


Site Plan
 SCALE: 1/8" = 1'-0"

Scope of Work

REMODEL EXISTING 13 APARTMENTS WITH NEW KITCHEN AND BATHROOMS
 ADD ELEVATOR AND ACCESSIBLE ENTRANCE, MODIFY EXISTING STAIRCASES

Legal Description

FOLIO: 02-4203-003-1170
 LEGAL DESCRIPTION:
 OCEAN BEACH FLA SUB
 W 50' OF LOTS 9 & 10
 PB 2, 36
 LOT SIZE 50' X 100'
 5,000 SQFT
 ZONING CLASSIFICATION:
 C-PSI COMMERCIAL SUBDISTRICT
 PROPOSED USE:
 TWO STORY APARTMENT/ COMMERCIAL
 FLOOD ZONE:
 ZONE: AE ELEVATION: +8.00' N.G.V.D.
 MIN. FINISH FLOOR ELEVATION REQUIRED: + 9.00' N.G.V.D.
 EXIST. FINISH FLOOR ELEVATION: + 5.23' N.G.V.D.
 AVERAGE CROWN OF THE ROAD:
 1ST STREET
 (4.50' + 4.77' / 2) = +4.63' N.G.V.D.
 WASHINGTON AVENUE
 (4.79' + 5.07' / 2) = +4.93' N.G.V.D.
 BACK OF SIDEWALK:
 1ST STREET
 (4.74' + 4.88' / 2) = +4.81' N.G.V.D.
 WASHINGTON AVENUE
 (4.56' + 4.75' / 2) = +4.65' N.G.V.D.

Site Data

SETBACKS:	REQUIRED:	EXISTING:	PROPOSED:
FRONT - SOUTH (1ST STREET)	0'-0" / 5'-0" RES.	0'-0"	0'-0"
SIDE STREET - WEST (WASHINGTON AVENUE)	0'-0" / 5'-0" RES.	0'-0"	0'-0"
SIDE - EAST	0'-0" / 5'-0" RES.	0'-0"	0'-0"
SIDE - NORTH	0'-0" / 5'-0" RES.	5'-0"	5'-0"
PROPOSED 3'-8" LANDING ENCROACHMENT:			1'-4"

HEIGHT:	REQUIRED	PROPOSED
MAXIMUM BUILDING HEIGHT	40'-0"	26'-9" TWO STORY

EXISTING FLOOR AREA:		PROPOSED
1st FLOOR:		
EXIST COMMERCIAL RESTAURANT:	2,630 sqft	
APARTMENT AREA:	704 sqft	
CIRCULATION:	897 sqft	
2nd FLOOR:		
APARTMENT AREA:	3,646 sqft	
CIRCULATION:	691 sqft	
TOTAL:	5,568 sqft	

VILLAGE
ARCHITECTS
 OF KEY BISCAYNE, INC.
 AA. 26002084
 ARCHITECTS, PLANNERS
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**Renovations to
 Existing Apartments**

239 1st Street
 Miami Beach, FL 33139

OWNER INFO
 101 Washington Ave Realty LLC
 346 Madison Avenue 10F1
 New York, NY 10017

Mark	Date	Description	Mark	Date	Description
	3/16/23	Unit Size Varie			
	2/21/23	Response #1			
	12/6/22	Permit			
	3/7/22	HEP Variance			

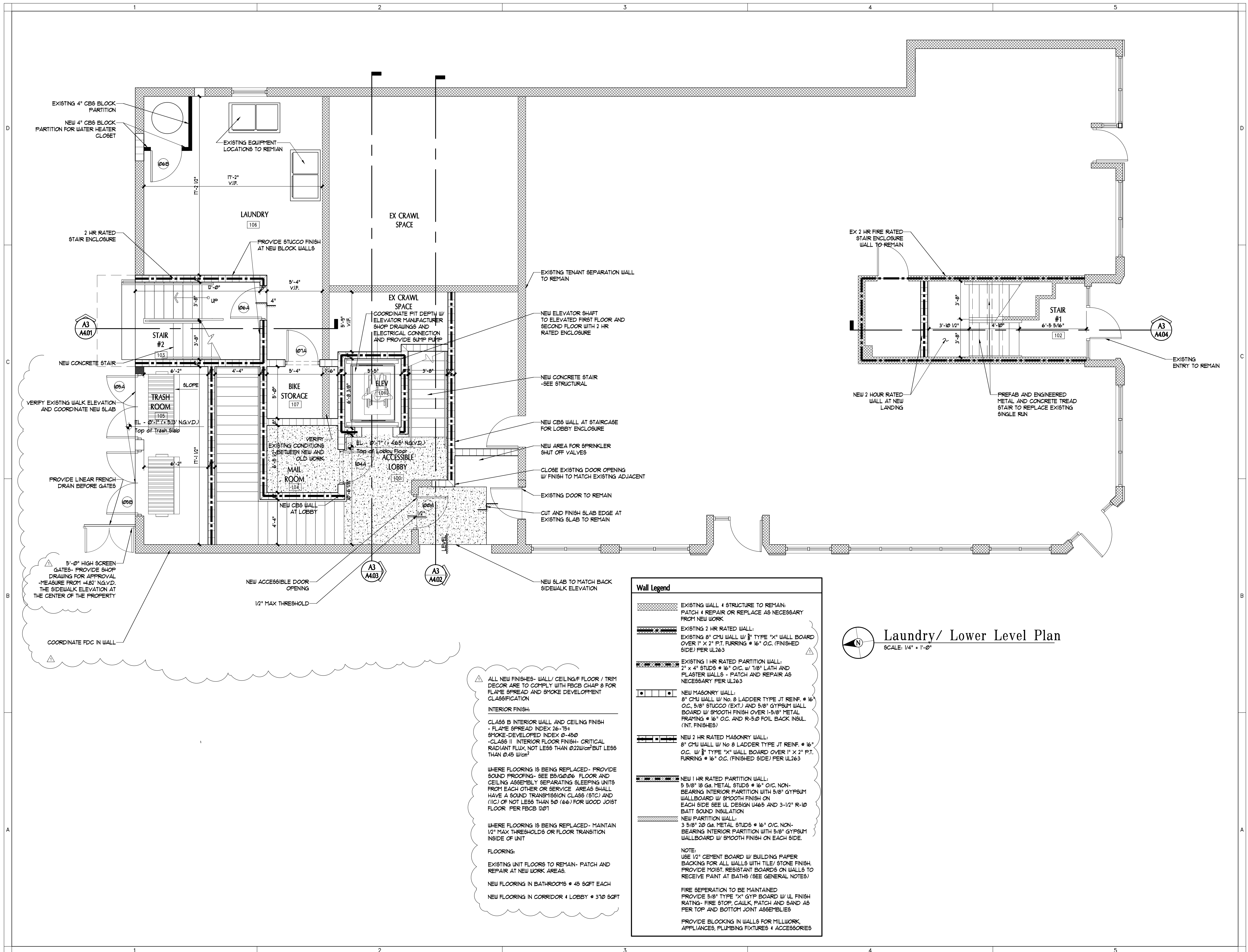
ARCHITECT
 ROBERT JOHN GRABOSKI AR. 009159

