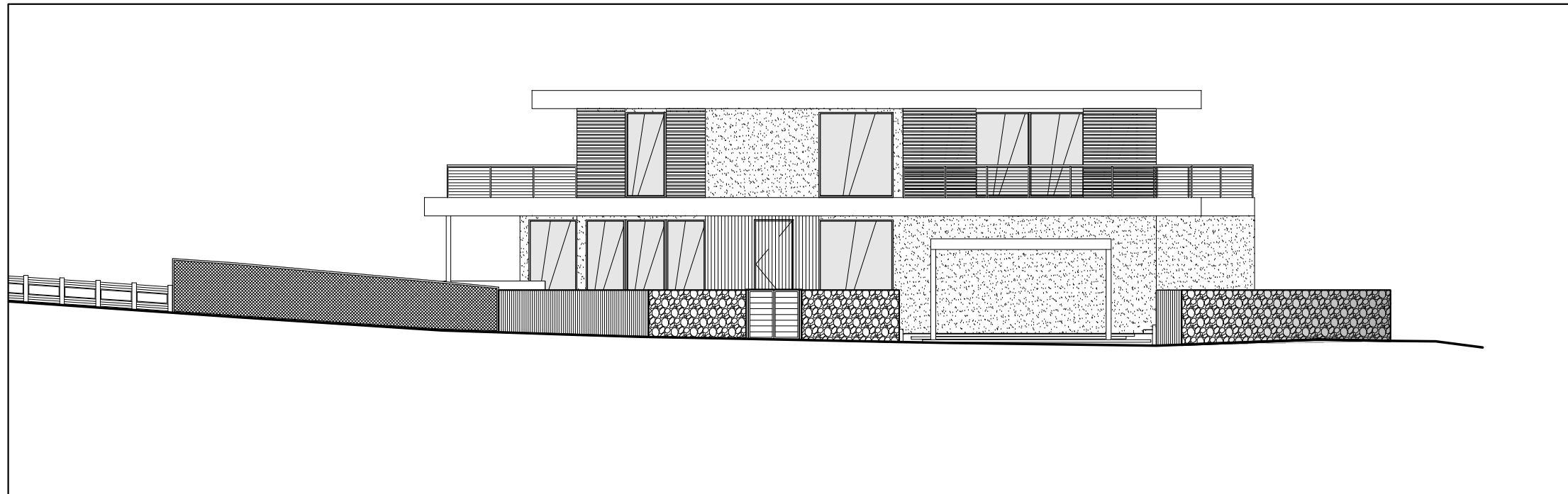


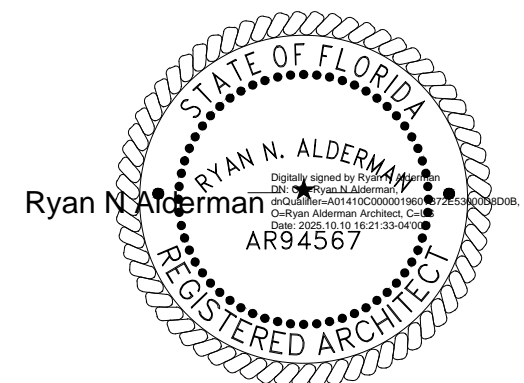
1600 Cleveland Road, Miami Beach

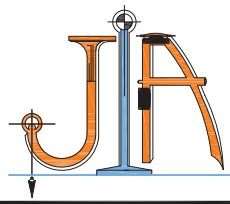
Variance for height of wall in front yard and waiver of height of wall/fence in side yard facing street

File no. DRB25-1139



DRB Final Submittal
October 12, 2025





JOHN IBARRA & ASSOCIATES, INC.

Professional Land Surveyors & Mappers

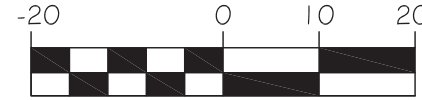
WWW.IBARRALANDSURVEYORS.COM
777 N.W. 72ND AVENUE SUITE 3025 MIAMI, FLORIDA 33126
PH: (305) 262-0400 FAX: (305) 262-0401
3725 DEL PRADO BLVD. S. SUITE B CAPE CORAL, FL 33904
PHONE: (239) 540-2660 FAX: (239) 540-2664



