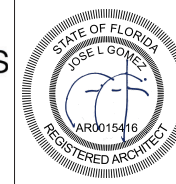




1 6 9 1 M I C H I G A N

RESUBMITTAL
12-30-2025
DRB25-1160

THE LINCOLN BL
1691 MICHIGAN
MIAMI BEACH, FL 33139



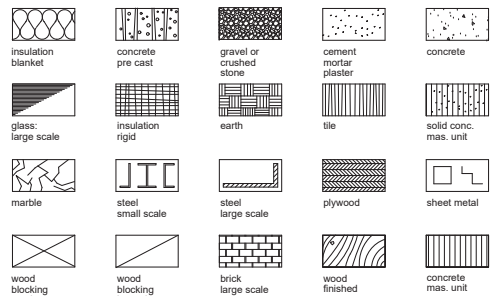
Digitally signed
by Jose L
Gomez
Date:
2025.12.30
17:58:10 -05'00'

DWG. TITLE	COVER
SCALE	VARIABLES
PROJECT NO.	2023-33
DATE	07-07-2025
SHEET NUMBER	A-000
1 12-30-2025	OWNER REVISION
△ DATE	REVISION

ABBREVIATIONS

Table of abbreviations for architectural elements, materials, and systems, organized by letter (A through Z).

MATERIAL LEGEND

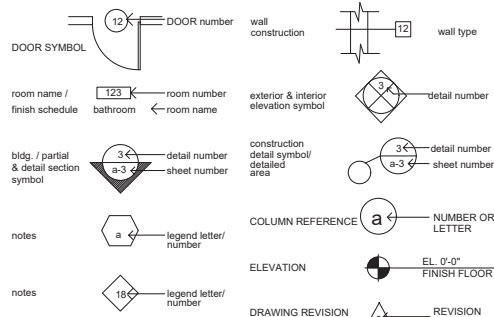


OWNER: CITY OF MIAMI BEACH
DESIGN/PROJECT ARCHITECT: BELINSON GOMEZ ARCHITECTS PA
STRUCTURAL ENGINEER: YOUSSEF HACHEM
MEP ENGINEER: H. VIDAL & ASSOCIATES, INC.

GENERAL NOTES

- 1. ALL DIMENSIONS AND CONDITIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
2. ALL WORK TO BE DONE IN COMPLIANCE WITH THE REQUIREMENTS OF AND ACCEPTABLE TO THE CITY OF MIAMI BEACH BUILDING DEPARTMENT.

SYMBOL LEGEND



APPLICABLE CODES

GOVERNING ZONING CODE: MIAMI BEACH RESILIENCY CODE
BUILDING CODE: FLORIDA BUILDING CODE 2023.8TH EDITION
EXISTING BUILDING: FLORIDA BUILDING CODE: EXISTING BUILDING CODE 2023

PROJECT INFORMATION SCOPE OF WORK

- PROPOSED FACADE IMPROVEMENT.
PROPOSED OFFICE BUILDING PLANTER.
PROPOSED EXTERIOR LIGHTING.
PROPOSED EXTERIOR FINISHES.

LEGAL DESCRIPTION

LOTS 7 THROUGH 10, INCLUSIVE, AND LOTS 14 THROUGH 20, INCLUSIVE, IN BLOCK 37, PALM VIEW SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 29, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

OCCUPANCY CLASSIFICATION

BUSINESS - GROUP-B
ALTERATION LEVEL 2 - (AS PER FBC 2023 8TH ED CHAPTER 5)

FIRE ALARM SYSTEM AND SPRINKLE SYSTEM

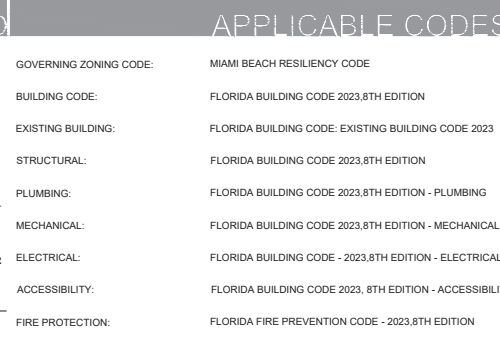
THIS BUILDING IS PROTECTED BY A VOICE FIRE ALARM SYSTEM AND A FIRE SPRINKLE SYSTEM

ZONING DATA SHEET

Table with columns for Item #, Project Information, Required, Existing, Proposed, and Deficiencies.

- DEFERRED SUBMITTALS:
1. AWNINGS
2. CUSTOM METAL PERFORATED SCREEN
3. LIGHTING
4. DECORATIVE CLADDING ON EXISTING MECHANICAL SCREEN
5. LIMESTONE VENEER (CLADDING)
6. FIBERGLASS PLANTER

SYMBOL LEGEND



PROJECT INFORMATION SCOPE OF WORK

- PROPOSED FACADE IMPROVEMENT.
PROPOSED OFFICE BUILDING PLANTER.
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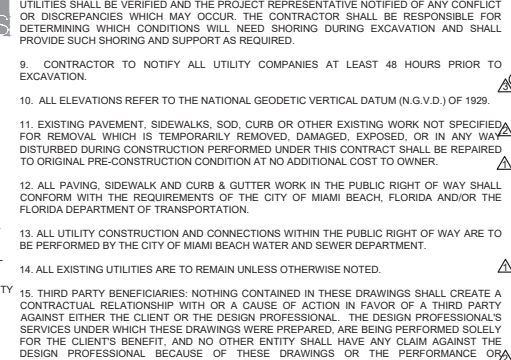
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5. LIMESTONE VENEER (CLADDING)
6. FIBERGLASS PLANTER

LOCATION MAP



SYMBOL LEGEND



PROJECT INFORMATION SCOPE OF WORK

- PROPOSED FACADE IMPROVEMENT.
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4. DECORATIVE CLADDING ON EXISTING MECHANICAL SCREEN
5. LIMESTONE VENEER (CLADDING)
6. FIBERGLASS PLANTER

LOCATION MAP



ARCHITECTURAL

Table of drawing titles and sheet numbers for architectural drawings, including COVER, GENERAL NOTES & INDEX, and various floor plans.

STRUCTURAL

Table of drawing titles and sheet numbers for structural drawings, including GENERAL NOTES and EXISTING & PROPOSED ELEVATIONS.

LANDSCAPING

Table of drawing titles and sheet numbers for landscaping drawings, including EXISTING TREE DISPOSITION PLAN and PLANTING PLAN.

ELECTRICAL

Table of drawing titles and sheet numbers for electrical drawings, including ELECTRICAL SYMBOL LEGEND AND NOTES.

MECHANICAL

Table of drawing titles and sheet numbers for mechanical drawings, including MECHANICAL NOTES and PROPOSED SECOND FLOOR PLAN.

MECHANICAL

Table of drawing titles and sheet numbers for mechanical drawings, including PLUMBING NOTES, SCHEDULES AND DETAILS.

MECHANICAL

Table of drawing titles and sheet numbers for mechanical drawings, including PLUMBING ISOMETRIC and PLUMBING DETAILS.

MECHANICAL

Table of drawing titles and sheet numbers for mechanical drawings, including PLUMBING ISOMETRIC and PLUMBING DETAILS.

MECHANICAL

Table of drawing titles and sheet numbers for mechanical drawings, including PLUMBING ISOMETRIC and PLUMBING DETAILS.

Table with columns for DWG. TITLE, SCALE, PROJECT NO., DATE, SHEET NUMBER, and REVISION.

THE LINCOLN BL
1691 MICHIGAN
MIAMI BEACH, FL 33139



Table with columns for DWG. TITLE, SCALE, PROJECT NO., DATE, SHEET NUMBER, and REVISION.

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CFN: 20240750124 BOOK 34433 PAGE 2311
 DATE 10/04/2024 08:30:27 AM
 JUAN FERNANDEZ-BARQUIN
 CLERK OF THE COURT & COMPTROLLER
 MIAMI-DADE COUNTY, FL

DESIGN REVIEW BOARD
 City of Miami Beach, Florida

MEETING DATE: September 3, 2024

PROPERTY/FOLIO: 1991 Michigan Avenue 02-3234-004-0690
 02-3234-004-0695

FILE NO: DRB24-1009

IN RE: An application has been filed requesting Design Review Approval for exterior design modifications to an existing commercial building.

LEGAL: Lots 7 through 10, inclusive, and lots 14-20, inclusive, in Block 37, PALM VIEW SUBDIVISION, according to the plat thereof, as recorded in Plat Book 6, Page 29, of the Public Records of Miami-Dade County, Florida.

APPLICANTS: RK RIVANI LLC

ORDER

The City of Miami Beach Design Review Board makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the record for this matter:

I. Design Review

A. The Board has jurisdiction pursuant to Section 2.1.3.1 of the Land Development Regulations. The property is not located within a designated local historic district and is not an individually designated historic site.

B. Based on the plans and documents submitted with the application, testimony and information provided by the applicant, and the reasons set forth in the Planning Department Staff Report, the project as submitted is inconsistent with Design Review Criteria i and s in Section 2.5.3.1 of the Land Development Regulations.

C. Based on the plans and documents submitted with the application, testimony and information provided by the applicant, and the reasons set forth in the Planning Department Staff Report, the project as submitted is inconsistent with Sea Level Rise Criteria 1 in Section 7.1.2.4(a)(i) of the Land Development Regulations.

D. The project would be consistent with the criteria and requirements 2.5.3.1 and/ or Section 7.1.2.4(a)(i) if the following conditions are met:

1. Revised elevation, site plan, and floor plan drawings for modifications to the existing commercial building at 1691 Michigan Avenue shall be submitted, at a minimum, such drawings shall incorporate the following:

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 September 3, 2024

a. The final design and details of all exterior and interior lighting shall be provided, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board. Interior lighting shall be designed in a manner to not have an adverse overwhelming impact upon the surrounding area. No fluorescent or intensive 'white' lighting (or similar intensive lighting) visible from the adjacent public rights of way or adjacent properties shall be permitted.

b. The final design and details of the light sconces proposed on all facades, including samples, shall be submitted, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.

c. The final color, material and design details of the architectural awnings proposed below the corner facing windows, including samples, shall be submitted, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.

d. The final color, material and design details of the limestone veneer cladding proposed on the elevations, including samples, shall be submitted, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.

e. The final color, material and design details of the proposed metal perforated garage screening, including samples, shall be submitted, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.

f. The final details of all exterior surface finishes and materials, including samples, shall be submitted, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.

g. The final details of all proposed storefront systems and associated details shall be provided for all of the structures on the project site, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.

h. Any future tenant requiring kitchen ventilation shall chase ventilation through the interior of the building to the roof. No exhaust ducts or vents shall be permitted on any building elevations.

i. All roof-top fixtures, air-conditioning units and mechanical devices shall be clearly noted on a revised roof plan and shall screened from view on all sides, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.

ff. j. Pavers and concrete banding shall be utilized for the vehicular entry drive, including alternate colors of concrete banding in place of painted striping.

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k. The final design details, dimensions material and color of all exterior handrails shall be made part of the building permit plans and shall be subject to the review and approval of staff.

l. Prior to the issuance of a Certificate of Occupancy, the project Architect shall verify, in writing, that the subject project has been constructed in accordance with the plans approved by the Planning Department for Building Permit.

m. URBAN HEAT ISLAND ORDINANCE Section 7.5.3.2(g)(iv) Driveways and parking areas that are open to the sky within any required yard shall be composed of porous pavement or shall have a high albedo surface consisting of a durable material or sealant, as defined in Section 1.2.1 of this Code, and (v) Driveways and parking areas composed of asphalt that does not have a high albedo surface, as defined in Section 1.2.1, shall be prohibited.

n. Prior to the issuance of a Certificate of Occupancy, the project Architect shall verify, in writing, that the subject project has been constructed in accordance with the plans approved by the Planning Department for Building Permit.

2. A revised landscape plan shall be prepared by and bear the seal of a Landscape Architect licensed to practice in the State of Florida. The corresponding landscape plans shall be submitted to and approved by staff. At a minimum, landscape plans shall comply with Chapter 46 Tree Preservation and Protection Ordinance of the City Code and Chapter 4, Landscape Requirements of the Land Development Regulations and shall incorporate the following:

a. Any existing canopy shade tree(s) on site with a caliper size of 4" of greater being impacted by the construction shall be carefully root pruned, protected and/or relocated. This shall not apply to prohibited tree species. A Tree Disposition Plan shall be provided for Planning staff review and approval prior to the issuance of a Building Permit.

b. Prior to the issuance of a building permit, the applicant shall submit a tree survey and tree disposition plan that includes the approved tree protection fencing detail for existing mature trees and palms to remain. Such plans shall be subject to the review and approval of staff. A tree work permit shall be obtained prior to the removal of any existing trees and palms.

c. In new construction projects, street trees are required within the public right of way. Street trees are in addition to the required lot trees according to the Chapter 2 Landscape Ordinance. All proposed street tree plantings shall be reviewed and approved by the Public Works Department and a right of way permit shall be obtained prior to any plantings in the right of way.

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d. Suspended paver systems such as Silva Cells or equal shall be installed where street trees are planted in right of way sidewalk and other hardscape areas in a manner to be reviewed and approved by staff. Suspended paver systems shall be clearly delineated in the landscape plans. Structural soils may be considered where proposed trees are located immediately adjacent to large open space areas.

e. Root guards or barriers shall be installed to protect utilities and structures within close proximity of proposed tree plantings. The root guards shall be clearly delineated in the landscape plans and shall be reviewed and approved by staff.

f. Irrigation systems shall be designed and installed corresponding to the water requirements of the proposed plantings and as required in the Chapter 2 Landscape Ordinance. The irrigation system shall be extended into the public right of way. A rain shut off device is required to be installed as part of the irrigation system.

a. The applicant shall verify, prior to the issuance of a Building Permit, the exact location of all backflow preventors and all other related devices and fixtures. The location of backflow preventors, Siamese pipes or other related devices and fixtures, if any, and how they are screened with landscape material from the right-of-way shall be clearly indicated on the site and landscape plans, and shall be subject to the review and approval of staff.

b. The applicant shall verify, prior to the issuance of a Building Permit, the exact location of all applicable FPL transformers or vault rooms. The location of any exterior transformers and how they are screened with landscape material from the right of wall shall be clearly indicated on the site and landscape plans and shall be subject to the review and approval of staff.

g. Prior to the issuance of a Certificate of Occupancy, the Project Landscape Architect shall verify in writing that the project is consistent with the site and landscape plans approved by the Planning Department for Building Permit.

In accordance with section 2.2.4.8 of the Land Development Regulations, the applicant, the City Manager, Miami Design Preservation League, Dade Heritage Trust, or an affected person may appeal a decision of the design review board for design review approval only to the city commission, except that orders granting or denying a request for rehearing shall not be reviewed by the commission.

II. Variance(s)

A. No variance(s) were filed as part of this application.

The decision of the Board regarding variances shall be final and there shall be no further review thereof except by resort to a court of competent jurisdiction by petition for writ of certiorari.

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III. General Terms and Conditions applying to both 'I. Design Review Approval' and 'II. Variances' noted above.

A. Upon the issuance of a final Certificate of Occupancy or Certificate of Completion, as applicable, the project approved herein shall be maintained in accordance with the plans approved by the board and shall be subject to all conditions of approval herein, unless otherwise modified by the Board. Failure to maintain shall result in the issuance of a Code Compliance citation, and continued failure to comply may result in revocation of the Certificate of Occupancy, Completion and Business Tax Receipt.

B. All allowable construction signage shall be in accordance with Section 6.3.2 of the Land Development Regulations.

C. The building and parking departments shall approve a construction parking plan prior to the issuance of any building permit, including applicable demolition permits for the project.

D. The applicant shall ensure that the contractor(s) observe good construction practices and prevent construction materials and debris from impacting the right-of-way.

E. The contractor(s) shall ensure that the street and the alley directly abutting the construction site remains free of debris and refuse at all times; at a minimum, the contractor(s) shall inspect and clear the street and alley areas before leaving at the end of each day.

F. This order shall be enforced by the Building, Planning, Parking and Code Compliance Departments.

G. A recycling/salvage plan shall be provided as part of the submittal for a demolition/building permit, in a manner to be reviewed and approved by staff.

H. A copy of all pages of the recorded Final Order shall be scanned into the plans submitted for building permit and shall be located immediately after the front cover page of the permit plans.

I. The Final Order shall be recorded in the Public Records of Miami-Dade County, prior to the issuance of a Building Permit.

J. Satisfaction of all conditions is required for the Planning Department to give its approval on a Certificate of Occupancy; a Temporary Certificate of Occupancy or Partial Certificate of Occupancy may also be conditionally granted Planning Departmental approval.

K. The Final Order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be returned to the Board for reconsideration as to whether the order meets the criteria for approval absent the stricken provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions.

L. The conditions of approval herein are binding on the applicant, the property's owners, operators, and all successors in interest and assigns.

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M. Nothing in this order authorizes a violation of the City Code or other applicable law, nor allows a relaxation of any requirement or standard set forth in the City Code.

IT IS HEREBY ORDERED, based upon the foregoing findings of fact, the evidence, information testimony and materials presented at the public hearing, which are part of the record for this matter, and the staff report and analysis, which are adopted herein, including the staff recommendations, which were amended and adopted by the Board, that the application is GRANTED for the above-referenced project subject to those certain conditions specified in Paragraph I, II, III of the Finding of Fact, to which the applicant has agreed.

PROVIDED, the applicant shall build substantially in accordance with the revised plans, entitled "1691 Michigan", as designed by BGA Architects, signed, sealed, and dated August 9, 2024, and as approved by the Design Review Board, as determined by staff.

When requesting a building permit, the plans submitted to the Building Department for permit shall be consistent with the plans approved by the Board, modified in accordance with the conditions of approval that must be satisfied prior to permit issuance, as set forth in this Order, have been met.

The issuance of the approval does not relieve the applicant from obtaining all other required Municipal, County and/or State reviews and permits, including final zoning approval. If adequate handicapped access is not provided on the Board approved plans, this approval does not mean that such handicapped access is not required. When requesting Building permit, the plans submitted to the Building Department for permit shall be consistent with the plans approved by the Board, modified in accordance with the conditions set forth in this Order.

If the Full Building Permit for the project is not issued within eighteen (18) months of the meeting date at which the original approval was granted, the application will expire and become null and void, unless the applicant makes an application to the Board for an extension of time, in accordance with the requirements and procedures of Section 2.2.4.6 of the Land Development Regulations; the granting of any such extension of time shall be at the discretion of the Board. If the Full Building Permit for the project shall expire for any reason (including but not limited to construction not commencing and continuing, with required inspections, in accordance with the applicable Building Code), the application will expire and become null and void.

In accordance with Chapter 2 of the Land Development Regulations, the violation of any conditions and safeguards that are a part of this Order shall be deemed a violation of the land development regulations of the City Code. Failure to comply with this Order shall subject the application to Chapter 2 of the Land Development Regulations for revocation or modification of the application.

Dated 9/27/2024 | 12:22 PM EDT

DESIGN REVIEW BOARD
 THE CITY OF MIAMI BEACH, FLORIDA


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 September 3, 2024

Designated by Rogelio A. Madan, AICP
 Rogelio A. Madan, AICP
 Development & Resiliency Officer
 For the Chair

STATE OF FLORIDA)
)
 COUNTY OF MIAMI-DADE)

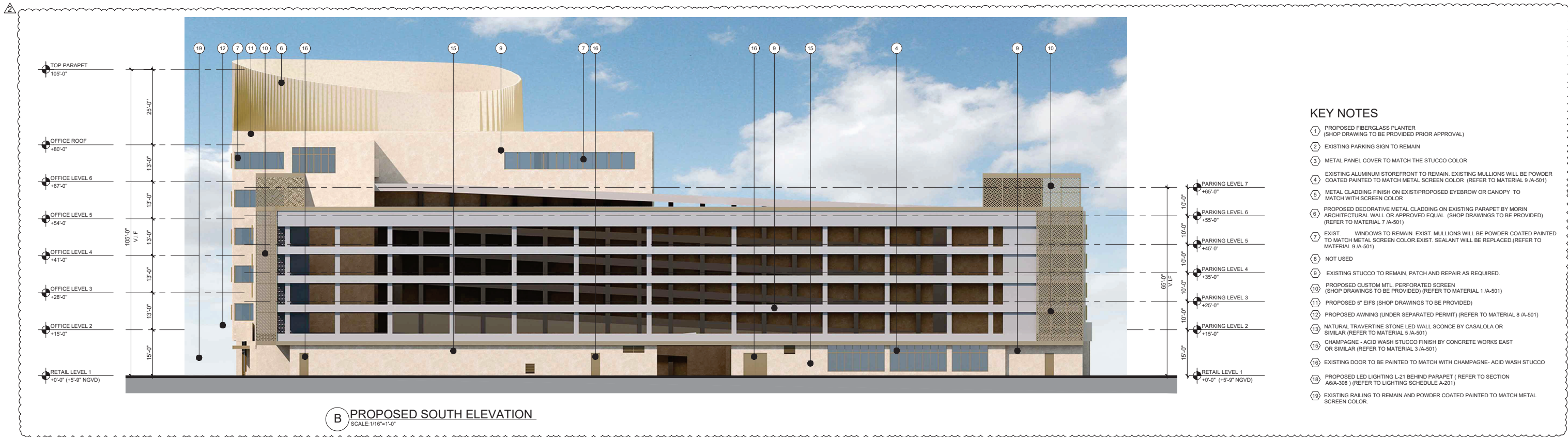
The foregoing instrument was acknowledged before me this 2 day of October, 2024, by Rogelio A. Madan, AICP, Development & Resiliency Officer of the City of Miami Beach, Florida, a Florida Municipal Corporation, on behalf of the Corporation. He is personally known to me.


 Notary Public, State of Florida
 My Commission Expires: 12-16-27
 Commission Number: HH 470768

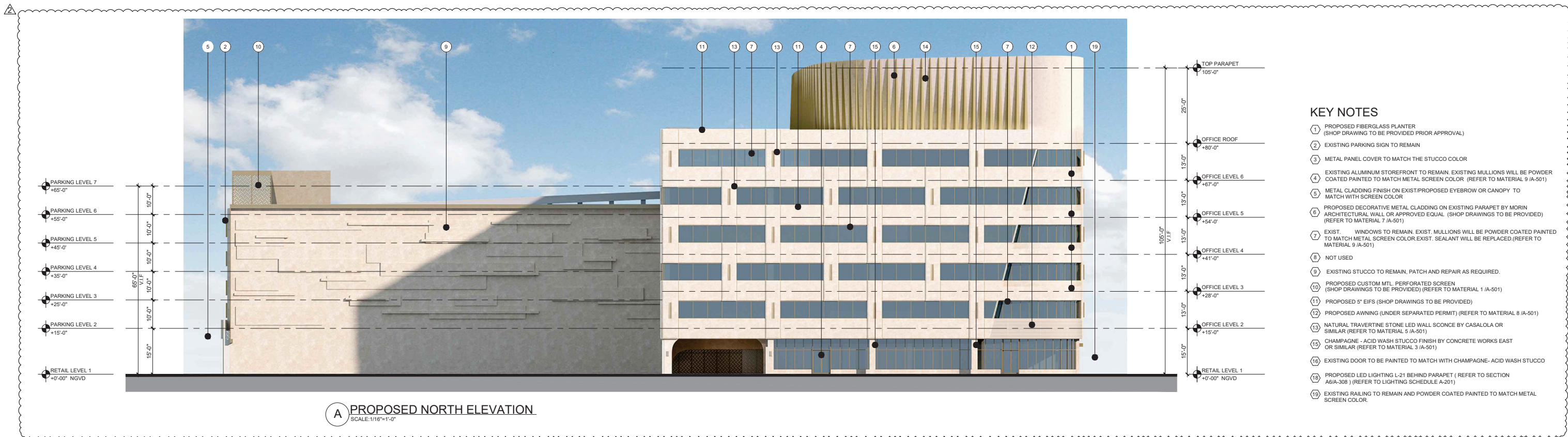
(NOTARIAL SEAL)

Signed by: Steven Kollstein (9/27/2024 | 7:59 PM EDT)
 City Attorney's Office:

Witnessed by: Jessica Gaudin (9/27/2024 | 3:02 PM EDT)
 Filed with the Clerk of the Design Review Board on



- ### KEY NOTES
- 1 PROPOSED FIBERGLASS PLANTER (SHOP DRAWING TO BE PROVIDED PRIOR APPROVAL)
 - 2 EXISTING PARKING SIGN TO REMAIN
 - 3 METAL PANEL COVER TO MATCH THE STUCCO COLOR
 - 4 EXISTING ALUMINUM STOREFRONT TO REMAIN. EXISTING MULLIONS WILL BE POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR (REFER TO MATERIAL 9 (A-501))
 - 5 METAL CLADDING FINISH ON EXIST/PROPOSED EYEBROW OR CANOPY TO MATCH WITH SCREEN COLOR
 - 6 PROPOSED DECORATIVE METAL CLADDING ON EXISTING PARAPET BY MORIN ARCHITECTURAL WALL OR APPROVED EQUAL (SHOP DRAWINGS TO BE PROVIDED) (REFER TO MATERIAL 7 (A-501))
 - 7 EXIST. WINDOWS TO REMAIN. EXIST. MULLIONS WILL BE POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR EXIST. SEALANT WILL BE REPLACED (REFER TO MATERIAL 9 (A-501))
 - 8 NOT USED
 - 9 EXISTING STUCCO TO REMAIN. PATCH AND REPAIR AS REQUIRED.
 - 10 PROPOSED CUSTOM MTL. PERFORATED SCREEN (SHOP DRAWINGS TO BE PROVIDED) (REFER TO MATERIAL 1 (A-501))
 - 11 PROPOSED 5" EIFS (SHOP DRAWINGS TO BE PROVIDED)
 - 12 PROPOSED AWNING (UNDER SEPARATED PERMIT) (REFER TO MATERIAL 8 (A-501))
 - 13 NATURAL TRAVERTINE STONE LED WALL SCONCE BY CASALOLA OR SIMILAR (REFER TO MATERIAL 5 (A-501))
 - 14 CHAMPAGNE - ACID WASH STUCCO FINISH BY CONCRETE WORKS EAST OR SIMILAR (REFER TO MATERIAL 3 (A-501))
 - 15 EXISTING DOOR TO BE PAINTED TO MATCH WITH CHAMPAGNE - ACID WASH STUCCO
 - 16 PROPOSED LED LIGHTING L-21 BEHIND PARAPET (REFER TO SECTION A6(A-308)) (REFER TO LIGHTING SCHEDULE A-201)
 - 17 EXISTING RAILING TO REMAIN AND POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR.

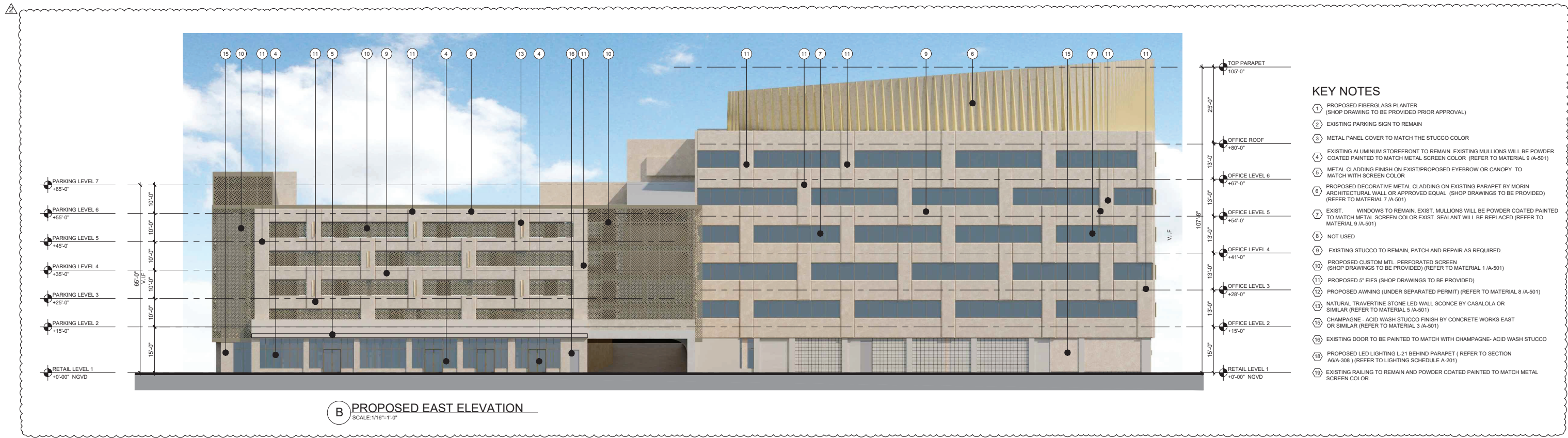


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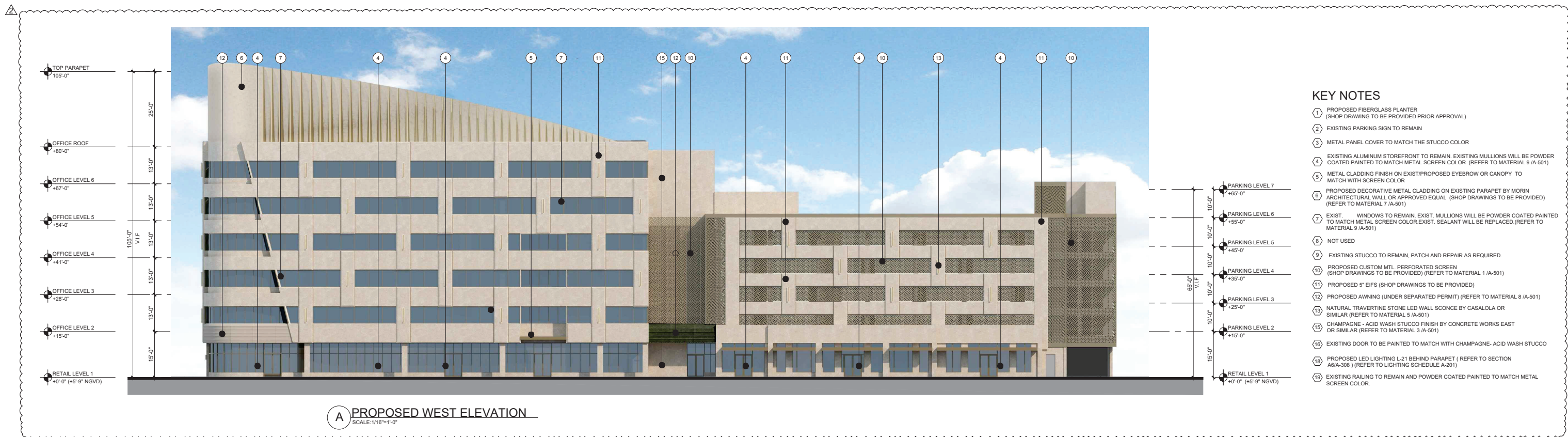
DWG. TITLE	RENDERING ELEVATION
SCALE	1/16" = 1'-0"
PROJECT NO.	2023-33
DATE	07-07-2025
2 12-30-2025	OWNER REVISION
1 03-26-2023	CITY COMMENTS
DATE	REVISION
SHEET NUMBER DRB-201	



B PROPOSED EAST ELEVATION
SCALE: 1/16" = 1'-0"

KEY NOTES

- 1 PROPOSED FIBERGLASS PLANTER (SHOP DRAWING TO BE PROVIDED PRIOR APPROVAL)
- 2 EXISTING PARKING SIGN TO REMAIN
- 3 METAL PANEL COVER TO MATCH THE STUCCO COLOR
- 4 EXISTING ALUMINUM STOREFRONT TO REMAIN. EXISTING MULLIONS WILL BE POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR (REFER TO MATERIAL 9 (A-501))
- 5 METAL CLADDING FINISH ON EXISTING PROPOSED EYEBROW OR CANOPY TO MATCH WITH SCREEN COLOR
- 6 PROPOSED DECORATIVE METAL CLADDING ON EXISTING PARAPET BY MORIN ARCHITECTURAL WALL OR APPROVED EQUAL (SHOP DRAWINGS TO BE PROVIDED) (REFER TO MATERIAL 7 (A-501))
- 7 EXISTING WINDOWS TO REMAIN. EXIST. MULLIONS WILL BE POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR. EXIST. SEALANT WILL BE REPLACED. (REFER TO MATERIAL 9 (A-501))
- 8 NOT USED
- 9 EXISTING STUCCO TO REMAIN, PATCH AND REPAIR AS REQUIRED.
- 10 PROPOSED CUSTOM MTL. PERFORATED SCREEN (SHOP DRAWINGS TO BE PROVIDED) (REFER TO MATERIAL 1 (A-501))
- 11 PROPOSED 5" EIFS (SHOP DRAWINGS TO BE PROVIDED)
- 12 PROPOSED AWNING (UNDER SEPARATED PERMIT) (REFER TO MATERIAL 8 (A-501))
- 13 NATURAL TRAVERTINE STONE LED WALL SCONCE BY CASALOLA OR SIMILAR (REFER TO MATERIAL 5 (A-501))
- 15 CHAMPAGNE - ACID WASH STUCCO FINISH BY CONCRETE WORKS EAST OR SIMILAR (REFER TO MATERIAL 3 (A-501))
- 16 EXISTING DOOR TO BE PAINTED TO MATCH WITH CHAMPAGNE- ACID WASH STUCCO
- 18 PROPOSED LED LIGHTING L-21 BEHIND PARAPET (REFER TO SECTION A6/A-308) (REFER TO LIGHTING SCHEDULE A-201)
- 19 EXISTING RAILING TO REMAIN AND POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR.



A PROPOSED WEST ELEVATION
SCALE: 1/16" = 1'-0"

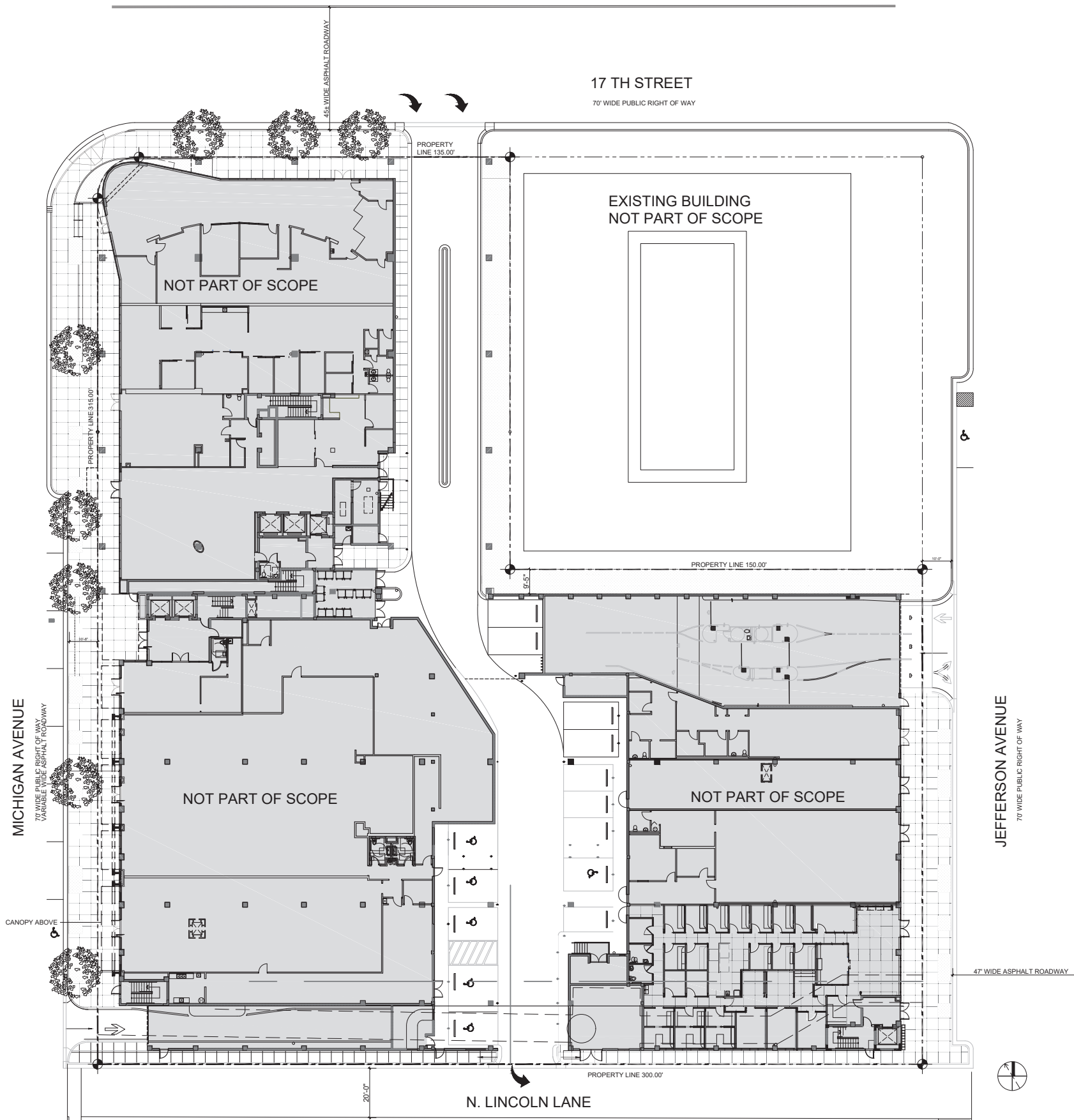
KEY NOTES

- 1 PROPOSED FIBERGLASS PLANTER (SHOP DRAWING TO BE PROVIDED PRIOR APPROVAL)
- 2 EXISTING PARKING SIGN TO REMAIN
- 3 METAL PANEL COVER TO MATCH THE STUCCO COLOR
- 4 EXISTING ALUMINUM STOREFRONT TO REMAIN. EXISTING MULLIONS WILL BE POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR (REFER TO MATERIAL 9 (A-501))
- 5 METAL CLADDING FINISH ON EXISTING PROPOSED EYEBROW OR CANOPY TO MATCH WITH SCREEN COLOR
- 6 PROPOSED DECORATIVE METAL CLADDING ON EXISTING PARAPET BY MORIN ARCHITECTURAL WALL OR APPROVED EQUAL (SHOP DRAWINGS TO BE PROVIDED) (REFER TO MATERIAL 7 (A-501))
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- 8 NOT USED
- 9 EXISTING STUCCO TO REMAIN, PATCH AND REPAIR AS REQUIRED.
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- 19 EXISTING RAILING TO REMAIN AND POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR.

THE LINCOLN BL
1691 MICHIGAN
MIAMI BEACH, FL 33139



DWG. TITLE		RENDERING ELEVATION
SCALE		1/16" = 1'-0"
PROJECT NO.		2023-33
DATE		07-07-2025
2	12-30-2025	OWNER REVISION
1	03-26-2025	CITY COMMENTS
DATE		07-07-2025
REVISION		SHEET NUMBER
		DRB-202



LEGEND

NOT PART OF SCOPE OF WORK

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BID.

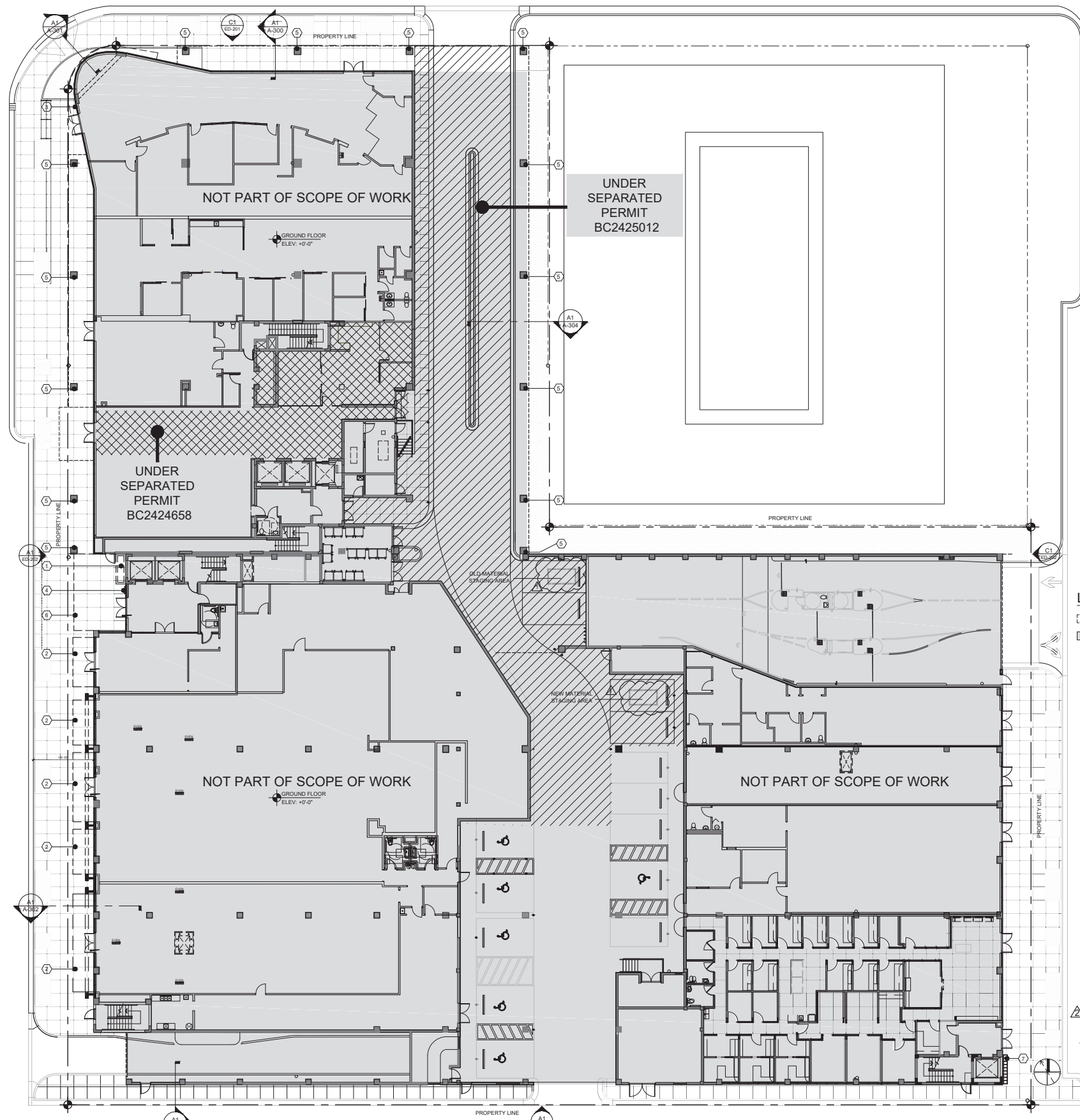


THE LINCOLN BL

1691 MICHIGAN
MIAMI BEACH, FL 33139



DWG. TITLE	EXISTING SITE PLAN
SCALE	N.T.S.
PROJECT NO.	2023-33
DATE	07-07-2025
SHEET NUMBER	EXIST-101
DATE	REVISION



LEGEND

- FACADE ELEMENTS TO BE DEMOLISHED
- NOT PART OF SCOPE OF WORK
- ① EXISTING PLANTER TO BE DEMOLISHED (REFER TO WALL SECTION AND EXISTING ELEVATION)
- ② EXISTING CANOPY TO REMAIN
- ③ EXISTING EYEBROW TO BE DEMOLISHED (REFER TO WALL SECTION AND EXISTING-DEMO ELEVATION FOR EYEBROWS DEMOLITION)
- ④ EXISTING ELECTRICAL PANEL TO REMAIN
- ⑤ EXISTING COLUMN TO REMAIN. EXISTING COLUMN LIGHTING WILL BE REMOVED PATCH AND REPAIR AS REQUIRED.
- ⑥ EXISTING CANOPY TO BE REMOVED
- ⑦ EXISTING BIKE RACK TO REMAIN

SALVAGE AND RECYCLING OF MATERIALS DURING DEMOLITION

1. THE CONTRACTOR SHALL CAREFULLY CONDUCT ALL DEMOLITION ACTIVITIES TO MAXIMIZE THE SALVAGE AND RECYCLING OF CONSTRUCTION AND DEMOLITION MATERIALS, IN COMPLIANCE WITH THE FLORIDA BUILDING CODE (FBC), CITY OF MIAMI BEACH CODE OF ORDINANCES, AND THE CITY'S SUSTAINABILITY PLAN.
2. ALL MATERIALS SUITABLE FOR RECYCLING OR REUSE, INCLUDING, BUT NOT LIMITED TO, NON-FERROUS METALS, CONCRETE, MASONRY, STRUCTURAL STEEL, WOOD, WINDOWS, DOORS, AND FIXTURES, SHALL BE IDENTIFIED AND SALVAGED WHENEVER POSSIBLE. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL RECYCLABLE MATERIALS ARE HANDLED IN AN ENVIRONMENTALLY RESPONSIBLE MANNER AND STORED IN DESIGNATED AREAS ON-SITE, PROTECTED FROM DAMAGE.
3. THE CONTRACTOR SHALL COMPLY WITH THE CITY OF MIAMI BEACH'S CONSTRUCTION AND DEMOLITION DEBRIS (CDD) RECYCLING PROGRAM, WHICH MANDATES A MINIMUM DIVERSION RATE OF 50% OF ALL DEBRIS FROM LANDFILLS. DOCUMENTATION OF MATERIAL QUANTITIES, RECYCLING RECEIPTS, AND FINAL DISPOSAL MANIFESTS SHALL BE SUBMITTED TO THE CITY'S SUSTAINABILITY AND RESILIENCY DEPARTMENT UPON PROJECT COMPLETION.
4. DISPOSAL OF NON-RECYCLABLE OR HAZARDOUS MATERIALS MUST COMPLY WITH LOCAL WASTE MANAGEMENT ORDINANCES AND THE REQUIREMENTS OUTLINED IN THE FBC AND OTHER APPLICABLE LOCAL CODES. THE CONTRACTOR SHALL SUBMIT A WASTE MANAGEMENT PLAN TO THE CITY FOR APPROVAL PRIOR TO THE START OF DEMOLITION, DETAILING THE PROPOSED RECYCLING AND DISPOSAL STRATEGIES.

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BID.
2. REFER TO DEMOLITION GENERAL NOTES.