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED BY, AND THE PROPERTY OF HIS OFFICE AND WERE CREATED, EVOLVED AND DEVELOPED, USED ON, AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE EXPRESS WRITTEN PERMISSION OF VILLAGE ARCHITECTS OF KEY BISCAYNE, INC.

AA. 26002084
 PROJECT YR.: 2021 CAD DWG FILE: G-Washington
 DRAWN BY: : CHECKED BY: :
 SHEET TITLE

Site Plan & Zoning
 Data

SHEET No.
A1.00.0



Wall Legend

- EXISTING WALL & STRUCTURE TO REMAIN. PATCH & REPAIR OR REPLACE AS NECESSARY FROM NEW WORK.
- EXISTING 2 HR RATED WALL:
EXISTING 8" CMU WALL w/ 1/2" TYPE "X" WALL BOARD OVER 1" x 2" P.T. FURRING @ 16" O.C. (FINISHED SIDE) PER UL263
- EXISTING 1 HR RATED PARTITION WALL:
2" x 4" STUDS @ 16" O.C. w/ 7/8" LATH AND PLASTER WALLS - PATCH AND REPAIR AS NECESSARY PER UL263
- NEW MASONRY WALL:
8" CMU WALL w/ No. 8 LADDER TYPE JT REIN. @ 16" O.C. 5/8" STUCCO (EXT.) AND 5/8" GYPSUM WALL BOARD w/ SMOOTH FINISH OVER 1-5/8" METAL FRAMING @ 16" O.C. AND R-5.0 FOIL BACK INSUL. (INT. FINISHES)
- NEW 2 HR RATED MASONRY WALL:
8" CMU WALL w/ No. 8 LADDER TYPE JT REIN. @ 16" O.C. w/ 1/2" TYPE "X" WALL BOARD OVER 1" x 2" P.T. FURRING @ 16" O.C. (FINISHED SIDE) PER UL263
- NEW 1 HR RATED PARTITION WALL:
5 5/8" 18 Ga. METAL STUDS @ 16" O.C. NON-BEARING INTERIOR PARTITION WITH 5/8" GYPSUM WALLBOARD w/ SMOOTH FINISH ON EACH SIDE SEE UL DESIGN U465 AND 3-1/2" R-10 BATT SOUND INSULATION
- NEW PARTITION WALL:
3 5/8" 20 Ga. METAL STUDS @ 16" O.C. NON-BEARING INTERIOR PARTITION WITH 5/8" GYPSUM WALLBOARD w/ SMOOTH FINISH ON EACH SIDE.

NOTE:
USE 1/2" CEMENT BOARD w/ BUILDING PAPER BACKING FOR ALL WALLS WITH TILE/STONE FINISH. PROVIDE MOIST. RESISTANT BOARDS ON WALLS TO RECEIVE PAINT AT BATHS (SEE GENERAL NOTES)

FIRE SEPERATION TO BE MAINTAINED
PROVIDE 5/8" TYPE "X" GYP BOARD w/ UL FINISH RATING- FIRE STOP, CAULK, PATCH AND SAND AS PER TOP AND BOTTOM JOINT ASSEMBLIES

PROVIDE BLOCKING IN WALLS FOR MILLWORK, APPLIANCES, PLUMBING FIXTURES & ACCESSORIES

ALL NEW FINISHES- WALL/ CEILING/ FLOOR / TRIM DECOR ARE TO COMPLY WITH FBCC CHAP 8 FOR FLAME SPREAD AND SMOKE DEVELOPMENT CLASSIFICATION

INTERIOR FINISH:
CLASS B INTERIOR WALL AND CEILING FINISH - FLAME SPREAD INDEX 26-75
SMOKE-DEVELOPED INDEX 0-450
-CLASS II INTERIOR FLOOR FINISH- CRITICAL RADIANT FLUX, NOT LESS THAN 0.22W/cm² BUT LESS THAN 0.45 W/cm²

WHERE FLOORING IS BEING REPLACED- PROVIDE SOUND PROOFING- SEE EB/C2026 FLOOR AND CEILING ASSEMBLY SEPARATING SLEEPING UNITS FROM EACH OTHER OR SERVICE AREAS SHALL HAVE A SOUND TRANSMISSION CLASS (STC) AND (IIC) OF NOT LESS THAN 50 (66) FOR WOOD JOIST FLOOR PER FBCC 1021

WHERE FLOORING IS BEING REPLACED- MAINTAIN 1/2" MAX THRESHOLDS OR FLOOR TRANSITION INSIDE OF UNIT

FLOORING:
EXISTING UNIT FLOORS TO REMAIN- PATCH AND REPAIR AT NEW WORK AREAS.
NEW FLOORING IN BATHROOMS @ 45 SQFT EACH
NEW FLOORING IN CORRIDOR & LOBBY @ 310 SQFT

Laundry/ Lower Level Plan
SCALE: 1/4" = 1'-0"

