

LANDSCAPE FINAL DRB SUBMITTAL 11.09.25

NEW RESIDENCE | 104 EAST SAN MARINO DRIVE | MIAMI BEACH, FLORIDA



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GEORGE RESIDENCE  
104 E SAN MARINO DR.  
MIAMI BEACH, FL 33139

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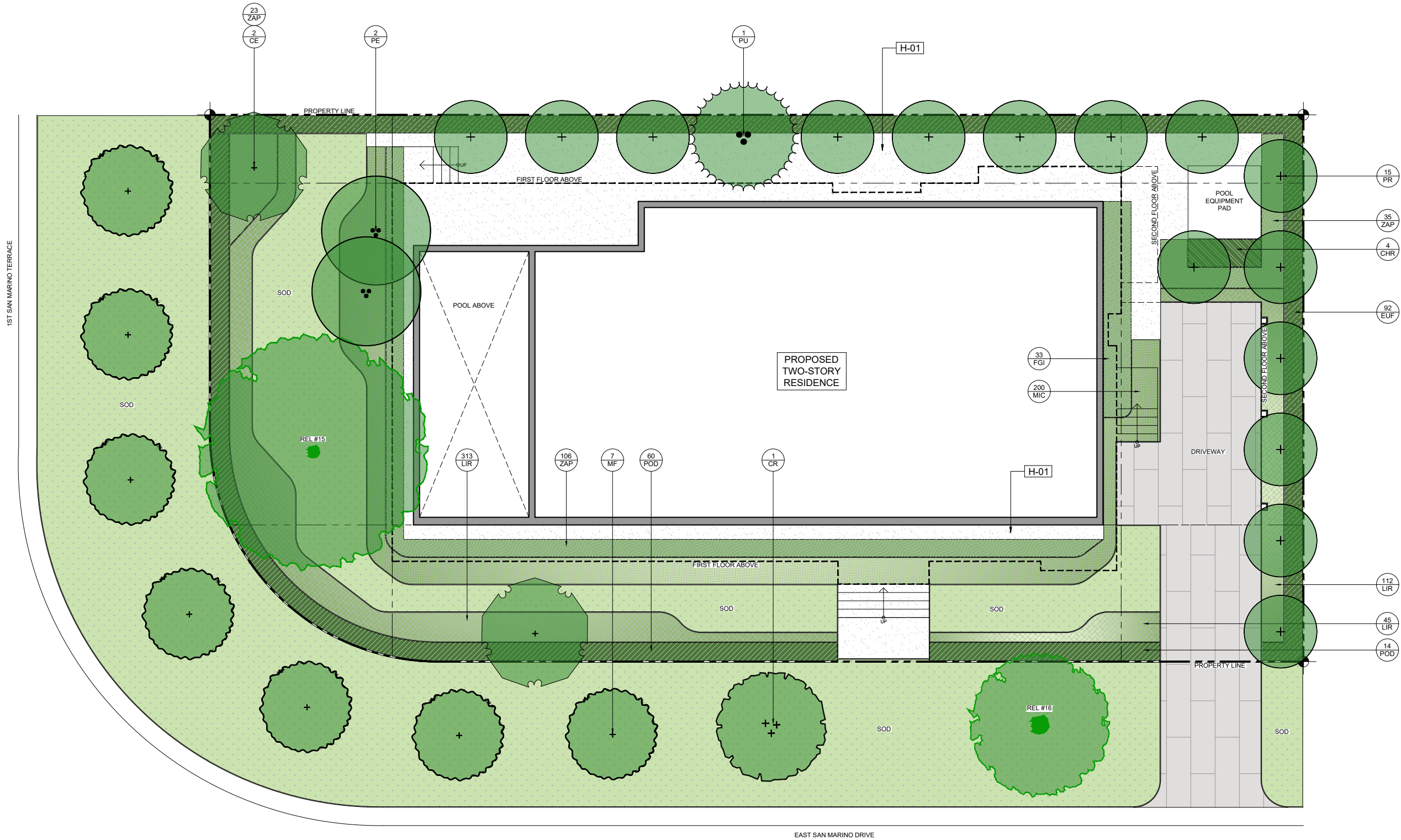
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**PLANT SCHEDULE - SITE PLAN**