MAP OF BOUNDARY SURVEY

1600 CLEVELAND ROAD, MIAMI BEACH, FLORIDA 33141

GRAPHIC SCALE



(IN FEET)
1 INCH = 20 FEET

ABBREVIATIONS AND MEANINGS

- A = ARC
- A.C. = AIR CONDITIONER PAD
- A.E. = ANCHOR EASEMENT
- AR = ALUMINUM ROOF
- AS = ALUMINUM SHED
- ASPH. = ASPHALT
- B.C. = BLOCK CORNER
- B.C.R. = BROWARD COUNTY RECORDS
- BLDG. = BUILDING
- B.M. = BENCH MARK
- B.O.B. = BASIS OF BEARINGS
- B.S.L. = BUILDING SETBACK LINE
- C = CALCULATED
- C.B. = CATCH BASIN
- C.B.S. = CONCRETE BLOCK STRUCTURE
- CBW = CONCRETE BLOCK WALL
- CH = CHORD
- CH.B. = CHORD BEARING
- CL = CLEAR
- C.L.F. = CHAIN LINK FENCE
- C.M.E. = CANAL MAINTENANCE EASEMENTS
- CONC. = CONCRETE
- C.P. = CONC. PORCH
- C.S. = CONCRETE SLAB
- C.U.P. = CONC. UTILITY POLE
- C.W. = CONCRETE WALK
- D.E. = DRAINAGE EASEMENT
- D.M.E. = DRAINAGE MAINTENANCE EASEMENTS
- DRIVE = DRIVEWAY
- * = DEGREES
- E = EAST
- EB = ELECTRIC BOX
- E.T.P. = ELECTRIC TRANSFORMER PAD
- ELEV. = ELEVATION
- ENCR. = ENCROACHMENT
- F.H. = FIRE HYDRANT
- F.I.P. = FOUND IRON PIPE
- F.I.R. = FOUND IRON ROD
- F.F.E. = FINISHED FLOOR ELEVATION
- F.N.D. = FOUND NAIL & DISK
- FR = FRAME
- FT = FEET
- F.N.P. = FEDERAL NATIONAL INSURANCE
- F.N. = FOUND NAIL
- H. = HIGH (HEIGHT)
- I.C.V. = IRRIGATION CONTROL VALVE
- I.F. = IRON FENCE
- I.N.E.G. = INGRESS AND EGRESS EASEMENT
- L.B. = Certificate of Authorization L.B.#7806
- L.P. = LIGHT POLE
- L.F.E. = LOWEST FLOOR ELEVATION
- L.M.E. = LAKE MAINTENANCE EASEMENT
- ' = MINUTES
- M. = MEASURED DISTANCE
- MB = MAIL BOX
- M.D.C.R. = MIAMI DADE COUNTY RECORDS
- M.E. = MAINTENANCE EASEMENTS
- MON. = MONUMENT LINE
- M.H. = MANHOLE
- M.L. = MONUMENT LINE
- N.A.P. = NOT A PART OF
- NGVD = NATIONAL GEODETIC VERTICAL DATUM
- N. = NORTH
- N.T.S. = NOT TO SCALE
- #NO. = NUMBER
- OS = OFFSET
- O.H. = OVERHEAD
- O.H.L. = OVERHEAD UTILITY LINES
- O.R.B. = OFFICIAL RECORDS BOOK
- OVH = OVERHANG
- P.V.M.T. = PAVEMENT
- PL = PLASTER
- PL = PROPERTY LINE
- P.C.C. = POINT OF COMPOUND CURVE
- P.C. = POINT OF CURVE
- PT. = POINT OF TANGENCY
- P.O.B. = POINT OF BEGINNING
- P.O.B. = POINT OF BEGINNING
- P.R.C. = POINT OF REVERSE CURVE
- P.B. = PLAT BOOK
- PG. = PAGE
- P.W.Y. = PARKWAY
- PRM. = PERMANENT REFERENCE MONUMENT
- P.L.S. = PROFESSIONAL LAND SURVEYOR
- R. = RECORDED DISTANCE
- RR. = RAIL ROAD
- RES. = RESIDENCE
- PROP. COR. = PROPERTY CORNER
- RW = RIGHT-OF-WAY
- R.P. = RADIUS POINT
- RGE. = RANGE
- SEC. = SECTION
- STY. = STORY
- SWK. = SIDEWALK
- S.I.P. = SET IRON PIPE L.B. #7806
- S.P. = SCREENED PORCH
- S. = SOUTH
- " = SECONDS
- T = TANGENT
- T.B. = TELEPHONE BOOTH
- T.U.E. = TECHNOLOGY UTILITY EASEMENT
- T.S.B. = TRAFFIC SIGNAL BOX
- T.S.P. = TRAFFIC SIGNAL POLE
- TWP = TOWNSHIP
- UTIL. = UTILITY
- U.P. = UTILITY POLE
- W.M. = WATER METER
- W.F. = WOOD FENCE
- W.R. = WOOD ROOF
- W.M. = WATER METER
- W.F. = WOOD FENCE
- W.R. = WOOD ROOF
- W.S. = WOOD SHED
- W = WEST
- ∠ = CENTER LINE
- ∠ = CENTRAL ANGLE
- ∠ = ANGLE



LOCATION SKETCH
SCALE = N.T.S.

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY:

- THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
- EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
- THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.
- LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE; THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.
- EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE.
- THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
- ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE FOR SUBMITTING.
- PLOT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.
- UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
- FENCE OWNERSHIP NOT DETERMINED.
- THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATE
- DOES NOT EXTEND TO ANY UNNAMED PARTY.

FLOOD ZONE INFORMATION:

THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN:
FLOOD ZONE: "AE"
BASE FLOOR ELEVATION: 8 FEET
COMMUNITY: 120651
PANEL: 0307
SUFFIX: L
DATE OF FIRM: 091009
THE SUBJECT PROPERTY DOES LIE IN A SPECIAL FLOOD HAZARD AREA.

SURVEYOR'S NOTES:

- IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
- THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
- CERTIFICATE OF AUTHORIZATION LB # 7806.
- ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929; CITY OF MIAMI BEACH, BENCHMARK # CMB BP-03, LOCATED @ NE INTX HENEDON AVE & DAYTONIA RD; ELEVATION IS 4.44 FEET OF N.G.V.D. 1929.

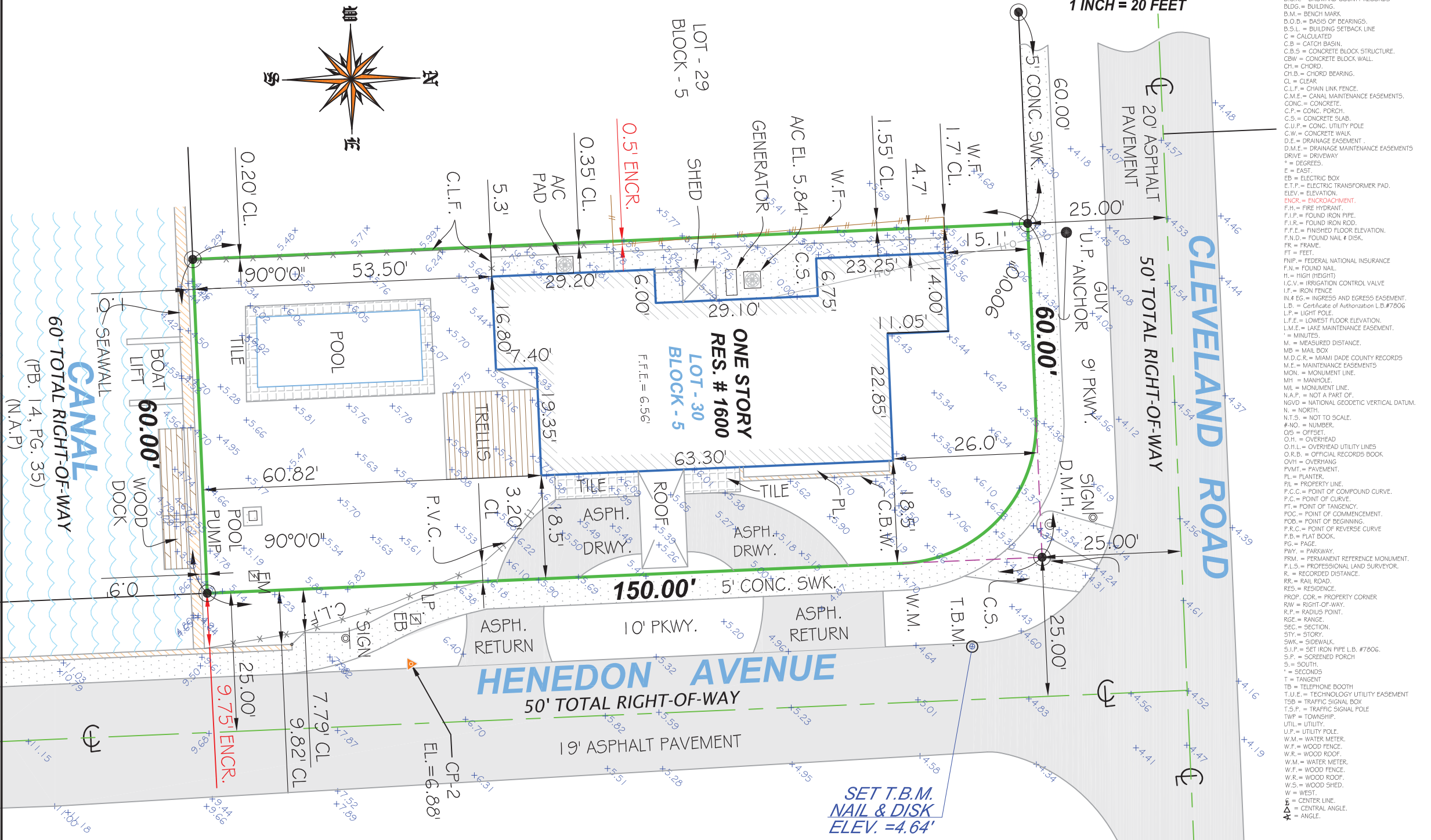
SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY: THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

