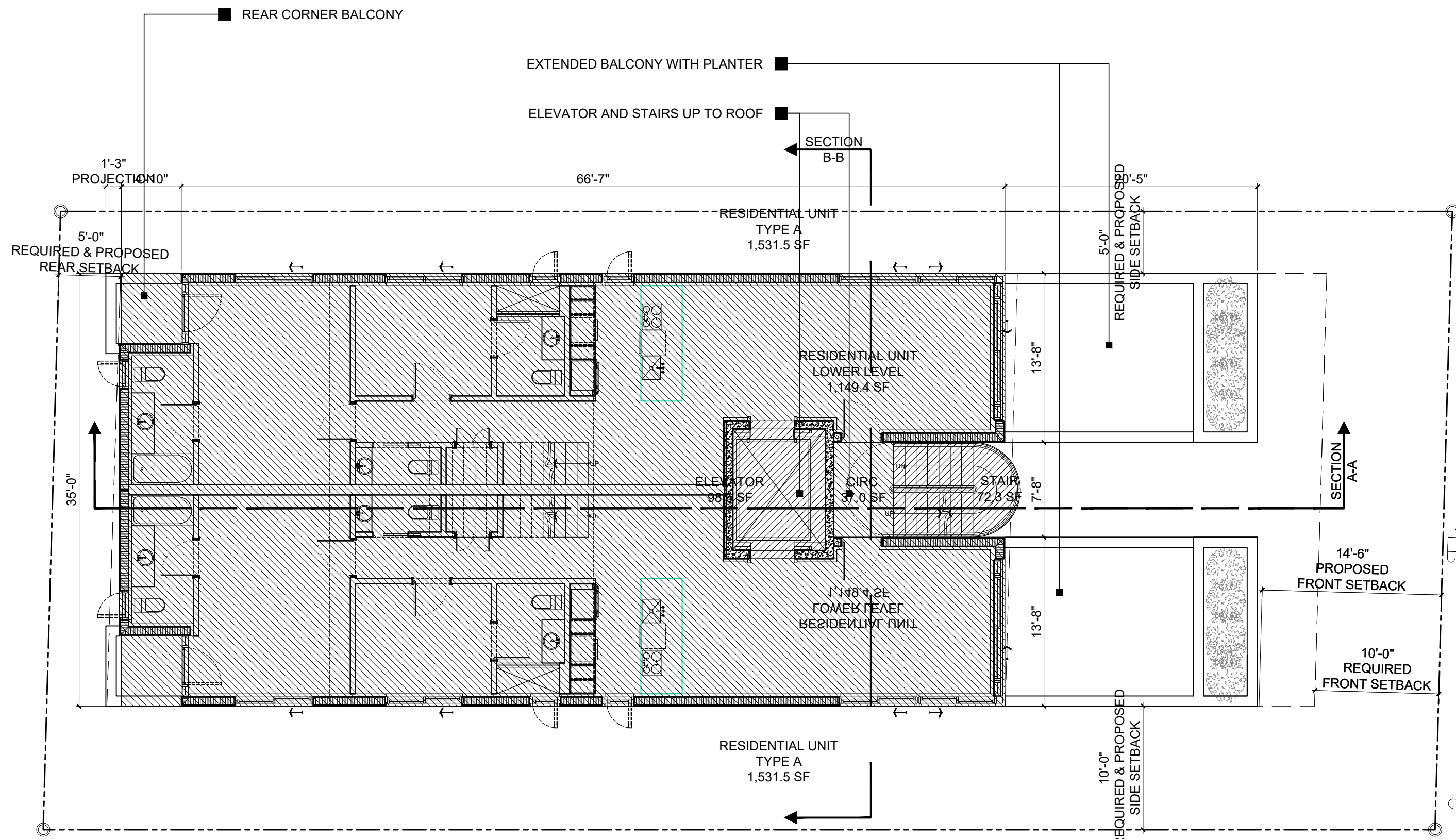
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SCALE: AS NOTED

2ND FLOOR MEZZANINE

**A2.2a**

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1 3RD FLOOR PLAN  
SCALE: 1/8" = 1'-0"

