

NEW BUILDING AND EXISTING RENOVATION 1529 JEFFERSON AVENUE MIAMI BEACH, FL 33139



HISTORIC PRESERVATION BOARD

MIAMI BEACH
PLANNING DEPARTMENT 1700 CONVENTION CENTER DR
MIAMI BEACH, FLORIDA 33139, WWW.MIAMIBEACHFL.GOV
305.673.7550

ITEM #	PROJECT INFORMATION			
1	ADDRESS:	1529 JEFFERSON AV, MIAMI BEACH, FL 33140		
2	FOLIO NUMBER:	02-4203-009-4930		
3	BOARD AND FILE NUMBER:			
4	YEAR BUILT:	1936	ZONING DISTRICT:	RM-1
5	BASE FLOOD ELEVATION:	9'	GRADE VALUE IN NGVD:	6.56' NGVD
6	ADJUSTED GRADE (FLOOD+GRADE/2):	5.45' NGVD		
7	LOT AREA:	7,500 SQ FT		
8	LOT WIDTH:	50'	LOT DEPTH:	150'
9	MAX LOT COVERAGE FT AND %:	3,375 SQ FT (45%)	PROPOSED LOT COVERAGE FT AND %:	3,600.75 SF (48.01%)
10	EXISTING LOT COVERAGE FT AND %:	1,672 SQ FT (22.29%)	LOT COVERAGE DEDUCTED (GARAGE-STORAGE) SF:	N/A
11	FRONT YARD OPEN SPACE FT AND 55%:	848 SQ FT (46.64%)	REAR YARD OPEN SPACE FT AND 70%:	750.00 SF (100%)
12	MAX UNIT SIZE FT (1.25 F.A.R.):	9,375 SQ FT (1.25)	PROPOSED UNIT SIZE FT AND %:	
13	EXISTING 1st FLOOR UNIT SIZE:	1,672.00 SQ FT	PROPOSED TOTAL FLOOR UNIT SIZE:	9,077.71 SF (1.21)
	EXISTING 2nd FLOOR UNIT SIZE:	1,672.00 SQ FT	PROPOSED 2nd VOLUMETRIC UNIT SIZE SF AND %: (NOTE: TO EXCEED 70% OF THE 1st FLOOR OF THE MAIN HOME REQUIRES BOARD APPROVAL)	N/A
14			PROPOSED 2nd FLOOR UNIT SIZE SF AND %:	N/A
15			PROPOSED ROOF DECK AREA SIZE SF AND %: (NOTE: MAXIMUM IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW):	N/A
16				

ZONING INFORMATION/ CALCULATIONS	REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
17 HEIGHT:				
18 SETBACKS:				
19 FRONT 1st LEVEL	20'	16'-0" EXISTING	70'-0 1/2" NEW BUILDING	
20 FRONT 2nd LEVEL	30'	16'-0" EXISTING	70'-0 1/2" NEW BUILDING	
21 SIDE 1:	10'	7'-1 1/4" EXISTING	7'-6 1/2" NEW BUILDING	
22 SIDE 2 OR (FACING STREET):	10'	4'-10 3/4" EXISTING	7'-6 1/2" NEW BUILDING	
23 REAR:	20'	90'-0" EXISTING	15'-0" NEW BUILDING	
24 ACCESSORY STRUCTURE SIDE 1:	N/A			
25 ACCESSORY STRUCTURE SIDE 2 OR (FACING STREET):	N/A			
26 ACCESSORY STRUCTURE REAR:	N/A			
27 SUM OF SIDE YARDS:	25% LOT WIDTH			
28 LOCATED WITHIN A LOCAL HISTORIC DISTRICT?				YES OR NO
29 DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE SITE?				YES OR NO
30 DESIGNATED TO BE ARCHITECTURALLY SIGNIFICANT?				YES OR NO

CODE SUMMARY:

APPLICABLE CODES:
Florida Building Code, Existing - 2020 SEVENTH EDITION
Florida Building Code, Residential - 2020 SEVENTH EDITION
Florida Fire Prevention Code - 2020 SEVENTH Edition



AERIAL MAP
SCALE: N.T.S

LEGAL DESCRIPTION:

LINCOLN SUB PB 9-69 UNDIV 1/4 INT IN LOT 17 BLK 62 1529 JEFFERSON AVE
APT #1 LOT SIZE 12.500 X 150 OR 16489-3033 0894 2 (4) COC 24071-4595 12
2005 2

ZONING DATA:

OCCUPANCY: MULTIFAMILY
HISTORIC PRESERVATION DISTRICT: OCEAN BEACH
TOTAL SITE AREA: 7,500 SF (7,500 S.F)
FLOOD ZONE: AE
BASE FLOOD ELEVATION: 8' NGVD

SCOPE OF WORK:

THE NEW CONSTRUCTION OF 4 STORY BUILDING TO BE LOCATED ON AN
EXISTING LOT PROPERTY. THE PROPOSED 6 UNIT.

CONSTRUCTION BUILDING DATA:

TYPE OF CONSTRUCTION: TYPE V-B 1HR UNPROTECTED SPRINKLERS
FIRE RATING FOR EXTERIOR WALLS: 2 HOUR
SPRINKLER SYSTEM: NO
FIRE RATED DOORS AT EXTERIOR 2 HR RATED WALLS: 90 MINUTES

BUILDING HEIGHT:

OF STORIES ABOVE GRADE: 3 STORIES
ALLOWED: 35'-0"
PROVIDED: 30'-0" TO TOP OF ROOF SLAB
3 STORIES

AREAS:

EXISTING UNIT TYPES AND COUNT:

2 UNITS (2 BED - 2 BATH)
2 UNITS (2 BED- 2 BATH)

4 UNITS TOTAL

NEW UNITS TYPES AND COUNT:

4 UNITS (2BED - 2 BATH)
1 UNITS (1 BED- 1 BATH)
1 UNIT (3 BED- 2 BATH)

6 UNITS TOTAL

EXISTING BUILDING AREA:
LEVEL 1 LIVING & STAIRS-----=1,672.00 S.F
2 UNITS (2 BED- 2 BATH)
LEVEL 2 LIVING & STAIRS-----=1,672.00 S.F
2 UNITS (2 BED- 2 BATH)

TOTAL FLOOR AREA-----=3,344.00 S.F

NET SITE AREA-----=7,500 S.F

ARCHITECT

3 DESIGN
ARCHITECTURE

3260 NorthWest 7th Street, Miami, FL 33125
P: 305.438.9377 | F: 305.438.9379

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- A-7.2 RENDER
- A-7.3 RENDER

SCOPE OF WORK:

- NEW 6 UNIT APARTMENT BUILDING
- RENOVATION EXISTING 4 UNITS BUILDING

	ALLOWED:	PROVIDED:
	1.25	1.24
FLOOR AREA RATIO-----	9,375 S.F	9,365.00 S.F

(Existing building renovation & New Building)

NEW BUILDING AREA:

LEVEL 1 ELEVATOR,STAIRS & LIVING-----1,928.75 SF
LEVEL 2 STAIRS & LIVING -----1,891.55 SF
LEVEL 3 STAIRS & LIVING -----1,891.55 SF

TOTAL FLOOR AREA ----- 5,711.85 SF

NEW UNIT AREAS:

TOTAL NUMBER OF UNITS ----- 6

UNIT 1 ----- 840.52 S.F
UNIT 2 ----- 842.27 S.F
UNIT 3 ----- 840.52 S.F
UNIT 4 ----- 842.27 S.F
UNIT 5 ----- 1,111.98 S.F
UNIT 6 ----- 560.46 S.F

TOTAL UNIT AREA ----- 5,038.02 S.F

EXISTING UNIT AREAS:

TOTAL NUMBER OF UNITS ----- 4

UNIT 1 ----- 762.12 S.F
UNIT 2 ----- 762.12 S.F
UNIT 3 ----- 762.12 S.F
UNIT 4 ----- 762.12 S.F

TOTAL UNIT AREA ----- 3,048.48 S.F

PARKING DATA:

There is no parking requirement for RM-1

DRAWN BY:
REVISIONS:

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3 DESIGN
ARCHITECTURE

SEAL

NEW BUILDING
FOR:
1529 JEFFERSON AVENUE
MIAMI BEACH, FL 33139

THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW ONLY. THEY ARE NOT TO BE CONSTRUED AS CONSTRUCTION DOCUMENTS UNLESS ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED.

A-0.0
GENERAL NOTES & PROJECT DATA

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3 DESIGN ARCHITECTURE
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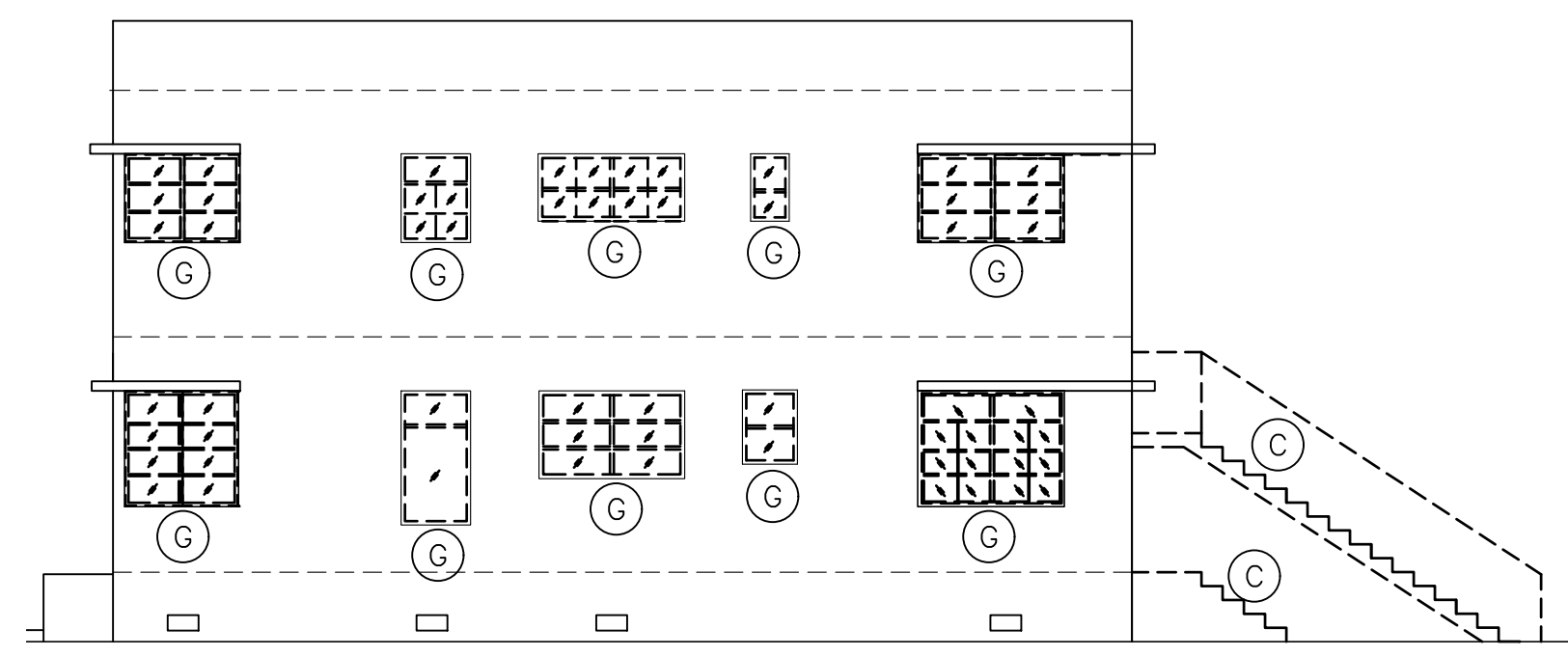
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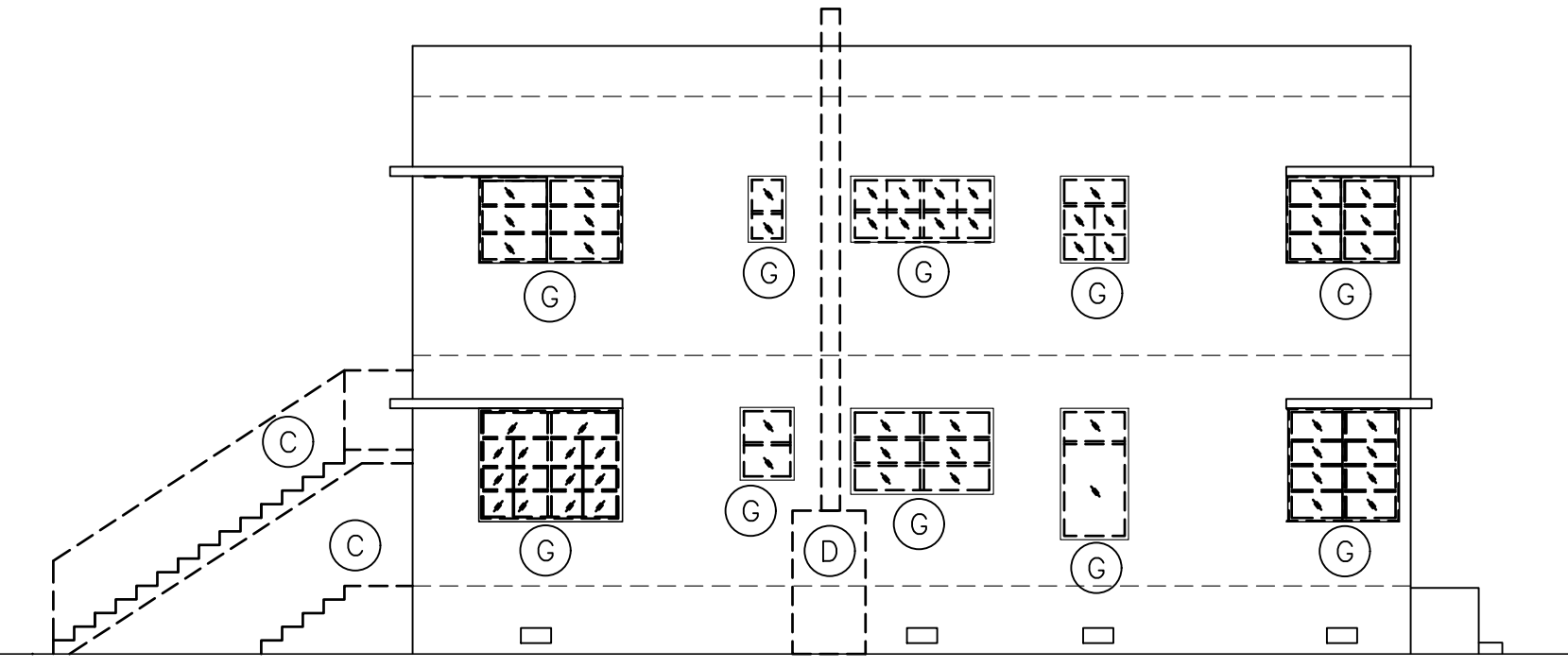
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A-1.0
EXISTING & PROPOSED
SITE PLAN