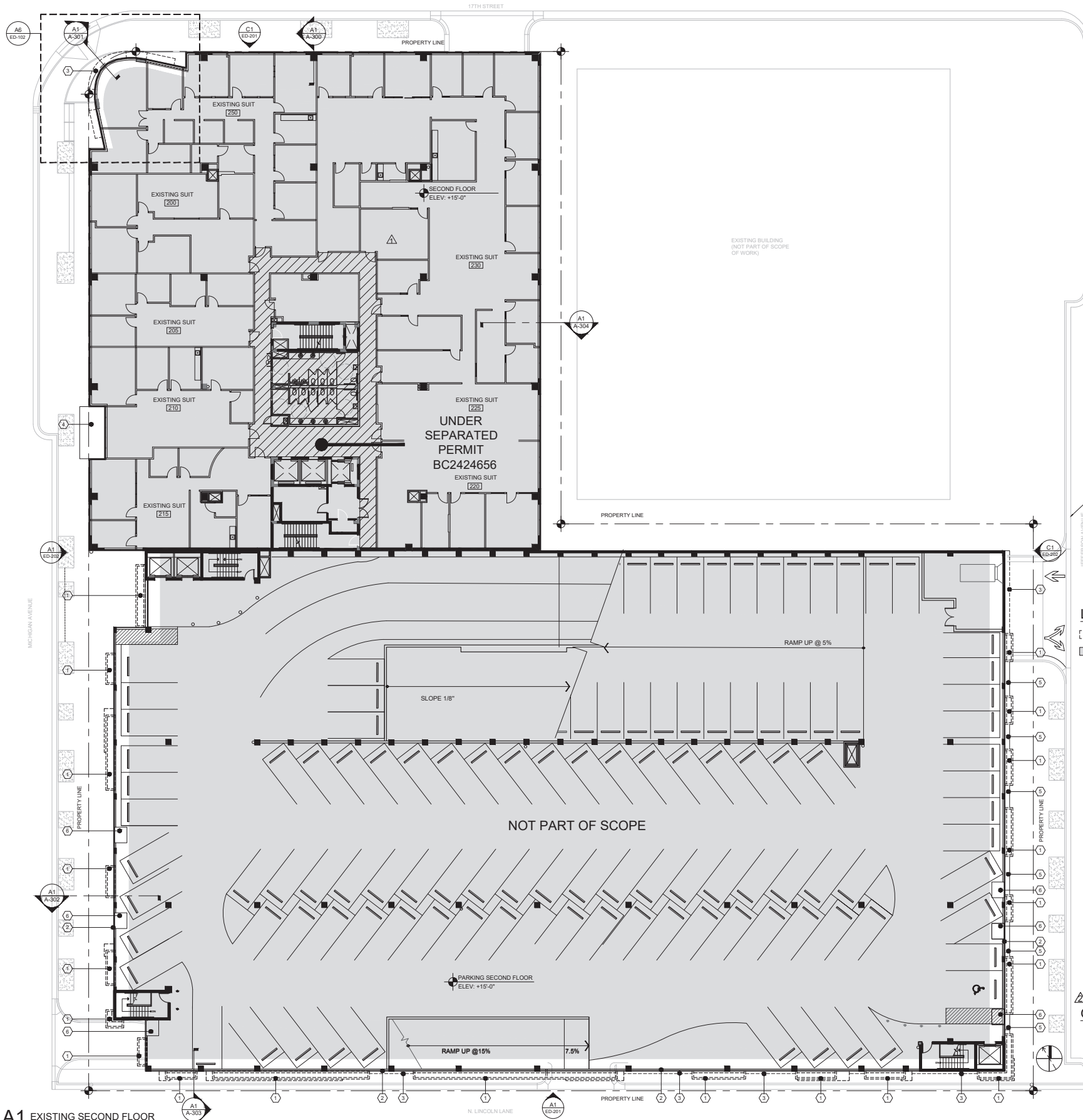
A1 EXISTING GROUND FLOOR

SCALE: N.T.S

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MIAMI BEACH, FL 33139



DWG. TITLE		EXIST-DEMO GROUND FLOOR PLAN
SCALE		AS SHOWN
PROJECT NO.		2023-33
DATE		07-07-2025
2	03-26-2025	CITY COMMENTS
1	11-27-2024	CITY COMMENTS
DATE		REVISION
SHEET NUMBER		ED-101



LEGEND

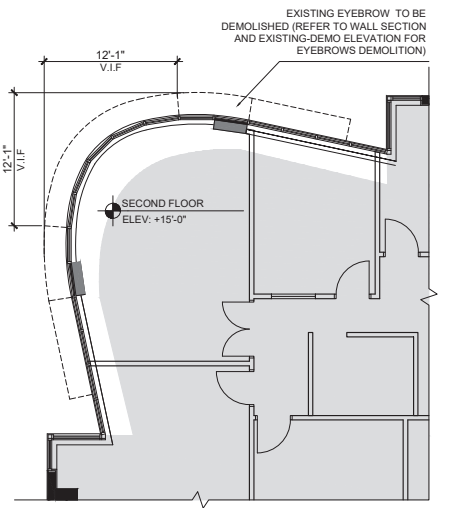
- FACADE ELEMENTS TO BE DEMOLISHED
- NOT PART OF SCOPE OF WORK
- ① EXISTING CONCRETE PLANTER TO BE DEMOLISHED (REFER TO WALL SECTION AND EXISTING ELEVATION)
- ② EXISTING TYP. ALUMINUM PANEL TO BE REMOVED
- ③ EXISTING EYEBROW TO BE DEMOLISHED (REFER TO WALL SECTION AND EXISTING-DEMO ELEVATION FOR EYEBROWS DEMOLITION)
- ④ EXISTING METAL CANOPY TO REMAIN
- ⑤ EXISTING EYEBROW TO REMAIN
- ⑥ EXISTING VENTILATION PARKING FAN TO BE RELOCATED (REFER TO MECHANICAL AND ELECTRICAL DRAWINGS)

SALVAGE AND RECYCLING OF MATERIALS DURING DEMOLITION

1. THE CONTRACTOR SHALL CAREFULLY CONDUCT ALL DEMOLITION ACTIVITIES TO MAXIMIZE THE SALVAGE AND RECYCLING OF CONSTRUCTION AND DEMOLITION MATERIALS, IN COMPLIANCE WITH THE FLORIDA BUILDING CODE (FBC), CITY OF MIAMI BEACH CODE OF ORDINANCES, AND THE CITY'S SUSTAINABILITY PLAN.
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3. THE CONTRACTOR SHALL COMPLY WITH THE CITY OF MIAMI BEACH'S CONSTRUCTION AND DEMOLITION DEBRIS (C&D) RECYCLING PROGRAM, WHICH MANDATES A MINIMUM DIVERSION RATE OF 50% OF ALL DEBRIS FROM LANDFILLS. DOCUMENTATION OF MATERIAL QUANTITIES, RECYCLING RECEIPTS, AND FINAL DISPOSAL MANIFESTS SHALL BE SUBMITTED TO THE CITY'S SUSTAINABILITY AND RESILIENCY DEPARTMENT UPON PROJECT COMPLETION.
4. DISPOSAL OF NON-RECYCLABLE OR HAZARDOUS MATERIALS MUST COMPLY WITH LOCAL WASTE MANAGEMENT ORDINANCES AND THE REQUIREMENTS OUTLINED IN THE FBC AND OTHER APPLICABLE LOCAL CODES. THE CONTRACTOR SHALL SUBMIT A WASTE MANAGEMENT PLAN TO THE CITY FOR APPROVAL PRIOR TO THE START OF DEMOLITION, DETAILING THE PROPOSED RECYCLING AND DISPOSAL STRATEGIES.

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BID.
2. REFER TO DEMOLITION GENERAL NOTES.



A1 EXISTING SECOND FLOOR

SCALE: N.T.S

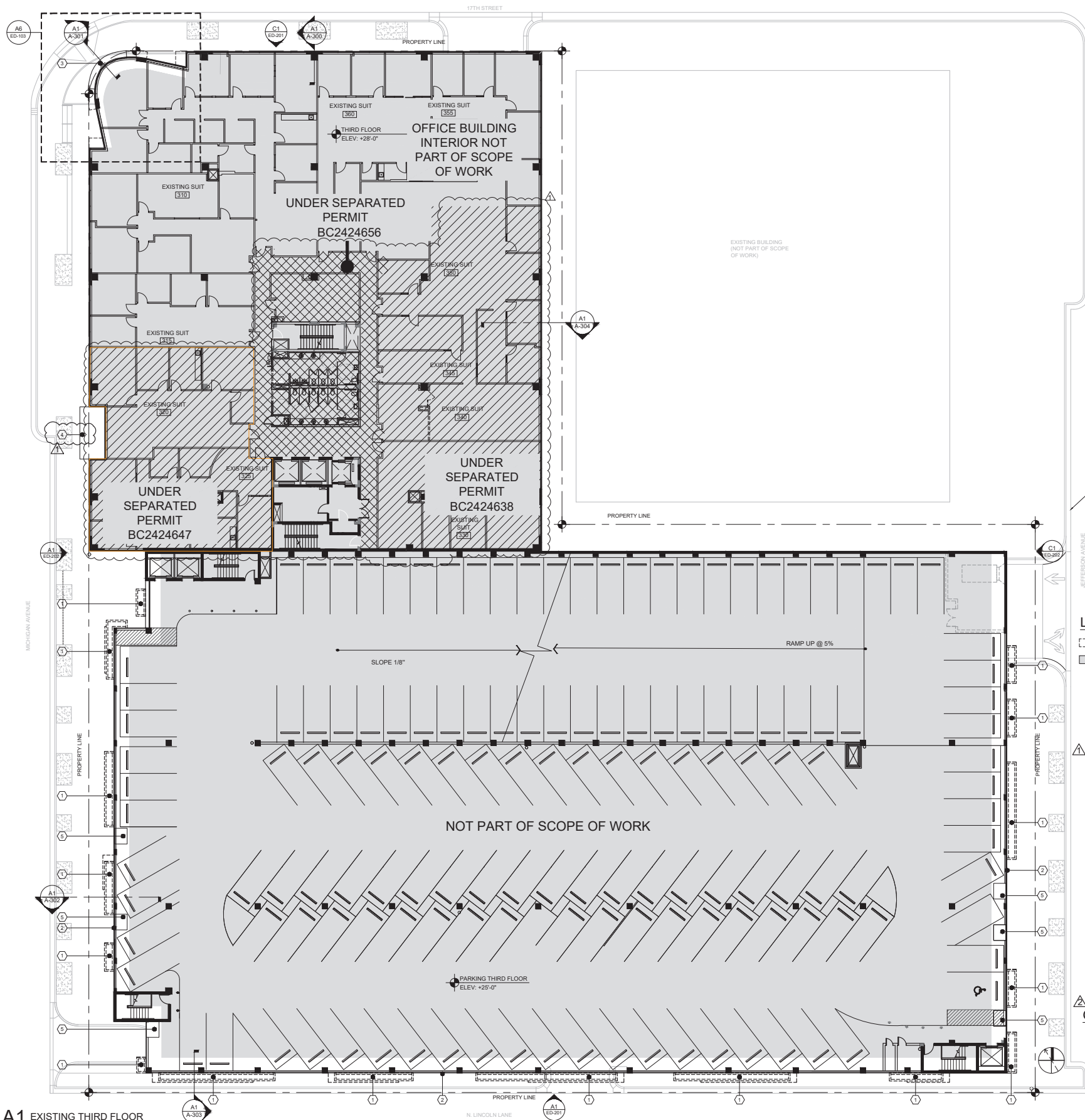
A6 EXISTING EYEBROW

SCALE: 1/8"=1'-0"

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DATE	REVISION	SHEET NUMBER
03-26-2025	CITY COMMENTS	07-07-2025
11-27-2024	CITY COMMENTS	
		ED-102



SIDEWALK BELOW (REFER TO SITE PLAN FOR STREETS)

LEGEND

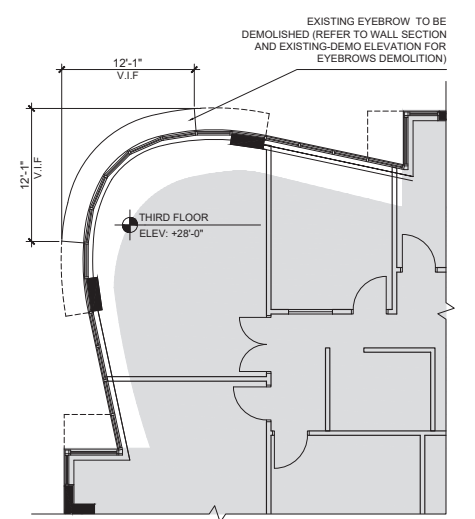
- FACADE ELEMENTS TO BE DEMOLISHED
- NOT PART OF SCOPE OF WORK
- ① EXISTING PLANTER TO BE DEMOLISHED (REFER TO WALL SECTION AND EXISTING ELEVATION)
- ② EXISTING TYP. ALUMINUM PANEL TO BE REMOVED
- ③ EXISTING EYEBROW TO BE DEMOLISHED (REFER TO WALL SECTION AND EXISTING DEMO ELEVATION FOR EYEBROWS DEMOLITION)
- ④ EXISTING METAL CANOPY BELOW TO REMAIN
- ⑤ EXISTING VENTILATION PARKING FAN TO BE RELOCATED (REFER TO MECHANICAL AND ELECTRICAL DRAWINGS)

SALVAGE AND RECYCLING OF MATERIALS DURING DE

1. THE CONTRACTOR SHALL CAREFULLY COND MAXIMIZE THE SALVAGE AND RECYCLING (MATERIALS, IN COMPLIANCE WITH THE FLORIDA BEACH CODE OF ORDINANCES, AND THE CITY'S SI
2. ALL MATERIALS SUITABLE FOR RECYCLING OR R NON-FERROUS METALS, CONCRETE, MASONRY, DOORS, AND FIXTURES, SHALL BE IDENTIFIED AN
3. CONTRACTOR IS RESPONSIBLE FOR ENSURING HANDLED IN AN ENVIRONMENTALLY RESPONSIBL AREAS ON-SITE, PROTECTED FROM DAMAGE.
4. THE CONTRACTOR SHALL COMPLY WITH THE CITY DEMOLITION DEBRIS (CDD) RECYCLING PROK DIVERSION RATE OF 50% OF ALL DEBRIS F MATERIAL QUANTITIES. RECYCLING RECEIPTS, AN SUBMITTED TO THE CITY'S SUSTAINABILITY PROJECT COMPLETION.
5. DISPOSAL OF NON-RECYCLABLE OR HAZARDOUS WASTE MANAGEMENT ORDINANCES AND THE RE OTHER APPLICABLE LOCAL CODES, THE CD MANAGEMENT PLAN TO THE CITY FOR APPROVA DETAILING THE PROPOSED RECYCLING AND DISP

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BID.
2. REFER TO DEMOLITION GENERAL NOTES.



A1 EXISTING THIRD FLOOR

SCALE: N.T.S

A6 EXISTING EYEBROW

SCALE: 1/8"=1'-0"

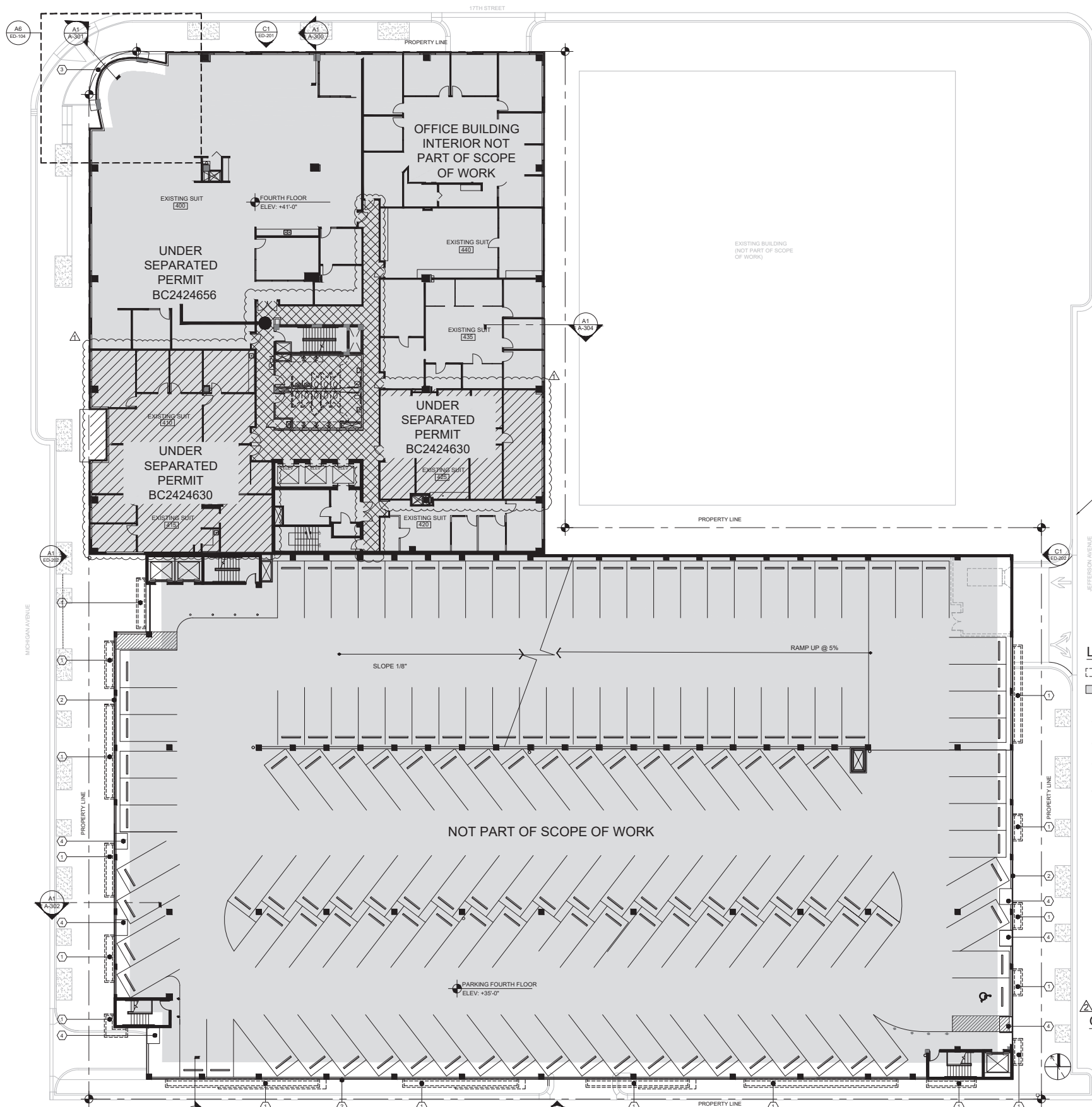
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MIAMI BEACH, FL 33139



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DWG. TITLE		EXIST-DEMO THIRD FLOOR PLAN
SCALE		AS SHOWN
PROJECT NO.		2023-33
DATE		07-07-2025
2	03-26-2025	CITY COMMENTS
1	11-27-2024	CITY COMMENTS
△	DATE	REVISION
		SHEET NUMBER
		ED-103



LEGEND

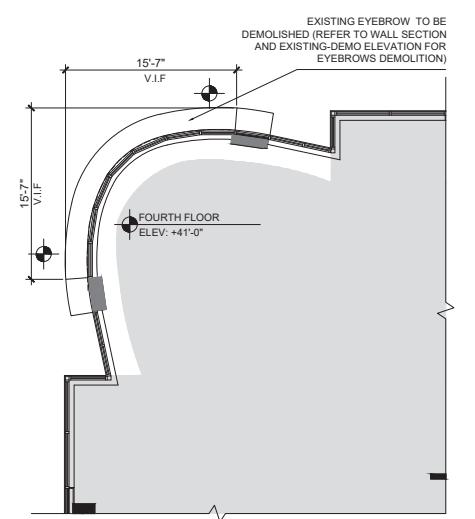
- FACADE ELEMENTS TO BE DEMOLISHED
- ▨ NOT PART OF SCOPE OF WORK
- ① EXISTING PLANTER TO BE DEMOLISHED (REFER TO WALL SECTION AND EXISTING ELEVATION)
- ② EXISTING TYP. ALUMINUM PANEL TO BE REMOVED
- ③ EXISTING EYEBROW TO BE DEMOLISHED (REFER TO WALL SECTION AND EXISTING-DEMO ELEVATION FOR EYEBROWS DEMOLITION)
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GENERAL NOTES:

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2. REFER TO DEMOLITION GENERAL NOTES.



A1 EXISTING FOURTH FLOOR

SCALE: N.T.S

A6 EXISTING EYEBROW

SCALE: 1/8"=1'-0"

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MIAMI BEACH, FL 33139

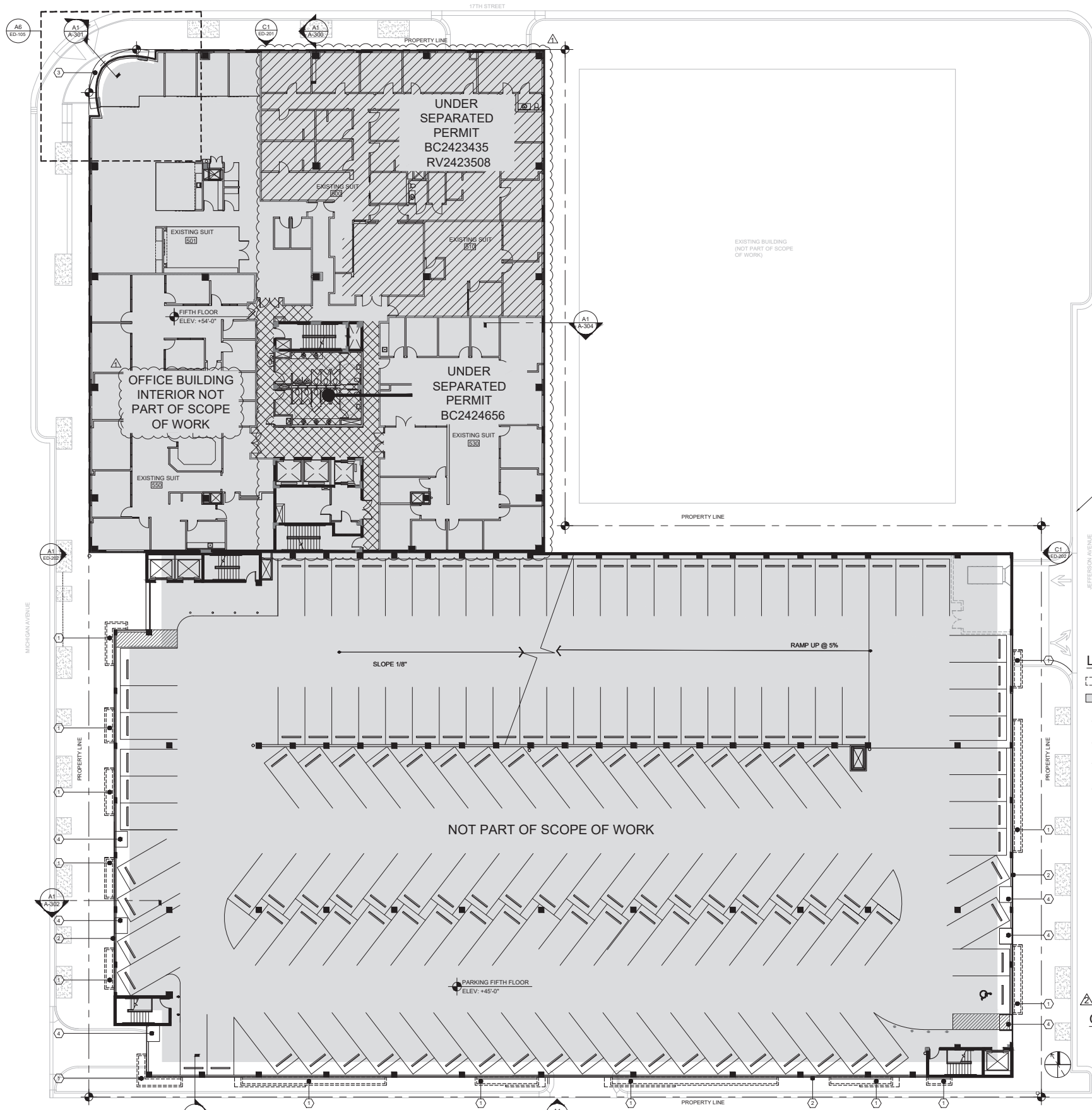


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DWG. TITLE		EXIST- DEMO FOURTH FLOOR PLAN	DATE		07-07-2025
SCALE		AS SHOWN	PROJECT NO.		2023-33
DATE		03-26-2025	CITY COMMENTS		07-07-2025
DATE		11-27-2024	CITY COMMENTS		
DATE			REVISION		
DATE			REVISION		

SHEET NUMBER
ED-104



LEGEND

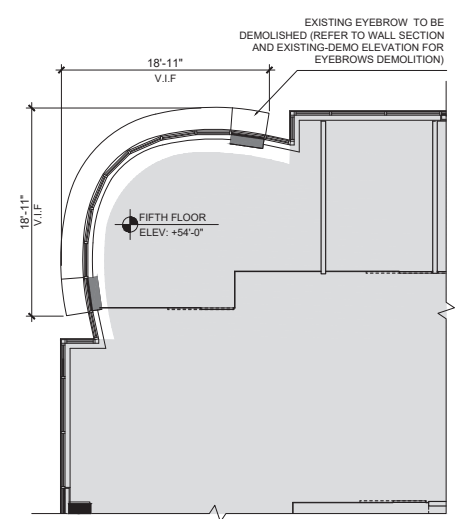
- FACADE ELEMENTS TO BE DEMOLISHED
- NOT PART OF SCOPE OF WORK
- ① EXISTING PLANTER TO BE DEMOLISHED (REFER TO WALL SECTION AND EXISTING ELEVATION)
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SALVAGE AND RECYCLING OF MATERIALS DURING DEMOLITION

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GENERAL NOTES:

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A1 EXISTING FIFTH FLOOR

SCALE: N.T.S

A6 EXISTING EYEBROW

SCALE: 1/8"=1'-0"

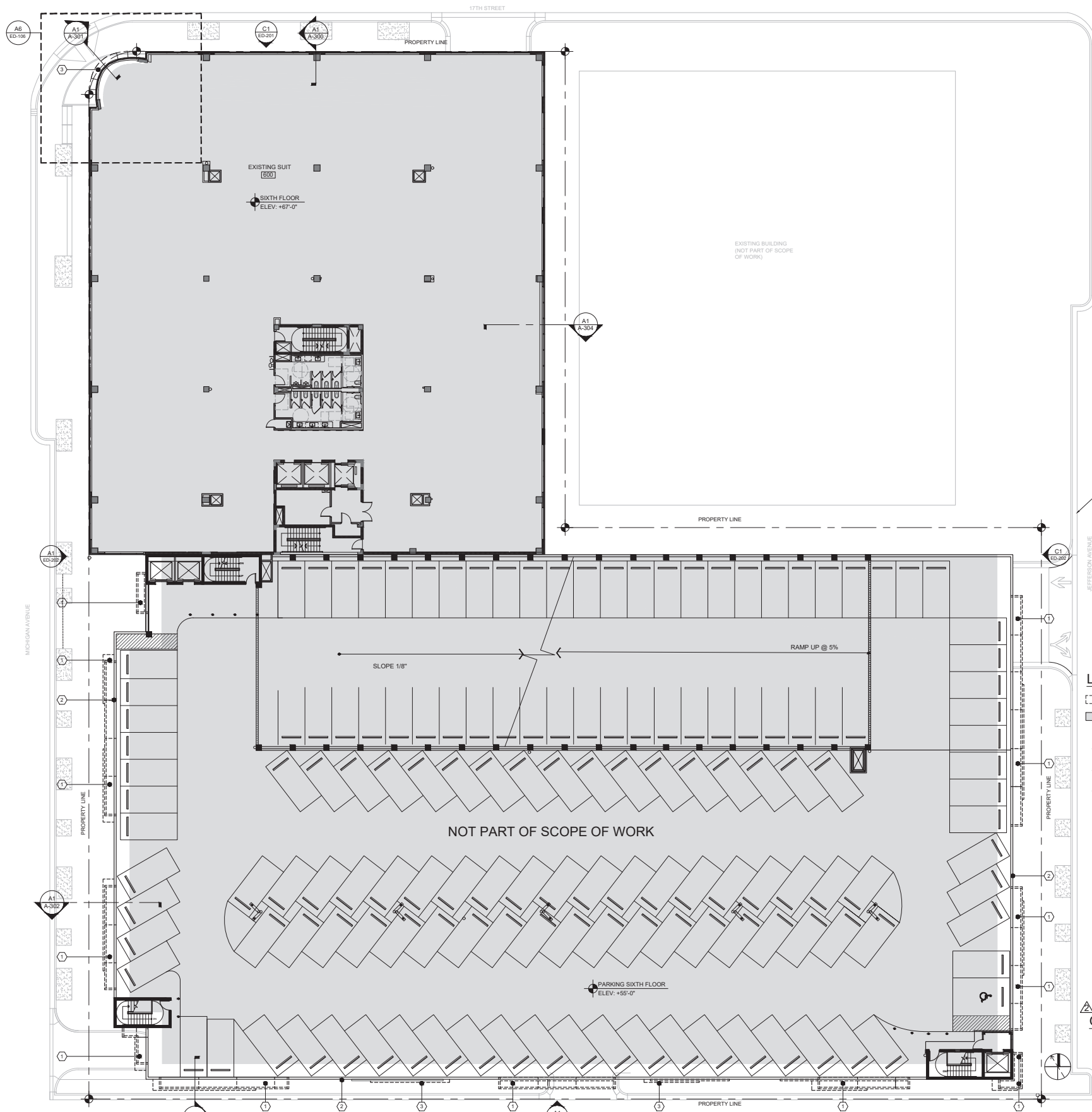
THE LINCOLN BL
1691 MICHIGAN
MIAMI BEACH, FL 33139



CONSULTANT

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DWG. TITLE		EXIST-DEMO FIFTH FLOOR PLAN	AS SHOWN	
SCALE		2023-33		
PROJECT NO.		DATE		
DATE		03-26-2025	CITY COMMENTS	07-07-2025
SHEET NUMBER		ED-105		
DATE	REVISION			



LEGEND

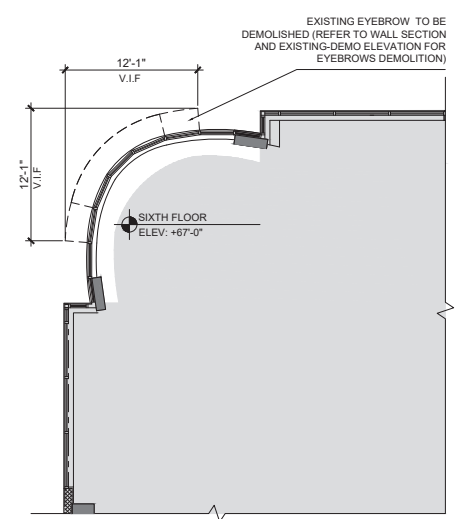
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SALVAGE AND RECYCLING OF MATERIALS DURING DEMOLITION

1. THE CONTRACTOR SHALL CAREFULLY CONDUCT ALL DEMOLITION ACTIVITIES TO MAXIMIZE THE SALVAGE AND RECYCLING OF CONSTRUCTION AND DEMOLITION MATERIALS, IN COMPLIANCE WITH THE FLORIDA BUILDING CODE (FBC), CITY OF MIAMI BEACH CODE OF ORDINANCES, AND THE CITY'S SUSTAINABILITY PLAN.
2. ALL MATERIALS SUITABLE FOR RECYCLING OR REUSE, INCLUDING, BUT NOT LIMITED TO, NON-FERROUS METALS, CONCRETE, MASONRY, STRUCTURAL STEEL, WOOD, WINDOWS, DOORS, AND FIXTURES, SHALL BE IDENTIFIED AND SALVAGED WHENEVER POSSIBLE. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL RECYCLABLE MATERIALS ARE HANDLED IN AN ENVIRONMENTALLY RESPONSIBLE MANNER AND STORED IN DESIGNATED AREAS ON-SITE, PROTECTED FROM DAMAGE.
3. THE CONTRACTOR SHALL COMPLY WITH THE CITY OF MIAMI BEACH'S CONSTRUCTION AND DEMOLITION DEBRIS (CAD) RECYCLING PROGRAM, WHICH MANDATES A MINIMUM DIVERSION RATE OF 50% OF ALL DEBRIS FROM LANDFILLS. DOCUMENTATION OF MATERIAL QUANTITIES, RECYCLING RECEIPTS, AND FINAL DISPOSAL MANIFESTS SHALL BE SUBMITTED TO THE CITY'S SUSTAINABILITY AND RESILIENCY DEPARTMENT UPON PROJECT COMPLETION.
4. DISPOSAL OF NON-RECYCLABLE OR HAZARDOUS MATERIALS MUST COMPLY WITH LOCAL WASTE MANAGEMENT ORDINANCES AND THE REQUIREMENTS OUTLINED IN THE FBC AND OTHER APPLICABLE LOCAL CODES. THE CONTRACTOR SHALL SUBMIT A WASTE MANAGEMENT PLAN TO THE CITY FOR APPROVAL PRIOR TO THE START OF DEMOLITION, DETAILING THE PROPOSED RECYCLING AND DISPOSAL STRATEGIES.

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BID.
2. REFER TO DEMOLITION GENERAL NOTES.



A1 EXISTING SIXTH FLOOR

A6 EXISTING EYEBROW

THE LINCOLN BL
 1691 MICHIGAN
 MIAMI BEACH, FL 33139



SCALE: N.T.S

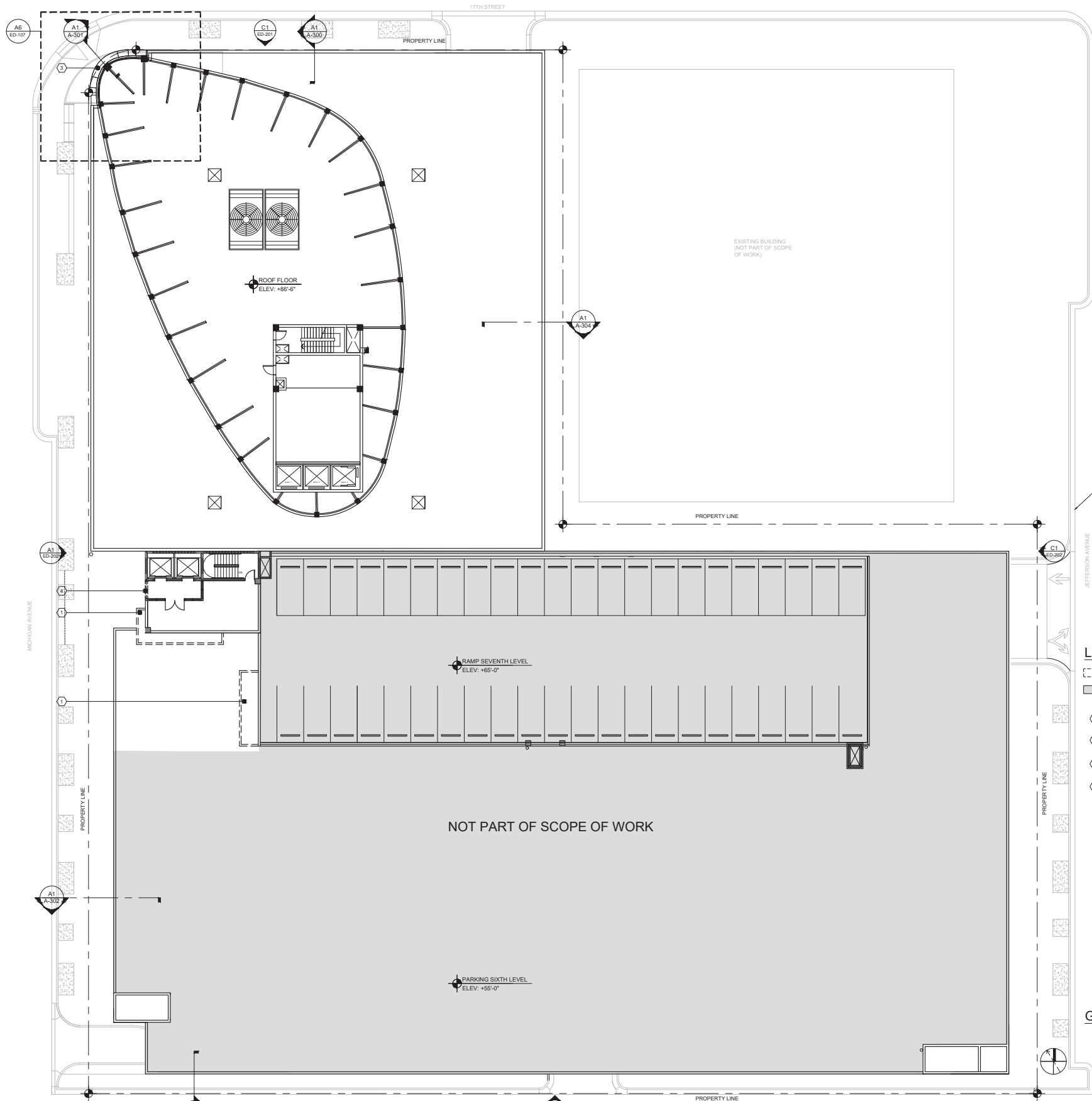
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DWG. TITLE		EXIST-DEMO SIXTH FLOOR PLAN	
SCALE		AS SHOWN	
PROJECT NO.		2023-33	
DATE		07-07-2025	
2	03-26-2025	CITY COMMENTS	07-07-2025
1	11-27-2024	CITY COMMENTS	
△	DATE	REVISION	

SHEET NUMBER
ED-106



A1 EXISTING SIXTH FLOOR

N. LINCOLN LANE

SCALE: N.T.S

THE LINCOLN BL
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LEGEND

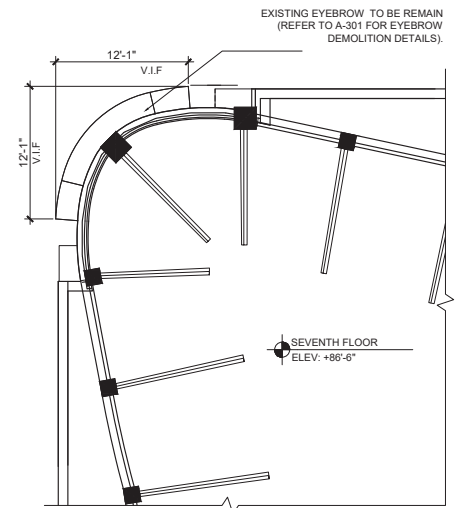
- FACADE ELEMENTS TO BE DEMOLISHED
- NOT PART OF SCOPE OF WORK
- ① EXISTING PLANTER TO BE DEMOLISHED (REFER TO WALL SECTION AND EXISTING ELEVATION)
- ② EXISTING TYP. ALUMINUM PANEL TO BE REMOVED
- ③ EXISTING EYEBROW TO BE PARTIALLY DEMOLISHED (REFER TO CS/ A-301 FOR EYEBROW DEMOLITION DETAILS)
- ④ EXISTING WINDOW TO BE REMOVED OPENING WILL BE CLOSED, PATCH AND REPAIR AS REQUIRED. (REFER TO ED-202)

SALVAGE AND RECYCLING OF MATERIALS DURING DEMOLITION

1. THE CONTRACTOR SHALL CAREFULLY CONDUCT ALL DEMOLITION ACTIVITIES TO MAXIMIZE THE SALVAGE AND RECYCLING OF CONSTRUCTION AND DEMOLITION MATERIALS, IN COMPLIANCE WITH THE FLORIDA BUILDING CODE (FBC), CITY OF MIAMI BEACH CODE OF ORDINANCES, AND THE CITY'S SUSTAINABILITY PLAN.
2. ALL MATERIALS SUITABLE FOR RECYCLING OR REUSE, INCLUDING, BUT NOT LIMITED TO, NON-FERROUS METALS, CONCRETE, MASONRY, STRUCTURAL STEEL, WOOD, WINDOWS, DOORS, AND FIXTURES, SHALL BE IDENTIFIED AND SALVAGED WHENEVER POSSIBLE. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL RECYCLABLE MATERIALS ARE HANDLED IN AN ENVIRONMENTALLY RESPONSIBLE MANNER AND STORED IN DESIGNATED AREAS ON-SITE, PROTECTED FROM DAMAGE.
3. THE CONTRACTOR SHALL COMPLY WITH THE CITY OF MIAMI BEACH'S CONSTRUCTION AND DEMOLITION DEBRIS (CDD) RECYCLING PROGRAM, WHICH MANDATES A MINIMUM DIVERSION RATE OF 50% OF ALL DEBRIS FROM LANDFILL. DOCUMENTATION OF MATERIAL QUANTITIES, RECYCLING RECEIPTS, AND FINAL DISPOSAL MANIFESTS SHALL BE SUBMITTED TO THE CITY'S SUSTAINABILITY AND RESILIENCY DEPARTMENT UPON PROJECT COMPLETION.
4. DISPOSAL OF NON-RECYCLABLE OR HAZARDOUS MATERIALS MUST COMPLY WITH LOCAL WASTE MANAGEMENT ORDINANCES AND THE REQUIREMENTS OUTLINED IN THE FBC AND OTHER APPLICABLE LOCAL CODES. THE CONTRACTOR SHALL SUBMIT A WASTE MANAGEMENT PLAN TO THE CITY FOR APPROVAL PRIOR TO THE START OF DEMOLITION, DETAILING THE PROPOSED RECYCLING AND DISPOSAL STRATEGIES.

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BID.
2. ALL FINISHES TO BE SELECTED BY OWNER.