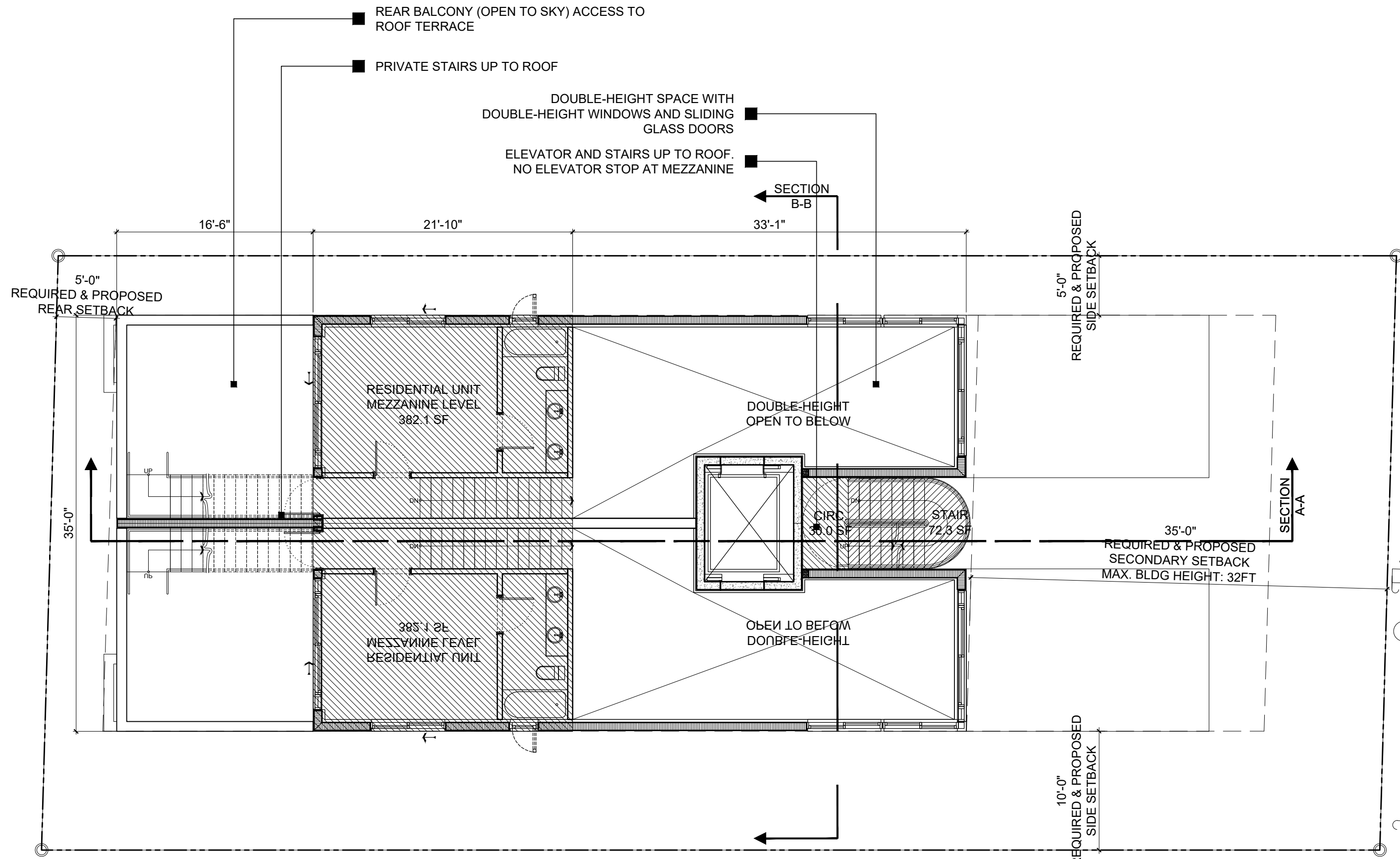


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1 3RD FLOOR MEZZANINE  
SCALE: 1/8" = 1'-0"

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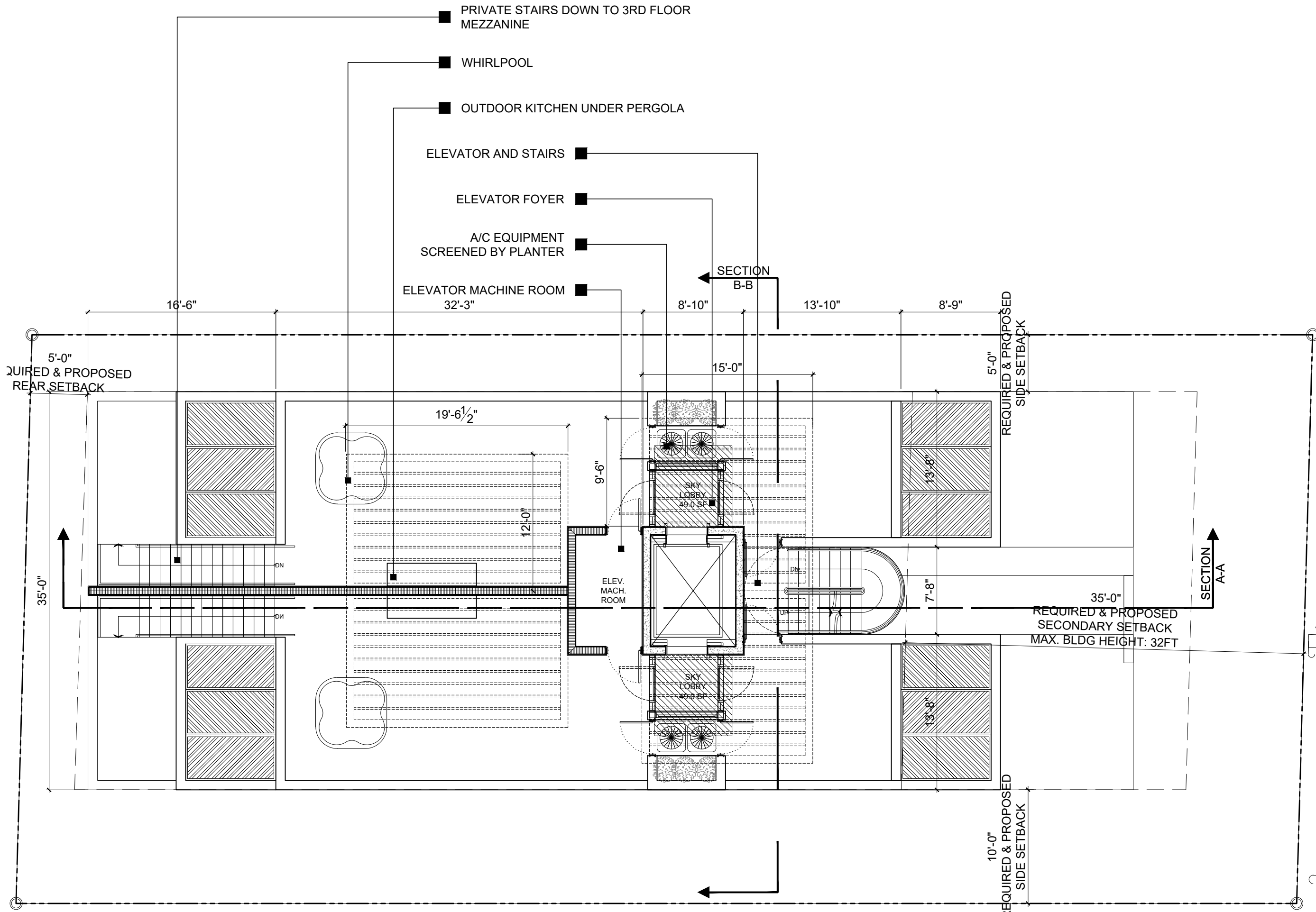
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3RD FLOOR MEZZANINE

**A2.3a**

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**1** ROOFTOP TERRACE  
SCALE: 1/8" = 1'-0"