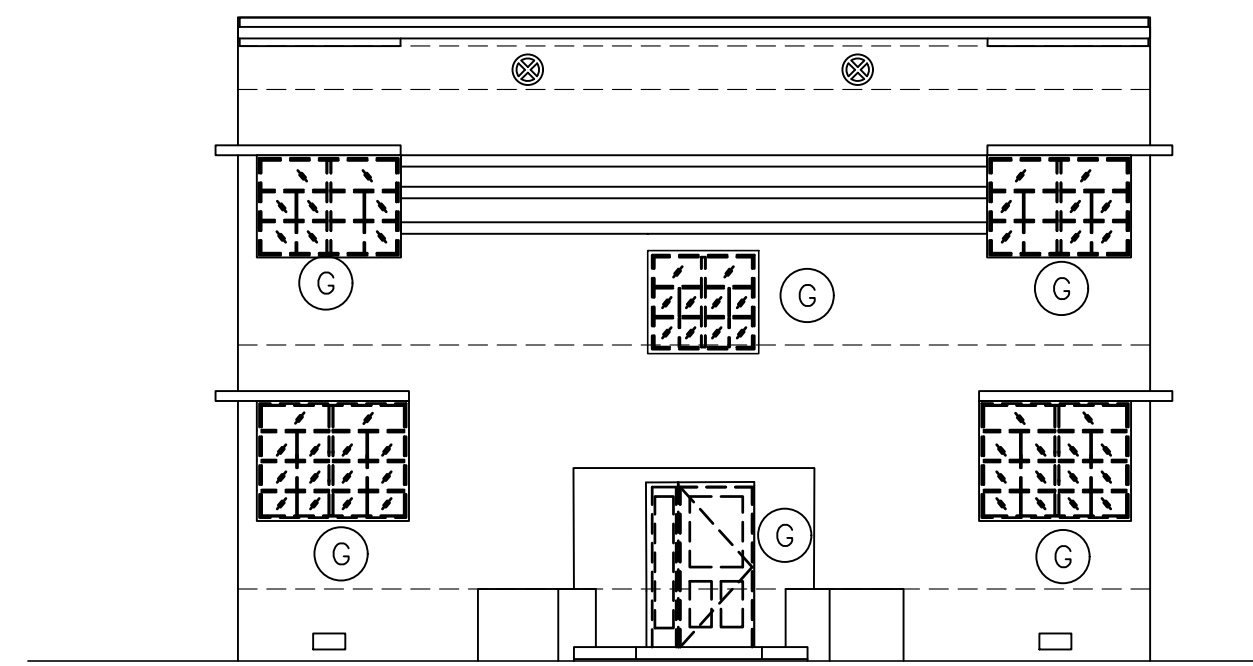
DEMOLITION LEGEND	
(A) REMOVE WOOD DECK	
(B) REMOVE CHAIN LINK FENCE	
(C) REMOVE STAIRS	
(D) REMOVE STORAGE	
(F) REMOVE ALL INTERIOR BUILDING 1ST AND 2ND FLOOR, NO EXTERIOR WALL AND BERING WALL TO BE DEMOLISH	
(G) REMOVE WINDOWS AND DOOR	
(H) CAP ALL BUILDING SOURCES	
DEMOLITON	-----
TO REMAIN	_____



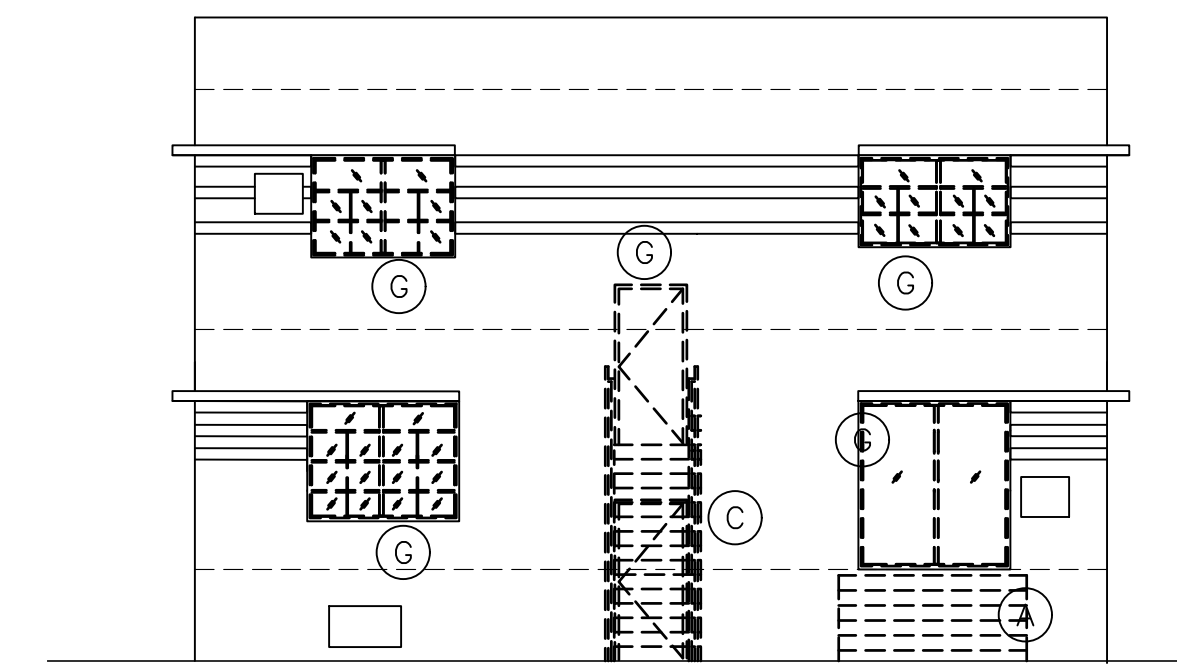
SOUTH ELEVATION DEMOLITION
SCALE: 1/8" = 1'-0"



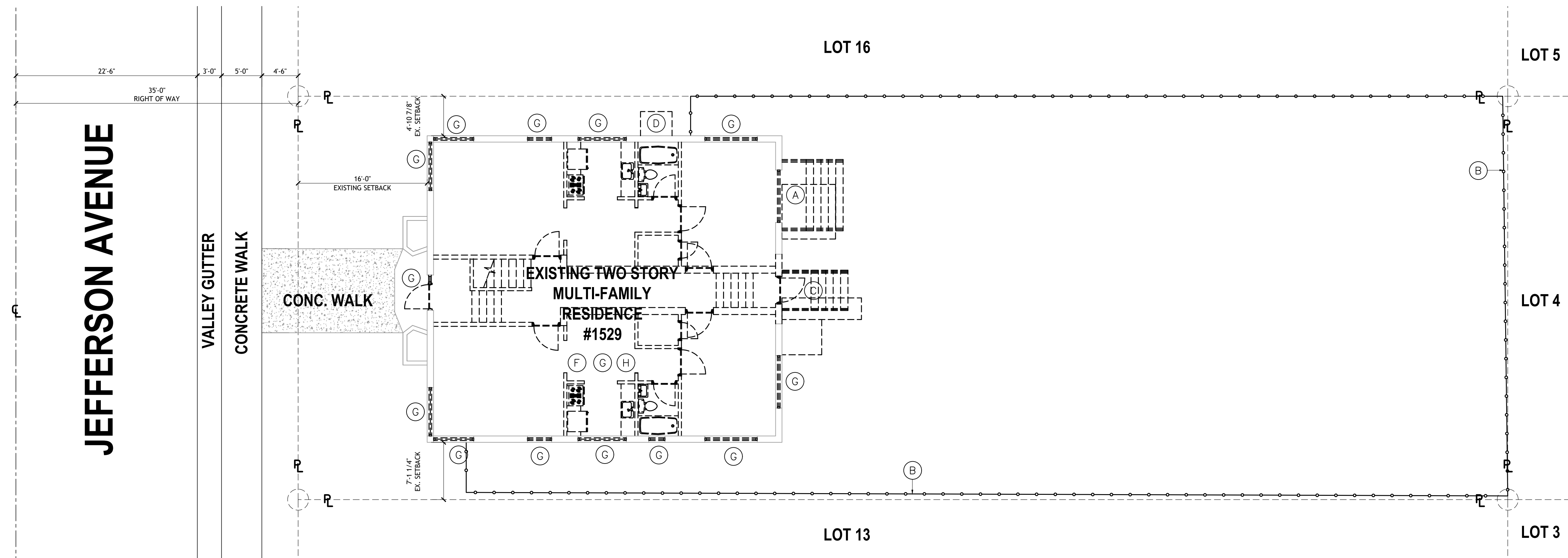
NORHT ELEVATION DEMOLITION
SCALE: 1/8" = 1'-0"



WEST ELEVATION DEMOLITION
SCALE: 1/8" = 1'-0"



EAST ELEVATION DEMOLITION
SCALE: 1/8" = 1'-0"



EXISTING INTERIOR / SITE PLAN DEMOLITION
SCALE: 1/8" = 1'-0"

EXISTING BUILDING :

LEVEL 1:	
UNIT 1:	762.12 SQ FT
UNIT 2:	762.12 SQ FT
STAIRWELL:	135 SQ FT
LEVEL 1 TOTAL GROSS SQ FT:	1,659.24 SQ FT

LEVEL 2:	
UNIT 1:	762.12 SQ FT
UNIT 2:	762.12 SQ FT
STAIRWELL:	135 SQ FT
LEVEL 1 TOTAL GROSS SQ FT:	1,659.24 SQ FT

EXISTING BUILDING UNIT SIZE CALCULATION :

MINIMUM UNIT SIZE	400.00 S.F
MINIMUM UNIT SIZE PROPOSED	762.12 S.F
MINIMUM UNIT SIZE AVERAGE	550.00 S.F
MINIMUM UNIT SIZE AVERAGE PROPOSED	762.12 S.F

NEW BUILDING :

LEVEL 1:	
UNIT 1:	840.52 SQ FT
UNIT 2:	842.27 SQ FT
STAIRWELL:	135 SQ FT
LEVEL 1 TOTAL GROSS SQ FT:	1,909.79 SQ FT

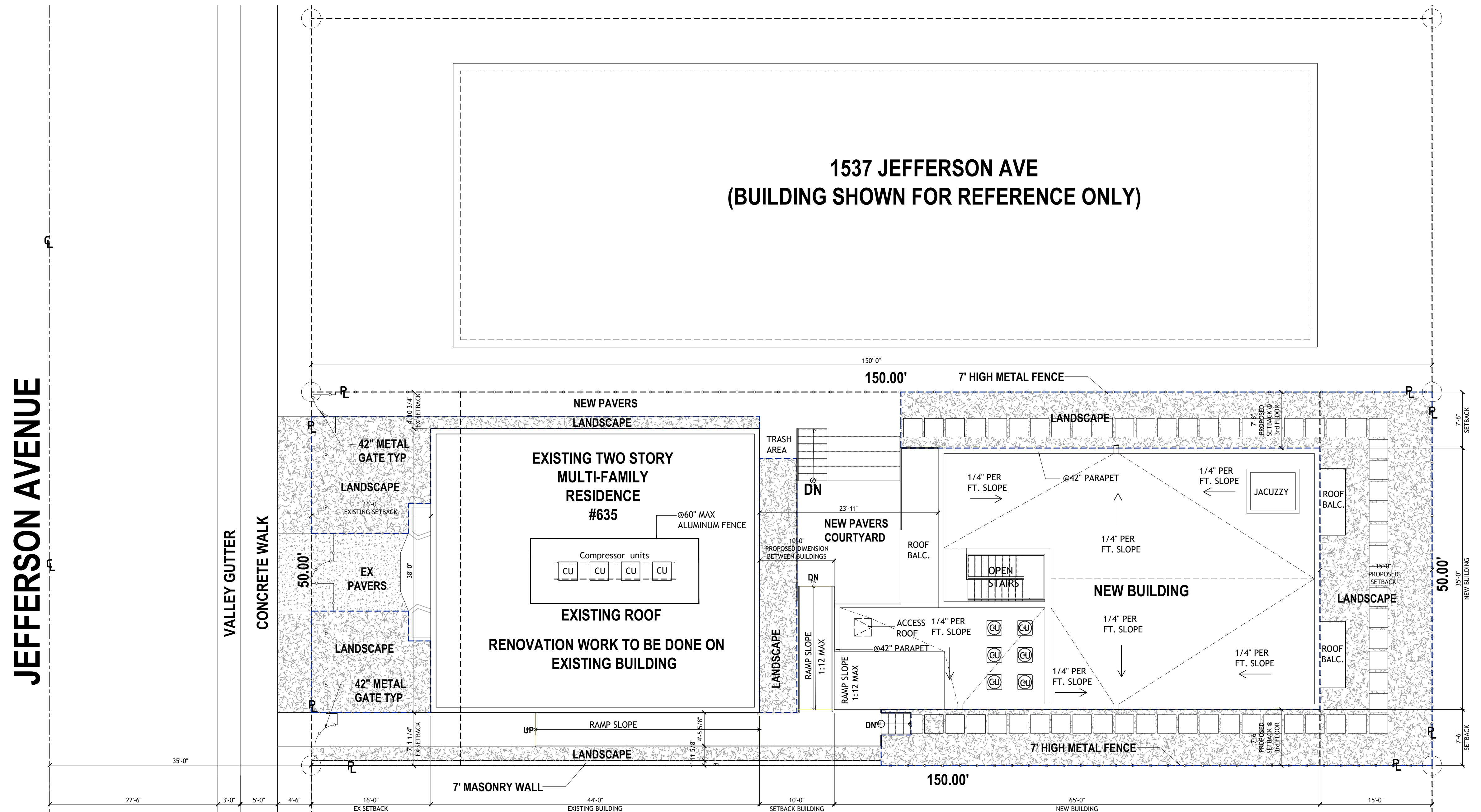
LEVEL 2:	
UNIT 3 :	840.52 SQ FT
UNIT 4 :	842.27 SQ FT
STAIRWELL & CORRIDOR:	96.00 SQ FT
LEVEL 2 TOTAL GROSS SQ FT:	1,778.79 SQ FT

LEVEL 3:	
UNIT 5 :	1,111.98 SQ FT
UNIT 6 :	560.46 SQ FT
STAIRWELL & CORRIDOR:	96.00 SQ FT
LEVEL 3 TOTAL GROSS SQ FT:	1,768.44SQ FT

TOTAL GROSS SQ FT OF BUILDING:	5,457.02 SQ FT
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NEW BUILDING UNIT SIZE CALCULATION :

MINIMUM UNIT SIZE	550.00 S.F
MINIMUM UNIT SIZE PROPOSED	560.46 S.F
MINIMUM UNIT SIZE AVERAGE	800.00 S.F
MINIMUM UNIT SIZE AVERAGE PROPOSED	839.67 S.F



NOTE:
 ALL STORM WATER RUNOFF WILL BE CONTAINED ON SITE.
 ALL WALKWAYS SHALL SLOPE TOWARDS THE INTERIOR OF THE LOT.

ENLARGED SITE PLAN
 SCALE: 1/8" = 1'-0"

CONSTRUCTION DOCUMENTS SET. MAY 8, 2023

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 REVISIONS:

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3 DESIGN ARCHITECTURE
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SEAL

NEW BUILDING FOR:
 1537 JEFFERSON AVENUE
 MIAMI BEACH, FL 33139

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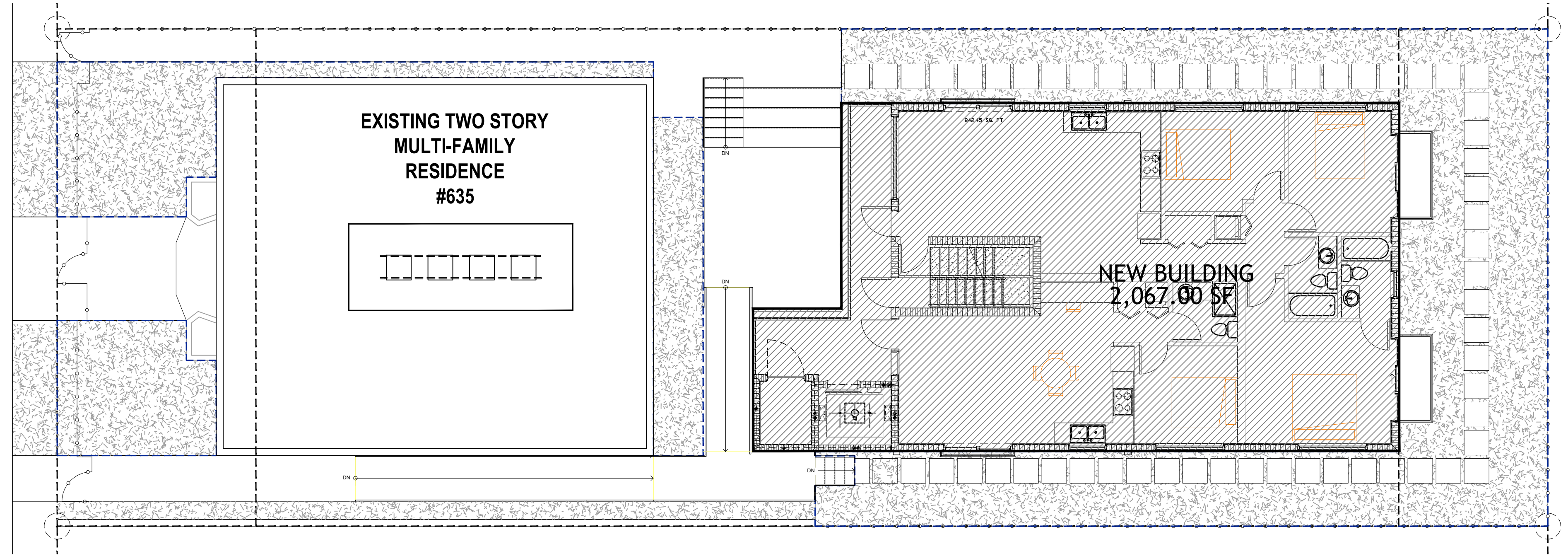
A-1.1
 ENLARGED SITE PLAN

