

MARINA 81

775 81ST ST
MIAMI BEACH | FL | 33141



FINAL SUBMITTAL | DRB25-1119

SCOPE OF WORK:
NEW RESIDENTIAL BUILDING MULTI - FAMILY

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Ricardo J Muniz-Guillet
2025.10.10
16:34:43-04'00'

PROJECT AND OWNER:
MARINA 81

775 81ST ST
MIAMI BEACH | FL | 33141
SEBASTIAN BOSCH

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

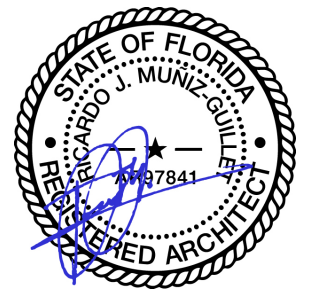
DRB SUBMITTAL

PERMIT APPLICATION DATE: 07-16-2025
SHEET ISSUE DATE: 10-10-2025

PROJECT NO.: 2508
DRAWN BY: JA APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT

SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:

COVER SHEET

SCALE:

N.T.S.

SHEET NO:

G-0

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MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

PROJECT AND OWNER:
MARINA 81

775 81ST ST
MIAMI BEACH | FL | 33141
SEBASTIAN BOSCH

ARCHITECT:

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LIC# AR97841

SHEET TITLE:

ZONING DATA SHEET

SCALE:

N.T.S.

SHEET NO.:

G-2

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ITEM #	Zoning Information		
1	Address:	775 81ST ST MIAMI BEACH FL 33141	1
2	Board and file numbers :	DRB FILE NUMBER: DRB25-1119	FUTURE CROWN OF THE ROAD: 4.4' NAVD
3	Folio number(s):	02-3202-008-1100	FUTURE ADJUSTED GRADE : 7.75' NGVD
4	Year constructed:	1951	Zoning District: RM-1 - MULTI FAMILY, LOW INTENSITY
5	Based Flood Elevation:	8.0 N.G.V.D.	Grade value in NGVD: 4.23' N.G.V.D.
6	Adjusted grade (Flood+Grade/2):	6,115' N.G.V.D.	Lot Area: 5,625 SF
7	Lot width:	50'	Lot Depth: 112' 6"
8	Minimum Unit Size	596 SF	Average Unit Size 766 SF
9	Existing use:	SINGLE FAMILY	Proposed use: MULTI-FAMILY

	Maximum	Existing	Proposed	Deficiencies	
10	Height	55' 0"	16' 0"	40' 10"	N/A
11	Number of Stories	4	1	4	N/A
12	FAR	5,625 SF x 1.25=7,031.25 SF	1,979 SF	6,691 SF	N/A
13	Gross square footage	N/A			
14	Square Footage by use	N/A			
15	Number of units Residential	N/A			
16	Number of units Hotel	N/A			
17	Number of seats	N/A			
18	Occupancy load	N/A			

	Setbacks	Required	Existing	Proposed	Deficiencies
Subterranean:					
19	Front Setback:	N/A			
20	Side Setback:	N/A			
21	Side Setback:	N/A			
22	Side Setback facing street:	N/A			
23	Rear Setback:	N/A			

	Setbacks	Required	Existing	Proposed	Deficiencies
At Grade Parking:					
24	Front Setback:	20'-0"	15.2'	20' 0"	
25	Side Setback:	5'-0"	5'-0"	7' 6"	
26	Side Setback:	5'-0"	5'-0"	7' 6"	
27	Side Setback facing street:	N/A			
28	Rear Setback:	10% lot depth= 11'-3"	46'-9"	11.25'	

	Setbacks	Required	Existing	Proposed	Deficiencies
Pedestal:					
29	Front Setback:	20' 0"	15' 3"	20' 0"	
30	Side Setback:	7' 6"	5.4'	7' 6"	
31	Side Setback:	7' 6"	6.1'	7' 6"	
32	Side Setback facing street:	N/A			
33	Rear Setback:	11' 3"	43.6'	11' 3"	