SYMBOL	CODE	COMMON NAME	BOTANICAL NAME
<b>TREES</b>			
	CR	AUTOGRAPH	CLUSIA ROSEA
	CE	GREEN BUTTONWOOD	CONOCARPUS ERECTUS
	MF	SIMPSON'S STOPPER	MYRCIANTHES FRAGRANS
	PU	SCREW PINE	PANDANUS UTILIS
	PR	BAY RUM	PIMENTA RACEMOSA
<b>PALMS</b>			
	PE	ALEXANDER PALM	PTYCHOSPERMA ELEGANS
<b>SHRUB AREAS</b>			
	CHR	COCOPLUM	CHRYSOBALANUS ICACO
	EUF	SPANISH STOPPER SHRUB	EUGENIA FOETIDA
	FGI	FICUS GREEN ISLAND	FICUS MICROCARPA 'GREEN ISLAND'
	POD	PODOCARPUS	PODOCARPUS MACROPHYLLUS
	ZAP	COONTIE	ZAMIA PUMILA

GROUND COVERS		
	LIR	LILYTURF 'BIG BLUE'
	MIC	WART FERN
	SOD	EMPIRE ZOYSIA
	ZAP	ZOYSIA X 'EMPIRE'

**EXISTING LEGEND**

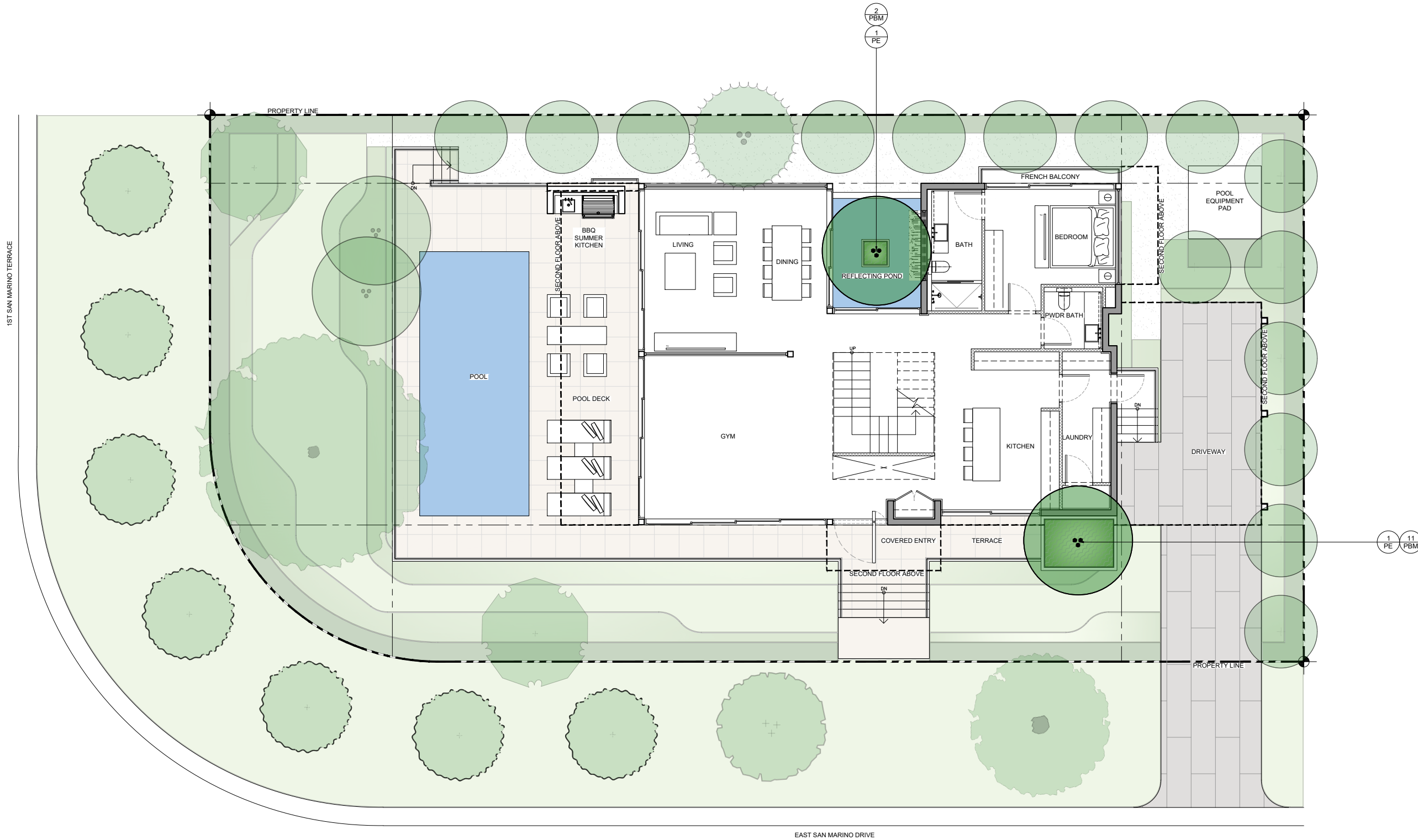
RELOCATED TREE (TYP)  
 FINAL LOCATIONS AND DISPOSITIONS TO BE DETERMINED AT TIME OF PERMITTING

