

LOCATION MAP

FLOOD INFORMATION

FLOOD ZONE	AE
BASE FLOOD ELEVATION (BFE)	8.00' NGVD
DESIGN FLOOD ELEVATION (DFE)	5.39' NGVD
LOWEST TOS ELEVATION OF HABITABLE SPACE	5.39' NGVD
NEXT HIGHER FLOOR ELEVATION	17.64' NGVD (LEVEL 2)
LOWEST GRADE ELEVATION TO THE BUILD.	3.70' NGVD
HIGHEST GRADE ELEVATION ADJ TO THE BUILD	7.73' NGVD
CROWN OF THE ROAD	3.10' NGVD
PANEL NOUMBER	12086C0309L
DATE OF FIRM:	09-11-2009

ELECTRICAL SYSTEMS, EQUIPMENT AND COMPONENTS; HEATING, VENTILATION, AIR CONDITIONING; PLUMBING APPLIANCES AND PLUMBING FIXTURES; DUCT SYSTEMS; AND OTHER SERVICE EQUIPMENT (POOL EQUIPMENT, WATER HEATERS, GENERATORS, ETC.) SHALL BE ELEVATED AT OR ABOVE DESIGN FLOOD ELEVATION (+9.00' NGVD) (ASCE 24-14 CH. 7.0) - FBCR SECT. R322.1.6.

CONTRACTOR SHALL SUBMIT AN UNDER-CONSTRUCTION ELEVATION CERTIFICATE UPON PLACEMENT OF THE LOWEST FLOOR AND PRIOR TO FURTHER VERTICAL CONSTRUCTION TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL. OWNER OR CONTRACTOR SHALL SUBMIT A FINISHED CONSTRUCTION ELEVATION CERTIFICATE, PRIOR TO BUILDING FINAL INSPECTION

AREA SUMMARY

EXISTING 1st FLOOR:	2,347 sf.
EXISTING 2nd FLOOR:	2,053 sf.
total existing:	4,400 sf.
PROPOSED AC 1st FLOOR:	2,043 sf.
PROPOSED AC 2nd FLOOR:	2,316 sf.
total proposed:	4,359 sf.

Scope of Work:

Alteration Level 3 as per FBC 2023

Scope of Work:

- Re-Build 2 story building for same Occupancy (Office building).

THIS REVISION

1. ELEVATOR RELOCATED
2. COURT YARD REDUCTION
3. ATRIUM ELIMINATION
4. FRONT FACADE RE-DESIGNED

PROJECT DATA

PROPERTY ADDRESS:	415 WEST 41st STREET MIAMI BEACH , FL 33140
FOLIO NUMBER:	02-3222-001-0530
LEGAL DESCRIPTION:	LOT 15, BLOCK 4, SUBDIVISION ORCHARD SUBDIVISION 4, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 25, PAGE 30, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
ZONING:	CD-3
CLASSIFICATION:	COMMERCIAL
SQUARE FOOTAGE:	2,347 S.F. 1ST FLOOR FOOTPRINT (EXISTING)
FLOOD INFORMATION:	
FLOOD ZONE:	ZONE AE (EL 8)
PANEL:	12086C0309
DATE:	09-11-2009
SUFFIX:	L

CODE RESEARCH AND TABULATION :

- FLORIDA BUILDING CODE 2023 EDITION
- NFPA 101 LIFE SAFETY CODE 2021 EDITION
- FLORIDA ACCESSIBILITY CODE 2023 EDITION
- FLORIDA FIRE PREVENTION CODE, 8th EDITION (2023)
- 2023 FBC - EXISTING BUILDING, 8TH EDITION
- NFPA 99 (refer to sheet A1.20)

ADDED INFORMATION

FINAL SUBMITTAL

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ARCHITECTURE CO.

262 SW 40 Street Suite 2G, Miami, Florida 33155
Phone 305 666-5151 Florida License AR 0016380

BALOGH RENOVATION

415 W 41 STREET
MIAMI BEACH, FL 33140

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DRB25-1149

Previous DRB23-1913

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DEC-07-2025

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Registration No. AR-0016380

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LOCATION MAP 

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415 W 41 STREET
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Drawing No.:
A0.01

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LEGAL DESCRIPTION:
 LOT 15, BLOCK 4, "ORCHARD SUBDIVISION NO. 4", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 25, PAGE 30, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PROPERTY OF: THE BALOGH COMPANY INC.

415 WEST 41st STREET,
 MIAMI BEACH, FLORIDA 33140

FLOOD ZONE: AE
 MAP & PANEL= 12086C0309
 COMMUNITY No.: 120651
 SUFFIX: L
 DATE OF FIRM: 09-11-2009
 BASE ELEV.= +7.00 NGVD 1929
 L.F. ELEV. = 4.13 NOTES LOWEST HABITABLE FLOOR ELEVATION.
 ELEVATIONS SHOWN REFER TO N.G.V.D. 1929.
 LOWEST ADJACENT GRADE = 4.10
 B.M. #CMB 41 01R ELEV. = 6.65 = 8.19 N.G.V.D. 1929 (CITY OF MIAMI BEACH)
 GARAGE ELEV.= N/A
 E.R.P.= 4.48

SURVEYOR'S NOTES:
 1) NOT VALID UNLESS SIGNATURE IS EMBOSSED WITH THE REGISTERED LAND SURVEYOR'S SEAL.
 2) LEGAL DESCRIPTION PROVIDED BY OTHERS.
 3) PROPERTIES SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PROPERTY PLAT OF RECORD.
 4) MEASUREMENTS TO WOOD FENCES ARE TO OUTSIDE OF WOOD.
 5) UNDERGROUND UTILITIES, FOUNDATIONS, OR OTHER IMPROVEMENTS, IF ANY, WERE NOT LOCATED.
 6) ELEVATIONS, IF SHOWN ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM 1929.
 7) FENCE OWNERSHIP NOT DETERMINED UNLESS OTHERWISE NOTED.
 8) MEASUREMENTS TO WIRE FENCES ARE TO CENTER OF WIRE.
 9) WALL MEASUREMENTS ARE TO/FROM FACE OF WALL.
 10) DRAWING DISTANCE BETWEEN WALLS AND/OR FENCES AND PROPERTY LINES MAY BE EXAGGERATED FOR CLARITY.
 11) FLOOD ZONE INFORMATION WAS DERIVED FROM FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INFORMATION RATE MAPS
 12) BEARINGS IF ANY SHOWN ARE BASED ON ASSUMED MERIDIAN AT: NORTH RIGHT OF WAY OF WEST 41st STREET = (N87°32'30"W)

Francisco Fajardo
 Digitally signed by Francisco Fajardo
 DN: c=US, o=Lannes and Garcia Inc., dnQualifier=A01410, E=00000198F626D0A.E000210E2, cn=Francisco Fajardo
 Date: 2025.12.04 09:20:07 -05'00'

LOCATION SKETCH
 NOT TO SCALE

SURVEYOR'S NOTE:
 THE REFLECTED SURVEY WAS PERFORMED ON THE FIELD DATE INDICATED TO THE OWNER(S) SHOWN. THE SUBJECT SURVEY CANNOT BE TRANSFERRED TO SUBSEQUENT OWNER(S) AND/OR ADDITIONAL INSTITUTIONS.

LEGEND

A/C AIR CONDITIONER	I.C.V. IRRIGATION CONTROL VALVE	P.C.P. PERMANENT CONTROL POINT	W.M. WATER METER
A/E AVENUE	I.P. IRON PIPE	PLS PROFESSIONAL LAND SURVEYOR	W.V. WATER VALVE
B.V.D. BOULEVARD	F.F.L. FLORIDA POWER & LIGHT	PSM PROFESSIONAL SURVEYOR AND MAPPER	W.U.P. WOOD UTILITY POLE
BM BENCH MARK	F.I.R. FOUND IRON PIPE	PL PROPERTY LINE	
CATV CABLE TELEVISION BOX	F.N.D. FOUND	P.O.B. POINT OF BEGINNING	
C.B. CATCH BASIN	L ARC LENGTH	P.O.C. POINT OF COMMENCEMENT	
CBS CONCRETE BLOCK STRUCTURE	(L) LEGAL	P.R.C. POINT OF REVERSE CURVATURE	
CHB CHORD BEARING	LP LIGHT POLE	P.R.M. PERMANENT REFERENCE MONUMENT	
CHD CHORD DISTANCE	LB LICENSED BUSINESS	P.T. POINT OF TANGENCY	
COR CORNER	LS LAND SURVEYOR	R RADIUS	
CT COURT	(M) MEASURED	(R) RECORD	
@ CENTERLINE	NAVD NORTH AMERICAN VERTICAL DATUM	R.E. RIM ELEVATION	
CL CLEAR	NGVD NATIONAL GEODETIC VERTICAL DATUM	R/W RIGHT-OF-WAY	
CONC. CONCRETE	NO ID. NOT IDENTIFIABLE	SAN SANITARY	
C.O. CLEAN OUT	NO. NUMBER	S.I.P. SET IRON PIPE	
E.B. ELECTRIC BOX	NTS NOT TO SCALE	S.I.R. SET IRON ROD	
ELEV. ELEVATION	O.R.B. OFFICIAL RECORD BOOK	ST. STREET	
ENCR. ENCROACHMENT	ONPL ON PROPERTY LINE	T TANGENT	
E.R.P. ELEVATION REFERENCE POINT	O.U.L. OVERHEAD UTILITY LINES	T.B.M. TEMPORARY BENCH MARK	
F.F. FINISH FLOOR	P.C. POINT OF CURVATURE	TEL. TELEPHONE	
F.H. FIRE HYDRANT	P.C.C. POINT OF COMPOUND CURVATURE	TYP. TYPICAL	
		U.E. UTILITY EASEMENT	

A BOUNDARY SURVEY
 I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY WAS MADE UNDER MY SUPERVISION AND MEETS STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17.050 THROUGH 5J-17.052, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND, THAT THE SKETCH HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SUBJECT TO NOTES AND NOTATIONS SHOWN HEREON.