	Setbacks	Required	Existing	Proposed	Deficiencies
Tower:					
34	Front Setback:	N/A			
35	Side Setback:	N/A			
36	Side Setback:	7' 6"	5.4' / 6.1'	7' 6"	
37	Side Setback facing street:	N/A			
38	Rear Setback:	5'-0"	43.6'	11' 3"	
	Front Setback:	20' 0"	15.2'	20' 0"	

	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district	1	1	1	
40	Total # of parking spaces	0	1	5	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	N/A			
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	N/A			
43	Parking Space Dimensions	8 1/2' X 18'		8 1/2' X 18'	
44	Parking Space configuration (45o,60o,90o,Parallel)			90o	
45	ADA Spaces	N/A			
46	Tandem Spaces	N/A			
47	Drive aisle width	12' 0"		12' 0"	
48	Valet drop off and pick up	N/A			
49	Loading zones and Trash collection areas	N/A			
50	racks	N/A			

	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use	N/A			
52	Total # of seats	N/A			
53	Total # of seats per venue (Provide a separate chart for a breakdown calculation)	N/A			
54	Total occupant content	N/A			
55	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A			

56	Is this a contributing building?	No
57	Located within a Local Historic District?	No

GENERAL SITE INFORMATION:

PROPERTY ADDRESS: 775 81ST ST, MIAMI BEACH, FL, 33141
 FOLIO #: 02-3202-008-1100
 LEGAL DESCRIPTION: LOT 31, BLOCK 5, BISCAYNE BEACH SUB., ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 84, PAGE 67, PUBLIC RECORDS OF MIAMI-DATE COUNTY, FLORIDA.

LOT AREA: 5,625 SF.
 YEAR BUILT: 1951

SCOPE OF WORK
 NEW CONSTRUCTION OF A MULTIFAMILY RESIDENTIAL BUILDING WITH 7 DWELING UNITS

GOVERNING CODES
 FLORIDA FIRE PREVENTION CODE 2023
 FLORIDA BUILDING CODE 2023
 2023 NATIONAL ELECTRIC CODE
 2023 FBC MECHANICAL
 2023 FBC PLUMBING
 2023 FBC ACCESSIBILITY

ZONING GUIDELINES:

ZONING: RM-1
 FLOOD ZONE: AE ELEVATION: 8'
 MAX F.A.R.: 1.25 BASE FLOOD ELEVATION: 8'

UNIT BREAKDOWN

	UNIT #	UNITS	UNIT AREA	UNIT TOTAL	MIN UNIT SIZE	AVERAGE UNIT SIZE
	2	UNIT A - 1B/1B	621 SF	1,242 SF		
	2	UNIT B - 1B/1B	596 SF	1,192 SF		
	2	UNIT C - 2B/1B	976 SF	1,952 SF		
	1	UNIT D - 2B/1B	976 SF	976 SF		
TOTAL	7 UNITS			5,363 SF	596 SF	766 SF

PARKING NOTES:

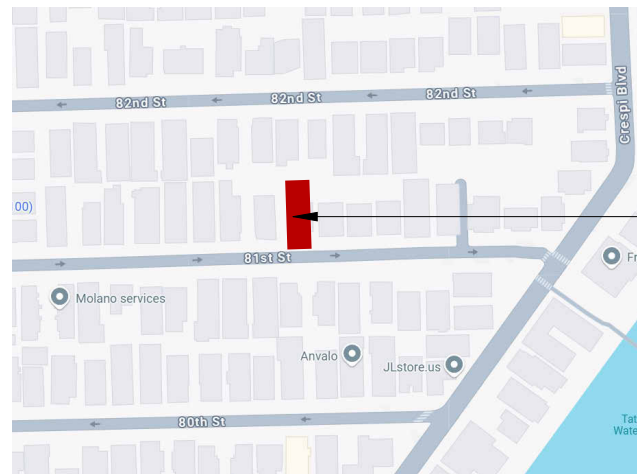
- (a) PARKING SHALL BE AT GROUND LEVEL ONLY, MECHANICAL LIFTS ARE PERMITTED FULLY SCREENED FROM ADJACENT PROPERTIES AND R.O.W.
- (b) EXT PARKING AND DRIVEWAY SHALL BE OF SEMI-PERVIOUS OR PERVIOUS MATERIALS
- (c) WHEEL STOPS SHALL BE LOW PROFILE AND 5 FT MAX.
- (d) ALL PARKING AREAS SHALL MEET THE MINIMUM FRONT AND REAR YARD SETBACK REQUIREMENTS FOR BUILDINGS
- (e) ONE-WAY DRIVEWAY CURB CUT, 10 FT MAX WIDTH / IF APPROVED BY DRB TWO SEPARATE ONE-WAY CURB CUTS MAY BE PERMITTED.
- (f) N/A