Digitally signed by JOHN A IBARRA
Date: 2023.03.14 16:54:55 -04'00'
Adobe Acrobat version: 2022.003.20322
BY: JOHN IBARRA (DATE OF FIELD WORK) **03/07/2023**

PROFESSIONAL LAND SURVEYOR NO.: 5204 STATE OF FLORIDA

REVISED ON: SURVEY UPDATE 03/07/2023
REVISED ON: SURVEY 11/08/2021



CERTIFICATION:
FREDERIC CUMENAL AND LESLIE DIAMOND MITCHELL SETH POLANSKY, P.A. ITS SUCCESSORS AND OR ASSIGNS, AS THEIR INTEREST MAY APPEAR

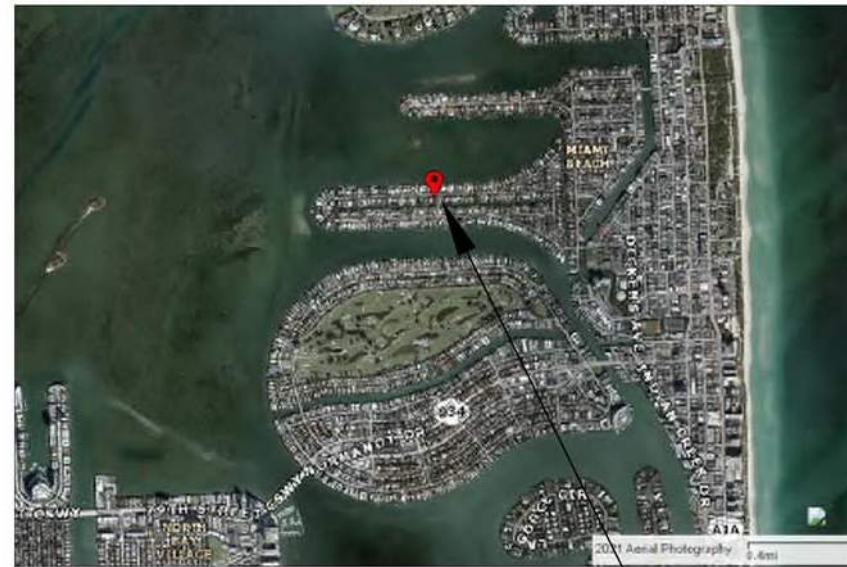
LEGAL DESCRIPTION:
LOT 30, BLOCK 5, BISCAIYNE POINT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 14, PAGE 35, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

- ### LEGEND
- O—H — = OVERHEAD UTILITY LINES
 - [] — = CONCRETE BLOCK WALL
 - x x x — = CHAIN LINK FENCE
 - 0 0 0 — = IRON FENCE
 - // // — = WOOD FENCE
 - [] — = BUILDING SETBACK LINE
 - [] — = UTILITY EASEMENT
 - [] — = LIMITED ACCESS RW
 - [] — = NON-VEHICULAR ACCESS RW
 - [] — = EXISTING ELEVATIONS
- x 0.00

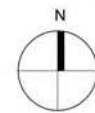
DRAWN BY:	LJB
FIELD DATE:	03/07/2023
SURVEY NO.:	21-003858-2
SHEET:	1 OF 1

Digitally signed by JOHN A IBARRA
Date: 2023.03.14 16:54:27 -04'00'
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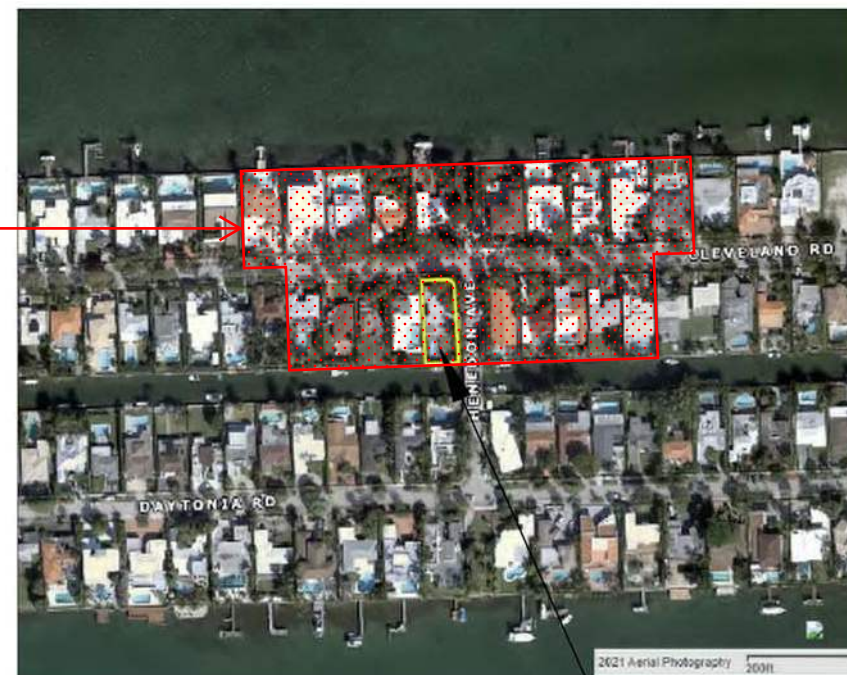
G1.01 ZONING DATA AND LOCATION MAPS



1 LOCATION MAP
SCALE: SCALE: N.T.S.



SITE



CONTEXT PHOTO
LOCATION AREA

2 LOCATION MAP
SCALE: SCALE: N.T.S.



SITE

MIAMI BEACH

Planning Department
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY FAIL THE REVIEW