**HARDSCAPE LEGEND**

CODE DESCRIPTION  
 3/8" GREY DECOMPOSED GRANITE AGGREGATE OVER FILTER FABRIC

**SITE LANDSCAPE PLAN**





**PLANT SCHEDULE - FIRST FLOOR**

SYMBOL CODE COMMON NAME BOTANICAL NAME

**PALMS**

PE ALEXANDER PALM PTYCHOSPERMA ELEGANS

**GROUND COVERS**

PBM BURLE MARX PHILODENDRON X 'BURLE MARX'

**FIRST FLOOR LANDSCAPE PLAN**



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**PLANT SCHEDULE**

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	NATIVE	SPECIFICATIONS
<b>TREES</b>						
	CR	1	AUTOGRAPH	CLUSIA ROSEA	YES	20' HT, 10' SP, MULTI-TRUNK, TREE FORM
	CE	2	GREEN BUTTONWOOD	CONOCARPUS ERECTUS	YES	18' HT, 10' SP, 4" DBH
	MF	7	SIMPSON'S STOPPER	MYRCIANTHES FRAGRANS	YES	100 GAL, 12' HT, 8' SP, STANDARD
	PU	1	SCREW PINE	PANDANUS UTILIS	NO	200 GAL, 16' HT MIN, 8" SP, 6" DBH, MULTI-TRUNK, TREE FORM
	PR	15	BAY RUM	PIMENTA RACEMOSA	NO	18' HT, 10' SP, 4" DBH
<b>PALMS</b>						
	PE	4	ALEXANDER PALM	PTYCHOSPERMA ELEGANS	NO	14-18' OA HT, #2 SLENDER TRUNK, TRIPLE TRUNK, FLORIDA FANCY
<b>SHRUB AREAS</b>						
	CHR	4	COCOPLUM	CHRYSOBALANUS ICACO	YES	15 GAL, 4' HT, 3' SP, FULL GRADE #1
	EUF	92	SPANISH STOPPER SHRUB	EUGENIA FOETIDA	YES	25 GAL, 6' HT, 4' SP, FULL, 48" O.C.
	FGI	33	FIGUS GREEN ISLAND	FIGUS MICROCARPA 'GREEN ISLAND'	NO	3 GAL, 18" HT, 18" SP, 18" ON CENTER
	POD	74	PODOCARPUS	PODOCARPUS MACROPHYLLUS	NO	25 GAL, 5' HT, 2' SP, FULL, GRADE #1
	ZAP	164	COONTIE	ZAMIA PUMILA	YES	3 GAL, 18" HT, 18" O.C., FULL
<b>GROUND COVERS</b>						
	LIR	470	LILYTURF 'BIG BLUE'	LIRIOPE MUSCARI 'BIG BLUE'	NO	3 GAL, 12" O.C., FULL
	MIC	200	WART FERN	MICROSORUM SCOLOPENDRIA	NO	3 GAL, 18" O.C., FULL
	PBM	13	BURLE MARX	PHILODENDRON X 'BURLE MARX'	NO	3 GAL, 24" O.C., FULL
<b>SOD/SEED</b>						
	SOD	3,778 SF	EMPIRE ZOYSIA	ZOYSIA X 'EMPIRE'	NO	OVER 2" TOPSOIL BED, SEE PLANTING SPECS