DESIGN AND RESILIENCY STANDARDS

- (a) N/A
- (b) N/A
- (c) DWELLING UNITS TO INCORPORATE NATURAL LIGHT FROM AT LEAST TWO ELEVATIONS FROM THE BUILDING VOLUME
- (d) INCORPORATE NATURALLY LANDSCAPE AREAS AT GROUND LEVEL, IN ADDITION TO THE MINIMUM SETBACK, 5% OF LOT AREA
- (e) A NON-EMERGENCY STAIR FROM LOBBY OR EXTERIOR AND ACCESSING THE 1ST THREE RESIDENTIAL FLOORS, DESIGN OPENED IS REQUIRED
- (f) RETAINING WALLS WITH HIGH QUALITY APPEARANCE
- (g) LANDSCAPING WITHIN VIEW CORRIDORS SHALL BE MAINTAINED AT 3 FT MAX FROM SIDEWALK ELEVATION
- (h) IF EXISTING ELEVATION IS MODIFIED, RETAIN ALL STORMWATER ON SITE

NOTE:

NEW CONSTRUCTION HERE WILL REQUIRE REVIEW AND APPROVAL OF THE DESIGN REVIEW BOARD. ONCE A DESIGN SET OF DRAWINGS IS READY TO SUBMIT AS PER A CHECK LIST TO BE PROVIDED AND AN APPLICATION IS COMPLETED ONLINE, THE PROCESS TAKES 3-4 MONTHS. IT MAY ALSO REQUIRE SOME LEVEL OF TRAFFIC STUDY. THE FIRST STEP IN THE PROCESS IS TO FILE THE APPLICATION ONLINE ONCE THERE IS SOME DRAWINGS TO REVIEW. AFTER THIS THE AHJ WILL SCHEDULE A PRE-APPLICATION MEETING TO REVIEW THE PROJECT AND PROVIDE COMMENTS BEFORE A FORMAL SUBMITTAL.

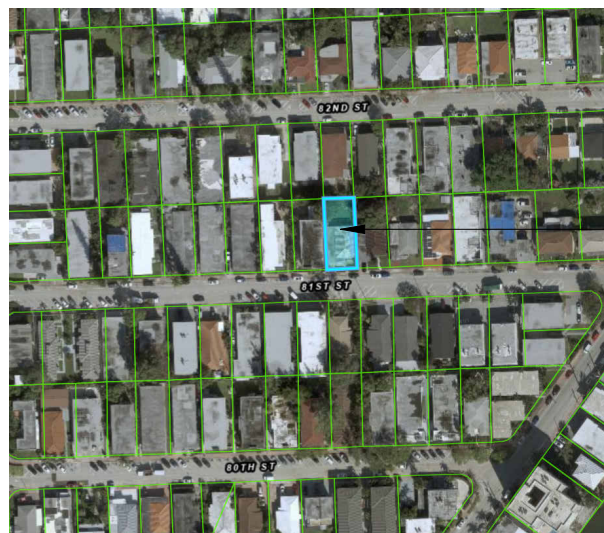


SUBJECT LOCATION
 775 81ST ST | MIAMI BEACH | FL | 33141



1

LOCATION MAP.
 N.T.S.



SUBJECT LOCATION
 775 81ST ST | MIAMI BEACH | FL | 33141



2

AERIAL VIEW.
 N.T.S.