FRANCISCO F. FAJARDO
 FLORIDA PROFESSIONAL SURVEYOR AND MAPPER
 REGISTRATION NO. 4767.

PROFESSIONAL SURVEYING AND MAPPING
LANNES AND GARCIA, INC.
 LB # 2098
 FRANCISCO F. FAJARDO PSM # 4767 (QUALIFIER)
 4967 SW 75th AVENUE,
 MIAMI, FLORIDA 33155
 PH (305) 666-7909 FAX (305) 442-2530

FIELD DATE: 12/03/2025

SCALE: 1" = 20'

DRAWN BY: TT

DWG. No.: 270118

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 ARCHITECTURE CO.

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 Phone 305 666-5151 Florida License AR 0016380

BALOGH
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DRB25-1149
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DEADLINE
DEC-07-2025

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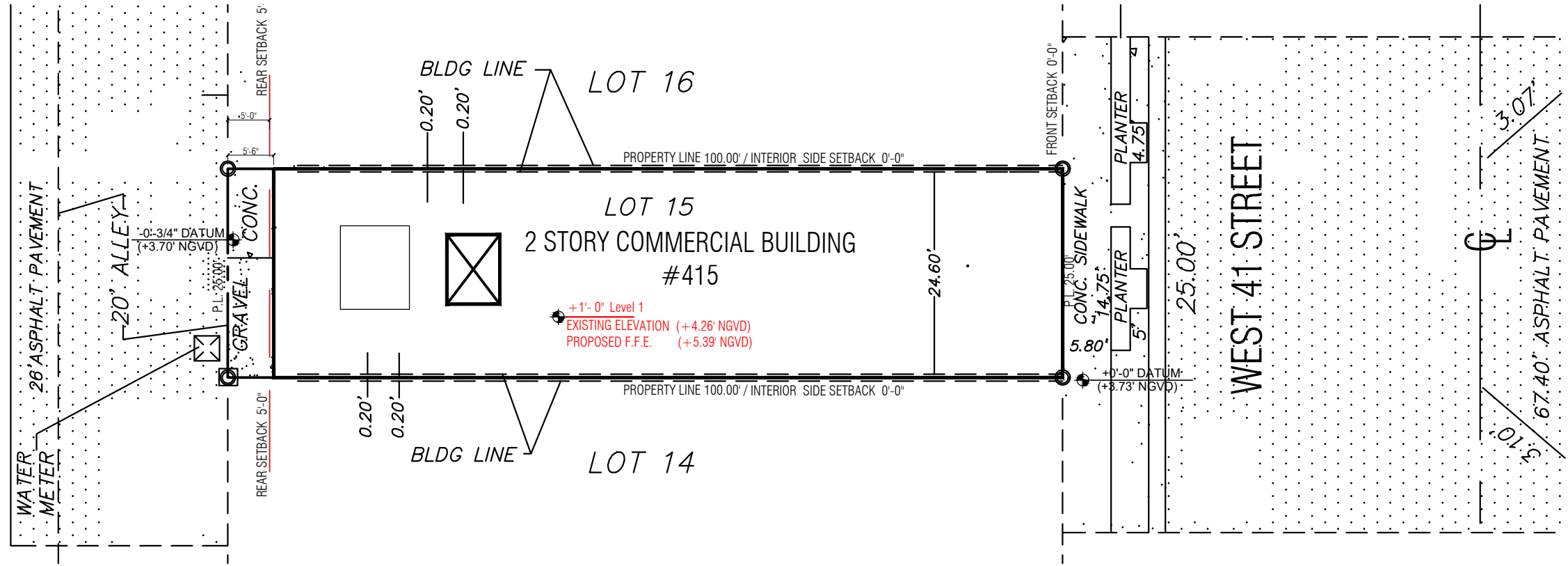
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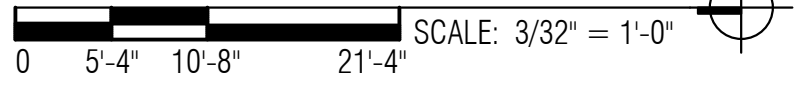
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Drawing No.:
A0.02

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SITE PLAN



AREA SUMMARY	
EXISTING 1st FLOOR:	2,347 sf.
EXISTING 2nd FLOOR:	2,053 sf.
total existing:	4,400 sf.
PROPOSED AC 1st FLOOR:	2,043 sf.
PROPOSED AC 2nd FLOOR:	2,316 sf.
total proposed:	4,359 sf.

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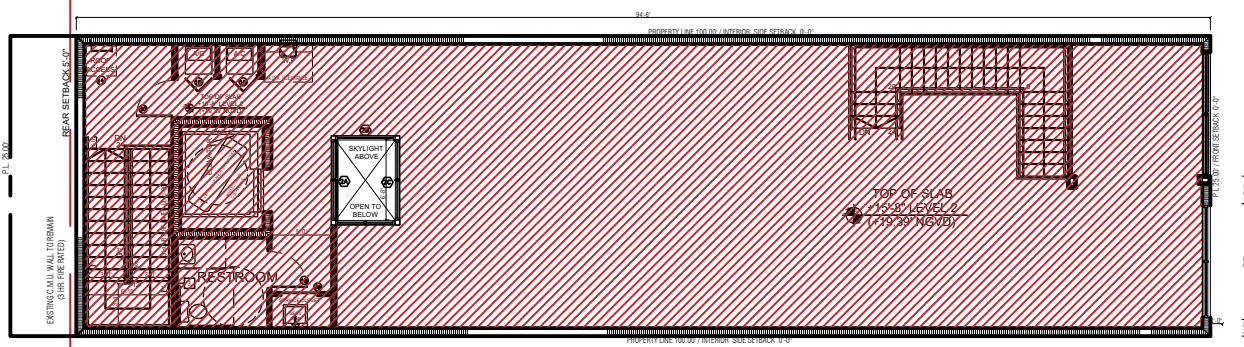
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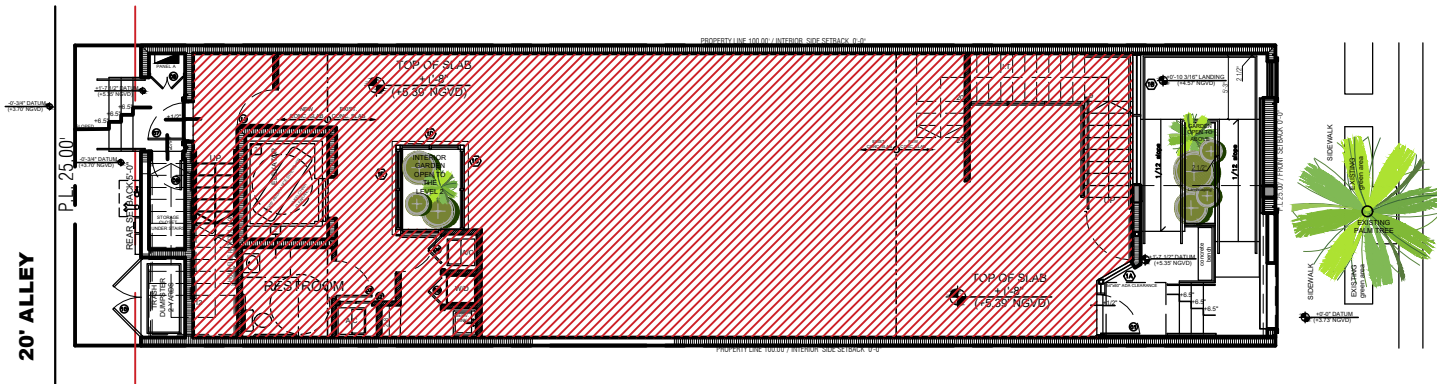
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SITE PLAN

Issue Date:
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A0.03



F.A.R. LEVEL 2



F.A.R. LEVEL 1

F.A.R. CALCULATION:

LOT SIZE, 2,500 sf.