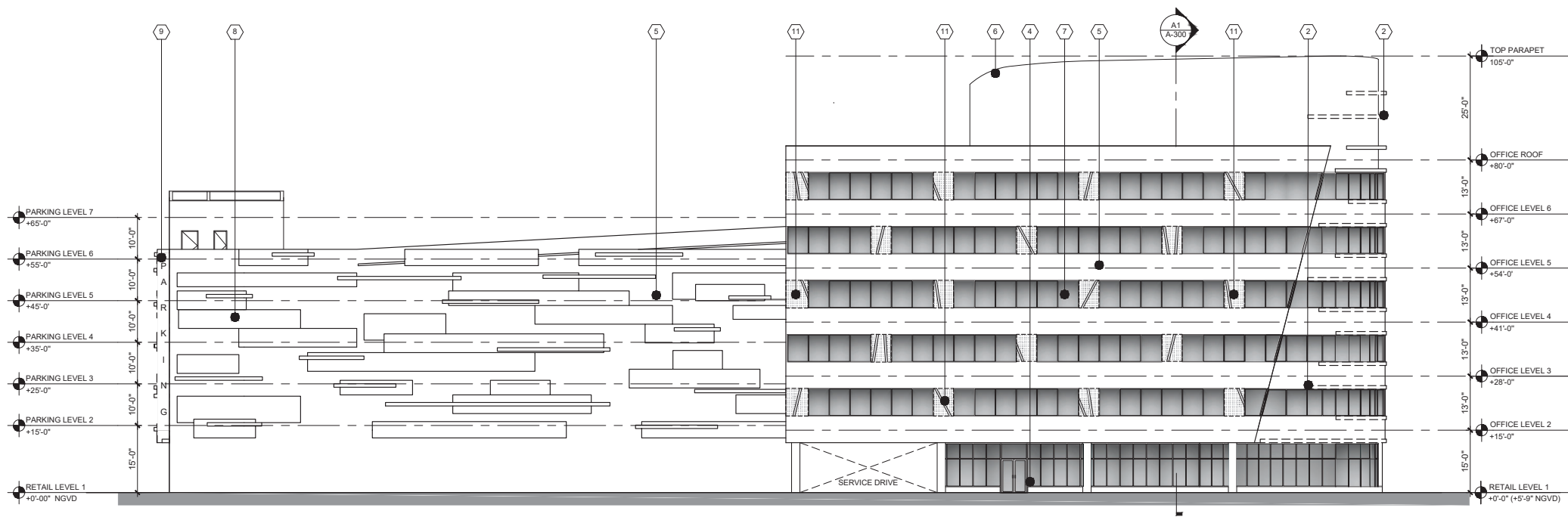
A6 EXISTING EYEBROW

SCALE: 1/8"=1'-0"

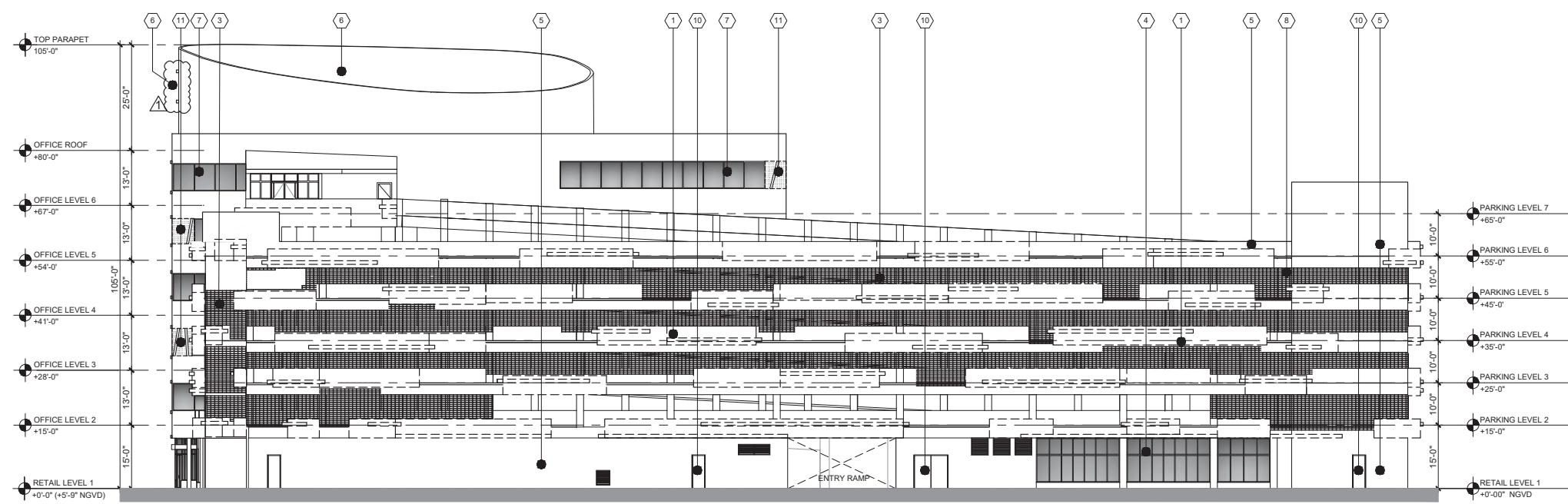
DWG. TITLE		EXIST-DEMO SEVENTH FLOOR PLAN
SCALE		AS SHOWN
PROJECT NO.		2023-33
DATE		07-07-2025
2	03-26-2025	CITY COMMENTS
1	11-27-2024	CITY COMMENTS
△	DATE	REVISION

SHEET NUMBER

ED-107



C1 EXISIT/DEMO NORTH ELEVATION



A1 EXISIT/DEMO SOUTH ELEVATION

- ### KEY NOTES
- 1 EXISTING PLANTER TO BE DEMOLISHED
 - 2 EXISTING CONCRETE EYEBROW TO REMOVE (REFER TO A-301 FOR EYEBROW DEMOLITION)
 - 3 EXISTING ALUMINUM SCREEN TO BE REMOVED (TYP.)
 - 4 EXISTING ALUMINUM STOREFRONT TO REMAIN.
 - 5 EXISTING SMOOTH TEXTURE STUCCO FINISH
 - 6 EXISTING PARAPET (MECHANICAL EQUIP. SCREEN)
 - 7 EXISTING WINDOWS TO REMAIN EXISTING SEALANT WILL BE REPLACED.
 - 8 EXISTING MOLDING TO REMAIN
 - 9 EXISTING "PARKING" SIGN TO REMAIN
 - 10 EXISTING DOOR TO REMAIN.
 - 11 EXISTING CERAMIC TILE & ALUMINUM BAND TO BE REMOVED, PATCH AND REPAIR AS REQUIRED.
- EYEBROWS / PLANTERS TO BE DEMOLISHED

SALVAGE AND RECYCLING OF MATERIALS DURING DEMOLITION

- THE CONTRACTOR SHALL CAREFULLY CONDUCT ALL DEMOLITION ACTIVITIES TO MAXIMIZE THE SALVAGE AND RECYCLING OF CONSTRUCTION AND DEMOLITION MATERIALS, IN COMPLIANCE WITH THE FLORIDA BUILDING CODE (FBC), CITY OF MIAMI BEACH CODE OF ORDINANCES, AND THE CITY'S SUSTAINABILITY PLAN.
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- THE CONTRACTOR SHALL COMPLY WITH THE CITY OF MIAMI BEACH'S CONSTRUCTION AND DEMOLITION DEBRIS (C&D) RECYCLING PROGRAM, WHICH MANDATES A MINIMUM DIVERSION RATE OF 50% OF ALL DEBRIS FROM LANDFILLS. DOCUMENTATION OF MATERIAL QUANTITIES, RECYCLING RECEIPTS, AND FINAL DISPOSAL MANIFESTS SHALL BE SUBMITTED TO THE CITY'S SUSTAINABILITY AND RESILIENCY DEPARTMENT UPON PROJECT COMPLETION.
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- ### GENERAL NOTES:
- ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BID.
 - REFER TO D-001 FOR DEMOLITION GENERAL NOTES

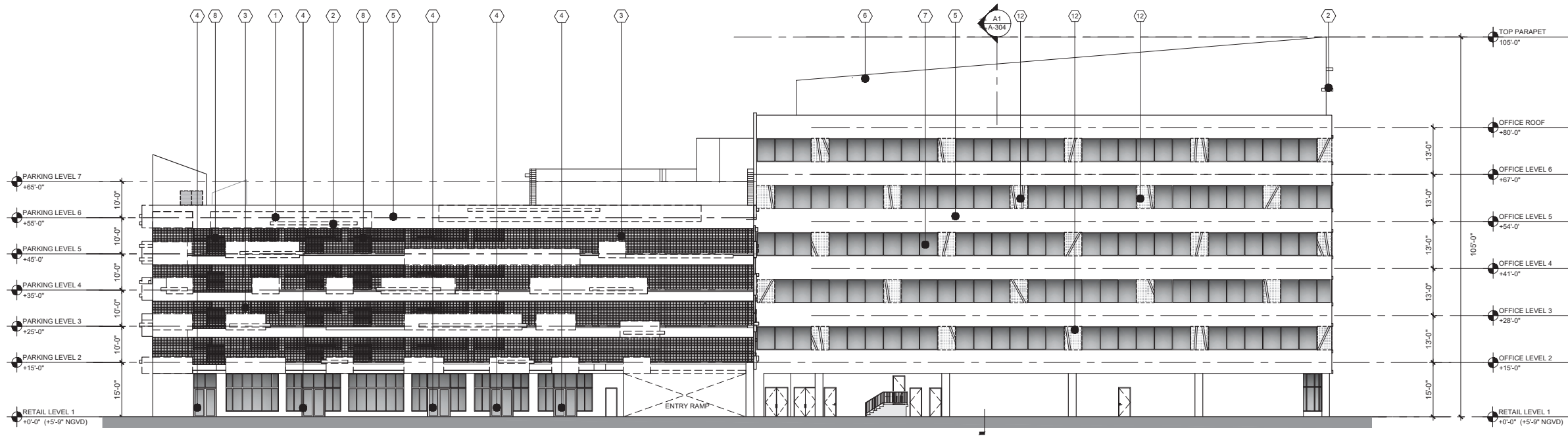
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DWG. TITLE		EXIST-DEMO NORTH AND SOUTH ELEVATION
SCALE		1/16"=1'-0"
PROJECT NO.		2023-33
DATE		07-07-2025
2	03-26-2025	CITY COMMENTS
1	11-27-2024	CITY COMMENTS
△	DATE	REVISION

SHEET NUMBER
ED-201

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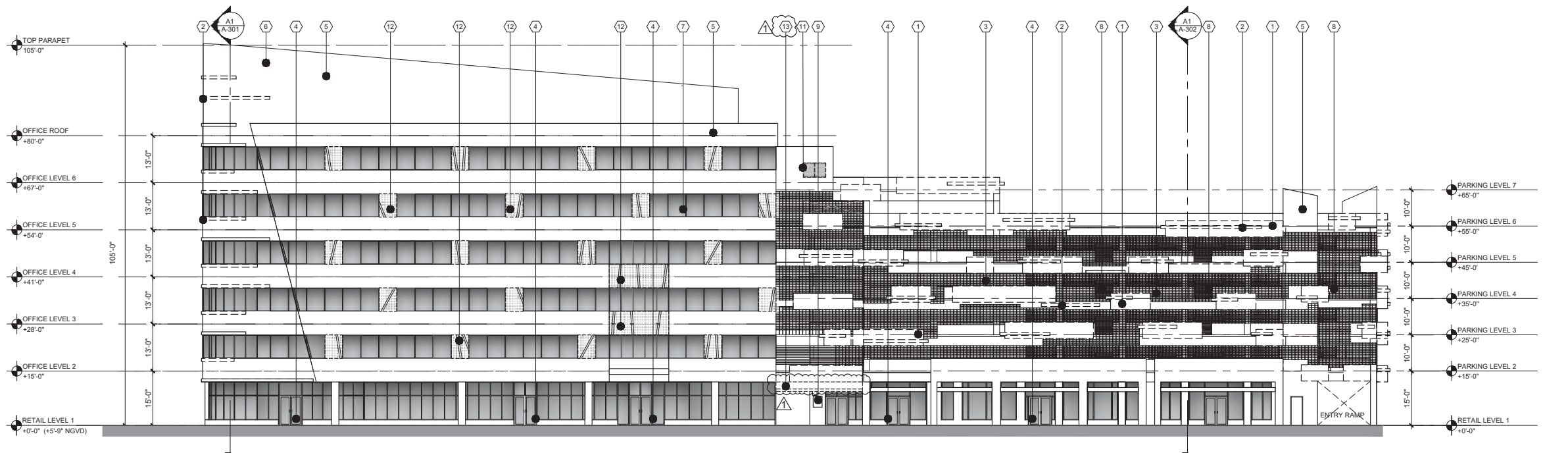
C1 EXIST/DEMO EAST ELEVATION

- ### KEY NOTES
- 1 EXISTING PLANTER TO BE DEMOLISHED
 - 2 EXISTING CONCRETE EYEBROW
 - 3 EXISTING ALUMINUM SCREEN TO BE REMOVED (TYP.)
 - 4 EXISTING ALUMINUM STOREFRONT TO REMAIN.
 - 5 EXISTING SMOOTH TEXTURE STUCCO FINISH
 - 6 EXISTING MECHANICAL EQUIP. SCREEN
 - 7 EXISTING WINDOWS TO REMAIN EXISTING SEALANT WILL BE REPLACED.
 - 8 EXISTING VENTILATION FAN SCREEN TO BE RELOCATED. OPENING WILL BE CLOSED. (REFER TO MECHANICAL AND ELECTRICAL DRAWINGS)
 - 9 EXISTING ELECTRICAL PANEL TO REMAIN
 - 10 EXISTING DOOR TO REMAIN
 - 11 EXISTING WINDOW TO BE REMOVED. OPENING WILL BE CLOSED, PATCH AND REPAIR AS REQUIRED.
 - 12 EXISTING CERAMIC TILE & ALUMINUM BAND TO BE REMOVED, PATCH AND REPAIR AS REQUIRED.
 - 13 EXISTING CANOPY TO BE REMOVED
- ▭ EYEBROWS / PLANTERS TO BE DEMOLISHED

SALVAGE AND RECYCLING OF MATERIALS DURING DEMOLITION

- THE CONTRACTOR SHALL CAREFULLY CONDUCT ALL DEMOLITION ACTIVITIES TO MAXIMIZE THE SALVAGE AND RECYCLING OF CONSTRUCTION AND DEMOLITION MATERIALS, IN COMPLIANCE WITH THE FLORIDA BUILDING CODE (FBC), CITY OF MIAMI BEACH CODE OF ORDINANCES, AND THE CITY'S SUSTAINABILITY PLAN.
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- ### GENERAL NOTES:
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 - REFER TO D-001 FOR DEMOLITION GENERAL NOTES



A1 EXIST/DEMO WEST ELEVATION

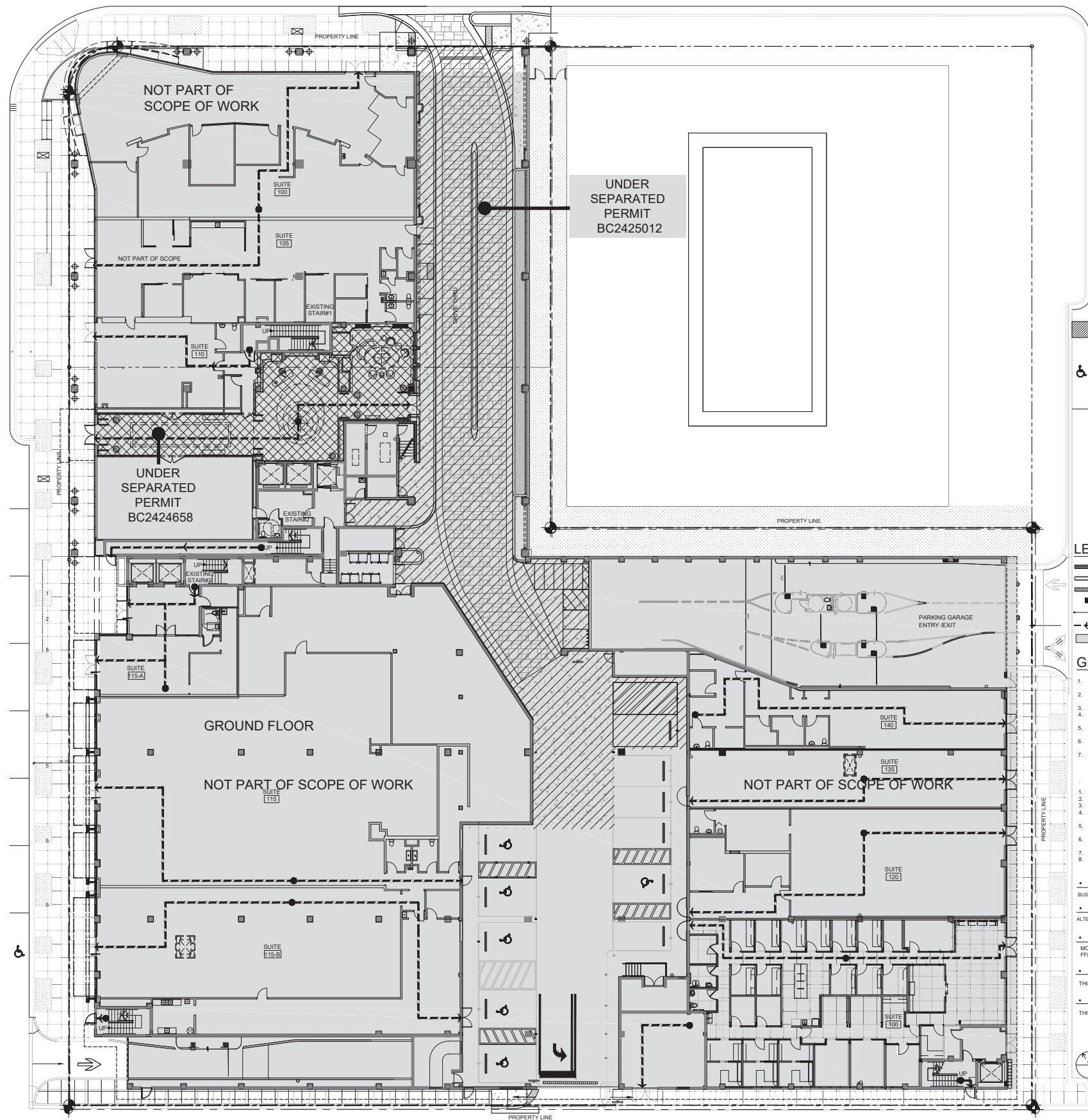
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DWG. TITLE		EXIST-DEMO EAST AND WEST ELEVATION
SCALE		1/16"=1'-0"
PROJECT NO.		2023-33
DATE		07-07-2025
2	03-26-2025	CITY COMMENTS
1	11-27-2024	CITY COMMENTS
△	DATE	REVISION

SHEET NUMBER
ED-202

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LEGEND

- EXISTING CMU WALL TO REMAIN
- NEW INTERIOR PARTITIONS
- NEW EXTERIOR CMU WALL
- EXISTING CONCRETE COLUMNS TO REMAIN
- STAIR/RAMP DIRECTION
- PATH OF EGRESS
- NOT PART OF SCOPE OF WORK

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BID.
 2. WHERE EXISTING IS DENOTED, MEANS ALL COMPONENTS OF THE ELEMENT ARE EXISTING. EXISTING STAIR, ALONG WITH RAILING AND GUARDRAIL.
 3. THE BUILDING WILL REMAIN OCCUPIED DURING CONSTRUCTION.
 4. ALL LIFE SAFETY SYSTEMS WILL REMAIN OPERATIONAL DURING CONSTRUCTION WHILE THE BUILDING IS OCCUPIED.
 5. EXISTING SPACES WITHIN THIS SCOPE OF WORK WILL BE VACANT AND CLOSED DURING CONSTRUCTION.
 6. MEANS OF EGRESS AND LIFE SAFETY FEATURES WILL REMAIN UNOBSTRUCTED DURING CONSTRUCTION.
 7. IF ANY CHANGES ARE MADE TO THE EXISTING FIRE SPRINKLER AND OR FIRE ALARM DESIGN, A SPRINKLER AND OR FIRE ALARM CONTRACTOR SHALL PROVIDE SHOP DRAWINGS.
- CODE NOTES
1. ALL WORK SHALL COMPLY WITH FBC-8 CHAPTER 33 AND NFPA 241
 2. DEMOLITION WORKS SHALL COMPLY WITH FBC-8 3303.
 3. SANITARY WORKS SHALL COMPLY WITH FBC-8 3305.
 4. PEDESTRIAN PROTECTION REQUIREMENTS SHALL COMPLY WITH FBC-8 3306.AS PER TABLE 3306.1, BARRIERS AND COVERED WALKWAYS ARE REQUIRED.
 5. STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS GENERAL REQUIREMENTS SHALL COMPLY WITH NFPA 241 CHAPTER 4.
 6. TEMPORARY CONSTRUCTION EQUIPMENTS AND STORAGE SHALL COMPLY WITH NFPA 241 CHAPTER 5.
 7. SAFEGUARDING DEMOLITION OPERATION SHALL COMPLY WITH NFPA 241 CHAPTER 9.
 8. SAFEGUARDING CONSTRUCTION AND ALTERATION OPERATIONS SHALL COMPLY WITH NFPA 241 CHAPTER 8.

- OCCUPANCY CLASSIFICATION
- BUSINESS
- ALTERATION CLASSIFICATION
- ALTERATION LEVEL 2 - (AS PER FBC 2023 SECTION 603)
- CLASSIFICATION OF REHABILITATION WORK CATEGORIES
- MODIFICATION AS PER FFPC 8th ED NFPA 101 CHAPTER 43.5, RECONSTRUCTION AS PER FFPC 8th ED NFPA 101 CHAPTER 43.6
- FIRE ALARM SYSTEM
- THIS BUILDING IS PROTECTED BY A FIRE ALARM SYSTEM.
- AUTOMATIC SPRINKLER SYSTEM
- THIS BUILDING IS PROTECTED WITH A FIRE SPRINKLER SYSTEM.

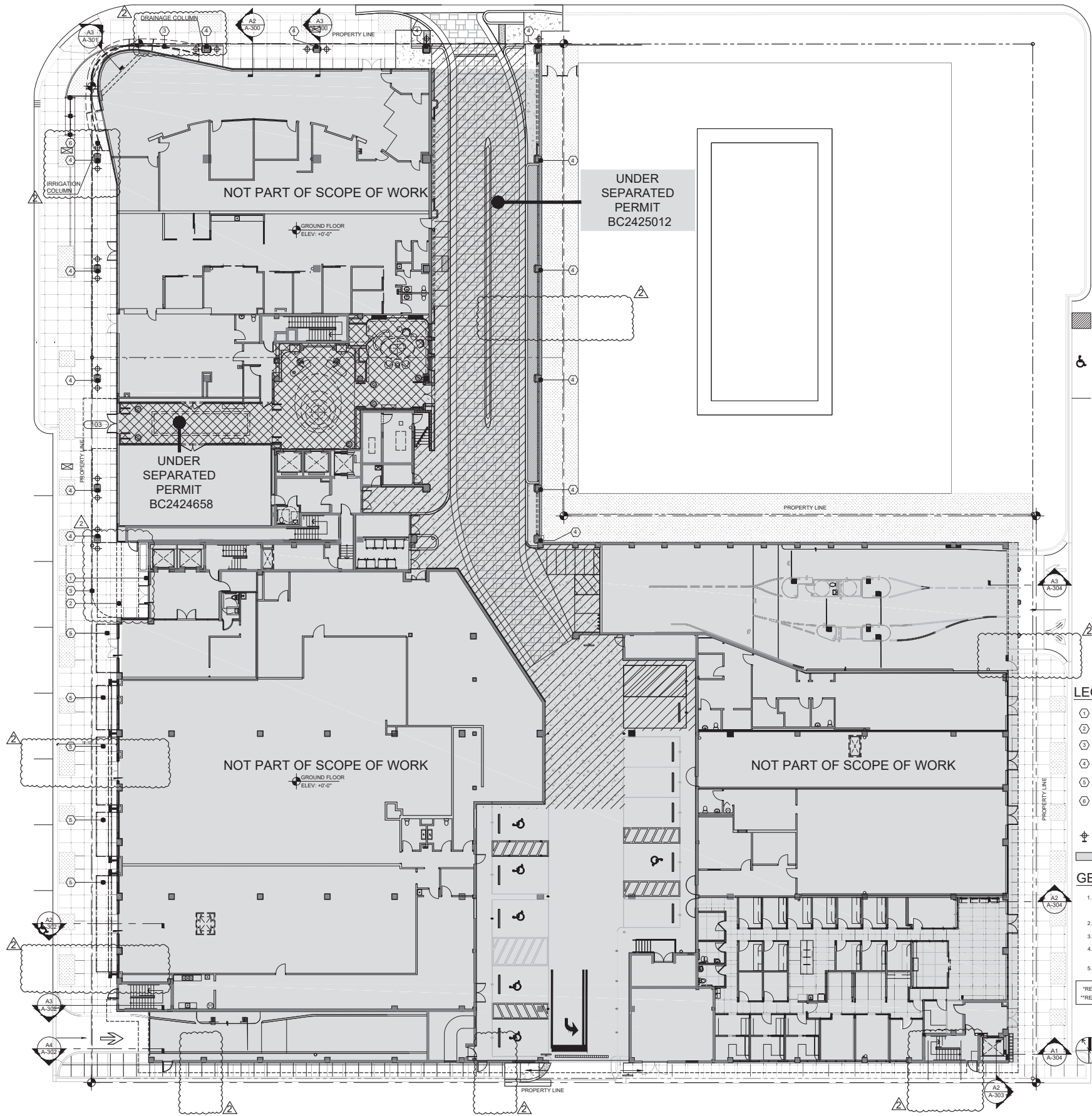
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DWG. TITLE	PROPOSED LIFE SAFETY PLAN
SCALE	AS SHOWN
PROJECT NO.	2023-33
DATE	07-07-2025
SHEET NUMBER	LS-101
DATE	REVISION



LEGEND

- ① METAL PANEL COVER TO MATCH THE STUCCO COLOR
- ② PROPOSED METAL BEAM ABOVE *
- ③ PROPOSED AWNING ABOVE** (UNDER SEPARATED PERMIT) (REFER TO MATERIAL 8 (A-501))
- ④ CHAMPAGNE - ACID WASH STUCCO FINISH BY CONCRETE WORKS EAST OR SIMILAR (REFER TO MATERIAL 3 (A-601))
- ⑤ METAL CLADDING FINISH ON EXIST. CANOPY TO MATCH WITH SCREEN COLOR
- ⑥ EXIST. RAILING WILL BE POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR (REFER TO MATERIAL 9 (A-501))

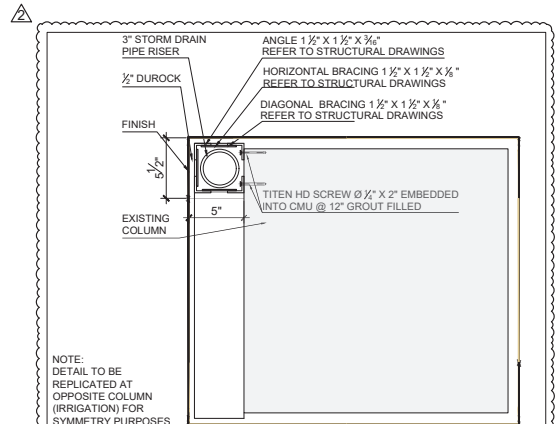
⊕ PROPOSED LIGHTING (WF-03) REFER TO LIGHTING PACKAGE AND ELEVATIONS.

▨ NOT PART OF SCOPE OF WORK

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BID.
2. FOR CLADDING DETAILS REFER TO A-305
3. ALL FINISHES TO BE SELECTED BY OWNER.
4. EXISTING EXTERIOR MULLIONS WILL BE POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR
5. REFER TO A-501 FOR MATERIAL

*REFER TO STRUCTURAL DRAWINGS
**REFER TO WALL SECTION AND EXISTING ELEVATION

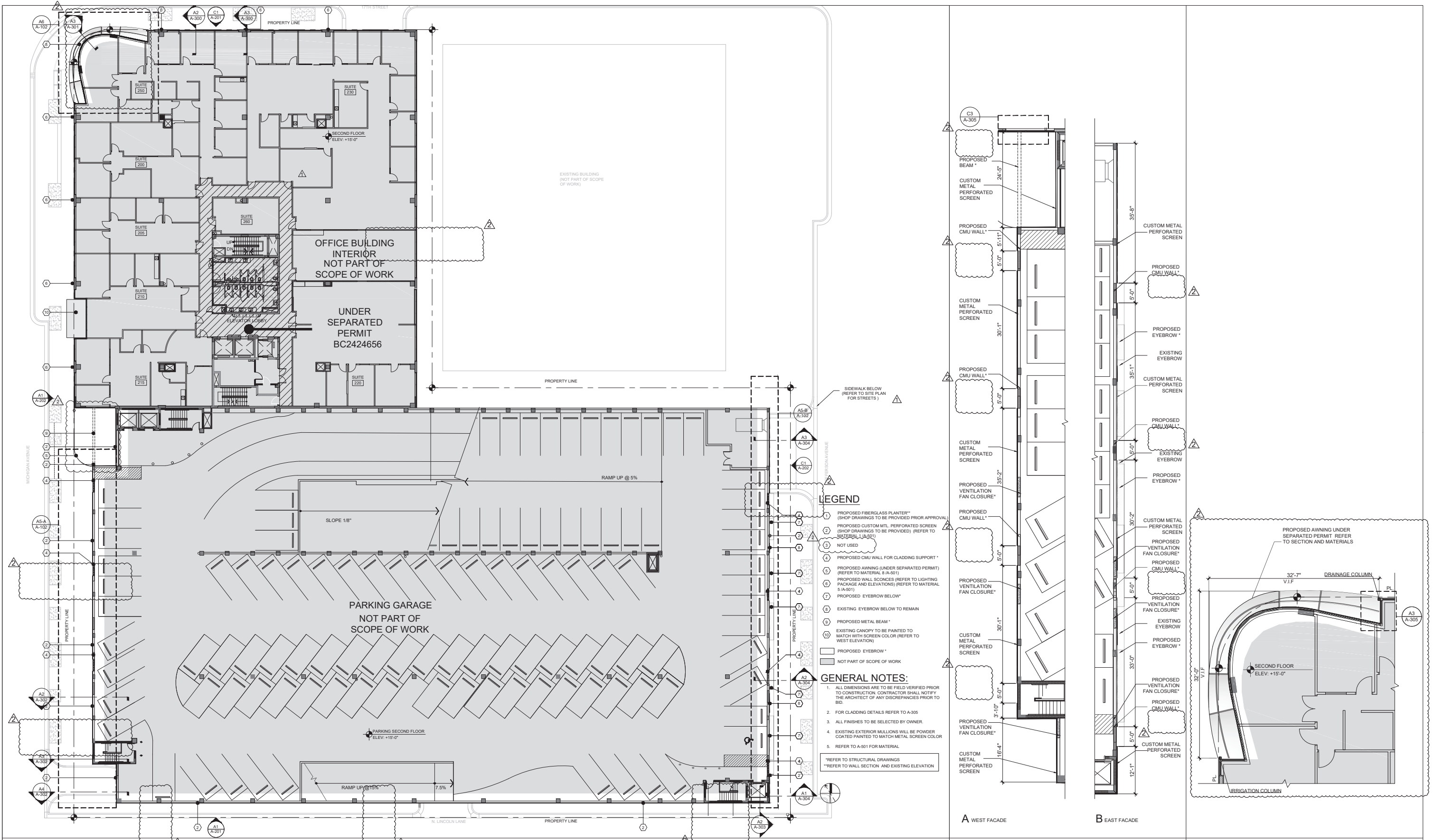


A6 PLUMBING SHAFT (TYP.) SCALE: 1 1/2"=1'-0"

THE LINCOLN BL
1691 MICHIGAN
MIAMI BEACH, FL 33139



DWG. TITLE		PROPOSED GROUND FLOOR PLAN	
SCALE		AS SHOWN	
PROJECT NO.		2023-33	
DATE		07-07-2025	
2	12-30-2025	OWNER REVISION	07-07-2025
1	11-27-2024	CITY COMMENTS	
△	DATE	REVISION	SHEET NUMBER



A1 PROPOSED SECOND FLOOR

SCALE: N.T.S

A5 ENLARGED PARKING BUILDING

SCALE: 3/32"=1'-0"

A6 PROPOSED AWNING

SCALE: 1/8"=1'-0"

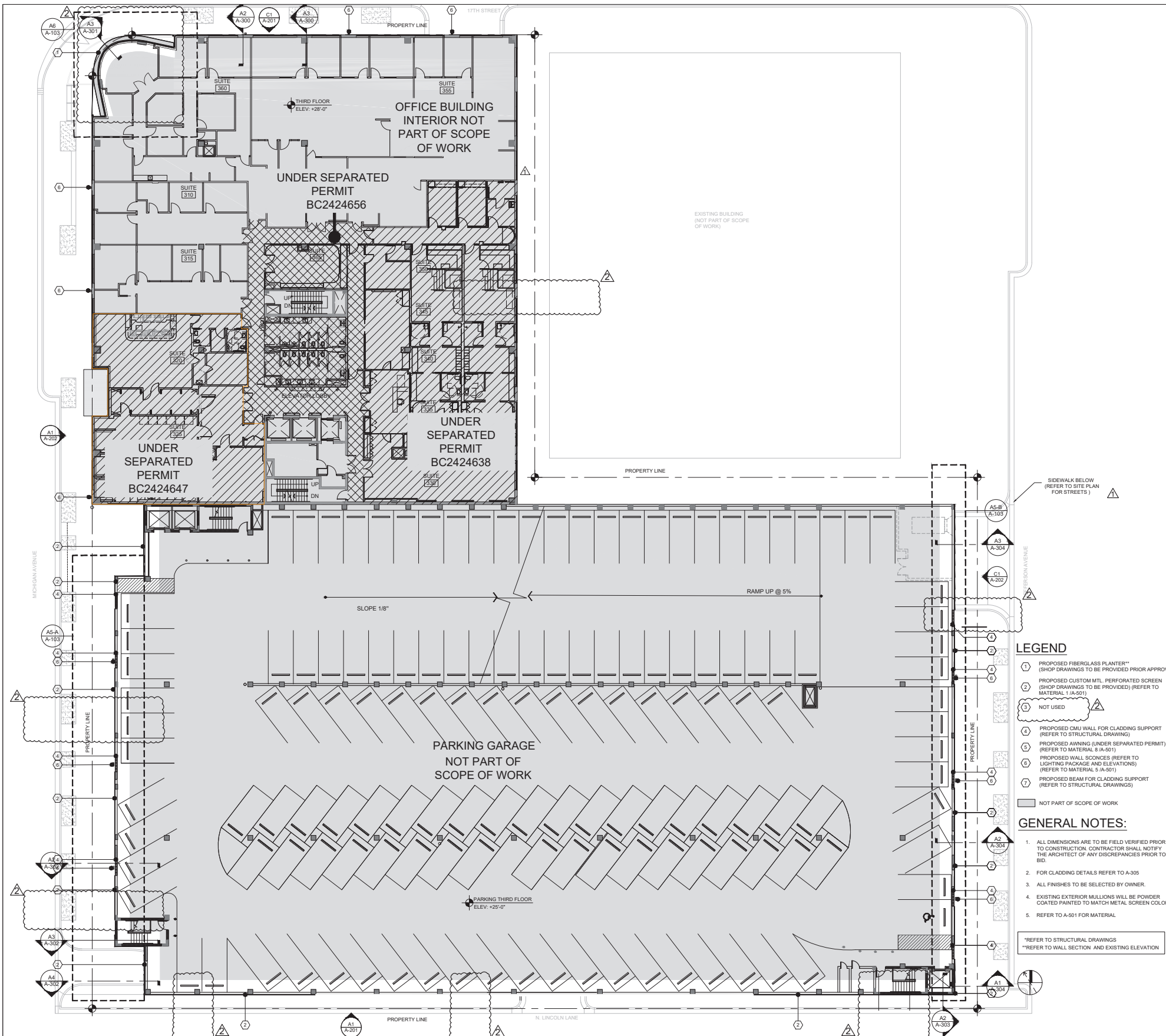
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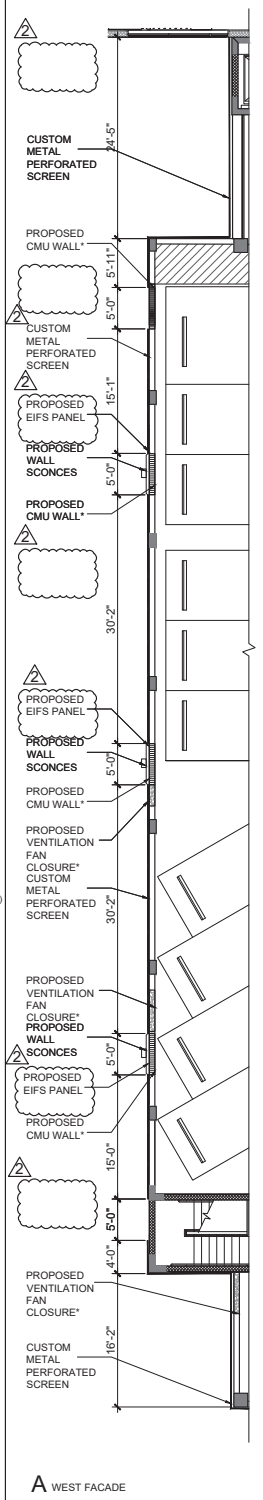


DWG. TITLE	PROPOSED SECOND FLOOR
SCALE	AS SHOWN
PROJECT NO.	2023-33
DATE	07-07-2025
2 12-30-2025	OWNER REVISION
1 11-27-2024	CITY COMMENTS
DATE	REVISION

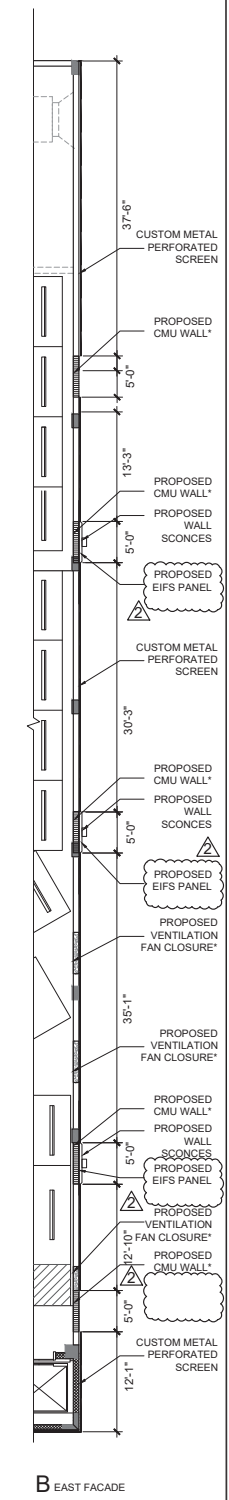
SHEET NUMBER
A-102



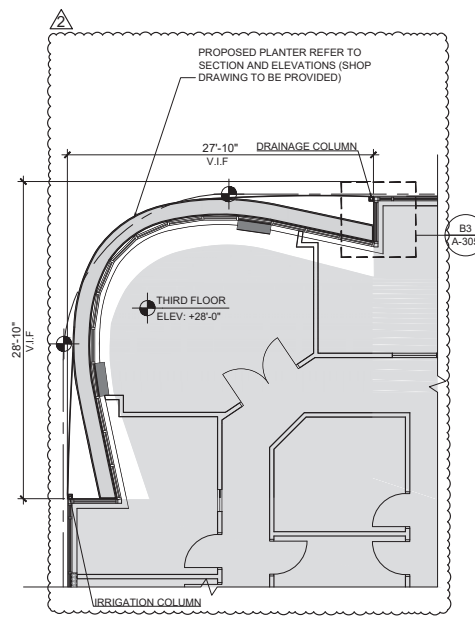
- LEGEND**
- 1 PROPOSED FIBERGLASS PLANTER** (SHOP DRAWINGS TO BE PROVIDED PRIOR APPROVAL)
 - 2 PROPOSED CUSTOM MTL. PERFORATED SCREEN (SHOP DRAWINGS TO BE PROVIDED) (REFER TO MATERIAL 1 (A-501))
 - 3 NOT USED
 - 4 PROPOSED CMU WALL FOR CLADDING SUPPORT (REFER TO STRUCTURAL DRAWING)
 - 5 PROPOSED AWNING (UNDER SEPARATED PERMIT) (REFER TO MATERIAL 8 (A-501))
 - 6 PROPOSED WALL SCUNCES (REFER TO LIGHTING PACKAGE AND ELEVATIONS) (REFER TO MATERIAL 5 (A-501))
 - 7 PROPOSED BEAM FOR CLADDING SUPPORT (REFER TO STRUCTURAL DRAWINGS)
- NOT PART OF SCOPE OF WORK
- GENERAL NOTES:**
1. ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BID.
 2. FOR CLADDING DETAILS REFER TO A-305
 3. ALL FINISHES TO BE SELECTED BY OWNER.
 4. EXISTING EXTERIOR MULLIONS WILL BE POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR.
 5. REFER TO A-501 FOR MATERIAL.
- *REFER TO STRUCTURAL DRAWINGS
**REFER TO WALL SECTION AND EXISTING ELEVATION



A WEST FACADE



B EAST FACADE



A6 ENLARGED PROPOSED PLANTER SCALE: 1/8"=1'-0"

A1 PROPOSED THIRD FLOOR

SCALE: N.T.S

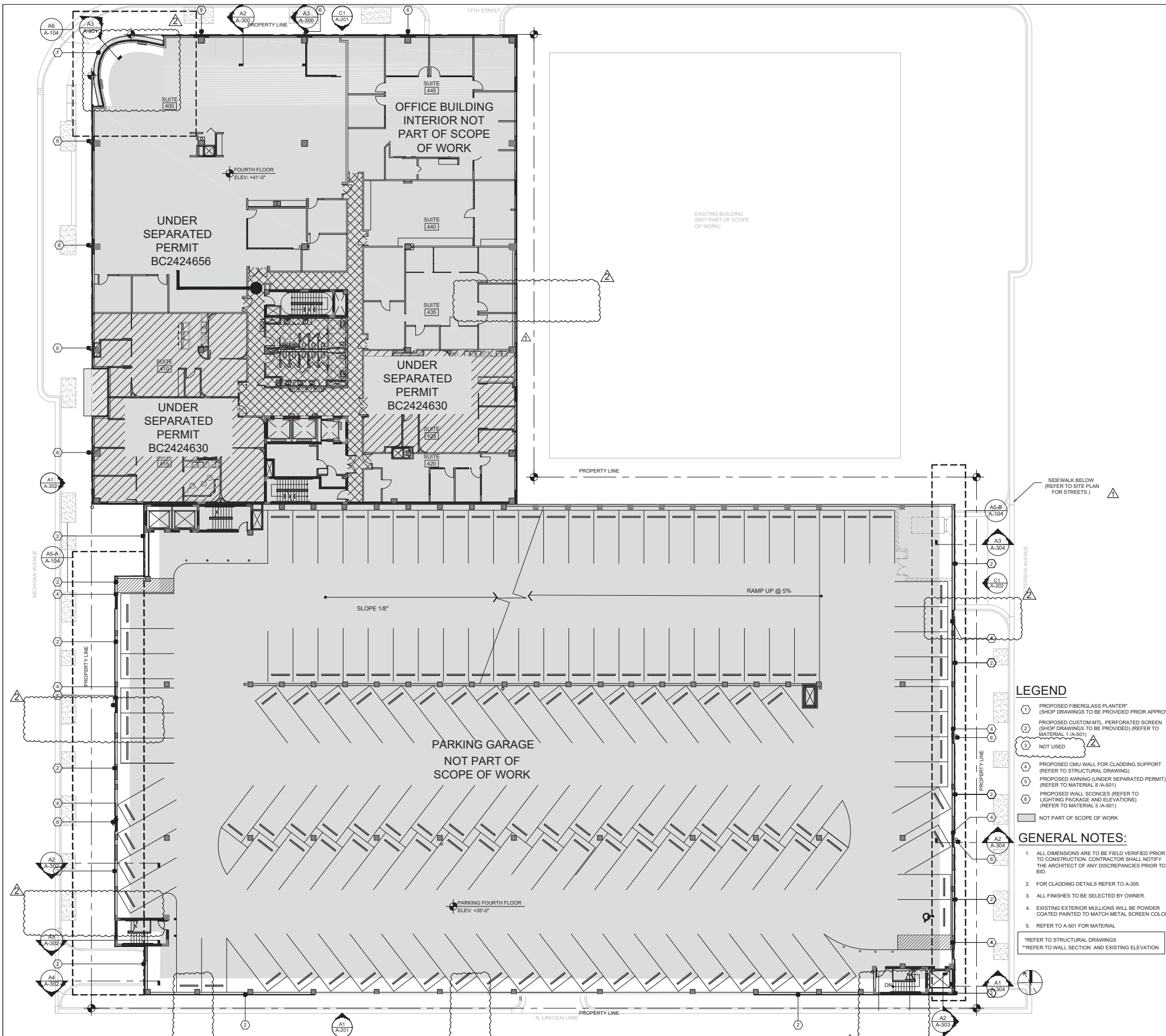
A5 ENLARGED PARKING BUILDING

SCALE: 3/32"=1'-0"

THE LINCOLN BL
1691 MICHIGAN
MIAMI BEACH, FL 33139

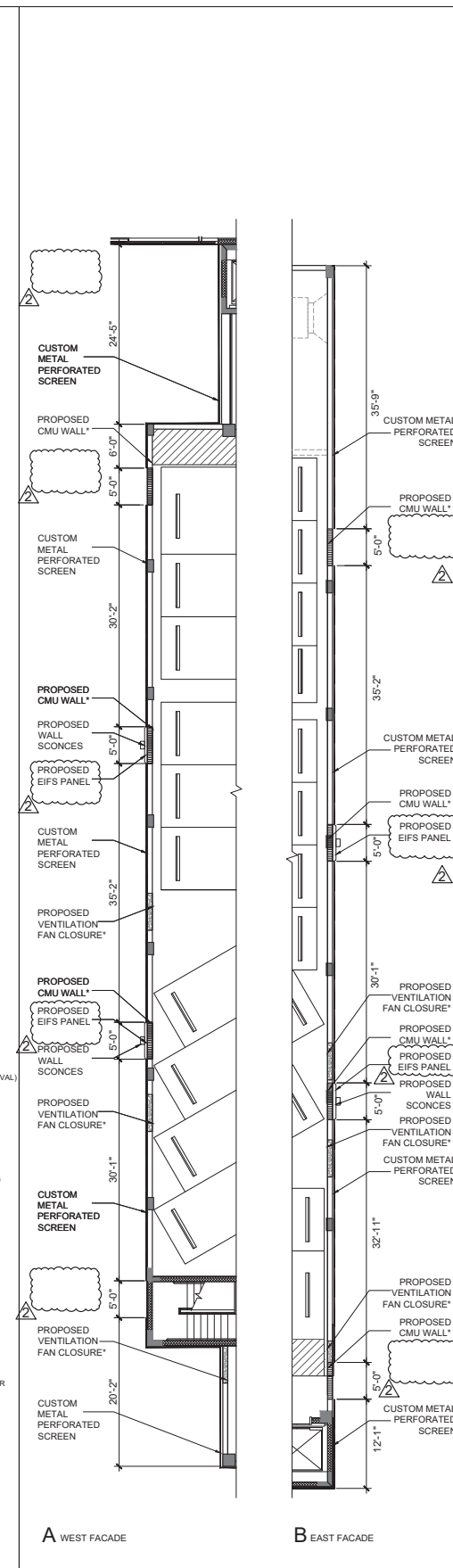


DWG. TITLE		PROPOSED THIRD FLOOR
SCALE		AS SHOWN
PROJECT NO.		2023-33
DATE		07-07-2025
2	12-30-2025	OWNER REVISION
1	11-27-2024	CITY COMMENTS
SHEET NUMBER		A-103



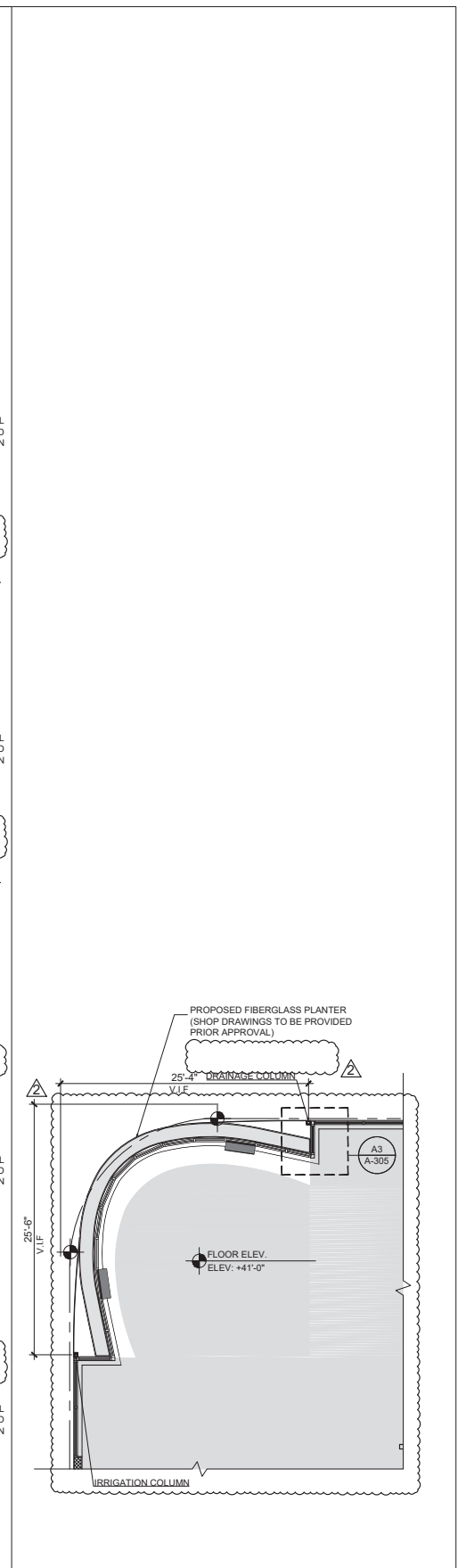
A1 PROPOSED FOURTH FLOOR

SCALE: N.T.S



A5 ENLARGED PARKING BUILDING

SCALE: 3/32"=1'-0"



A6 ENLARGED AWNING

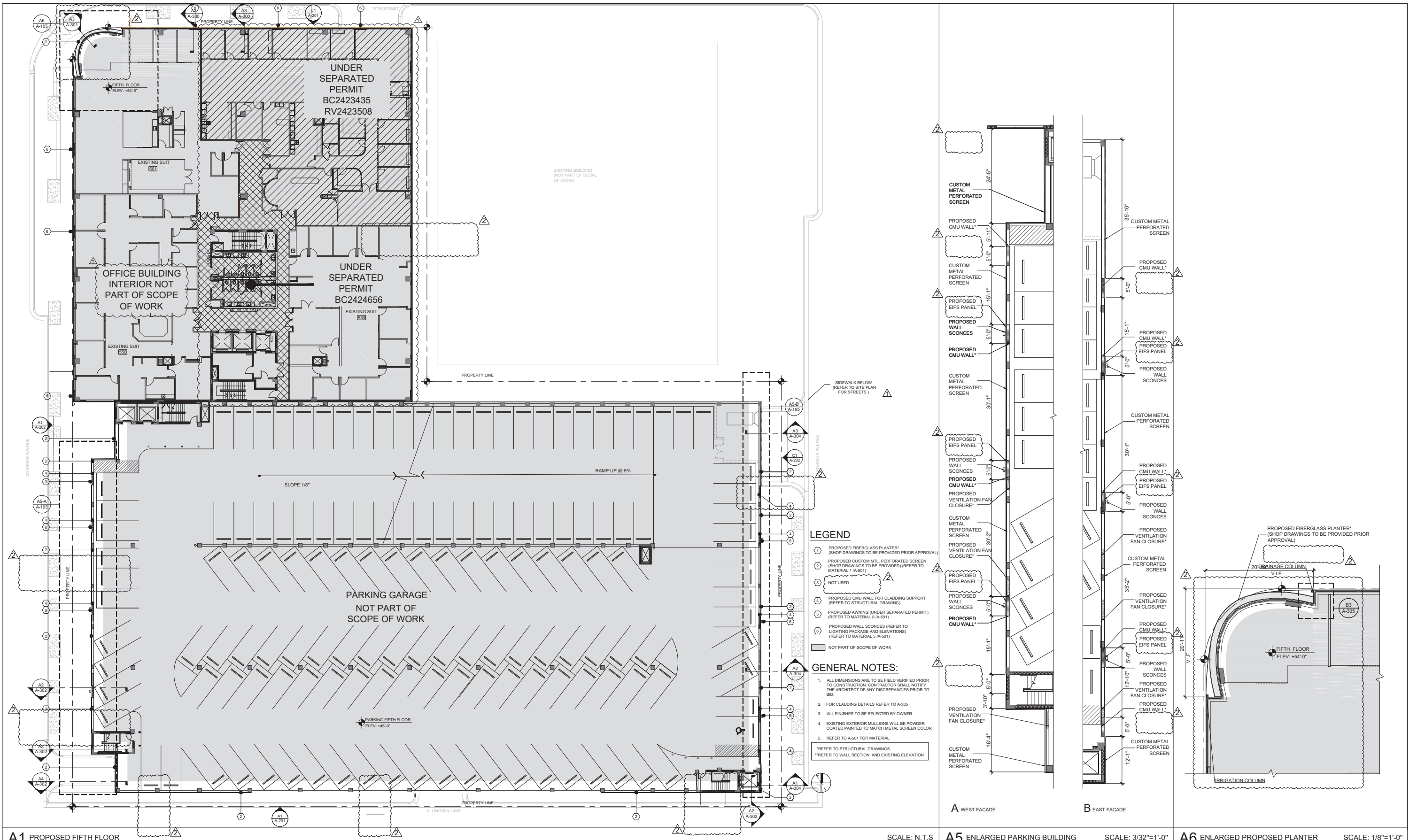
SCALE: 1/8"=1'-0"