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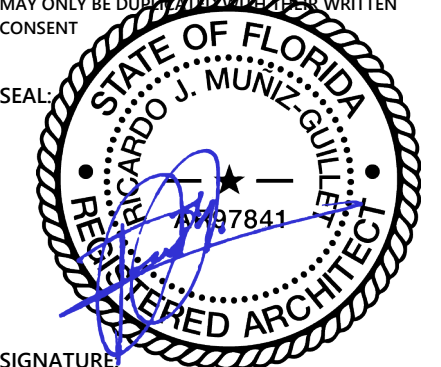
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ZONING REQUIREMENTS & LOCATION

SCALE:

N.T.S.

SHEET NO:

G-2.1

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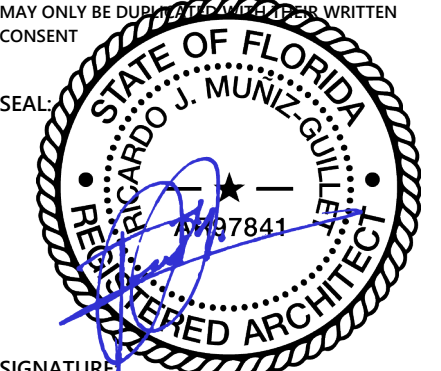
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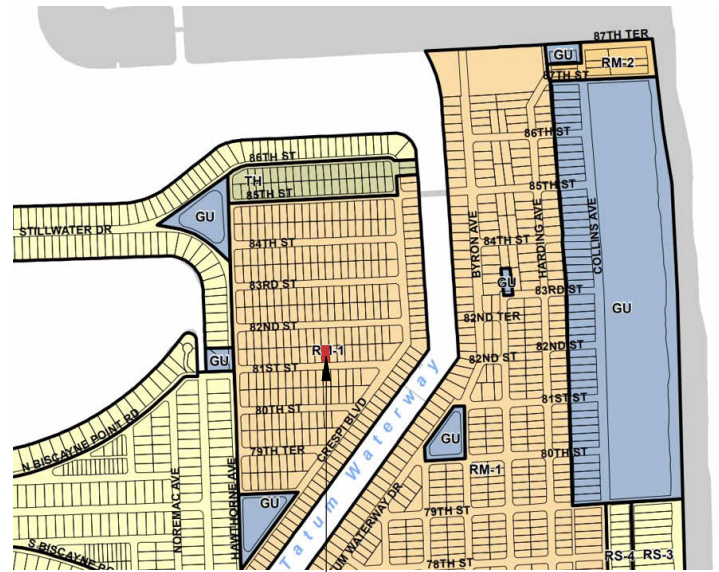
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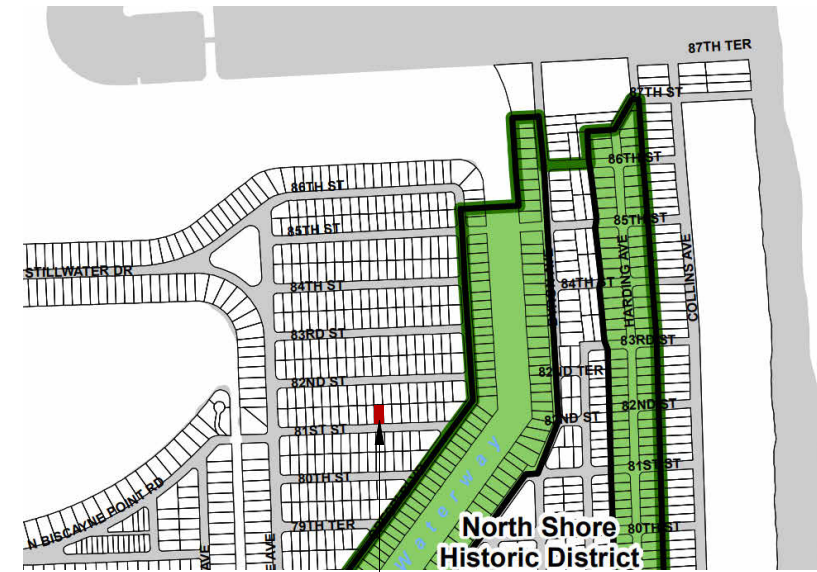
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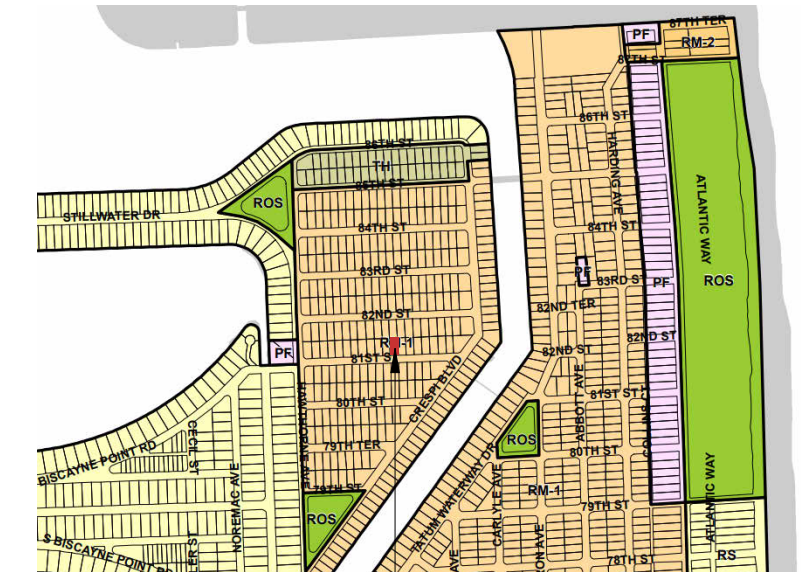
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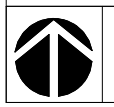
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775 81ST ST | MIAMI BEACH | FL | 33141