5,500 X 2.25 = 5,625 sf.
MAXIMUM ALLOWED

LEVEL 1= 2,043 sf.
LEVEL 2= 2,316 sf.

PROPOSED= 4,359sf.



Planning Department
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

COMMERCIAL - ZONING DATA SHEET

ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY RESULT IN A FAILED REVIEW

ITEM #	Project Information				
1	Address: 415 WEST 41 STREET. MIAMI BEACH, FL, 33140	Folio number(s):	02-3222-001-0530	Year built:	1935
2	Board file number(s), Determination of Architectural Significance:	DRB25-1149, NO	Lot Area:	2,500	
3	Located within a Local Historic District (Yes or No): NO	Zoning District:	CD-3	Lot width:	25'
4	Individual Historic Site (Yes or No):	No	Lot Depth:	100'	
5	Base Flood Elevation:	8.00'	Grade value in NGVD:	5.39'	
6	Adjusted grade (BFE+Grade / 2):	N/A	Free board:	5.39'	
7	Proposed Use:	BUSINESS			
8	Proposed Accessory Use:	N/A			
9	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan):	N/A			
	ZONING INFORMATION / CALCULATION	Required	Existing	Proposed	Deficiencies
13	Floor Area Ratio (FAR)	2.25 MAX(5,625)	4,400	4,359	N/A
14	Building Height	75 MAX	22'-0" TOB	27'-6"	N/A
15	At grade parking lot on the same lot	N/A	N/A	N/A	N/A
a	Front setbacks	N/A	N/A	N/A	N/A
b	Side interior setback	N/A	N/A	N/A	N/A
c	Side facing street setback	N/A	N/A	N/A	N/A
d	Rear setback	N/A	N/A	N/A	N/A
16	Subterranean, Pedestal & Tower (non-Oceanfront)	Required	Existing	Proposed	Deficiencies
a	Front setbacks	0'	0'	0'	N/A
b	Side interior setback	0'	0'	0'	N/A
c	Side facing street setback	N/A	N/A	N/A	N/A
d	Rear setback	5'-0"	5'-6"	5'-6"	N/A
17	Subterranean, Pedestal & Tower (non-Oceanfront)	Required	Existing	Proposed	Deficiencies
a	Front setbacks	N/A	N/A	N/A	N/A
b	Side interior setback	N/A	N/A	N/A	N/A
c	Side facing street setback	N/A	N/A	N/A	N/A
d	Rear setback	N/A	N/A	N/A	N/A
18	Minimum Apartment Unit Size	Required	Existing	Proposed	Deficiencies
a	New Construction	N/A	N/A	N/A	N/A
b	Rehabilitated Buildings	N/A	N/A	N/A	N/A
c	Hotel Unit	N/A	N/A	N/A	N/A
19	Average Apartment Unit Size	Required	Existing	Proposed	Deficiencies
a	New Construction	N/A	N/A	N/A	N/A
b	Rehabilitated Buildings	N/A	N/A	N/A	N/A
c	Hotel Unit	N/A	N/A	N/A	N/A
20	Required Open-space ratio (RPS, CPS)	N/A	N/A	N/A	N/A
21	Parking	N/A	N/A	N/A	N/A
22	Loading	N/A	N/A	N/A	N/A

Notes: Indicate N/A if not applicable.

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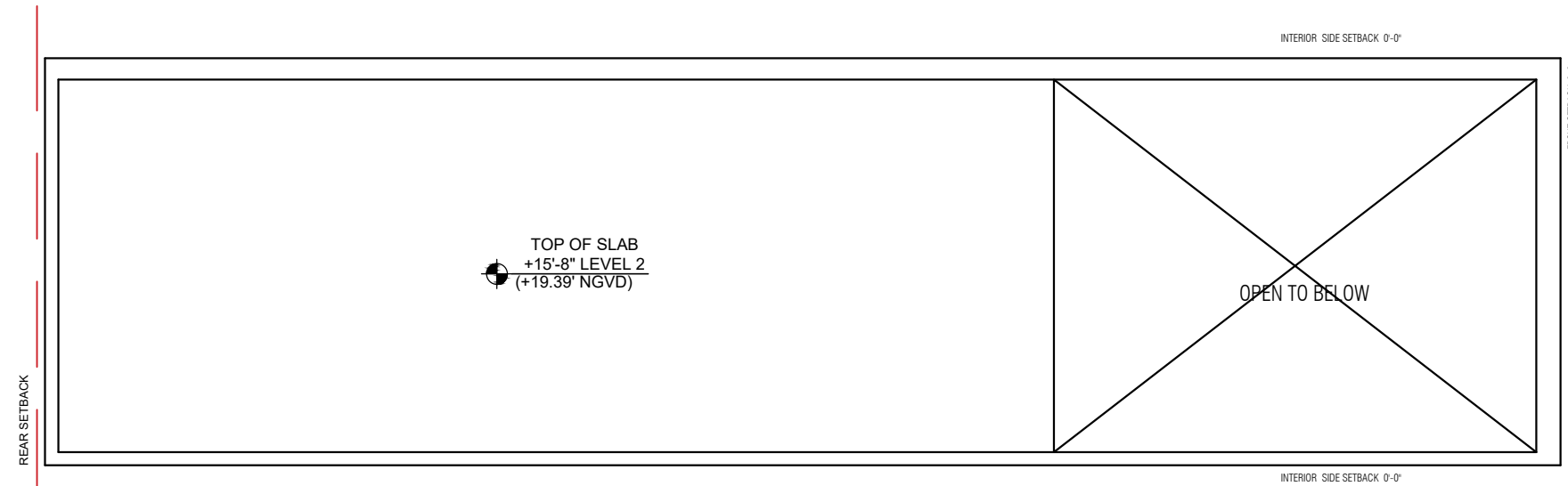
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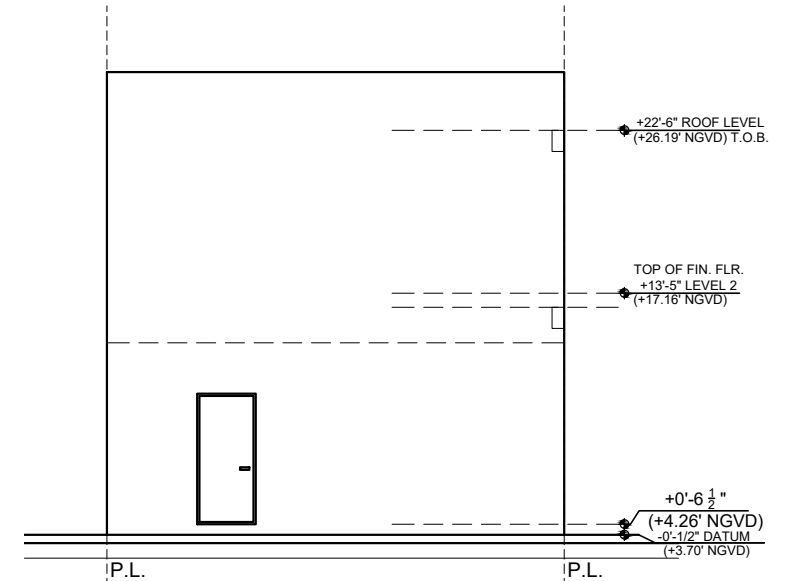
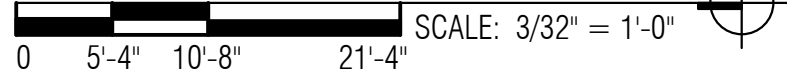
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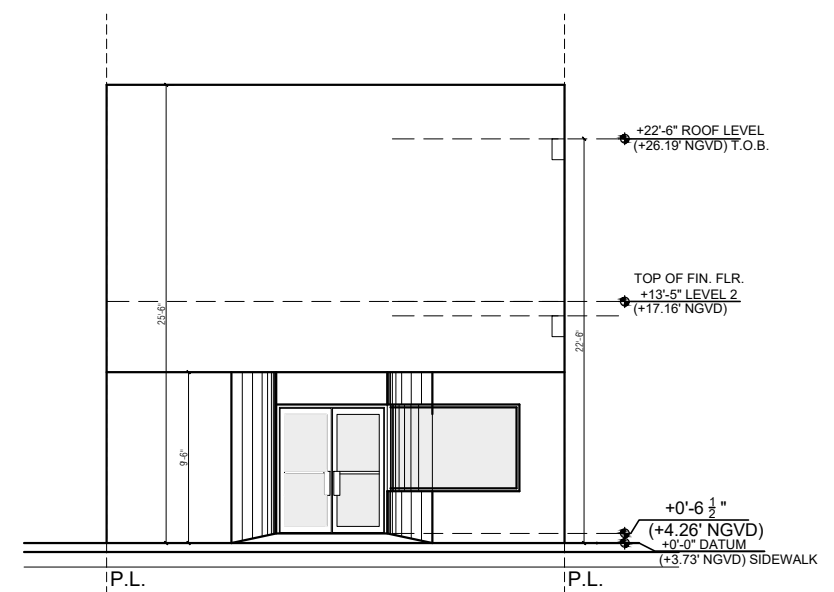
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PREVIOUS LEVEL 2 FLOOR PLAN