- LEGEND**
- 1 PROPOSED FIBERGLASS PLANTER* (SHOP DRAWINGS TO BE PROVIDED PRIOR APPROVAL)
 - 2 PROPOSED CUSTOM MTL. PERFORATED SCREEN (SHOP DRAWINGS TO BE PROVIDED) (REFER TO MATERIAL 1 (A-501))
 - 3 NOT USED
 - 4 PROPOSED CMU WALL FOR CLADDING SUPPORT (REFER TO STRUCTURAL DRAWING)
 - 5 PROPOSED AWNING (UNDER SEPARATED PERMIT) (REFER TO MATERIAL 8 (A-501))
 - 6 PROPOSED WALL SCONCES (REFER TO LIGHTING PACKAGE AND ELEVATIONS) (REFER TO MATERIAL 5 (A-501))
 - 7 NOT PART OF SCOPE OF WORK
- GENERAL NOTES:**
1. ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BID.
 2. FOR CLADDING DETAILS REFER TO A-305
 3. ALL FINISHES TO BE SELECTED BY OWNER
 4. EXISTING EXTERIOR MULLIONS WILL BE POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR
 5. REFER TO A-501 FOR MATERIAL
- *REFER TO STRUCTURAL DRAWINGS
**REFER TO WALL SECTION AND EXISTING ELEVATION

THE LINCOLN BL
1691 MICHIGAN
MIAMI BEACH, FL 33139



DWG. TITLE	PROPOSED FOURTH FLOOR PLAN
SCALE	AS SHOWN
PROJECT NO.	2023-33
DATE	07-07-2025
2 12-30-2025	OWNER REVISION
1 11-27-2024	CITY COMMENTS
DATE	REVISION



- LEGEND**
- 1 PROPOSED FIBERGLASS PLANTER* (SHOP DRAWINGS TO BE PROVIDED PRIOR APPROVAL)
 - 2 PROPOSED CUSTOM MTL. PERFORATED SCREEN (SHOP DRAWINGS TO BE PROVIDED) (REFER TO MATERIAL 1 (A-501))
 - 3 NOT USED
 - 4 PROPOSED CMU WALL FOR CLADDING SUPPORT (REFER TO STRUCTURAL DRAWING)
 - 5 PROPOSED AWNING (UNDER SEPARATED PERMIT) (REFER TO MATERIAL 8 (A-501))
 - 6 PROPOSED WALL SCONCES (REFER TO LIGHTING PACKAGE AND ELEVATIONS) (REFER TO MATERIAL 5 (A-501))
 - NOT PART OF SCOPE OF WORK
- GENERAL NOTES:**
1. ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BID.
 2. FOR CLADDING DETAILS REFER TO A-305
 3. ALL FINISHES TO BE SELECTED BY OWNER.
 4. EXISTING EXTERIOR MULLIONS WILL BE POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR.
 5. REFER TO A-501 FOR MATERIAL.
- *REFER TO STRUCTURAL DRAWINGS
**REFER TO WALL SECTION AND EXISTING ELEVATION

A1 PROPOSED FIFTH FLOOR

SCALE: N.T.S

A5 ENLARGED PARKING BUILDING

SCALE: 3/32"=1'-0"

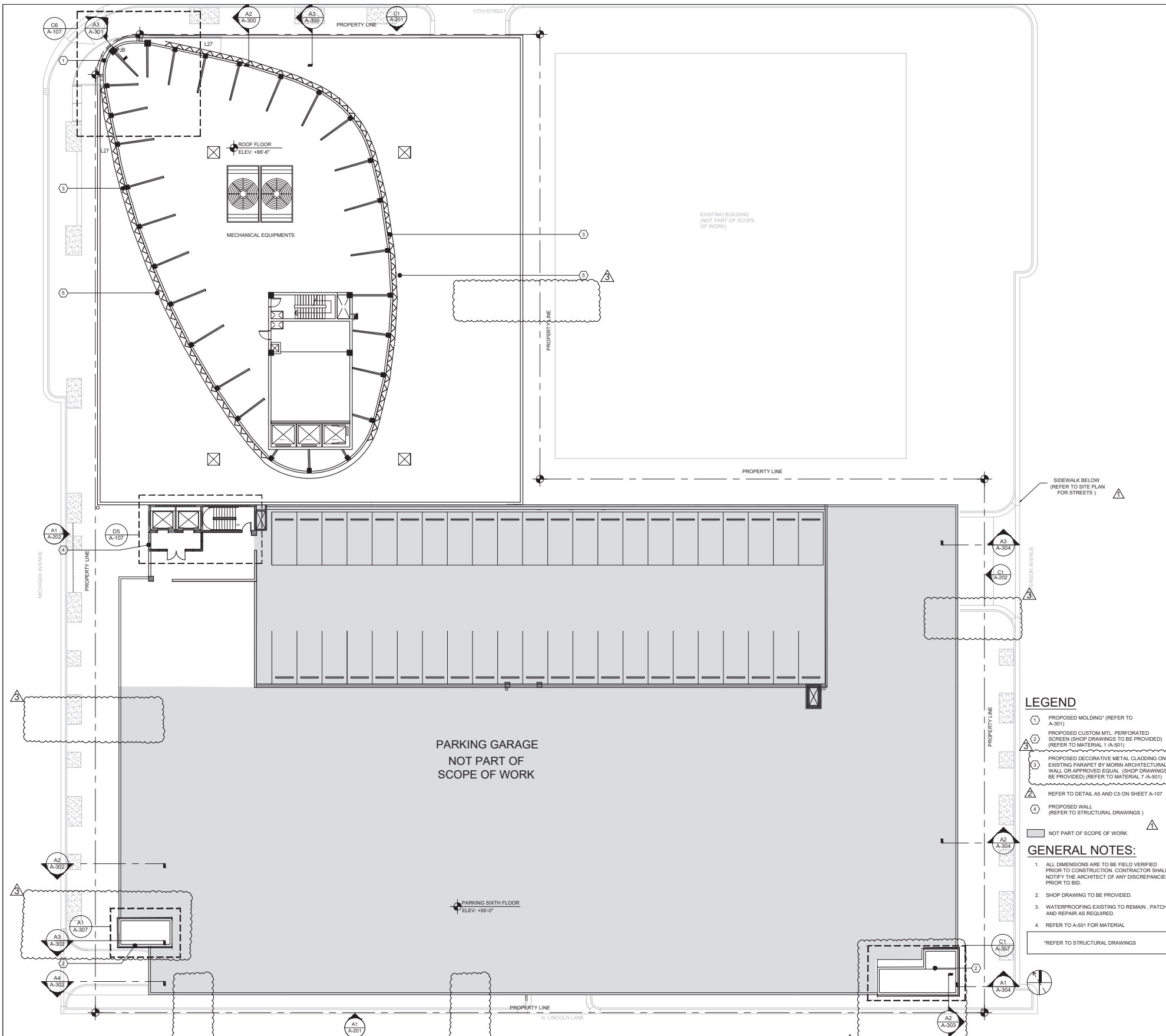
A6 ENLARGED PROPOSED PLANTER

SCALE: 1/8"=1'-0"

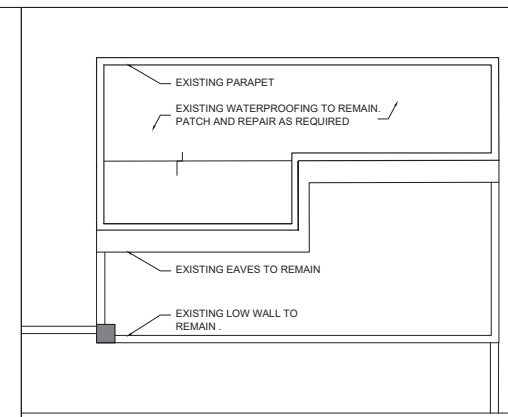
THE LINCOLN BL
1691 MICHIGAN
MIAMI BEACH, FL 33139



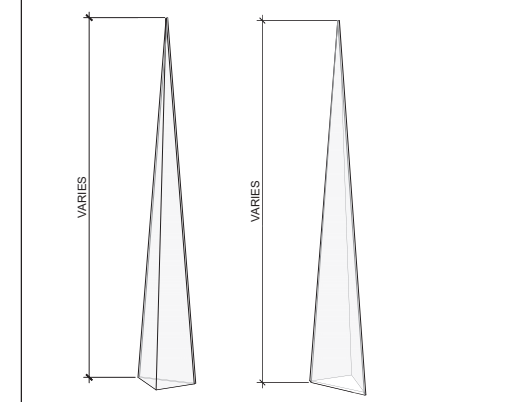
DWG. TITLE		PROPOSED FIFTH FLOOR PLAN
SCALE		AS SHOWN
PROJECT NO.		2023-33
DATE		07-07-2025
2	12-30-2025	OWNER REVISION
1	11-27-2024	CITY COMMENTS
DATE		REVISION
		SHEET NUMBER
		A-105



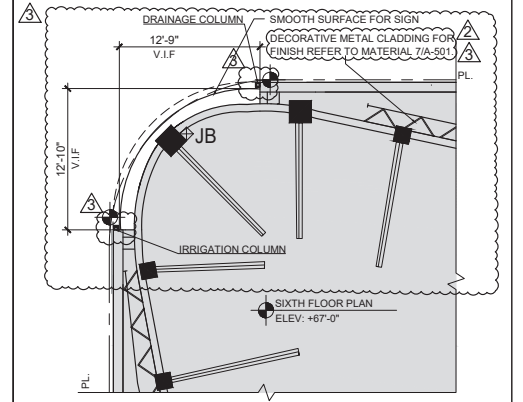
A1 PROPOSED SEVENTH FLOOR SCALE: N.T.S.



D5 STAIR AND ELEVATOR ROOF SCALE: 1/8" = 1'-0"

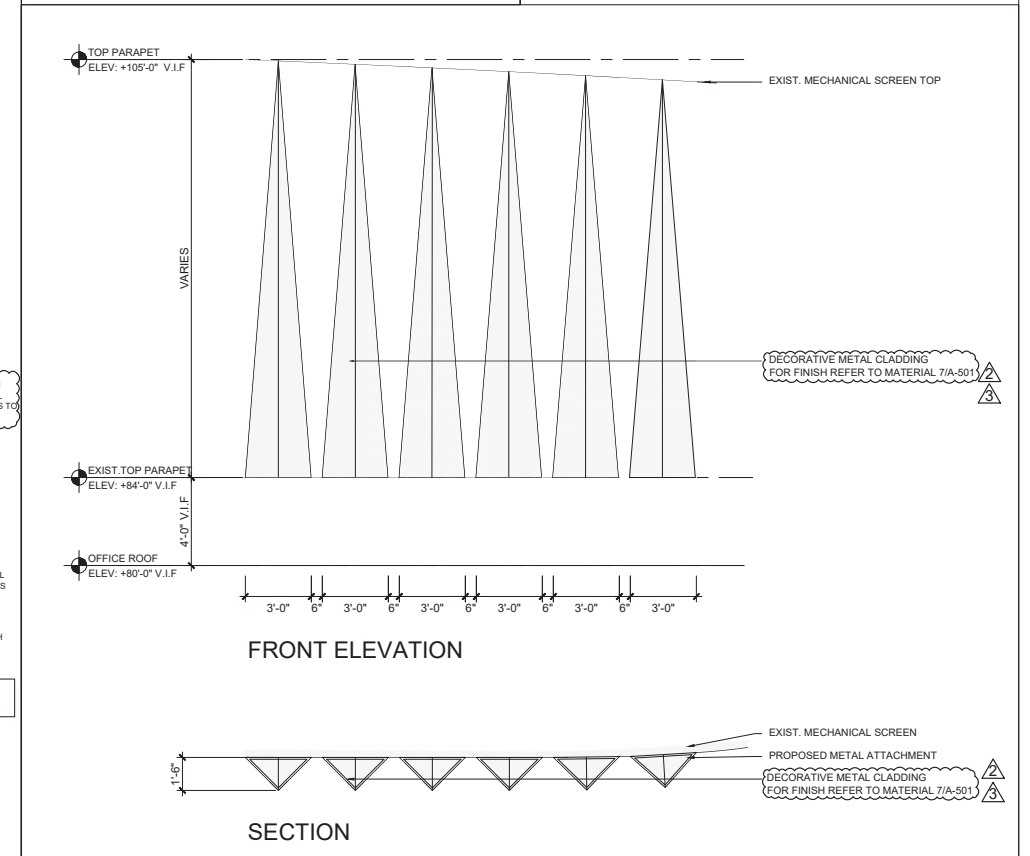


C5 VOLUMETRIC VIEW SCALE: N.T.S.



C6 ENLARGED PROPOSED PLANTER SCALE: 1/8" = 1'-0"

- LEGEND**
- ① PROPOSED MOLDING* (REFER TO A-301)
 - ② PROPOSED CUSTOM MTL. PERFORATED SCREEN (SHOP DRAWINGS TO BE PROVIDED) (REFER TO MATERIAL 1 (A-501))
 - ③ PROPOSED DECORATIVE METAL CLADDING ON EXISTING PARAPET BY MORIN ARCHITECTURAL WALL OR APPROVED EQUAL (SHOP DRAWINGS TO BE PROVIDED) (REFER TO MATERIAL 7 (A-501))
 - ⚠ REFER TO DETAIL AS AND CS ON SHEET A-107
 - ④ PROPOSED WALL (REFER TO STRUCTURAL DRAWINGS)
 - ▭ NOT PART OF SCOPE OF WORK
- GENERAL NOTES:**
1. ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BID.
 2. SHOP DRAWING TO BE PROVIDED.
 3. WATERPROOFING EXISTING TO REMAIN. PATCH AND REPAIR AS REQUIRED.
 4. REFER TO A-501 FOR MATERIAL.
- *REFER TO STRUCTURAL DRAWINGS

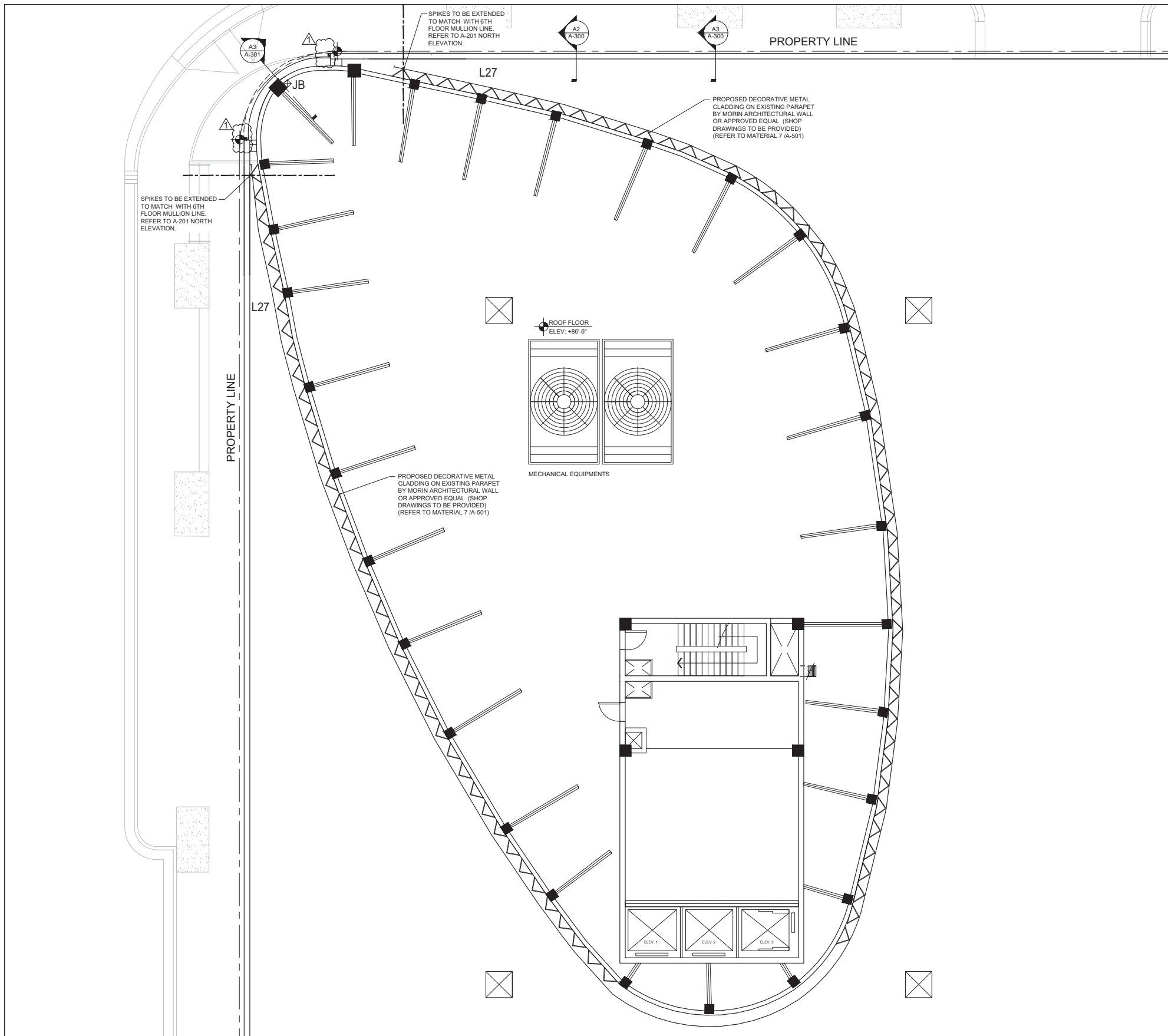


A5 DETAILS SCALE: 1/4" = 1'-0"

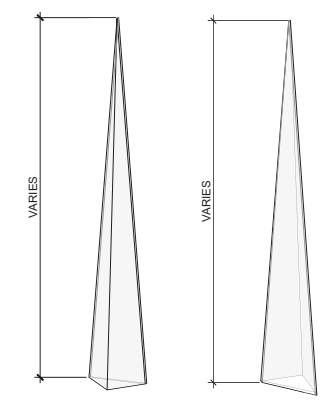
THE LINCOLN BL
1691 MICHIGAN
MIAMI BEACH, FL 33139



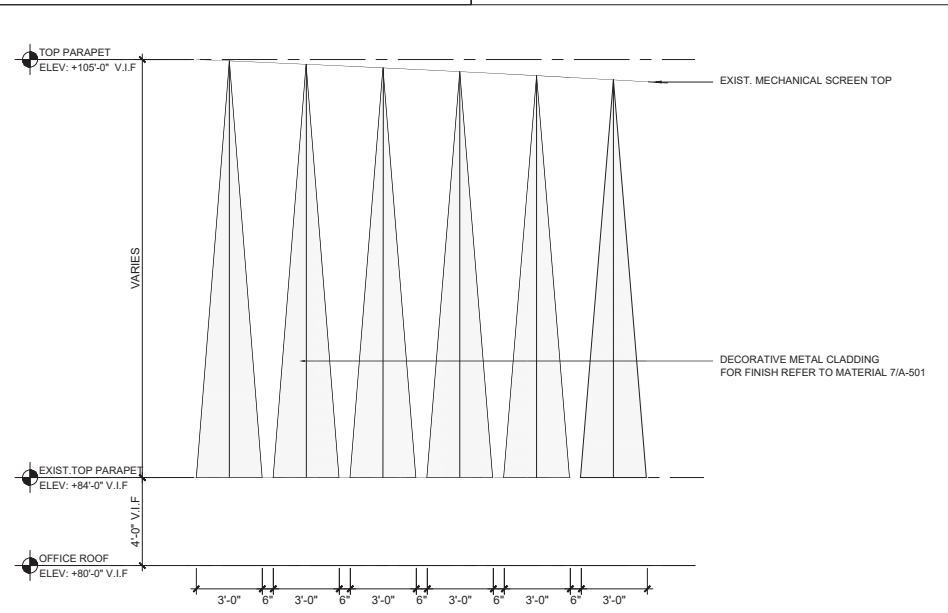
DWG. TITLE		PROPOSED SEVENTH FLOOR PLAN
SCALE		AS SHOWN
PROJECT NO.		2023-33
DATE		07-07-2025
3	12-30-2025	OWNER REVISION
2	03-26-2025	CITY COMMENTS
1	11-27-2024	CITY COMMENTS
△	DATE	REVISION



D5 NOT USED SCALE:

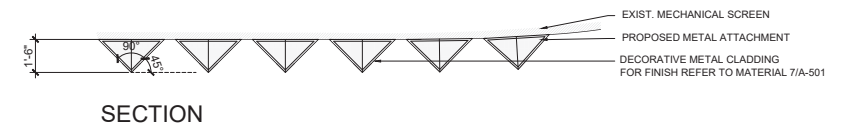


C5 VOLUMETRIC VIEW SCALE: N.T.S.



C6 NOT USED SCALE:

FRONT ELEVATION



SECTION

A1 ENLARGED PROPOSED SEVENTH FLOOR

SCALE: 1/8" = 1'-0"

A5 DETAILS

SCALE: 1/4" = 1'-0"

THE LINCOLN BL
1691 MICHIGAN
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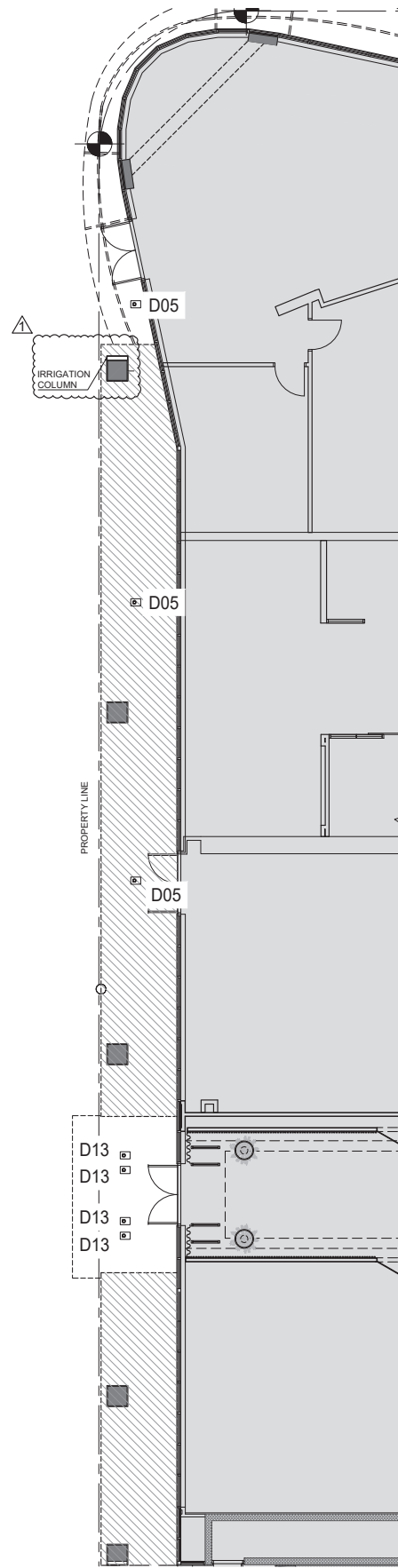


DWG. TITLE	ENLARGED PROPOSED SEVENTH FLOOR PLAN
SCALE	AS SHOWN
PROJECT NO.	2023-33
DATE	
DATE	12-30-2025
REVISION	OWNER REVISION
SHEET NUMBER	107-07-2025
	A-107.1

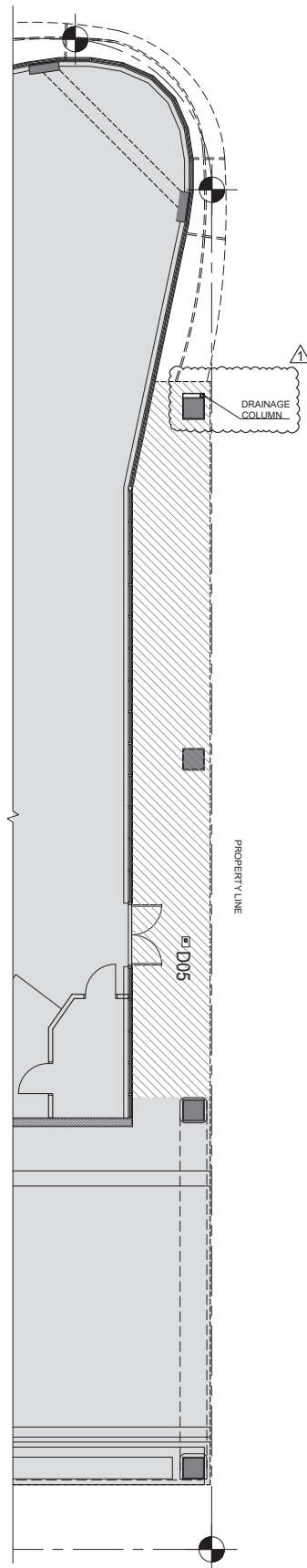
CONSULTANT

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DATE REVISION



A1 WEST EXTERIOR GROUND CORRIDOR RCP



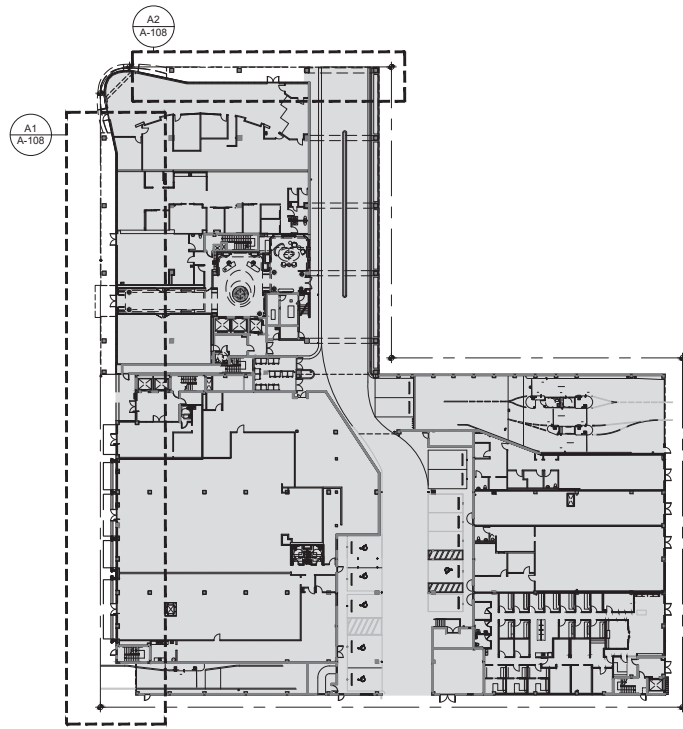
A2 NORTH EXTERIOR GROUND CORRIDOR RCP

LEGEND

EXISTING CEILING TO REAMING PAINT, PATCH AND REPAIR AS REQUIRED (HEIGHT EXISTING TO REMAIN)

1. ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BID.
2. ALL EXISTING MATERIALS AND FINISHES TO REMAIN MUST BE PROTECTED AND PATCHED/REPAIRED AS REQUIRED PRIOR TO COMPLETION OF WORK
3. REFER TO LIGHTING PACKAGE FOR LIGHTING DETAILS
4. REFER TO A-501 FOR MATERIAL

LIGHTING SCHEDULE			
FIXTURE TYPE	MANUFACTURER	INPUT / LIGHT SOURCE	DESCRIPTION
D-05	VISUAL COMFORT & CO	120-277V, 0-10V DIMMING, / 120V 12W LED 20° 3000K-1800K	RECESSED, ADJUSTABLE, ROUNDED, WARM DIM, DOWNLIGHT, FLANGELESS TRIM, 20° BEAM ANGLE, 90 CRI, 0 TO 45° TILT AND 361° ROTATION, INTEGRATED DRIVER, 0-10V DIMMING
D-13	HEVI LITE	120-277V / 120V 10.8W LED 25° 2700K 530LM CRI 92	SURFACE MOUNTED, FIXED, ROUNDED, DOWNLIGHT, FOR WET/ DAMP/ DRY LOCATIONS, ALUMINUM PARTS, LAMP UP TO 50W LAMP, WITH HEXCEL LOUVER, LAMP TO HAVE 25° BEAM ANGLE, DIMMABLE TO 20%



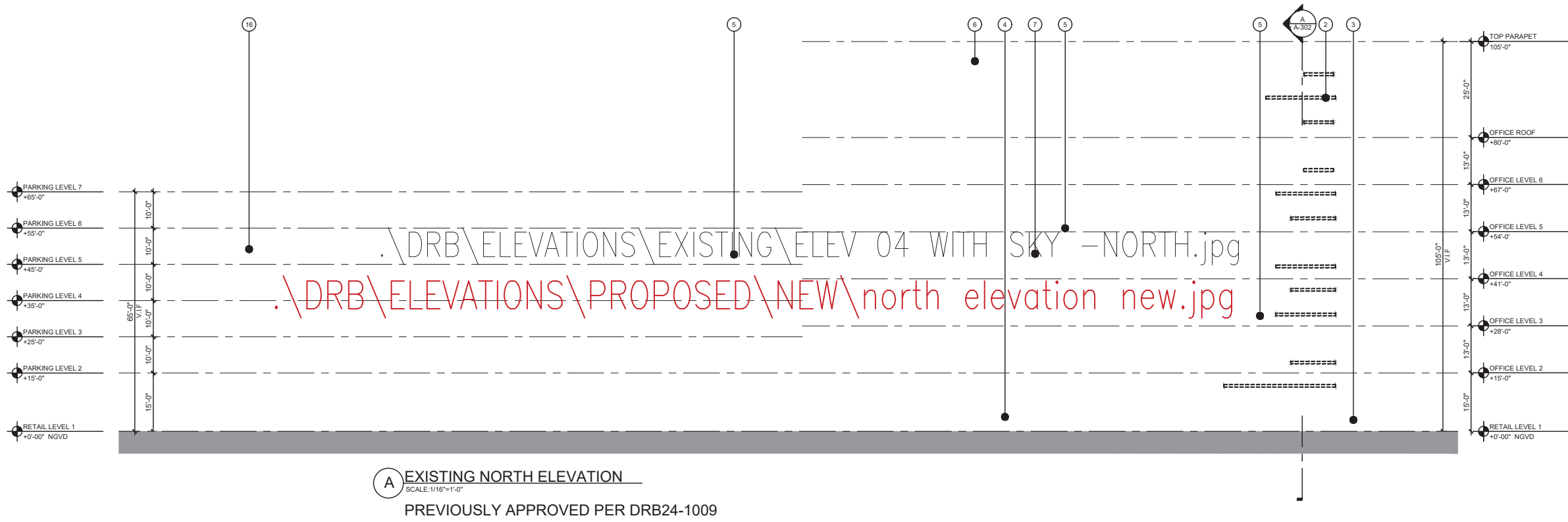
KEY PLAN
SCALE: N.T.S.

THE LINCOLN BL

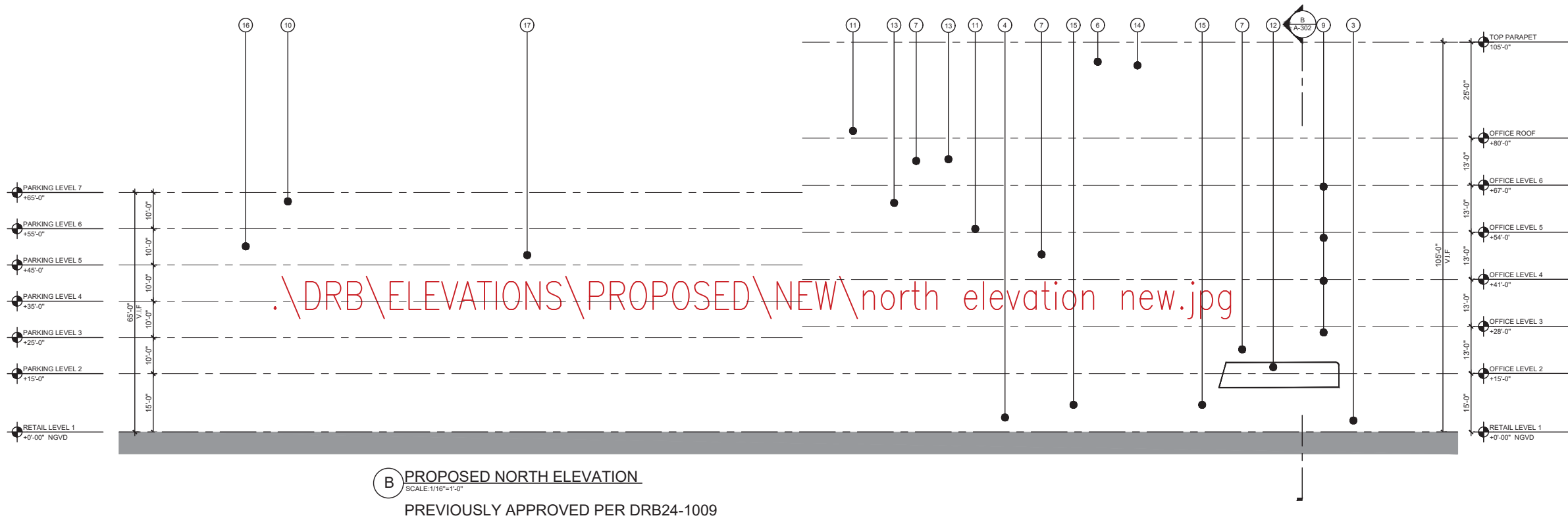
1691 MICHIGAN
MIAMI BEACH, FL 33139

BGArchitects

	DWG. TITLE	PROPOSED EXTERIOR CORRIDOR RCP
	SCALE	N.T.S.
	PROJECT NO.	2023-33
	DATE	07-07-2025
1	12-30-2025	OWNER REVISION
△	DATE	REVISION
	SHEET NUMBER	A-108



A EXISTING NORTH ELEVATION
 SCALE: 1/16"=1'-0"
 PREVIOUSLY APPROVED PER DRB24-1009



B PROPOSED NORTH ELEVATION
 SCALE: 1/16"=1'-0"
 PREVIOUSLY APPROVED PER DRB24-1009

KEY NOTES

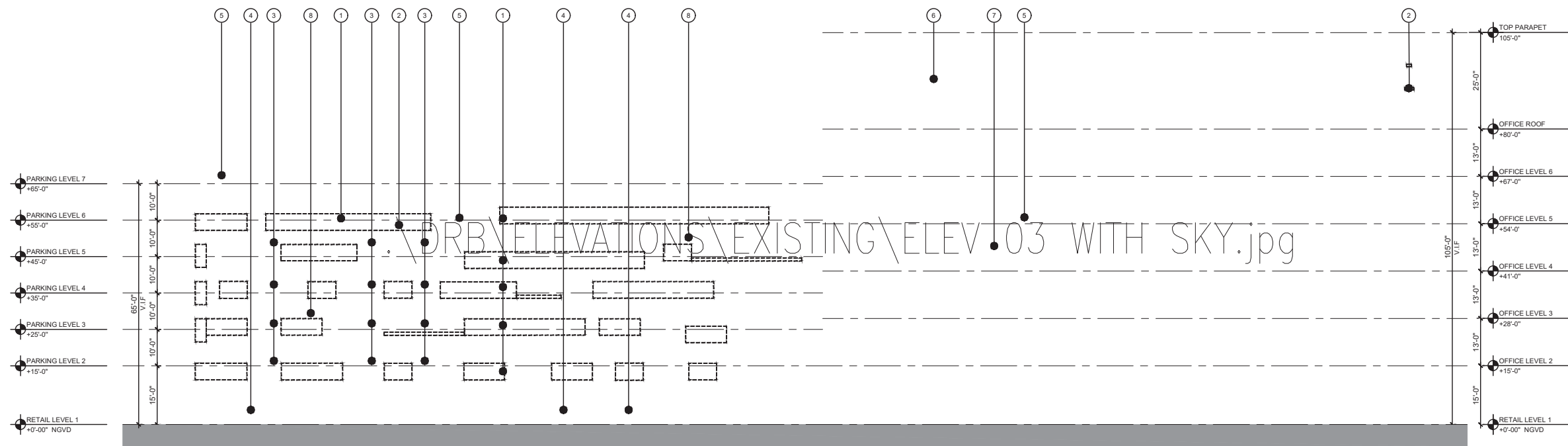
- 1 EXISTING CONCRETE PLANTER
- 2 EXISTING EYEBROW TO BE DEMOLISHED
- 3 EXISTING RAILING TO REMAIN AND POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR
- 4 EXISTING ALUMINUM STOREFRONT TO REMAIN. EXISTING MULLIONS WILL BE POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR
- 5 EXISTING SMOOTH TEXTURE STUCCO FINISH
- 6 EXISTING PARAPET (MECHANICAL EQUIP. SCREEN)
- 7 EXISTING WINDOWS TO REMAIN. EXISTING MULLIONS WILL BE POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR
- 8 EXISTING ALUMINUM SCREEN TO BE REMOVED (TYP)
- 9 PROPOSED FIBERGLASS PLANTER TO MATCH WITH LIMESTONE VENEER COLOR (REFER TO A-201 FOR NEW MATERIAL)
- 10 PROPOSED CUSTOM MTL. PERFORATED SCREEN
- 11 PROPOSED LIMESTONE VENEER (REFER TO A-201 FOR NEW MATERIAL)
- 12 PROPOSED AWNING (UNDER SEPARATE PERMIT)
- 13 PROPOSED WALL SCUNCES
- 14 PROPOSED DECORATIVE METAL CLADDING ON EXISTING PARAPET
- 15 PROPOSED CHAMPAGNE - ACID WASH STUCCO FINISH
- 16 EXISTING "PARKING" SIGN TO REMAIN
- 17 PAINT TO MATCH WITH LIMESTONE VENEER COLOR (REFER TO A-201 FOR NEW MATERIAL)
- EYEBROWS / PLANTERS TO BE DEMOLISHED

THE LINCOLN BL
 1691 MICHIGAN
 MIAMI BEACH, FL 33139

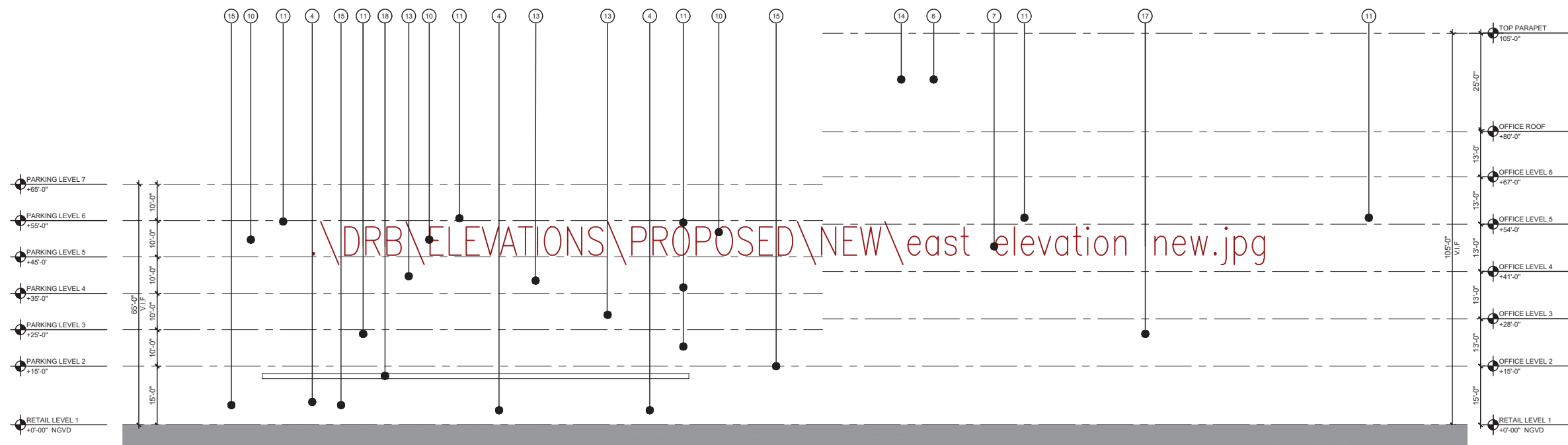


DWG. TITLE		APPROVED NORTH ELEVATION
SCALE		1/16"=1'-0"
PROJECT NO.		2023-33
DATE		08/20/2024
1	12-30-2025	OWNER REVISION
△	DATE	REVISION

SHEET NUMBER
DRB-201



A EXISTING EAST ELEVATION
 SCALE: 1/16"=1'-0"
 PREVIOUSLY APPROVED PER DRB24-1009



B PROPOSED EAST ELEVATION
 SCALE: 1/16"=1'-0"
 PREVIOUSLY APPROVED PER DRB24-1009

KEY NOTES

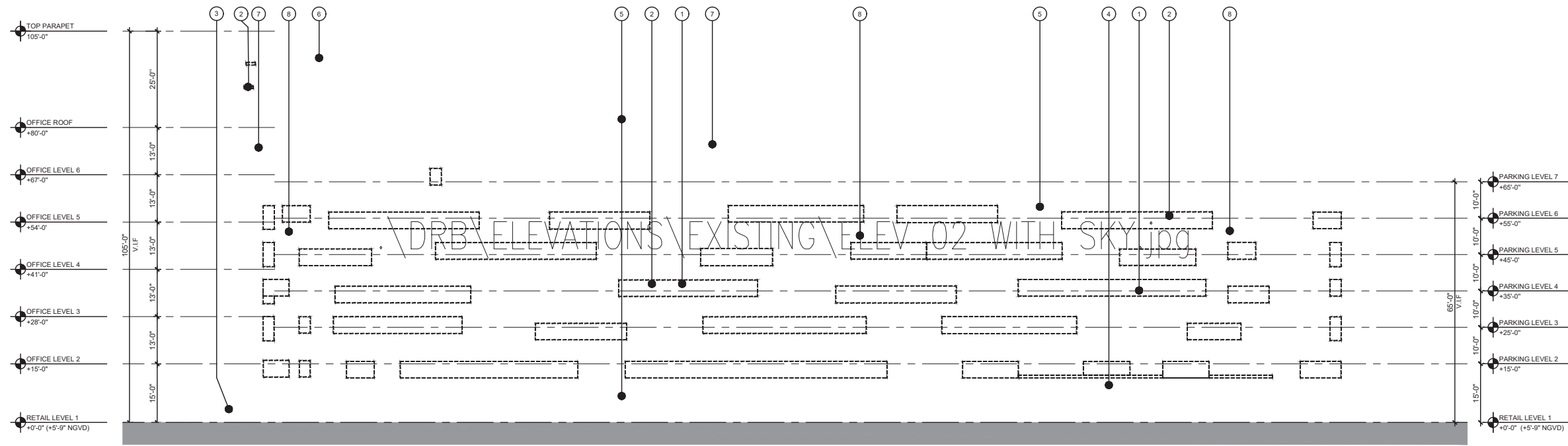
- 1 EXISTING CONCRETE PLANTER TO BE DEMILISHED
- 2 EXISTING CONCRETE EYEBROW
- 3 EXISTING VENTILATION FAN SCREEN TO BE RELOCATED
- 4 EXISTING ALUMINUM STOREFRONT TO REMAIN. EXISTING MULLIONS WILL BE POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR
- 5 EXISTING SMOOTH TEXTURE STUCCO FINISH
- 6 EXISTING PARAPET (MECHANICAL EQUIP. SCREEN)
- 7 EXISTING WINDOWS TO REMAIN. EXISTING MULLIONS WILL BE POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR
- 8 EXISTING ALUMINUM SCREEN TO BE REMOVED (TYP.)
- 9 PROPOSED FIBERGLASS PLANTER TO MATCH WITH LIMESTONE VENEER COLOR (REFER TO A-202 FOR NEW MATERIAL)
- 10 PROPOSED CUSTOM MTL. PERFORATED SCREEN
- 11 PROPOSED LIMESTONE VENEER (REFER TO A-202 FOR NEW MATERIAL)
- 12 PROPOSED AWNING (UNDER SEPARATE PERMIT)
- 13 PROPOSED WALL SCUNCES
- 14 PROPOSED DECORATIVE METAL CLADDING ON EXISTING PARAPET
- 15 PROPOSED CHAMPAGNE - ACID WASH STUCCO FINISH
- 16 PROPOSED STACKED STONE PANEL (BY OWNER)
- 17 PAINT TO MATCH WITH LIMESTONE VENEER COLOR (REFER TO A-202 FOR NEW MATERIAL)
- 18 METAL CLADDING FINISH ON EXIST/PROPOSED EYEBROW