**LANDSCAPE NOTES**

- ALL PLANT MATERIAL SHALL BE FLORIDA GRADE NO. 1 OR BETTER.
- CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATION OF, AVOID, AND PROTECT ALL UTILITY LINES, BURIED CABLES, AND OTHER UTILITIES.
- TREE, PALM, ACCENT AND BED LINES ARE TO BE LOCATED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANTING SOIL SHALL BE 50:50 TOPSOIL: SAND MIX, FREE OF CLAY, STONES, ROCKS, OR OTHER FOREIGN MATTER. THIS SPECIFICATION INCLUDES ALL BACKFILL FOR BERMS AND OTHER LANDSCAPE AREAS.
- THE SITE CONTRACTOR SHALL BE RESPONSIBLE TO BRING ALL GRADES TO WITHIN 2" OF FINAL GRADES. THIS SHALL INCLUDE A 2" APPLICATION OF 50:50 TOPSOIL: SAND MIX FOR ALL LANDSCAPE AND AREAS TO BE SODDED.
- ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 2" w/ APPROVED NATURAL SHREDDED COCO BROWN MULCH FREE FROM WEEDS AND PESTS. NO 'NUGGETS', 'CYPRESS MULCH' OR 'RED DYED MULCH' TO BE ACCEPTED. KEEP MULCH 6" AWAY FROM TREE OR PALM TRUNKS AS PER INDUSTRY RECOMMENDATIONS.
- SOD SHALL BE 'EMPIRE TURF' ZOYSIA GRASS IN ALL LAWN AREAS AS SHOWN ON THE PLANS. SOD SHALL BE STRONGLY ROOTED, FREE FROM WEED, FUNGUS, INSECTS AND DISEASE. CONTRACTOR SHALL SOD ALL AREAS AS INDICATED ON THE PLANS OR AS DIRECTED. PAYMENT SHALL BE DETERMINED BY THE TOTAL MEASURED SODDED AREAS X THE UNIT PRICE SUBMITTED AND FIELD VERIFIED. SOD SHALL CARRY A 5-MONTH WARRANTY.
- ALL TREES, PALMS, SHRUBS AND GROUNDCOVERS, AND SOD / LAWN SHALL CARRY A ONE-YEAR WARRANTY FROM THE DATE OF FINAL ACCEPTANCE.
- IRRIGATION SHALL PROVIDE FOR A 100% COVERAGE WITH 50% OVERLAP MINIMUM AND BE PROVIDED BY A FULLY AUTOMATIC IRRIGATION SYSTEM W/ RAIN MOISTURE SENSOR ATTACHED TO CONTROLLER. ALL FLORIDA BUILDING CODE APPENDIX "F" IRRIGATION REQUIREMENTS SHALL BE STRICTLY ADHERED TO FOR INSTALLATION AND PREVAILING WATER MANAGEMENT DISTRICT RESTRICTIONS AND REGULATIONS SHALL BE IN COMPLIANCE FOR POST-INSTALLATION WATERING SCHEDULES.

Property Address 104 E SAN MARINO DRIVE MIAMI BEACH, FLORIDA 33139				Required	Minimum	Provided
ITEM #	Zoning District	Lot Area	Acres	Fields	Required	
<b>A OPEN SPACE</b> (**The below open space requirements are intended only for RS and RPS zoning districts)						
<b>RS Districts</b>						
Square feet of required front yard open space as indicated on site plan:						
1	Total front yard area: 1,061.8 s.f. x 70%			X	743.26 SF	1,061.8 SF
(50% minimum without an Understory or 70% minimum with an Understory)						
Square feet of required rear yard open space as indicated on site plan:						
2	Total rear yard area: 1,200 s.f. x 70% minimum =			X	840 SF	627.2 SF
<b>RPS Districts:</b>						
3	Residential Performance Standard Districts (RPS) open space requirements; the project architect shall provide calculation in accordance with the criteria per section 7.2.15.5. of the Resiliency Code			X	N/A	N/A
<b>B LAWN AREA CALCULATION</b>						
1	Total square feet of landscaped open space required (sum of A.1. and A.2. or per A.3.) =			X	1,583.26 SF	1,689 SF
2	Maximum lawn area (sod) permitted per Chapter 4.2.3. "Table A" = 50 % x 1,583.26 s.f. =			X	791.63 SF	791 SF
3	Total artificial turf area proposed as shown on plans (if applicable) =			X	N/A	N/A
<b>C TREES</b>						
1	*Number of trees required per lot or net lot acre, meeting minimum zoning district requirements (not including street trees) = 7 trees x N/A net lot acres (not applicable to RS districts) - number of existing trees = (100% percent of the required trees shall be low maintenance or drought and salt tolerant species)			X	7	19
2	Street Trees: Number of street trees at a maximum average spacing of 20 feet on center =			X	9	9
3	Total number of trees: Sum of required lot and street trees =			X	16	28
4	% Natives required: Number of trees provided x 50% =			X	8	12
5	Tree Diversity: Based on number of required lot and street trees =			X	5 SPECIES	5 SPECIES
<b>D SHRUBS</b>						
1	Number of shrubs required: Number of lot and street trees required x 12 = (100% of shrubs or small trees shall be low maintenance, drought tolerant, and salt tolerant)			X	192	367
2	% Native shrubs required: Number of shrubs provided x 50% =			X	96	260
3	Shrub Diversity: Based on number of required shrubs = (No one species of shrub shall constitute more than 20% of the shrubs required)			X	5 SPECIES	5 SPECIES
<b>E LARGE SHRUBS/SMALL TREES</b>						
1	Number of large shrubs or small trees required: 10% of number of required shrubs = (100% of large shrubs or small trees shall be low maintenance, drought tolerant, and salt tolerant)			X	19	166
2	% Native large shrubs or small trees required: 50% of provided large shrubs or small trees =			X	10	92
<b>NOTES:</b>						
* The number of required trees listed in "Table A" for category 1 residential zoning districts (RS) are intended for properties up to 6,000 square feet lot area. Provide one additional tree for each additional 1,000 square feet of lot area. If the total lot area is a fraction over the additional 1,000 square feet then, the number of required trees will be rounded up. The net lot acre multiplier does not apply to RS zoning districts.						
* Tree mitigation credits as provided by the Urban Forestry Division shall only apply to those trees counting towards mitigation, and not used to independently satisfy the Chapter 4 Landscape Ordinance minimum lot and street tree requirements.						
** For all other districts, there are applicable minimum setback requirements. For multi-family residential districts (RM), the minimum setback areas must consist of pervious landscape, unless an allowable encroachment / projection is provided (e.g. walkway, driveway, etc.). After considering the allowable encroachments, what remains within the setback must be landscape. This remaining landscape area can have a maximum lawn area of 20% - 30% per "Table A" of Chapter 4.2.3. Place "N/A" if field is not applicable.						
Applicant Signature:				X		