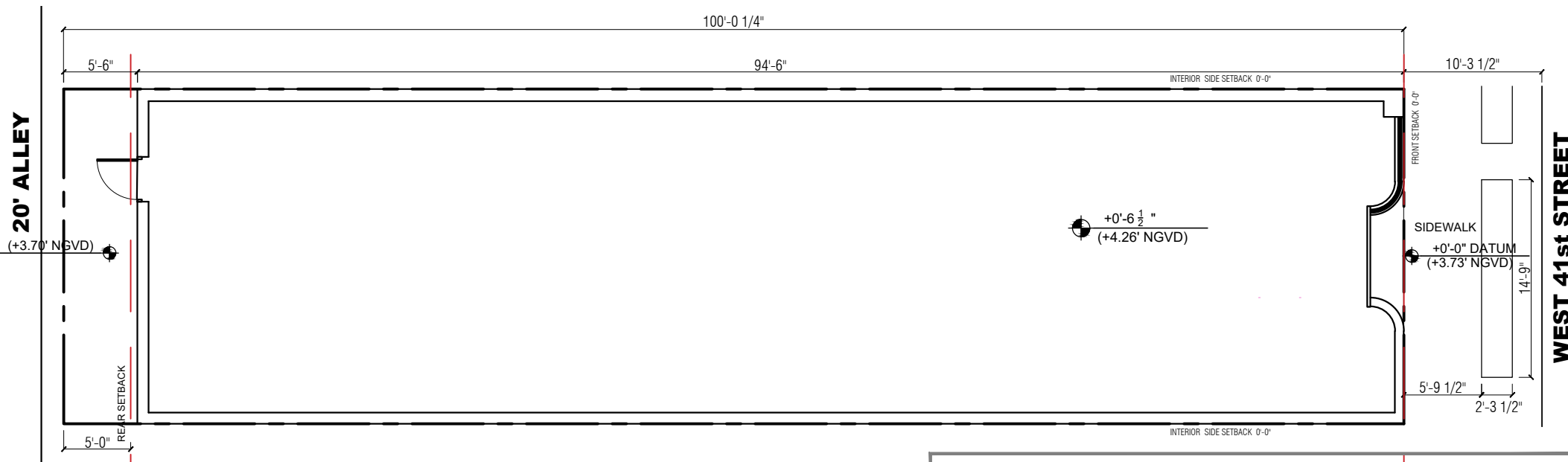


NORTH ELEVATION

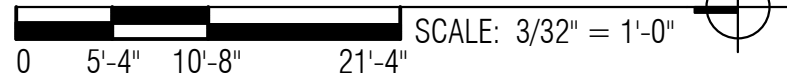


SOUTH ELEVATION

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PREVIOUS LEVEL 1 FLOOR PLAN



DEMOLITION WAS DONE UNDER PERMIT #BC2219925

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BALOGH RENOVATION

415 W 41 STREET
MIAMI BEACH, FL 33140

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Issue Date:
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FRONT VIEW (SOUTH)



SIDEWALK (SOUTH)



REAR VIEW (NORTH)



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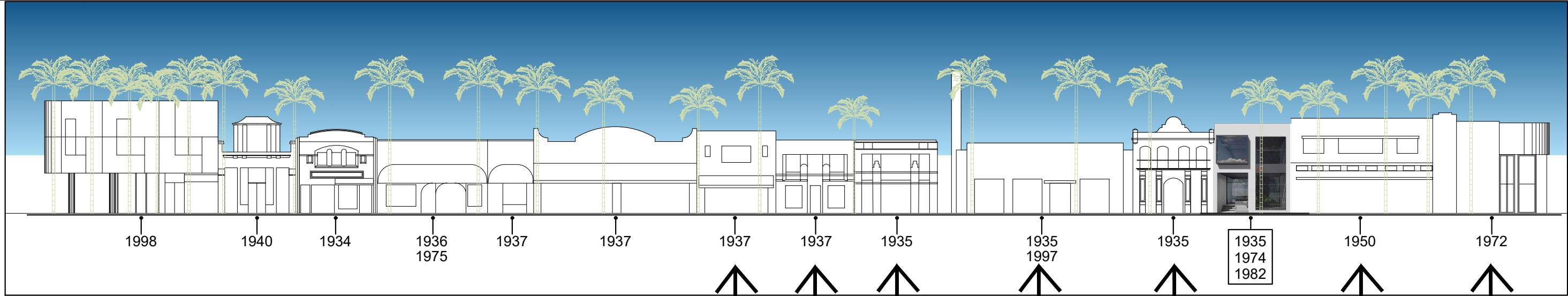


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BUILDING
EXISTING
PHOTOS

Issue Date:
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415 W 41 STREET
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DRB25-1149
Previous DRB23-1913

DEADLINE
DEC-07-2025

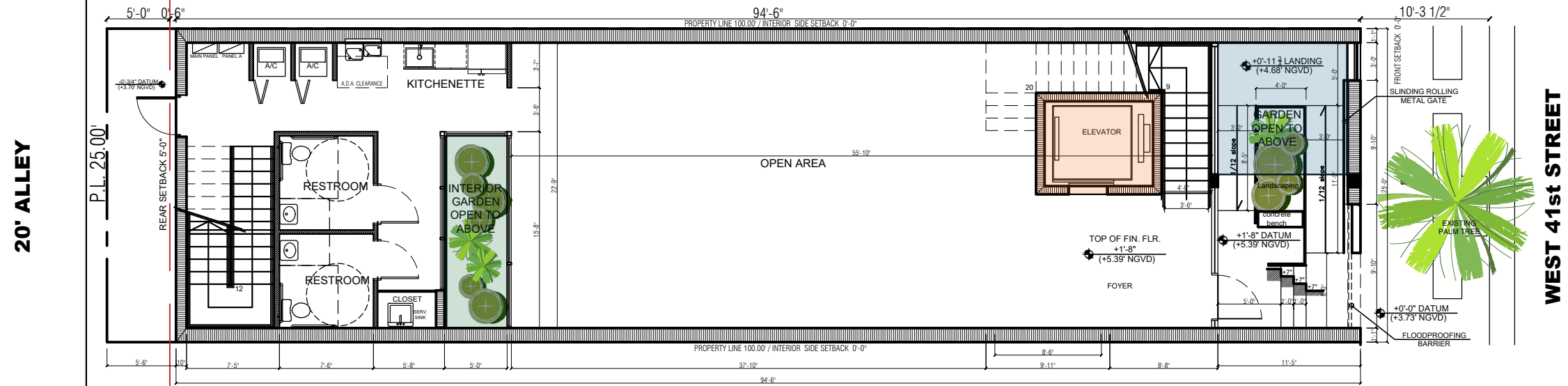
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Registration No. AR-0016380

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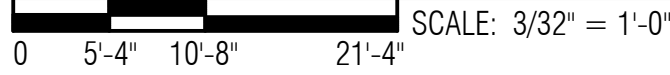
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NEIGHBORS EXISTING PHOTOS

Issue Date:
DEC 05, 2025

Drawing No.:
A0.07



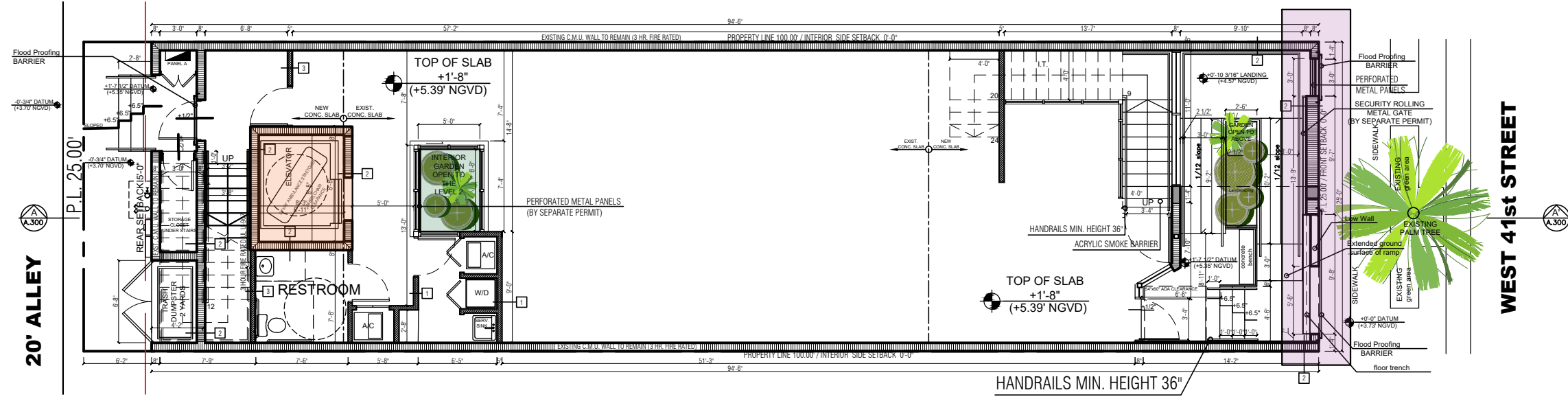
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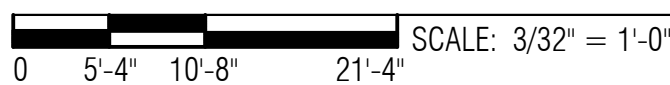
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- ELEVATOR RELOCATED
- COURT YARD REDUCED
- ATRIUM REMOVED
- FRONT FACADE RE-DESIGNED

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PROPOSED LEVEL 1



AREA SUMMARY	
EXISTING 1st FLOOR:	2,347 sf.
EXISTING 2nd FLOOR:	2,053 sf.
total existing:	4,400 sf.
PROPOSED AC 1st FLOOR:	2,043 sf.
PROPOSED AC 2nd FLOOR:	2,316 sf.
total proposed:	4,359 sf.

