

**DESIGN REVIEW BOARD**  
**City of Miami Beach, Florida**

MEETING DATES: September 6, 2022; July 5, 2023; December 11, 2025

PROPERTY/FOLIO: 1600 Cleveland Rd 02-3203-001-0940

FILE NOS: DRB25-1139; DRB22-0833; DRB23-0925

IN RE: An application for Design Review Approval for the construction of a second floor addition to an existing single story home, including one or more waivers, and variances from the maximum lot coverage, front setback, and interior side setback requirements, and including variances from the minimum required setback for pool equipment, and from the minimum required setbacks for the construction of a nonstandard carport on a site containing an existing home.

LEGAL: Lot 30, Block 5, Biscayne Point, according to Plat thereof as recorded in Plat Book 14, Page 35 of the Public Records of Miami-Dade County, Florida.

APPLICANTS: Frederic Cumenal & Leslie Diamond


**MODIFIED CONSOLIDATED ORDER**

**This document consolidates the previously issued order for DRB22-0833 dated September 6, 2022, and DRB 23-0925, dated July 5, 2023, and DRB25-0925, dated December 11, 2025.**


The City of Miami Beach Design Review Board makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the record for this matter:

**I. Design Review**

- A. The Board has jurisdiction pursuant to Section 2.1.3.1 of the Land Development Regulations. The property is not located within a designated local historic district and is not an individually designated historic site.
- B. Based on the plans and documents submitted with the application, testimony and information provided by the applicant, and the reasons set forth in the Planning Department Staff Report, the project as submitted is inconsistent with Design Review Criteria i. and s. in Section 2.5.3.1 of the Land Development Regulations.
- C. Based on the plans and documents submitted with the application, testimony and information provided by the applicant, and the reasons set forth in the Planning Department Staff Report, the project as submitted is inconsistent with Sea Level Rise Criteria 1 in Section 7.1.2.4(a)(i) of the Land Development Regulations.
- D. The project would be consistent with the criteria and requirements set forth in 2.5.3.1 and/or Section 7.1.2.4(a)(i) if the following conditions are met:

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1. Revised elevation, site plan, and floor plan drawings for the proposed new home shall be submitted; at a minimum, such drawings shall incorporate the following:
  - a. A design waiver to reduce the additional 5'-0" set back required for the second-floor front façade when the lot coverage is 25% or greater as per Sec. 7.2.2.3(b)(ii)(2)(l) of the city code, **shall be granted. [Approved by the Board on 9/6/2022]**
  - b. A design waiver to reduce the additional 5'-0" set back required for the second-floor side facing a street façade when the lot coverage is 25% or greater as per Sec. 7.2.2.3(b)(ii)(2)(l) of the city code, **shall be granted. [Approved by the Board on 9/6/2022]**
  - c. A design waiver to reduce the minimum square footage of the additional open space of one percent of the lot area to along the street side yard, per Sec. 7.2.2.3(b)(ii)(1) of the city code, **shall be granted. [Approved by the Board on 9/6/2022]**
  - d. A waiver pursuant to pre-Resiliency Code section 142-106(b)(7)(b) [Resiliency Code section 7.2.2.3.b.12.H] to allow a wall within the side yard facing a street to permit a wall that is 4.675' tall (10.85' NGVD) as measured from adjusted grade (6.175' NGVD), shall be granted. [Approved by the Board on 12/11/2025]
  - e. URBAN HEAT ISLAND ORDINANCE Section 7.5.3.2(g)(iv) Driveways and parking areas that are open to the sky within any required yard shall be composed of porous pavement or shall have a high albedo surface consisting of a durable material or sealant, as defined in Section 1.2.1 of this Code, and (v) Driveways and parking areas composed of asphalt that does not have a high albedo surface, as defined in Section 1.2.1, shall be prohibited.
  - f. The final design details of the exterior materials and finishes shall be submitted, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
  - g. Prior to the issuance of a Certificate of Occupancy, the project Architect shall verify, in writing, that the subject project has been constructed in accordance with the plans approved by the Planning Department for Building Permit.
2. A revised landscape plan, prepared by a Professional Landscape Architect, registered in the State of Florida, and corresponding plans shall be submitted to and approved by staff. The species, type, quantity, dimensions, spacing, location and overall height of all plant material shall be clearly delineated and subject to the review and approval of staff. At a minimum, such plans shall comply with Chapter 4-Landscape Requirements of the Land Development Regulations and shall incorporate the following:
  - a. Prior to the issuance of a building permit, the applicant shall submit a tree protection plan for all trees to be retained on site. Such plan shall be subject to the review and approval of staff, and shall include, but not be