VILLAGE ARCHITECTS
OF KEY BISCAYNE, INC.
AA. 28002086

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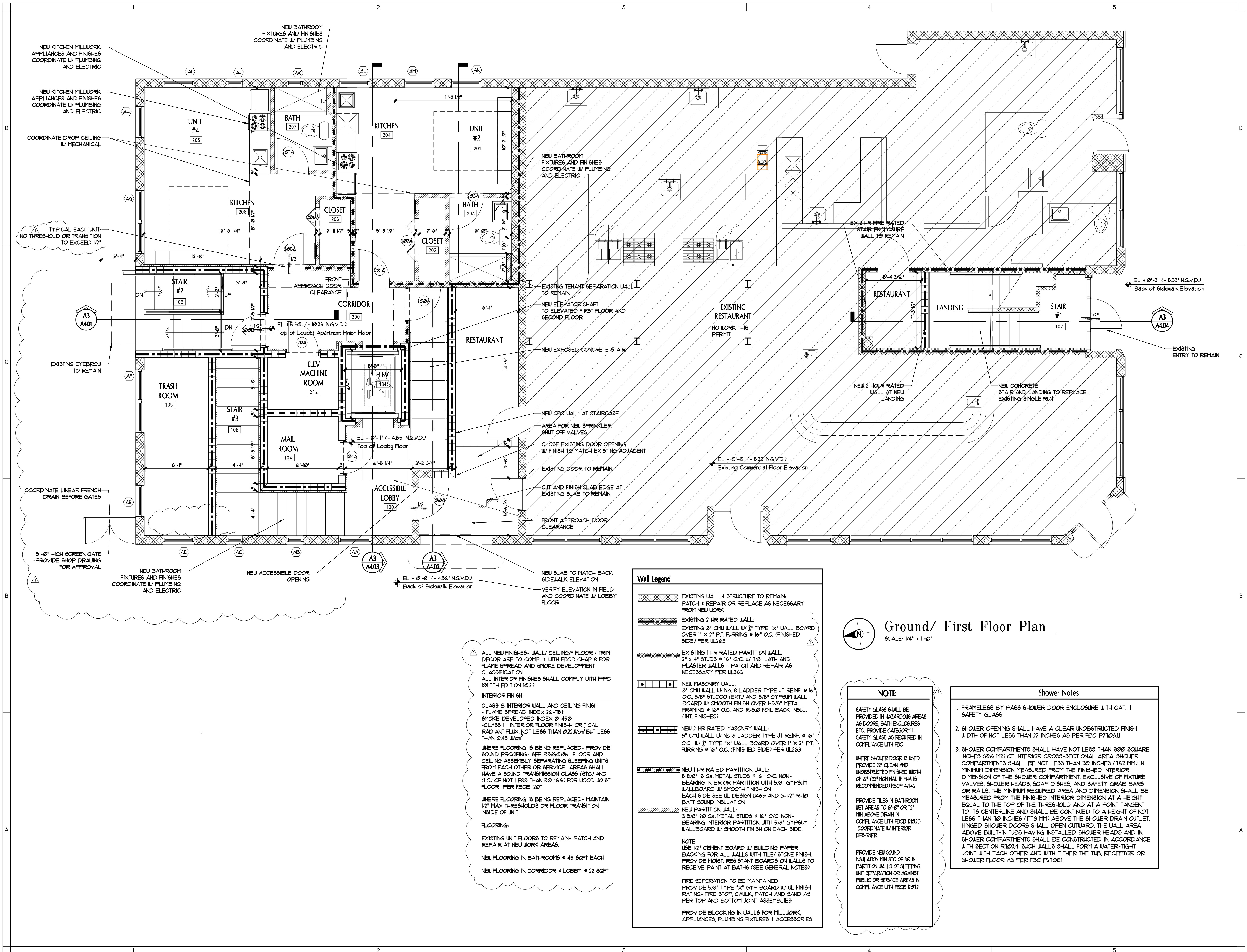
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AA. 28002086

PROJECT YR.: 2021 CAD DWG FILE: G-Washington
DRAWN BY: CHECKED BY:

SHEET TITLE
**Laundry Lower Level
Floor Plan**

SHEET No. **A1.01**



Wall Legend

- EXISTING WALL & STRUCTURE TO REMAIN: PATCH & REPAIR OR REPLACE AS NECESSARY FROM NEW WORK
- EXISTING 2 HR RATED WALL: EXISTING 8" CMU WALL W/ 3" TYPE 'X' WALL BOARD OVER 1" X 2" P.T. FURRING @ 16" O.C. (FINISHED SIDE) PER UL263
- EXISTING 1 HR RATED PARTITION WALL: 2" X 4" STUDS @ 16" O.C. W/ 7/8" LATH AND PLASTER WALLS - PATCH AND REPAIR AS NECESSARY PER UL263
- NEW MASONRY WALL: 8" CMU WALL W/ NO. 8 LADDER TYPE JT REINF. @ 16" O.C. 5/8" STUCCO (EXT.) AND 5/8" GYPSUM WALL BOARD W/ SMOOTH FINISH OVER 1-5/8" METAL FRAMING @ 16" O.C. AND R-5.0 FOIL BACK INSUL. (INT. FINISHES)
- NEW 2 HR RATED MASONRY WALL: 8" CMU WALL W/ NO. 8 LADDER TYPE JT REINF. @ 16" O.C. W/ 3" TYPE 'X' WALL BOARD OVER 1" X 2" P.T. FURRING @ 16" O.C. (FINISHED SIDE) PER UL263
- NEW 1 HR RATED PARTITION WALL: 5 5/8" 18 Ga. METAL STUDS @ 16" O.C. NON-BEARING INTERIOR PARTITION WITH 5/8" GYPSUM WALLBOARD W/ SMOOTH FINISH ON EACH SIDE SEE UL DESIGN U465 AND 3-1/2" R-10 BATT SOUND INSULATION
- NEW PARTITION WALL: 3 5/8" 20 Ga. METAL STUDS @ 16" O.C. NON-BEARING INTERIOR PARTITION WITH 5/8" GYPSUM WALLBOARD W/ SMOOTH FINISH ON EACH SIDE.