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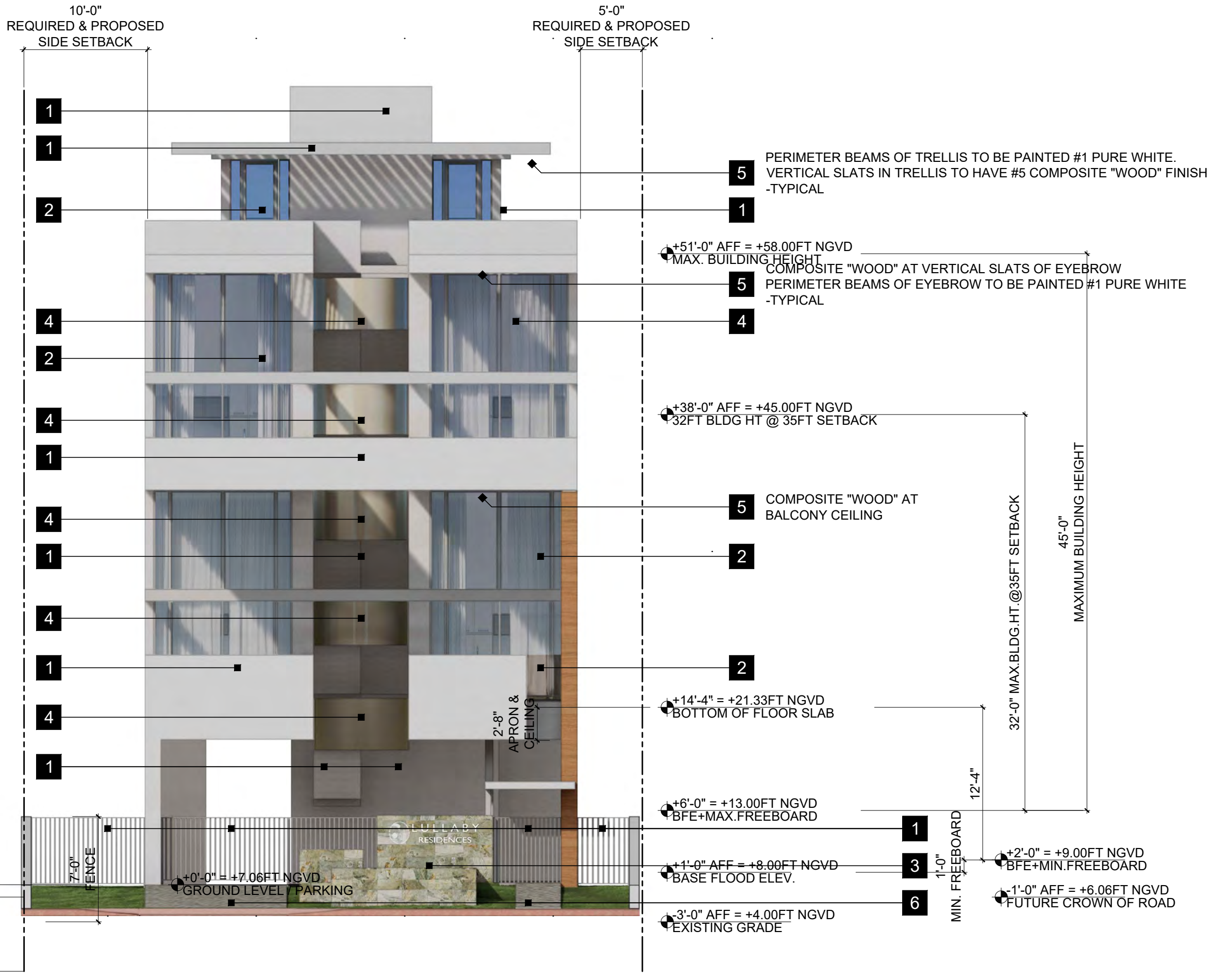
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ROOFTOP TERRACE

**A2.4**

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10'-0"  
REQUIRED & PROPOSED  
SIDE SETBACK

5'-0"  
REQUIRED & PROPOSED  
SIDE SETBACK

**5** PERIMETER BEAMS OF TRELLIS TO BE PAINTED #1 PURE WHITE.  
VERTICAL SLATS IN TRELLIS TO HAVE #5 COMPOSITE "WOOD" FINISH  
-TYPICAL

**5** COMPOSITE "WOOD" AT VERTICAL SLATS OF EYEBROW  
PERIMETER BEAMS OF EYEBROW TO BE PAINTED #1 PURE WHITE  
-TYPICAL

**5** COMPOSITE "WOOD" AT  
BALCONY CEILING

**2**

**1**

**3**

**6**

**1**

**1**

**2**

**4**

**2**

**4**

**1**

**4**

**1**

**4**

**1**

**4**

**1**

**1**

+51'-0" AFF = +58.00FT NGVD  
MAX. BUILDING HEIGHT

+38'-0" AFF = +45.00FT NGVD  
32FT BLDG HT @ 35FT SETBACK

+14'-4" = +21.33FT NGVD  
BOTTOM OF FLOOR SLAB

+6'-0" = +13.00FT NGVD  
BFE+MAX.FREEBOARD

+1'-0" AFF = +8.00FT NGVD  
BASE FLOOD ELEV.

-3'-0" AFF = +4.00FT NGVD  
EXISTING GRADE

+65'-0" AFF  
T.O. ELEVATOR OVERRUN

+60'-0" AFF  
TOP OF TRELLIS

+50'-0" AFF  
ROOF TERRACE

+41'-3" AFF  
MEZZANINE

+32'-6" AFF  
3RD FLOOR

+23'-9" AFF  
MEZZANINE

+15'-0" AFF  
2ND FLOOR

+0'-7" AFF  
1ST FLOOR / LOBBY

-3'-0" AFF = +4.00FT NGVD  
EXISTING GRADE

+0'-0" NGVD

+0'-0" = +7.06FT NGVD  
GROUND LEVEL / PARKING

2'-8"  
APRON &  
CEILING

7'-0"  
FENCE

MIN. FREEBOARD  
1'-0"

32'-0" MAX.BLDG.HT.@35FT SETBACK

45'-0"  
MAXIMUM BUILDING HEIGHT

12'-4"