▭ EYEBROWS / PLANTERS TO BE DEMILISHED

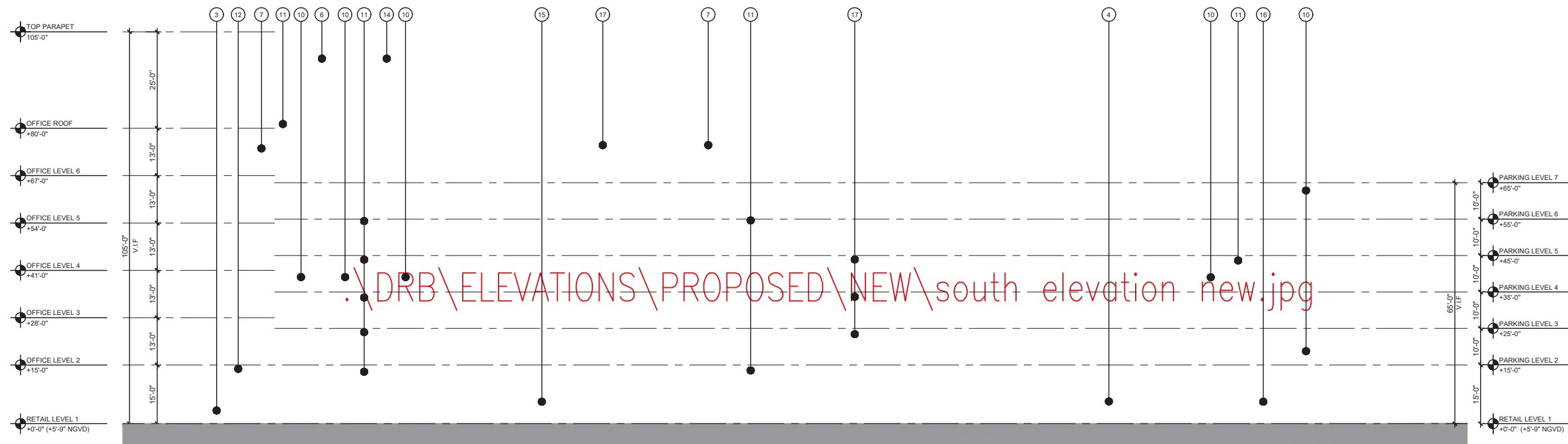
THE LINCOLN BL
 1691 MICHIGAN
 MIAMI BEACH, FL 33139



DWG. TITLE	APPROVED EAST ELEVATION
SCALE	1/16"=1'-0"
PROJECT NO.	2023-33
DATE	08-09-2024
SHEET NUMBER	DRB-202
1 12-30-2025	OWNER REVISION
△ DATE	REVISION



A EXISTING SOUTH ELEVATION
SCALE: 1/16"=1'-0"
PREVIOUSLY APPROVED PER DRB24-1009



B PROPOSED SOUTH ELEVATION
SCALE: 1/16"=1'-0"
PREVIOUSLY APPROVED PER DRB24-1009

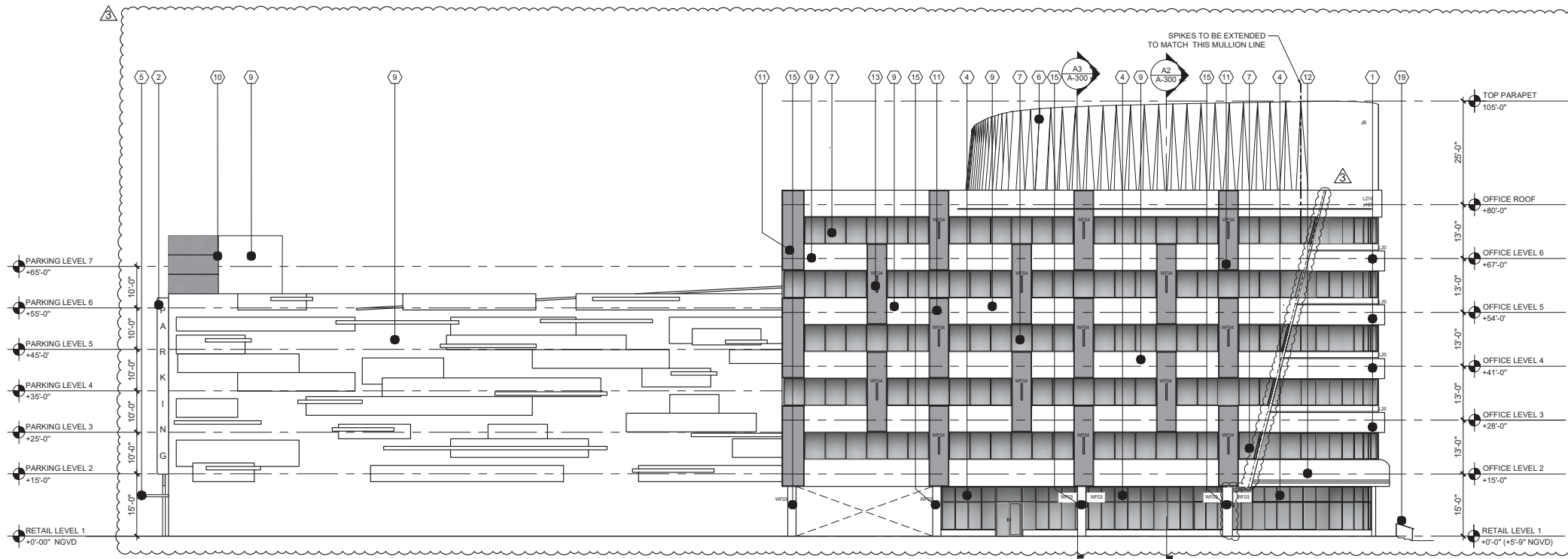
KEY NOTES

- 1 EXISTING CONCRETE PLANTER TO BE DEMILISHED
 - 2 EXISTING CONCRETE EYEBROW
 - 3 EXISTING RAILING TO REMAIN AND POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR
 - 4 EXISTING ALUMINUM STOREFRONT TO REMAIN. EXISTING MULLIONS WILL BE POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR
 - 5 EXISTING SMOOTH TEXTURE STUCCO FINISH
 - 6 EXISTING PARAPET (MECHANICAL EQUIP. SCREEN)
 - 7 EXISTING WINDOWS TO REMAIN. EXISTING MULLIONS WILL BE POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR
 - 8 EXISTING ALUMINUM SCREEN TO BE REMOVED (TYP.)
 - 9 PROPOSED FIBERGLASS PLANTER TO MATCH WITH LIMESTONE VENEER COLOR (REFER TO A-201 FOR NEW MATERIAL)
 - 10 PROPOSED CUSTOM MTL. PERFORATED SCREEN
 - 11 PROPOSED LIMESTONE VENEER (REFER TO A-201 FOR NEW MATERIAL)
 - 12 PROPOSED AWNING (UNDER SEPARATE PERMIT)
 - 13 PROPOSED WALL SCONCES
 - 14 PROPOSED DECORATIVE METAL CLADDING ON EXISTING PARAPET
 - 15 PROPOSED CHAMPAGNE - ACID WASH STUCCO FINISH
 - 16 PROPOSED TRAVERTINE MOSAIC PANEL / CAVE STONE MOSAIC (REFER TO A-201 FOR NEW MATERIAL)
 - 17 PAINT TO MATCH WITH LIMESTONE VENEER COLOR (REFER TO A-201 FOR NEW MATERIAL)
- EYEBROWS / PLANTERS TO BE DEMILISHED

THE LINCOLN BL
1691 MICHIGAN
MIAMI BEACH, FL 33139

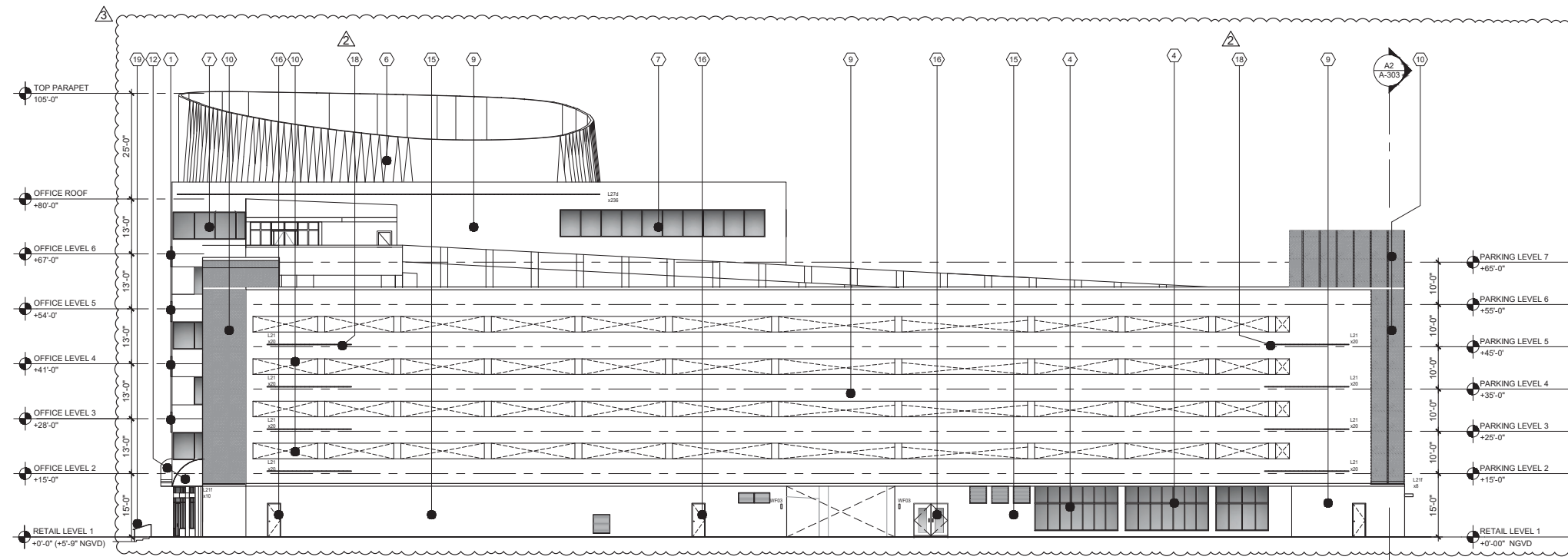


DWG. TITLE	APPROVED SOUTH ELEVATION
SCALE	1/16"=1'-0"
PROJECT NO.	2023-33
DATE	08-09-2024
SHEET NUMBER	DRB-203
DATE	REVISION
1 12-30-2025	OWNER REVISION



- ### KEY NOTES
- 1 PROPOSED FIBERGLASS PLANTER (SHOP DRAWING TO BE PROVIDED PRIOR APPROVAL)
 - 2 EXISTING PARKING SIGN TO REMAIN
 - 3 METAL PANEL COVER TO MATCH THE STUCCO COLOR
 - 4 EXISTING ALUMINUM STOREFRONT TO REMAIN. EXISTING MULLIONS WILL BE POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR (REFER TO MATERIAL 9 (A-501))
 - 5 METAL CLADDING FINISH ON EXIST/PROPOSED EYEBROW OR CANOPY TO MATCH WITH SCREEN COLOR
 - 6 PROPOSED DECORATIVE METAL CLADDING ON EXISTING PARAPET BY MORIN ARCHITECTURAL WALL OR APPROVED EQUAL. (SHOP DRAWINGS TO BE PROVIDED) (REFER TO MATERIAL 7 (A-501))
 - 7 EXIST. WINDOWS TO REMAIN. EXIST. MULLIONS WILL BE POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR. EXIST. SEALANT WILL BE REPLACED. (REFER TO MATERIAL 9 (A-501))
 - 8 NOT USED
 - 9 EXISTING STUCCO TO REMAIN, PATCH AND REPAIR AS REQUIRED.
 - 10 PROPOSED CUSTOM MTL. PERFORATED SCREEN (SHOP DRAWINGS TO BE PROVIDED) (REFER TO MATERIAL 1 (A-501))
 - 11 PROPOSED 5" EIFS PANEL FINISH CHAMPAGNE - ACID WASH STUCCO (SHOP DRAWINGS TO BE PROVIDED)
 - 12 PROPOSED AWNING (UNDER SEPARATED PERMIT) (REFER TO MATERIAL 8 (A-501))
 - 13 NATURAL TRAVERTINE STONE LED WALL SCONCE BY CASALOLA OR SIMILAR (REFER TO MATERIAL 5 (A-501))
 - 14 CHAMPAGNE - ACID WASH STUCCO FINISH BY CONCRETE WORKS EAST OR SIMILAR (REFER TO MATERIAL 3 (A-501))
 - 15 EXISTING DOOR TO BE PAINTED TO MATCH WITH CHAMPAGNE- ACID WASH STUCCO
 - 16 PROPOSED LED LIGHTING L-21 BEHIND PARAPET (REFER TO SECTION A3A-308) (REFER TO LIGHTING SCHEDULE A-201)
 - 17 EXISTING RAILING TO REMAIN AND POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR

C1 PROPOSED NORTH ELEVATION



GENERAL NOTES:

1. ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BID.
2. FOR SCREEN DETAIL REFER TO A-307 & A-308
3. ALL EXISTING MATERIALS AND FINISHES TO REMAIN MUST BE PROTECTED AND PATCHED/REPAIRED AS REQUIRED PRIOR TO COMPLETION OF WORK.
4. REFER TO LIGHTING PACKAGE FOR LIGHTING DETAILS
5. REFER TO A-501 FOR MATERIAL

WATERPROOFING GENERAL NOTES:

- Proposed waterproofing with ExoAir 230. Fluid-Applied, Synthetic Air & Vapor Permeable Membrane from Tremco or equal approved. Substrate preparation.
- Surface to be coated must be dry, clean, smooth, firm, free of release agents, dust, mud, loose mortar, wires, fins, metal, projections or any other substances that might prevent placement and bonding of membrane.
 - CMU walls shall have all joints filled and struck flush. Mortar should be cured a minimum of 7 days. Any voids shall be patched with mortar, a non-shrinking grout or other approved patching material.
 - All concrete substrates shall be clean and free of all release agents. Any voids shall be patched with mortar, non-shrinking grout or other approved patching material.
 - Fasteners: Fasteners should be flush with the surface of the substrate. Fasteners which are protruding from or sunk below the face of the substrate shall be treated with a detail coat of Dymonic 100, or Tremflex 834 prior to the installation of EXOAIR® 230. The detail sealants may be coated over once a skin has developed. If the fastener penetration occurs after the EXOAIR® 230 membrane has been installed, detail all fastener penetrations not flush to the EXOAIR® 230 membrane with Dymonic 100 or Spectrem 1 sealant.
 - Penetrations: Penetrations must be rigidly supported through membrane as to not allow movement of penetrating item.
 - For installation procedures for ExoAir® 230 fluid-applied air and vapor permeable synthetic membrane, please refer to the manufacturer application instructions document

VALET PARKING SUBMITTED UNDER SEPARATED PERMIT. BC2425012			
PROPOSED EYEBROW			
* REFER TO ED-202 FOR DEMOLITION DETAIL	* REFER TO STRUCTURAL DRAWINGS PER DETAILS		
LIGHTING SCHEDULE			
FIXTURE TYPE	MANUFACTURER	INPUT / LIGHT SOURCE	DESCRIPTION
WF-03	CASALOLA	90-260V 6W DIMMABLE / 90-260V 6W 2700K	WALL MOUNTED, LED SCONCE, NATURAL TRAVERTINE STONE BODY, WEATHERPROOF, 2700K DIMMABLE IP65, UL LISTED, 4
WF-04	CASALOLA	90-260V 23W DIMMABLE / 90-260V 23W 2700K	WALL MOUNTED, LED SCONCE, NATURAL TRAVERTINE STONE BODY, WEATHERPROOF, 2700K DIMMABLE IP65, UL LISTED.
L-20	LUMINII	120-277V 96W 0-10V / CLASS II / 24VDC 2.74AFT LED 2700K CRI 80	SURFACE MOUNTED VERTICAL BENDING LED STRIP FOR OUTDOORS. SILICONE PROFILE, ALUMINUM STEEL MOUNTING BRACKET, TERMINATOR CAP, CABLE AND CONNECTION COVERS, 15X40 OPTICS, DIMMING POWER SUPPLY (0-10V), IP67, WET & UL LISTED.
L-21	LUMINII	110-277VAC 12W 0-10% / 3.6W LED 2700K CRI 97 PUBLISHED DELIVERED LUMENS: 290 LM/FT	SURFACE MOUNTED LED LINEAR FIXTURE. EXTRUDED ALUMINUM WHITE FINISH, UV STABILIZED POLYCARBONATE, ADJUSTABLE BRACKETS, IP68, UL LISTED. (COLOR TONE: WARM, YELLOWISH GLOW)
JB	T.B.D	T.B.D	ELECTRICAL JUNCTION BOX CONCEALED, FOR FUTURE IMPLEMENTATION.

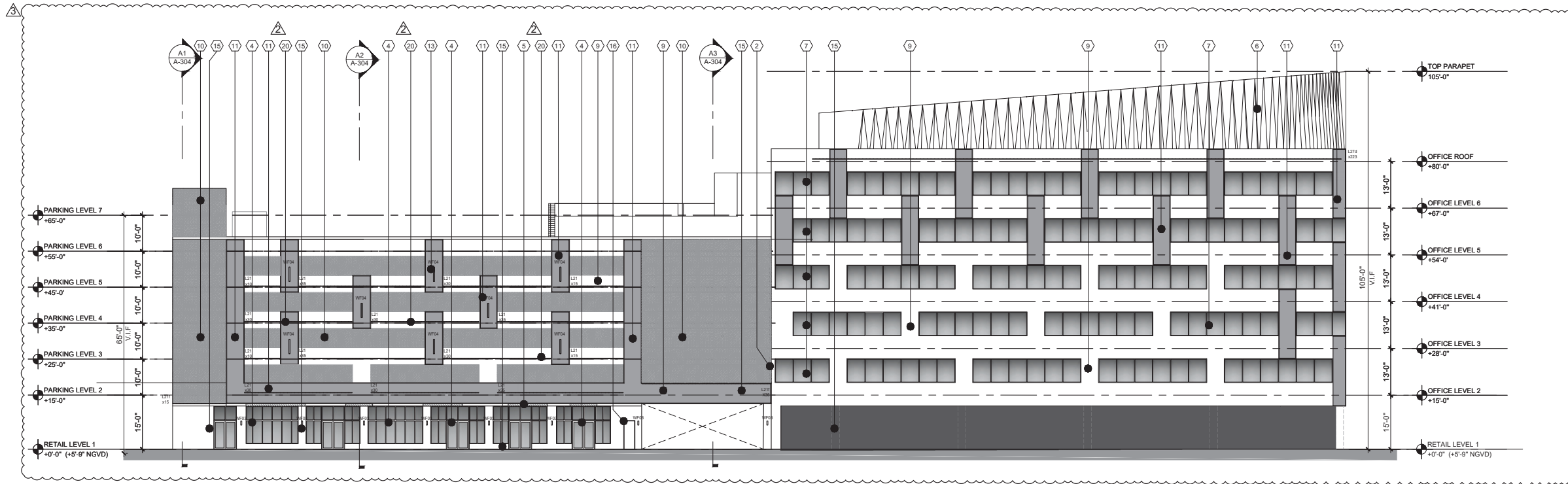
A1 PROPOSED SOUTH ELEVATION

THE LINCOLN BL
1691 MICHIGAN
MIAMI BEACH, FL 33139



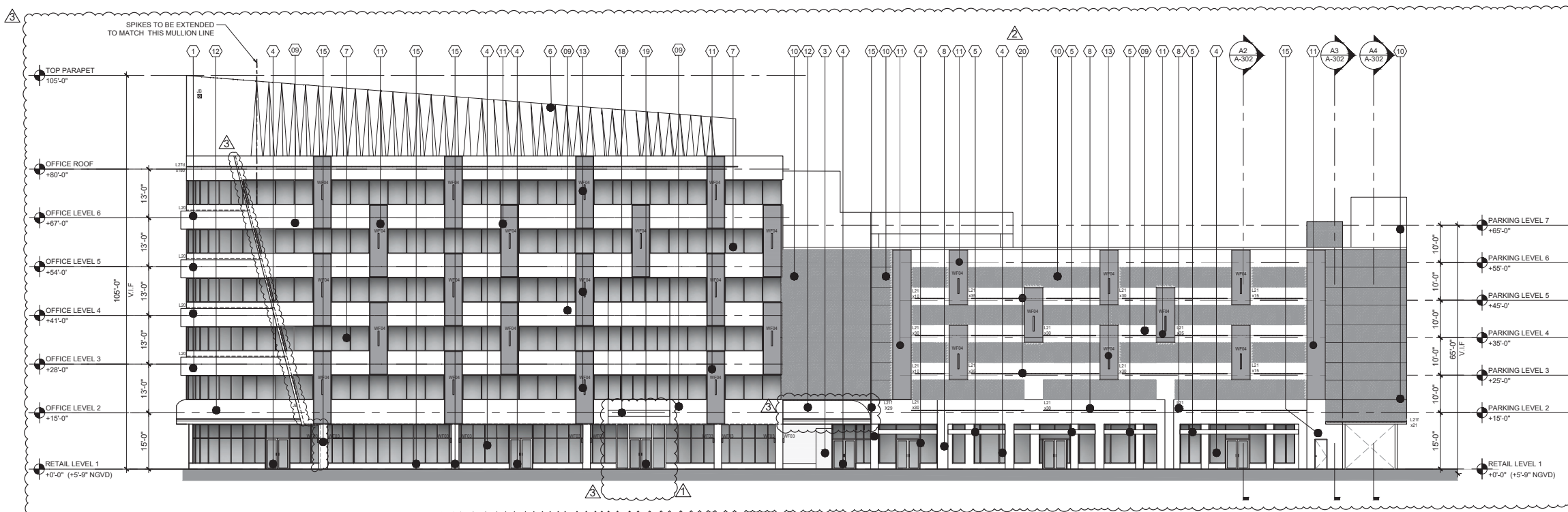
DWG. TITLE		PROPOSED NORTH AND SOUTH ELEVATION
SCALE		1/16"=1'-0"
PROJECT NO.		2023-33
DATE		07-07-2025
3	12-30-2025	OWNER REVISION
2	03-26-2025	CITY COMMENTS
1	11-27-2024	CITY COMMENTS
DATE	REVISION	

A-201



- ### KEY NOTES
- 1 PROPOSED FIBERGLASS PLANTER (SHOP DRAWING TO BE PROVIDED PRIOR APPROVAL)
 - 2 EXISTING PARKING SIGN TO REMAIN
 - 3 METAL PANEL COVER TO MATCH THE STUCCO COLOR BY OTHERS
 - 4 EXISTING ALUMINUM STOREFRONT TO REMAIN. EXISTING MULLIONS WILL BE POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR (REFER TO MATERIAL 8 (A-501))
 - 5 METAL CLADDING FINISH ON EXISTING EYEBROW OR CANOPY TO MATCH WITH SCREEN COLOR
 - 6 PROPOSED DECORATIVE METAL CLADDING ON EXISTING PARAPET BY MORIN ARCHITECTURAL WALL OR APPROVED EQUAL (SHOP DRAWINGS TO BE PROVIDED) (REFER TO MATERIAL 7 (A-501))
 - 7 EXIST. WINDOWS TO REMAIN. EXIST. MULLIONS WILL BE POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR EXIST. SEALANT WILL BE REPLACED (REFER TO MATERIAL 8 (A-501))
 - 8 NOT USED
 - 9 EXISTING STUCCO TO REMAIN. PATCH AND REPAIR AS REQUIRED.
 - 10 PROPOSED CUSTOM MTL. PERFORATED SCREEN (SHOP DRAWINGS TO BE PROVIDED) (REFER TO MATERIAL 1 (A-501))
 - 11 PROPOSED 5" EPS PANEL FINISH CHAMPAGNE - ACID WASH STUCCO (SHOP DRAWINGS TO BE PROVIDED)
 - 12 PROPOSED AWNING (UNDER SEPARATED PERMIT) (REFER TO MATERIAL 8 (A-501))
 - 13 NATURAL TRAVERTINE STONE LED WALL SCONCE BY CASALOLA OR SIMILAR (REFER TO MATERIAL 5 (A-501))
 - 14 CHAMPAGNE - ACID WASH STUCCO FINISH BY CONCRETE WORKS EAST OR SIMILAR (REFER TO MATERIAL 3 (A-501))
 - 15 EXISTING DOOR WILL BE PAINTED TO MATCH CHAMPAGNE STUCCO FINISH COLOR
 - 16 NOT USED
 - 17 EXISTING CANOPY TO BE PAINTED TO MATCH WITH SCREEN COLOR
 - 18 PROPOSED STOREFRONT (REFER TO DOOR SCHEDULE A-001)
 - 19 PROPOSED LED LIGHTING L-21 BEHIND PARAPET (REFER TO SECTION A6A-308) (REFER TO LIGHTING SCHEDULE A-202)

C1 PROPOSED EAST ELEVATION



- ### GENERAL NOTES:
1. ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BID.
 2. FOR ALUMINUM PANELS ATTACHMENT TYP. DETAIL REFER TO A-306.
 3. FOR SCREEN DETAIL REFER TO A-307 & A-308.
 4. ALL EXISTING MATERIALS AND FINISHES TO REMAIN MUST BE PROTECTED AND PATCHED/REPAIRED AS REQUIRED PRIOR TO COMPLETION OF WORK.
 5. REFER TO LIGHTING PACKAGE FOR LIGHTING DETAILS.
 6. REFER TO A-501 FOR MATERIAL.

- ### WATERPROOFING GENERAL NOTES :
- Proposed waterproofing with ExoAir 230. Fluid-Applied, Synthetic Air & Vapor Permeable Membrane from Tremco or equal approved.
- Substrate preparation:
- Surface to be coated must be dry, clean, smooth, firm, free of release agents, dust, mud, loose mortar, wires, fins, metal, projections or any other substances that might prevent placement and bonding of membrane.
 - CMU walls shall have all joints filled and struck flush. Mortar should be cured a minimum of 7 days. Any voids shall be patched with mortar, a non-shrinking grout or other approved patching material.
 - All concrete substrates shall be clean and free of all release agents. Any voids shall be patched with mortar, non-shrinking grout or other approved patching material.
 - Fasteners: Fasteners should be flush with the surface of the substrate. Fasteners which are protruding from or sunk below the face of the substrate shall be treated with a detail coat of Dymonic 100, or Tremflex 834 prior to the installation of EXOAIR® 230. The detail sealants may be coated over once a skin has developed. If the fastener penetration occurs after the EXOAIR® 230 membrane has been installed, detail all fastener penetrations not flush to the EXOAIR® 230 membrane with Dymonic 100 or Spectrac 1 sealant.
 - Penetrations: Penetrations must be rigidly supported through membrane as to not allow movement of penetrating item.
 - For installation procedures for ExoAir® 230 fluid-applied air and vapor permeable synthetic membrane, please refer to the manufacturer application instructions document

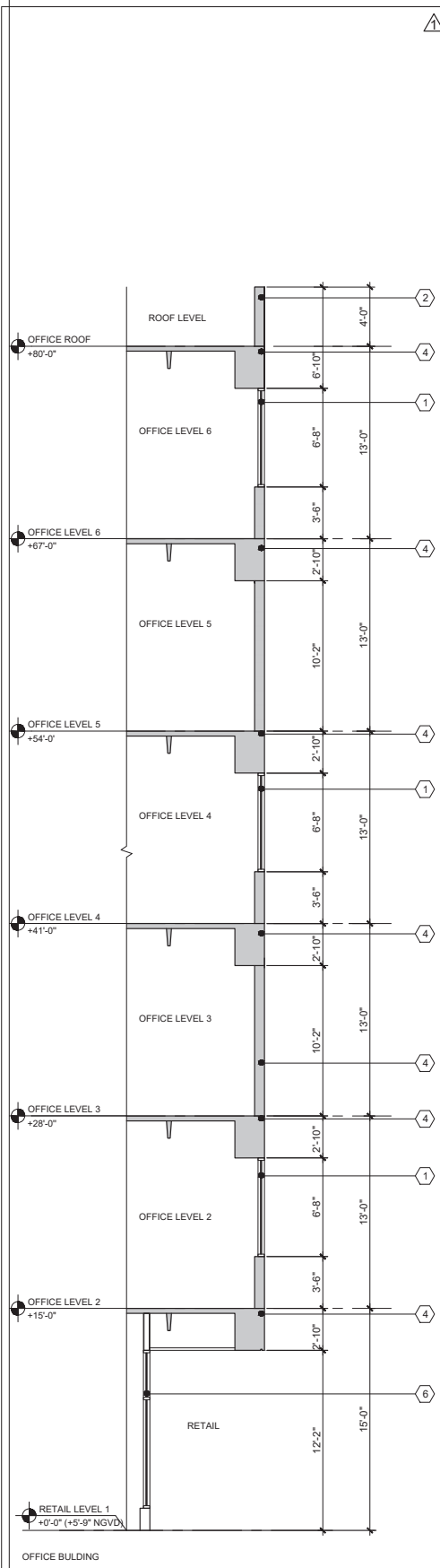
VALET PARKING SUBMITTED UNDER SEPARATED PERMIT. BC2425012			
PROPOSED EYEBROW REFER TO ED-202 FOR DEMOLITION DETAIL * REFER TO STRUCTURAL DRAWINGS PER DETAILS			
LIGHTING SCHEDULE			
FIXTURE TYPE	MANUFACT.	INPUT/ LIGHT SOURCE	DESCRIPTION
WF-03	CASALOLA	90-260V 6W DIMMABLE / 90-260V 6W 2700K	WALL MOUNTED, LED SCNCE, NATURAL TRAVERTINE STONE BODY, WEATHERPROOF, 2700K DIMMABLE IP65, UL LISTED, 4
WF-04	CASALOLA	90-260V 23W DIMMABLE / 90-260V 23W 2700K	WALL MOUNTED, LED SCNCE, NATURAL TRAVERTINE STONE BODY, WEATHERPROOF, 2700K DIMMABLE IP65, UL LISTED
L-20	LUMINII	120-277V 96W 0-10V / CLASS II / 24VDC 2.7A/FT LED 2700K CRI 80	SURFACE MOUNTED VERTICAL BENDING LED STRIP FOR OUTDOORS. SILICONE PROFILE, ALUMINUM STEEL MOUNTING BRACKET, TERMINATOR CAP, CABLE AND CONNECTION COVERS, 15X40 OPTICS, DIMMING POWER SUPPLY (0-10V), IP67, WET & UL LISTED.
L-21	LUMINII	110-277VAC 12W 0-10% / 3.6W LED 2700K CRI 97 PUBLISHED DELIVERED LUMENS: 290 LM/FT	SURFACE MOUNTED LED LINEAR FIXTURE. EXTRUDED ALUMINUM WHITE FINISH, UV STABILIZED POLYCARBONATE, ADJUSTABLE BRACKETS, IP68, UL LISTED (COLOR TONE: WARM, YELLOWISH GLOW)
JB	T.B.D	T.B.D	ELECTRICAL JUNCTION BOX CONCEALED, FOR FUTURE IMPLEMENTATION.

A1 PROPOSED WEST ELEVATION

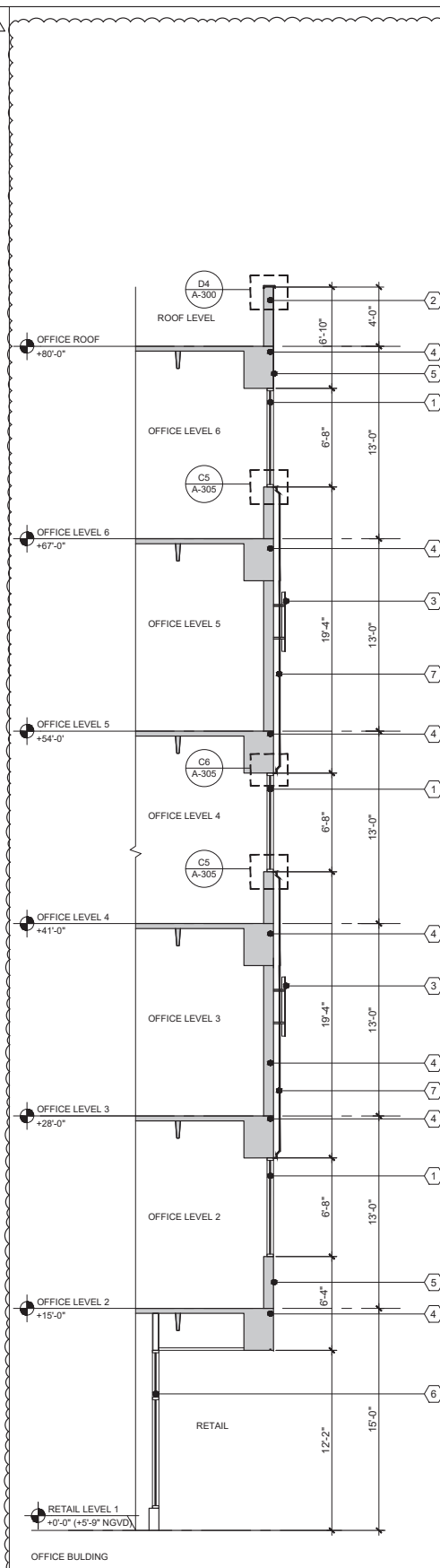
THE LINCOLN BL
1691 MICHIGAN
MIAMI BEACH, FL 33139



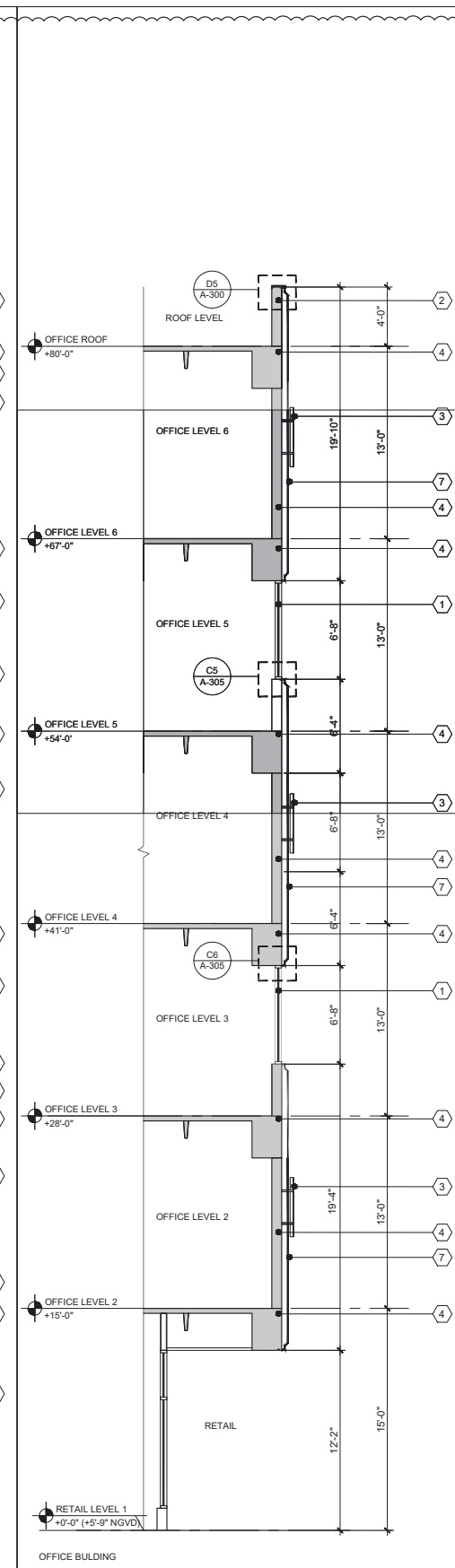
DWG. TITLE	EAST AND WEST ELEVATION
SCALE	1/16"=1'-0"
PROJECT NO.	2023-33
DATE	07-07-2025
SHEET NUMBER	A-202



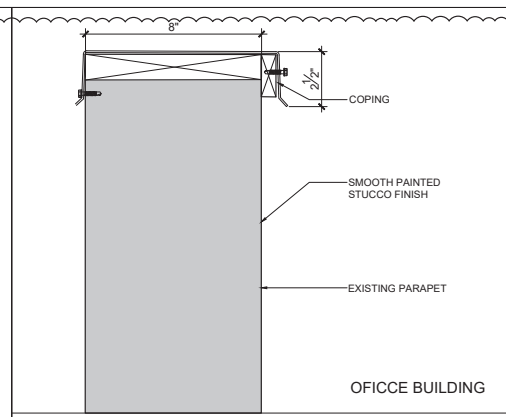
A1 EXISTING NORTH WALL SECTION SCALE: 3/16"=1'-0"



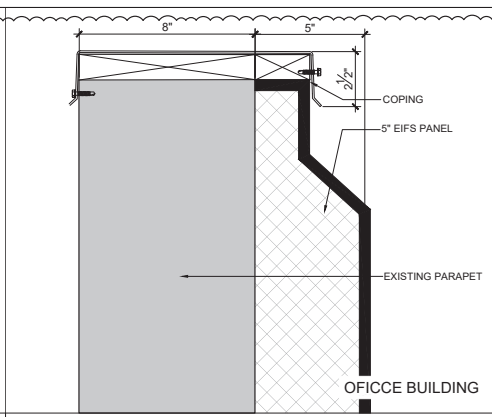
A2 PROPOSED NORTH WALL SECTION SCALE: 3/16"=1'-0"



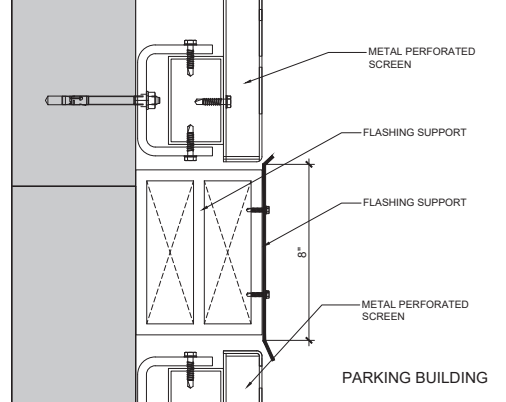
A3 PROPOSED NORTH WALL SECTION SCALE: 3/16"=1'-0"



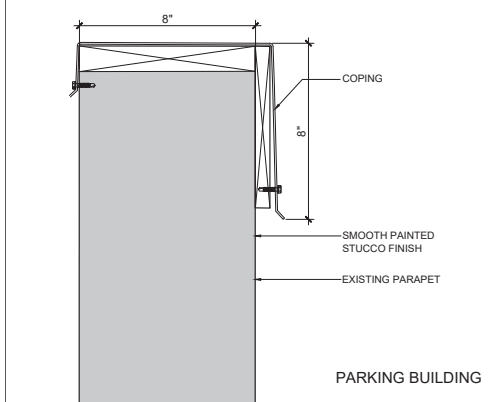
D4 COPING DETAIL SCALE: 3" = 1'-0"



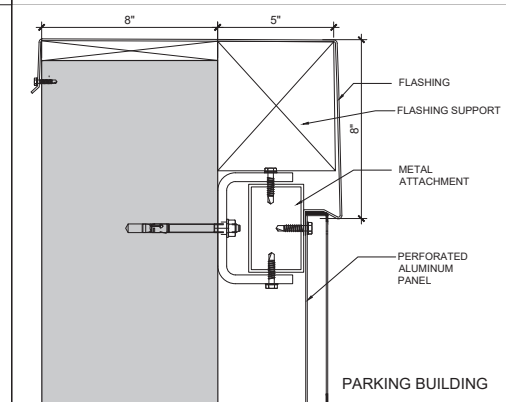
D5 COPING DETAIL SCALE: 3" = 1'-0"



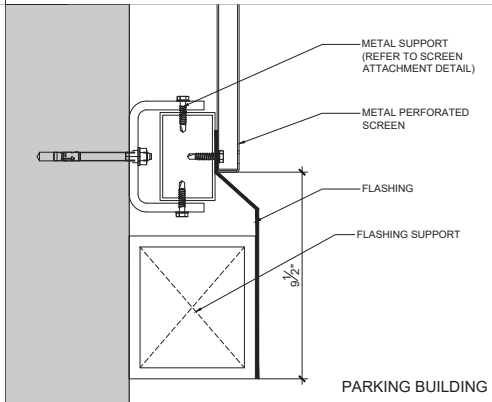
C4 FLASHING DETAIL SCALE: 3" = 1'-0"



C5 COPING DETAIL SCALE: 3" = 1'-0"



B4 COPING DETAIL SCALE: 3" = 1'-0"



B5 BOTTOM FLASHING DETAIL SCALE: 3" = 1'-0"

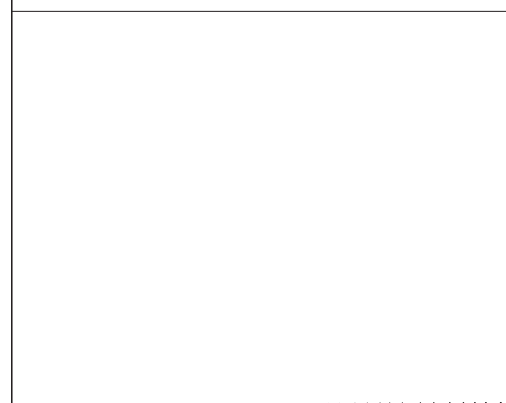
LEGEND

- ① EXISTING WINDOWSTOREFRONT TO REMAIN. EXISTING MULLIONS WILL BE POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR. (REFER TO MATERIAL 9/A-501)
- ② EXISTING PARAPET TO REMAIN
- ③ PROPOSED WALL SCONCES ATTACHMENT BY OTHER (REFER TO LIGHTING PACKAGE AND ELEVATIONS) (REFER TO MATERIAL 5/A-501)
- ④ EXISTING STRUCTURE TO REMAIN
- ⑤ SMOOTH PAINTED STUCCO FINISH CHAMPAGNE COLOR
- ⑥ EXISTING ALUMINUM STOREFRONT TO REMAIN. EXISTING MULLIONS WILL BE POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR. (REFER TO MATERIAL 9/A-501)
- ⑦ PROPOSED 5" EIFS PANEL FINISH CHAMPAGNE - ACID WASH STUCCO (SHOP DRAWINGS TO BE PROVIDED)

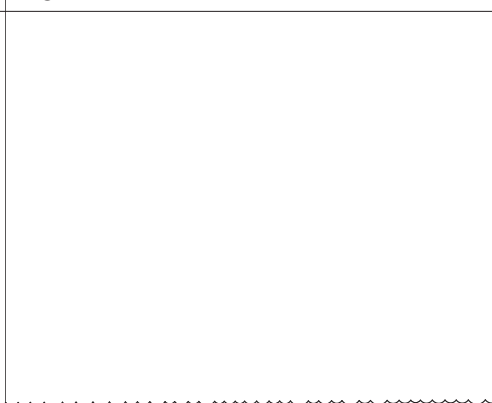
GENERAL NOTES

1. ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BID.
2. FOR EIFS PANEL ATTACHMENT DETAIL REFER TO A-305
3. REFER TO A-501 FOR MATERIAL.

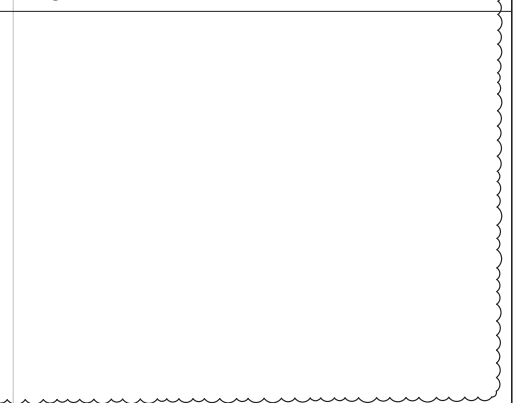
C6 KEY NOTES & GENERAL NOTES SCALE: N.T.S.