JEFFERSON AVENUE

JEFFERSON AVENUE

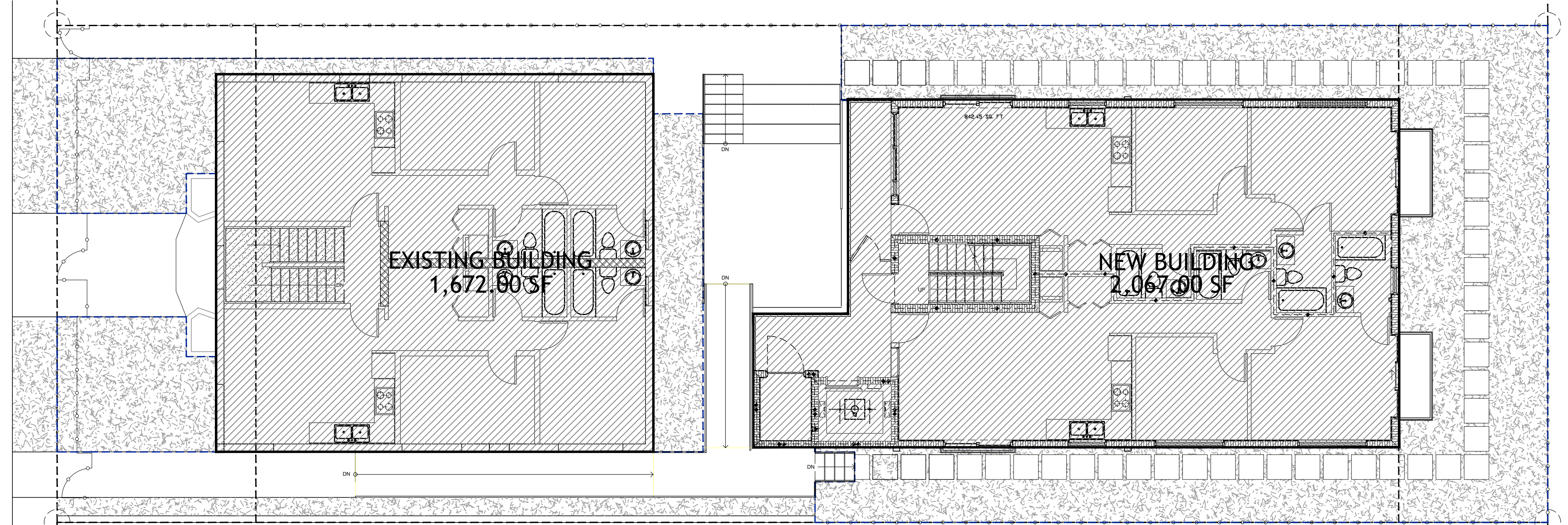
JEFFERSON AVENUE

VALLEY GUTTER
CONCRETE SIDEWALK



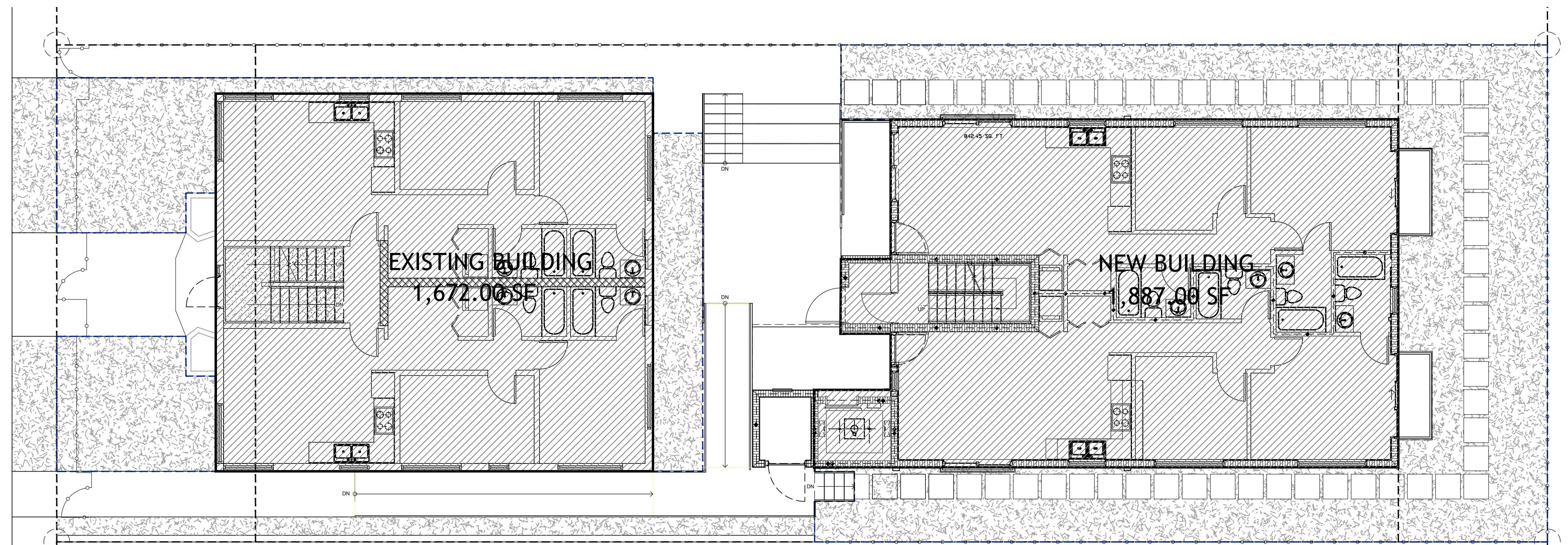
FAR DIAGRAM EXISTING RENOVATION ROOF AND NEW BUILDING 3RD FLOOR
SCALE: 1/8" = 1'-0"

VALLEY GUTTER
CONCRETE SIDEWALK



FAR DIAGRAM EXISTING RENOVATION BUILDING 2ND FLOOR AND NEW 2ND FLOOR BUILDING
SCALE: 1/8" = 1'-0"

VALLEY GUTTER
CONCRETE SIDEWALK



FAR DIAGRAM EXISTING RENOVATION BUILDING 1ST FLOOR AND NEW 1ST FLOOR BUILDING
SCALE: 1/8" = 1'-0"

FAR CALCULATION 1ST FLOOR:

LOT SIZE:	7,500 SQ FT
FIRST FLOOR AREA EX BUILDING:	1,672.00 SQ FT
FIRST FLOOR AREA NEW BUILDING:	1,887.00 SQ FT

FAR CALCULATION 2ND FLOOR

SECOND FLOOR AREA EX BUILDING:	1,672.00 SQ FT
SECOND FLOOR AREA NEW BUILDING:	2,067.00 SQ FT

FAR CALCULATION 3RD FLOOR

THIRD FLOOR AREA NEW BUILDING:	2,067.00 SQ FT
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FAR CALCULATION (1.25 ALLOWED):

LOT SIZE:	7,500 SQ FT
EXISTING BUILDING TOTAL AREA	3,344.00 SQ FT
NEW BUILDING TOTAL AREA	6,021.00 SQ FT
TOTAL BUILDING AREAS:	9,365.00 SQ FT
ALLOWED FAR(1.25)	9,375.00 SQ FT
PROVIDED FAR(1.24)	9,365.00 SQ FT

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SEAL

NEW BUILDING
FOR:
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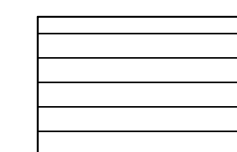
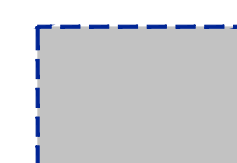
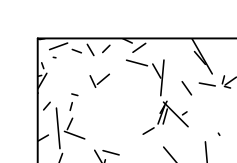
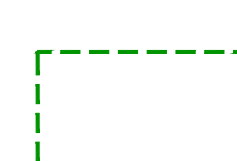
A-1.2
FAR DIAGRAMS/
CALCULATION

OPEN SPACE AREA:

LOT AREA: 7,500 SF (75 x100)
 MAX. LOT COVERAGE 45%: 3,375.00 SF
 OPEN SPACE REQUIRED 55%: 4,125.00 SF
 OPEN SPACE PROPOSED 49.04%: 3,678.02 SF

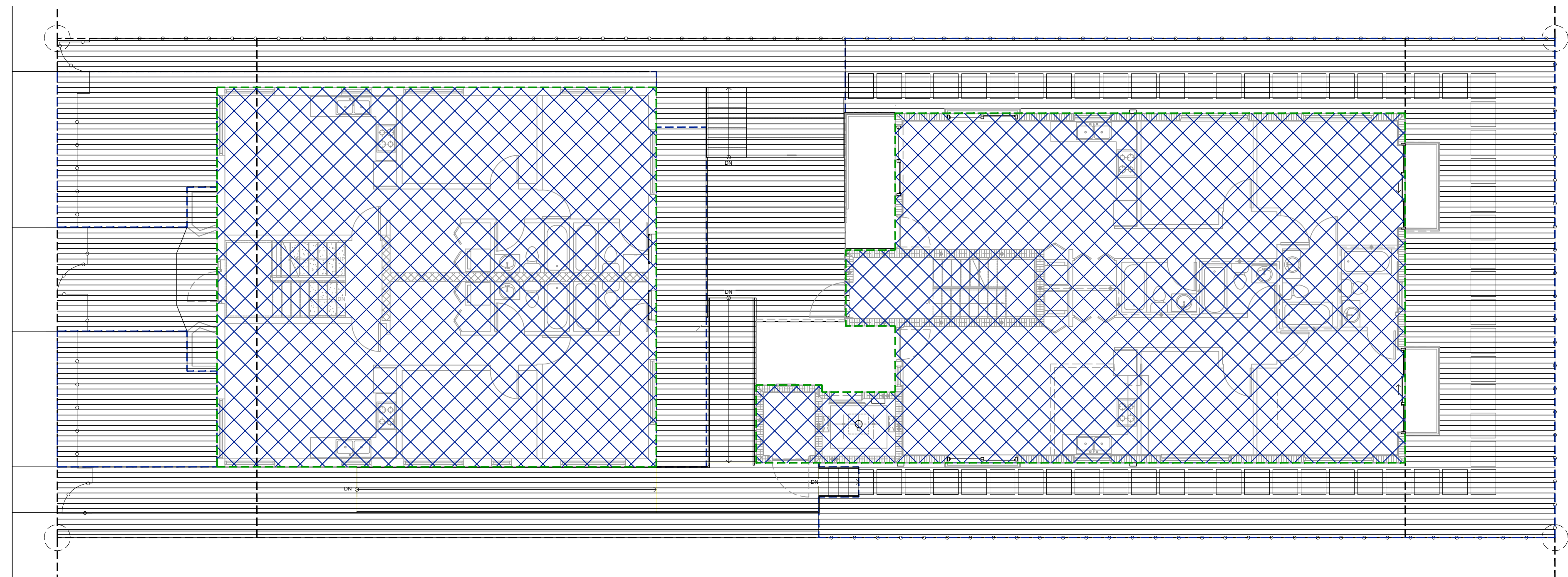
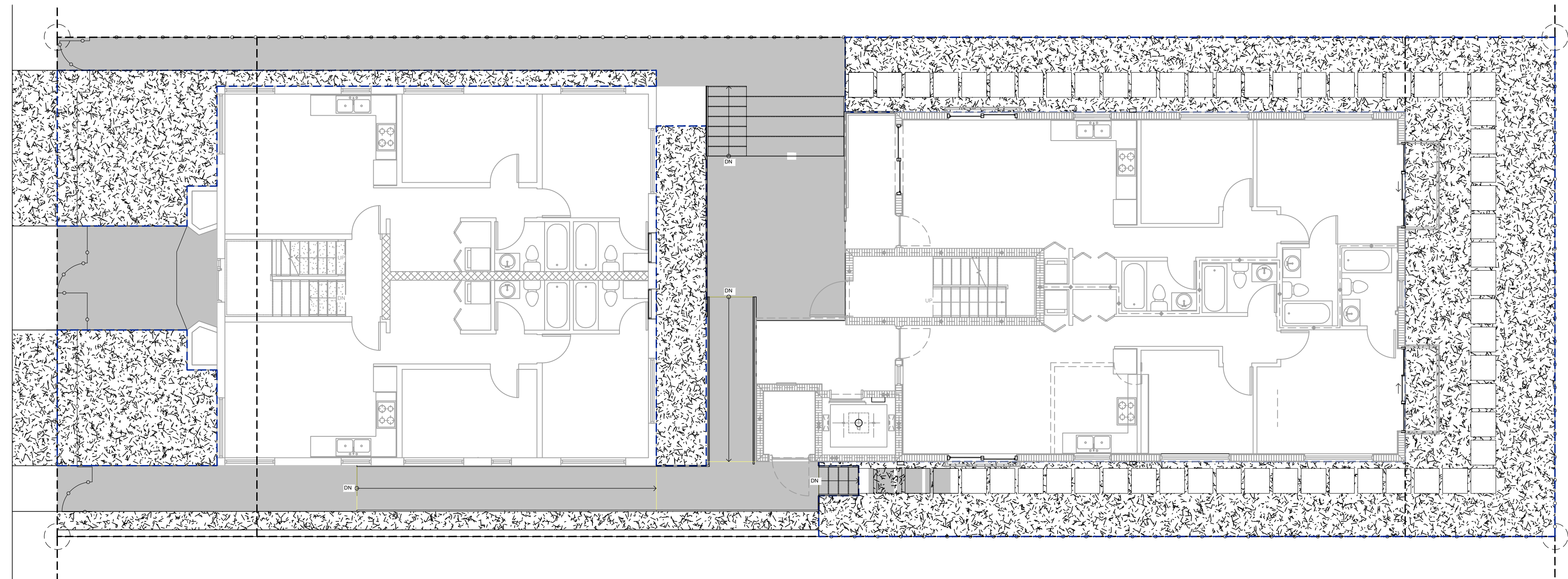
GREEN SPACE AREA:

MAX. LAWN AREA
 % OF REQUIRED OPEN SPACE
 RM-1 30% REQUIRED= 1237.5 SF
 GREEN SPACE PROPOSED: 60.6%= 2,189.16 SF
 PERMEABLE AREA DRIVEWAYS, WALKWAY, RAMP.

