

DRB25-1139 *previously* DRB23-0925

1600 Cleveland Road – Walls and Fences

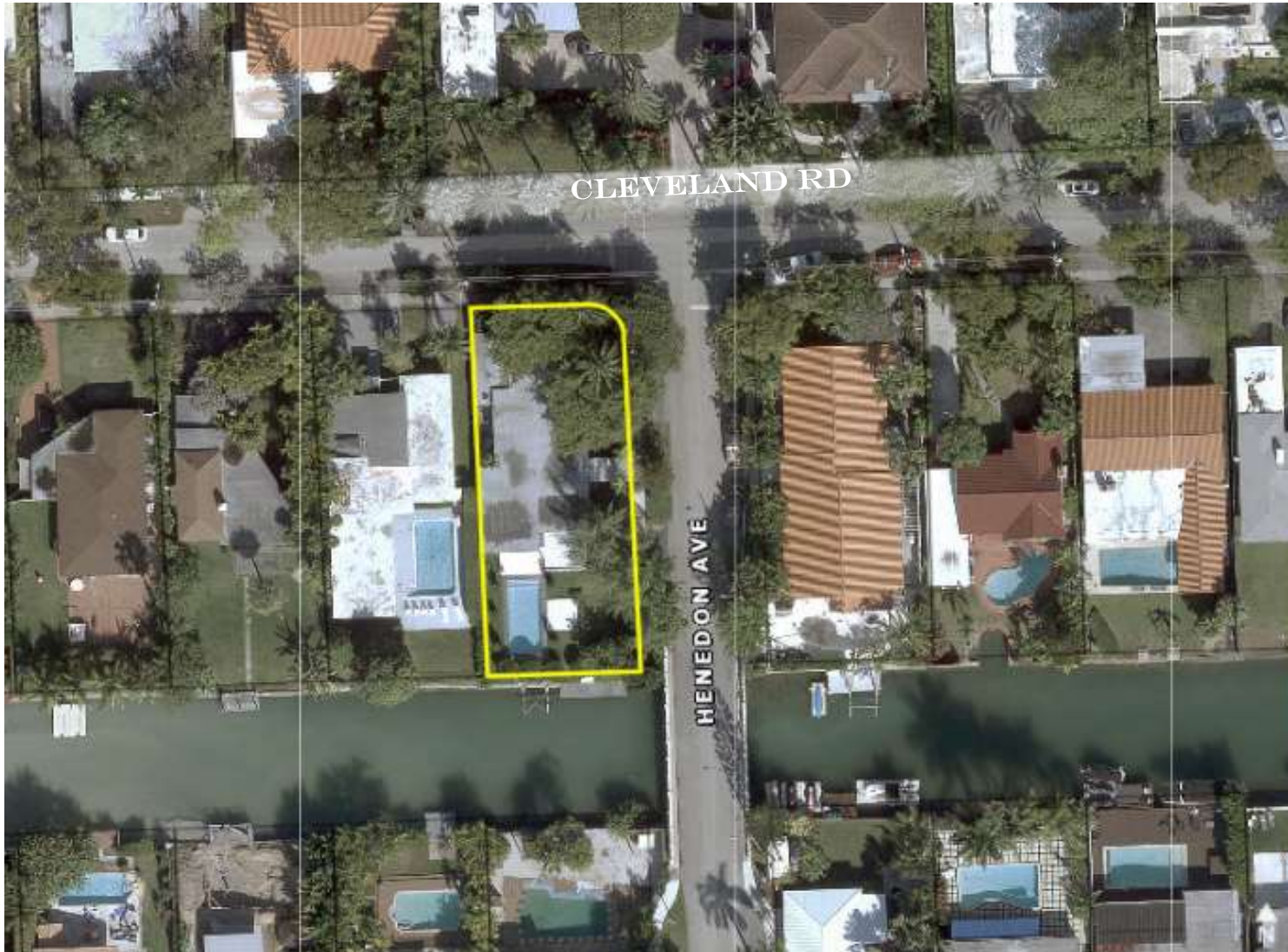
December 11, 2025 DRB Meeting



1600 Cleveland Road

Lot Size:
8,866 SF

Zoning:
RS-4



1 LOCATION MAP
SCALE: 1" = 1 MILE



SITE

Approved and Constructed

Overall Project: Addition of second story and ground floor addition to existing home