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BALOGH RENOVATION

415 W 41 STREET
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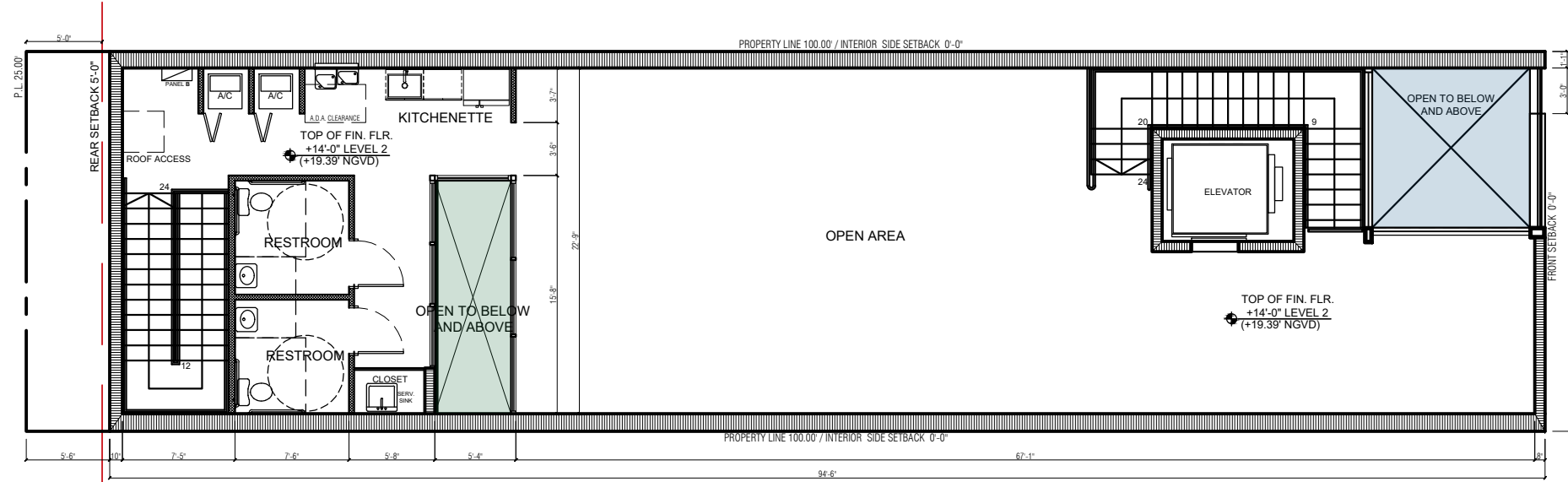
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Sheet Title:
LEVEL 1 FLOOR PLANS

Issue Date:
DEC 05, 2025

Drawing No.:
A1.00

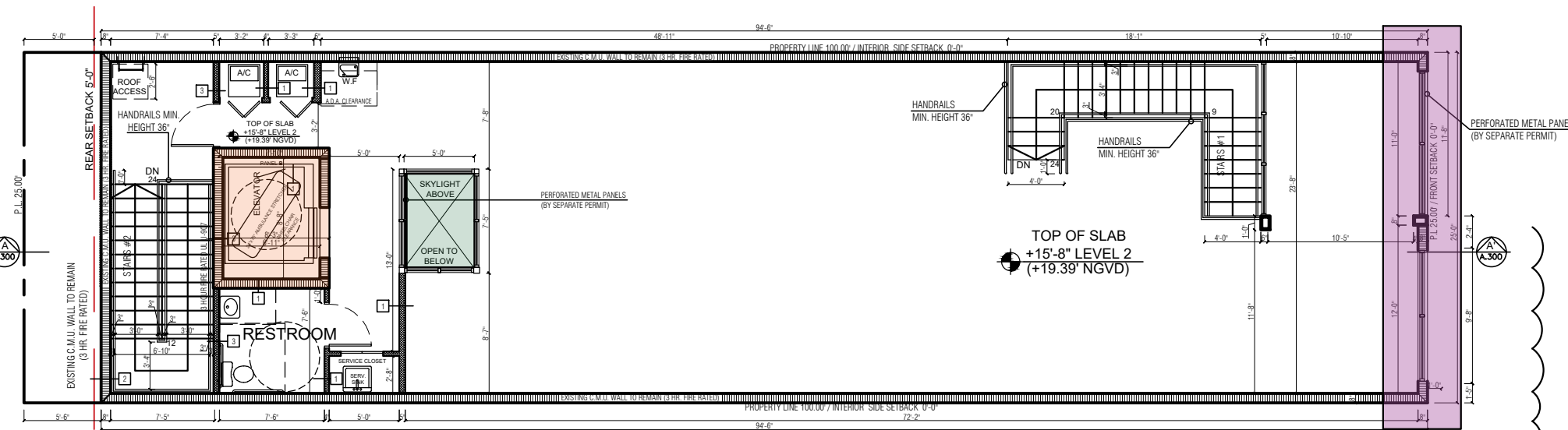


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PREVIOUSLY APPROVED LEVEL 2 DRB 23-0913

SCALE: 3/32" = 1'-0"
 0 5'-4" 10'-8" 21'-4"



AREA SUMMARY	
EXISTING 1st FLOOR:	2,347 sf.
EXISTING 2nd FLOOR:	2,053 sf.
total existing:	4,400 sf.
PROPOSED AC 1st FLOOR:	2,043 sf.
PROPOSED AC 2nd FLOOR:	2,316 sf.
total proposed:	4,359 sf.

PROPOSED LEVEL 2

SCALE: 3/32" = 1'-0"
 0 5'-4" 10'-8" 21'-4"

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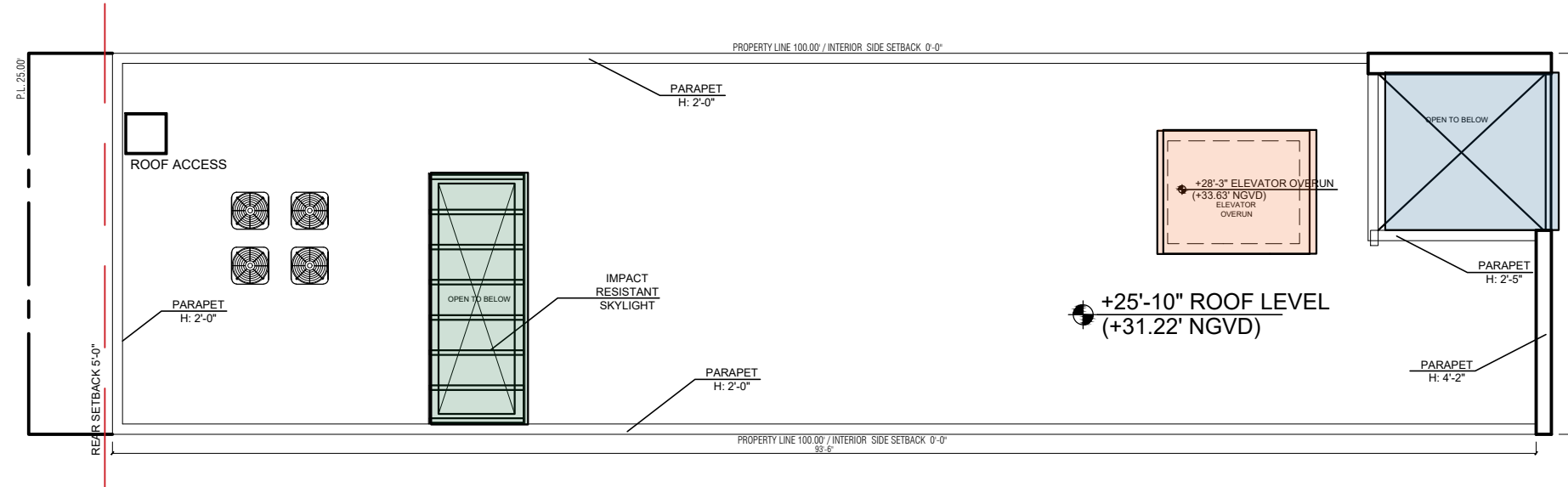
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Sheet Title:
LEVEL 2 FLOOR PLANS