**1** EAST ELEVATION - BYRON AVENUE  
SCALE: 1/8" = 1'-0"



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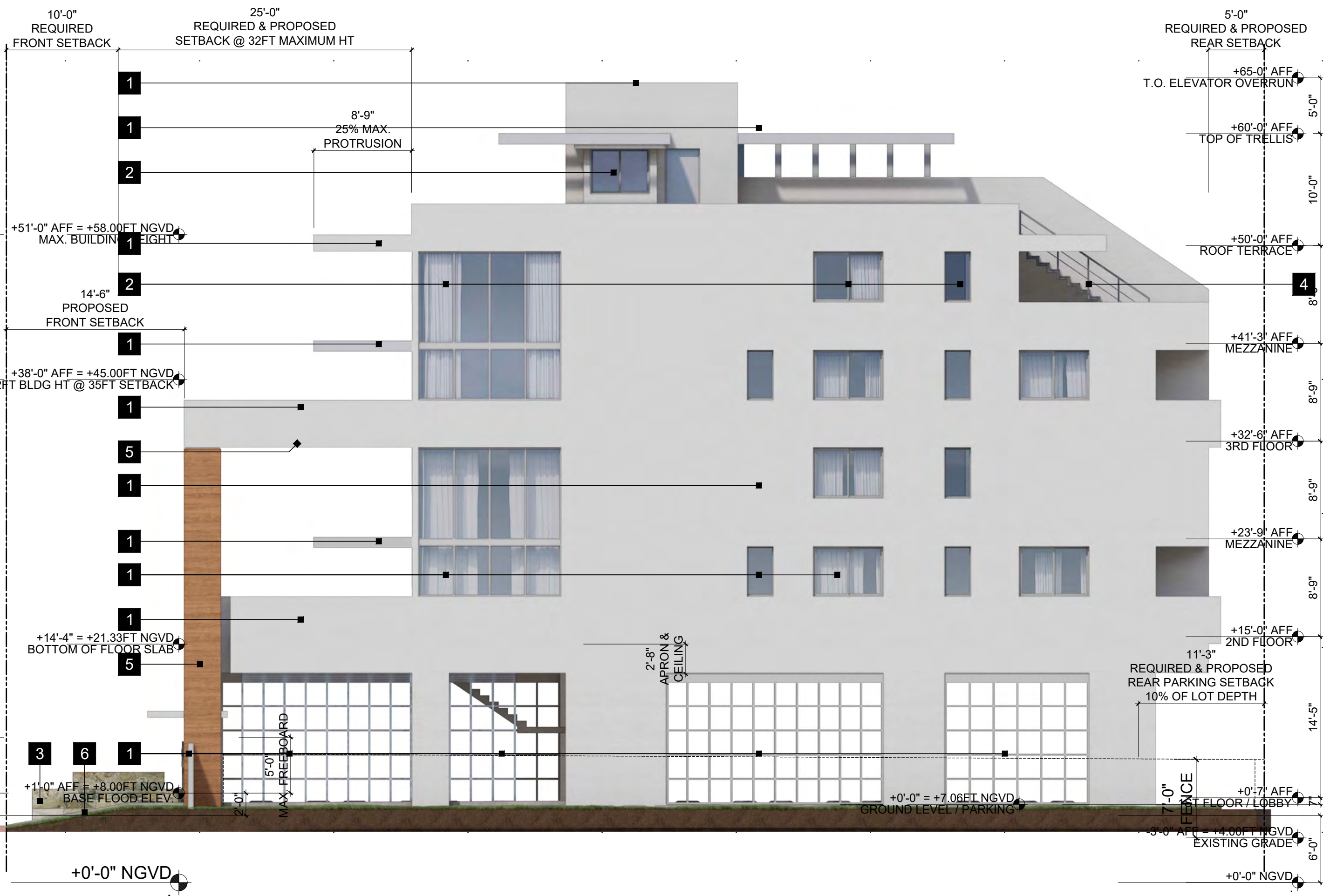
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EAST  
ELEVATION  
**A3.1**

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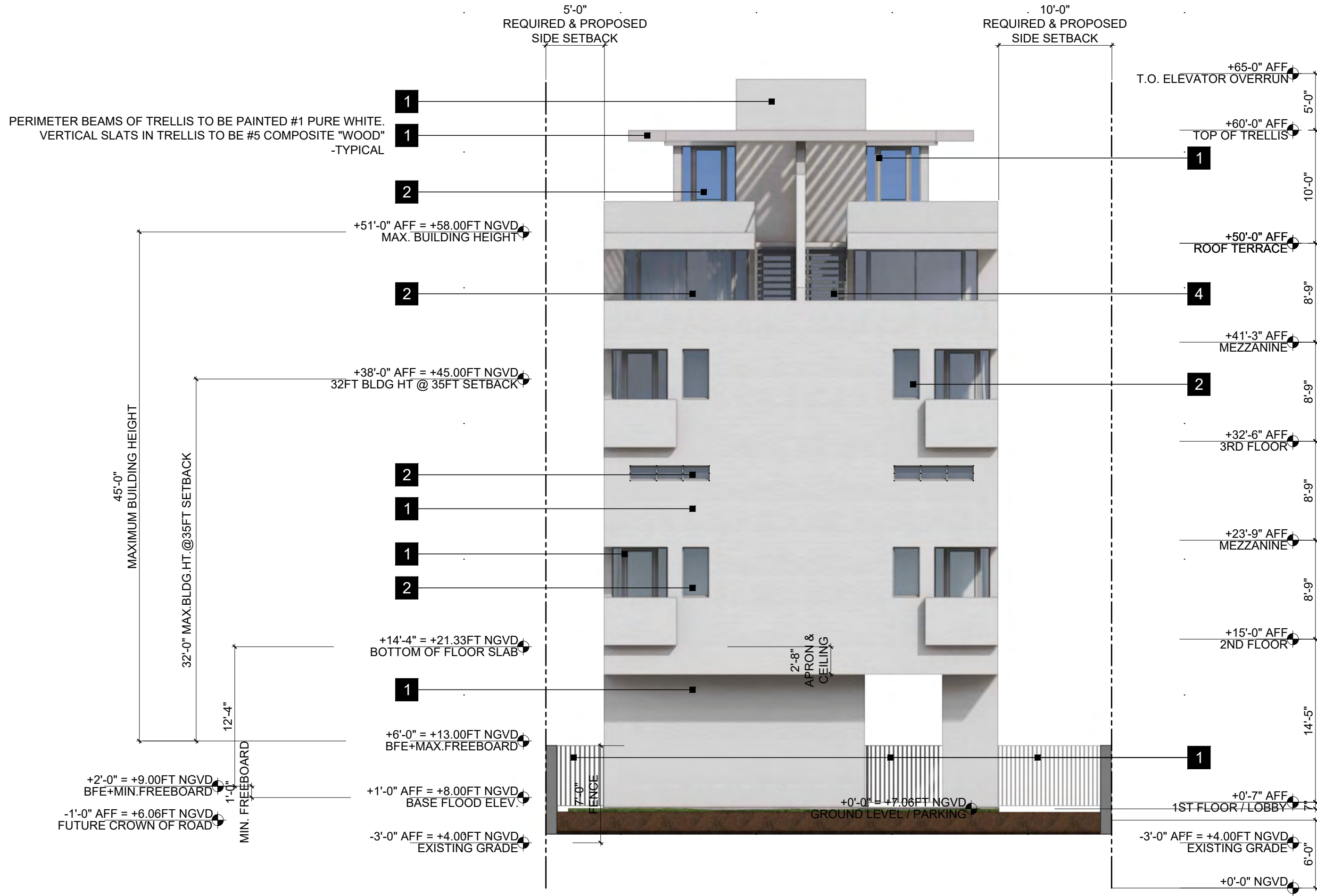
**NORTH ELEVATION**

**A3.2**

**1** NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



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**1** REAR / WEST ELEVATION  
 SCALE: 1/8" = 1'-0"

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 Date: 2026.04.05 23:12:07 -04'00'

**LULLABY CONDOMINIUM RESIDENCES**  
 7928 BYRON AVENUE, MIAMI BEACH, FL 33141  
 DESIGN REVIEW BOARD  
 FINAL SUBMITTAL  
 DRB26-1165  
 05 APRIL 2026