B6 NOT USED SCALE:



A4 NOT USED SCALE:

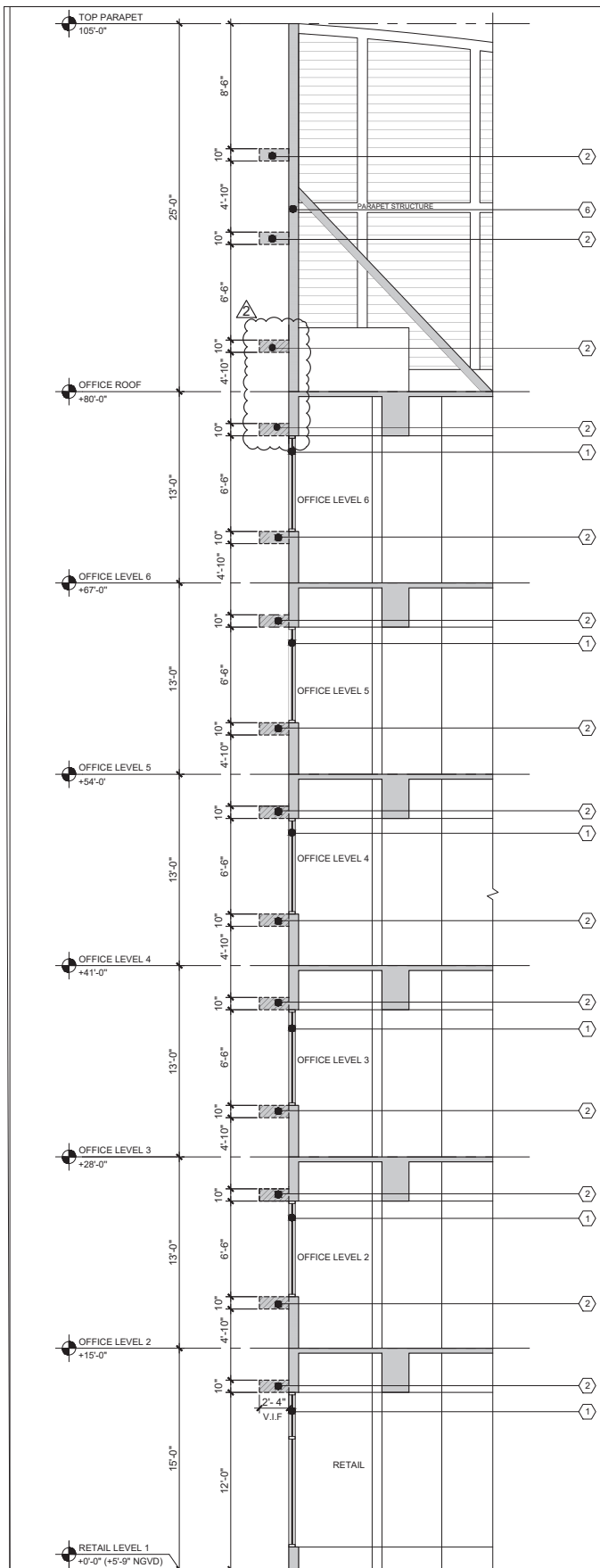


A5 NOT USED SCALE:

DWG. TITLE		NORTH WALL SECTION & DETAILS
SCALE		AS SHOWN
PROJECT NO.		2023-33
DATE		07-07-2025
1	12-30-2025	OWNER REVISION
△	DATE	REVISION

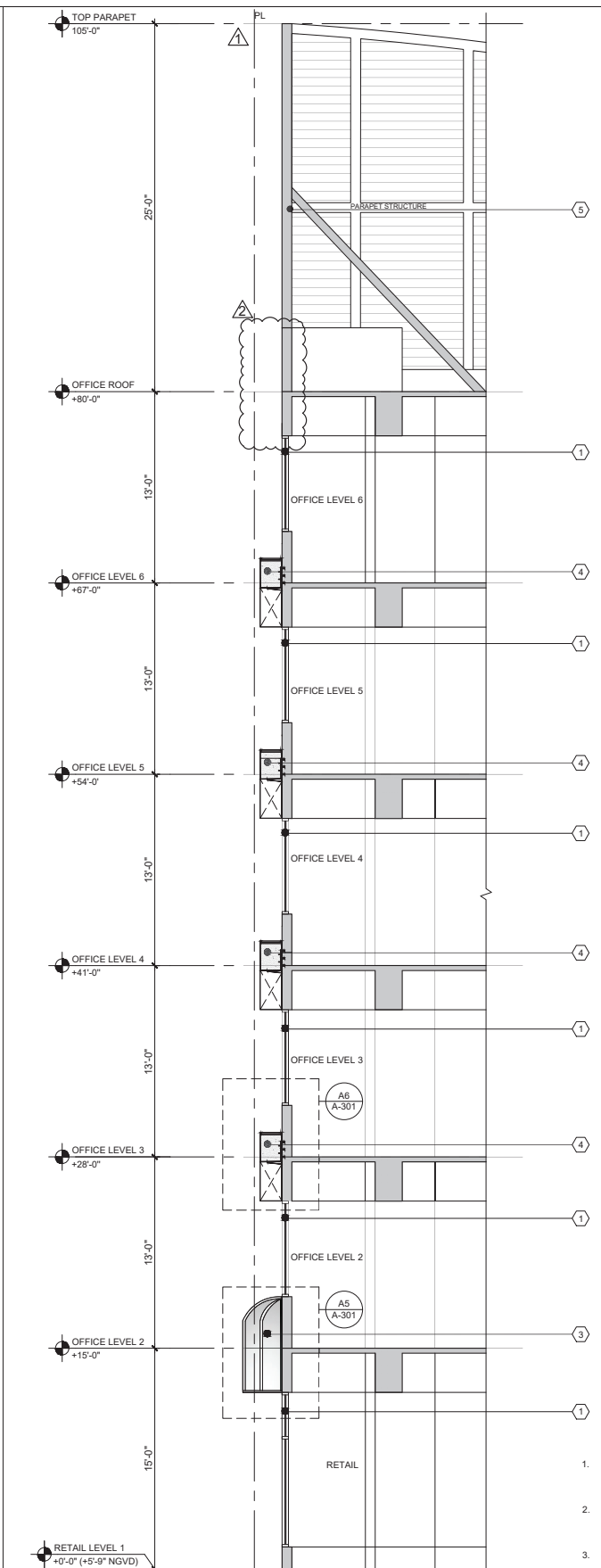
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MIAMI BEACH, FL 33139





A1 EXIST/DEMO NORTH-WEST WALL SECTION

SCALE: 3/16"=1'-0"



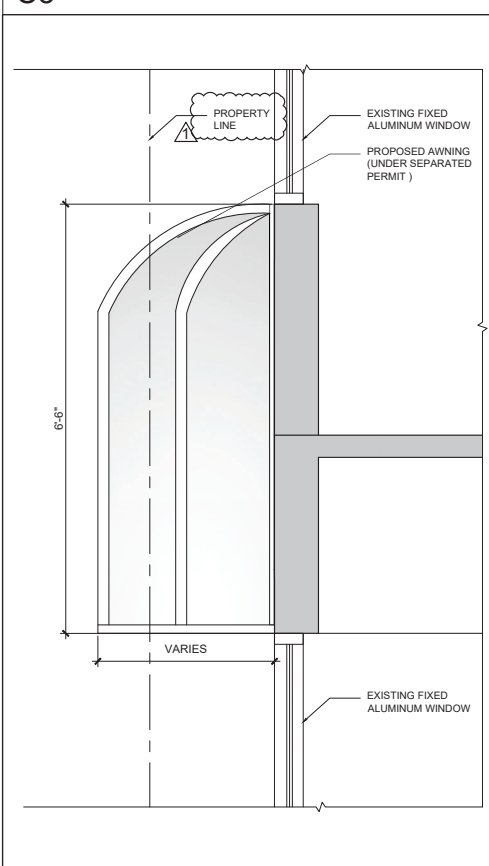
A3 PROPOSED NORTH-WEST WALL SECTION

SCALE: 3/16"=1'-0"

- LEGEND**
- ① EXISTING WINDOW/STOREFRONT TO REMAIN. EXISTING MULLIONS WILL BE POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR (REFER TO MATERIAL 9 (A-501))
 - ② EXISTING EYEBROW TO BE DEMOLISHED
 - ③ PROPOSED AWNING (UNDER SEPARATED PERMIT) (REFER TO MATERIAL 8 (A-501))
 - ④ PROPOSED FIBERGLASS PLANTER (SHOP DRAWING TO BE PROVIDED)
 - ⑤ EXISTING MECHANICAL SCREEN TO REMAIN. NEW FINISH WILL BE PROVIDED.
- EXISTING STRUCTURE/CMU
 ▨ EXISTING EYEBROW TO REMOVE
- GENERAL NOTES:**
- ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BID.
 - ALL EXISTING MATERIALS AND FINISHES TO REMAIN MUST BE PROTECTED AND PATCHED/REPAIRED AS REQUIRED PRIOR TO COMPLETION OF WORK.
 - REFER TO A-501 FOR MATERIAL

D5 NOT USED SCALE:

C5 NOT USED SCALE: C6 NOT USED SCALE:



A5 PROPOSED SECTION AWNING

SCALE: 3/4"=1'-0"

A6 NOT USED SCALE:

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DWG. TITLE		NORTH-WEST OFFICE PLANTER SECTION
SCALE		AS SHOWN
PROJECT NO.		2023-33
DATE		07-07-2025
2	12-30-2025	OWNER REVISION
1	03-26-2025	CITY COMMENTS
△	DATE	REVISION

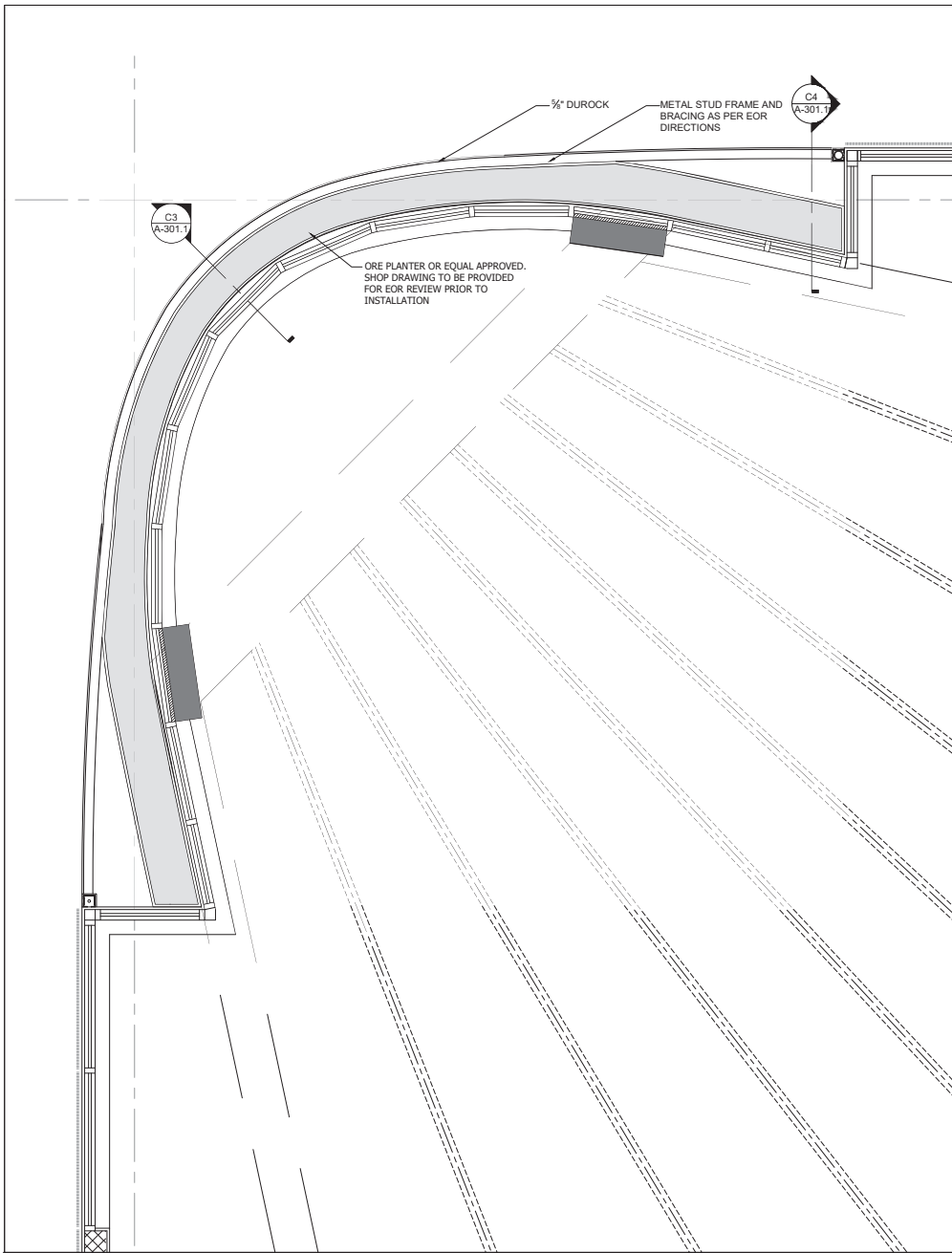
SHEET NUMBER

A-301

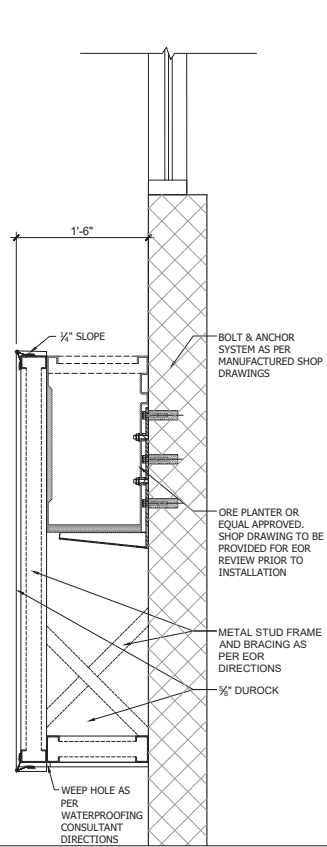
CONSULTANT

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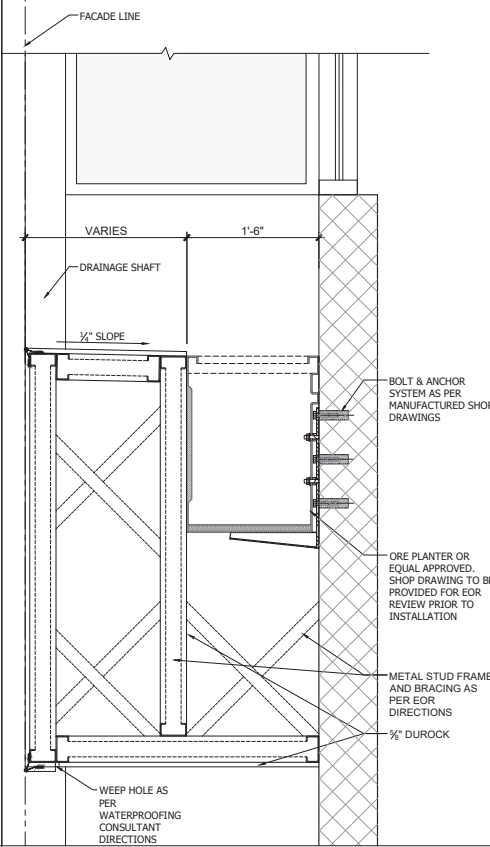
BELLINSON GOMEZ ARCHITECTS P.A. 305.559.1250



B1 NORTH-WEST OFFICE PLANTER SECTION DETAILS (TYP.) SCALE: 3/8"=1'-0"



C3 TEX SCALE:



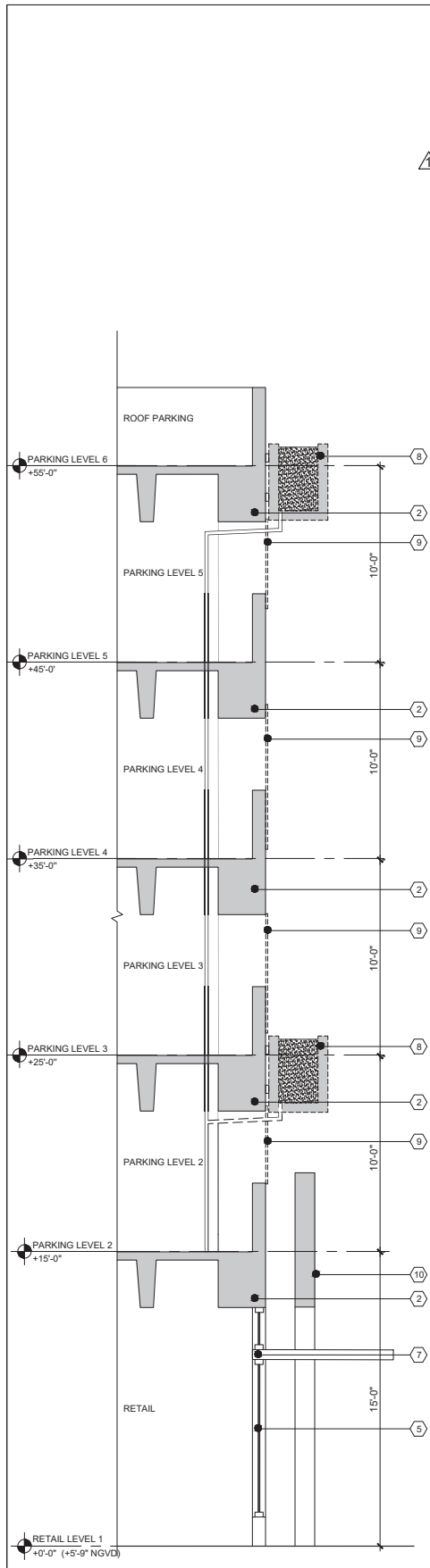
C4 TEX SCALE:

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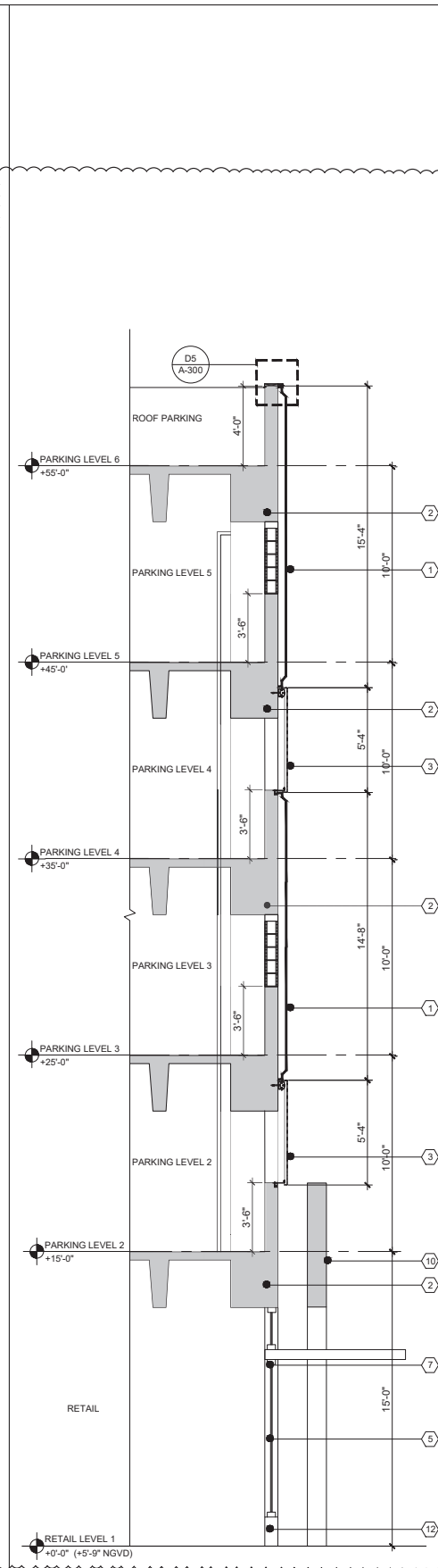


DWG. TITLE	NORTH-WEST OFFICE PLANTER SECTION DETAILS
SCALE	AS SHOWN
PROJECT NO.	2023-33
DATE	07-07-2025
SHEET NUMBER	1
DATE	12-30-2025
REVISION	OWNER REVISION

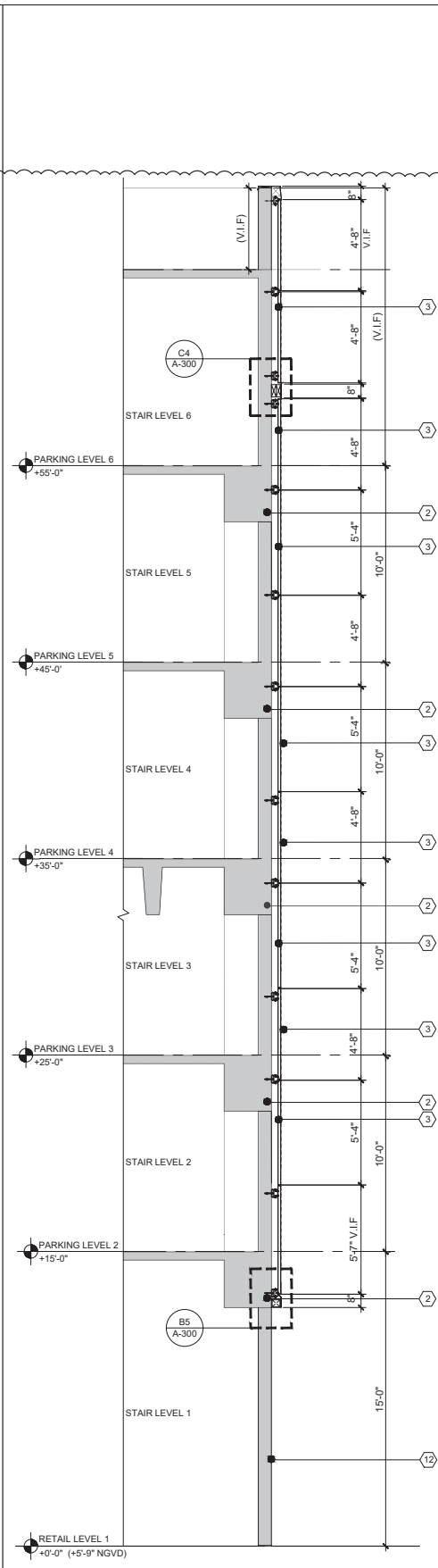




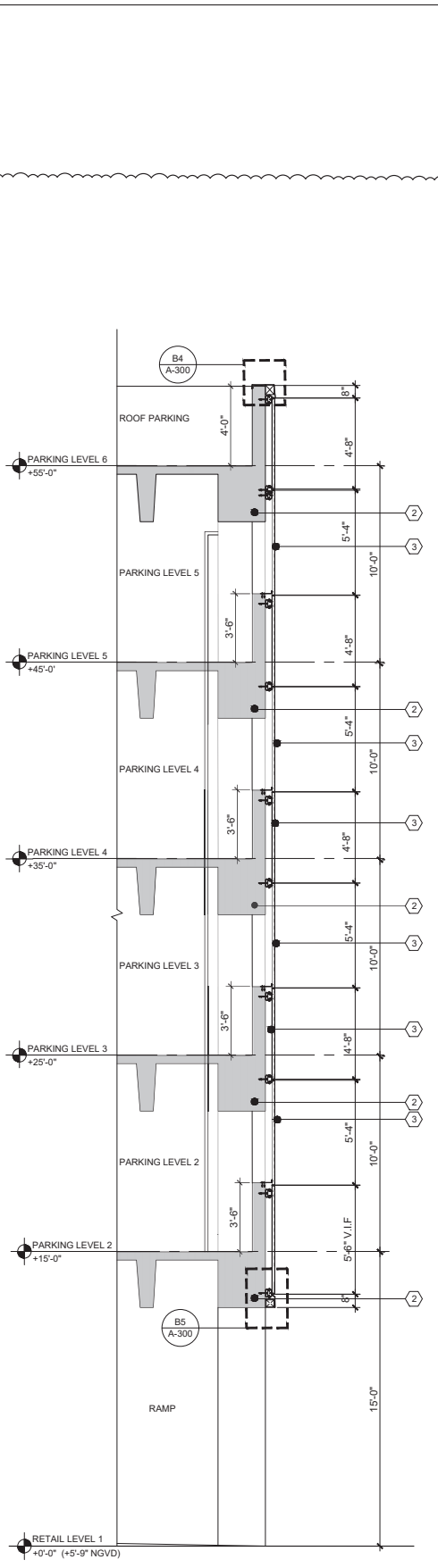
A1 EXISTING WEST WALL SECTION SCALE: 1/4"=1'-0"



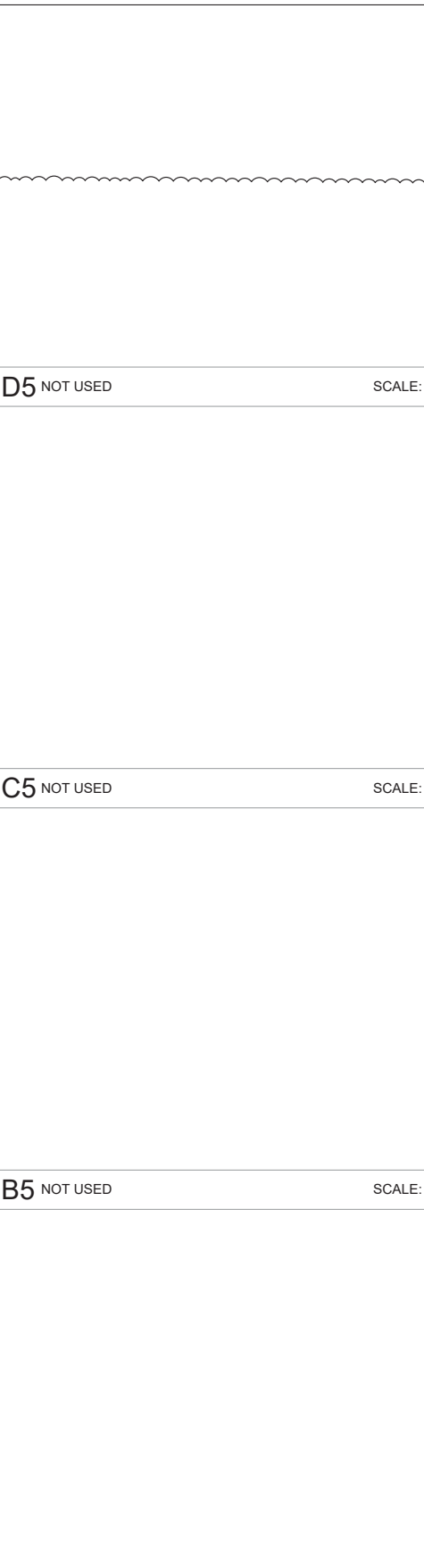
A2 PROPOSED WEST WALL SECTION SCALE: 1/4"=1'-0"



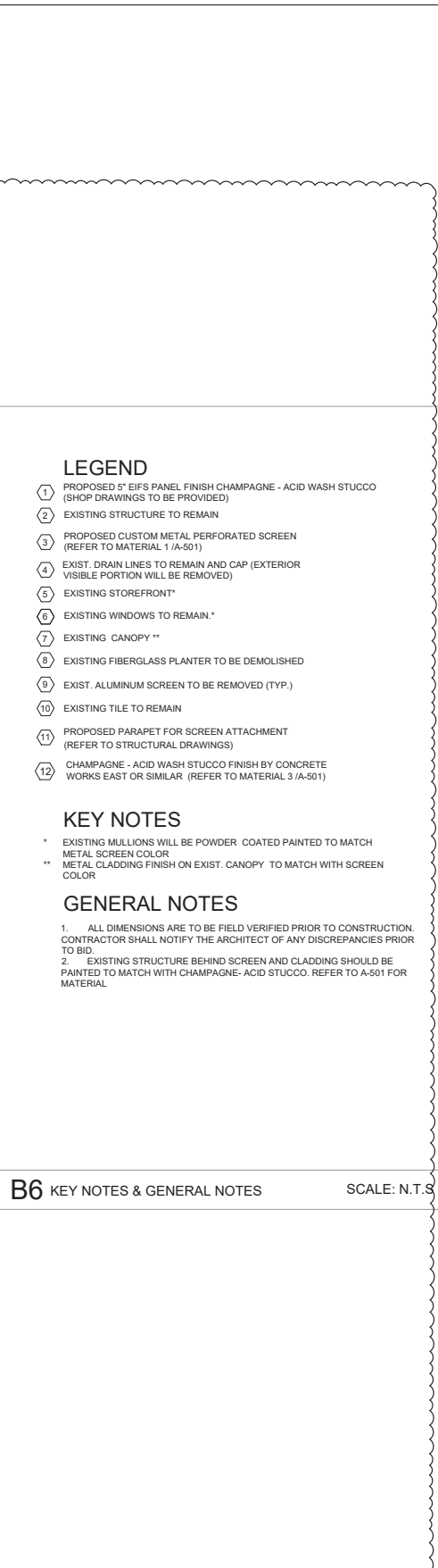
A3 PROPOSED WEST WALL SECTION SCALE: 1/4"=1'-0"



A4 PROPOSED WEST WALL SECTION SCALE: 1/4"=1'-0"



A5 NOT USED SCALE: N.T.S.



A6 NOT USED SCALE: N.T.S.

D5 NOT USED SCALE:

C5 NOT USED SCALE:

B5 NOT USED SCALE:

D5 NOT USED SCALE:

C5 NOT USED SCALE:

B5 NOT USED SCALE:

- LEGEND**
- ① PROPOSED 5" EIFS PANEL FINISH CHAMPAGNE - ACID WASH STUCCO (SHOP DRAWINGS TO BE PROVIDED)
 - ② EXISTING STRUCTURE TO REMAIN
 - ③ PROPOSED CUSTOM METAL PERFORATED SCREEN (REFER TO MATERIAL 1 (A-501))
 - ④ EXIST. DRAIN LINES TO REMAIN AND CAP (EXTERIOR VISIBLE PORTION WILL BE REMOVED)
 - ⑤ EXISTING STOREFRONT*
 - ⑥ EXISTING WINDOWS TO REMAIN*
 - ⑦ EXISTING CANOPY**
 - ⑧ EXISTING FIBERGLASS PLANTER TO BE DEMOLISHED
 - ⑨ EXIST. ALUMINUM SCREEN TO BE REMOVED (TYP.)
 - ⑩ EXISTING TILE TO REMAIN
 - ⑪ PROPOSED PARAPET FOR SCREEN ATTACHMENT (REFER TO STRUCTURAL DRAWINGS)
 - ⑫ CHAMPAGNE - ACID WASH STUCCO FINISH BY CONCRETE WORKS EAST OR SIMILAR (REFER TO MATERIAL 3 (A-501))

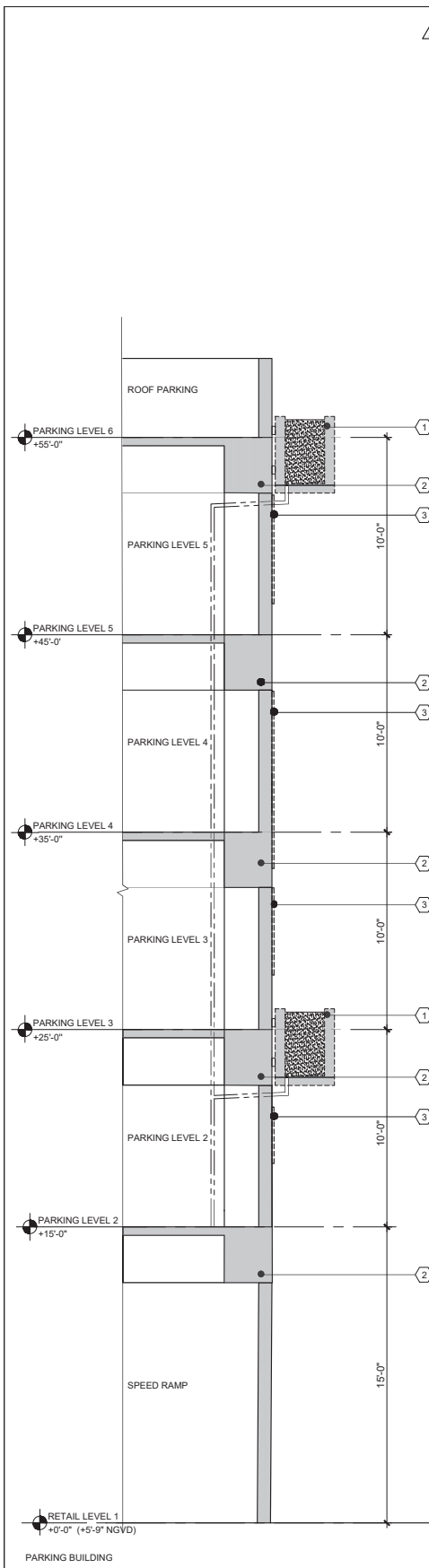
- KEY NOTES**
- * EXISTING MULLIONS WILL BE POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR
 - ** METAL CLADDING FINISH ON EXIST. CANOPY TO MATCH WITH SCREEN COLOR

- GENERAL NOTES**
1. ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BID.
 2. EXISTING STRUCTURE BEHIND SCREEN AND CLADDING SHOULD BE PAINTED TO MATCH WITH CHAMPAGNE- ACID STUCCO. REFER TO A-501 FOR MATERIAL.

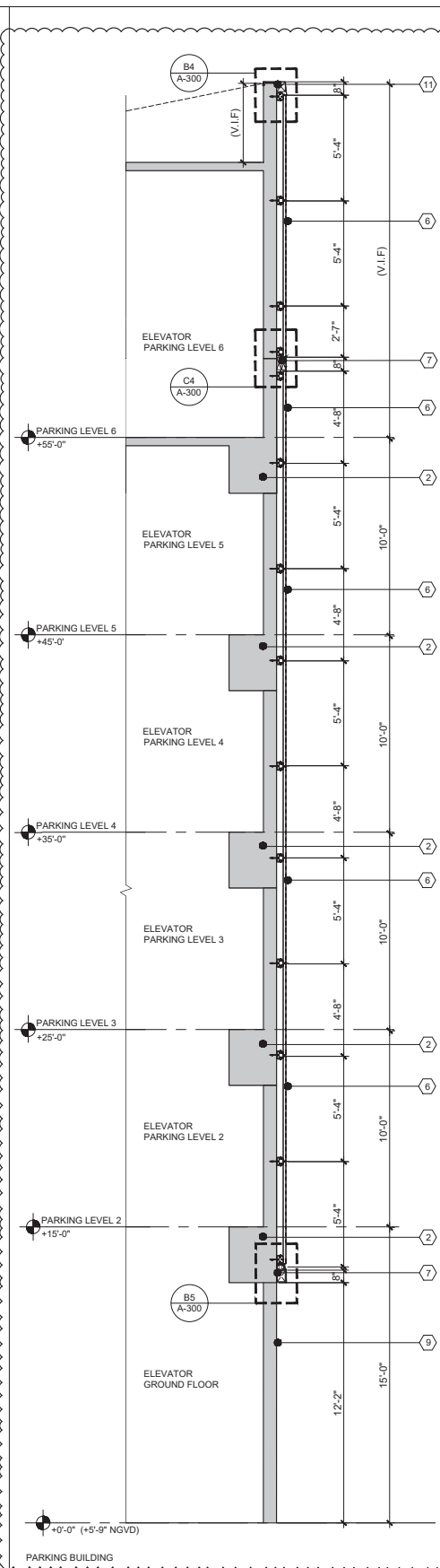
THE LINCOLN BL
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MIAMI BEACH, FL 33139



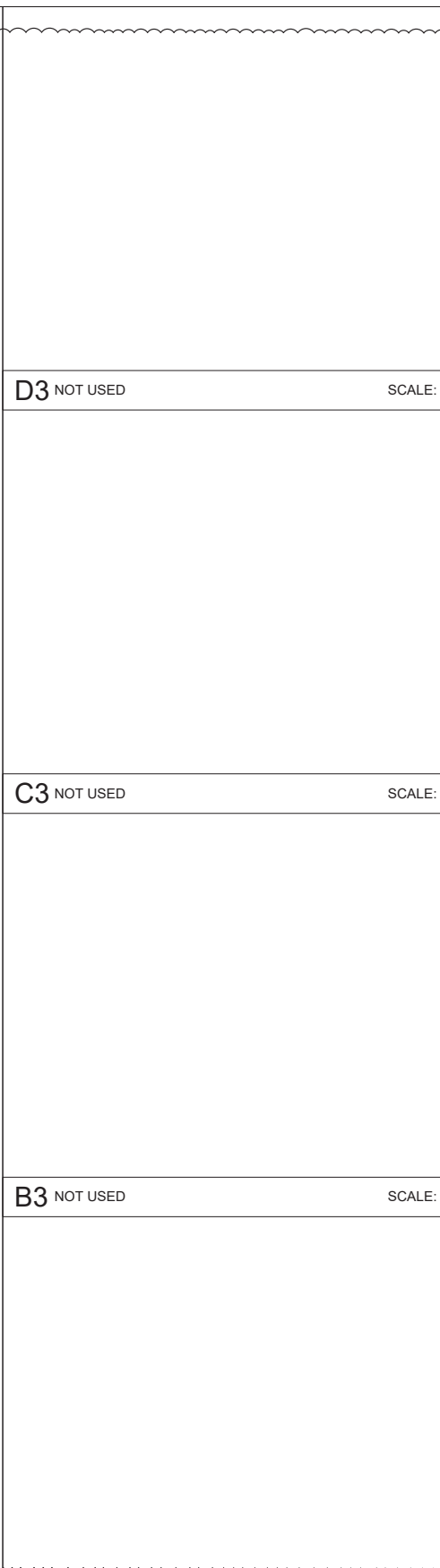
DWG. TITLE	WEST WALL SECTION & TYP.
PARKING PLANTER SECTION	
SCALE	AS SHOWN
PROJECT NO.	2023-33
DATE	07-07-2025
SHEET NUMBER	1
DATE	12-30-2025
REVISION	OWNER REVISION



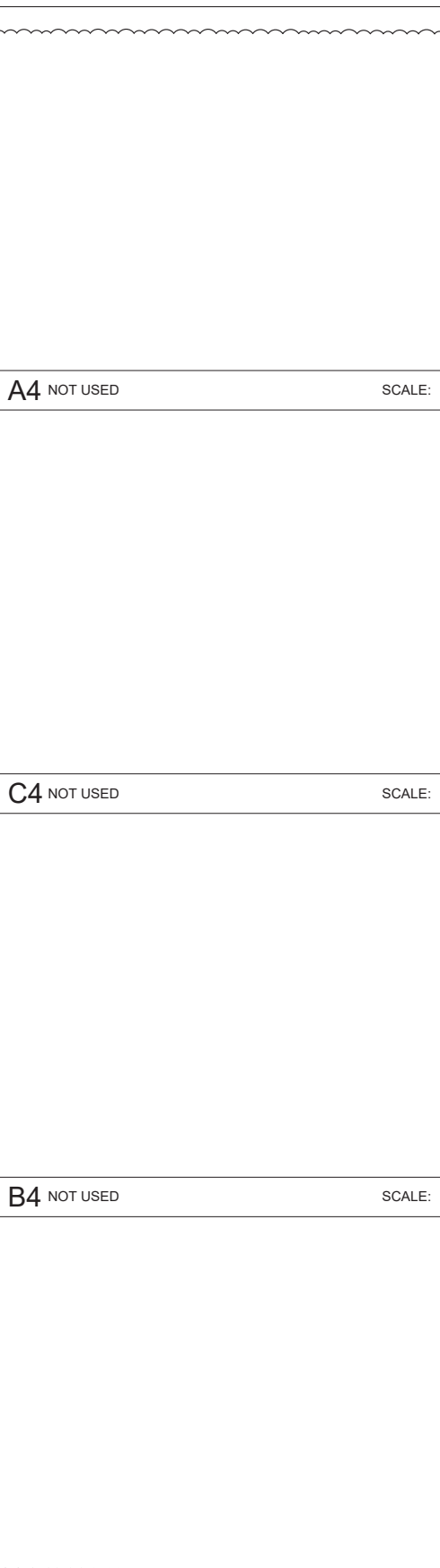
A1 EXISTING SOUTH WALL SECTION SCALE: 1/4"=1'-0"



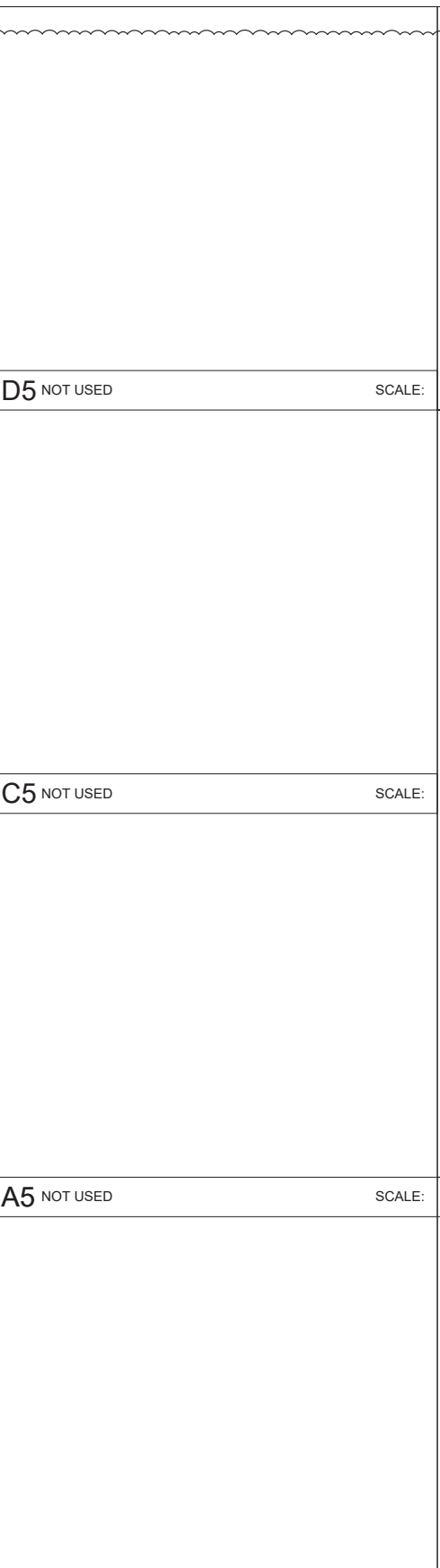
A2 PROPOSED SOUTH WALL SECTION SCALE: 1/4"=1'-0"



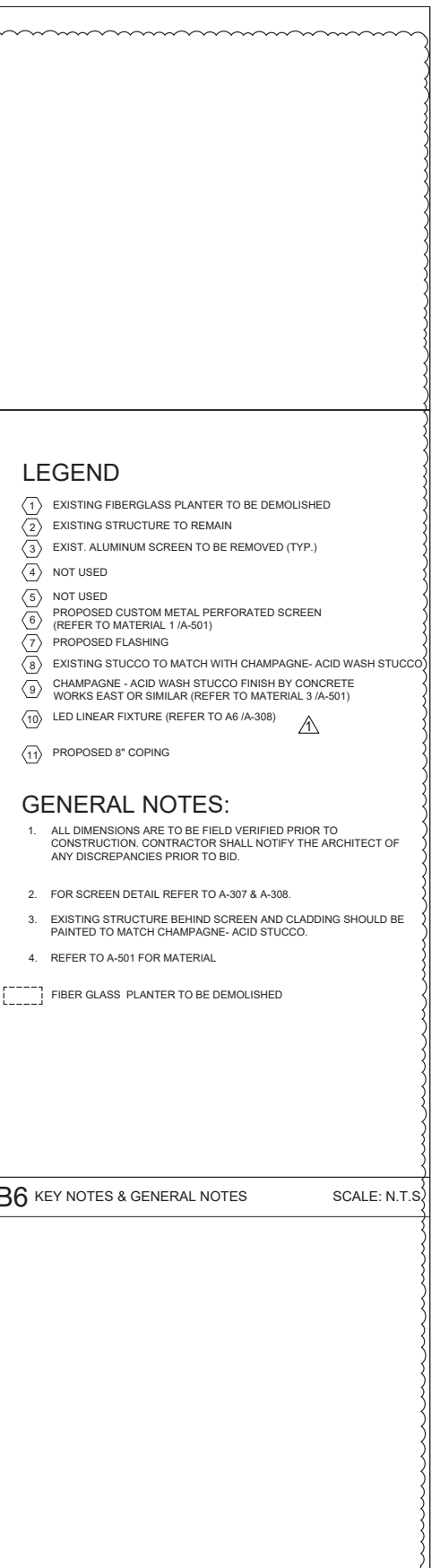
A3 NOT USED SCALE:



A4 NOT USED SCALE:



A5 NOT USED SCALE:



A6 NOT USED SCALE:

D3 NOT USED SCALE: **A4** NOT USED SCALE: **D5** NOT USED SCALE:

C3 NOT USED SCALE: **C4** NOT USED SCALE: **C5** NOT USED SCALE:

B3 NOT USED SCALE: **B4** NOT USED SCALE: **A5** NOT USED SCALE:

- LEGEND**
- ① EXISTING FIBERGLASS PLANTER TO BE DEMOLISHED
 - ② EXISTING STRUCTURE TO REMAIN
 - ③ EXIST. ALUMINUM SCREEN TO BE REMOVED (TYP.)
 - ④ NOT USED
 - ⑤ NOT USED
 - ⑥ PROPOSED CUSTOM METAL PERFORATED SCREEN (REFER TO MATERIAL 1 (A-501))
 - ⑦ PROPOSED FLASHING
 - ⑧ EXISTING STUCCO TO MATCH WITH CHAMPAGNE- ACID WASH STUCCO
 - ⑨ CHAMPAGNE - ACID WASH STUCCO FINISH BY CONCRETE WORKS EAST OR SIMILAR (REFER TO MATERIAL 3 (A-501))
 - ⑩ LED LINEAR FIXTURE (REFER TO A6 (A-308))
 - ⑪ PROPOSED 8" COPING

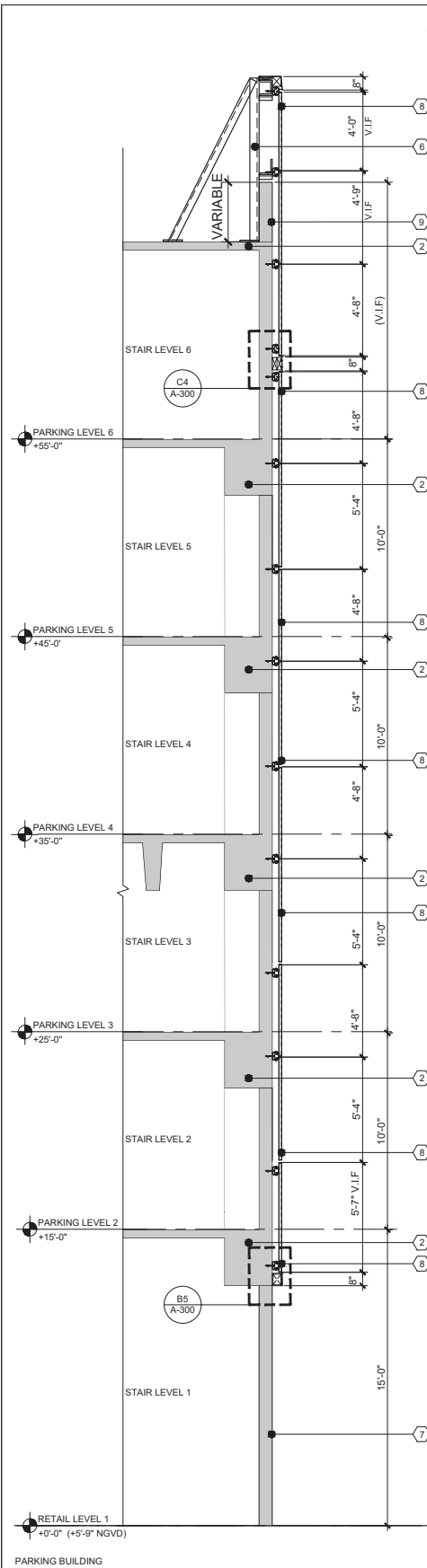
- GENERAL NOTES:**
1. ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BID.
 2. FOR SCREEN DETAIL REFER TO A-307 & A-308.
 3. EXISTING STRUCTURE BEHIND SCREEN AND CLADDING SHOULD BE PAINTED TO MATCH CHAMPAGNE- ACID STUCCO.
 4. REFER TO A-501 FOR MATERIAL
- FIBER GLASS PLANTER TO BE DEMOLISHED

B6 KEY NOTES & GENERAL NOTES SCALE: N.T.S.