ITEM #	Project Information			
1	Address:	1600 CLEVELAND ROAD, MIAMI BEACH, FL 33141		
2	Folio number(s):	02-3203-001-0940		
3	Board and file number(s) :	DRB25-1139		
4	Year built:	Zoning District:	RS-4	
5	Located within a Local Historic District (Yes or No):	No		
6	Individual Historic Single Family Residence Site (Yes or No):	No		
7	Home determined Architecturally Significant by CMB (Yes or No):	No		
8	Base Flood Elevation:	8.00 NGVD	Grade value in NGVD:	4.35 NGVD
9	Adjusted grade (Flood+Grade/2):	6.175 NGVD	Free board:	+1'
10	30" above grade:	6.85 NGVD	Lot Area:	8,866 SF
11	Lot width:	60.0'	Lot Depth:	150.0'
12	Max Lot Coverage SF and %:	N/A	Proposed Lot Coverage SF and %:	N/A
13	Existing Lot Coverage SF and %:	N/A	Net Lot coverage (garage-storage)	N/A
14	Front Yard Open Space SF and %:	N/A	Rear Yard Open Space SF and %:	N/A
15	Max Unit Size SF and %:	N/A	Proposed Unit Size SF and %:	N/A
16	Existing First Floor Unit Size:	N/A	Proposed First Floor Unit Size:	N/A
17	Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	N/A		
18	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan).		Yes or No:	No
	ZONING INFORMATION / CALCULATION	Required	Existing	Proposed
19	Height measured from B.F.E. plus freeboard	N/A	N/A	N/A
	Front Setbacks:			
20	Front First level:	N/A	N/A	N/A
	Front second level:	N/A	N/A	N/A
	Front second level if lot coverage is 25% or greater:			
21	a) At least 35% of the front façade shall be setback 5' from the minimum required setback.	N/A	N/A	N/A
	b) At least 50% of the second floor along a side elevation facing a street shall be setback 5' from the minimum required setback.	N/A	N/A	N/A
22	Sum of side yard :			
23	Side 1:	N/A	N/A	N/A
24	Side 2 or (facing street):	N/A	N/A	N/A
25	Rear:	N/A	N/A	N/A
26	Accessory Structure Side 1:	N/A	N/A	N/A
27	Accessory Structure Side 2 or (facing street) :	N/A	N/A	N/A
28	Accessory Structure Rear:	N/A	N/A	N/A
30	Additional data or information that may be applicable to the project shall be provided in the following fields.			

Notes: Indicate N/A if not applicable.

G1.02 CONTEXT PHOTOS



A AERIAL VIEW FOR REFERENCE
SCALE: N.A.



1 1600 CLEVELAND RD
SCALE: N.A.

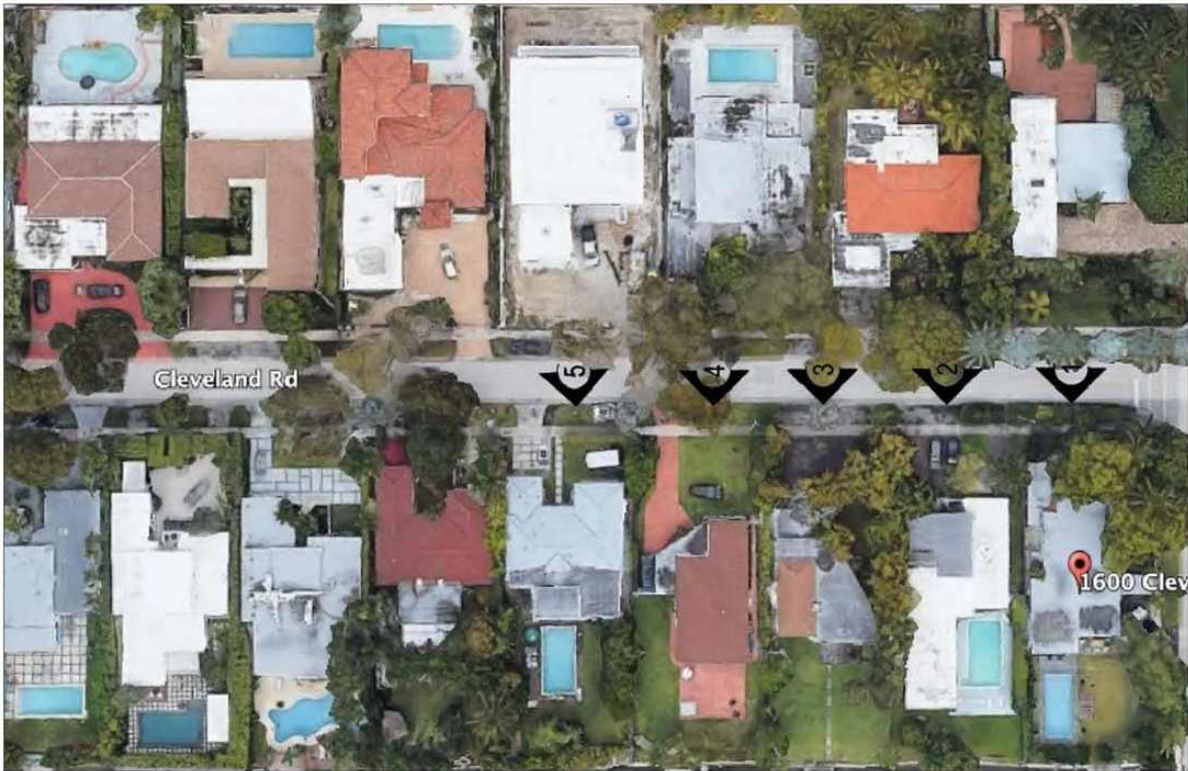


2 1610 CLEVELAND RD
SCALE: N.A.



3 1620 CLEVELAND RD
SCALE: N.A.

G1.03 CONTEXT PHOTOS



A AERIAL VIEW FOR REFERENCE
SCALE: N.A.



4 1630 CLEVELAND RD
SCALE: N.A.



5 1640 CLEVELAND RD
SCALE: N.A.

G1.04 CONTEXT PHOTOS



A AERIAL VIEW FOR REFERENCE
SCALE: N.A.



1 1601 CLEVELAND RD
SCALE: N.A.



2 1615 CLEVELAND RD
SCALE: N.A.



3 1625 CLEVELAND RD
SCALE: N.A.



A AERIAL VIEW FOR REFERENCE
SCALE: N.A.



4 1645 CLEVELAND RD
SCALE: N.A.



5 1655 CLEVELAND RD
SCALE: N.A.

G1.06 CONTEXT PHOTOS



A AERIAL VIEW FOR REFERENCE
SCALE: N.A.