PROJECT :	2501	
DATE :	APRIL 5, 2025	
FILE :	7928B DRB 250401 FINAL	
REV.	DESCRIPTION	DATE

SCALE: AS NOTED

**WEST ELEVATION**

**A3.4**

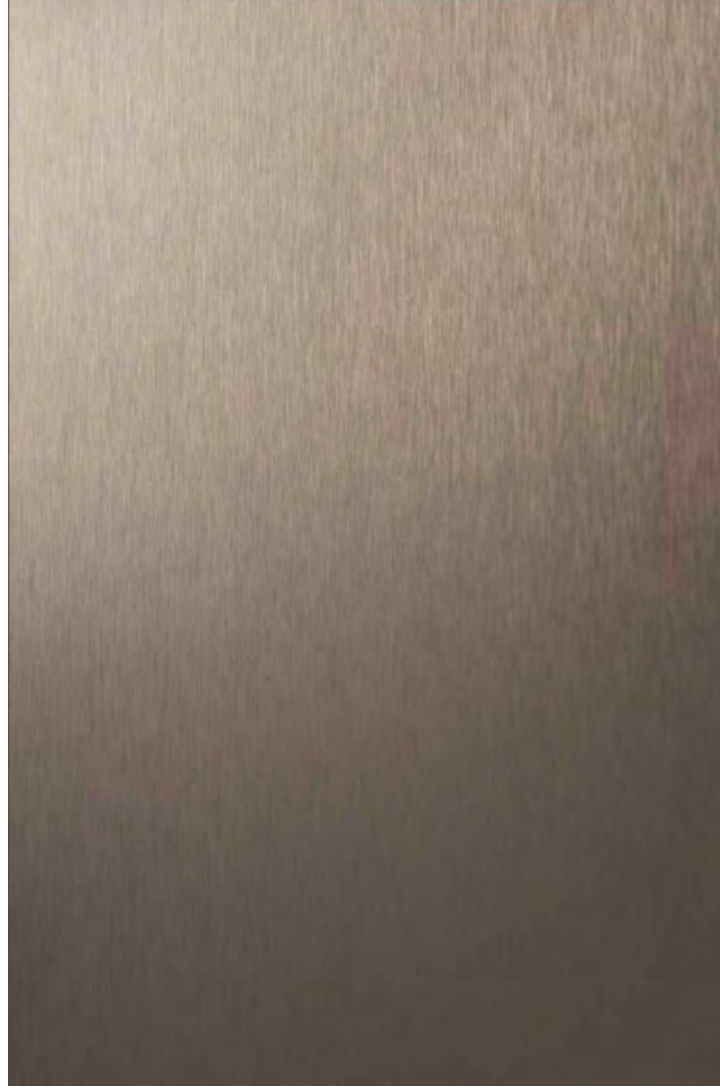
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2 GRAY TEMPERED GLASS AT ALL GLAZING



1 WHITE, SMOOTH STUCCO THROUGHOUT ALL METAL FRAMES, GATE, AND TRELLIS TO MATCH



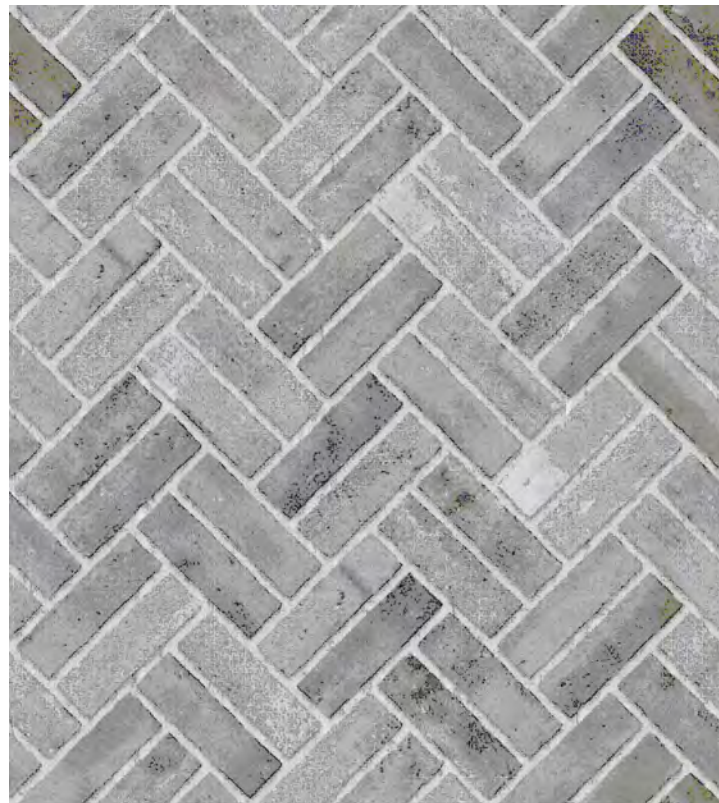
4 METALLIC CHAMPAGNE PAINT AT METAL STAIR



3 "BALI" STONE 12"X6" RUNNING BOND



5 COPPERED OAK SYNTHETIC WOOD VERTICAL JOINTS AT REAR SUN SCREEN HORIZONTAL JOINTS AT FRONT COLUMN WIDTHS VARY



6 LIGHT GRAY POUROUS PAVERS IN HERRINGBONE PATTERN

- 1 SHERWIN WILLIAMS PURE WHITE #7005 ALL STUCCO WALLS ALL WINDOW FRAMES ALL PERIMETER BEAMS OF TRELLISES ALL PERIMETER BEAMS OF EYEBROWS ALL GATES
- 2 TEMPERED GRAY GLASS ALL GLAZING THROUGHOUT THE PROJECT
- 3 "BALI" STONE IN 12"x6" RUNNING BOND PLANTER AT FRONT YARD LOGO WALL AT FRONT FACADE
- 4 METALLIC CHAMPAGNE PAINT AT STAIRS RAILING OF MAIN STAIRS WEST STAIRS LEADING TO ROOFTOP
- 5 COPPERED OAK COMPOSITE "WOOD" COLUMN AT NE CORNER OF FRONT FACADE CEILING OF BALCONIES VERTICAL SLATS AT ALL TRELLISES VERTICAL SLATS AT ALL EYEBROWS

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Jose R Carlo  
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Date: 2026.04.05 23:13:27 -04'00'

**LULLABY CONDOMINIUM RESIDENCES**  
7928 BYRON AVENUE, MIAMI BEACH, FL 33141  
DESIGN REVIEW BOARD  
FINAL SUBMITTAL  
DRB26-1165  
05 APRIL 2026

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REV. DESCRIPTION DATE

SCALE: AS NOTED

ELEVATIONS MATERIALS

**A3.5**

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501 79 ST

7910 BYRON AVE

7920 BYRON AVE

7928 BYRON AVE

7936 BYRON AVE

7940 BYRON AVE

PROPOSED WEST ELEVATION



501 79 ST

7910 BYRON AVE

7920 BYRON AVE

7928 BYRON AVE

7936 BYRON AVE

7940 BYRON AVE

EXISTING WEST ELEVATION

1

CONTEXTUAL ELEVATION - BYRON AVENUE WEST

SCALE: 1" = 20'-0"