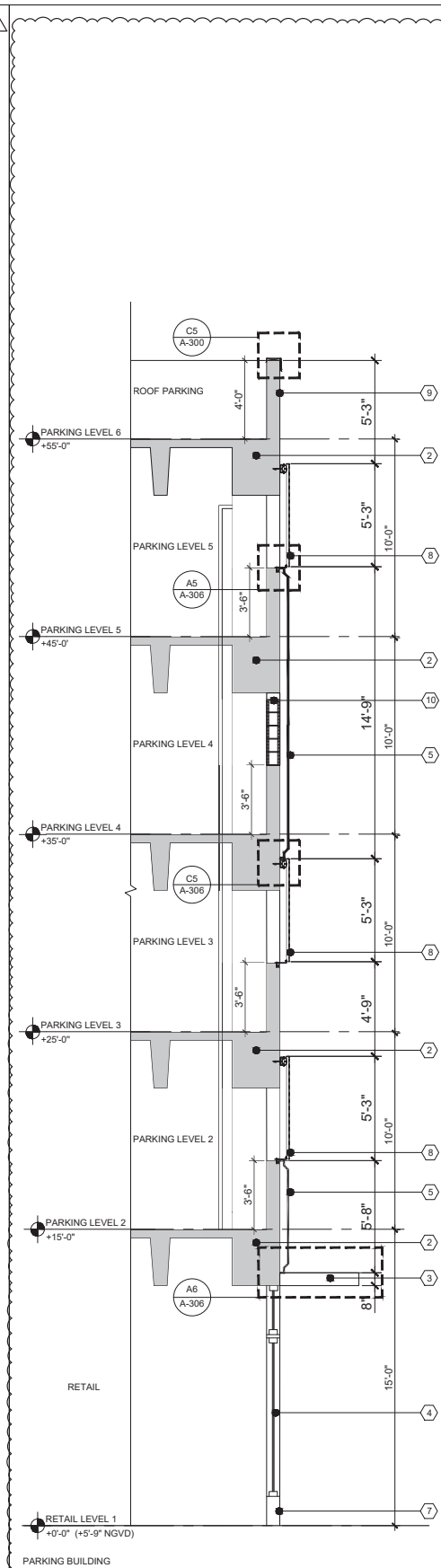
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1691 MICHIGAN
MIAMI BEACH, FL 33139



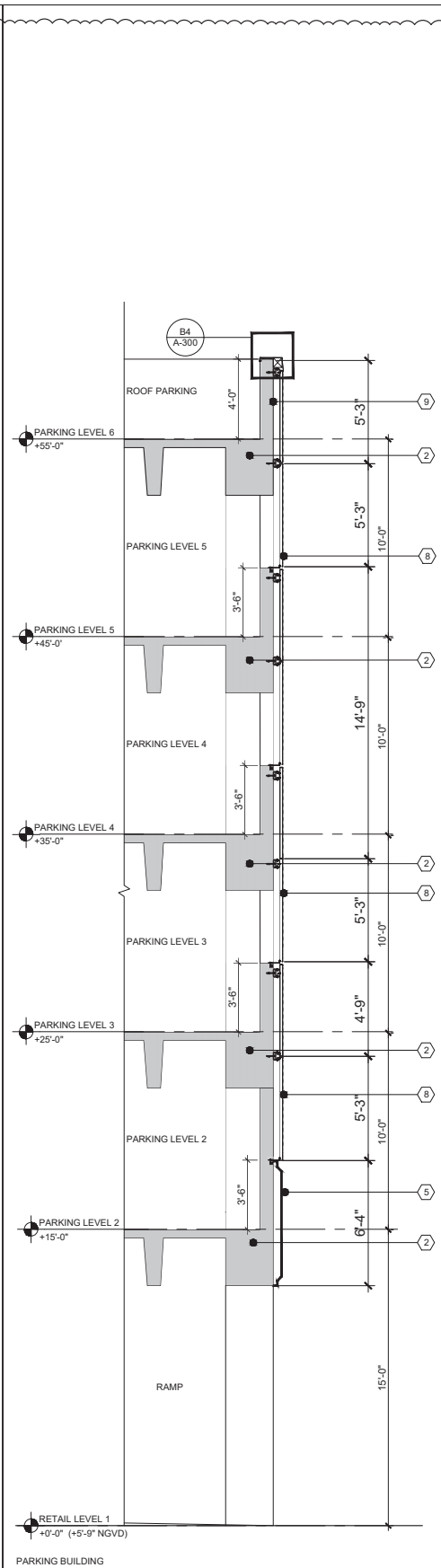
DWG. TITLE		SOUTH WALL SECTION & COPING DETAIL	
SCALE		AS SHOWN	
PROJECT NO.		2023-33	
DATE		07-07-2025	
2	12-30-2025	OWNER REVISION	07-07-2025
1	03-26-2025	CITY COMMENTS	
△	DATE	REVISION	



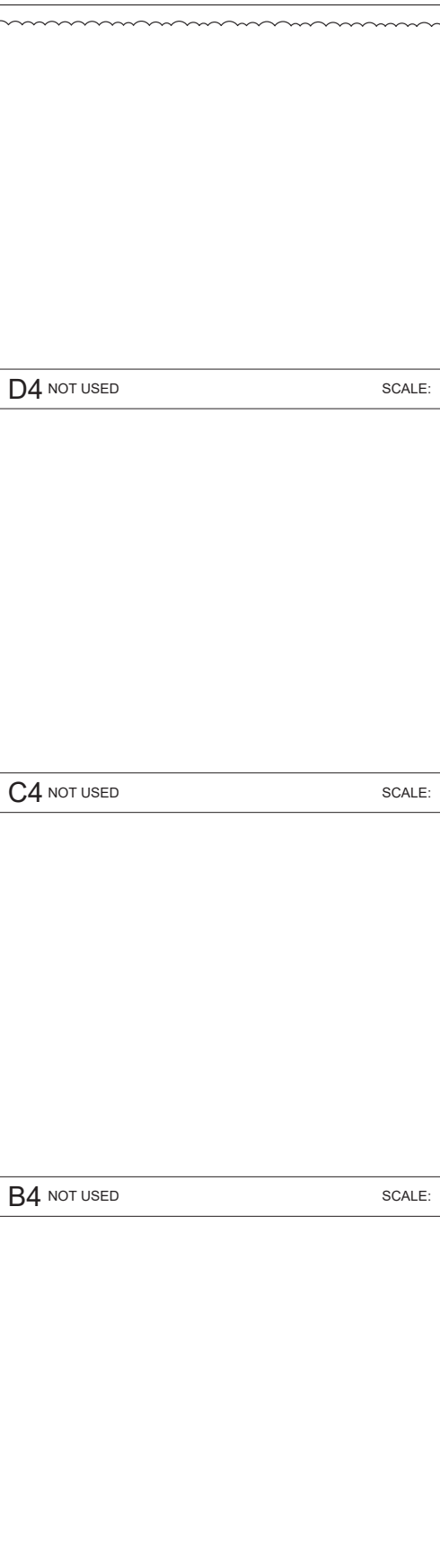
A1 PROPOSED EAST WALL SECTION SCALE: 1/4"=1'-0"



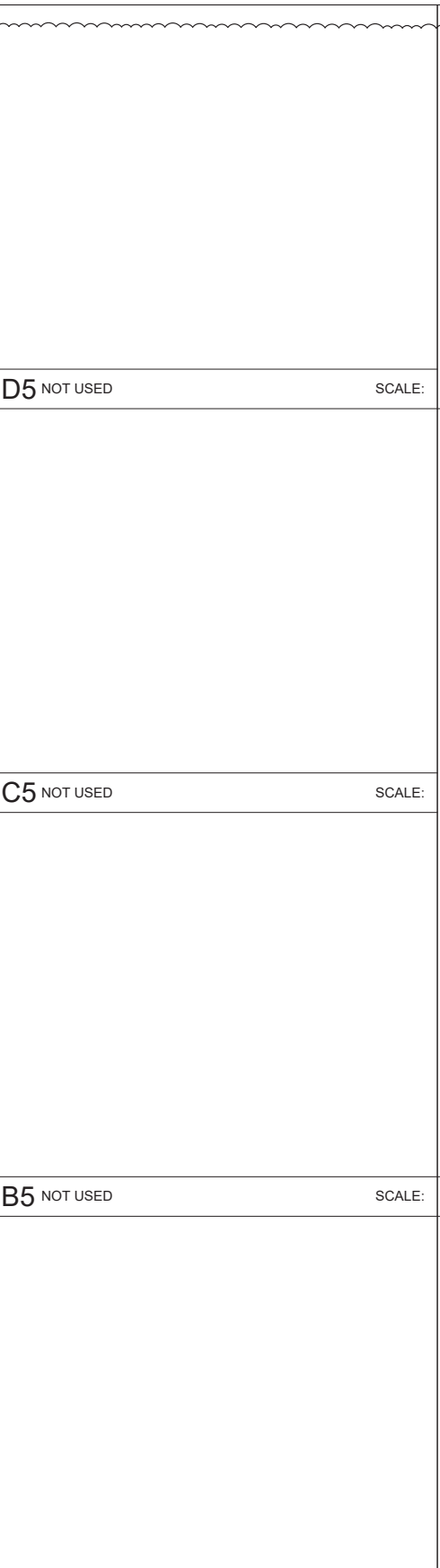
A2 PROPOSED EAST WALL SECTION SCALE: 1/4"=1'-0"



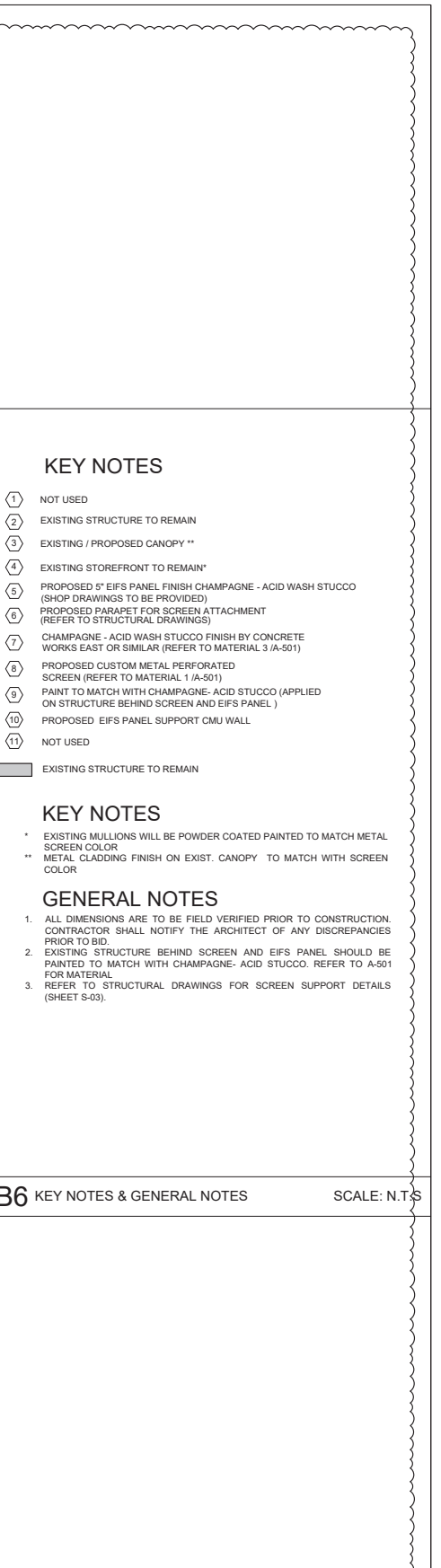
A3 PROPOSED EAST WALL SECTION SCALE: 1/4"=1'-0"



A4 NOT USED SCALE:



A5 NOT USED SCALE:



A6 NOT USED SCALE:

D4 NOT USED SCALE:

D5 NOT USED SCALE:

C4 NOT USED SCALE:

C5 NOT USED SCALE:

B4 NOT USED SCALE:

B5 NOT USED SCALE:

B6 KEY NOTES & GENERAL NOTES SCALE: N.T.S

KEY NOTES

- 1 NOT USED
- 2 EXISTING STRUCTURE TO REMAIN
- 3 EXISTING / PROPOSED CANOPY **
- 4 EXISTING STOREFRONT TO REMAIN*
- 5 PROPOSED 5" EIFS PANEL FINISH CHAMPAGNE - ACID WASH STUCCO (SHOP DRAWINGS TO BE PROVIDED)
- 6 PROPOSED PARAPET FOR SCREEN ATTACHMENT (REFER TO STRUCTURAL DRAWINGS)
- 7 CHAMPAGNE - ACID WASH STUCCO FINISH BY CONCRETE WORKS EAST OR SIMILAR (REFER TO MATERIAL 3 /A-501)
- 8 PROPOSED CUSTOM METAL PERFORATED SCREEN (REFER TO MATERIAL 1 /A-501)
- 9 PAINT TO MATCH WITH CHAMPAGNE- ACID STUCCO (APPLIED ON STRUCTURE BEHIND SCREEN AND EIFS PANEL)
- 10 PROPOSED EIFS PANEL SUPPORT CMU WALL
- 11 NOT USED

KEY NOTES

- * EXISTING MULLIONS WILL BE POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR
- ** METAL CLADDING FINISH ON EXIST. CANOPY TO MATCH WITH SCREEN COLOR

GENERAL NOTES

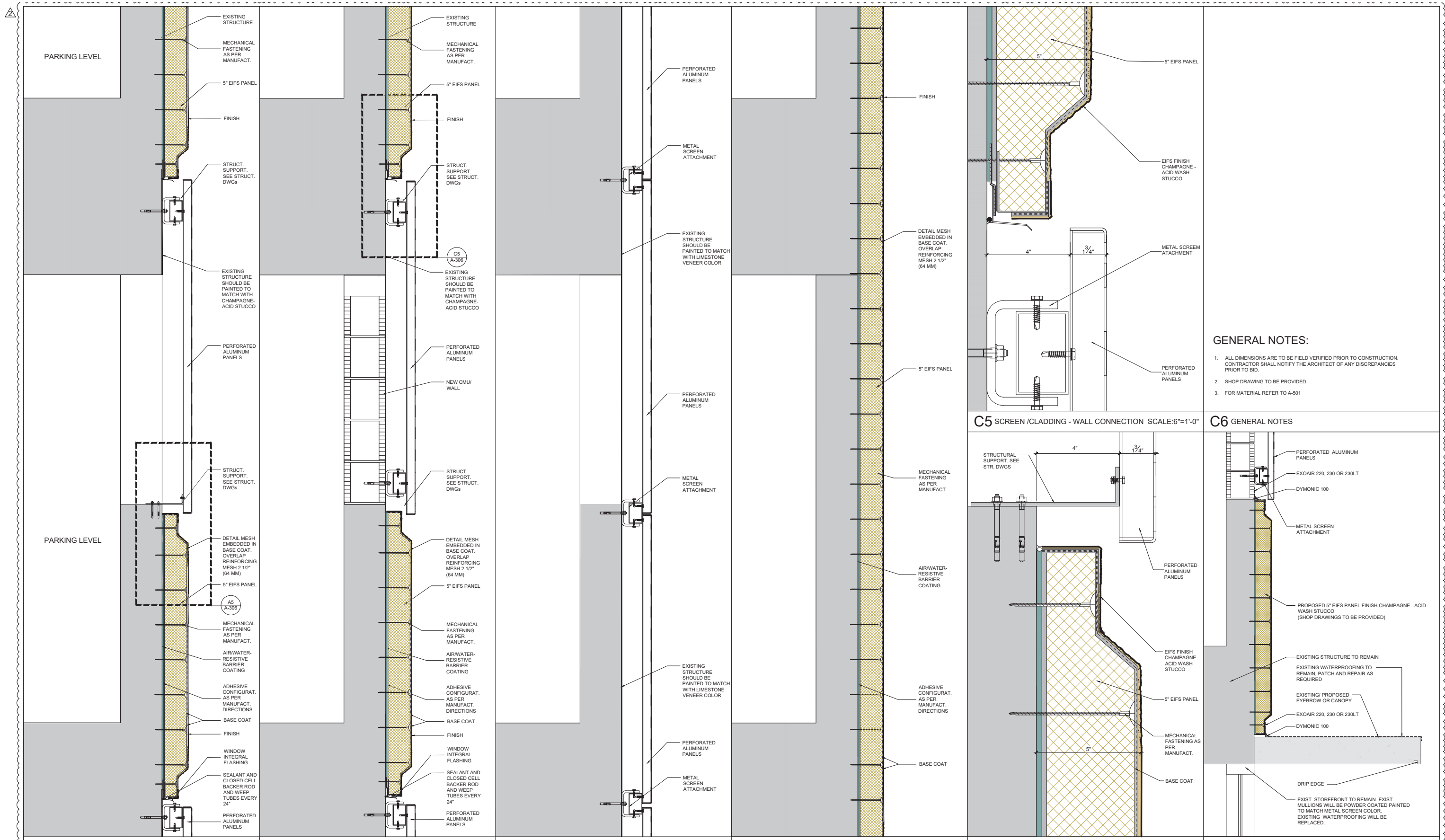
1. ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BID.
2. EXISTING STRUCTURE BEHIND SCREEN AND EIFS PANEL SHOULD BE PAINTED TO MATCH WITH CHAMPAGNE- ACID STUCCO. REFER TO A-501 FOR MATERIAL.
3. REFER TO STRUCTURAL DRAWINGS FOR SCREEN SUPPORT DETAILS (SHEET S-03).

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DWG. TITLE	EAST WALL SECTION
SCALE	AS SHOWN
PROJECT NO.	2023-33
DATE	07-07-2025
SHEET NUMBER	1
DATE	12-30-2025
REVISION	OWNER REVISION

A-304



- GENERAL NOTES:**
1. ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BID.
 2. SHOP DRAWING TO BE PROVIDED.
 3. FOR MATERIAL REFER TO A-501

C5 SCREEN / CLADDING - WALL CONNECTION SCALE: 6"=1'-0"

C6 GENERAL NOTES

A1 SECTION TYP. DETAIL

SCALE: 1 1/2"=1'-0"

A3 SECTION TYP. DETAIL

SCALE: 1 1/2"=1'-0"

A3 SECTION TYP. DETAIL

SCALE: 1 1/2"=1'-0"

SECTION TYP. DETAIL

SCALE: 1 1/2"=1'-0"

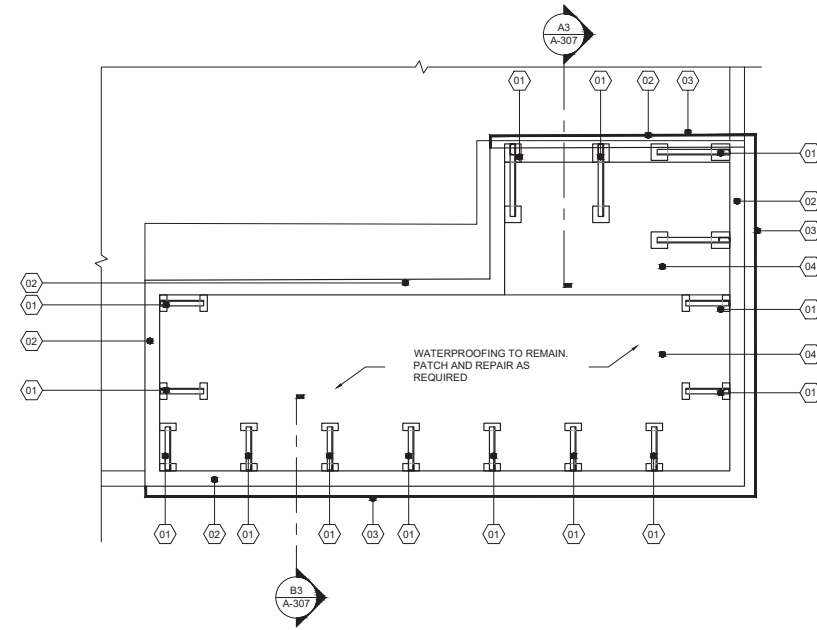
A5 SCREEN / CLADDING - WALL CONNECTION SCALE: 6"=1'-0"

A6 WATERPROOFING DETAIL SCALE: 1" = 1'-0"

THE LINCOLN BL
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DWG TITLE		ENLARGED DETAILS	
SCALE	AS SHOWN	PROJECT NO.	2023-33
DATE	07-07-2025	SHEET NUMBER	A-306
2 12-30-2025	OWNER REVISION		
1 11-27-2024	CITY COMMENTS		
DATE	REVISION		



C1 SOUTH-EST STAIR SCREEN SUPPORT DETAIL

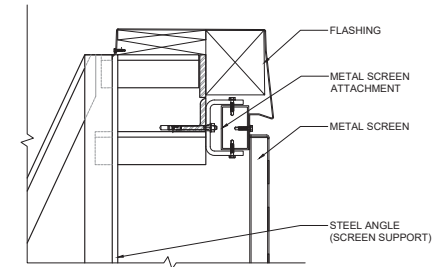
SCALE: 1/4" = 1'-0"

KEY NOTES

- 01 PROPOSED SCREEN SUPPORT @4'-0" MAX.
- 02 EXISTING PARAPET WALL TO REMAIN
- 03 PROPOSED CUSTOM METAL PERFORATED SCREEN (REFER TO MATERIAL 1/A-501)
- 04 CONCRETE SLAB TO REMAIN

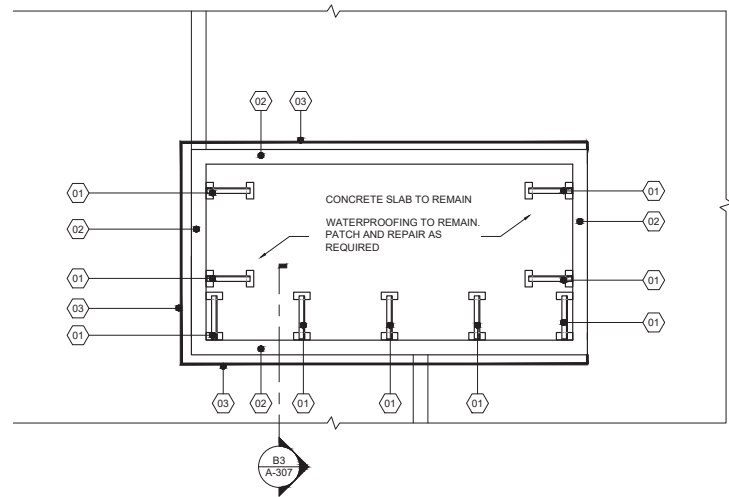
GENERAL NOTES

1. ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BID.
2. SHOP DRAWING TO BE PROVIDED.
3. WATERPROOFING EXISTING TO REMAIN. PATCH AND REPAIR AS REQUIRED.
4. REFER TO STRUCTURAL DRAWINGS.
5. REFER TO A-501 FOR MATERIAL.



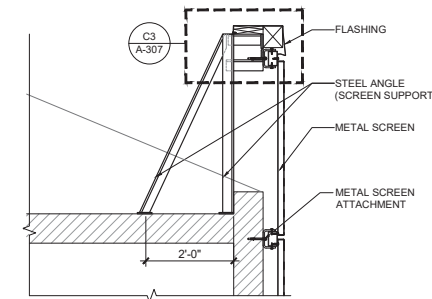
C3 FLASHING

SCALE: 1 1/2" = 1'-0"



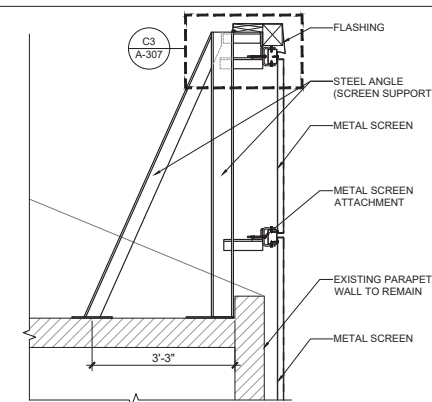
A1 SOUTH-WEST STAIR SCREEN SUPPORT DETAIL

SCALE: 1/4" = 1'-0"



B3 SCREEN SUPPORT DETAIL

SCALE: 1/2" = 1'-0"



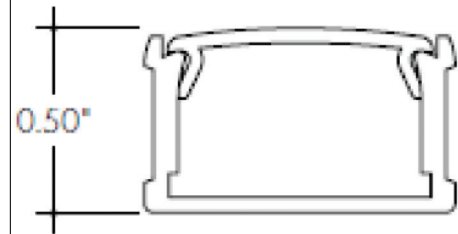
A3 SCREEN SUPPORT DETAIL

SCALE: 1/2" = 1'-0"

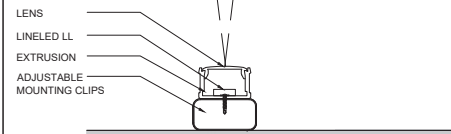
THE LINCOLN BL
1691 MICHIGAN
MIAMI BEACH, FL 33139



DWG. TITLE	SCREEN SUPPORT DETAIL
SCALE	AS SHOWN
PROJECT NO.	2023-33
DATE	07-07-2025
SHEET NUMBER	A-307
DATE	REVISION

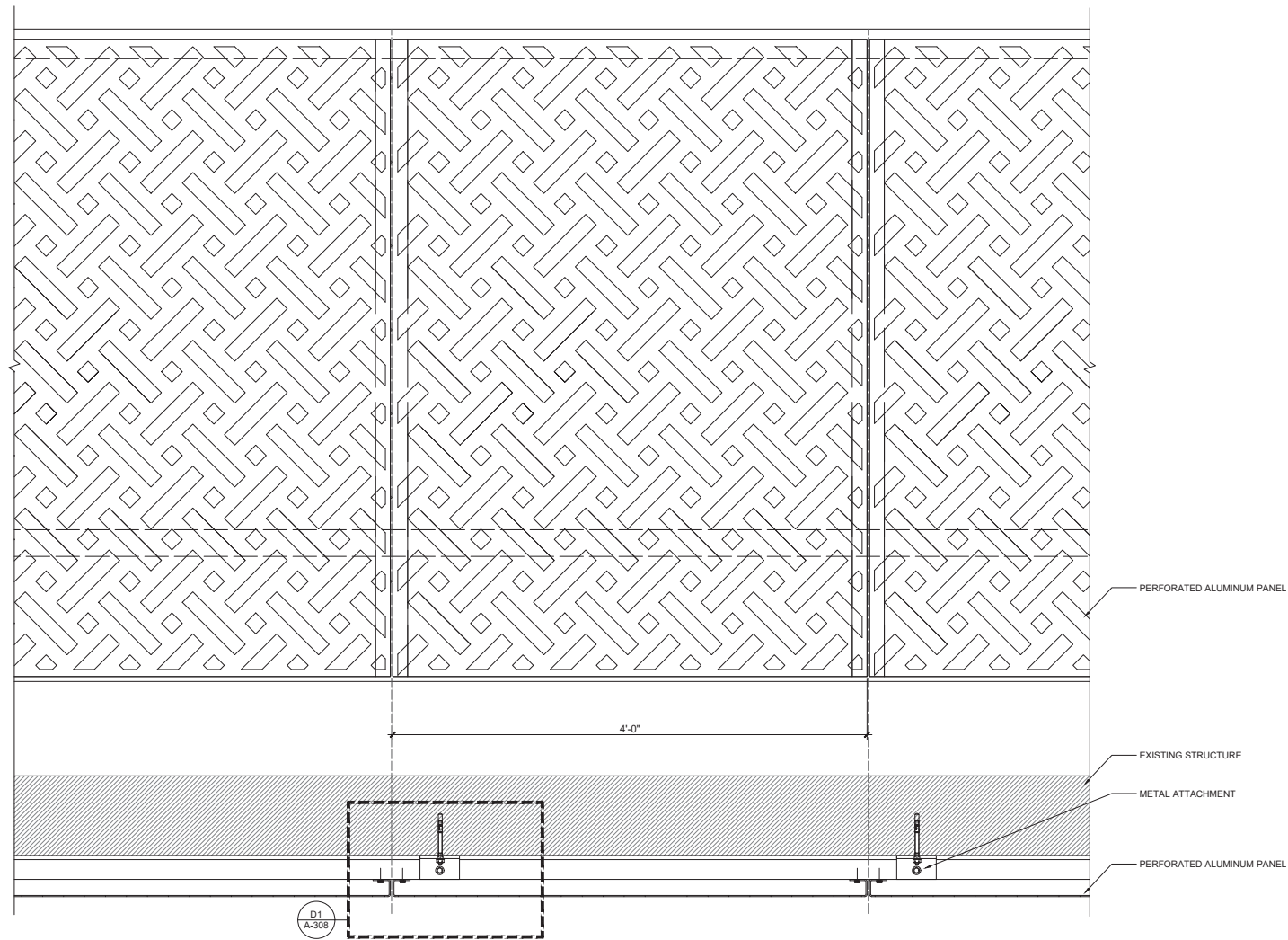


B3 EXTRUDED ALUMINUM PROFILE DETAIL SCALE: N.T.S



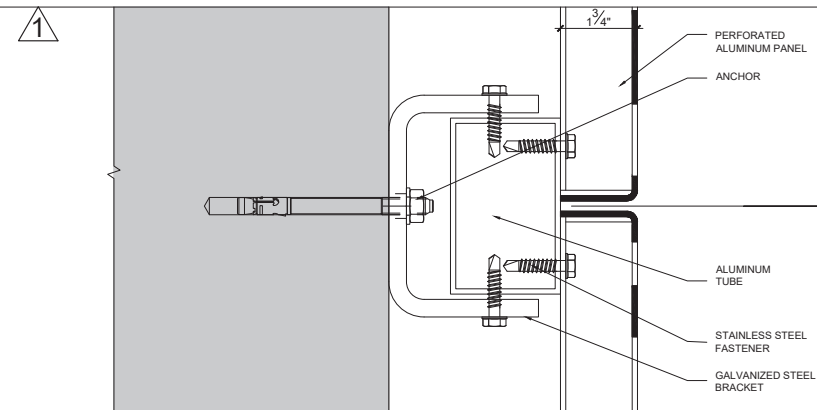
C3 LED LINEAR FIXTURE DETAIL SCALE: N.T.S

A3 ADJUSTABLE MOUNTING CLIP DETAIL

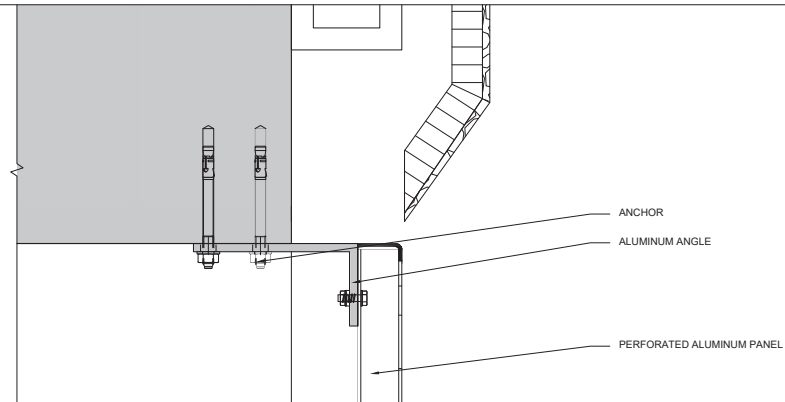


A4 METAL SCREEN PANEL DETAIL

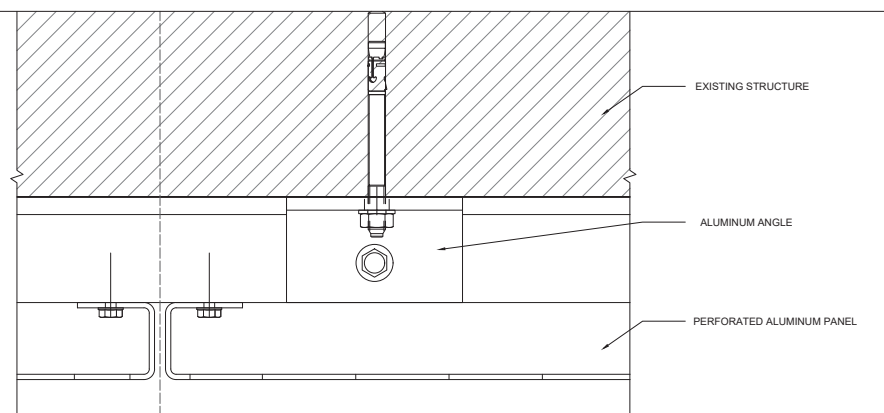
SCALE: 1 1/2" = 1'-0"



C4 METAL SCREEN ATTACHMENT SCALE: 6" = 1'-0"

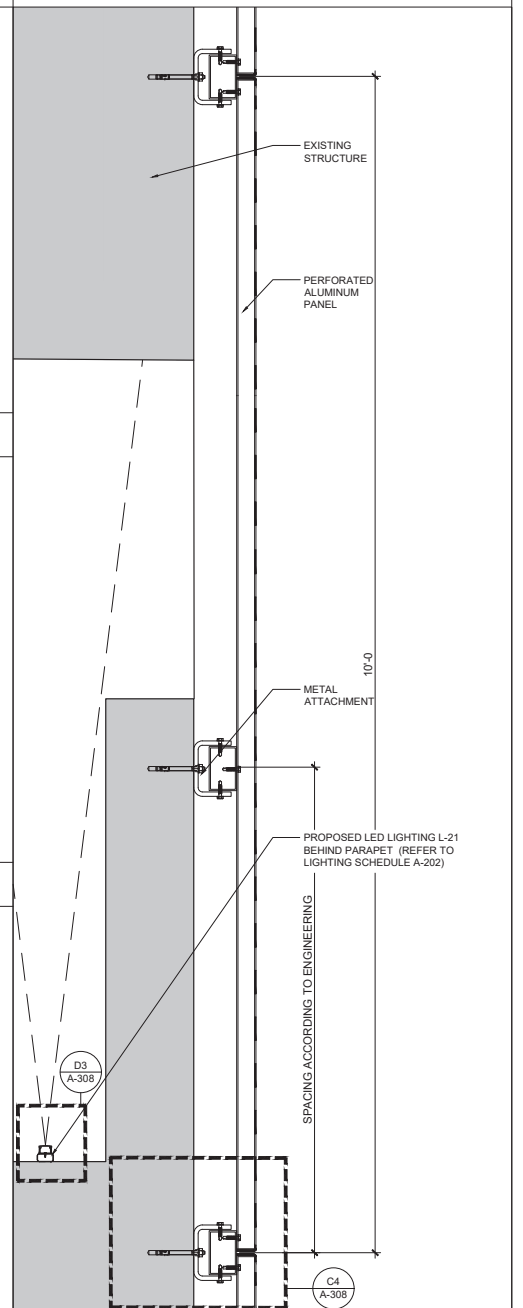


B4 METAL SCREEN ATTACHMENT DETAIL SCALE: 6" = 1'-0"



A4 METAL SCREEN ATTACHMENT

SCALE: 6" = 1'-0"



A6 MTL SCREEN ATTACHMENT DETAIL SCALE: 1 1/2" = 1'-0"

1. ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BID.
2. SHOP DRAWING TO BE PROVIDED.
3. FOR MATERIAL REFER TO A-501

THE LINCOLN BL
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MIAMI BEACH, FL 33139



DWG. TITLE	CUSTOM METAL PERFORATED SCREEN DETAILS
SCALE	AS SHOWN
PROJECT NO.	2023-33
DATE	07-07-2025
SHEET NUMBER	1
DATE	03-26-2025
REVISION	CITY COMMENTS



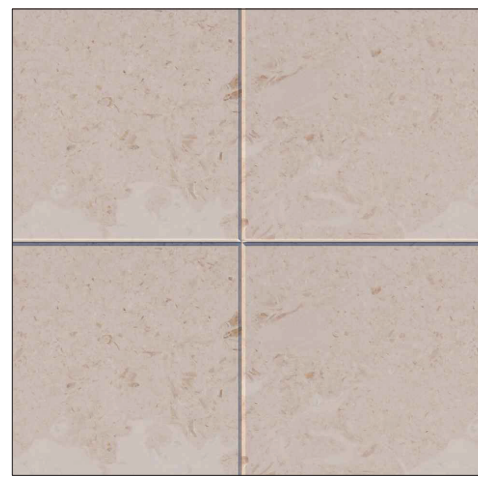
1 CUSTOM METAL PERFORATED SCREEN PANELS



4 TRAVERTINO MOSAIC PANEL /
CAVE STONE MOSAIC
(FIBERGLASS MESH FIXED BEHIND)
NOT USED



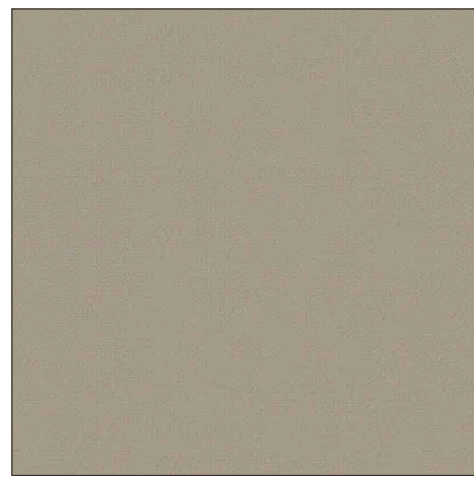
7 PROPOSED CUSTOM DECORATIVE METAL
CLADDING ON EXISTING PARAPET
BY MORIN ARCHITECTURAL WALL



2 PROPOSED LIMESTONE VENEER
NOT USED



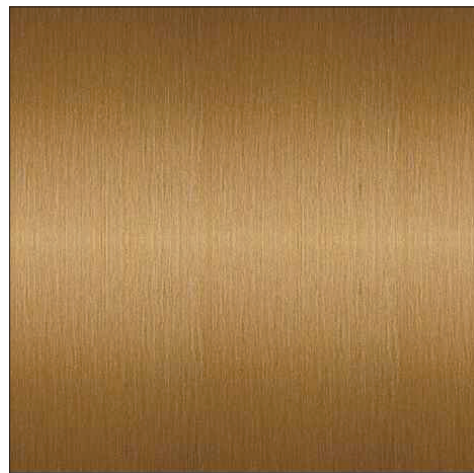
5 PROPOSED LIGHT SCONCES
NATURAL TRAVERTINE STONE LED WALL SCONCE | CL889901



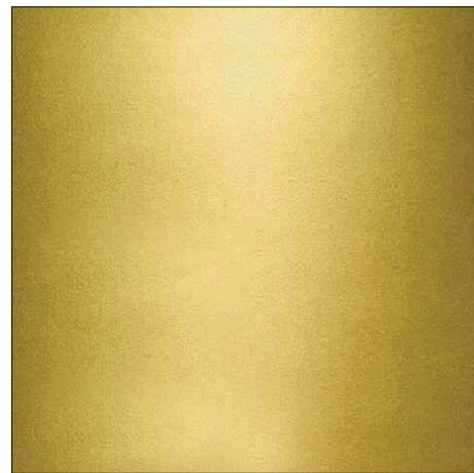
8 PROPOSED AWNINGS (UNDER SEPARATE PERMIT)
PROPOSED FABRIC: FAWN/ SUNBRELLA MAYFIELD
SKU: 6080-0000



3 STUCCO/ CHAMPAGNE - ACID WASH
BY CONCRETE WORKS EAST OR SIMILAR AND
OVER EIFS PANELS



6 METAL CLADDING FINISH



9 EXISTING MULLIONS WILL BE POWDER COATED PAINTED
TO MATCH METAL SCREEN COLOR

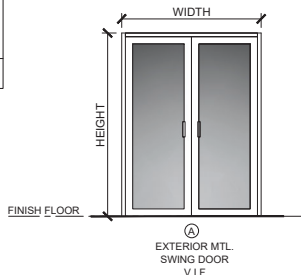
THE LINCOLN BL

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MIAMI BEACH, FL 33139



		DWG. TITLE	MATERIALS
		SCALE	N.T.S
		PROJECT NO.	2023-33
		DATE	07-07-2025
2	12-30-2025	OWNER REVISION	
1	11-27-2024	CITY COMMENTS	
△	DATE	REVISION	△

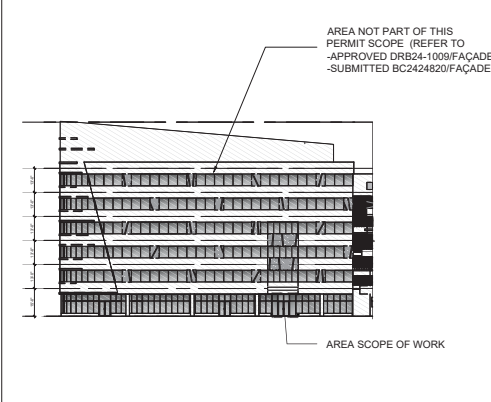
GROUND FLOOR DOORS SCHEDULE													
LOCATION		SIZE		DOOR		FRAME		HARDWARE		REMARKS			
S.F. #	RM. NAME	WIDTH	HEIGHT	TYPE	MATERIAL	FINISH	GLASS	LOUVER	GLASS	LOUVER	LAMINATED	KICKPLATE	FIRE RATING
103	GROUND FLOOR (WEST FACADE)	5'-8"	10'-0"	A.P.M.	A	A.G.D.	A.P.M.	●	●	●	●	●	1 1/2 H
<p>A.P.M. = AS PER MANUFACTURE A.F.G. = ALUMINUM FIXED GLASS S.W.D. = SOLID WOOD DOOR A.G.D. = ALUMINUM GLASS DOOR V.I.F.E.G. = VERIFY IN FIELD EXISTING OPENING MTL = METAL V.I.F. = VERIFY IN FIELD</p> <p>NOTE: ALL OF DETAILS IN THIS PAGE ARE FOR THE DESIGN INTENT ONLY. SHOP DWGS TO BE SUBMITTED TO ARCHITECT FOR REVIEW PRIOR TO FABRICATION & INSTALLATION. ALL DIMENSIONS SHALL BE VERIFIED IN FIELD PRIOR TO COMMENCING THE WORK.</p> <p>NOTE: ALL EGRESS DOORS SHALL NOT REQUIRE A KEY OR SPECIAL KNOWLEDGE TO OPEN FOR EGRESS. ALL DOORS ON THE MEANS OF EGRESS TO HAVE PANIC HARDWARE.</p> <p>NOTE: ALL OF DETAILS IN THIS PAGE ARE FOR THE DESIGN INTENT ONLY. SHOP DWGS TO BE SUBMITTED TO ARCHITECT FOR REVIEW PRIOR TO FABRICATION & INSTALLATION. ALL DIMENSIONS SHALL BE VERIFIED IN FIELD PRIOR TO COMMENCING THE WORK.</p> <p>ALL GLASS TO BE SAFETY GLASS CATEGORY II ALL DOORS MIRROR TO BE SAFETY GLASS CATEGORY II</p> <p>ALL GLASS TO BE SAFETY GLASS CATEGORY II ALL DOORS MIRROR TO BE SAFETY GLASS CATEGORY II</p> <p>DOORS SERVING 100 OR MORE OCCUPANTS SHALL BE PROVIDED WITH PANIC HARDWARE.</p> <p>DOORS TO BE CLEAR GLASS AND CLEAR ANODIZED ALUMINUM UNLESS OTHERWISE NOTED.</p> <p>ALUMINUM FINISH NOTE: ALUMINUM FOR ALL NEW STOREFRONT TO MATCH EXISTING FRAMES.</p> <p>METAL BEAMS OR COLUMNS ADJACENT TO STOREFRONT SHOULD BE WRAP WITH ALUMINUM TO MATCH STOREFRONT. TO BE DONE BY STOREFRONT SUBCONTRACTOR.</p>													



- 1. PARTITION & FLOOR/CEILING ASSEMBLIES NOTES:**
- ALL FIRE RATED WALLS AND PARTITIONS MUST BE EXTENDED TO UNDERSIDE OF THE DECK ABOVE.
 - WALL PARTITIONS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS FROM EACH OTHER OR FROM THE PUBLIC OR SERVICES AREA SHALL HAVE A SOUND TRANSMISSION CLASS (STC) NOT LESS THAN 50 ACCORDING TO 1207.2 F.B.C.
 - FLOOR/CEILING ASSEMBLIES BETWEEN DWELLING UNITS OR BETWEEN A DWELLING UNIT AND A PUBLIC OR SERVICE AREA WITHIN THE STRUCTURE SHALL HAVE AN IMPACT INSULATION CLASS (IIC) RATING OF NOT LESS THAN 50.
 - PENETRATION OR OPENING IN PARTITIONS AND FLOOR/CEILING ASSEMBLIES FOR PIPING, ELECTRICAL DEVICES; RECESSED CABINET; BATHTUBS; SOFFITS; OR HEATING, VENTILATING OR EXHAUST DUCTS SHALL BE SEALED, LINED, INSULATED OR OTHER WISE TREATED TO MAINTAIN THE REQUIRED RATINGS.
- 2. INSULATION MINIMUM VALUES NOTE:**
- REFER TO ENERGY CALC. REPORT FOR DETAILS.
 - ALL HOLLOW METAL DOORS TO BE PAINTED WITH A RUST INHIBITIVE PRIMER & FINISHED WITH AN ALKALINE BASED RUST INHIBITIVE SEMI-GLOSS PAINT.
 - ALL HARDWARE SHOULD BE STAINLESS STEEL & WITHSTAND EXPOSURE TO EXTERIOR CLIMATE CONDITIONS. ALL DOORS TO HAVE MIN. 3 HINGES.
 - ALL EXTERIOR WALL DOORS SHALL HAVE WEATHERPROOFING. ALL HOLLOW METAL DOORS SEPARATING AIR CONDITIONED SPACES FROM NON-CONDITIONED SPACES SHALL BE INSULATED. ALL EXTERIOR HOLLOW METAL DOORS & FRAMES ARE 16 GA. GALV. W/ WELDED SOLID EDGES. EXPOSED DOORS FLUSH WITH WALL ABOVE SHALL HAVE GALV. RAIN HOODS.
 - EXIT SIGNAGE & HARDWARE TO COMPLY W/ ALL APPLICABLE CODES INCL. BUT NOT LIMITED TO FBC 1016.3.4.
 - SEE DOORS STOREFRONT AND WINDOWS ELEV.
 - SUBMIT SHOP DWGS.
 - ALL FIRE RATED DOORS TO BE INSTALLED W/ 3/4 HOUR RATED COMPLETE ASSEMBLY -DOOR, FRAME, CLOSER, HARDWARE.
 - ALL FIRE RATED DOORS SHALL HAVE SELF-CLOSING AND LATCHING HARDWARE. SELF-CLOSING DOORS MUST CLOSE AND FULLY LATCH FROM ANY OPEN POSITION LATCH FROM ANY OPEN POSITION WHEN RELEASED.
 - ALL GLASS TO BE CLEAR IMPACT RESISTANT UNLESS OTHERWISE NOTED.
 - ALL DOORS TO COMPLY FBC 1010.
 - FOR THRESHOLDS @ COMMON AREA DOORS, REFER TO SCHEDULE. IN NO CASE SHALL THRESHOLDS ON AN ACCESSIBLE ROUTE EXCEED 1/2" IN HEIGHT. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES MORE THAN 1/2" AT DOORWAYS SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.
 - THE ELEVATION OF THE FLOOR SURFACES ON BOTH SIDES OF A DOOR SHALL NOT VARY BY MORE THAN 1/2". THE ELEVATION SHALL BE MAINTAINED ON BOTH SIDES OF THE DOORWAY FOR A DISTANCE AT LEAST EQUAL TO THE WIDTH OF THE WEST LEAF.
- HANDICAP DOOR NOTES**
- HANDLES, PULLS, LATCHES, LOCKSET AND OTHER OPERATING MECHANISMS ON ENTRANCE DOORS, RESTROOM & TOILET ROOM DOORS & OTHER DOORS WHICH ARE PART OF AN ACCESSIBLE ROUTE, SHALL BE OPERABLE WITH ONE HAND & SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST.
 - ALL DOORS SHALL BE OPERATED BY A SINGLE EFFORT.
 - EXTERIOR SWINGING DOORS: NO REQUIREMENT FOR OPENING FORCE AT THIS TIME.
 - INTERIOR SWINGING DOORS: SHALL BE OPERABLE BY A FORCE OF NOT MORE THAN 5 LBF.
 - SLIDING OR FOLDING DOORS: SHALL BE OPERABLE BY A FORCE OF NOT MORE THAN 5 LBF.
 - THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBF.
 - ELECTRONICALLY CONTROLLED MECHANISMS ARE LEVER OPERATED, PUSH TYPE, AND EXAMPLES OF ACCEPTABLE DESIGNS.
 - IF SELF-CLOSING VALVES ARE USED THE FAUCET SHALL REMAIN OPEN FOR AT LEAST 10 SECONDS. A STATIC COEFFICIENT OF FRICTION SHALL BE OF 0.6 FOR ACCESSIBLE ROUTES AND 0.8 FOR RAMPS.
 - ALL HANDICAP ACCESSIBLE DOORS, & DOORS THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL BE OPERABLE WITH ONE HAND & ACCEPTABLE TO THE PHYSICALLY HANDICAPPED UNDER THE ADA OR OTHER CODE REQUIREMENTS. SUCH MECHANISMS SHALL BE "J" SHAPED HANDLES, PULLS OR LEVER OPERATED LATCHES, LOCKSETS, ETC.