NOTE:
 USE 1/2" CEMENT BOARD W/ BUILDING PAPER BACKING FOR ALL WALLS WITH TILE/STONE FINISH. PROVIDE MOIST. RESISTANT BOARDS ON WALLS TO RECEIVE PAINT AT BATHS (SEE GENERAL NOTES).
 FIRE SEPERATION TO BE MAINTAINED. PROVIDE 5/8" TYPE 'X' GYP BOARD W/ UL FINISH RATING- FIRE STOP, CAULK, PATCH AND SAND AS PER TOP AND BOTTOM JOINT ASSEMBLIES.
 PROVIDE BLOCKING IN WALLS FOR MILLWORK, APPLIANCES, PLUMBING FIXTURES & ACCESSORIES

ALL NEW FINISHES- WALL/ CEILING/ FLOOR / TRIM DECOR ARE TO COMPLY WITH FCBC CHAP 8 FOR FLAME SPREAD AND SMOKE DEVELOPMENT CLASSIFICATION. ALL INTERIOR FINISHES SHALL COMPLY WITH FCBC 101 1TH EDITION 1022

INTERIOR FINISH:
 CLASS B INTERIOR WALL AND CEILING FINISH - FLAME SPREAD INDEX 26-75+
 SMOKE-DEVELOPED INDEX 0-450
 CLASS II INTERIOR FLOOR FINISH- CRITICAL RADIANT FLUX, NOT LESS THAN 0.22 W/cm² BUT LESS THAN 0.45 W/cm²

WHERE FLOORING IS BEING REPLACED- PROVIDE SOUND PROOFING- SEE BB/G206 FLOOR AND CEILING ASSEMBLY SEPARATING SLEEPING UNITS FROM EACH OTHER OR SERVICE AREAS SHALL HAVE A SOUND TRANSMISSION CLASS (STC) AND (IIC) OF NOT LESS THAN 50 (66) FOR WOOD JOIST FLOOR PER FCBC 1201

WHERE FLOORING IS BEING REPLACED- MAINTAIN 1/2" MAX THRESHOLDS OR FLOOR TRANSITION INSIDE OF UNIT

FLOORING:
 EXISTING UNIT FLOORS TO REMAIN- PATCH AND REPAIR AT NEW WORK AREAS.
 NEW FLOORING IN BATHROOMS @ 45 SQFT EACH
 NEW FLOORING IN CORRIDOR & LOBBY @ 22 SQFT

Ground/ First Floor Plan
 SCALE: 1/4" = 1'-0"

NOTE

SAFETY GLASS SHALL BE PROVIDED IN HAZARDOUS AREAS AS DOORS, BATH ENCLOSURES ETC. PROVIDE CATEGORY II SAFETY GLASS AS REQUIRED IN COMPLIANCE WITH FCBC

WHERE SHOWER DOOR IS USED, PROVIDE 2" CLEAN AND UNOBSTRUCTED FINISHED WIDTH OF 22" (32" NOMINAL IF FHA IS RECOMMENDED) FCBC 40142

PROVIDE TILES IN BATHROOM WET AREAS TO 6'-0" OR 12" MIN ABOVE DRAIN IN COMPLIANCE WITH FCBC 12023 COORDINATE W/ INTERIOR DESIGNER

PROVIDE NEW SOUND INSULATION MIN STC OF 50 IN PARTITION WALLS OF SLEEPING UNIT SEPERATION OR AGAINST PUBLIC OR SERVICE AREAS IN COMPLIANCE WITH FCBC 12012

Shower Notes:

- FRAMELESS BY PASS SHOWER DOOR ENCLOSURE WITH CAT. II SAFETY GLASS
- SHOWER OPENING SHALL HAVE A CLEAR UNOBSTRUCTED FINISH WIDTH OF NOT LESS THAN 22 INCHES AS PER FCBC F2108.11
- SHOWER COMPARTMENTS SHALL HAVE NOT LESS THAN 900 SQUARE INCHES (0.6 M2) OF INTERIOR CROSS-SECTIONAL AREA. SHOWER COMPARTMENTS SHALL BE NOT LESS THAN 30 INCHES (762 MM) IN MINIMUM DIMENSION MEASURED FROM THE FINISHED INTERIOR DIMENSION OF THE SHOWER COMPARTMENT, EXCLUSIVE OF FIXTURE VALVES, SHOWER HEADS, SOAP DISHES, AND SAFETY GRAB BARS OR RAILS. THE MINIMUM REQUIRED AREA AND DIMENSION SHALL BE MEASURED FROM THE FINISHED INTERIOR DIMENSION AT A HEIGHT EQUAL TO THE TOP OF THE THRESHOLD AND AT A POINT TANGENT TO ITS CENTERLINE AND SHALL BE CONTINUED TO A HEIGHT OF NOT LESS THAN 10 INCHES (1118 MM) ABOVE THE SHOWER DRAIN OUTLET. HINGED SHOWER DOORS SHALL OPEN OUTWARD. THE WALL AREA ABOVE BUILT-IN TUBS HAVING INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R1024. SUCH WALLS SHALL FORM A WATER-TIGHT JOINT WITH EACH OTHER AND WITH EITHER THE TUB, RECEPTOR OR SHOWER FLOOR AS PER FCBC F2108.1.