1 1580 CLEVELAND RD
SCALE: N.A.



2 1570 CLEVELAND RD
SCALE: N.A.



3 1560 CLEVELAND RD
SCALE: N.A.



A AERIAL VIEW FOR REFERENCE
SCALE: N.A.

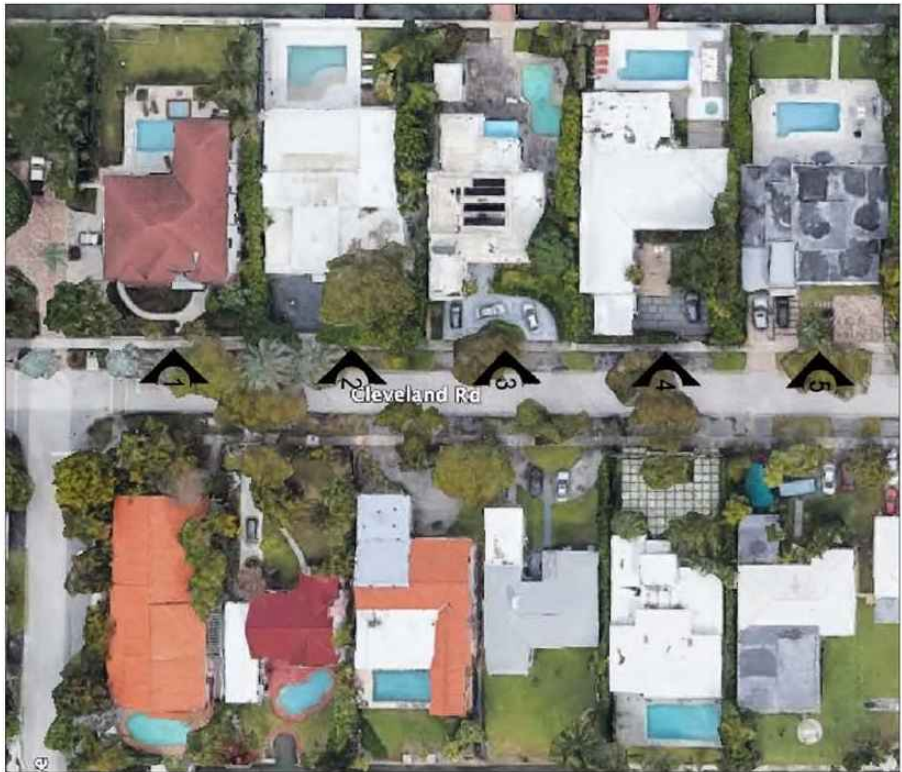


4 1550 CLEVELAND RD
SCALE: N.A.



5 1540 CLEVELAND RD
SCALE: N.A.

G1.08 CONTEXT PHOTOS



A AERIAL VIEW FOR REFERENCE
SCALE: N.A.



1 1577 CLEVELAND RD
SCALE: N.A.

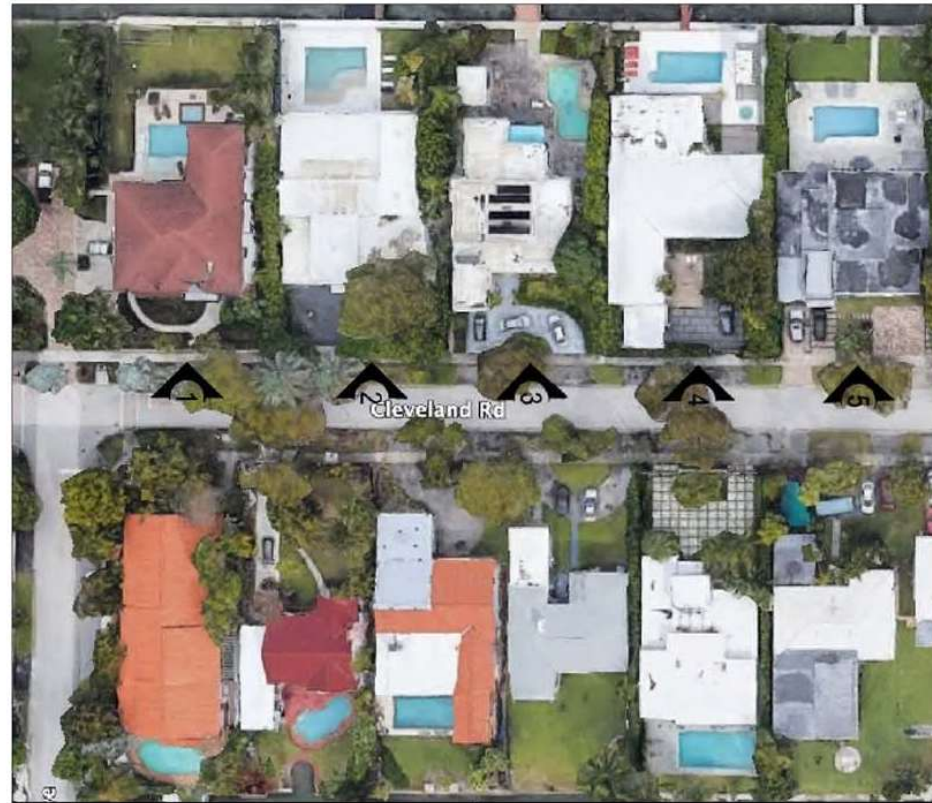


2 1565 CLEVELAND RD
SCALE: N.A.



3 1555 CLEVELAND RD
SCALE: N.A.

G1.09 CONTEXT PHOTOS



A AERIAL VIEW FOR REFERENCE
SCALE: N.A.