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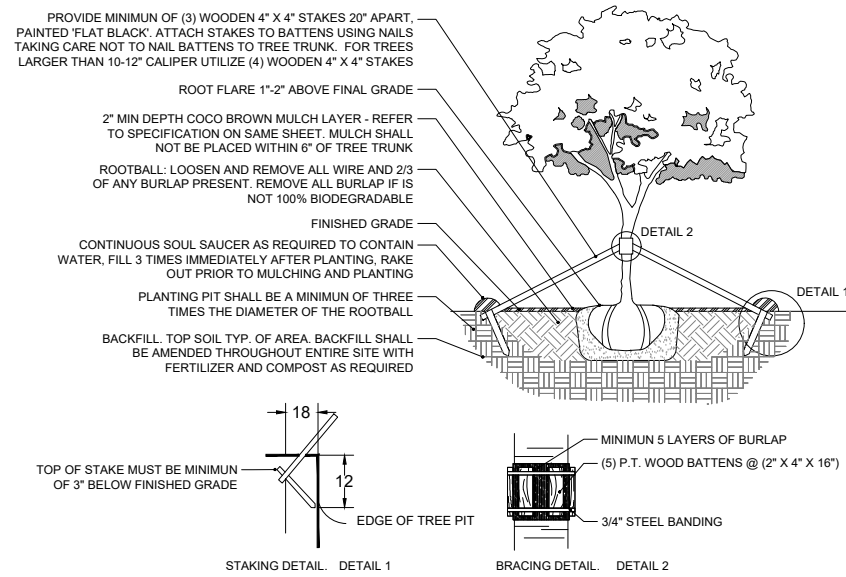
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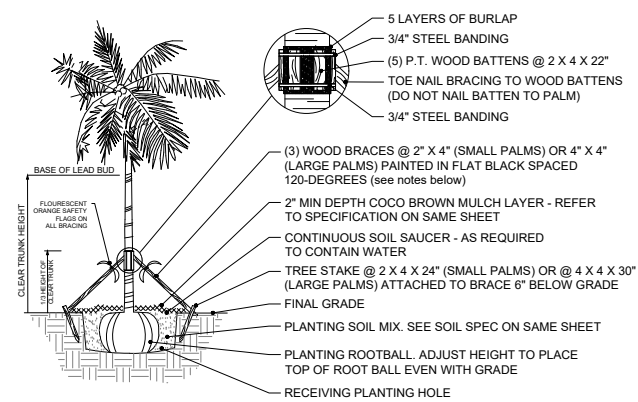
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**1 LARGE TREE PLANTING DETAIL**

3/16" = 1'-0"

CS-PL-01

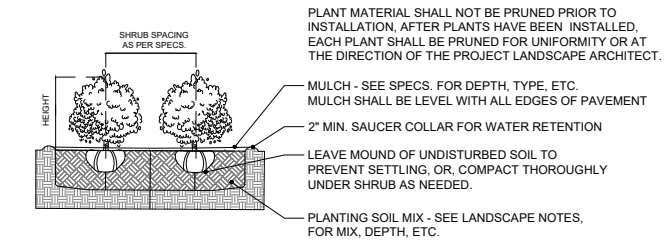


- NOTES:
1. PALMS OVER 30' GW HEIGHT, USE MINIMUM (4) 4X4 BRACING AND STAKES
  2. PRIMARY STAKES SHOULD PLACED PARALLEL TO WALKWAYS WHENEVER POSSIBLE
  3. RECEIVING PLANTING HOLE SHALL BE APPROXIMATELY 1/3 LARGER THAN ROOTBALL
  4. BUD SHALL BE PERPENDICULAR TO THE GROUND PLANE
  5. TRUNK SHALL BE STRAIGHT AND WITHOUT CURVES
  6. NO SCARRED OR BLACKENED TRUNKS
  7. AMENDED SOIL MIX TO BE ADDED AT THE TIME OF PLANTING NEEDED, SHALL CONSIST OF A RATIO MIX OF 80% CLEAN SILICA SAND AND 20% SCREENED PULVERIZED TOPSOIL AS NEEDED