Issue Date:
 DEC 05, 2025
 DEC 29, 2025

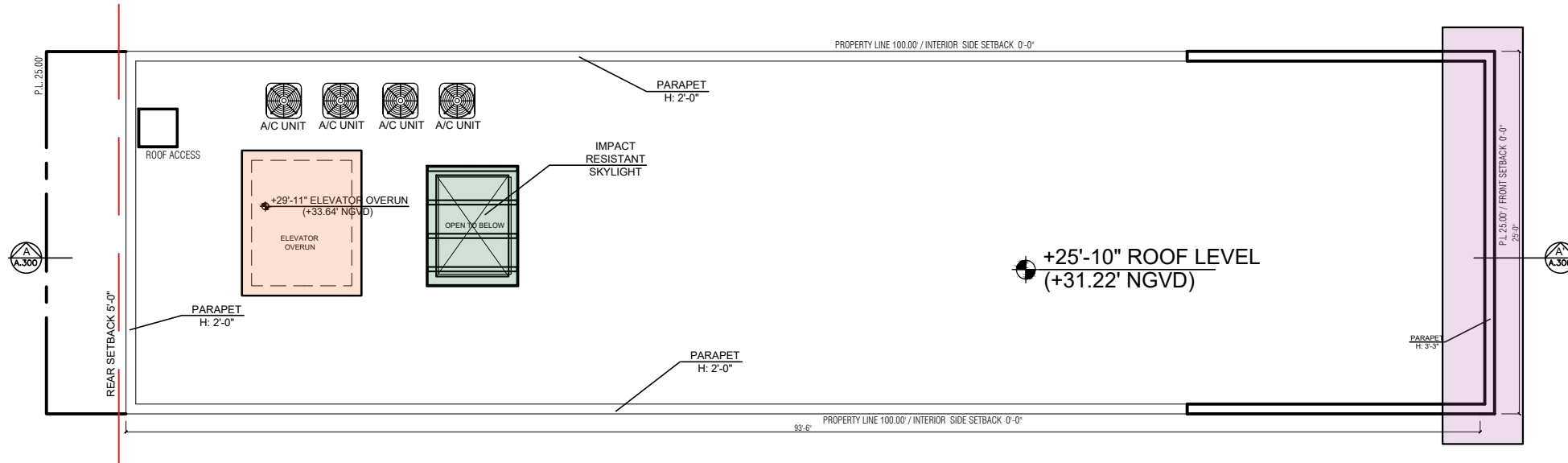
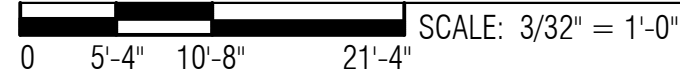
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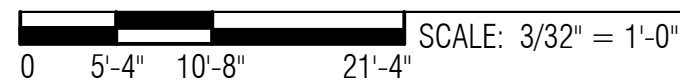
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PREVIOUSLY APPROVED ROOF PLAN DRB 23-0913



PROPOSED ROOF PLAN



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BALOGH
RENOVATION
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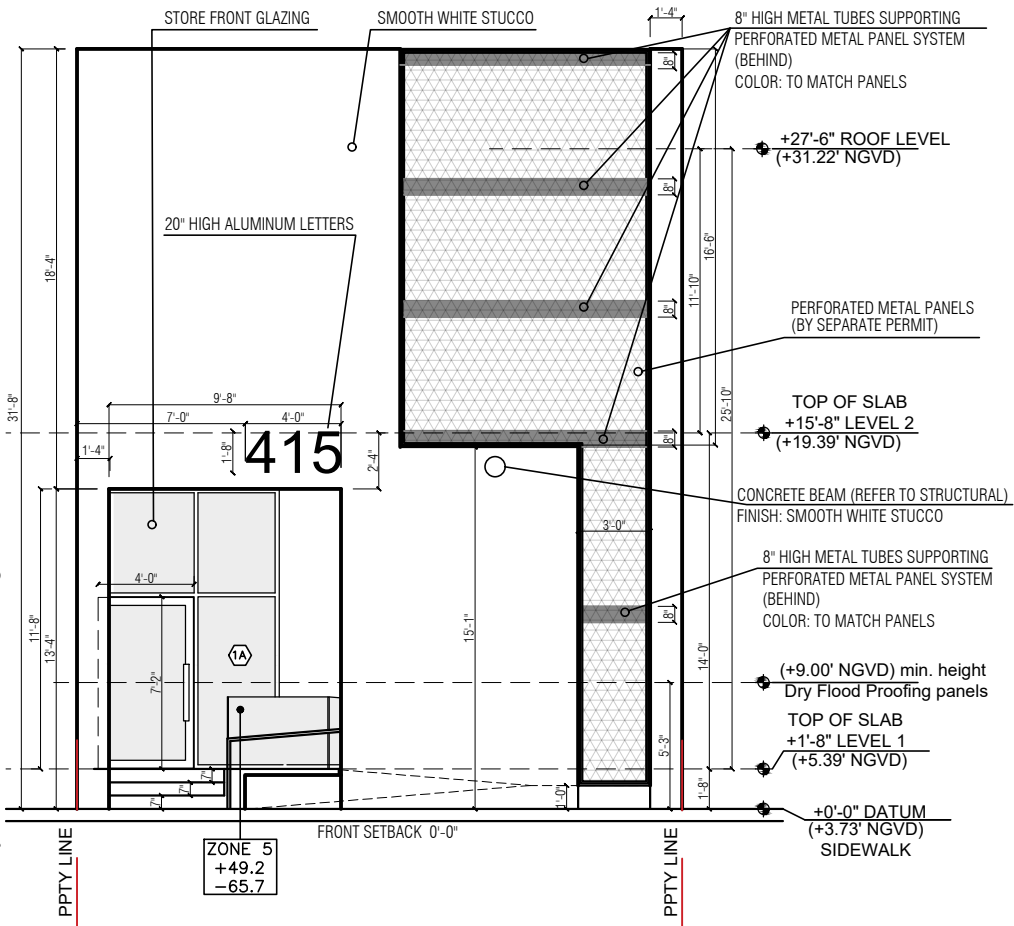
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Sheet Title:
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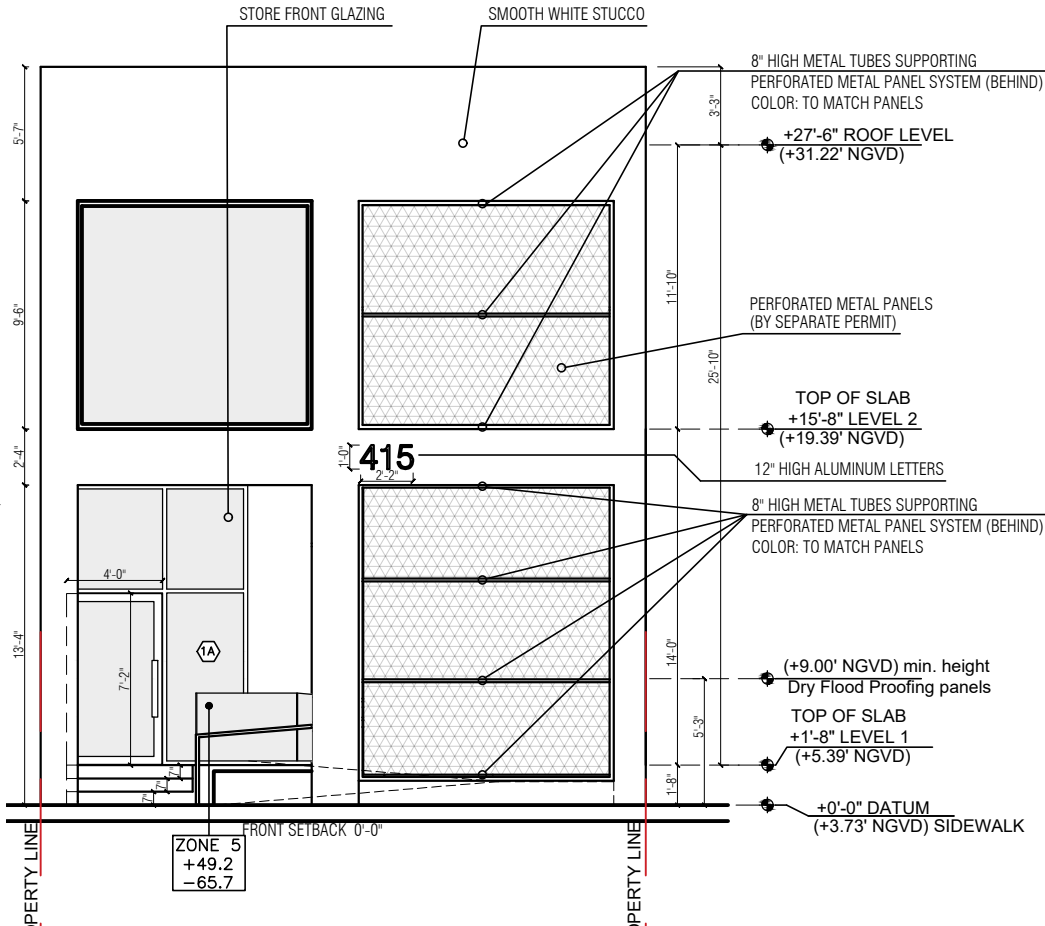
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Drawing No.:
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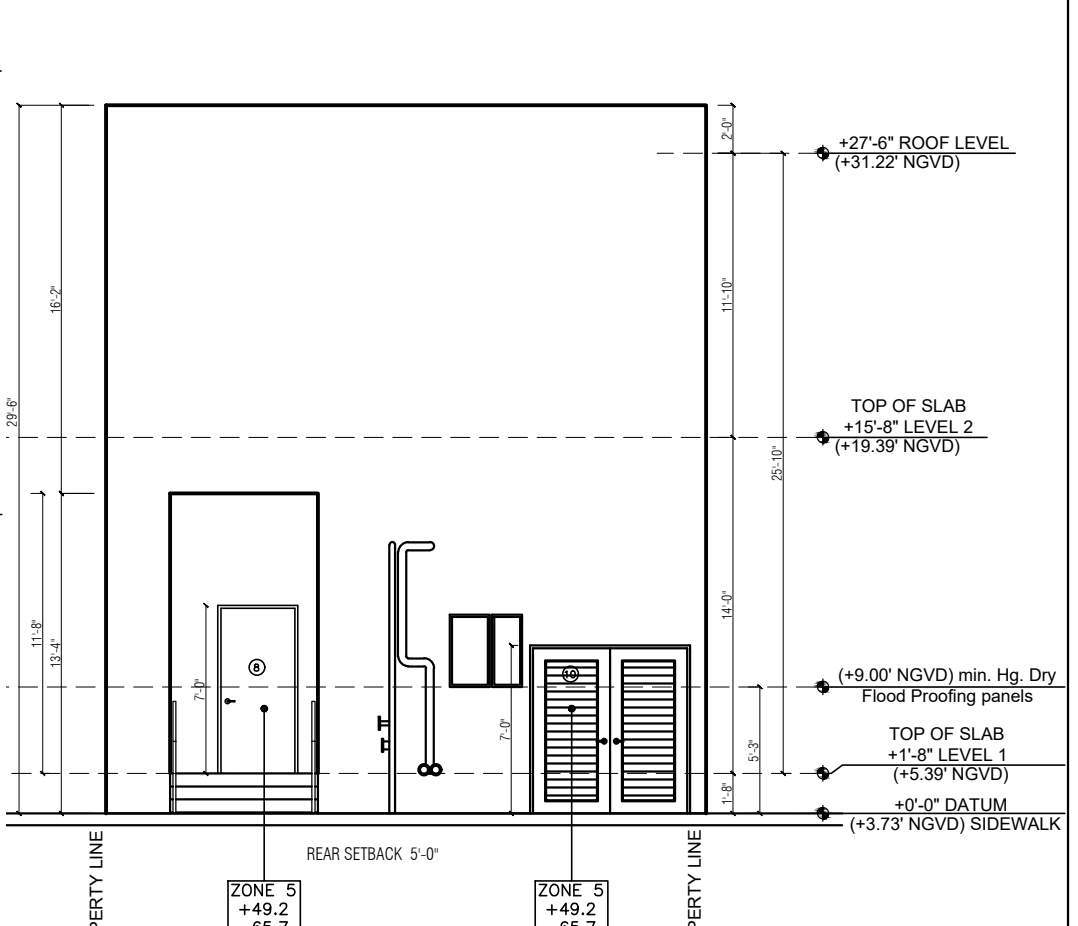
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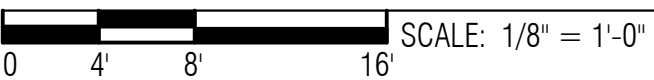
PREVIOUSLY APPROVED FRONT FACADE