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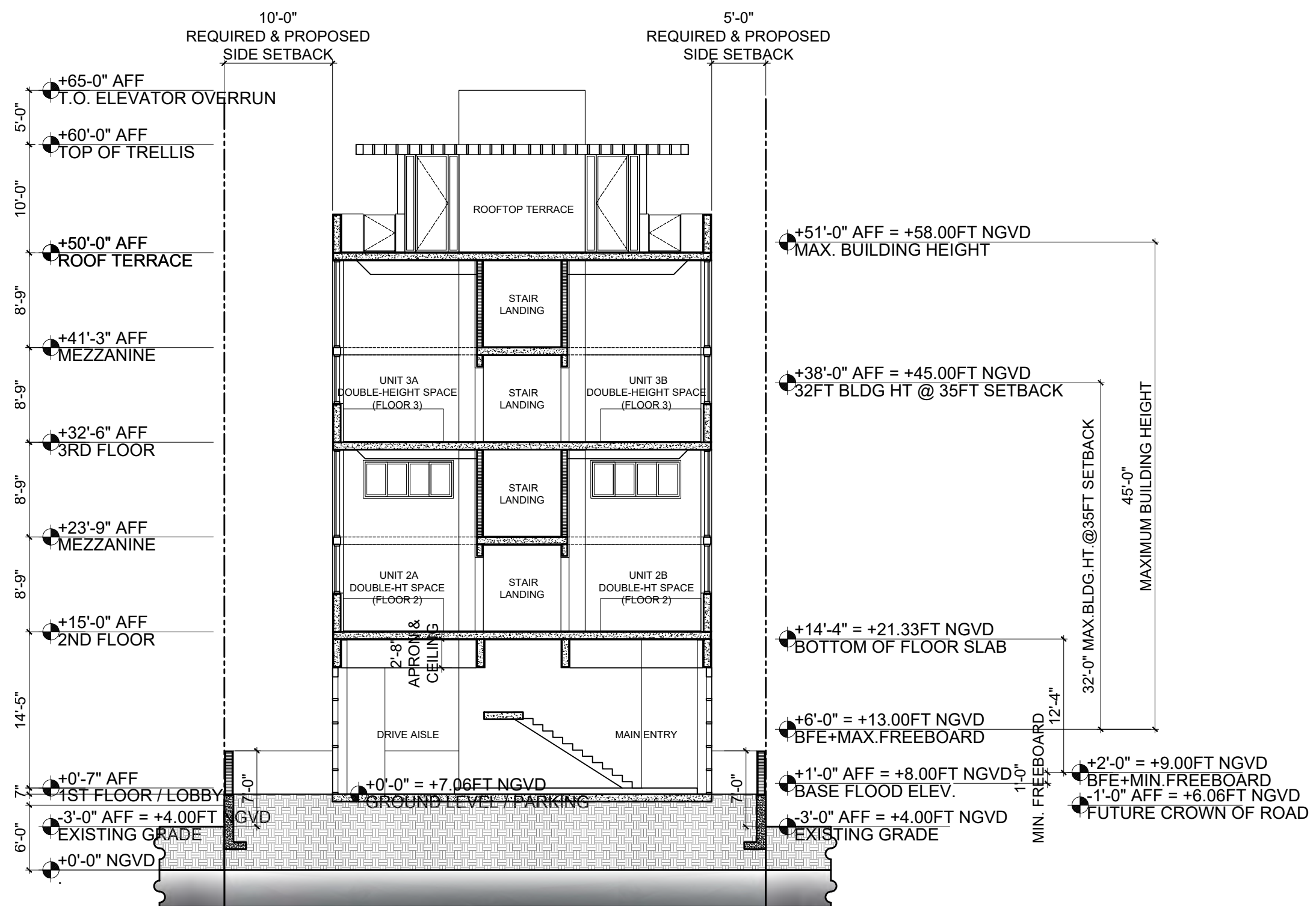
SCALE: AS NOTED

CONTEXTUAL ELEVATION

A3.6



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**1** SECTION B-B  
 SCALE: 3/32" = 1'-0"

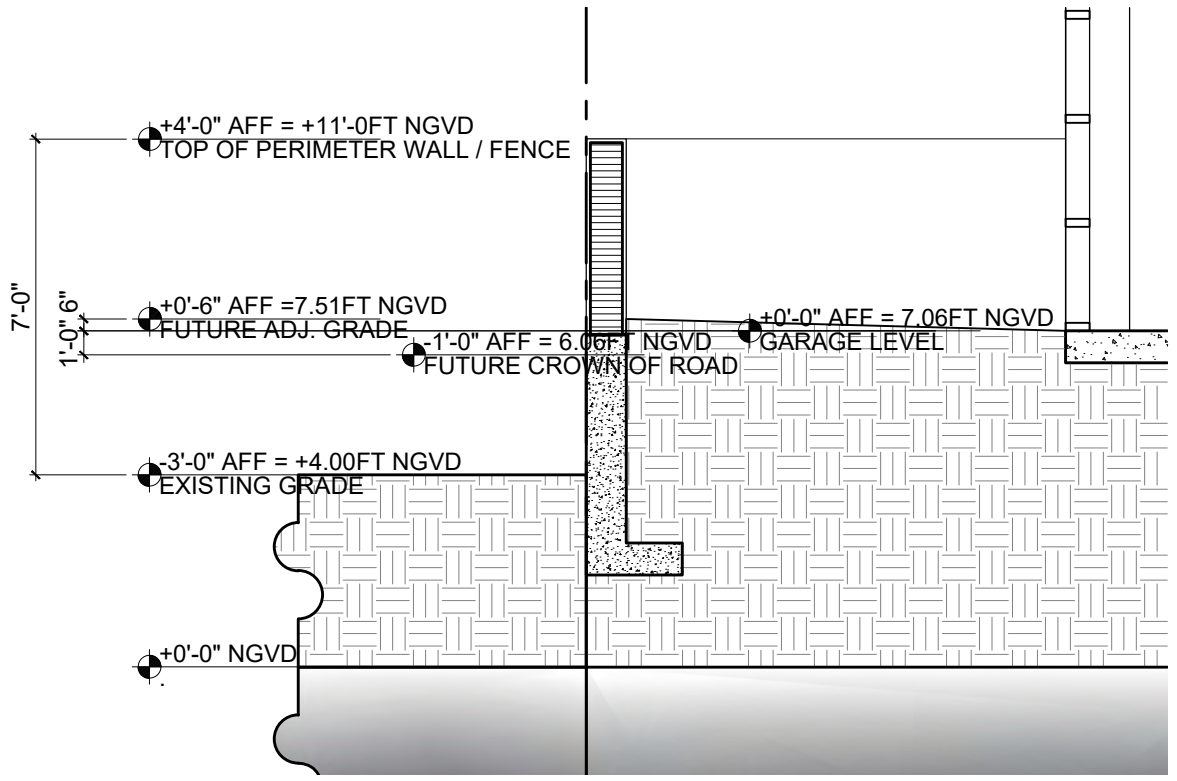


Jose R Carlo  
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 Date: 2026.04.05 23:18:50 -04'00'