-  OPEN SPACE AREA 3,678.02 SF
-  PERMEABLE AREA 1,206.44 SF
-  GREEN SPACE AREA PROPOSED 2,189.16
-  LOT COVERAGE
 EXISTING BUILDING AREA 1,672.00 SF
 NEW BUILDING AREA 1,928.75 SF
 TOTAL COVERAGE 3,600.75 SF

JEFFERSON AVENUE

JEFFERSON AVENUE



EXISTING BUILDING RENOVATION

OPEN SPACE DIAGRAM
 SCALE: 3/16" = 1'-0"

NEW BUILDING

DRAWN BY:
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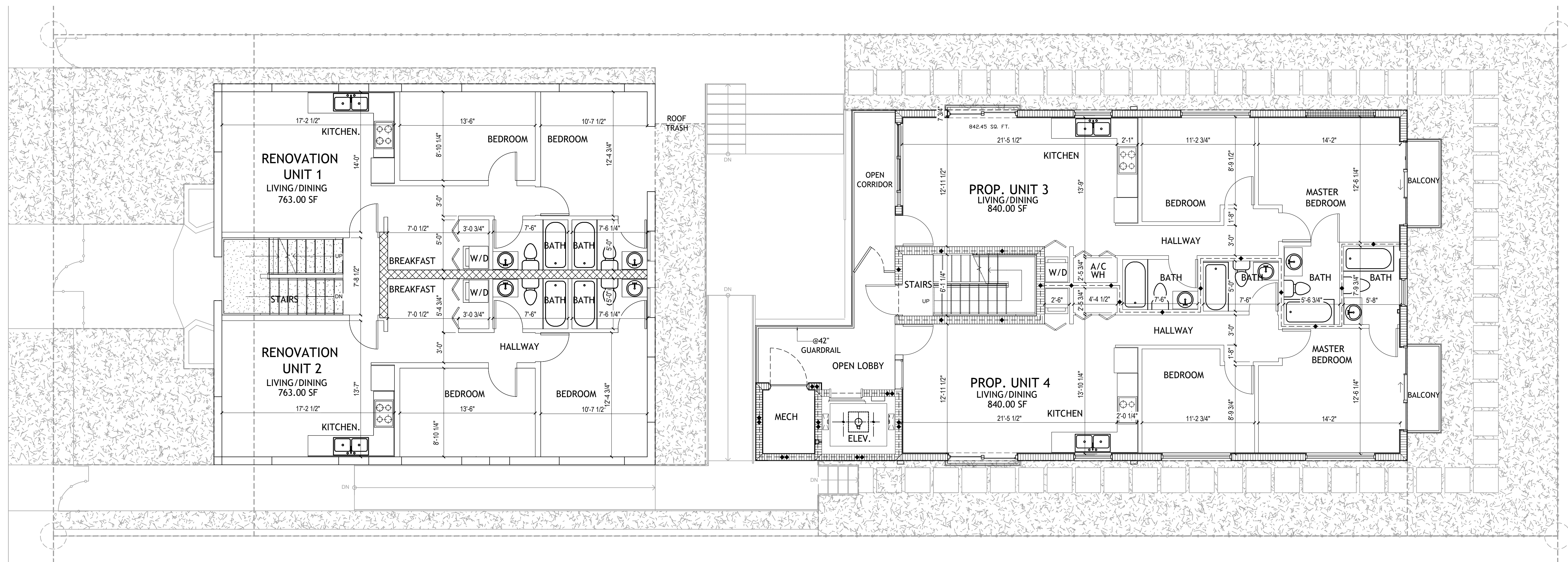
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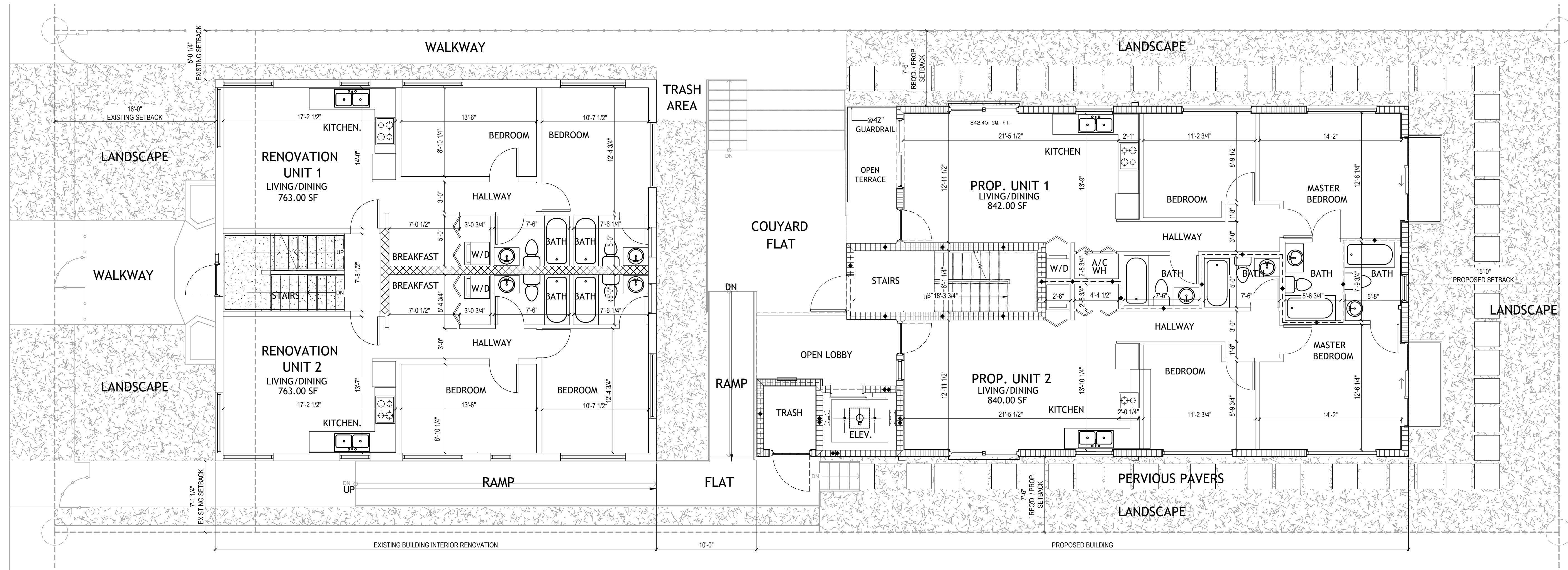
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A-1.3
 OPEN SPACE DIAGRAMS



EXISTING RENOVATION BUILDING / PROPOSED 2ND FLOOR PLAN
SCALE: 3/16" = 1'-0"



EXISTING RENOVATION BUILDING / PROPOSED 1ST FLOOR PLAN
SCALE: 3/16" = 1'-0"

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A-2.0

EXISTING RENOVATION AND PROPOSED 1ST & 2ND FLOOR

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0016752

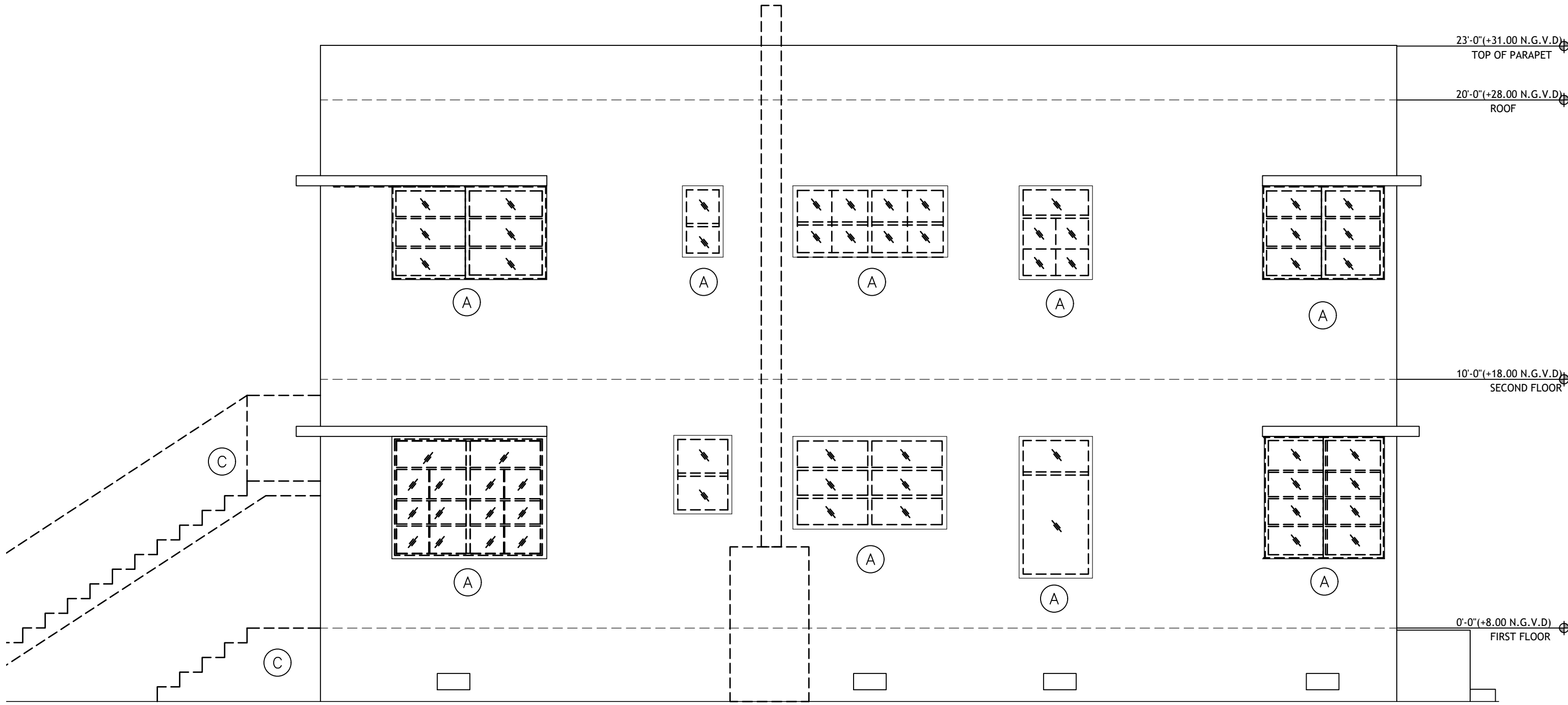
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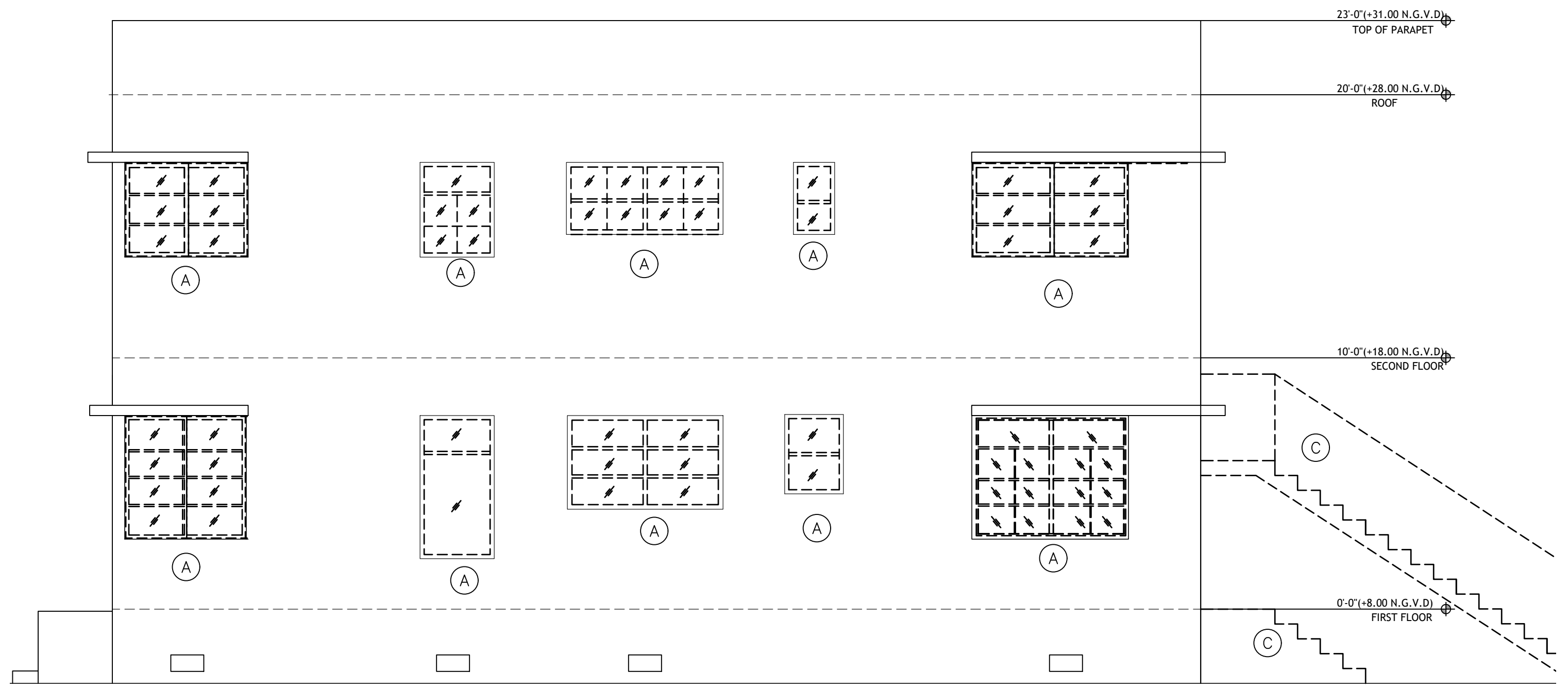
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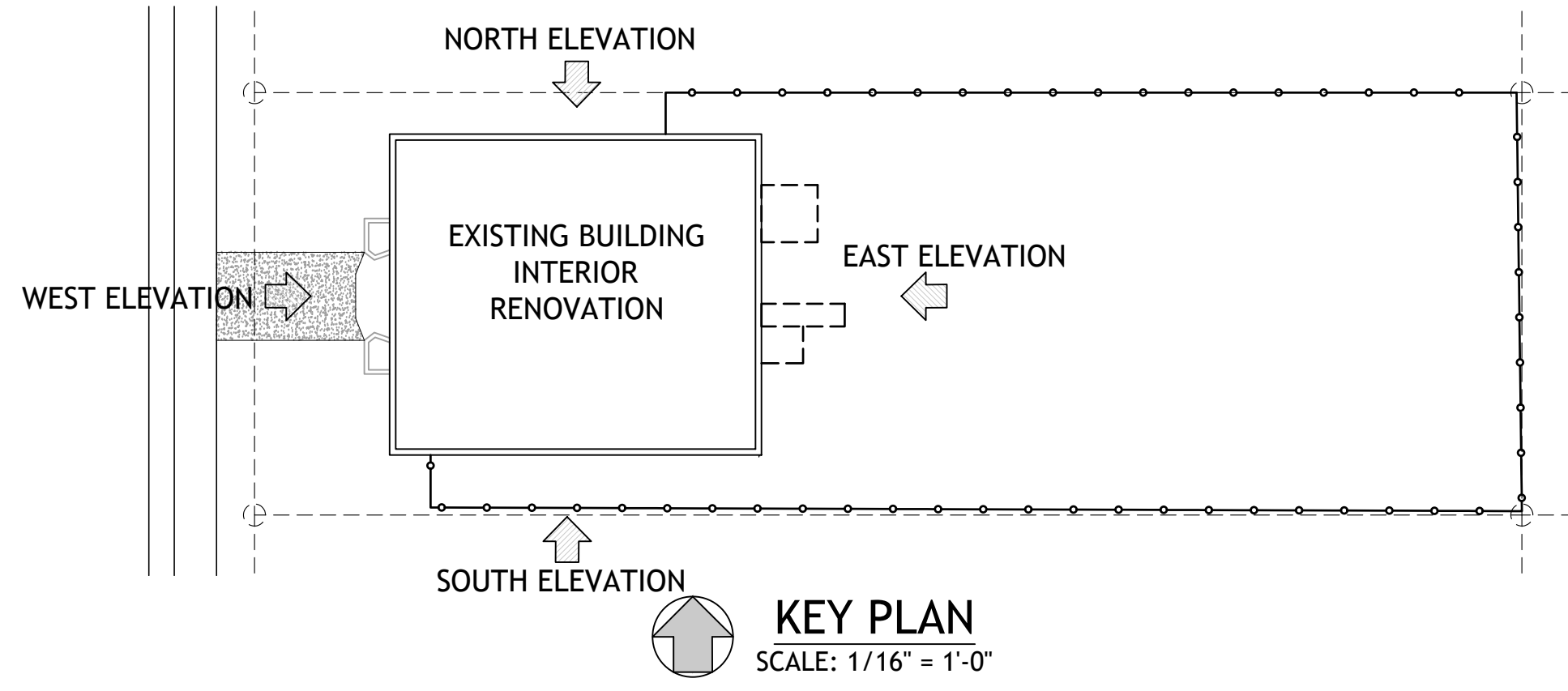
A-3.0
ELEVATIONS



EXISTING DEMOLITION NORTH ELEVATION
SCALE: 1/4" = 1'-0"