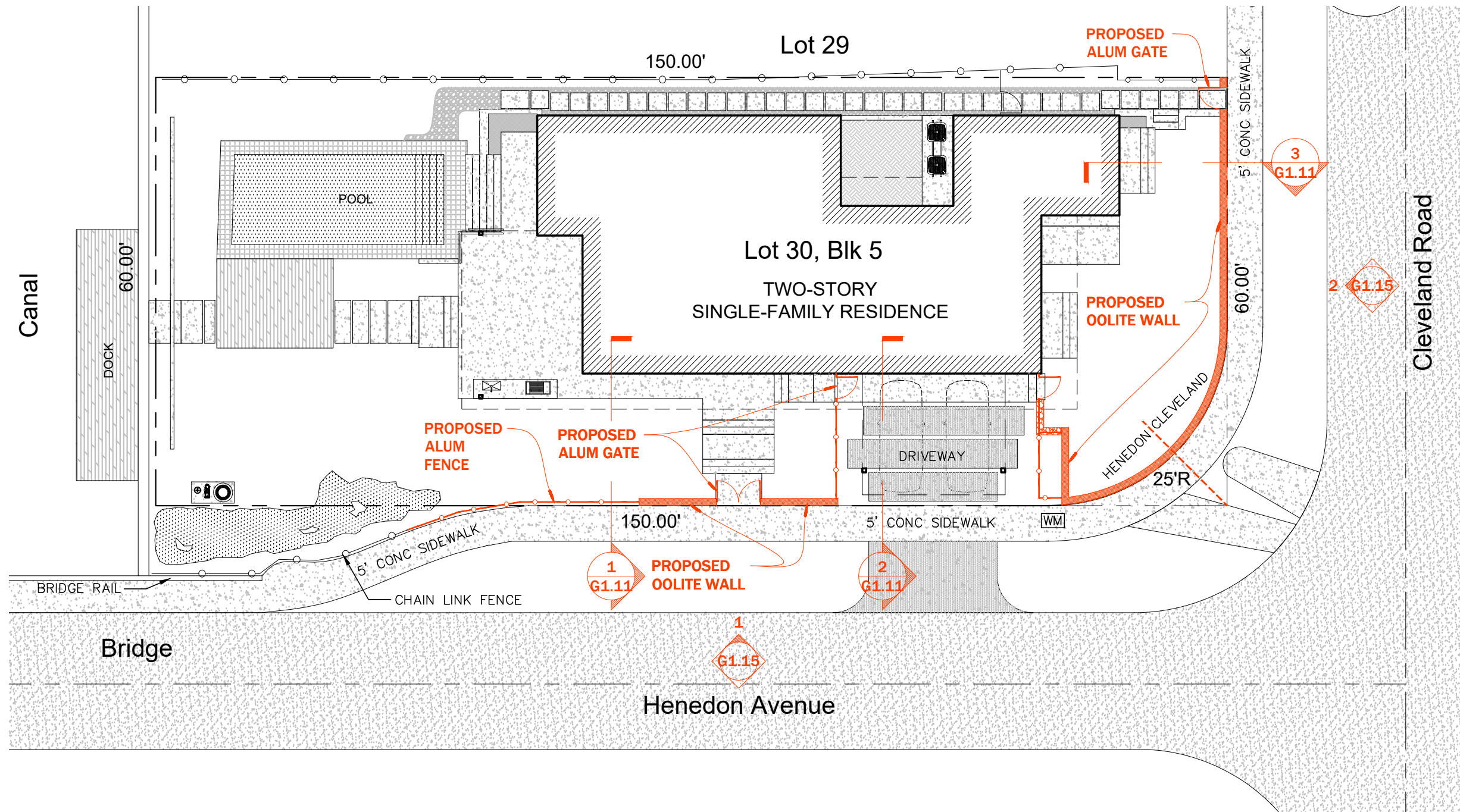


4 1545 CLEVELAND RD
SCALE: N.A.



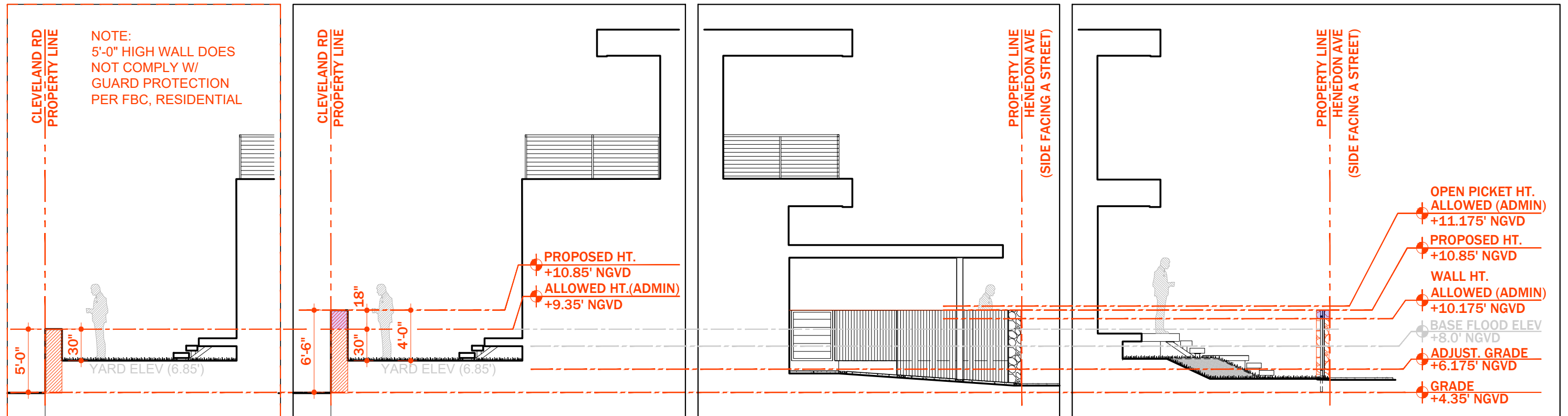
5 1535 CLEVELAND RD
SCALE: N.A.