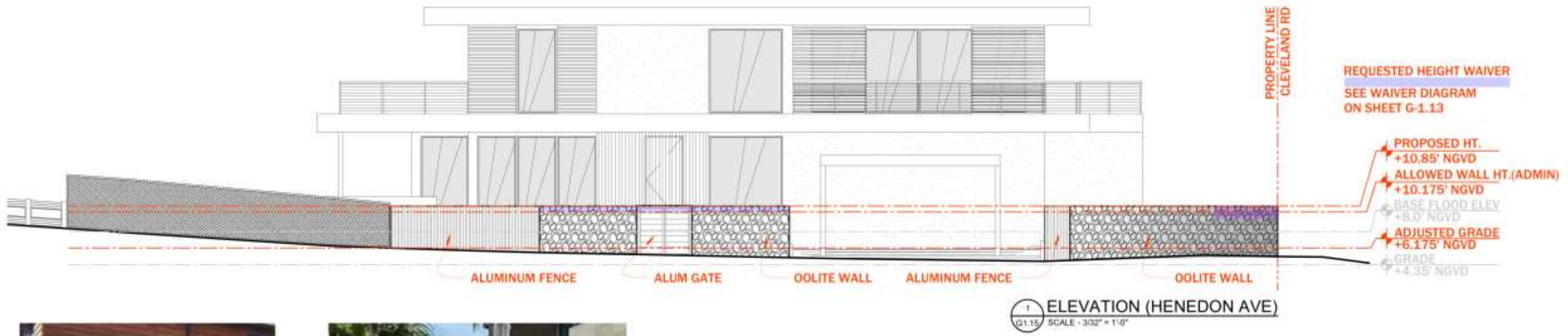
Approved by DRB in September 2022 and July 2023 (DRB23-0925)

Previously approved design waivers and variances for:

1. Lot coverage
2. Front Setback
3. Side Setback for carport
4. Pool equipment setbacks



Elevation – Henedon Avenue (East)



ALUMINUM FENCE (REFERENCE)

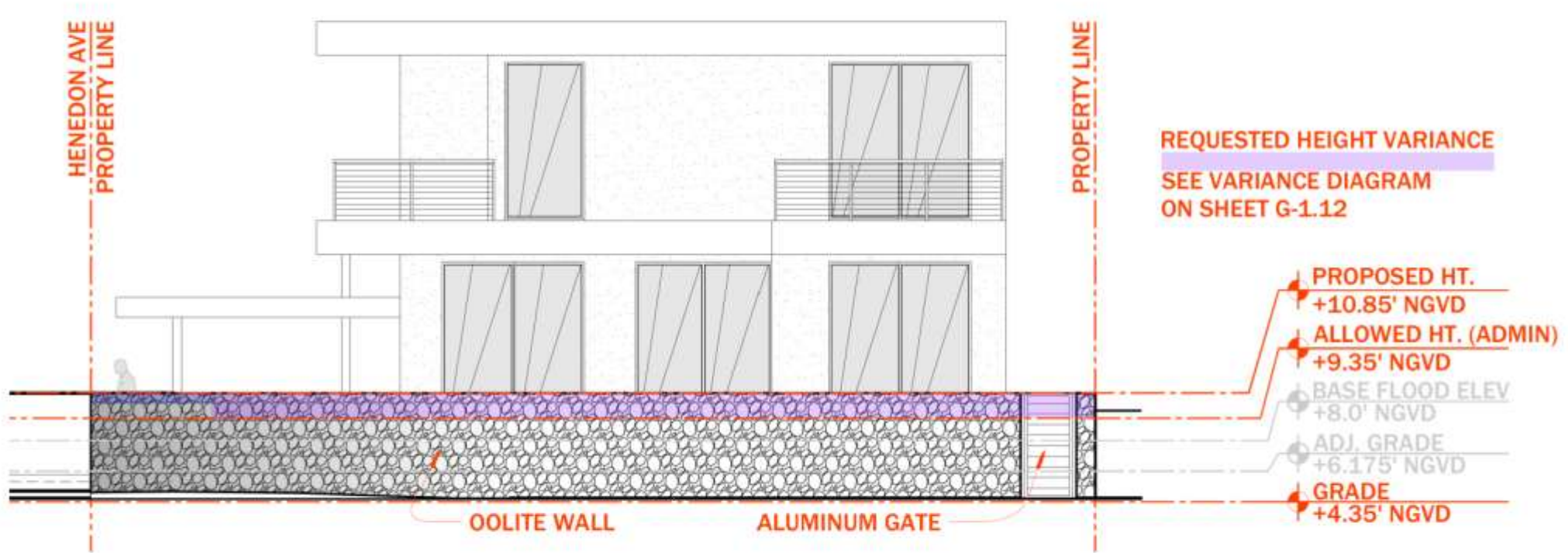


OOLITE WALL (REFERENCE)

Elevation – Cleveland Road (North)