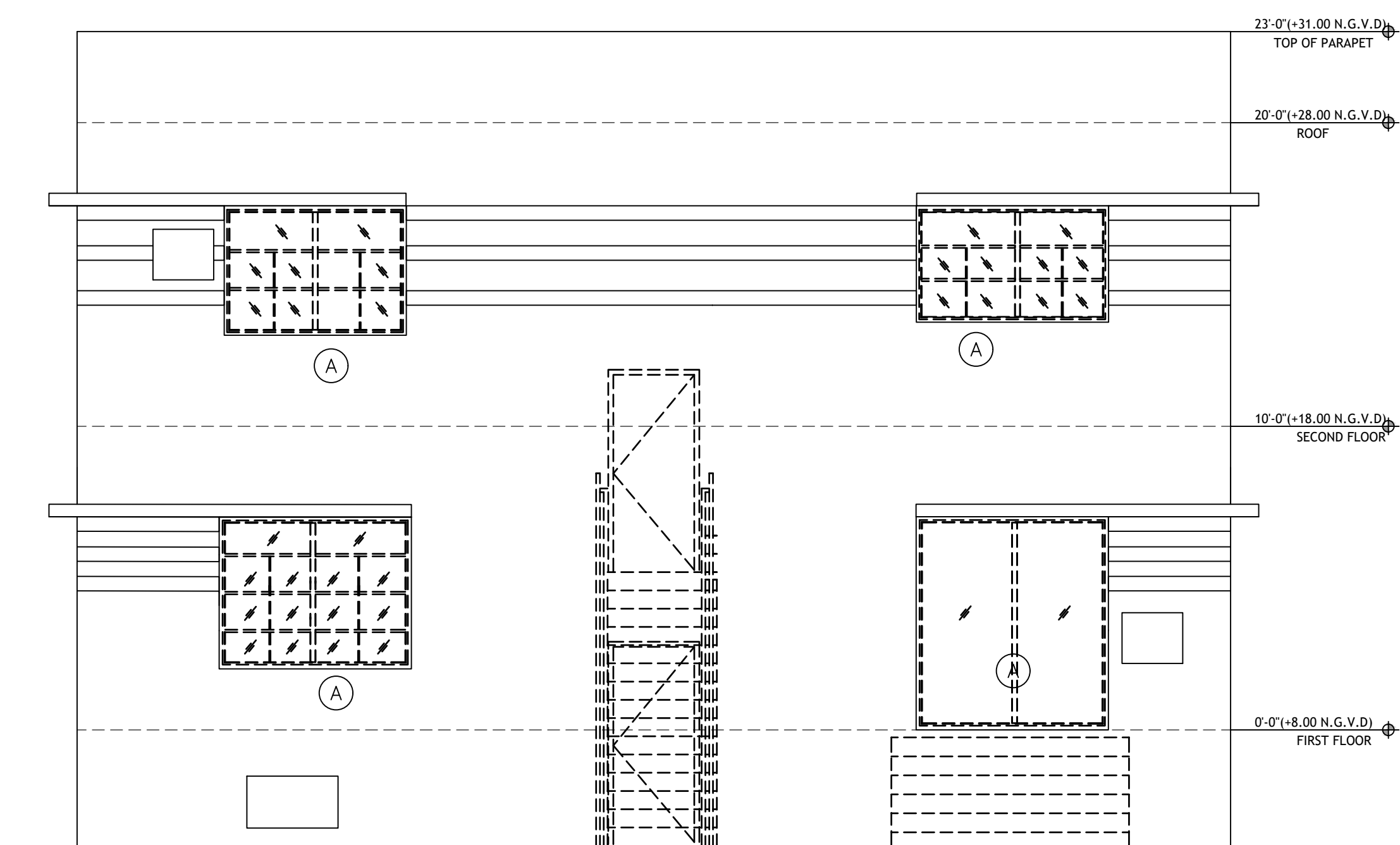


EXISTING DEMOLITION SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

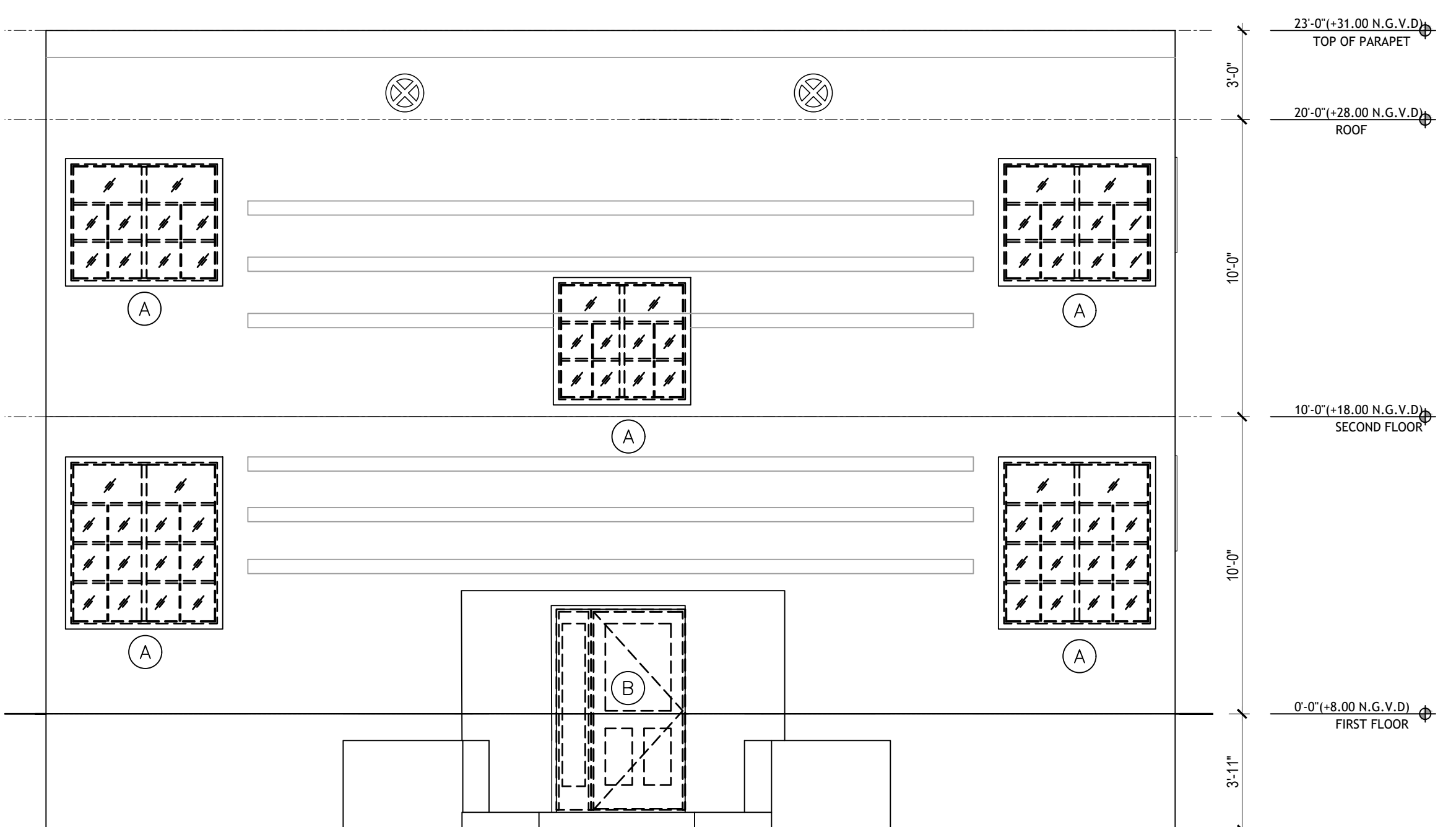


KEY PLAN
SCALE: 1/16" = 1'-0"

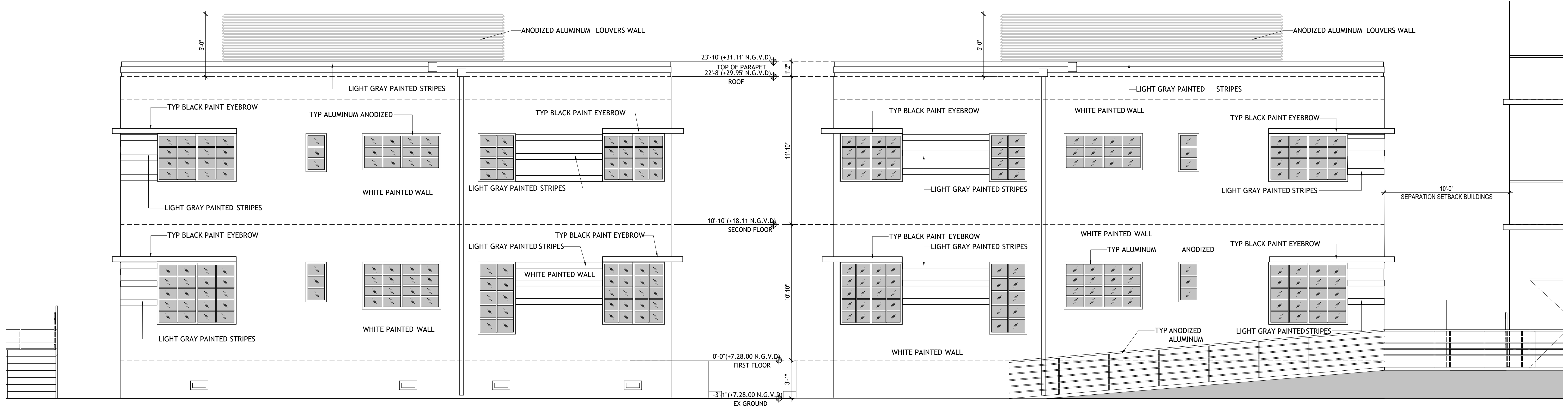
DEMOLITION LEGEND	
(A) REMOVE WINDOW	
(B) REMOVE DOOR	
(C) REMOVE EXTERIOR STAIRS	
DEMOLITON	-----
TO REMAIN	_____



EXISTING DEMOLITION EAST ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING DEMOLITION WEST ELEVATION
SCALE: 1/4" = 1'-0"

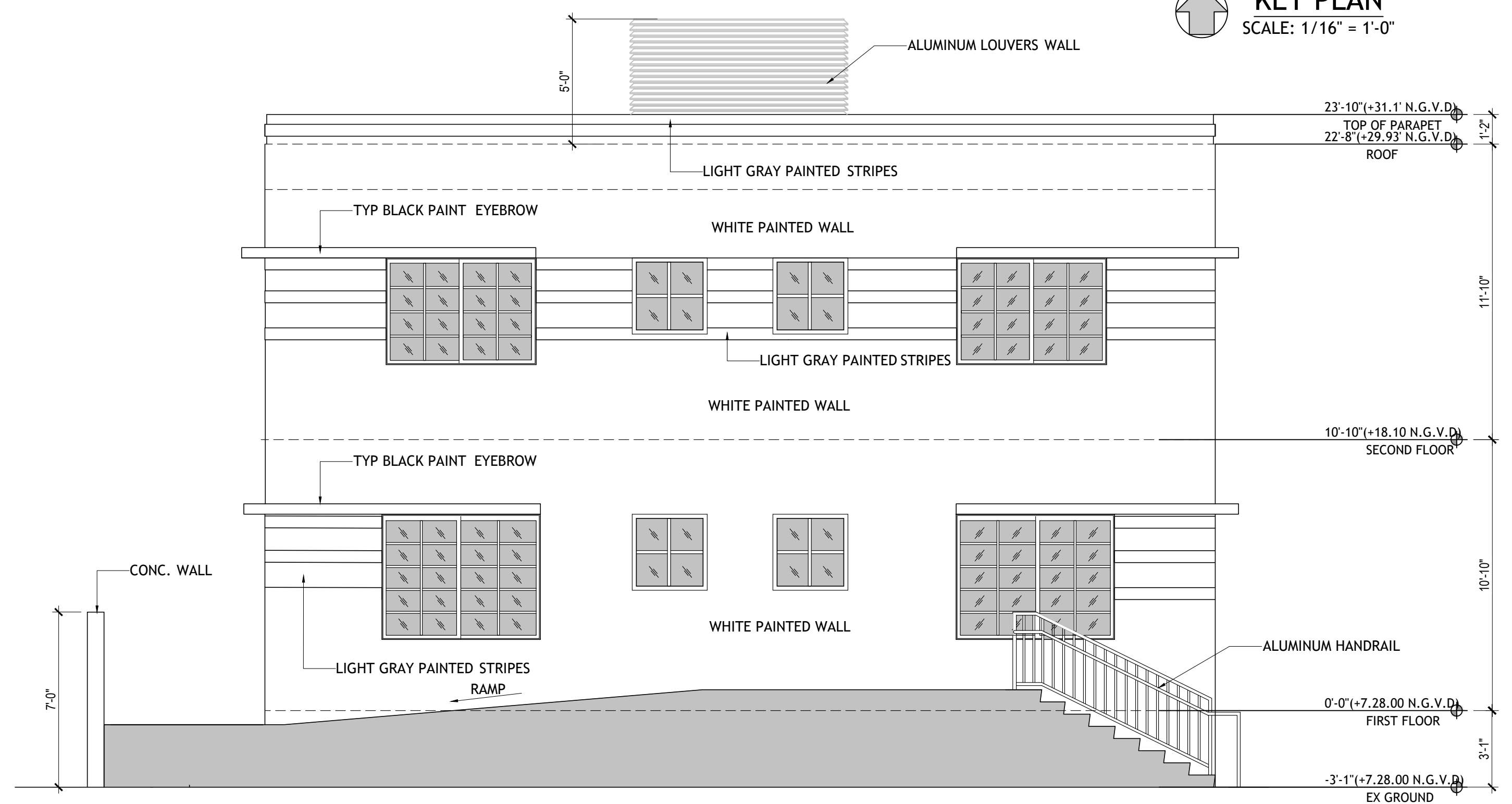
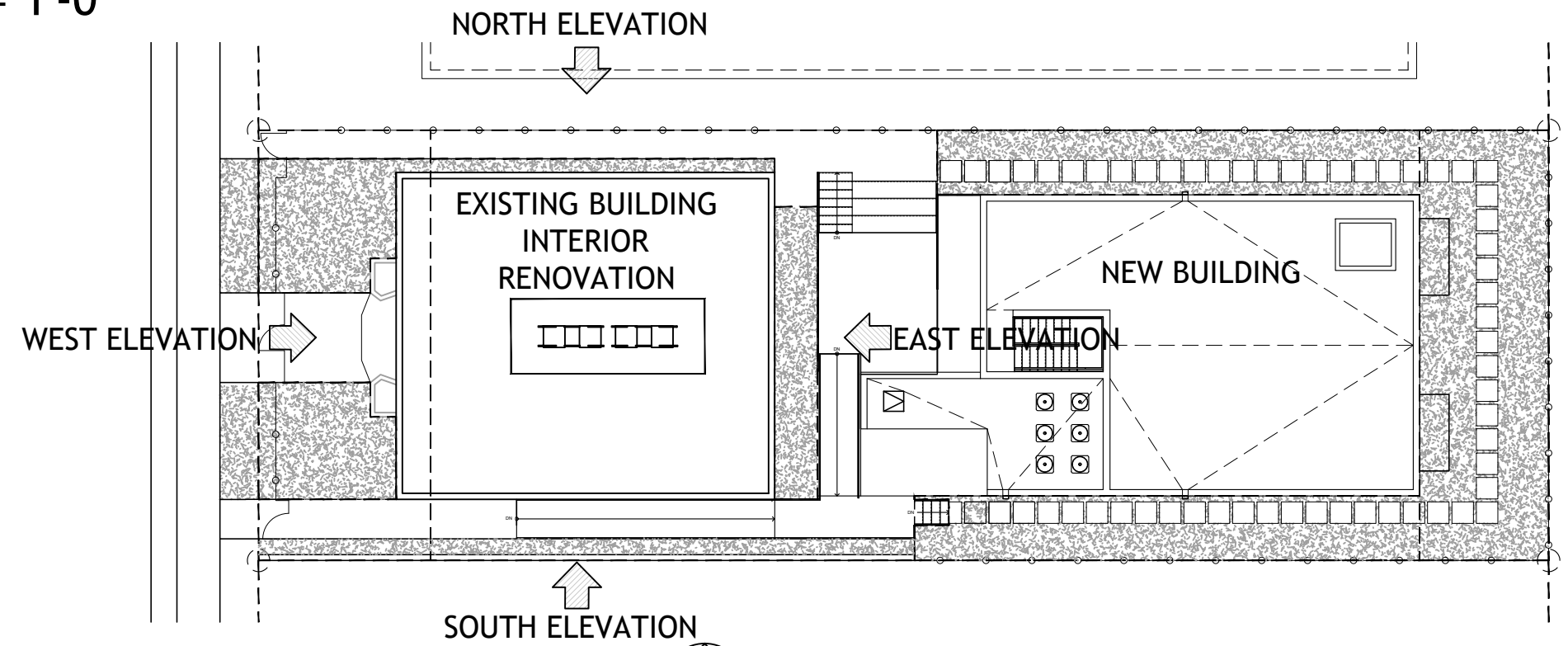