NEW PROPOSED FRONT FACADE



PROPOSED REAR ELEVATION



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BALOGH RENOVATION

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Sheet Title:
ELEVATIONS

Issue Date:
DEC 05, 2025

Drawing No.:

A2.00



PREVIOUSLY APPROVED FACADE DRB 23-0913



PROPOSED FRONT FACADE

△ WINDOW UPDATED

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BALOGH
RENOVATION

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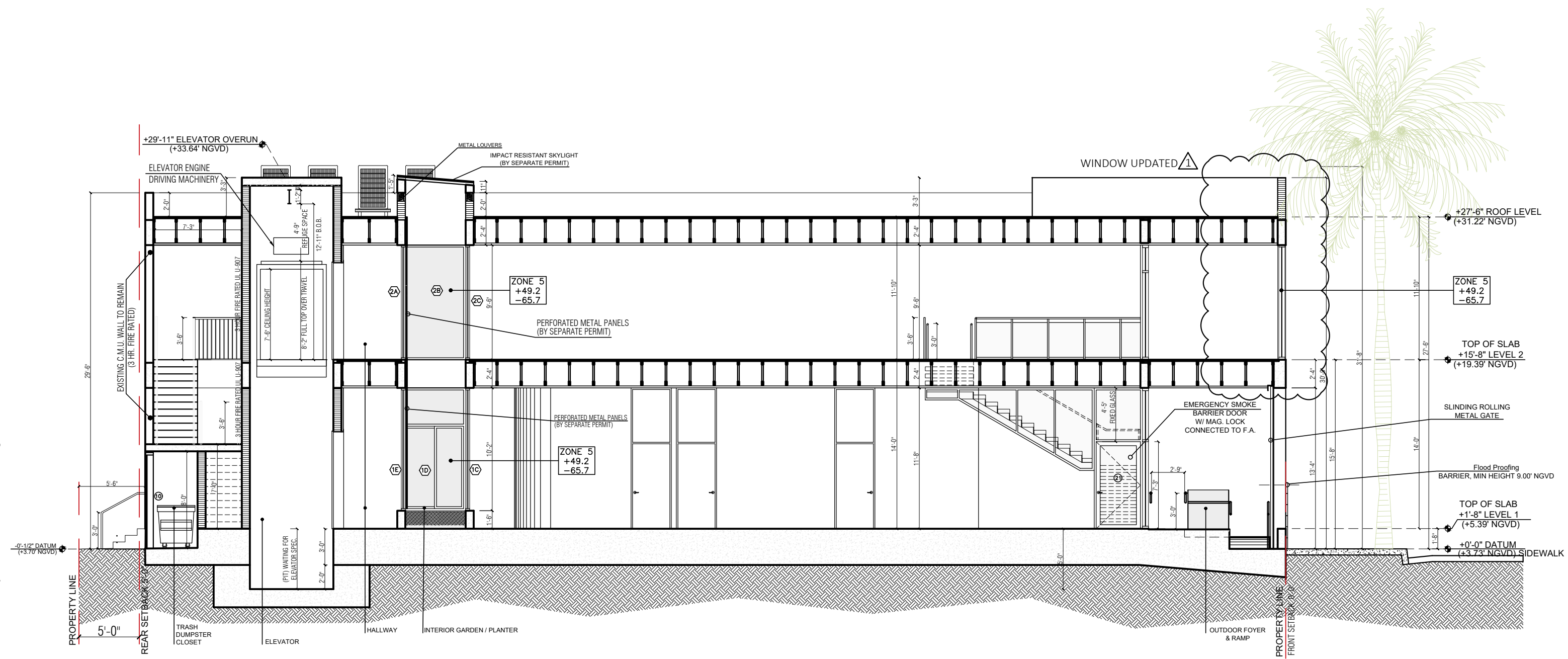
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Sheet Title:
FRONT FACADE
RENDERS ELEVATIONS

Issue Date:
DEC 05, 2025
DEC 29, 2025 △

Drawing No.:
A2.10

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Sheet Title:
SECTION A-A

Issue Date:
DEC 05, 2025
DEC 29, 2025 ^Δ

Drawing No.:
A3.00

⚠ WINDOW UPDATED



WINDOW
CLEAR GLASS / BRONZE ALUMINUM FRAMES

PERFORATED METAL PANELS, BRONZE COLOR

METAL ADDRESS NUMBERS, RED COLOR

STORE FRONT
CLEAR GLASS / BRONZE ALUMINUM FRAMES

WHITE FLAT STUCCO

METAL HANDRAIL AND GLASS RAILING

CONCRETE
ACCESS STAIRS AND RAMP

FRONT VIEW RENDER

SCALE: N.T.S.