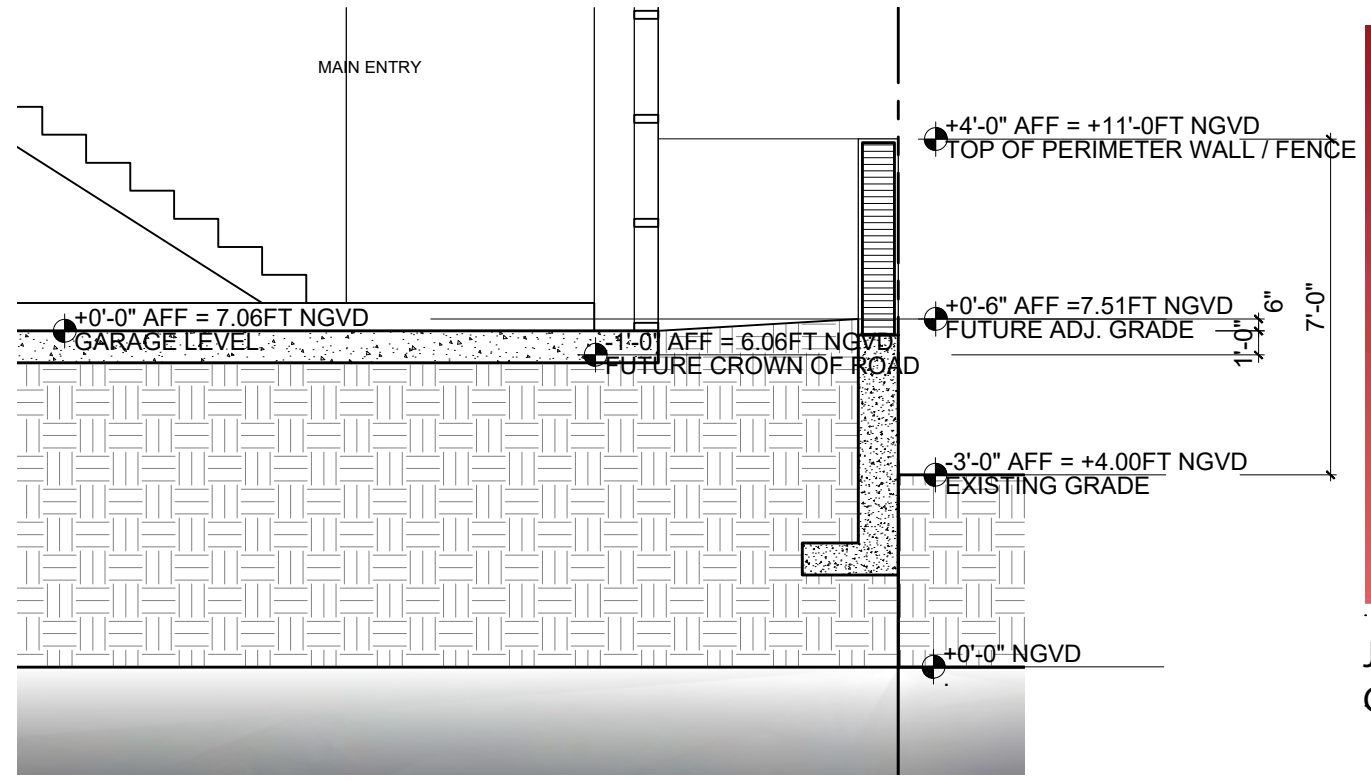
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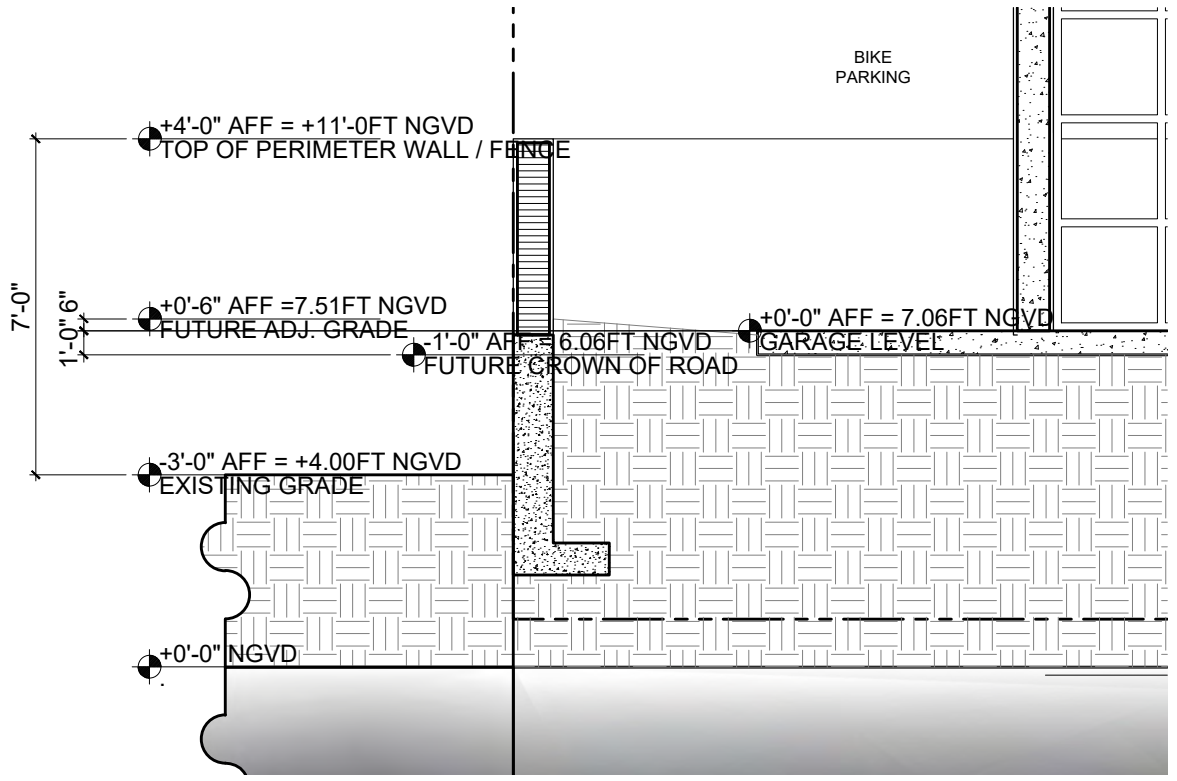
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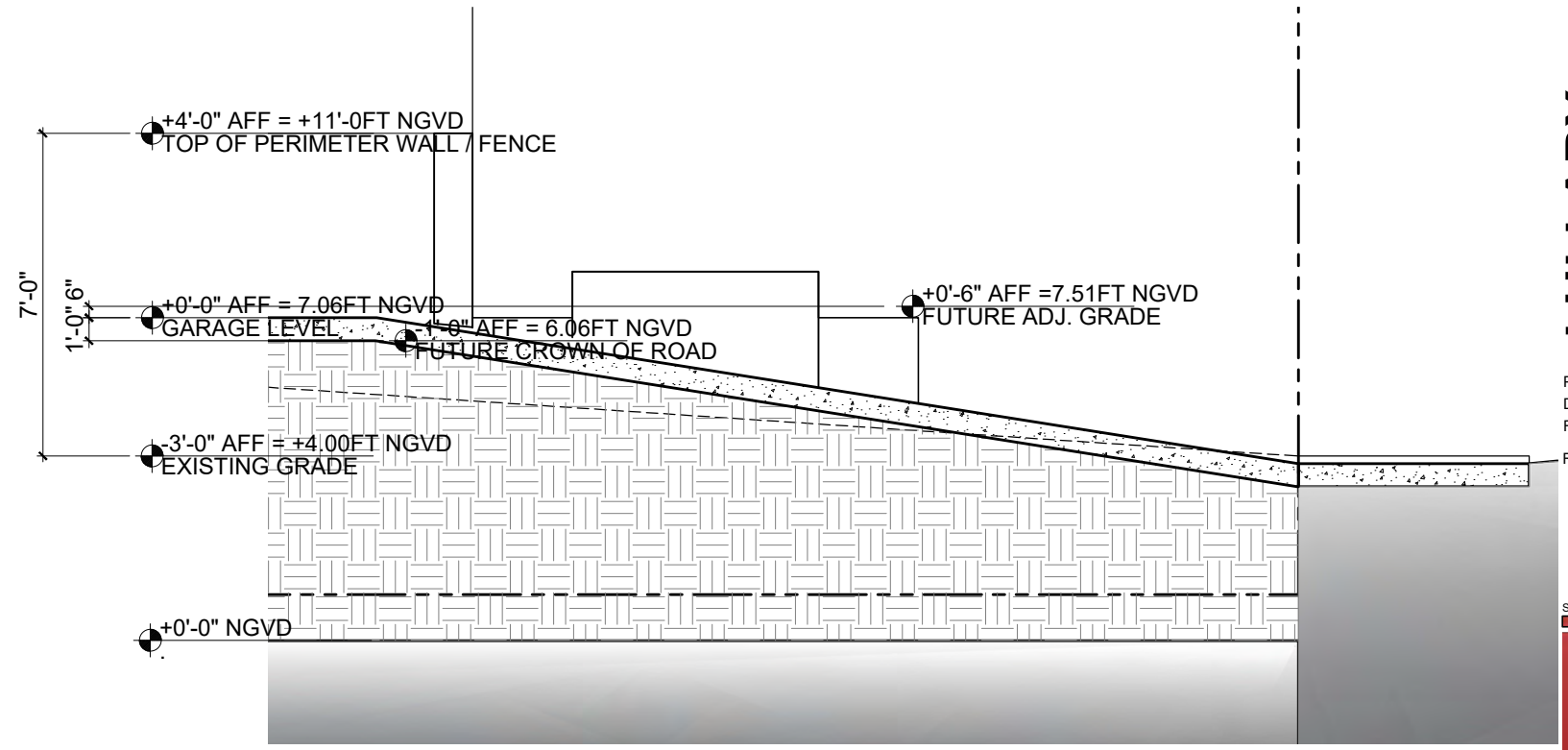
**4** SECTION F-F AT SOUTH SIDE YARD  
SCALE: 1/4" = 1'-0"