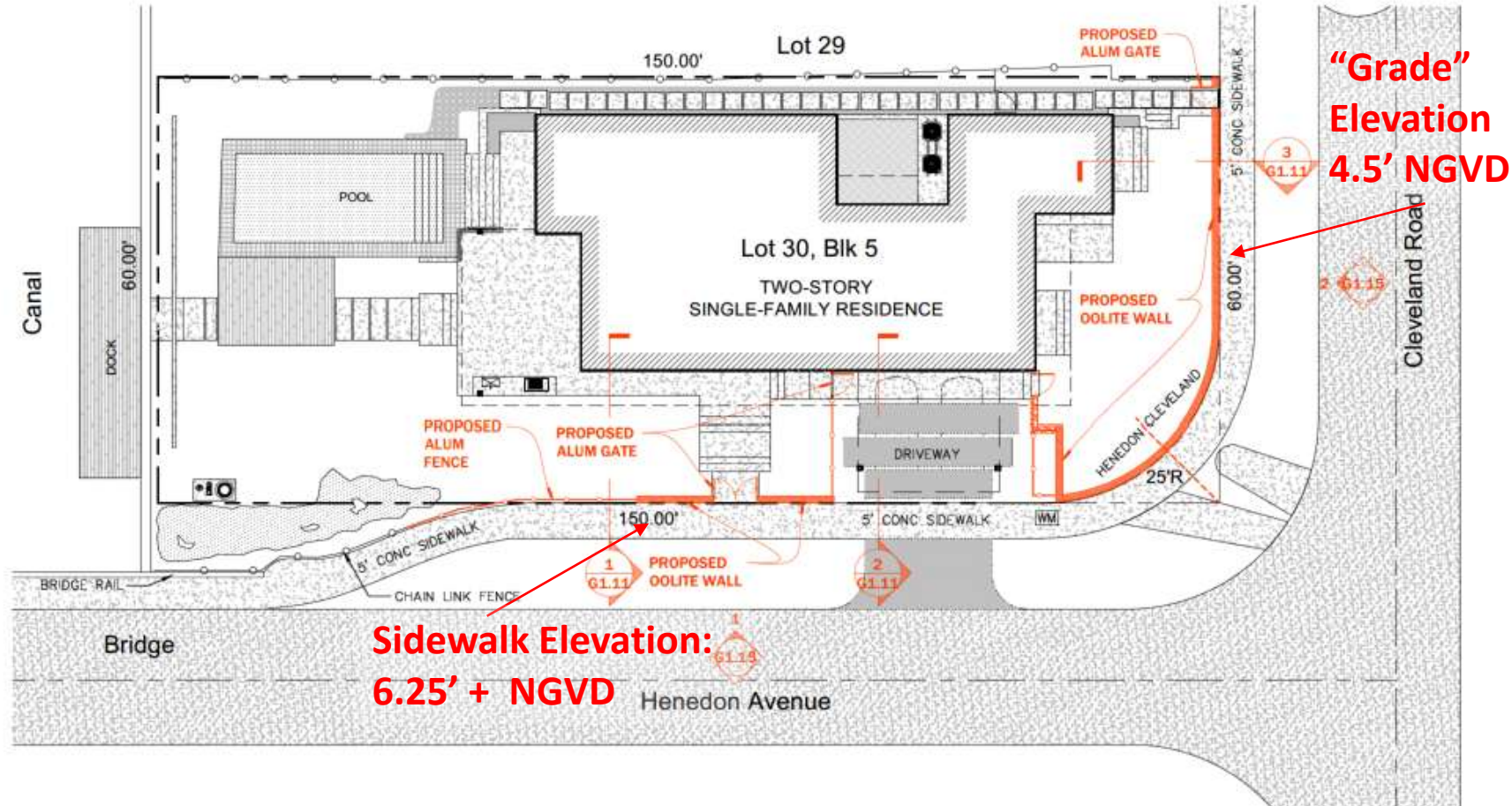
OOLITE WALL (REFERENCE)



2 ELEVATION (CLEVELAND ROAD)
G1.15 SCALE - 3/32" = 1'-0"



SP1.10 SITE PLAN

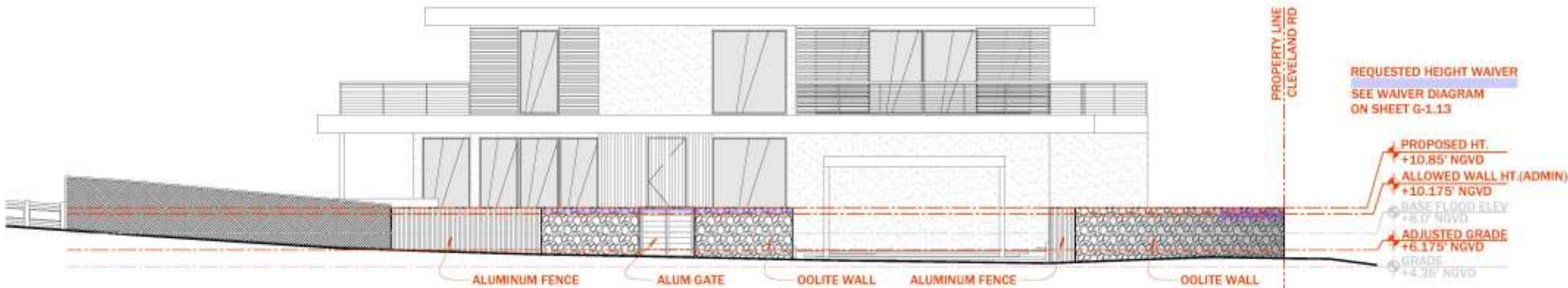


**Sidewalk Elevation:
6.25' + NGVD**

**"Grade"
Elevation
4.5' NGVD**

N
SITE PLAN
SCALE - 1/16" = 1'-0"