**2 PALM PLANTING DETAIL**

3/16" = 1'-0"

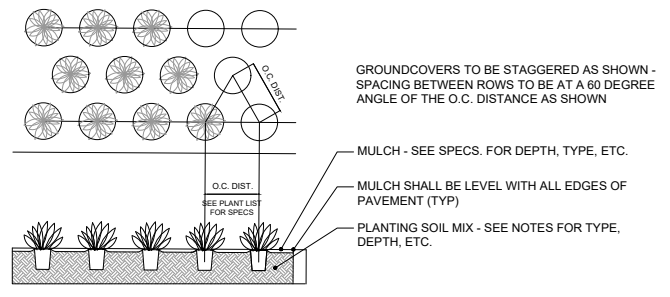
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**3 SHRUB PLANTING DETAIL**

3/8" = 1'-0"

CS-PL-03



**4 GROUNDCOVER PLANTING DETAIL**

3/8" = 1'-0"

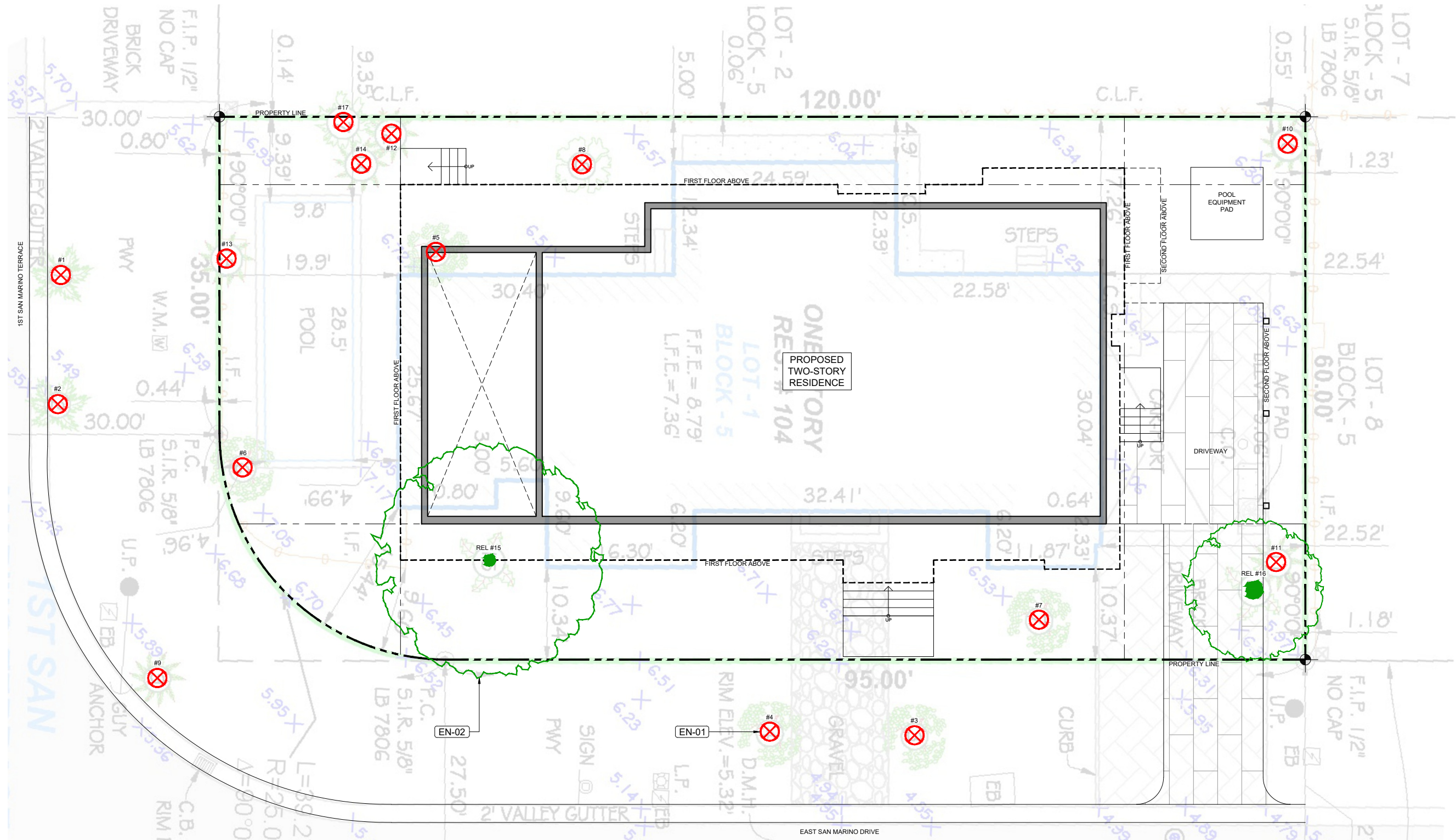
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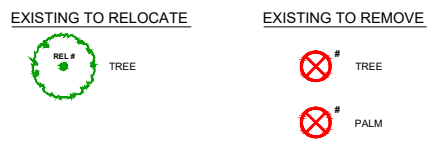
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**C.M.B. CHAPTER 46, DIVISION 2 - TREE INVENTORY + DISPOSITION NOTES**