EXISTING RENOVATION BLDG NORTH ELEVATION

SCALE: 1/4" = 1'-0"

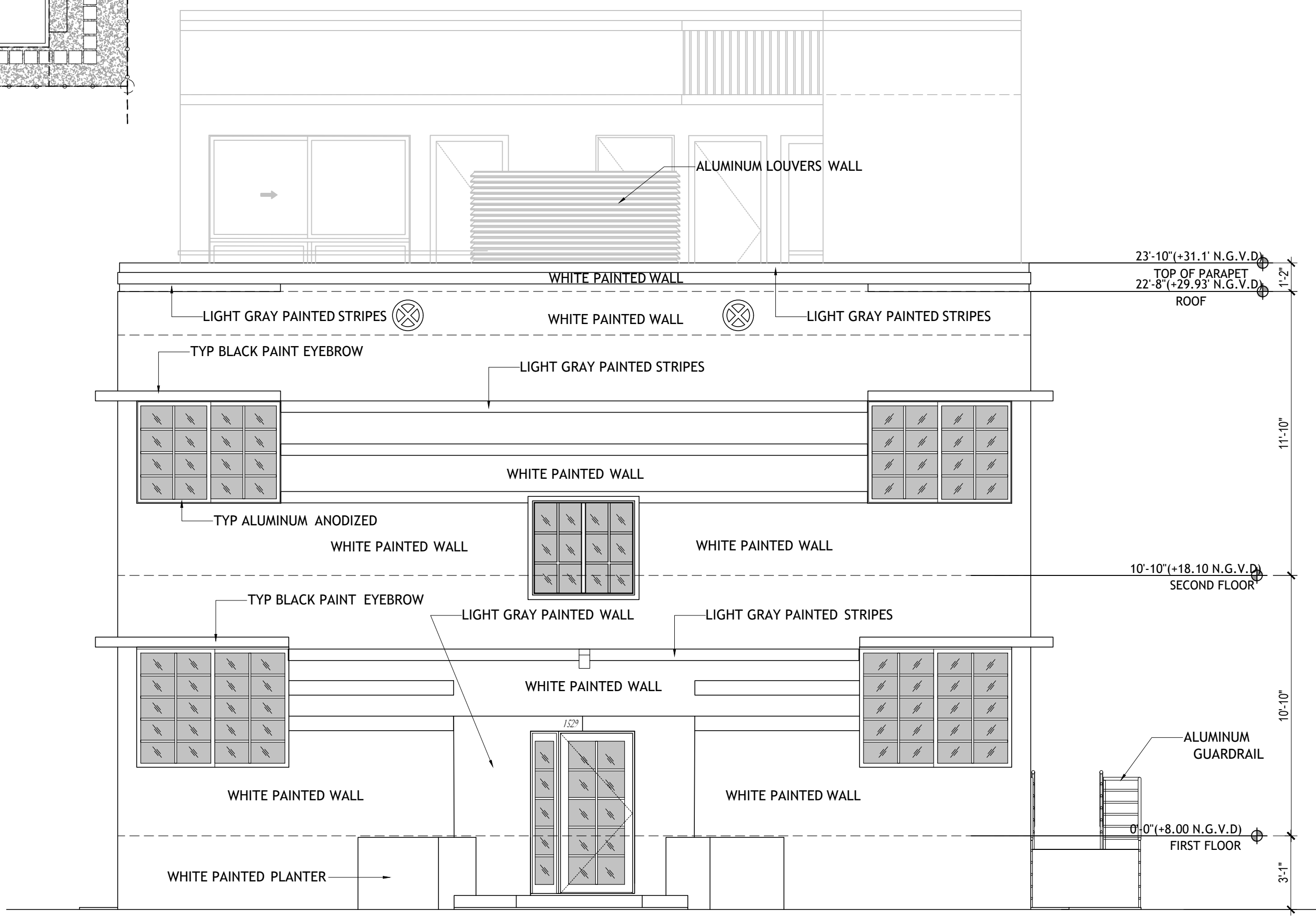
EXISTING RENOVATION BLDG SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING RENOVATION BLDG EAST ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING RENOVATION BLDG WEST ELEVATION

SCALE: 1/4" = 1'-0"

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REVISIONS:

AA0003669
ANTHONY LEON
0016752

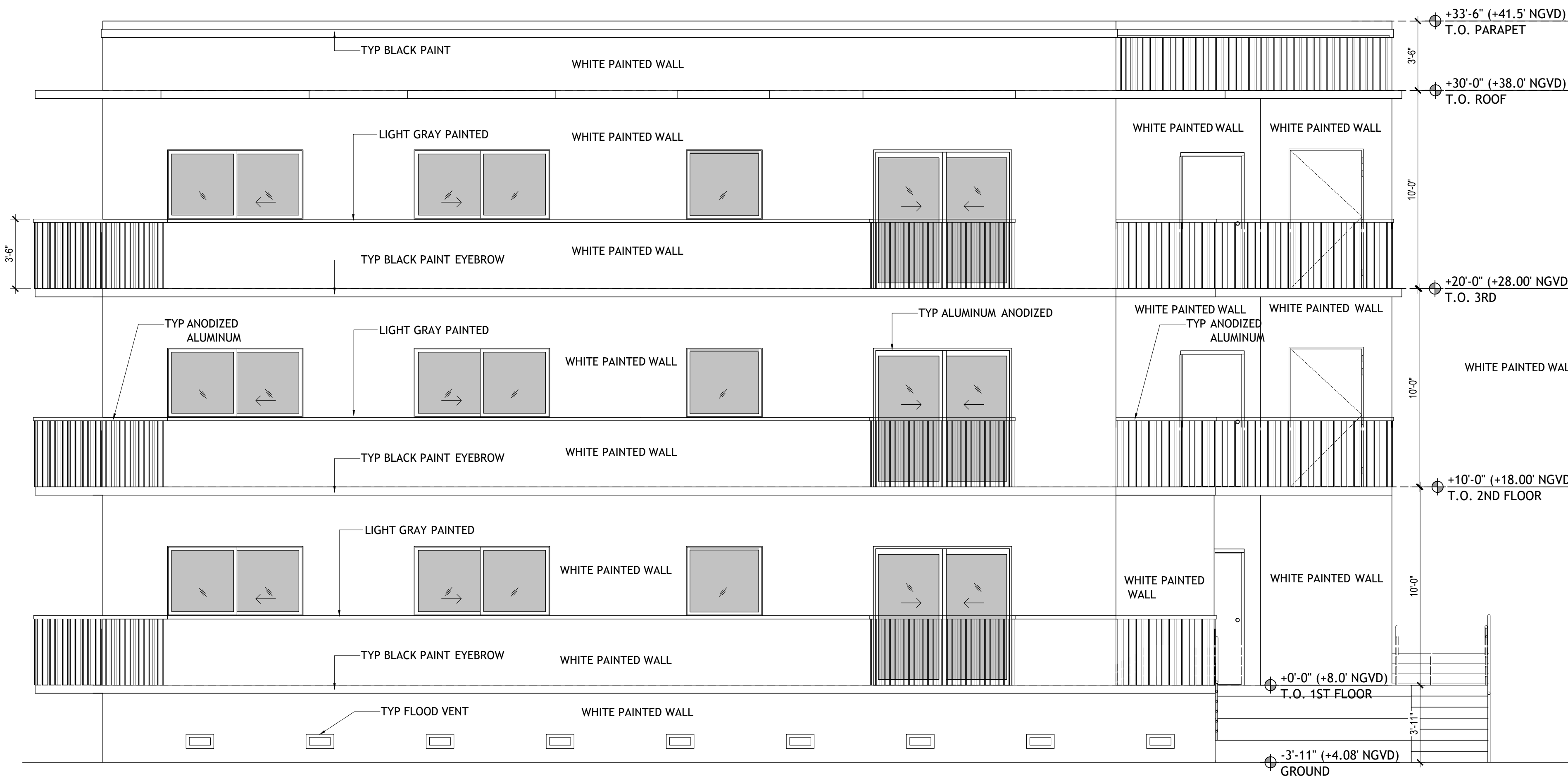
3 DESIGN ARCHITECTURE
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SEAL

NEW BUILDING FOR:
1529 JEFFERSON AVENUE
MIAMI BEACH, FL 33139

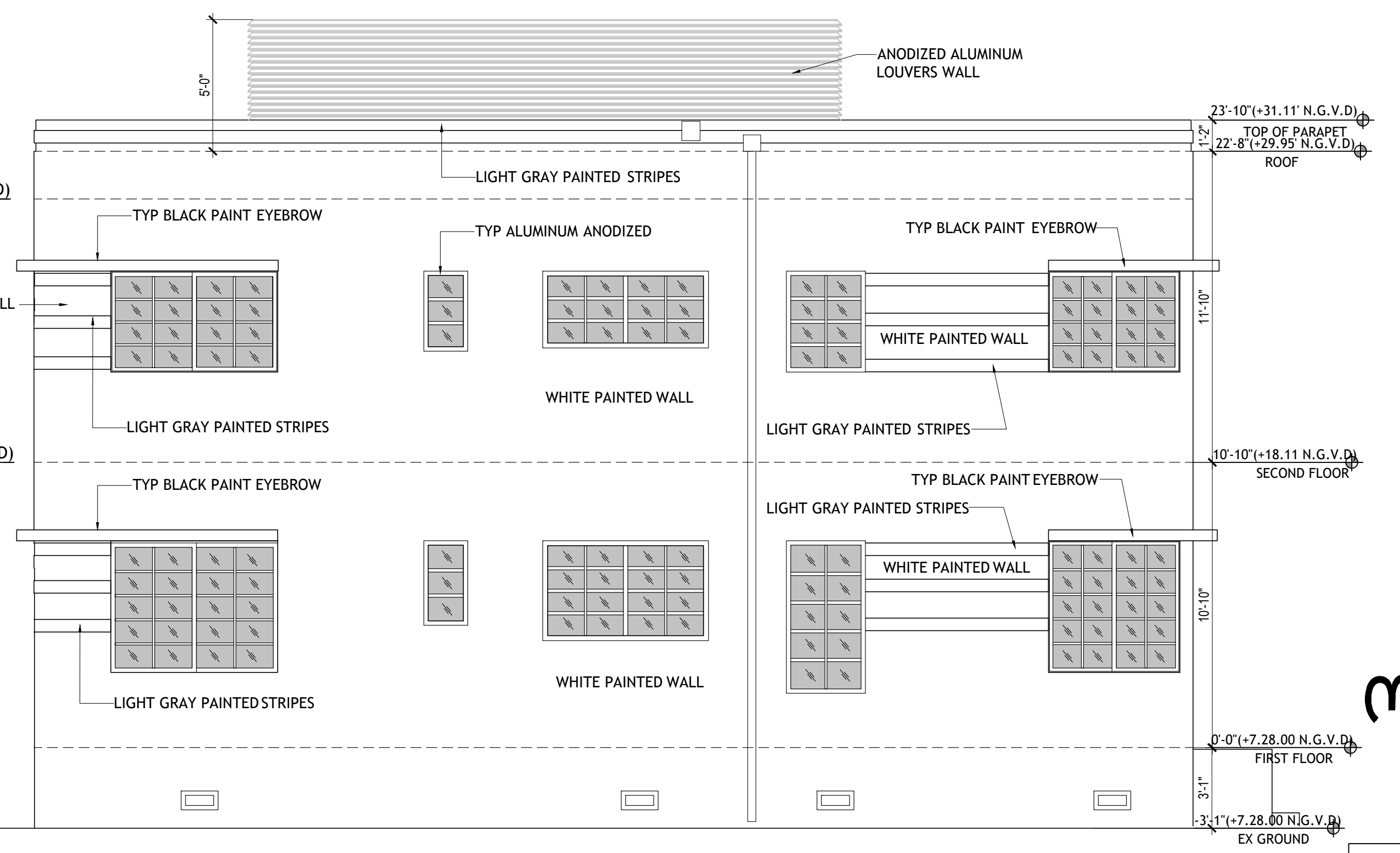
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A-3.1
ELEVATIONS



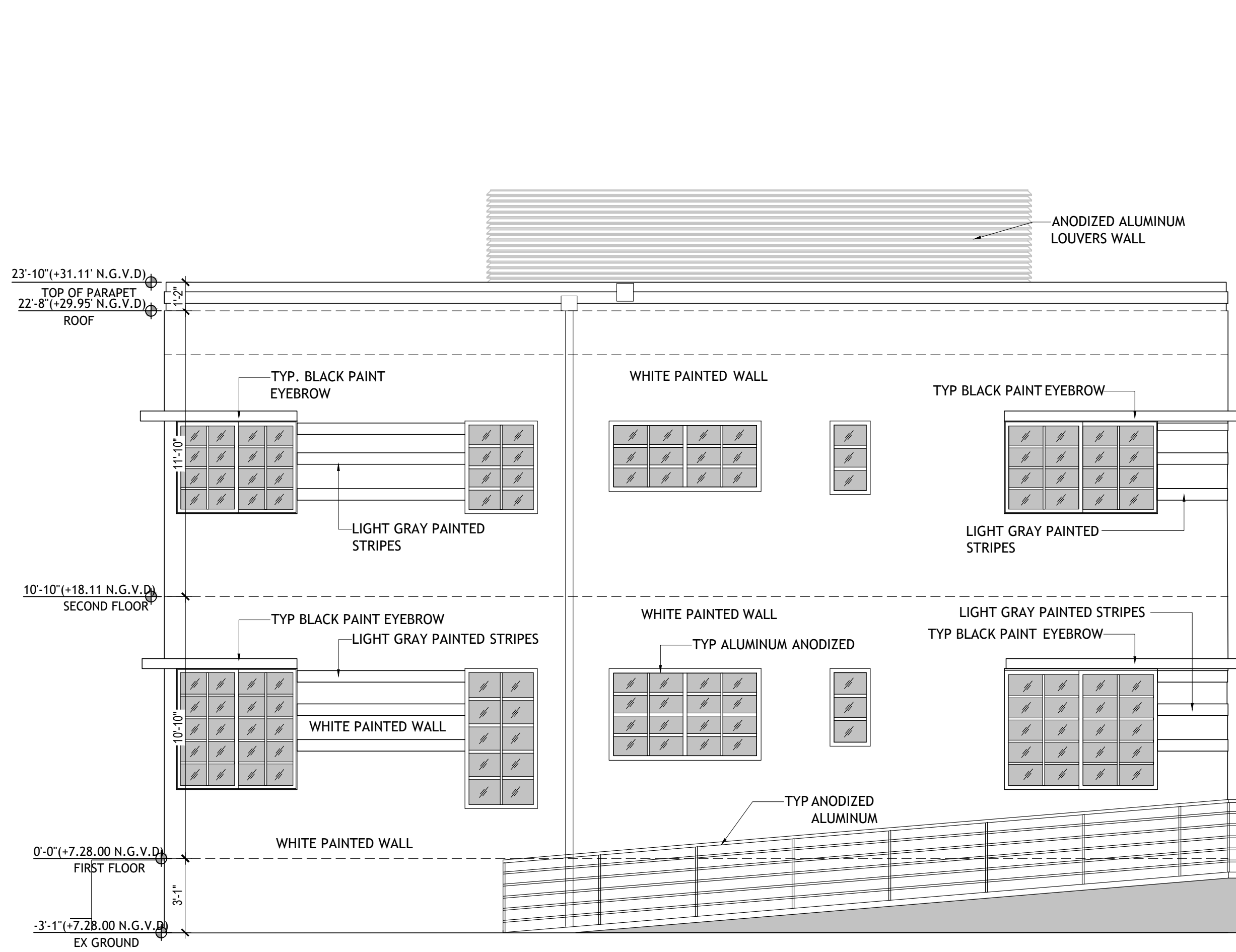
NEW BUILDING NORTH ELEVATION

SCALE: 1/4" = 1'-0"