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Renovations to Existing Apartments

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 New York, NY 10017

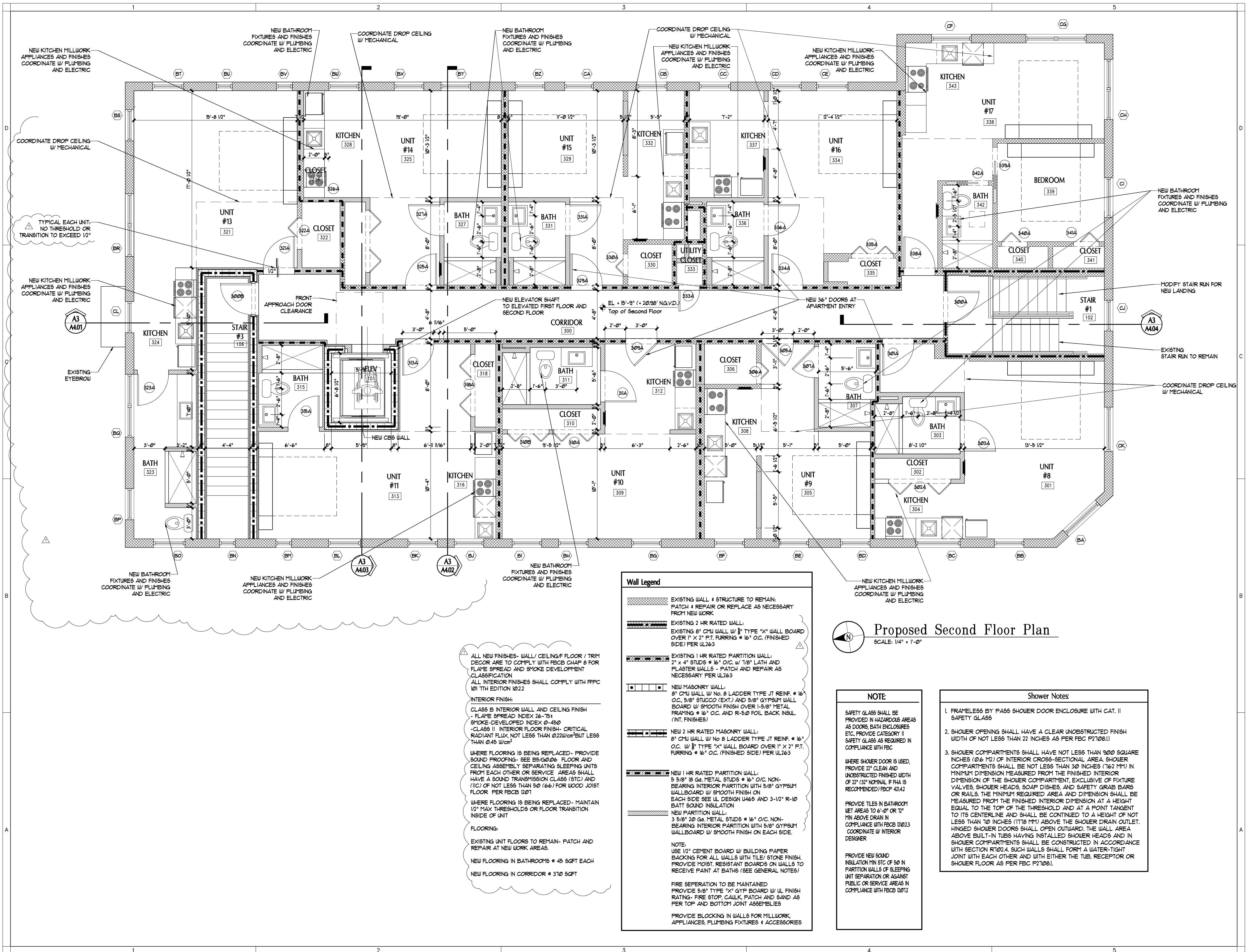
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	2/21/23	Response #1			
	12/6/22	Permit			
	3/7/22	HEP Variance			

ARCHITECT
 ROBERT JOHN GRABOSKI AR. 009159

PROJECT YR.: 2021 CAD DWG FILE: G-Washington
 DRAWN BY: CHECKED BY:

SHEET TITLE
 Ground / First Floor
 Plan

SHEET No.
A1.02



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PROJECT YR.: 2021 CAD DWG FILE: G-Washington
DRAWN BY: CHECKED BY:

SHEET TITLE
Proposed Second Floor Plan

SHEET No.

Wall Legend

- EXISTING WALL & STRUCTURE TO REMAIN: PATCH & REPAIR OR REPLACE AS NECESSARY FROM NEW WORK
- EXISTING 2 HR RATED WALL: EXISTING 8" CMU WALL W/ 3" TYPE "X" WALL BOARD OVER 1" x 2" P.T. FURRING @ 16" O.C. (FINISHED SIDE) PER UL263
- EXISTING 1 HR RATED PARTITION WALL: 2" x 4" STUDS @ 16" O.C. W/ 1/2" LATH AND PLASTER WALLS - PATCH AND REPAIR AS NECESSARY PER UL263
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- NEW 2 HR RATED MASONRY WALL: 8" CMU WALL W/ No. 8 LADDER TYPE JT REIN. @ 16" O.C. W/ 3" TYPE "X" WALL BOARD OVER 1" x 2" P.T. FURRING @ 16" O.C. (FINISHED SIDE) PER UL263
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- NEW PARTITION WALL: 3 5/8" 20 Ga. METAL STUDS @ 16" O.C. NON-BEARING INTERIOR PARTITION WITH 5/8" GYPSUM WALL BOARD W/ SMOOTH FINISH ON EACH SIDE.

NOTE:
USE 1/2" CEMENT BOARD W/ BUILDING PAPER BACKING FOR ALL WALLS WITH TILE/STONE FINISH. PROVIDE MOIST, RESISTANT BOARDS ON WALLS TO RECEIVE PAINT AT BATHS (SEE GENERAL NOTES)

FIRE SEPERATION TO BE MAINTAINED
PROVIDE 5/8" TYPE "X" GYP BOARD W/ UL FINISH RATING- FIRE STOP, CAULK, PATCH AND SAND AS PER TOP AND BOTTOM JOINT ASSEMBLIES

PROVIDE BLOCKING IN WALLS FOR MILLWORK, APPLIANCES, PLUMBING FIXTURES & ACCESSORIES

ALL NEW FINISHES- WALL/ CEILING/ FLOOR / TRIM DECOR ARE TO COMPLY WITH FBCB CHAP 8 FOR FLAME SPREAD AND SMOKE DEVELOPMENT CLASSIFICATION
ALL INTERIOR FINISHES SHALL COMPLY WITH FFCF 101 TH EDITION 1022