SP1.10 SITE PLAN

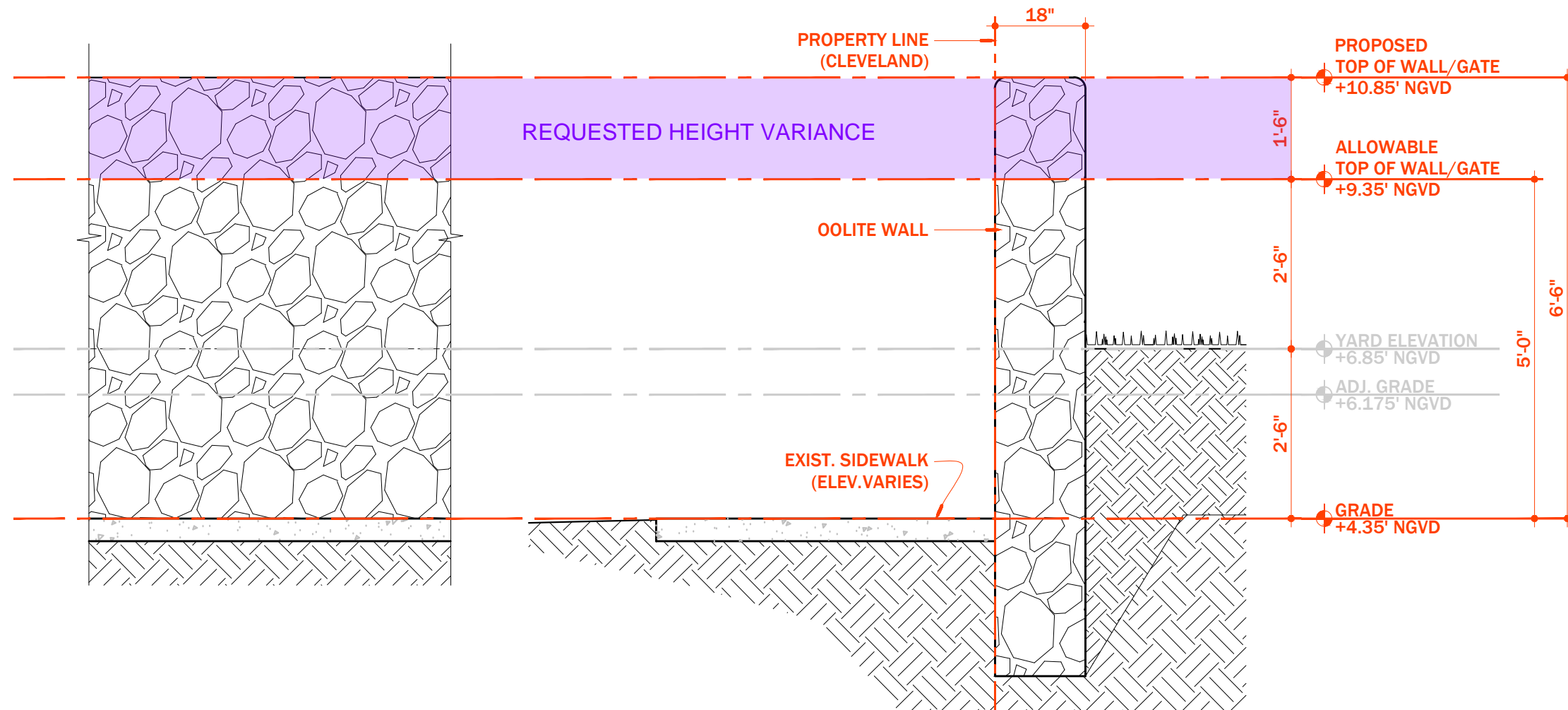


⊕^N SITE PLAN
SCALE - 1/16" = 1'-0"

REFERENCE SECTION: REQUIRED HEIGHT



G-1.12 VARIANCE DIAGRAM: SECTION / ELEVATION



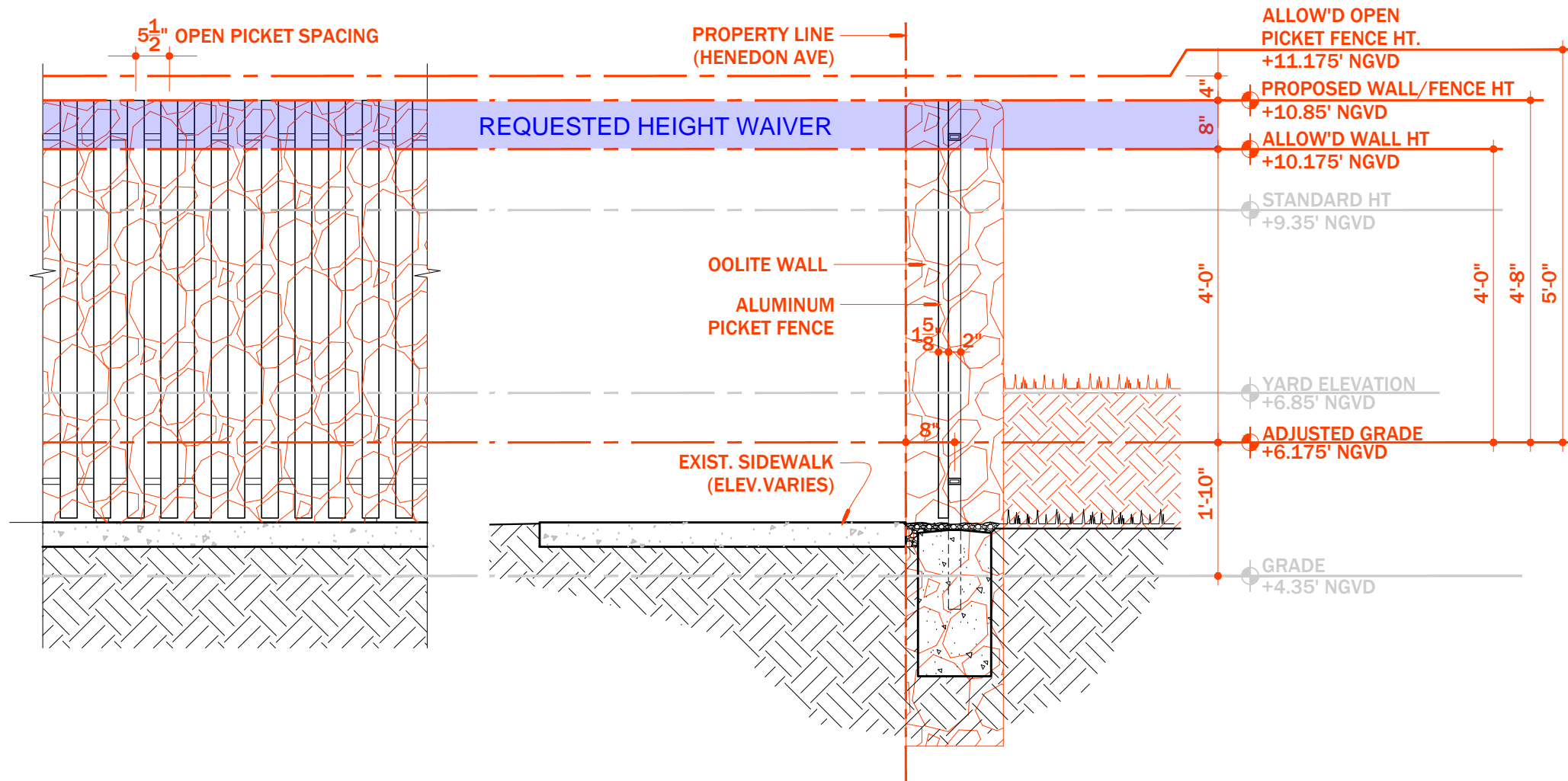
WALL ELEVATION
SCALE - 1/2" = 1'-0"

WALL SECTION
SCALE - 1/2" = 1'-0"

VARIANCE REQUEST

- #1 ALLOWABLE ENCROACHMENTS - (City Resiliency Code Ch.7, Article II, 7.2.2.3(b)(12)(H))
- *INCREASE THE ALLOWABLE WALL & GATE HEIGHT FROM FIVE FEET (5') TO SIX FEET, SIX INCHES (6'-6") ABOVE GRADE

G-1.13 WAIVER DIAGRAM: SECTION / ELEVATION



FENCE ELEVATION
SCALE - 1/2" = 1'-0"