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- limited to a sturdy tree protection fence installed at the dripline of the trees prior to any construction.
- b. Any necessary root and tree branch pruning with a diameter at breast height (DBH) of 2" or greater shall be approved by the City Urban Forester prior to any tree work.
  - c. Existing trees to be retained on site shall be protected from all types of construction disturbance. Root cutting, storage of soil or construction materials, movement of heavy vehicles, change in drainage patterns, and wash of concrete or other materials shall be prohibited.
  - d. Street trees shall be required within the swale at the front of the property if not in conflict with existing utilities, in a manner to be reviewed and approved by the Public Works Department.
  - e. The proposed and existing trees located within the swale shall be subject to the review and approval of Green Space and CIP
  - f. Any proposed new street trees shall be of a planting species consistent or similar with existing street trees in the immediate area or consistent with any master street tree plan for the area, subject to the review and approval of the City Urban Forester.
  - g. Any existing plant material within the public right-of-way may be required to be removed, as the discretion of the Public Works Department.
  - h. A fully automatic irrigation system with 100% coverage and an automatic rain sensor in order to render the system inoperative in the event of rain. Right-of-way areas shall also be incorporated as part of the irrigation system.
  - i. The utilization of root barriers and Silva Cells, as applicable, shall be clearly delineated on the revised landscape plan.
  - j. Prior to the issuance of a Certificate of Occupancy, the Landscape Architect or the project architect shall verify, in writing, that the project is consistent with the site and landscape plans approved by the Planning Department for Building Permit.

**In accordance with section 2.2.4.8 of the Land Development Regulations, the applicant, the City Manager, Miami Design Preservation League, Dade Heritage Trust, or an affected person may appeal a decision of the design review board for design review approval only to the city commission, except that orders granting or denying a request for rehearing shall not be reviewed by the commission.**

## **II. Variance(s)**

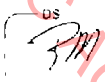
- A. The applicant filed applications with the Planning Department for the following variance(s):

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1. A variance from the maximum lot coverage requirement of **30%** for a 2-story home, as per Section 7.2.3.3(b)(i) in order to allow a lot coverage of up to **34%**. **[Approved by the Board on 9/6/2022 and modified by the Board on 7/5/2023]**
  2. A variance the minimum required **40'-0"** front setback for the 2-story portion of the home, as per Section 7.2.3.3(b)(i) of the City Code, in order to provide a front setback of **26'-0"**. **[Approved by the Board on 9/6/2022]**
  3. A variance from the minimum required interior side setback of **7'-6"**, as per Section 7.2.3.3(b)(i) of the City Code, in order to follow the existing side setback of **5'-0"** for the construction of a second story. **[Approved by the Board on 9/6/2022]**
  4. A variance from the minimum required street side setback of **15 feet**, as per Section 7.2.3.3(b)(i) in order to allow the construction of a non-standard carport with a street side setback of **18 inches**. **[Approved by the Board on 7/5/2023]**
  5. A variance from the minimum required street side setback of **ten (10') feet**, as per Section 7.2.2.3(b)(xii)(5)(I) in order to install pool equipment with a street side setback of **four (4") inches**. **[Approved by the Board on 7/5/2023]**
  6. A variance from pre-Resiliency Code section 142-106(b)(7)(a) [Resiliency Code section 7.2.2.3.b.12.H] to allow a maximum wall height of 6.5' (10.85' NGVD) as measured from grade (4.35' NGVD). **[Approved by the Board on 12/11/2025]**
- B. The applicant has submitted plans and documents with the application that satisfy Article 1, Section 2 of the Related Special Acts, as noted above allowing the granting of a variance if the Board finds that practical difficulties exist with respect to implementing the proposed project at the subject property.

Additionally, the Board has concluded that the plans and documents submitted with the application comply with the following hardship criteria, as they relate to the requirements of Section 2.8.3 of the Land Development Regulations:

- i. Special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district;
- ii. The special conditions and circumstances do not result from the action of the applicant;
- iii. Granting the variance requested will not confer on the applicant any special privilege that is denied by these land development regulations to other lands, buildings, or structures in the same zoning district;
- iv. Literal interpretation of the provisions of these land development regulations would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of these land development regulations and would work unnecessary and undue hardship on the applicant;



- v. The variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;
- vi. The granting of the variance will be in harmony with the general intent and purpose of these land development regulations and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare;
- vii. The granting of this request is consistent with the comprehensive plan and does not reduce the levels of service as set forth in the plan; and
- viii. The granting of the variance will result in a structure and site that complies with the sea level rise and resiliency review criteria in chapter 7, article 1, as applicable.