G1.15 SITE ELEVATIONS



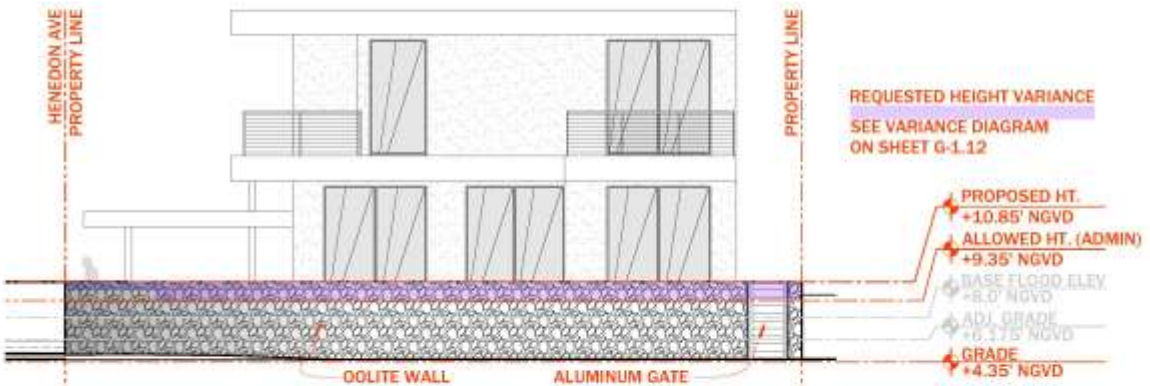
1 ELEVATION (HENEDON AVE)
SCALE - 3/32" = 1'-0"



ALUMINUM FENCE (REFERENCE)



OOLITE WALL (REFERENCE)

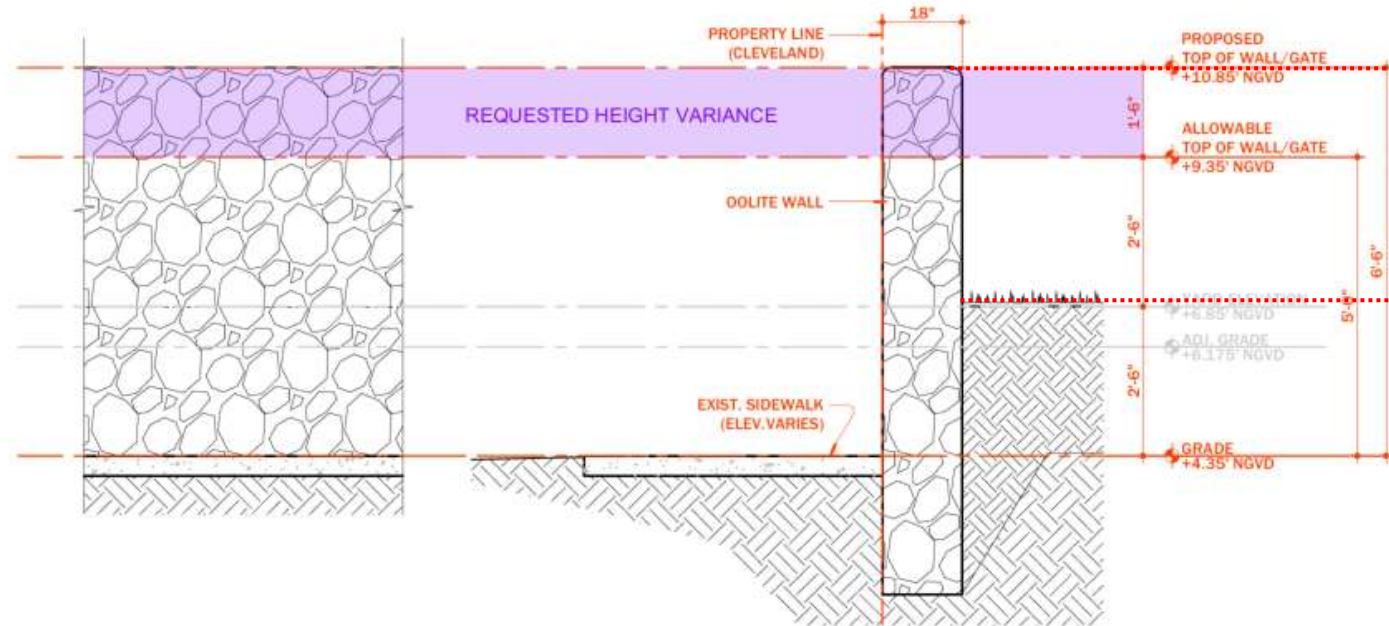


2 ELEVATION (CLEVELAND ROAD)
SCALE - 3/32" = 1'-0"

Variance Request – Front Wall Height

G-1.12 VARIANCE DIAGRAM: SECTION / ELEVATION

- 1.5' height variance to allow 6.5' tall wall as measured from sidewalk where maximum is 5'



4' tall as measured from ground elevation inside front yard

WALL ELEVATION
SCALE - 1/2" = 1'-0"