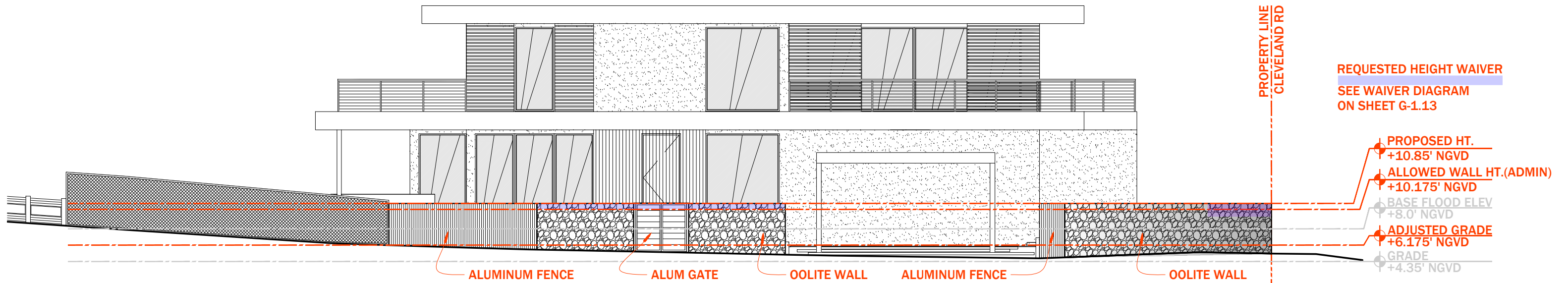
FENCE SECTION
SCALE - 1/2" = 1'-0"

WAIVER REQUEST

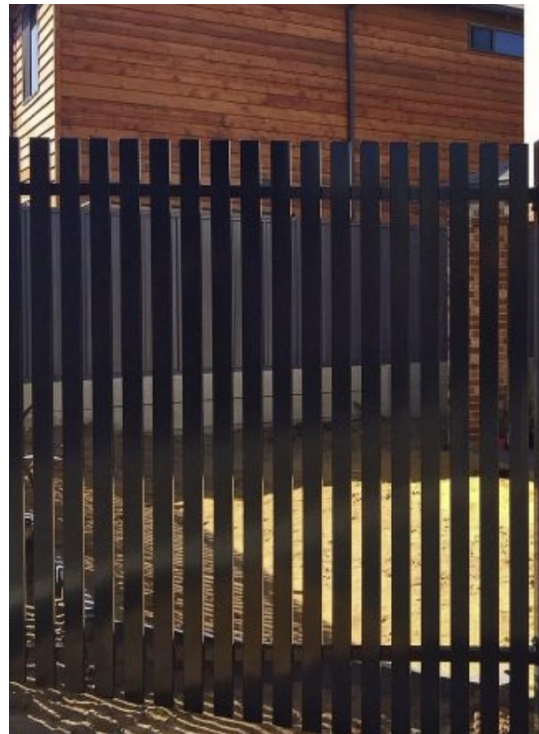
#2 ALLOWABLE ENCROACHMENTS - (City Resiliency Code Ch.7, Article II, 7.2.2.3(b)(12)(H) ALLOWABLE FENCE, WALL & GATE HEIGHTS ON A SIDE FACING A STREET MEASURED FROM ADJUSTED GRADE PER EXCEPTION (1) UNDER THE REFERENCED CODE SECTION.
*INCREASE THE ALLOWABLE WALL & NON-OPEN PICKET FENCE HEIGHT FROM FOUR FEET (4') TO FOUR FEET, EIGHT INCHES (4'-8") ABOVE FUTURE ADJUSTED GRADE



G1.15 SITE ELEVATIONS



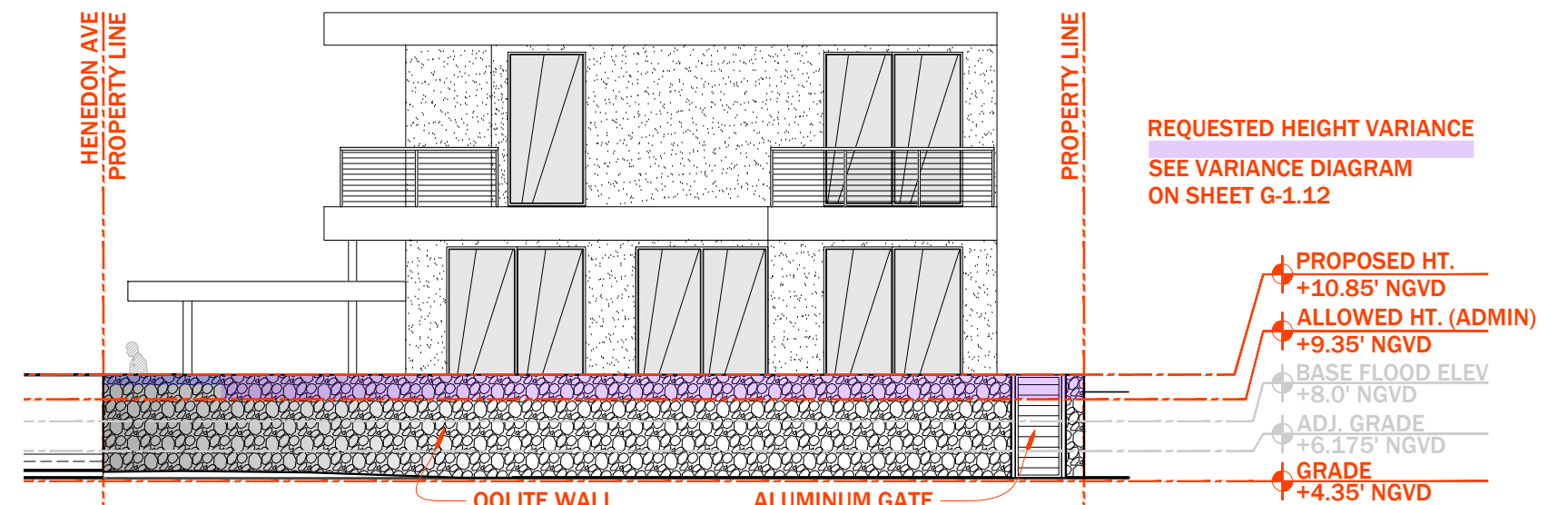
1 ELEVATION (HENEDON AVE)
G1.15 SCALE - 3/32" = 1'-0"



ALUMINUM FENCE (REFERENCE)



OOLITE WALL (REFERENCE)



2 ELEVATION (CLEVELAND ROAD)
G1.15 SCALE - 3/32" = 1'-0"