C. The Board hereby **Approves** the variance requests and imposes the following condition based on its authority in Section 2.8.4 of the Land Development Regulations:

- 1. Substantial modifications to the plans submitted and approved as part of the application, as determined by the Planning Director or designee, may require the applicant to return to the Board for approval of the modified plans, even if the modifications do not affect variances approved by the Board.

**The decision of the Board regarding variances shall be final and there shall be no further review thereof except by resort to a court of competent jurisdiction by petition for writ of certiorari.**

**III. General Terms and Conditions applying to both 'I. Design Review Approval and 'II. Variances' noted above.**

- A. Upon the issuance of a final Certificate of Occupancy or Certificate of Completion, as applicable, the project approved herein shall be maintained in accordance with the plans approved by the Board and shall be subject to all conditions of approval herein, unless otherwise modified by the Board. Failure to maintain shall result in the issuance of a Code Compliance citation, and continued failure to comply may result in revocation of the Certificate of Occupancy, Completion and Business Tax Receipt.
- B. During the course of construction, all vehicles, including, but not limited to all personal vehicles, shall park within the confines of the private property, the swale directly abutting the construction site, or at alternate overflow parking sites that are not on-street metered spaces and not zoned RS. Additionally, parking of any vehicles shall be prohibited in the travel lanes of all streets.
- C. All allowable construction signage shall be attached to or situated behind the construction fence and shall be limited to one (1) sign, not to exceed four (4) square feet, in accordance with Section 6.3.2 of the Land Development Regulations.
- D. The applicant shall ensure that the contractor(s) observe good construction practices and prevent construction materials and debris from impacting the right-of-way.

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- E. The contractor(s) shall ensure that the street and the swale directly abutting the construction site remains free of debris and refuse at all times; at a minimum, the contractor(s) shall inspect and clear the street and swale areas before leaving at the end of each day.
- F. This order shall be enforced by the Building, Planning, Parking and Code Compliance Departments.
- G. A recycling/salvage plan shall be provided as part of the submittal for a demolition/building permit, in a manner to be reviewed and approved by staff.
- H. A copy of all pages of the recorded Final Order shall be scanned into the plans submitted for building permit and shall be located immediately after the front cover page of the permit plans.
- I. The Final Order shall be recorded in the Public Records of Miami-Dade County, prior to the issuance of a Building Permit.
- J. Satisfaction of all conditions is required for the Planning Department to give its approval on a Certificate of Occupancy; a Temporary Certificate of Occupancy or Partial Certificate of Occupancy may also be conditionally granted Planning Departmental approval.
- K. The Final Order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be returned to the Board for reconsideration as to whether the order meets the criteria for approval absent the stricken provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions.
- L. The conditions of approval herein are binding on the applicant, the property's owners, operators, and all successors in interest and assigns.
- M. Nothing in this order authorizes a violation of the City Code or other applicable law, nor allows a relaxation of any requirement or standard set forth in the City Code.

IT IS HEREBY ORDERED, based upon the foregoing findings of fact, the evidence, information testimony and materials presented at the public hearing, which are part of the record for this matter, and the staff report and analysis, which are adopted herein, including the staff recommendations, which were amended and adopted by the Board, that the **application** is GRANTED for the above-referenced project subject to those certain conditions specified in Paragraph I, II, III of the Finding of Fact, to which the applicant has agreed.

PROVIDED, the applicant shall build substantially in accordance with the plans, entitled "Cumenal – Diamond Residence" as prepared by **Castellanos Design Studio** dated, July 11, 2022, ~~and~~ as modified with plans entitled "Cumenal – Diamond Residence" as prepared by **Ryan N. Alderman** dated, 5/8/2023, and as modified with plans entitled "1600 Cleveland Road, Miami Beach, Variance for height of wall in front yard and waiver of height of wall/fence in side yard facing street" as prepared by **Ryan N. Alderman**, dated October 12, 2025, and as approved by the Design Review Board, as determined by staff.



[NOTARIAL SEAL]

Commission Number: HH 719107

Approved As To Form:  
City Attorney's Office: \_\_\_\_\_

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Nick Kalley  
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Filed with the Clerk of the  
Design Review Board on \_\_\_\_\_

DocuSigned by:  
Jessica Freking  
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