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DEADLINE
DEC-07-2025

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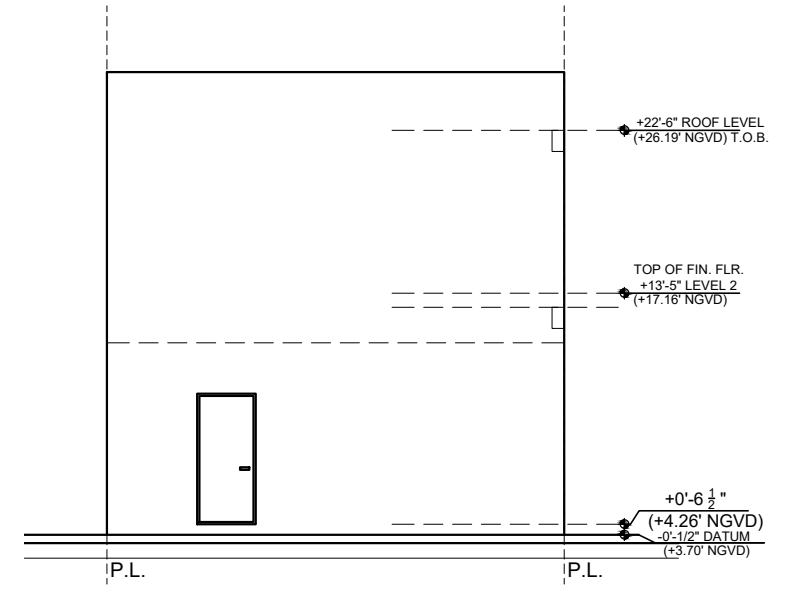
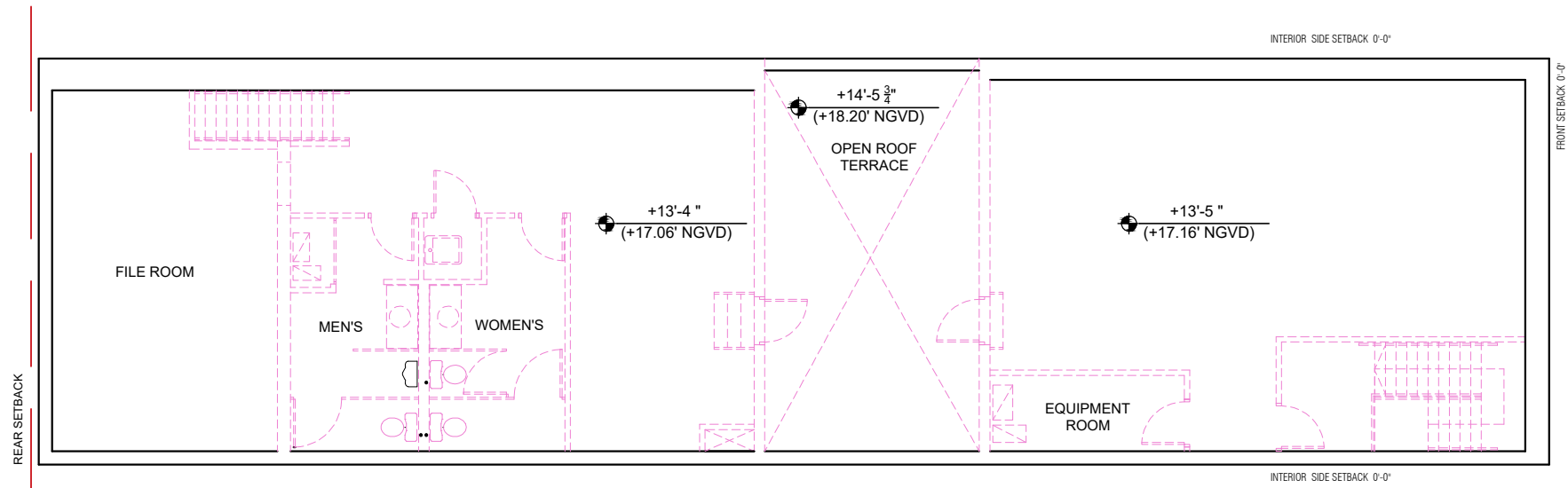


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Sheet Title:
FINISHES

Issue Date:
DEC 05, 2025
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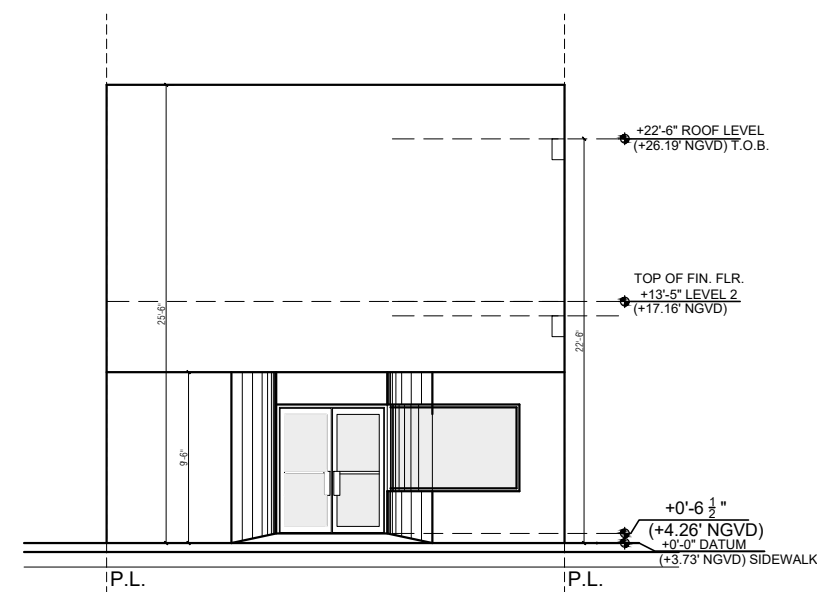
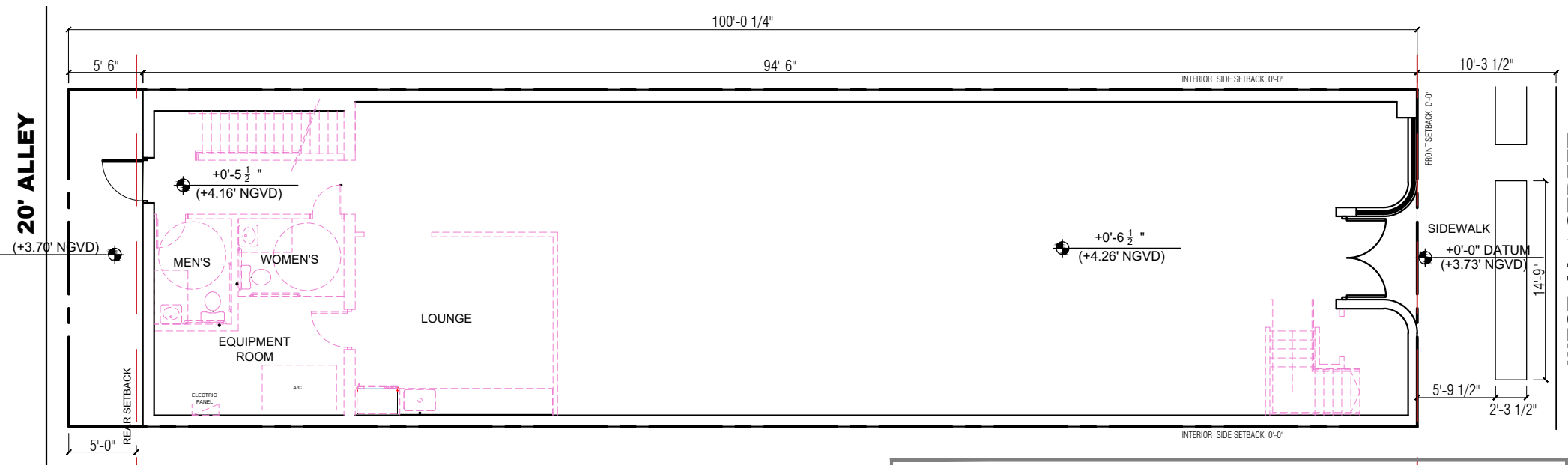
Drawing No.:
A5.00



PREVIOUS LEVEL 2 FLOOR PLAN

SCALE: 3/32" = 1'-0"

0 5'-4" 10'-8" 21'-4"



PREVIOUS LEVEL 1 FLOOR PLAN

SCALE: 3/32" = 1'-0"

0 5'-4" 10'-8" 21'-4"

DEMOLITION WAS DONE UNDER PERMIT #BC2219925

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Sheet Title:
DEMOLITION

Issue Date:
DEC 05, 2025

Drawing No.:
D1.00