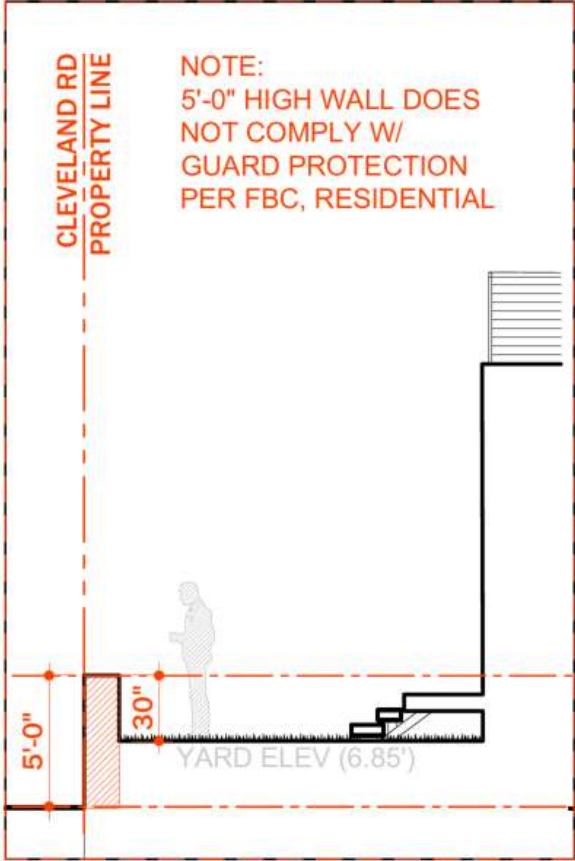
WALL SECTION
SCALE - 1/2" = 1'-0"

VARIANCE REQUEST

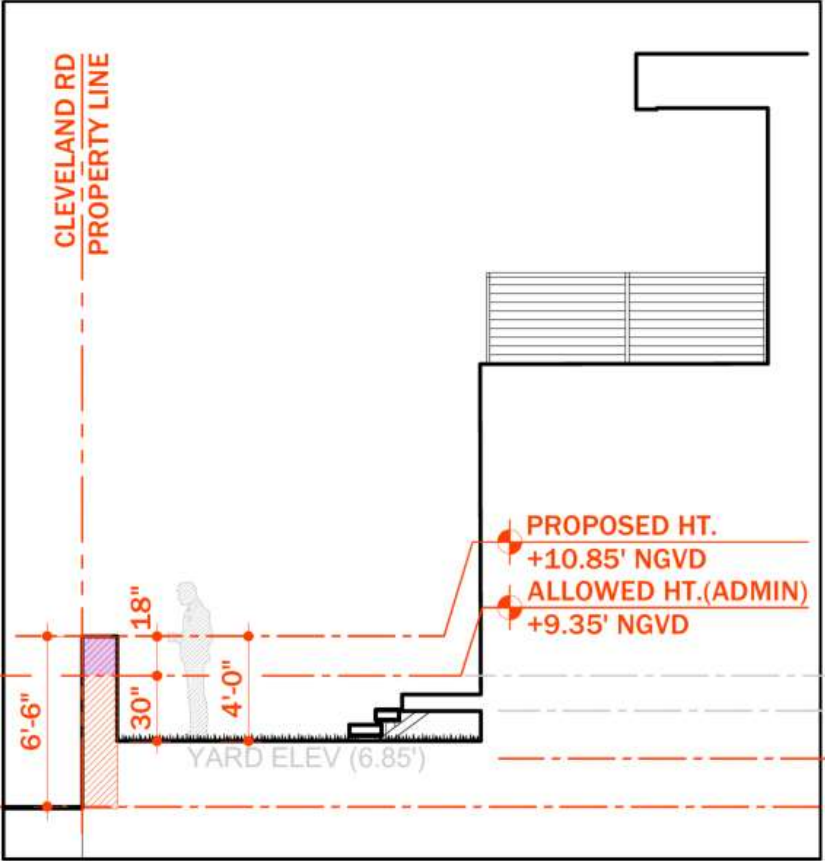
#1 ALLOWABLE ENCROACHMENTS - (City Resiliency Code Ch.7, Article II, 7.2.2.3(b)(12)(H))
*INCREASE THE ALLOWABLE WALL & GATE HEIGHT FROM FIVE FEET (5') TO SIX FEET, SIX INCHES (6'-6") ABOVE GRADE