- THIS 'EXISTING TREE INVENTORY + DISPOSITION PLAN' HAS BEEN PREPARED IN ACCORDANCE WITH THE CITY OF MIAMI BEACH, CHAPTER 46 - ENVIRONMENT, DIVISION 2, TREE PRESERVATION + PROTECTION ORDINANCE.
- EXISTING TREE, PALM, + VEGETATION INFORMATION AS INDICATED HAS BEEN PREPARED AS AN OVERLAY ON THE SURVEY PREPARED BY JOHN IBARRA & ASSOCIATES, INC. DATED 05.17.2025.
- THE INFORMATION AS PRESENTED HEREIN HAS BEEN FIELD VERIFIED BY THE LANDSCAPE ARCHITECT ON 10.06.2025.
- MIAMI BEACH P+Z AND URBAN FORESTRY DEPARTMENT MUST APPROVE LANDSCAPE PLANS PRIOR TO REMOVING ANY TREES OR PALMS WITH A D.B.H. GREATER THAN 2". A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM CITY OF MIAMI BEACH URBAN FORESTRY / PUBLIC WORKS FOR THE REMOVAL OF TREES / PALMS WITH A D.B.H. GREATER THAN 2" OR IN THE R.O.W.
- THE OWNER RESERVES THE RIGHT TO REMOVE ANY VEGETATION NOT LOCATED WITHIN THE CITY R.O.W. WITH A D.B.H. OF LESS THAN 2" WITHOUT OBTAINING A TREE REMOVAL PERMIT.
- THERE ARE NO TREES OR PALMS LOCATED ON THIS PROPERTY THAT WILL REQUIRE TEMPORARY IRRIGATION. ALL EXISTING TREES + PALMS ARE MATURE AND ARE CURRENTLY THRIVING WITHOUT SUPPLEMENTAL IRRIGATION WATER.

**EXISTING LEGEND**



**EXISTING NOTE SCHEDULE**

CODE	DESCRIPTION
EN-01	TREE / PALM TO BE REMOVED (TYP). SEE DISPOSITION CHART ON SHEET L-301 FOR MORE INFORMATION.
EN-02	TREE / PALM TO BE RELOCATED (TYP). FINAL LOCATIONS AND DISPOSITIONS TO BE DETERMINED AT TIME OF PERMITTING. SEE DISPOSITION CHART ON SHEET L-301 FOR MORE INFORMATION.

**EXISTING TREE SURVEY + DISPOSITION PLAN**

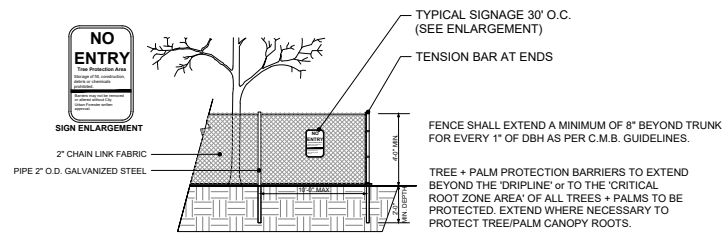


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TREE + PALM PROTECTION FENCES SHALL BE CONSTRUCTED PRIOR TO ANY CONSTRUCTION ACTIVITY INCLUDING GRUBBING FOR ALL TREES OR PALMS THAT ARE TO REMAIN, BE PROTECTED, OR BE RELOCATED ON-SITE. TPF SHALL BE MAINTAINED AND SHALL REMAIN UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM CITY URBAN FORESTER AFTER ALL SITE WORK HAS BEEN COMPLETED.

NO ACTIVITY OR DISTURBANCE SHOULD OCCUR WITHIN THE FENCED AREAS, INCLUDING VEHICLE USE, STORAGE OF MATERIALS, DUMPING OF LIQUIDS OR MATERIALS, GRADE CHANGES, GRUBBING, AND MECHANICAL TRENCHING FOR IRRIGATION, ELECTRICAL, LIGHTING, ETC. WITHOUT URBAN FORESTER APPROVAL.