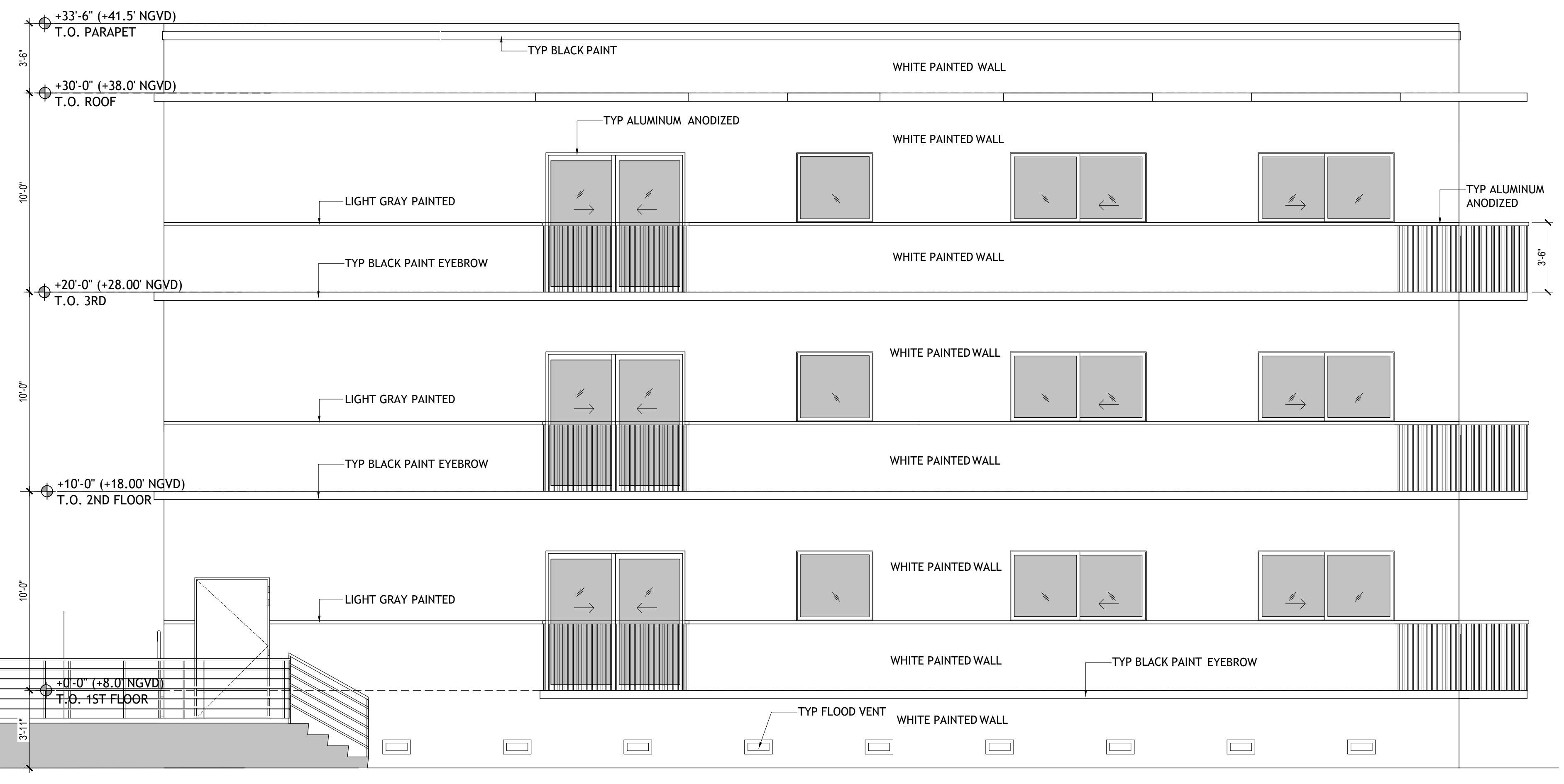
EXIST. RENOVATION BLDG NORTH ELEVATION

SCALE: 1/4" = 1'-0"



EXIST. RENOVATION BLDG SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



NEW BUILDING SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

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A-3.2

ELEVATIONS

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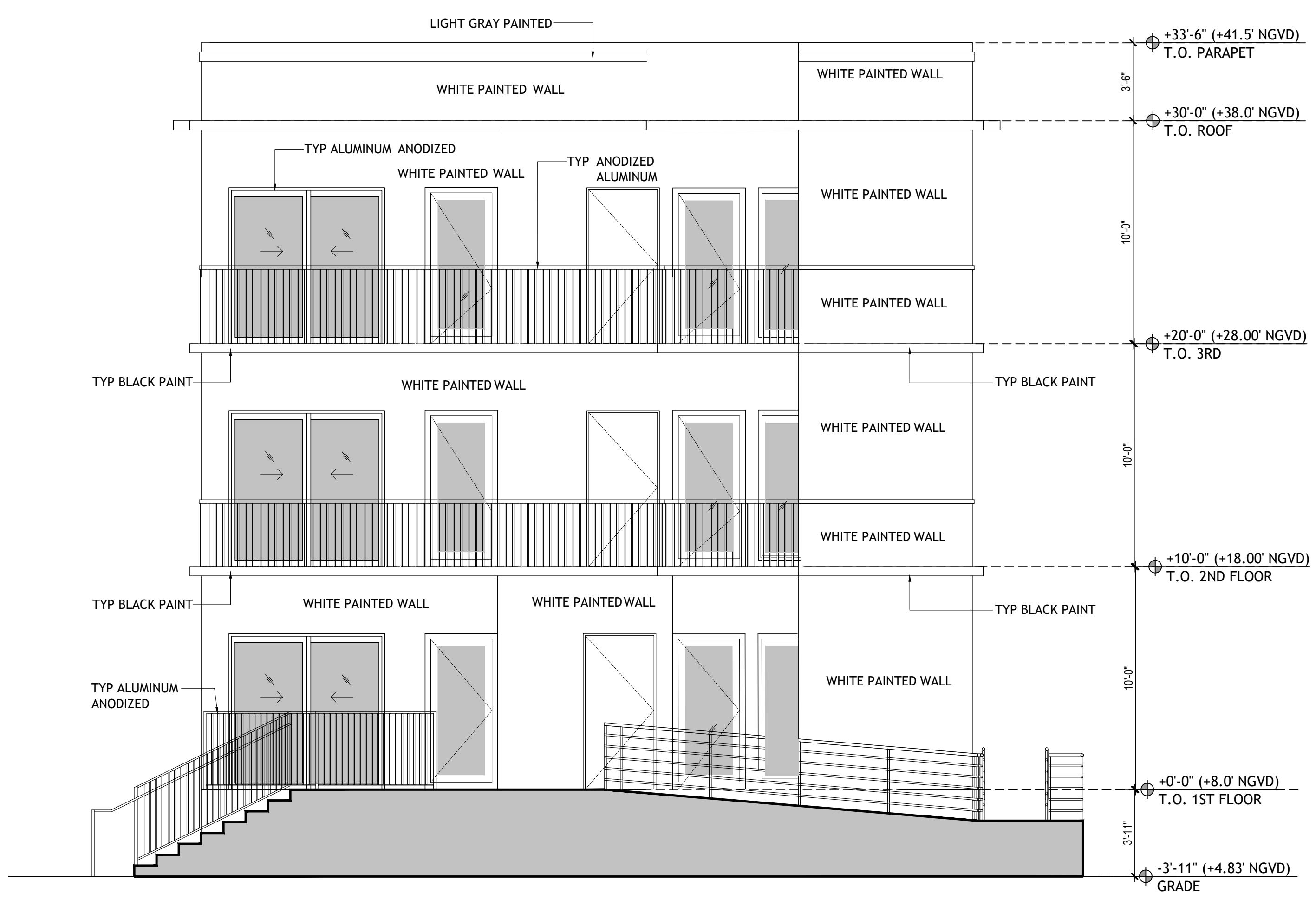
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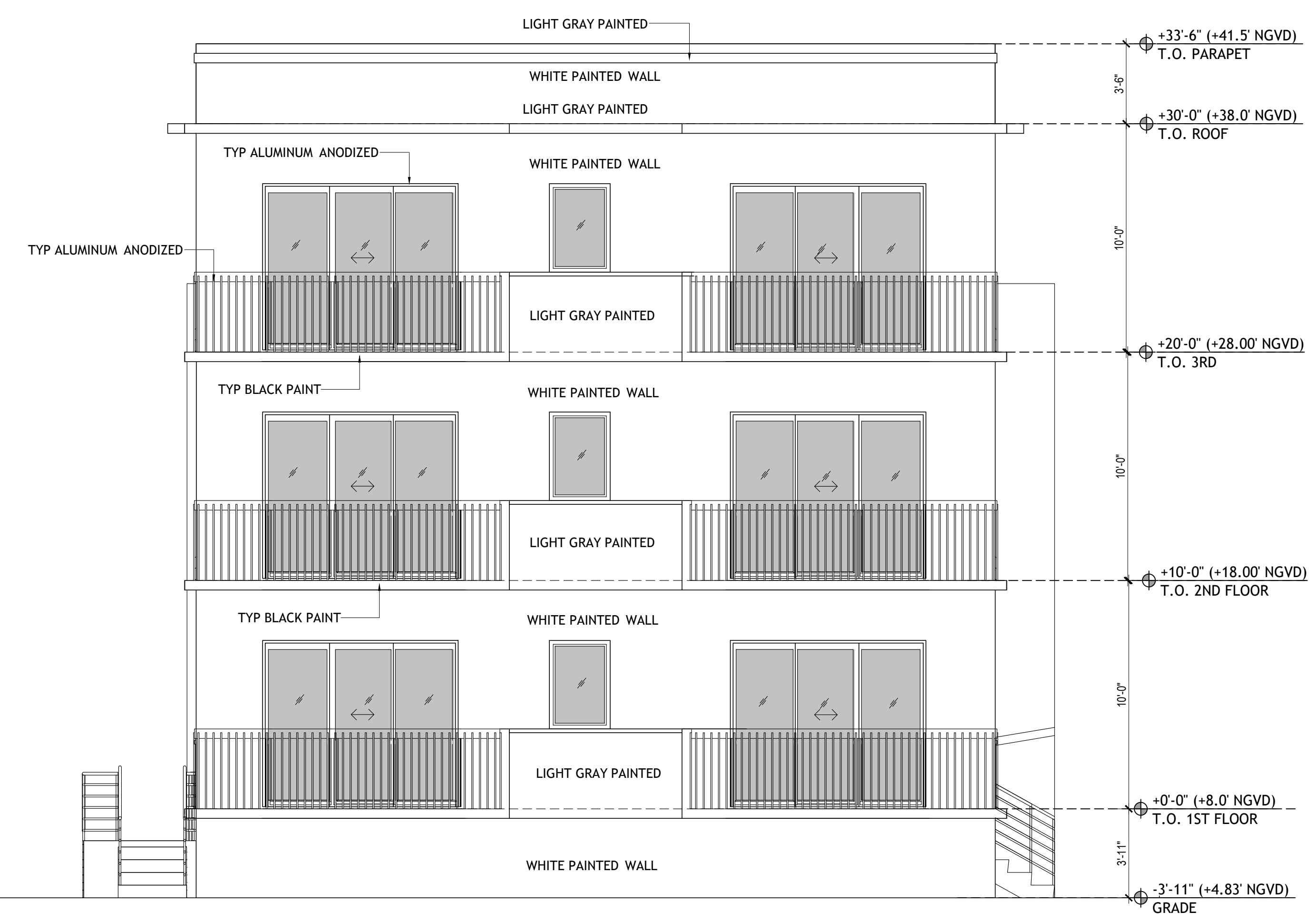
NEW BUILDING
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MIAMI BEACH, FL 33139

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A-3.3
ELEVATIONS



NEW BUILDING INTERIOR WEST ELEVATION
SCALE: 1/4" = 1'-0"



NEW BUILDING EAST ELEVATION
SCALE: 1/4" = 1'-0"

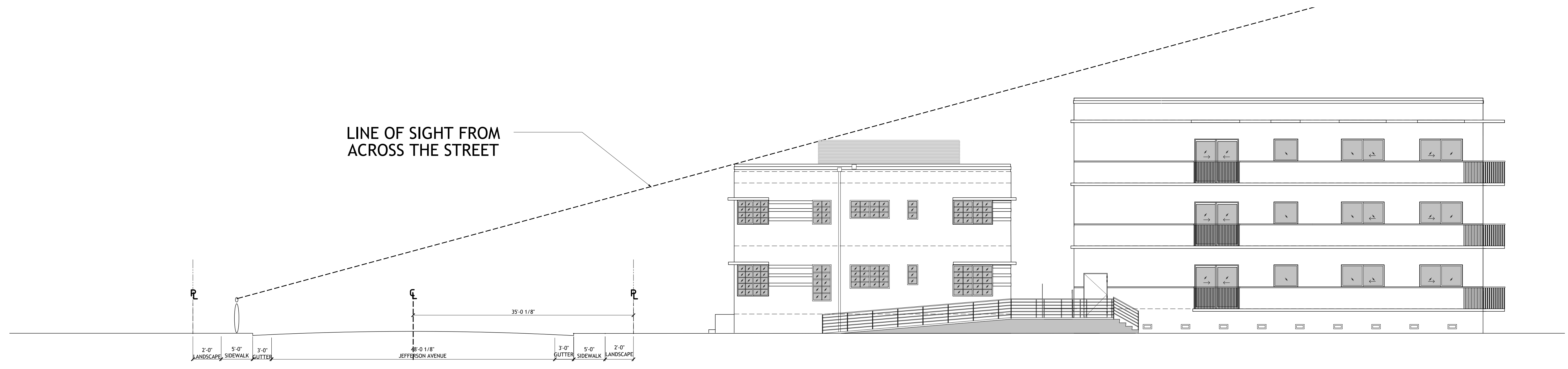
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 0016752