**2** SECTION D-D AT NORTH SIDE YARD  
SCALE: 1/4" = 1'-0"



**3** SECTION E-E AT REAR SIDE YARD  
SCALE: 1/4" = 1'-0"



**1** SECTION C-C AT FRONT YARD  
SCALE: 1/4" = 1'-0"

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STATE OF FLORIDA  
REGISTERED ARCHITECT  
AR16566

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Date: 2026.04.05 23:20:57 -04'00'

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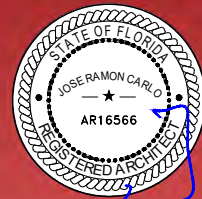
**SIDE YARD SECTIONS**

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1 PERSPECTIVE - BYRON AVENUE  
SCALE: N.T.S

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Date: 2026.04.05  
23:23:28 -04'00'

**LULLABY CONDOMINIUM RESIDENCES**

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SCALE: AS NOTED

COLOR  
RENDERINGS

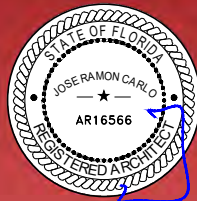
A5.1

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1 PERSPECTIVE -AERIAL FROM NORTHEAST  
SCALE: N.T.S

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Jose R Carlo  
Digitally signed  
by Jose R Carlo  
Date: 2026.04.05  
23:26:13 -04'00'

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REV.	DESCRIPTION	DATE

SCALE: AS NOTED

COLOR RENDERINGS

A5.2

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1 PERSPECTIVE -AERIAL FROM NORTHWEST  
SCALE: N.T.S

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REGISTERED ARCHITECT  
AR16566

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Jose R Carlo  
Digitally signed by Jose R Carlo  
Date: 2026.04.05 23:28:52 -04'00'

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SCALE: AS NOTED

COLOR RENDERINGS

**A5.3**

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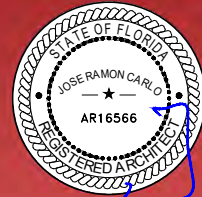


1

PERSPECTIVE - BYRON AVENUE FROM SOUTH

SCALE: N.T.S

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Jose R  
Carlo

Digitally signed  
by Jose R Carlo  
Date: 2026.04.05  
23:31:19 -04'00'

**LULLABY CONDOMINIUM RESIDENCES**

7928 BYRON AVENUE, MIAMI BEACH, FL 33141

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COLOR  
RENDERINGS

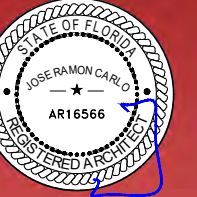
A5.4

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1 PERSPECTIVE - BYRON AVENUE FROM NORTH  
SCALE: N.T.S

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COLOR RENDERINGS

A5.5