INTERIOR FINISH:
CLASS B INTERIOR WALL AND CEILING FINISH - FLAME SPREAD INDEX 26-75; SMOKE-DEVELOPED INDEX 0-450
CLASS II INTERIOR FLOOR FINISH- CRITICAL RADIANT FLUX NOT LESS THAN 0.22W/cm² BUT LESS THAN 0.45 W/cm²

WHERE FLOORING IS BEING REPLACED- PROVIDE SOUND PROOFING- SEE BS/500.06 FLOOR AND CEILING ASSEMBLY SEPARATING SLEEPING UNITS FROM EACH OTHER OR SERVICE AREAS SHALL HAVE A SOUND TRANSMISSION CLASS (STC) AND (IIC) OF NOT LESS THAN 50 (66) FOR WOOD JOIST FLOOR PER FBCB 1201

WHERE FLOORING IS BEING REPLACED- MAINTAIN 1/2" MAX THRESHOLDS OR FLOOR TRANSITION INSIDE OF UNIT

FLOORING:
EXISTING UNIT FLOORS TO REMAIN- PATCH AND REPAIR AT NEW WORK AREAS.
NEW FLOORING IN BATHROOMS @ 45 SQFT EACH
NEW FLOORING IN CORRIDOR @ 310 SQFT

Proposed Second Floor Plan
SCALE: 1/4" = 1'-0"

NOTE

SAFETY GLASS SHALL BE PROVIDED IN HAZARDOUS AREAS AS DOORS, BATH ENCLOSURES ETC. PROVIDE CATEGORY II SAFETY GLASS AS REQUIRED IN COMPLIANCE WITH FBC

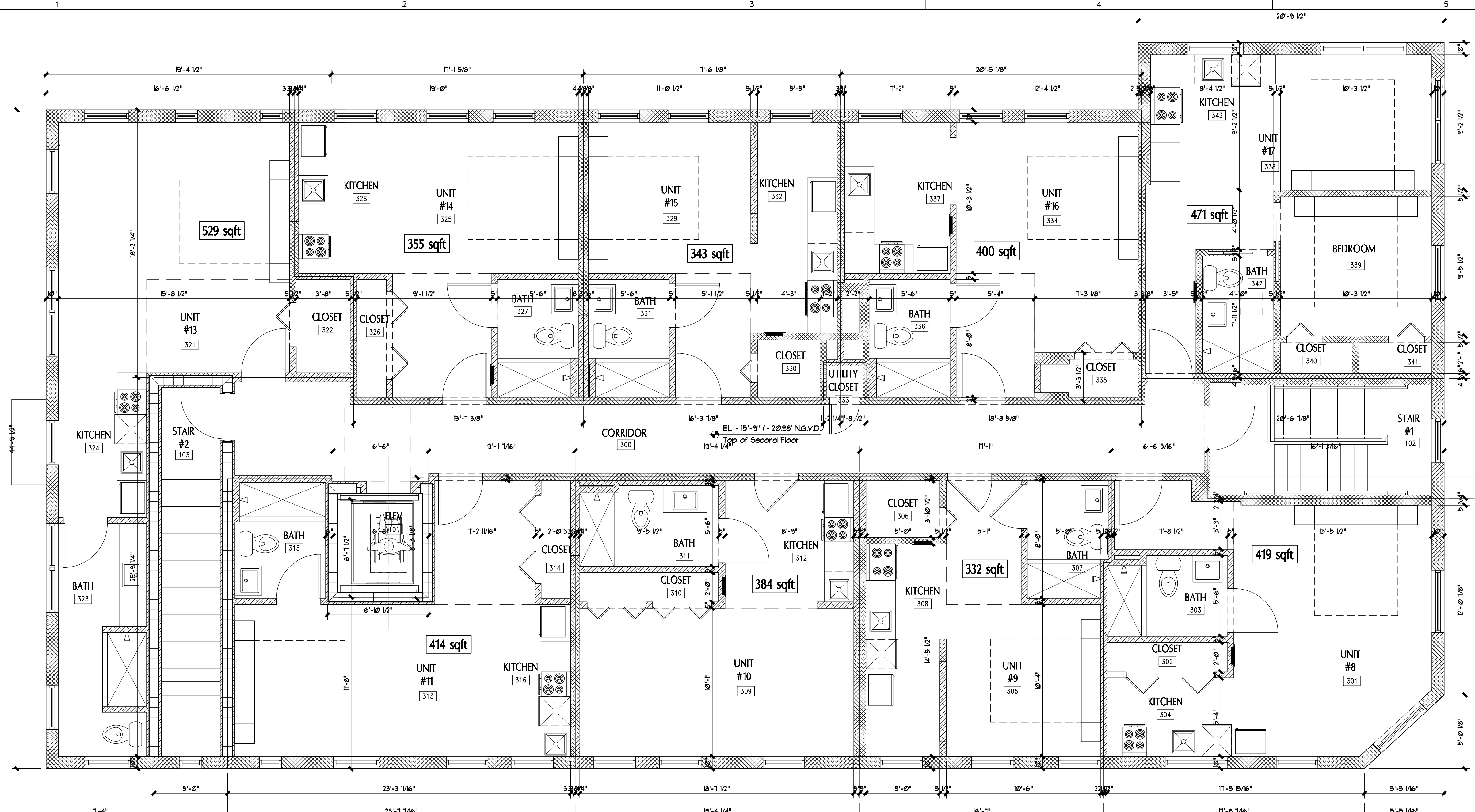
WHERE SHOWER DOOR IS USED, PROVIDE 1/2" CLEAN AND UNOBSTRUCTED FINISH WIDTH OF 21" (31" NOMINAL) FRA IS RECOMMENDED) FBCP 421.42

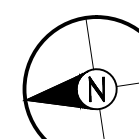
PROVIDE TILES IN BATHROOM LET AREAS TO 6'-0" OR 12" MIN ABOVE DRAIN IN COMPLIANCE WITH FBCB 1202.3 COORDINATE W/ INTERIOR DESIGNER