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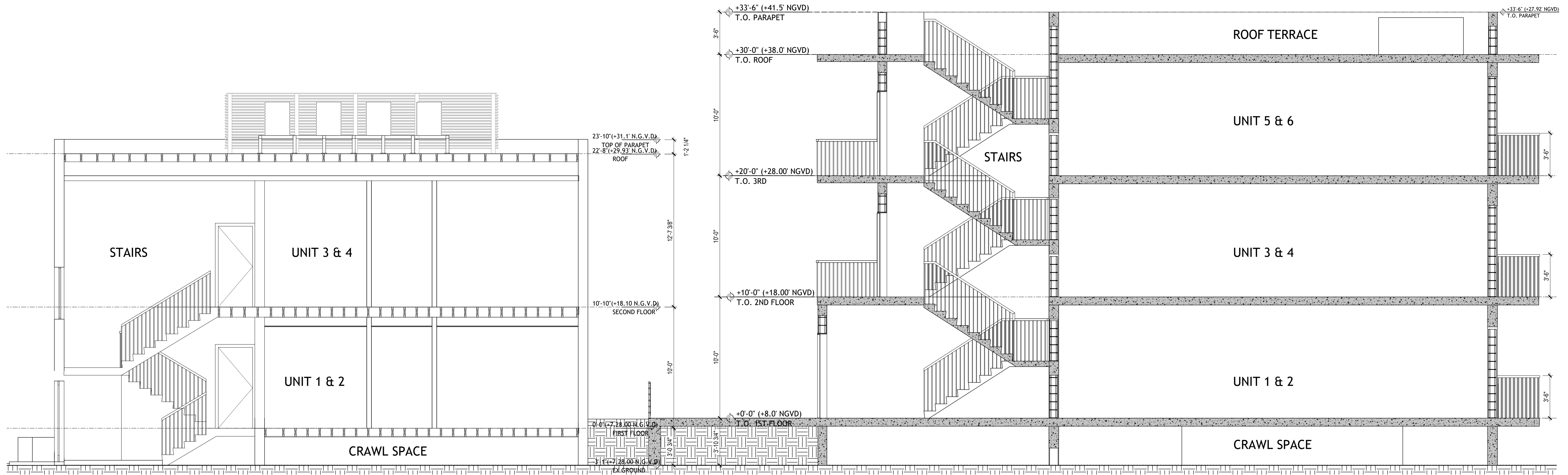
NEW BUILDING
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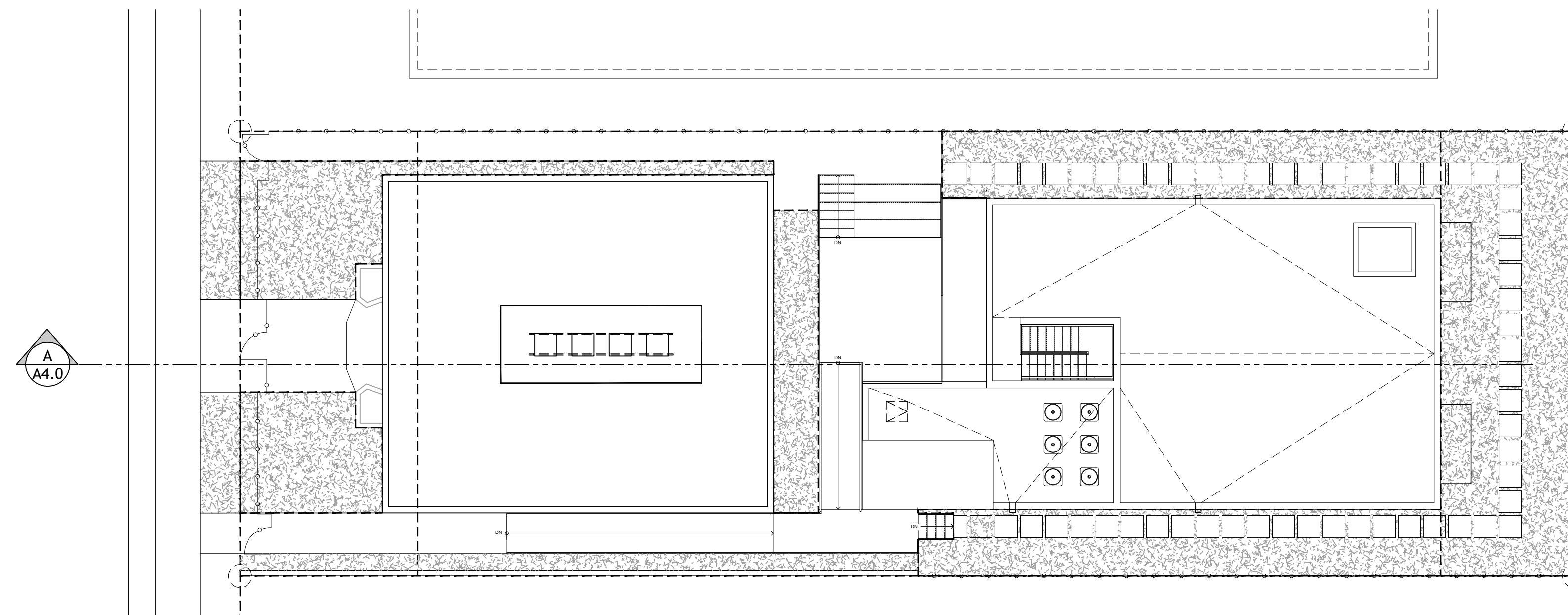
LINE OF SIGHT DIAGRAM
 SCALE: 1/8" = 1'-0"

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A-3.4
 LINE OF SIGHT



SECTION A
SCALE: 1/4" = 1'-0"



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A-4.0
SECTION



AERIAL VIEW
SCALE: N.T.S.

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A-5.0
AERIAL RENDERS



---SUBJECT PROPERTY

MERIDIAN AVE

840 1561 1555 1545 1537 1529 1521 833

CORNER TO CORNER

JEFFERSON AVE

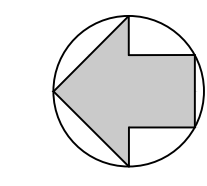
ACROSS THE STREET

900 1560 1550 1536 1520 1510 1502

MICHIGAN AVE

16TH ST

15TH ST



SURROUNDING BUILDINGS CONTEXT MAP

SCALE: N.T.S.

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A-6.0
SURROUNDING
BUILDING CONTEXT
MAP



APRIL 6, 2023

1537 JEFFERSON AV



APRIL 6, 2023

1561 JEFFERSON AV



APRIL 6, 2023

1555 JEFFERSON AV



APRIL 6, 2023

1545 JEFFERSON AV



APRIL 6, 2023

1537 JEFFERSON AV



APRIL 6, 2023

1529 JEFFERSON AV



APRIL 6, 2023

1521 JEFFERSON AV



APRIL 6, 2023

833 JEFFERSON AV

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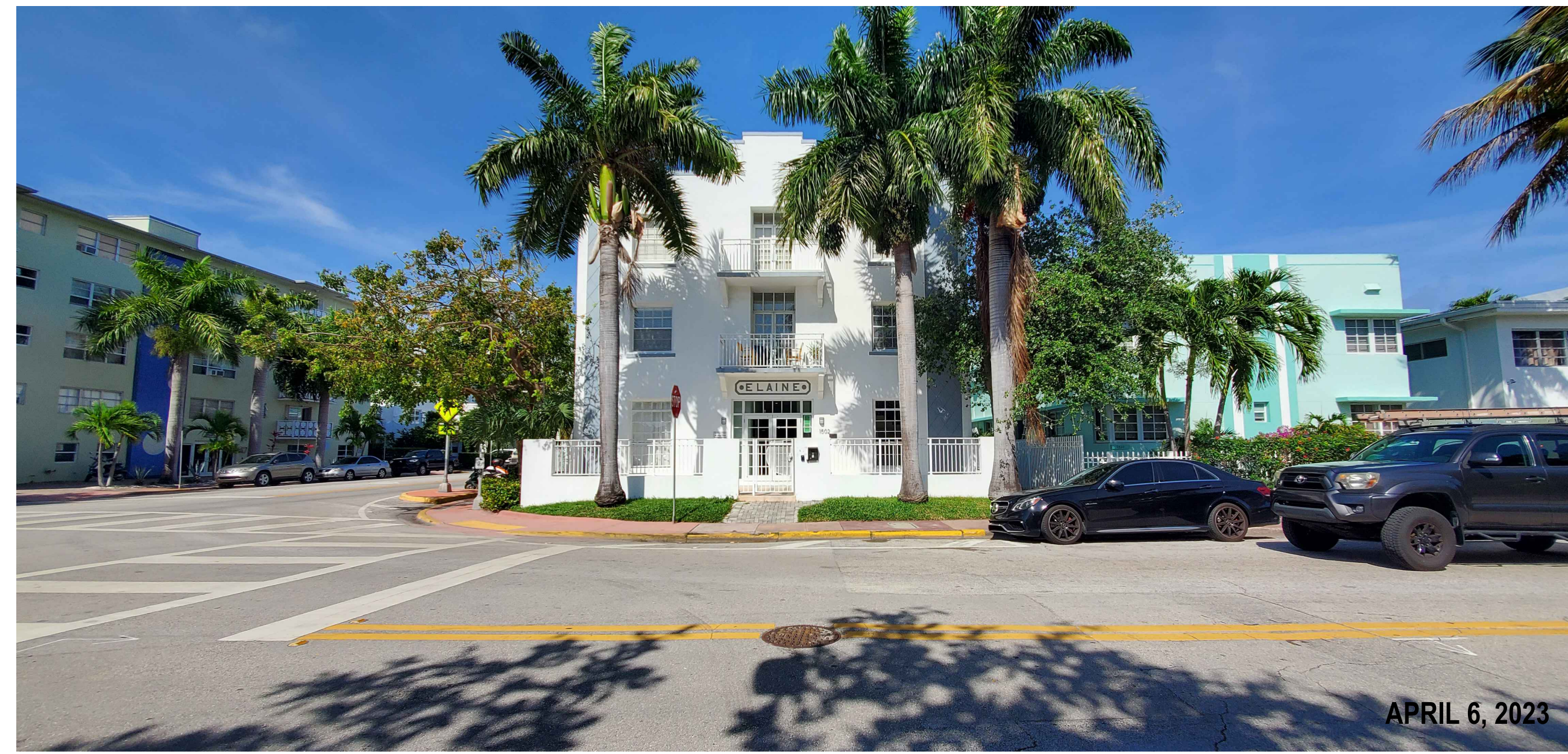
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A-6.1
FRONT FACADES
CORNER TO CORNER



1502 JEFFERSON AV



1510 JEFFERSON AV



1536 JEFFERSON AV



1550 JEFFERSON AV



1560 JEFFERSON AV



900 JEFFERSON AV

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A-6.2
FRONT FACADES
ACROSS THE STREET



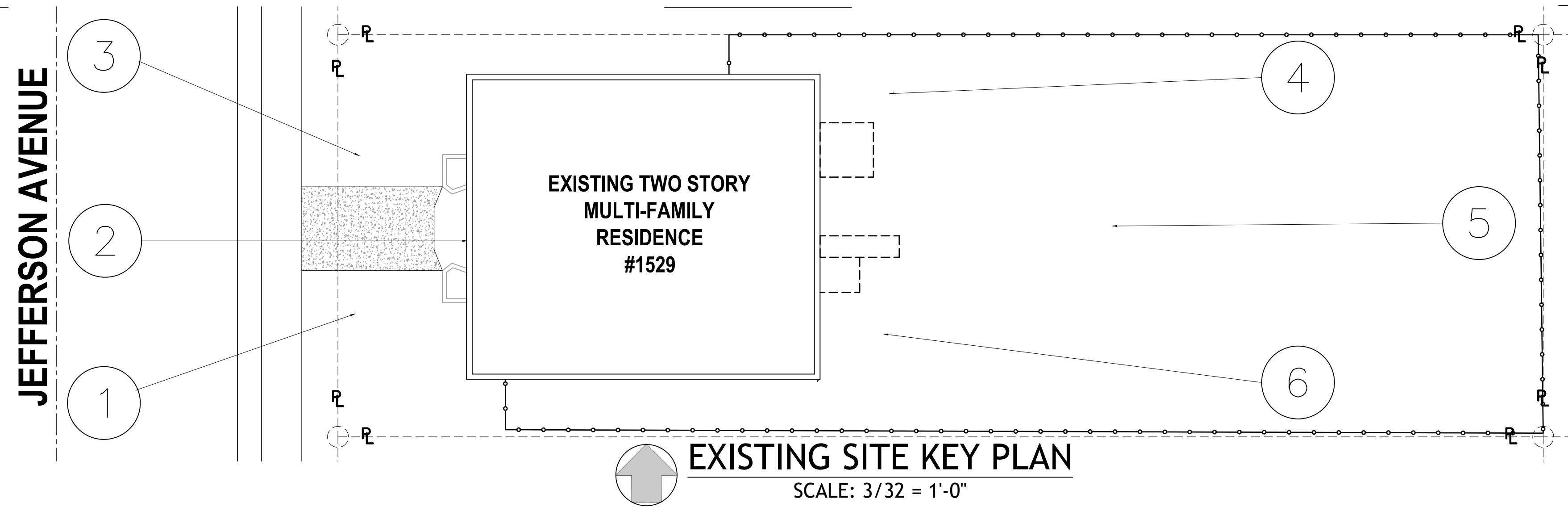
VIEW 3



VIEW 2



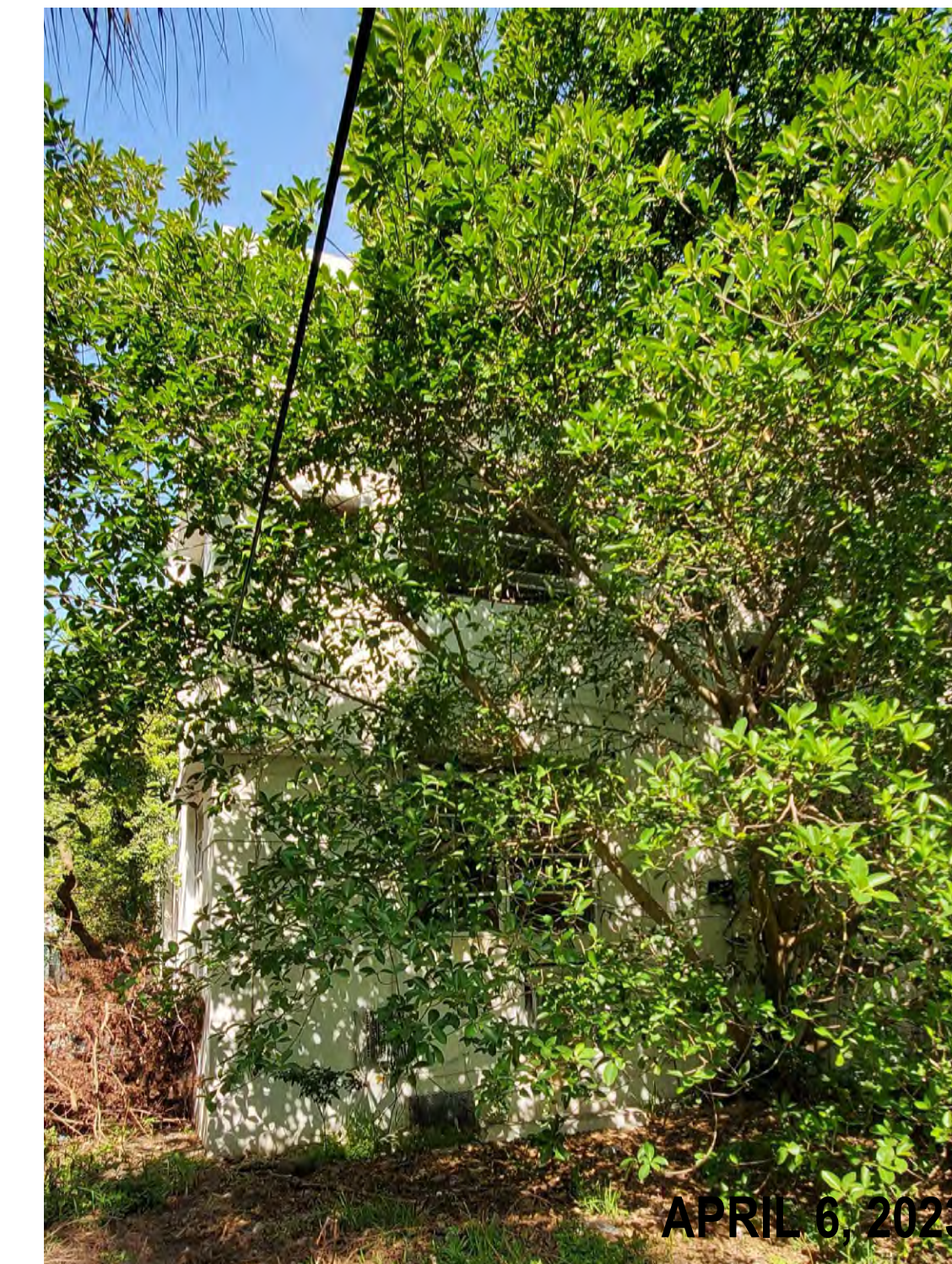
VIEW 1



VIEW 4



VIEW 5



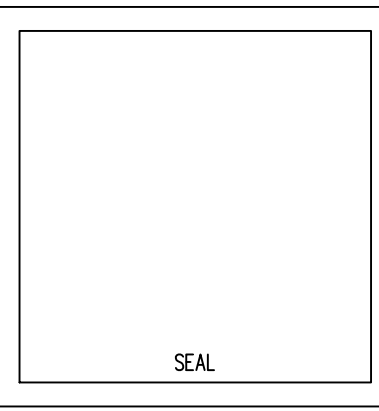
VIEW 6

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A-6.3
CURRENT PHOTOS
OUTSIDE



EXISTING BUILDING FRONT VIEW

SCALE: N.T.S.

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A-7.0
RENDERS



NEW BUILDING REAR VIEW

SCALE: N.T.S.

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A-7.1
RENDERS



INTERIOR COURTYARD VIEW

SCALE: N.T.S.

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A-7.2
RENDERS



NEW & EXISTING BUILDING SIDE VIEW

SCALE: N.T.S.

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A-7.3
RENDERS