Variance - Required vs. Constructed

REFERENCE SECTION: REQUIRED HEIGHT



4 SECTION
G1.11 SCALE - 1/8" = 1'-0"



3 SECTION
G1.11 SCALE - 1/8" = 1'-0"

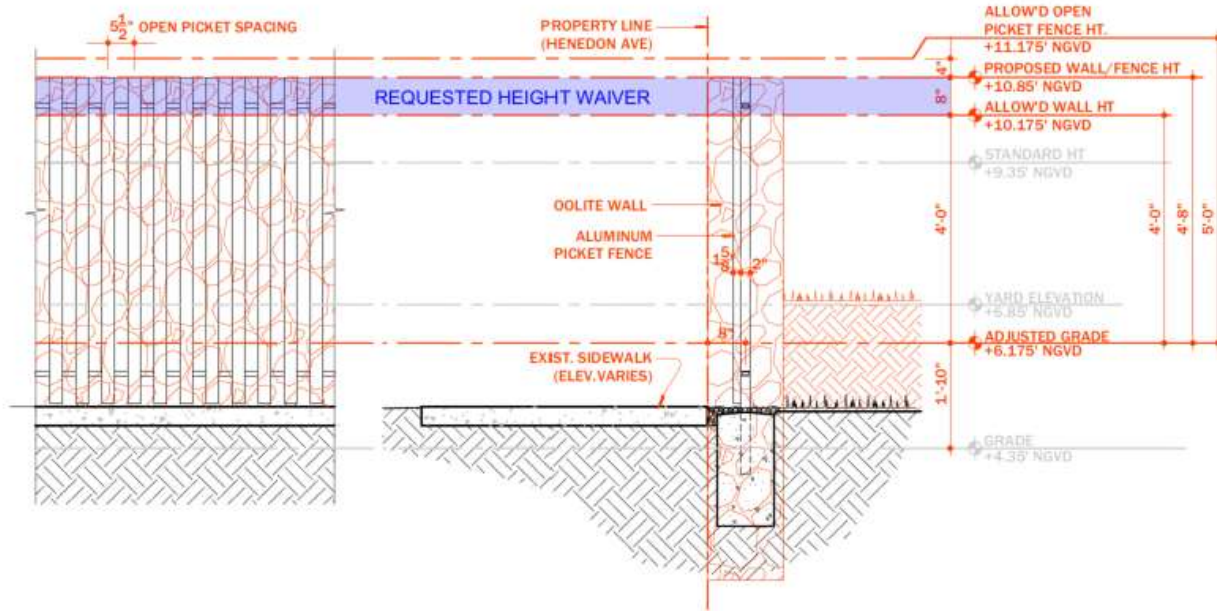
VARIANCE



Waiver – Side Yard Fence Height

G-1.13 WAIVER DIAGRAM: SECTION / ELEVATION

- Allow solid oolite wall for additional 8" above maximum height



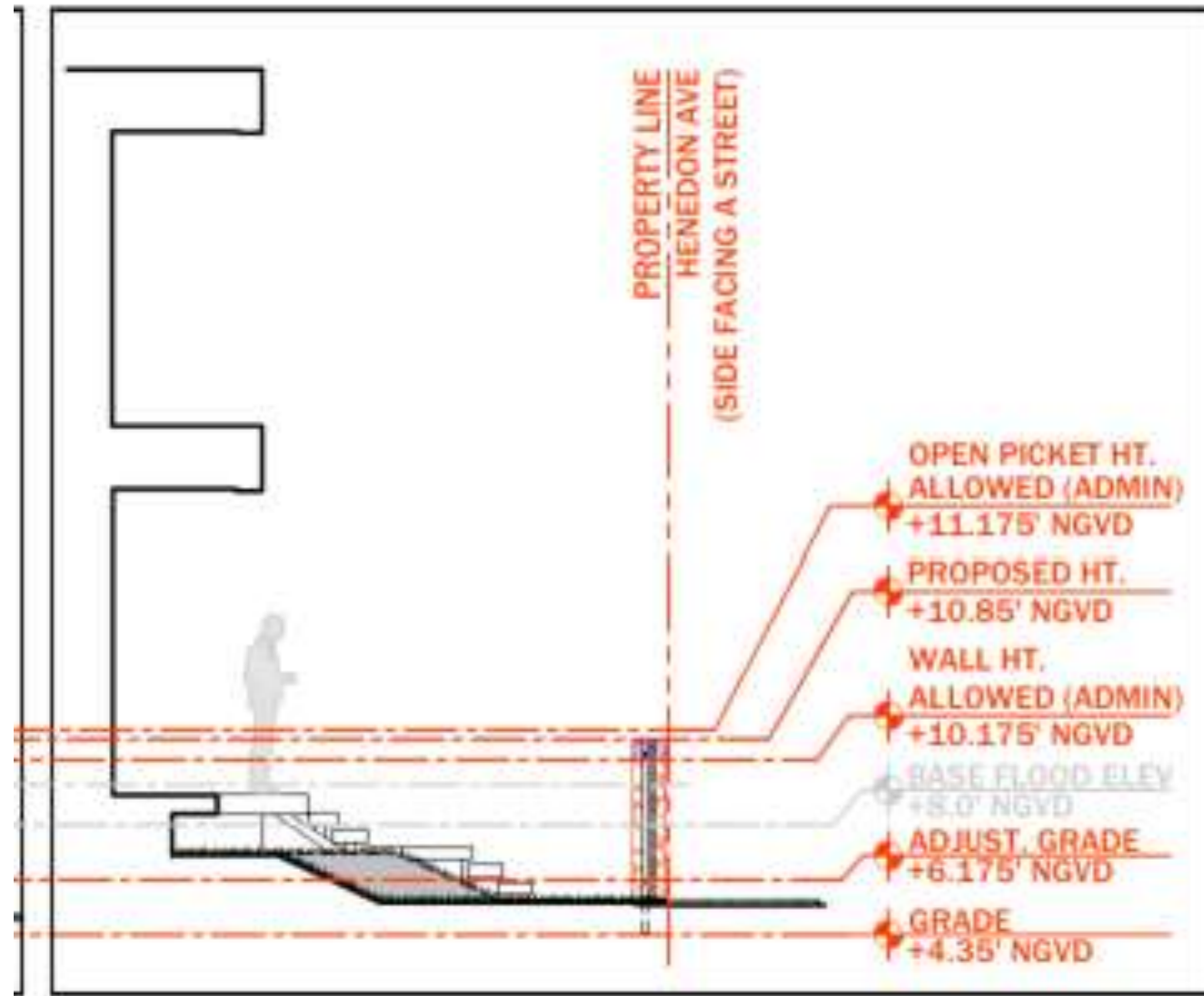
FENCE ELEVATION
SCALE - 1/2" = 1'-0"