PROVIDE NEW SOUND INSULATION MIN 5/8" IN PARTITION WALLS OF SLEEPING UNIT SEPERATION OR AGAINST PUBLIC OR SERVICE AREAS IN COMPLIANCE WITH FBCB 1001.2

Shower Notes

- FRAMELESS BY PASS SHOWER DOOR ENCLOSURE WITH CAT. II SAFETY GLASS
- SHOWER OPENING SHALL HAVE A CLEAR UNOBSTRUCTED FINISH WIDTH OF NOT LESS THAN 22 INCHES AS PER FBC P2108.11
- SHOWER COMPARTMENTS SHALL HAVE NOT LESS THAN 3000 SQUARE INCHES (26 M²) OF INTERIOR CROSS-SECTIONAL AREA. SHOWER COMPARTMENTS SHALL BE NOT LESS THAN 30 INCHES (762 MM) IN MINIMUM DIMENSION MEASURED FROM THE FINISHED INTERIOR DIMENSION OF THE SHOWER COMPARTMENT, EXCLUSIVE OF FIXTURE VALVES, SHOWER HEADS, SOAP DISHES, AND SAFETY GRAB BARS OR RAILS. THE MINIMUM REQUIRED AREA AND DIMENSION SHALL BE MEASURED FROM THE FINISHED INTERIOR DIMENSION AT A HEIGHT EQUAL TO THE TOP OF THE THRESHOLD AND AT A POINT TANGENT TO ITS CENTERLINE AND SHALL BE CONTINUED TO A HEIGHT OF NOT LESS THAN 10 INCHES (254 MM) ABOVE THE SHOWER DRAIN OUTLET. HINGED SHOWER DOORS SHALL OPEN OUTWARD. THE WALL AREA ABOVE BUILT-IN TUBS HAVING INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R102.4. SUCH WALLS SHALL FORM A WATER-TIGHT JOINT WITH EACH OTHER AND WITH EITHER THE TUB, RECEPTOR OR SHOWER FLOOR AS PER FBC P2108.1




Detail Second Floor Area Plan
 SCALE: 1/4" = 1'-0"

VILLAGE
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 OF KEY BISCAYNE, INC.
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Renovations to Existing Apartments

239 1st Street
 Miami Beach, FL 33139

OWNER INFO
 101 Washington Ave Realty LLC
 346 Madison Avenue 10F1
 New York, NY 10017

Mark	Date	Description	Mark	Date	Description
	9/18/23	Unit Size Varie			
	2/21/23	Response #1			
	12/6/22	Permit			
	3/7/22	HEP Variance			

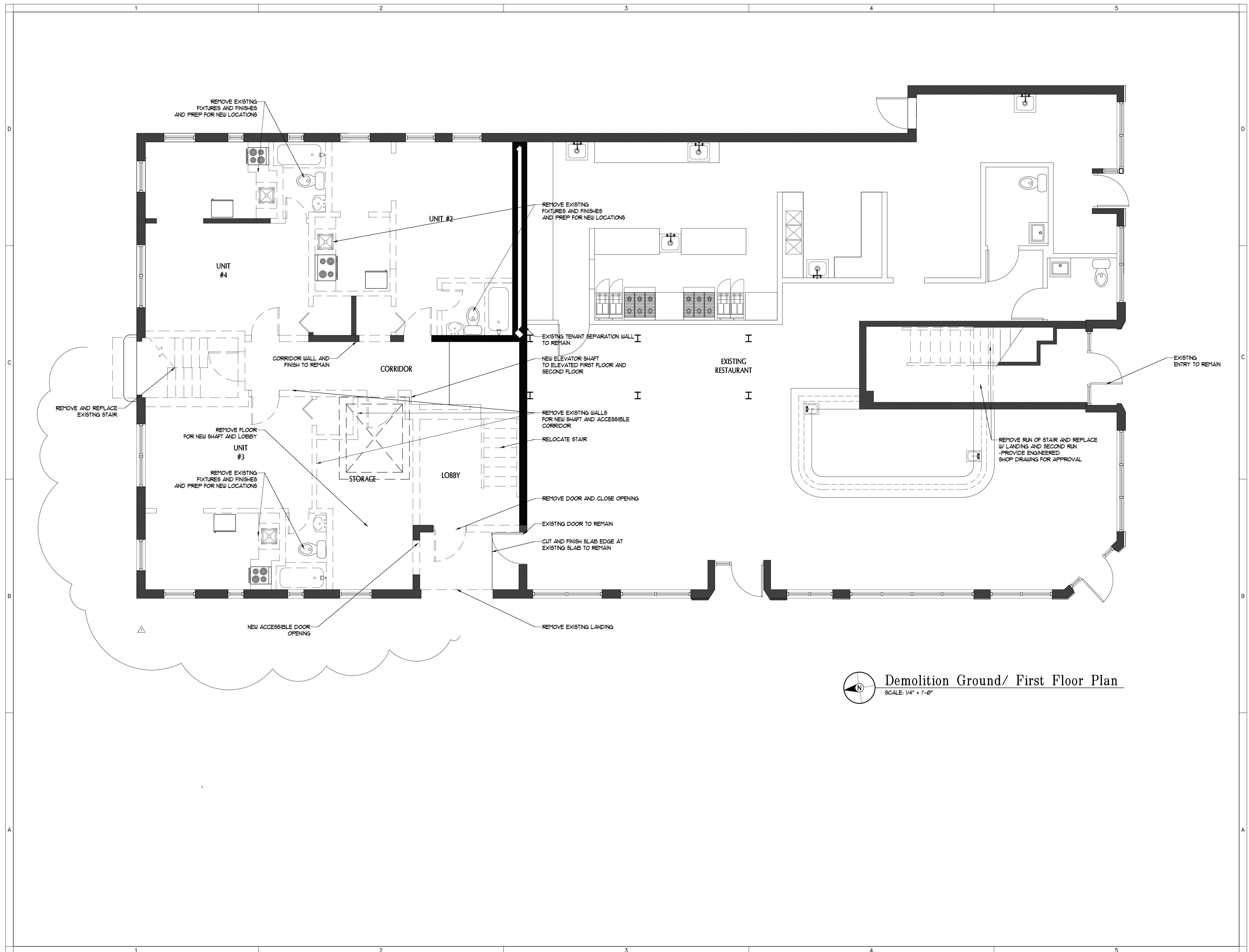
ARCHITECT
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AA. 26002086

PROJECT YR.: 2021 CAD DWG FILE: G-Washington
 DRAWN BY: CHECKED BY:
 SHEET TITLE
 Detail Second Floor Area Plan
 SHEET No.