1 TREE + PALM PROTECTION DETAIL (CHAINLINK FENCE)  
3/16" = 1'-0"

### EXISTING TREE DISPOSITION CHART

NUMBER	COMMON NAME	BOTANICAL NAME	SPECIMEN	DBH (IN)	HEIGHT (FT)	SPREAD (FT)	CONDITION	DISPOSITION	DBH LOSS (IN)	PALM LOSS	COMMENTS
1	COCONUT PALM	<i>Cocos nucifera</i>	NO	12	32	15	FAIR	REMOVE	-	1	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
2	COCONUT PALM	<i>Cocos nucifera</i>	NO	12	32	15	FAIR	REMOVE	-	1	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
3	CREPE MYRTLE	<i>Lagerstroemia indica</i>	NO	12	17	15	FAIR	REMOVE	12	-	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
4	CREPE MYRTLE	<i>Lagerstroemia indica</i>	NO	12	17	15	FAIR	REMOVE	12	-	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
5	FICUS	<i>Ficus sp.</i>	NO	17	12	0	FAIR	REMOVE	17	-	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
6	FRANGIPANI	<i>Plumeria sp.</i>	NO	6	12	12	FAIR	REMOVE	6	-	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
7	JAPANESE PRIVET	<i>Ligustrum japonicum</i>	NO	12	10	15	FAIR	REMOVE	12	-	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
8	OAK	<i>Quercus sp.</i>	NO	14	35	15	FAIR	REMOVE	14	-	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
9	ROYAL PALM	<i>Roystoea regia</i>	YES	20	34	15	FAIR	REMOVE	-	1	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
10	ROYAL PALM	<i>Roystoea regia</i>	NO	17	60	15	FAIR	REMOVE	-	1	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
11	ROYAL PALM	<i>Roystoea regia</i>	NO	13	33	15	FAIR	REMOVE	-	1	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
12	ROYAL PALM	<i>Roystoea regia</i>	NO	14	32	15	FAIR	REMOVE	-	1	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
13	ROYAL PALM	<i>Roystoea regia</i>	NO	14	43	15	FAIR	REMOVE	-	1	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
14	ROYAL PALM	<i>Roystoea regia</i>	NO	14	55	15	FAIR	REMOVE	-	1	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
15	PITCH APPLE	<i>Clusia rosea</i>	NO	16	22	25	FAIR	RELOCATE	-	-	PRESERVE + PROTECT DURING CONSTRUCTION
16	PITCH APPLE	<i>Clusia rosea</i>	YES	24	25	15	FAIR	RELOCATE	-	-	PRESERVE + PROTECT DURING CONSTRUCTION
17	UMBRELLA	<i>Schefflera actinophylla</i>	YES	24	16	10	FAIR	REMOVE	24	-	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
TOTAL TREE DBH LOSS:									97	8	PALMS REMOVED

### TREE MITIGATION SUMMARY

CH 46 TREE PRESERVATION + PROTECTION		
MIAMI BEACH LANDSCAPE ORDINANCE CHAPTER 46 ENVIRONMENT		
TREES		
REMOVED (TOTAL DBH OF TREES)	REPLACEMENT TREES REQ.	REPLACEMENT TREES PROVIDED
97" OF DBH	49 @ 12' HT + 2" DBH + 6' SP OR 24 @ 16' HT + 4" DBH + 8' SP	57 REPLACEMENT TREES PROVIDED @ 12' HT + 2" DBH + 6' SP  BREAKDOWN: (1) CLUSIA ROSEA TREE @ 20' HT + 4" DBH + 10' SP = 4 REPLACEMENT TREES (2) GREEN BUTTWOOD TREES @ 18' HT + 4" DBH + 10' SP = 6 REPLACEMENT TREES (1) SCREW PINE TREE @ 16' HT + 4" DBH + 8' SP = 2 REPLACEMENT TREES (15) BAY RUM TREES @ 18' HT + 4" DBH + 10' SP = 45 REPLACEMENT TREES
PALMS		
REMOVED (TOTAL PALMS)	REPLACEMENT TREES REQ.	
8	8 @ 12' HT + 2" DBH + 6' SP OR 4 @ 16' HT + 4" DBH + 8' SP	
<b>TOTAL REPLACEMENT TREES REQ.</b>		
57 @ 12' HT + 2" DBH + 6' SP OR 28 @ 16' HT + 4" DBH + 8' SP		

### TREE DISPOSITION SUMMARY

	TOTAL	REMAIN	REMOVE	RELOCATE
TREES	9	0	7	2
PALMS	8	0	8	0



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