FENCE SECTION
SCALE - 1/2" = 1'-0"

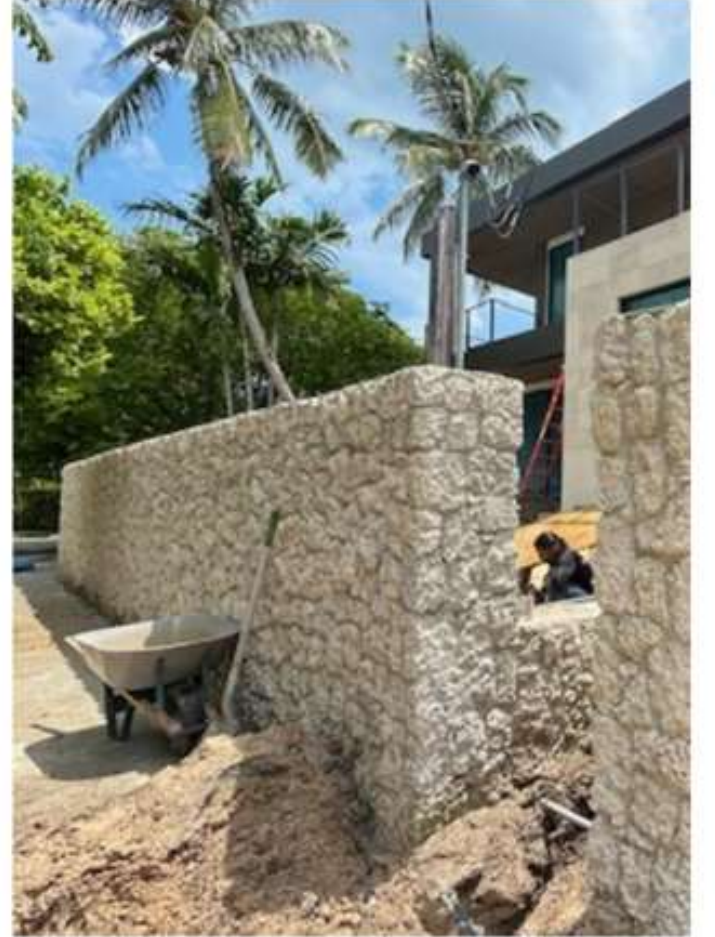
WAIVER REQUEST

#2 ALLOWABLE ENCROACHMENTS - (City Resiliency Code Ch.7, Article II, 7.2.2.3(b)(12)(H))
ALLOWABLE FENCE, WALL & GATE HEIGHTS ON A SIDE FACING A STREET MEASURED FROM ADJUSTED GRADE PER EXCEPTION (1) UNDER THE REFERENCED CODE SECTION.
* INCREASE THE ALLOWABLE WALL & NON-OPEN PICKET FENCE HEIGHT FROM FOUR FEET (4') TO FOUR FEET, EIGHT INCHES (4'-8") ABOVE FUTURE ADJUSTED GRADE