- FIRESTOPS DETAILS FOR FURRED SPACES**
- A. STOREFRONT AND WINDOW ELEVATIONS ARE FOR GENERAL CONFIGURATION ONLY. MANUFACTURER TO DESIGN STOREFRONTS TO MEET ALL APPLICABLE BUILDING CODE REQUIREMENTS AND SHALL SUBMIT SHOP DRAWINGS, PRODUCT APPROVAL AND STRUCTURAL CALCULATIONS SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER FOR REVIEW.
- B. ALL WINDOW GLAZING AND GLASS DOORS TO BE CATEGORY II SAFETY GLAZING AS PER FBC 2406.3.
- C. ALL GLAZING SHALL BE IMPACT GLASS, LIGHT GRAY TINTED.
- D. ALL ALUMINUM IN STOREFRONTS AND WINDOWS TO BE PAINTED ALUMINUM. SUBMIT COLOR SAMPLES TO ARCHITECT PRIOR TO FABRICATION.
- E. FIELD VERIFY ALL MASONRY OPENINGS PRIOR TO FABRICATION AND NOTE IN SHOP DRAWINGS SUBMITTAL.
- F. SUBMIT PRODUCT APPROVAL.
- G. PROVIDE ANY AND ALL NECESSARY BREAK METAL TO MATCH STOREFRONT ON EXTERIOR VERTICAL AND HORIZONTAL ALUM. COLUMNS.
- H. CALK ALL INTERIOR AND EXTERIOR JOINTS EXPOSED TO VIEW AND DOUBLE BEAK OF I. ALL REQUIRED ALUM. TUBING BETWEEN STOREFRONT SYSTEM BY GLASS SUBCONTRACTOR.
- J. GLASS DOORS AND ADJACENT GLASS PANELS ARE CATEGORY II SAFETY GLAZING.
- GENERAL GLAZING NOTES:**
- FIXED GLASS IN EXTERIOR WALLS:
 - A. ALL OPERABLE OR NON OPERABLE GLAZED PANELS, LOCATED WITHIN 12" FROM A DOOR, AND WHOSE BOTTOM IS LESS THAN 48" FROM THE WALKING SURFACE, SHALL BE CAT. II SAFETY GLASS. AS PER FLORIDA BUILDING CODE SECT. 2411.2
 - B. GLAZING IN INTERIOR OF STRUCTURE:
 - A. PROVIDE CAT. II SAFETY GLASS IN ALL GLAZING WITHIN 60" OF THE FINISHED FLOOR SURFACE IN WALLS 60" OF THE FINISHED FLOOR SURFACE IN WALLS SURROUNDING ANY TUB OR SHOWER ENCLOSURES, AS PER FLORIDA BUILDING CODE SECT. 2411.6.3
 - B. ALL GLASS MIRRORS SHALL COMPLY WITH A.S.T.M. C1036

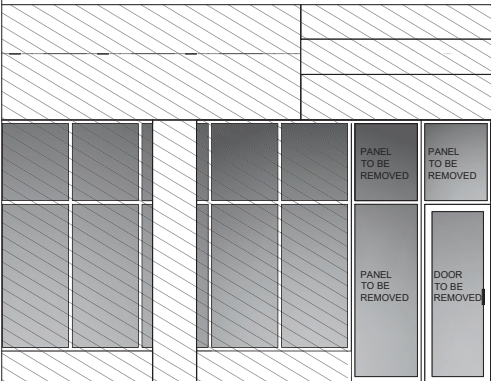
D1 DOOR / WINDOWS SCHEDULES AND NOTES



- TERMITE PROTECTION**
- ALL SINGLE EXTERIOR SWINGING DOORS SHALL HAVE A LOCK TO BE KEY- OPERATED FROM THE EXTERIOR WITH A MIN. OF 6,000 POSSIBLE KEY CHANGES OR LOCKING AUXILIARY SINGLE DEAD BOLT WITH HARDENED BOLT INSERTS.
 - ALL LOCKS ON EXTERIOR DOORS SHALL BE CAPABLE OF RESISTING A FORCE OF 300 LBS. APPLIED IN ANY MOVABLE DIRECTION AND IN ACCORDANCE WITH RESISTANCE STANDARDS SET FORTH.
 - THE ACTIVE LEAF OF PAIRS OF EXTERIOR SWINGING DOORS SHALL HAVE THE SAME LOCK AS REQUIRED FOR SINGLE EXTERIOR SWINGING DOORS. THE INACTIVE LEAF OF THESE PAIR OF DOORS SHALL HAVE A MULTIPLE POINT LOCK WITH 5/8" MIN. THROW BOLTS WITH INSERTS.
 - HINGES ON EXTERIOR OUT-SWINGING DOORS SHALL HAVE NON-REMOVABLE PINS.
 - JAMBS OF ALL EXTERIOR OFFSET TYPE IN-SWINGING DOORS SHALL BE RABBETED OR OF A SIMILAR FABRICATION TO PREVENT DEFEATING THE PURPOSE OF THE STRIKE AND THE INTEGRITY OF LOCKS AND LATCHES.
 - GLASS AND EXTERIOR DOORS SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE'S STANDARD 297.1.
 - FRONT AND MAIN ENTRANCE DOORS SHALL BE PROVIDED WITH A DOOR SCOPE OR VISION PANELS. VISION PANELS IN EXTERIOR DOORS, OTHER THAN GLAZING WITHIN 40" OF THE INSIDE LOCK ACTIVATING DEVICE, SHALL COMPLY WITH ANSI 297.1.
- A. IF THE DESIGN PRESSURE ON THE WINDOW DOES NOT EXCEED 65 PSF, SECURE THE WINDOW TO A 2" X P.T. WOOD BUCK USING THE NUMBER AND TYPE OF FASTENERS AS DESCRIBED ON THE NOTICE OF ACCEPTANCE & SECURE THE 2" X WOOD BUCK TO THE STRUCTURE USING # CORROSION RESISTANCE APPROVED CONCRETE SCREW ANCHORS W/ A MIN. EMBEDMENT OF 4" @ 24" O.C. (6" FROM ENDS) ON CONCRETE AND @ 15" O.C. (6" FROM ENDS) ON 3000 PSI ON ASTM C-90 CONCRETE BLOCK OR,
- B. SECURE WINDOW DIRECTLY TO STRUCTURE W/ # CORROSION RESISTANCE APPROVED CONCRETE SCREW ANCHORS W/ A MIN. EMBEDMENT OF 4" SPACED AS DESCRIBED ON THE NOTICE OF ACCEPTANCE. A NOMINAL 1"x3" P.T. WOOD SPACER SHALL BE USED BETWEEN THE WINDOW AND THE STRUCTURE BUT THE EMBEDMENT IN THE CONCRETE BLOCK SHALL REMAIN TO BE 4".

- GENERAL FINISH NOTES**
- A. ANY DOOR IN ANY MEANS OF EGRESS PATH SHALL COMPLY WITH FBC 1010 FOR REQUIRED FORCE TO OPEN. A 15LB (67 N) FORCE SHALL RELEASE A LATCH.
- B. NO DOOR IN THE PATH OF TRAVEL OF MEANS OF ESCAPE SHALL BE LESS THAN 32" WIDE. EXCEPT THAT BATHROOM DOORS MAY BE 24" WIDE UNLESS A LARGER DOOR OPENING IS REQUIRED TO SATISFY THE REQUIREMENTS OF SECTION 515 OF THE SOUTH FLORIDA BUILDING CODE.
- C. EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY.
- D. NO DOOR IN ANY MEANS OF ESCAPE SHALL BE LOCKED AGAINST EGRESS WHEN THE BUILDING IS OCCUPIED. ALL LOCKING DEVICES WHICH IMPEDE OR PROHIBIT EGRESS OR WHICH CANNOT BE EASILY ENGAGED SHALL BE PROHIBITED.
- E. ANY DOOR IN A REQUIRED MEANS OF EGRESS FROM AN AREA HAVING AN OCCUP. LOAD OF 50 OR MORE PERSONS SHALL BE PROVIDED WITH A PANIC HARDWARE OR FIRE EXIT HARDWARE.
- F. EGRESS DOORS EQUIPPED WITH KEY-OPERATED LOCKING DEVICES FROM THE EGRESS SIDE SHALL MET ALL THE FOLLOWING CRITERIA:
- THE LOCKING DEVICE IS READILY DISTINGUISHABLE AS LOCKED.
 - A READILY VISIBLE DURABLE SIGN IS POSTED ON THE EGRESS SIDE ON OR ADJACENT TO THE DOOR STATING THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED. THE SIGN SHALL BE IN LETTERS 1 INCH (25 MM) HIGH ON A CONTRASTING BACKGROUND.
- G. WALK-IN COOLERS AND FREEZERS SHALL BE EQUIPPED WITH 1/4 QUARTER TURN LOW CONDUCTION DOOR LOCKING MECHANISM AS REQUIRED FOR OCCUPANTS TO EXIT EASILY AND QUICKLY AND SO PREVENT ENTRAPMENT.

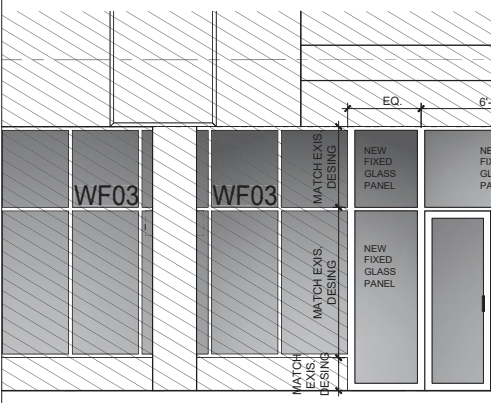
C1 KEY PLAN (WEST ELEVATION)



C2 GENERAL NOTES

- AREA NOT PART OF THIS PERMIT SCOPE (REFER TO -APPROVED DRB24-1009/FAÇADE -SUBMITTED BC2424820/FAÇADE)
- EXISTING SLIDING DOOR TO BE REMOVED

B1 EXISTING OFFICE BUILDING WEST ELEVATION

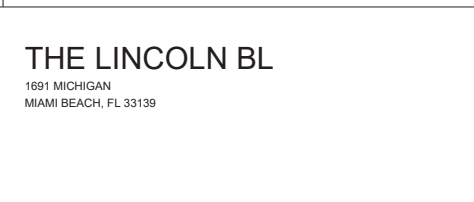


- AREA NOT PART OF THIS PERMIT SCOPE (REFER TO -APPROVED DRB24-1009/FAÇADE -SUBMITTED BC2424820/FAÇADE)
- PROPOSED ALUMINUM STOREFRONT. MULLIONS WILL BE POWDER COATED PAINTED TO MATCH METAL SCREEN COLOR
- NEW LOW WALL (REFER TO STRUCTURAL DRAWING)

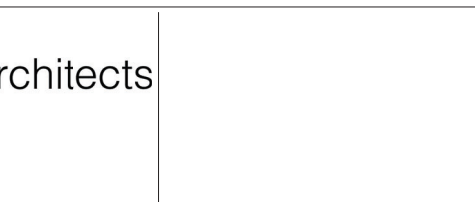
A1 PROPOSED OFFICE BUILDING WEST ELEVATION



A3 EXISTING DOOR PHOTO



A5 EXISTING DOOR PHOTO



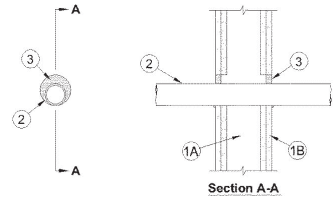
- EGRESS NOTES**
- A. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS CAN BE MADE IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.
- B. ALL NEW WOOD TO BE INHERENTLY FIRE RETARDANT.
- C. PAINT ALL INTERIOR AND EXTERIOR SURFACES EXPOSED TO VIEW.
- D. ALL FLOOR FINISHES TO BE SLIP RESISTANT: 0.6 COEFFICIENT OF FRICTION FOR ACCESSIBLE ROUTE, 0.8 FOR RAMPS.
- E. ALL GROUT TO BE EPOXY GREASE RESISTANT & SEALED.
- F. PROVIDE FLOOR TO CEILING PLASTIC (SCREWED IN TYPE) CORNER GUARDS AT KITCHEN OUTSIDE CORNERS.
- G. INSTALL CLEAR SILICONE CAULK AT ALL JOINTS AS DIRECTED BY HEALTH DEPARTMENT.
- H. INTERIOR FLOOR TO HAVE SURFACES WHICH ARE EVEN AND SUBSTANTIALLY EVEN.
- I. CONTRACTOR TO VERIFY IN FIELD DIMENSIONS OF ALL OPENINGS & ACCOMMODATE FINISH WHERE REQUIRED.
- J. TO VERIFY ALL DOORS JAMB CLEAR WIDTH INCLUDING CASING REGS. BEFORE INSTALLATION OF ANY STUDS
- K. ALL NEW FINISHES: WALL/CEILING/FLOOR/TRIM/DECOR, ARE TO COMPLY WITH FBCB CHAPTER 8, FOR FLAME SPREAD AND SMOKE DEVELOPMENT CLASSIFICATION.



THE LINCOLN BL
1691 MICHIGAN
MIAMI BEACH, FL 33139

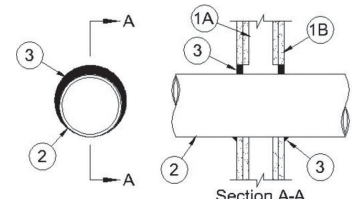
ARCHITECTURE BELINSON GOMEZ

System No. W-L-2299
 May 19, 2005
F Ratings — 1 & 2 Hr (See Item 1)
T Rating — 0 Hr
W-L-2299



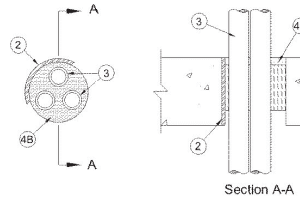
- Wall Assembly** — The 1 or 2 hr fire rated gypsum board/stud wall assembly shall be constructed of the materials and in the manner described in the individual U300, U400 or V400 Series Wall and Partition Design in the UL Fire Resistance Directory and shall include the following construction features:
 - Studs** — Wall framing may consist of either wood studs or steel channel studs. Wood studs to consist of nom 2 by 4 in. (51 by 102 mm) lumber spaced 16 in. (406 mm) OC. Steel studs to be min 3-1/2 in. (89 mm) wide spaced max 24 in. (610 mm) OC.
 - Gypsum Board** — The gypsum board type, thickness, number of layers, fastener type and sheet orientation shall be as specified in the individual Design in the UL Fire Resistance Directory. Max diam of opening is 3-1/2 in. (89 mm).
- Hourly F Rating of the firestop system is equal to the hourly fire rating of the wall assembly in which it is installed.**
- Through-Penetrants** — One nonmetallic pipe or conduit installed eccentrically or concentrically within opening. Annular space between penetrant and periphery of opening to be min 0 in. (0 mm, point contact) to max 1-1/8 in. (29 mm) Penetrant to be rigidly supported on both sides of wall. The following types and sizes of penetrants may be used:
 - Polyvinyl Chloride (PVC) Pipe** — Nom 2 in. (51 mm) diam (or smaller) Schedule 40 solid core or cellular core PVC pipe for use in closed (process or supply) or vented (drain, waste or vent) piping systems.
 - Chlorinated Polyvinyl Chloride (CPVC) Pipe** — Nom 2 in. (51 mm) diam (or smaller) SDR13.5 CPVC pipe for use in closed (process or supply) piping systems.
 - Rigid Nonmetallic Conduit** — Nom 2 in. (51 mm) diam (or smaller) Schedule 40 PVC conduit installed in accordance with the National Electrical Code (NFPA No. 70).
 - Acrylonitrile Butadiene Styrene (ABS) Pipe** — Nom 1-1/2 in. (38 mm) diam (or smaller) Schedule 40 solid core or cellular core ABS pipe for use in closed (process or supply) or vented (drain, waste or vent) piping systems.
 - Electrical Nonmetallic Tubing (ENT)** — Nom 1-1/4 in. (32 mm) diam (or smaller) ENT installed in accordance with Article 331 of the National Electrical Code (NFPA No. 70).
 - See Electrical Nonmetallic Tubing (FKH) category in the Electrical Construction Materials Directory for names of manufacturers.**
- Fill, Void or Cavity Material** - **Caulk or Sealant** — Min 5/8 in. (16 mm) thickness of caulk applied within annulus, flush with both surfaces of wall. Min 1/4 in. (6 mm) diam bead of caulk applied to gypsum board/penetrant interface at point contact location on both sides of wall.

System No. W-L-1296
 February 14, 2008
F Ratings — 1 and 2 Hr (See Item 1)
T Ratings — 0 and 1/4 Hr (See Item 1)
W-L-1296



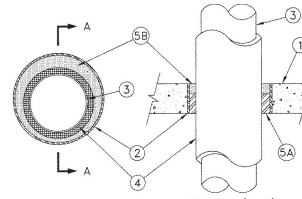
- Wall Assembly** — The 1 or 2 hr fire rated gypsum board/stud wall assembly shall be constructed of the materials and in the manner described in the individual U300, U400 or V400 Series Wall and Partition Design in the UL Fire Resistance Directory and shall include the following construction features:
 - Studs** — Wall framing may consist of either wood studs or steel channel studs. Wood studs to consist of nom 2 by 4 in. (51 by 102 mm) lumber spaced 16 in. (406 mm) OC. Steel studs to be min 3-1/2 in. (89 mm) wide spaced max 24 in. (610 mm) OC.
 - Gypsum Board** — The gypsum board type, thickness, number of layers, fastener type and sheet orientation shall be as specified in the individual U300, U400 or V400 Series Design in the UL Fire Resistance Directory. Max diam of opening is 10-5/8 in. (270 mm).
 - Steel Sleeve** — (Optional, Not Shown) - Cylindrical sleeve fabricated from min 0.019 in. thick (0.48 mm) galv sheet steel and having a min 2 in. (51 mm) lap along the longitudinal seam. Length of steel sleeve to be equal to thickness of wall. Sleeve installed by colling the steel steel to a diam smaller than the through opening, inserting the coil through the openings and releasing the coil to let it uncoil against the circular cutouts in the gypsum wallboard layers.
- Hourly F Rating of the firestop system is equal to the hourly fire rating of the wall assembly in which it is installed. The hourly T Rating is 0 and 1/4 Hr for 1 and 2 Hr rated assemblies, respectively.**
- Through-Penetrants** — One metallic pipe, conduit, tubing or flexible metal pipe installed concentrically or eccentrically within opening. Annular space between penetrant and periphery of opening to be min 0 in. (0 mm point contact) to max 2 in. (51 mm). Penetrant to be rigidly supported on both sides of wall. The following types and sizes of penetrants may be used:
 - Steel Pipe** — Nom 8 in. (203 mm) diam (or smaller) Schedule 5 (or heavier) steel pipe.
 - Iron Pipe** — Nom 8 in. (203 mm) diam (or smaller) cast or ductile iron pipe.
 - Conduit** — Nom 4 in. (102 mm) diam (or smaller) steel electrical metallic tubing (EMT) or nom 6 in. (152 mm) rigid steel conduit.
 - Copper Tubing** — Nom 4 in. (102 mm) diam (or smaller) Type L (or heavier) copper tubing.
 - Copper Pipe** — Nom 4 in. (102 mm) diam (or smaller) Regular (or heavier) copper pipe.
 - Through Penetrating Product-Flexible Metal Piping** — The following types of steel flexible metal gas piping may be used:
 - Nom 2 in. (51 mm) diam (or smaller) steel flexible metal gas piping. Plastic covering on piping may or may not be removed on both sides of floor or wall assembly.
 - Nom 1 in. (25 mm) diam (or smaller) steel flexible metal gas piping. Plastic covering on piping may or may not be removed on both sides of floor or wall assembly.
- Fill, Void or Cavity Material** - **Caulk or Sealant** — Min 5/8 in. (16 mm) thickness of caulk applied within annulus, flush with both surfaces of wall. Min 1/4 in. (6 mm) diam bead of caulk applied to gypsum board/penetrant interface at point contact location on both sides of wall.

System No. C-AJ-2378
 May 19, 2005
F Rating — 2 Hr
T Rating — 0 Hr
W Rating — Class 1 (See Item 4)
C-AJ-2378



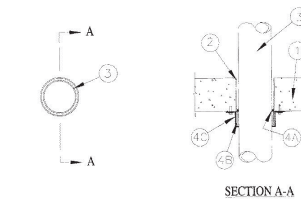
- Floor or Wall Assembly** — Min 4-1/2 in. (114 mm) thick reinforced lightweight or normal weight (100-150 pcf or 1778 - 2400 kg/m³) concrete. Floor assembly may also be constructed of any min 6 in. (152 mm) thick UL Classified hollow-core **Precast Concrete Units**. Wall may also be constructed of any UL Classified **Concrete Blocks**. Max diam of opening is 5 in. (127 mm).
- See Concrete Blocks (CAZT) and Precast Concrete Units (CFTV) categories in Fire Resistance Directory for names of manufacturers.**
- Steel Sleeve** — (Optional) - Nom 5 in. (127 mm) diam (or smaller) Schedule 10 (or heavier) steel sleeve cast or grouted into floor or wall assembly. Steel sleeve may be installed flush or may project max 2 in. (51 mm) beyond the floor or wall surfaces.
- Through-Penetrants** — One or more nonmetallic pipes, conduits or tubes installed concentrically or eccentrically within opening. Annular space between penetrants and periphery of opening or sleeve shall be min of 1/4 in. (6 mm) to max 2 in. (51 mm). The space between penetrants shall be min of 1/4 in. (6 mm) to max 2 in. (51 mm). Penetrants to be rigidly supported on both sides of floor or wall assembly. The following types and sizes of penetrants may be used:
 - Polyvinyl Chloride (PVC) Pipe** — Nom 1-1/2 in. (38 mm) diam (or smaller) Schedule 40 solid core PVC pipe for use in closed (process or supply) or vented (drain, waste or vent) piping systems.
 - Rigid Nonmetallic Conduit** — Nom 1-1/2 in. (38 mm) diam (or smaller) Schedule 40 PVC conduit installed in accordance with Article 347 of the National Electrical Code (NFPA No. 70).
 - Chlorinated Polyvinyl Chloride (CPVC) Pipe** — Nom 1-1/2 in. (38 mm) diam (or smaller) SDR13.5 CPVC pipe for use in closed (process or supply) piping systems.
 - Crosslinked Polyethylene (PEX) Tubing** — Nom 1 in. (38 mm) diam (or smaller) SDR 9 PEX tubing for use in closed (process or supply) or vented (drain, waste or vent) piping systems.
- Firestop System** — The details of the firestop system shall be as follows:
 - Packing Material** — Min 3 in. (76 mm) thickness of min 4 pcf (64 kg/m³) mineral wool batt insulation firmly packed into opening as a permanent form. Packing material to be recessed from top surface of floor or top edge of sleeve or from both surfaces of wall and both ends of sleeve as required to accommodate the required thickness of fill material. In floors constructed of hollow-core concrete, packing material to be recessed from all bottom surfaces of floor or sleeve as required to accommodate the required thickness of fill material.
 - Fill, Void or Cavity Materials** - **Caulk or Sealant** — Min 1/2 in. (13 mm) thickness of caulk applied within the annulus, flush with top surface of floor or top edge of sleeve and with both surfaces of wall or both ends of sleeves. In floors constructed of hollow-core concrete, min 1/2 in. (13 mm) thickness of caulk applied within the annulus, flush with top and bottom surfaces of floor or sleeve. Min 1/4 in. (6 mm) diam bead of caulk applied to the penetrant/concrete or penetrant/sleeve interface at the point contact location on the top surface of floor or both surfaces of wall or hollow-core concrete.

System No. C-AJ-5208
 January 06, 2010
F Rating — 2 Hr
T Rating — 0 Hr
C-AJ-5208



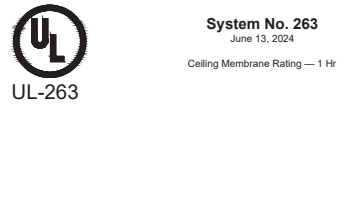
- Floor or Wall Assembly** — Min 2-1/2 in. thick reinforced lightweight or normal weight (100-150 pcf concrete floor or min 3-1/2 in. thick reinforced lightweight or normal weight concrete wall. Wall may also be constructed of any UL Classified **Concrete Blocks**. Max diam of opening is 8-1/4 in. (210 mm) See **Concrete Blocks (CAZT)** in Volume 1 of the Fire Resistance Directory for names of manufacturers.
- Metallic Sleeve (Optional)** — Nom 8 in. diam (or smaller) Schedule 10 steel pipe cast or grouted into floor or wall assembly, flush with floor or wall surfaces.
- Through Penetrants** — One metallic pipe or tubing to be installed concentrically or eccentrically within the firestop system. Pipe or tubing to be rigidly supported on both sides of floor or wall assembly. The following types and sizes of metallic pipes or tubing may be used:
 - Steel Pipe** — Steel Pipe - Nom 4 in. diam (or smaller) Schedule 5 (or heavier) steel pipe.
 - Iron Pipe** — Nom 4 in. diam (or smaller) cast or ductile iron pipe.
 - Copper Tubing** — Nom 4 in. diam (or smaller) Type L (or heavier) copper tubing.
 - Copper Pipe** — Nom 4 in. diam (or smaller) Regular (or heavier) copper pipe.
 - Pipe Insulation** — **Plastics**- Nom 1 in. thick acrylonitrile butadiene polyvinyl chloride (AB/PVC) flexible foam furnished in the form of tubing. The annular space shall be min 1/2 in. to max 1-3/8 in. See **Plastics** (CMF22) category in the Plastic Component Directory for names of manufacturers. Any Recognized Component tube insulation material meeting the above specifications and having a UL 94 Flammability Classification of 0-5A may be used.
- Firestop System** — The firestop system shall consist of the following:
 - Packing Material** — Min 1-1/2 in. thickness of min 4 pcf mineral wool batt insulation firmly packed into opening as a permanent form. Packing material to be recessed from top surface of floor or from both surfaces of wall as required to accommodate the required thickness of fill material.
 - Fill, Void or Cavity Material** — Sealant Min 1 in. thickness of fill material applied within the annulus, flush with top surface of floor or with both surfaces of wall.

System No. C-AJ-2242
 November 20, 2009
F Rating — 2 Hr
T Ratings — 1-3/4 and 2 Hr (See Item 2)
W Rating — Class 1 (See Item 4)
C-AJ-2242



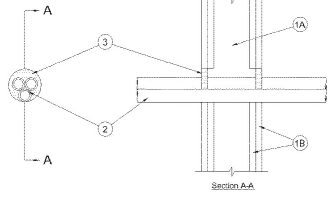
- Floor or Wall Assembly** — Min 4-1/2 in. (114 mm) thick reinforced lightweight or normal weight (100-150 pcf or 1600 - 2400 kg/m³) concrete. Wall may also be constructed of any UL Classified **Concrete Blocks**. Floor may also be constructed of any 8 in. (152 mm) thick UL Classified hollow core **Precast Concrete Units**. For nom 2-1/2 in. (64 mm) diam and smaller pipes and conduits, diam of opening shall be 1/2 in. (13 mm) larger than nom pipe diam. For pipes and conduits greater than nom 2-1/2 in. (64 mm) diam of opening shall be 2 in. (51 mm) larger than nom pipe diam. Penetrants to be rigidly supported on both sides of wall. The following types and sizes of penetrants may be used:
 - Polyvinyl Chloride (PVC) Pipe** — Nom 4 in. (102 mm) diam (or smaller) Schedule 40 solid core or cellular core PVC pipe for use in closed (process or supply) or vented (drain, waste or vent) piping systems.
 - Chlorinated Polyvinyl Chloride (CPVC) Pipe** — Nom 4 in. (102 mm) diam (or smaller) SDR13.5 CPVC pipe for use in closed (process or supply) piping systems.
 - Rigid Nonmetallic Conduit** — Nom 4 in. (102 mm) diam (or smaller) Schedule 40 PVC conduit installed in accordance with Article 347 of the National Electrical Code (NFPA No. 70).
 - Acrylonitrile Butadiene Styrene (ABS) Pipe** — Nom 4 in. (102 mm) diam (or smaller) Schedule 40 solid core or cellular core ABS pipe for use in closed (process or supply) or vented (drain, waste or vent) piping systems.
 - Electrical Nonmetallic Tubing (ENT)** — Nom 4 in. (102 mm) diam (or smaller) ENT installed in accordance with Article 331 of the National Electrical Code (NFPA No. 70).
 - See Electrical Nonmetallic Tubing (FKH) category in the Electrical Construction Materials Directory for names of manufacturers.**
- Fill, Void or Cavity Material** - **Caulk or Sealant** — Min 1/4 in. (6 mm) thickness of caulk applied within annular space, flush with bottom of floor, or both sides of wall.
- Firestop System** — The firestop system shall consist of the following:
 - Packing Material** — Min 1-1/2 in. thickness of min 4 pcf mineral wool batt insulation firmly packed into opening as a permanent form. Packing material to be recessed from top surface of floor or from both surfaces of wall as required to accommodate the required thickness of fill material.
 - Fill, Void or Cavity Material** — Sealant Min 1 in. thickness of fill material applied within the annulus, flush with top surface of floor or with both surfaces of wall.

System No. 263
 June 13, 2024
UL-263
 Ceiling Membrane Rating — 1 Hr



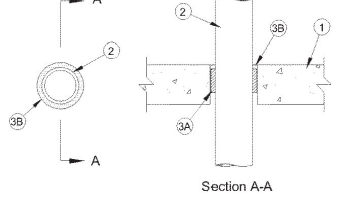
- Supporting Structure #1** — Fire-resistance rated. Suitable point of attachment of C-Channels (Item 4).
- Supporting Structure #2** — If necessary - Suitable point of attachment of hanger wire (Item 3).
- Hanger Wire** — If necessary - Min. 8 gauge steel wire, hung from holes punched in C-Channel (Item 4). Hanger wire spaced nominally 24 in. OC.
- C-Channels** — Used to support steel studs at both ends. Min. 3-5/8 in. deep with min. 1-1/4 in. legs and formed from min. No. 20 MSG galv. steel. Perimeter channels attached to a fire-resistance rated supporting structure (Item 1) with fasteners spaced not greater than 24 in. O.C. at both the top and bottom of the vertical leg. When used with Items 2 and 3, C-Channels secured back to back with 1/2 in. Type S screws spaced 24 in. OC along centerline of C-Channels. Where C-Channels form a butt joint, screws placed at both top and bottom of both sides of butt joint.
- Steel Studs** — Min. 3-5/8 in. wide with min. 1-5/8 in. legs containing folded back flanges and formed from min. No. 20 MSG galv. Steel. Studs to be cut 3/8 in. to 5/8 in. less than their span between the vertical legs of the perimeter channels. Studs spaced a max. 16 in. OC. At each end of the stud, the top and bottom legs shall be secured to the perimeter channel with one 3/8 in. long pan-head steel screw. Studs are used at each end of the horizontal barrier to terminate the assembly at the adjoining wall. These end studs shall be secured to headjacking wall in the same manner as the perimeter channels (Item 4). Maximum unsupported length of studs not to exceed 8 ft. 1 in.
- Main Runners** — Nom 10 or 12 ft long / 15/16 in. or 1-1/2 in. wide face, spaced 4 ft OC. Main runners suspended by min 12 SWG galv steel hanger wires spaced 24 in. OC, twisted twist fouspurring structure.
- Cross Tees** — Nom 4 ft long, 1-1/2 in. wide face, installed perpendicular to the main runners, spaced 16 in. OC. The cross tees or cross channels may be riveted or screw attached to their wall edge or channel to facilitate the ceiling installation.
- Cross Channels** — Nom 4 ft long, installed perpendicular to main runners, spaced 16 in. OC.
- Wall Angle or Channel** — Painted or galv steel angle with 1 in. legs or channel with 1 in. legs, 1-9/16 in. deep attached to walls at perimeter of ceiling with fasteners 16 in. OC. Top/supper steel framing member ends and for screw-attachment of the gypsum panel.
- ARMSTRONG WORLD INDUSTRIES INC. — Type DFR-8000.**
- Gypsum Board** — Three layers of nom. 5/8 in. thick gypsum board installed with long dimension perpendicular to the steel studs or Framing Members*. Base secured to studs and perimeter channels with 1 in. long Type S steel screws spaced max. 16 in. OC. Middle layer secured to the studs or Framing Members* and perimeter supports with 1-5/8 in. long Type S steel screws spaced max. 12 in. OC. Middle layer edge and end joints staggered a min. 16 in. from base layer joints. Face layer secured to the studs or Framing Members* and perimeter supports with 2-1/4 in. long Type S steel screws spaced max. 12 in. OC. Face layer edge and end joints staggered a min. 16 in. from middle layer joints.
- NATIONAL GYPSUM CO. — Type FSW, FSW-6, FSW-C, eXP-C**
- 8. Tape and Compound** — Not Shown — (Optional, Not Required On Joints or Screw Heads) — Vinyl, dry or premixed joint compound, applied in two coats to joints and screwheads; paper tape, max. 2 in. wide, embedded in first layer of compound over all joints.

System No. W-L-2300
 May 19, 2005
F Ratings — 1 and 2 Hr (See Item 1)
T Ratings — 0 and 1/2 Hr (See Item 1)
W-L-2300



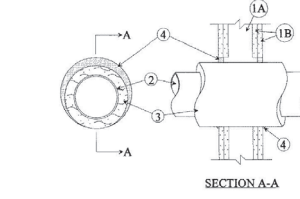
- Wall Assembly** — The 1 or 2 hr fire rated gypsum board/stud wall assembly shall be constructed of the materials and in the manner described in the individual U300, U400 or V400 Series Wall and Partition Design in the UL Fire Resistance Directory and shall include the following construction features:
 - Studs** — Wall framing may consist of either wood studs or steel channel studs. Wood studs to consist of nom 2 by 4 in. (51 by 102 mm) lumber spaced 16 in. (406 mm) OC. Steel studs to be min 3-1/2 in. (89 mm) wide spaced max 24 in. (610 mm) OC.
 - Gypsum Board** — The gypsum board type, thickness, number of layers, fastener type and sheet orientation shall be as specified in the individual Design in the UL Fire Resistance Directory. Max diam of opening is 4 in. (102 mm).
 - Hourly F Rating of the firestop system is equal to the hourly fire rating of the wall assembly in which it is installed. The hourly T Rating is 0 and 1/2 Hr for 1 and 2 Hr rated assemblies, respectively.**
 - Through-Penetrants** — One or more nonmetallic pipes, conduits or tubes installed concentrically or eccentrically within opening. Annular space between penetrants and periphery of opening to be min 0 in. (0 mm, point contact) to max 1 in. (25 mm) Space between penetrants shall be min 0 in. (0 mm, point contact) to max 1 in. (25 mm) Penetrants to be rigidly supported on both sides of wall. The following types and sizes of penetrants may be used:
 - Polyvinyl Chloride (PVC) Pipe** — Nom 1-1/2 in. (38 mm) diam (or smaller) Schedule 40 solid or cellular core PVC pipe for use in closed (process or supply) or vented (drain, waste or vent) piping systems.
 - Rigid Nonmetallic Conduit** — Nom 1-1/2 in. (38 mm) diam (or smaller) Schedule 40 PVC conduit installed in accordance with the National Electrical Code (NFPA No. 70).
 - Chlorinated Polyvinyl Chloride (CPVC) Pipe** — Nom 1-1/2 in. (38 mm) diam (or smaller) SDR13.5 CPVC pipe for use in closed (process or supply) piping systems.
 - Crosslinked Polyethylene (PEX) Tubing** — Nom 1 in. (25 mm) diam (or smaller) SDR 9 PEX tubing for use in closed (process or supply) or vented (drain, waste or vent) piping systems.
 - Fill, Void or Cavity Material** - **Caulk or Sealant** — Min 5/8 in. (16 mm) thickness of caulk applied within annulus, flush with both surfaces of wall. Min 1/4 in. (6 mm) diam bead of caulk applied to gypsum board/penetrant interface at point contact location on both sides of wall.

System No. C-AJ-2377
 May 19, 2005
F Rating — 2 Hr
T Rating — 0 Hr
W Rating — Class 1 (See Item 3)
C-AJ-2377



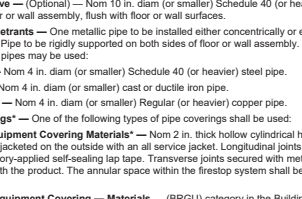
- Floor or Wall Assembly** — Min 4-1/2 in. (114 mm) thick reinforced lightweight or normal weight (100-150 pcf or 1600 - 2400 kg/m³) concrete. Floor assembly may also be constructed of any min 6 in. (152 mm) thick UL Classified hollow-core **Precast Concrete Units**. Wall may also be constructed of any UL Classified **Concrete Blocks**. Max diam of opening is 5 in. (127 mm).
- See Concrete Blocks (CAZT) and Precast Concrete Units (CFTV) categories in Fire Resistance Directory for names of manufacturers.**
- Through Penetrants** — Nom 3 in. (76 mm) diam (or smaller) Schedule 40 polyvinyl chloride (PVC) or SDR13.5 chlorinated polyvinyl chloride (CPVC) pipe for use in closed (process or supply) piping systems. One pipe to be installed concentrically or eccentrically within opening. Annular space between pipe and periphery of opening shall be min 1/2 in. (13 mm) to max 1 in. (25 mm). Pipe to be rigidly supported on both sides of floor or wall assembly.
- Firestop System** — The firestop system shall consist of the following:
 - Packing Material** — Min 3 in. (76 mm) thickness of min 4 pcf (64 kg/m³) mineral wool batt insulation firmly packed into opening as a permanent form. Packing material to be recessed from top surface of floor or from both surfaces of wall as required to accommodate the required thickness of fill material. In floors constructed of hollow-core concrete, packing material to be recessed from top and bottom surfaces of floor.
 - Fill, Void or Cavity Materials** - **Caulk or Sealant** — Min 1/2 in. (13 mm) thickness of caulk applied within the annulus, flush with top surface of floor or with both surfaces of wall. In floors constructed of hollow-core concrete, min 1/2 in. (13 mm) thickness of caulk applied within the annulus, flush with top and bottom surfaces of floor.

System No. W-L-5039
 September 07, 2004
F Ratings — 1 and 2 Hr (See Item 1)
T Ratings — 3/4, 1 and 1-1/2 Hr (See Item 2)
W-L-5039



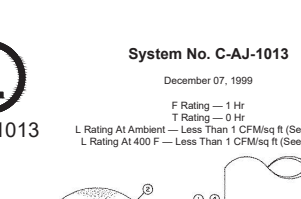
- Wall Assembly** — The 1 or 2 hr fire-rated gypsum wallboard/stud wall assembly shall be constructed of the materials and in the manner specified in the individual U300 or U400 Series Wall or Partition Design in the UL Fire Resistance Directory and shall include the following construction features:
 - Studs** — Wall framing may consist of either wood studs or steel channel studs. Wood studs to consist of nom 2 by 4 in. lumber spaced 16 in. OC. Steel studs to be min 3-5/8 in. wide and spaced max 24 in. OC.
 - Gypsum Board** — Nom 5/8 in. thick, 4 ft wide with square or tapered edges. The gypsum wallboard type, number of layers, fastener type and sheet orientation shall be as specified in the individual Wall and Partition Design. Max diam of opening in wallboard layers is 8-1/2 in.
- Hourly F Rating of the firestop system is equal to the hourly fire rating of the wall assembly.**
- Metallic Pipe** — Nom 4 in. diam (or smaller) Schedule 10 (or heavier) steel pipe or Type L (or heavier) copper tube. One pipe to be installed either concentrically or eccentrically within the firestop system. Pipe to be rigidly supported on both sides of wall assembly.
- Pipe Covering** — Nom 1/2 to 2 in. thick hollow cylindrical heavy density (min 3.5 pcf) glass fiber units for 1 hr rated assemblies, min 1/2 to 1-1/2 in. thick cylindrical heavy density (min 3.5 pcf) glass fiber units for 2 hr rated assemblies, min jacketed on the outside with an all service jacket. Longitudinal joints sealed with metal fasteners or factory-applied self-sealing lap tape. Transverse joints secured with metal fasteners or with butt tape supplied with the product. The annular space between the insulated pipe and the edge of the through opening shall be min zero in. (continuous point contact) to max 1-1/4 in.
- The hourly T Rating is 0 hr when pipe covering less than nom 1-1/2 in. thick is used. When 1-1/2 in. thick pipe covering is used, the hourly T Rating is 1 hr when installed in 1 hr rated walls. When 1-1/2 in. thick pipe covering is used in 2 hr rated wall, the T Rating is 1 hr when copper tube is used and 1-1/2 hr when steel pipe is used.**
- See Pipe and Equipment Covering — Materials (BRGU) category in the Building Materials Directory for names of manufacturers. Any pipe covering material meeting the above specifications and bearing the UL Classification Marking with a Flame Spread Index of 25 or less and a Smoke Developed Index of 50 or less may be used.**
- Fill, Void or Cavity Material** — Sealant — Min 1/2 in. thickness of fill material applied within the annulus, flush with top surface of floor or with both surfaces of wall assembly. At the point contact location between insulated through penetrant and concrete, packing material forced into interstices of insulated through penetrant and concrete to max extent possible. Packing material to be recessed from top surface of floor or from both surfaces of wall as required to accommodate the required thickness of fill material.
- Fire Barrier Systems (FBS) — Sealant** — Min 1/2 in. thickness of fill material applied within the annulus, flush with top surface of floor or with both surfaces of wall assembly. At the point contact location between insulated through penetrant and concrete, packing material forced into interstices of insulated through penetrant and concrete to max extent possible. Packing material to be recessed from top surface of floor or from both surfaces of wall as required to accommodate the required thickness of fill material.
- AID FIRE PROTECTION SYSTEMS INC. — AID FIRE BARRIER Silicone SL (floors only) and AID FIREBARRIER Silicone (floors and walls)**
- "Bearing the UL Classification Mark"**

System No. C-AJ-5127
 July 28, 2003
F Rating — 1 Hr
T Rating — 0 Hr
C-AJ-5127



- Floor or Wall Assembly** — Min 4-1/2 in. thick reinforced normal weight (140-150 pcf) concrete floor or min 5 in. thick reinforced normal weight concrete wall. Wall may also be constructed of any UL Classified **Concrete Blocks**. Max diam of opening is 5 in. (127 mm). See **Concrete Blocks (CAZT)** category in the Fire Resistance Directory for names of manufacturers.
- Metallic Sleeve (Optional)** — Nom 10 in. diam (or smaller) Schedule 40 (or heavier) steel sleeve cast or grouted into floor or wall assembly, flush with floor or wall surfaces.
- Through Penetrants** — One metallic pipe to be installed either concentrically or eccentrically within the firestop system. Pipe to be rigidly supported on both sides of floor or wall assembly. The following types and sizes of metallic pipes may be used:
 - Steel Pipe** — Nom 4 in. diam (or smaller) Schedule 40 (or heavier) steel pipe.
 - Iron Pipe** — Nom 4 in. diam (or smaller) cast or ductile iron pipe.
 - Copper Pipe** — Nom 4 in. diam (or smaller) Regular (or heavier) copper pipe.
 - Pipe Coverings** — One of the following types of pipe coverings shall be used:
 - Pipe and Equipment Covering Materials** — Nom 2 in. thick hollow cylindrical heavy density (min 3.5 pcf) glass fiber units jacketed on the outside with an all service jacket. Longitudinal joints sealed with metal fasteners or factory-applied self-sealing lap tape. Transverse joints secured with metal fasteners or with butt tape supplied with the product. The annular space within the firestop system shall be min 0 in. (point contact) to max 1-1/2 in.
 - See Pipe and Equipment Covering — Materials** — (BRGU) category in the Building Materials Directory for names of manufacturers. Any pipe covering material meeting the above specifications and bearing the UL Classification Marking with a Flame Spread Index of 25 or less and a Smoke Developed Index of 50 or less may be used.
- Pipe Covering Materials** — Nom 2 in. thick unfaired mineral fiber pipe insulation having a nom density of 3.5 pcf (or heavier) and sized to the outside diam of pipe or tube. Pipe insulation secured with min 8 AWG steel wire spaced max 12 in. OC. The annular space within the firestop system shall be 0 in. (point contact) to max 1-1/2 in.
- HIG WOOD L L C — High Temperature Pipe Insulation 1200, High Temperature Pipe Insulation BWT or High Temperature Pipe Insulation Thermaloc**
- Sheathing Material** — Used in conjunction with Item 3B. Fol-scrim-kraft or all service jacket material shall be wrapped around the outer circumference of the pipe insulation (Item 4B) with the kraft side exposed. Longitudinal joints and transverse joints sealed with metal fasteners or butt tape.
- See Sheathing Materials (EVDV) category in the Building Materials Directory for names of manufacturers. Any sheathing material meeting the above specifications and bearing the UL Classification Marking with a Flame Spread Index of 25 or less and a Smoke Developed Index of 50 or less may be used.**
- Firestop System** — The firestop system shall consist of the following:
 - Packing Material** — Min 4 in. thickness of min 4 pcf mineral wool batt insulation firmly packed into opening as a permanent form. At the point contact location between insulated through penetrant and concrete, packing material forced into interstices of insulated through penetrant and concrete to max extent possible. Packing material to be recessed from top surface of floor or from both surfaces of wall as required to accommodate the required thickness of fill material.
 - Fill, Void or Cavity Material** — Sealant — Min 1/2 in. thickness of fill material applied within the annulus, flush with top surface of floor or with both surfaces of wall assembly. At the point contact location between insulated through penetrant and concrete, packing material forced into interstices of insulated through penetrant and concrete to max extent possible. Packing material to be recessed from top surface of floor or from both surfaces of wall as required to accommodate the required thickness of fill material.

System No. C-AJ-1013
 December 07, 1999
F Rating — 1 Hr
T Rating — 0 Hr
C-AJ-1013



- Floor or Wall Assembly** — Min 5 in. thick reinforced normal weight (140-155 pcf) concrete. Wall may also be constructed of any UL Classified **Concrete Blocks**. Max diam of opening is 6 in. See **Concrete Block (CAZT)** category in the Fire Resistance Directory.
- Through Penetrants** — One metallic pipe, or conduit to be centered within the firestop system. Pipe or conduit to be rigidly supported on both sides of floor or wall assembly. The following types and sizes of metallic pipes or conduits may be used:
 - Steel Pipe** — Nom 4 in. diam (or smaller) Schedule 5 (or heavier) steel pipe. A nom annular space of 3/4 in. is required within the firestop system.
 - Conduit** — Nom 4 in. diam (or smaller) steel electrical metallic tubing or steel conduit. A nom annular space of 3/4 in. is required within the firestop system.
- Packing Material** — (Not Shown) — Nom 1 in. diam open cell polyurethane foam backer rod friction-filled into the opening as a permanent form. Packing material to be recessed from top surface of floor or from both surfaces of wall as required to accommodate the required thickness of fill material.
- Fill, Void or Cavity Material** — Sealant — Min 3/4 in. thickness of fill material applied within annulus, flush with top surface of floor or with both surfaces of wall.

NOTES:
 1. THE CONTRACTOR IS RESPONSIBLE FOR UTILIZING PRODUCTS SUITABLE FOR THE ASSEMBLIES DESCRIBED BY DETAILS.
 2. REFER TO UL DIRECTORY FOR MATERIAL RATING AND SUPPLIER INFORMATION.
 3. LOOK FOR UL MARK ON PRODUCT TO BE UTILIZED.



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