A1.03.1



Demolition Ground/ First Floor Plan
 SCALE: 1/4" = 1'-0"

VILLAGE
 ARCHITECTS
 OF KEY BISCAYNE, INC.
 AA. 26002086

ARCHITECTS, PLANNERS
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Renovations to
 Existing Apartments

239 1st Street
 Miami Beach, FL 33139

OWNER INFO
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 346 Madison Avenue 10F1
 New York, NY 10017

Mark	Date	Description	Mark	Date	Description
	3/18/23	Unit Size Varie			
△	2/21/23	Response #1			
	12/6/22	Permit			
	3/7/22	HEP Variance			

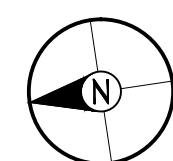
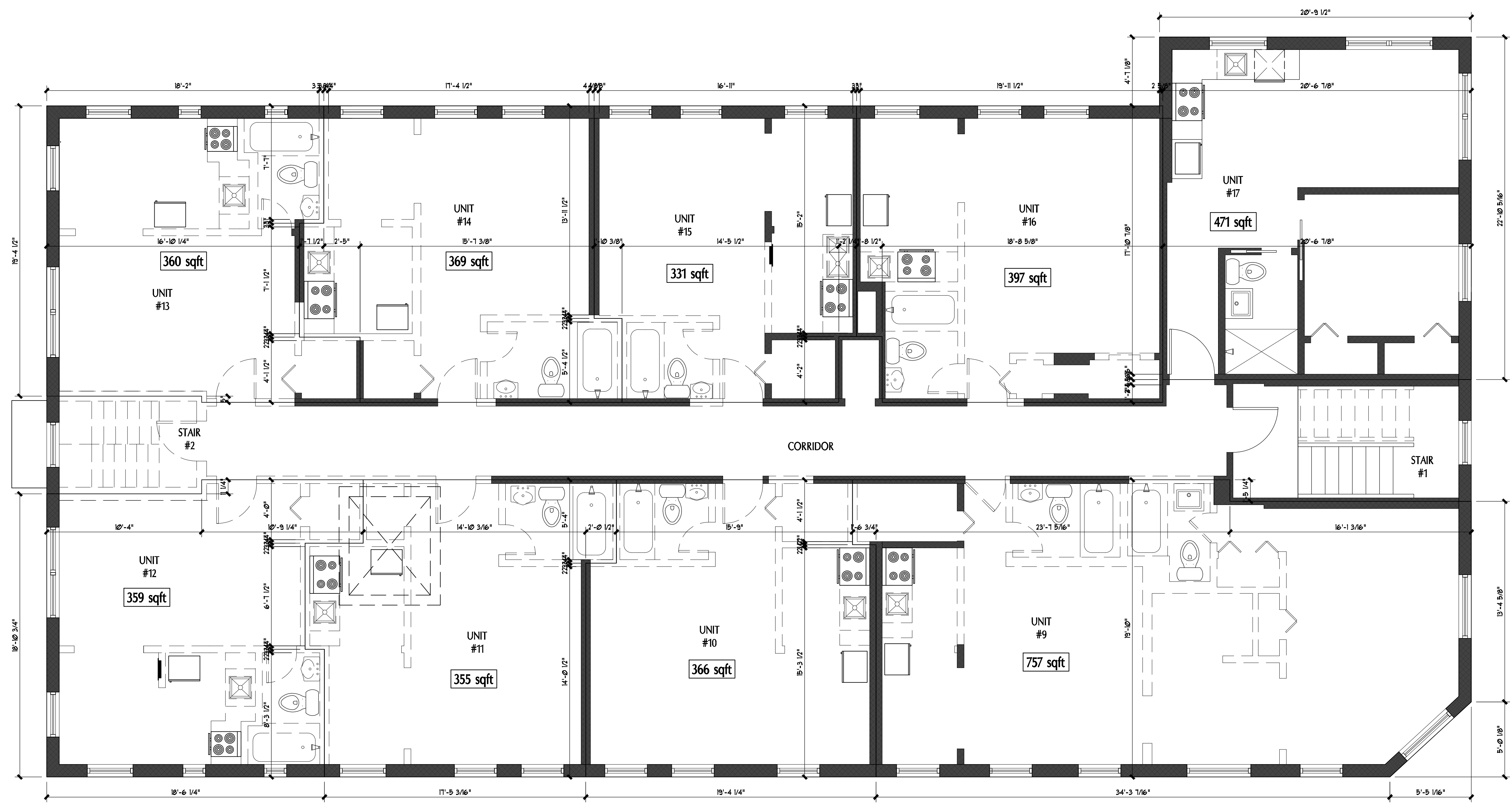
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AA. 26002086

PROJECT YR.: 2021 CAD DWG FILE: G-Washington
 DRAWN BY: CHECKED BY:
 SHEET TITLE
 Demolition Ground /
 First Floor Plan
 SHEET No.

D1.02



Demolition Second Floor Area Plan
SCALE: 1/4" = 1'-0"

VILLAGE
ARCHITECTS
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Renovations to Existing Apartments

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New York, NY 10017

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	2/21/23	Response #1			
	12/6/22	Permit			
	3/7/22	HEP Variance			

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AA. 26002084

PROJECT YR.: 2021 CAD DWG FILE: G-Washington
DRAWN BY: CHECKED BY:
SHEET TITLE
Demolition Second Floor Area Plan
SHEET No. D1.03.1