Waiver Diagram



1 SECTION
G1.11 SCALE - 3/8" = 1'-0"
WAIVER



Side Yard Photos



Front Yard Photos



Thank You

200 S. Biscayne Boulevard
Suite 300, Miami, FL 33131

www.brzoninglaw.com

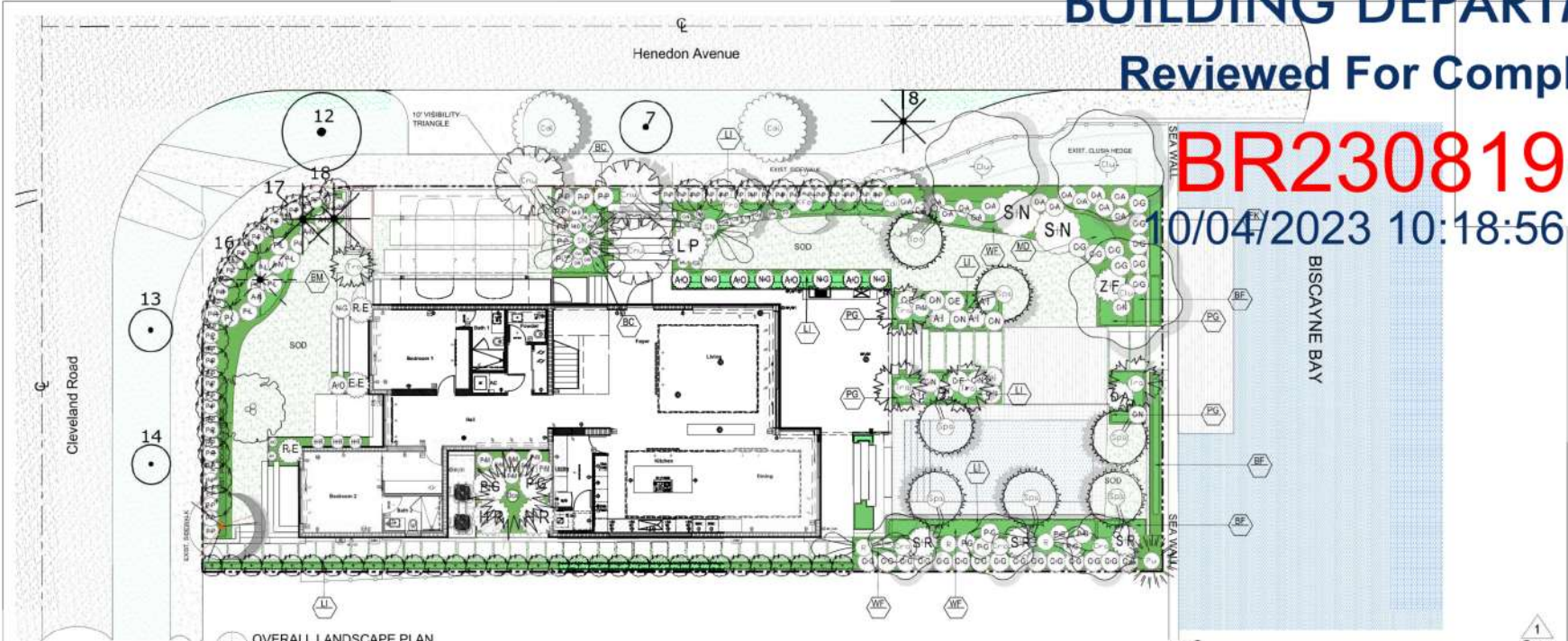
305.374.5300 office
305.377.6222 fax
Info@brzoninglaw.com

Landscape Plan

BUILDING DEPARTMENT
Reviewed For Compliance

BR230819

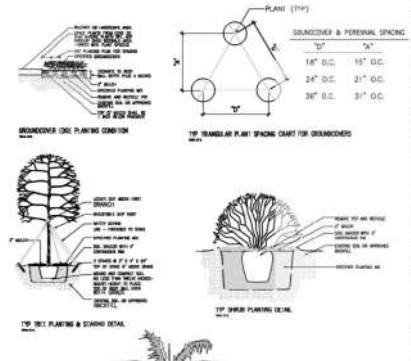
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OVERALL LANDSCAPE PLAN
Scale: 1/8" = 1'-0"

PLANT SYMBOLS

- COCONUT PALM
- TRAVELERS PALM
- BAHAMA TABEBUIA
- BAY RUM TREE
- PANDANUS TREE
- CALOPHYLLUM TREE
- GREEN THATCH PALM
- CLUSIA ROSEA TREE
- CLUSIA ROSEA TREE
- LEANING SABAL PALM
- PIGEON PLUM
- BLACK IRON WOOD
- EXISTING TREE TO REMAIN



TYPE	BOTANICAL NAME	COMMON NAME	SIZE	PLANTING/SHADING	QTY
TREES	Clusia rosea	Clusia Rosea	12' x 12' x 12'	1	1
	Clusia rosea	Clusia Rosea	12' x 12' x 12'	1	1
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	Clusia rosea	Clusia Rosea	12' x 12' x 12'	1	1
	Clusia rosea	Clusia Rosea	12' x 12' x 12'	1	1
SHRUBS	Clusia rosea	Clusia Rosea	12' x 12' x 12'	1	1
	Clusia rosea	Clusia Rosea	12' x 12' x 12'	1	1
	Clusia rosea	Clusia Rosea	12' x 12' x 12'	1	1
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CITY OF MIAMI BEACH LANDSCAPE LEGEND		Required	Provided
TREES			
A. Number of trees required per lot or net lot acre, less existing number of trees meeting minimum requirements:			
S. _____ trees x 0.204 _____ net lot acres = number of existing trees:			
B. 5. Native trees required: Number of trees provided x 30% = 11 x 30 = 10			
C. 5. Low maintenance / drought and salt tolerant required			
Number of trees provided x 50% = 11 x 50 = 6			
D. Street Trees (minimum average spacing of 20' o.c.)			
172 (viewing unobstructed) _____ foot along street divided by 20' = 17200 ÷ 100			
E. Street tree species allowed directly beneath power lines: (maximum average spacing of 20' o.c.) _____ foot along street divided by 20' = 5420			
3 _____			
SHRUBS			
A. Number of shrubs required: Sum of lot and street trees required x 12' x 17' x 10-204			
B. 5. Native shrubs required: Number of shrubs provided x 50% = 118' x 50 = 59			
LIANA SHRUBS OR SMALL TREES			
Number of large shrubs or small trees required:			
Number of required shrubs 10% =			
17 _____			
B. 5. Native large shrubs or small trees required:			
Number of large shrubs or small trees provided x 50% =			
31 _____			