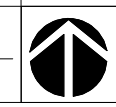
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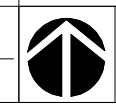
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775 81ST ST | MIAMI BEACH | FL | 33141



1 ZONING MAP
N.T.S.



2 HISTORIC DISTRICT MAP
N.T.S.



3 FUTURE LAND USE MAP
N.T.S.

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MIAMI BEACH | FL | 33141
SEBASTIAN BOSCH

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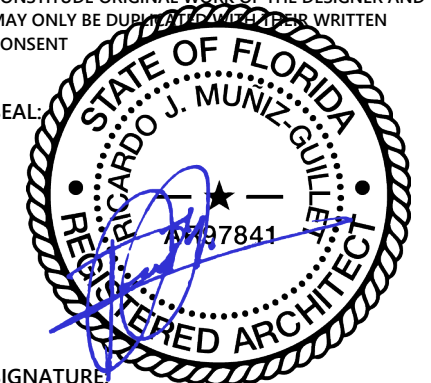
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**ZONING REQUIREMENTS &
LOCATION**

SCALE:

N.T.S.

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G-2.3

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SUBJECT LOCATION

775 81ST ST |
MIAMI BEACH | FL | 33141



Google Earth



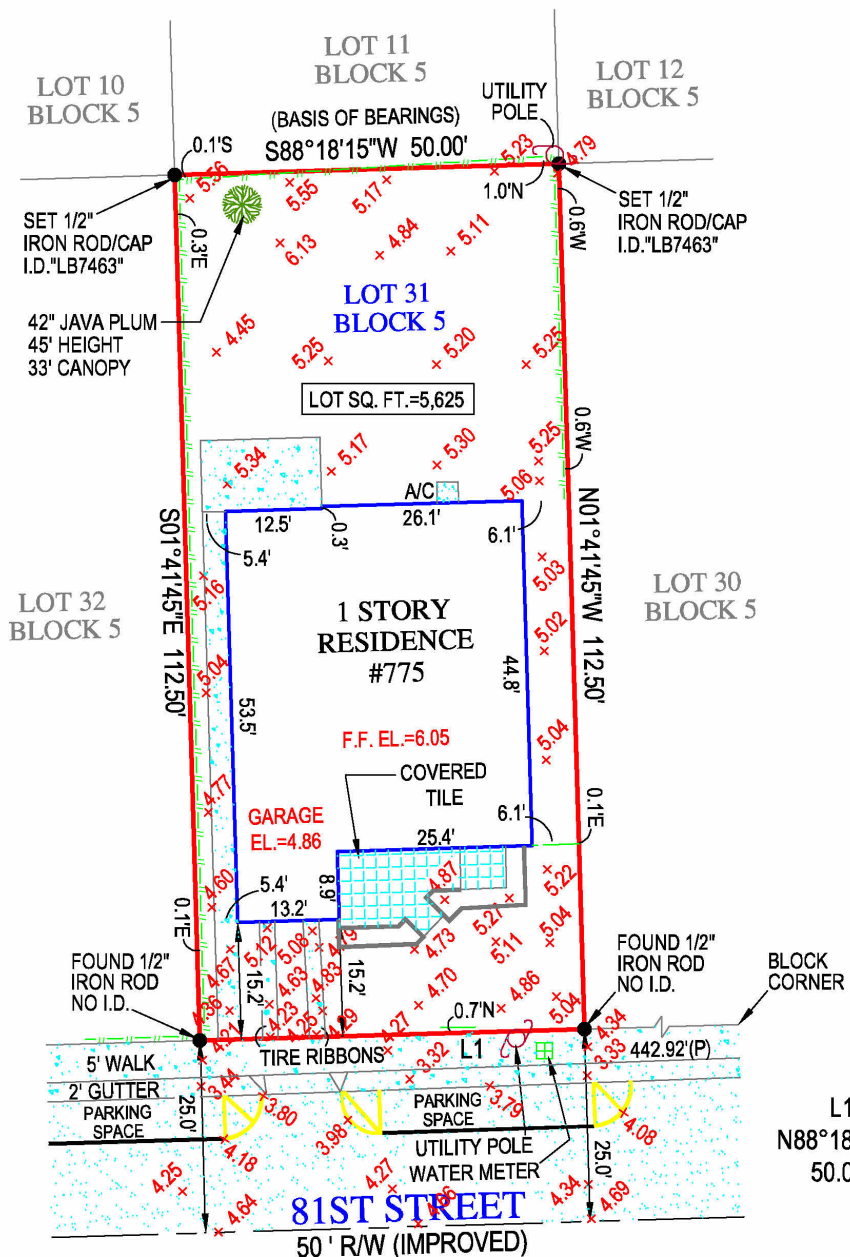
1

AERIAL VIEW - 1/4 MILE RADIUS.

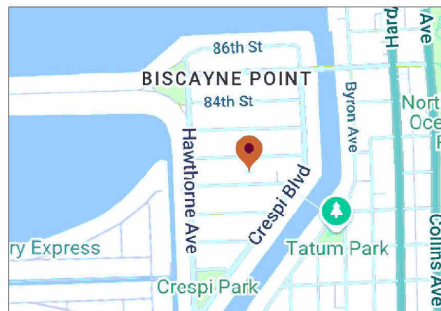
N.T.S.

LEGAL DESCRIPTION

LOT 31, BLOCK 5, BISCAYNE BEACH SUB., ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 44, PAGE 67, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.



FLOOD ZONE: AE
 COMMUNITY NUMBER: 120261
 PANEL: 12086C0307
 SUFFIX: L
 BASE FLOOD ELEVATION: 8
 FIRM DATE: 09-11-2009



VIGNITY MAP
NOT TO SCALE

LEGEND

- A/C AIR CONDITIONER
- B.F.P. BACKFLOW PREVENTER
- C.B.S. CONCRETE BLOCK STRUCTURE
- E.F. ELEVATION
- F.F. FINISHED FLOOR
- I.D. IDENTIFICATION
- L LENGTH
- L.B. LICENSED BUSINESS
- M MEASURED
- N.A.V.D. NORTH AMERICAN VERTICAL DATUM
- N.G.V.D. NATIONAL GEODETIC VERTICAL DATUM
- O.R.B. OFFICIAL RECORDS BOOK
- P PLAT
- PSM PROFESSIONAL SURVEYOR AND MAPPER
- P.R.M. PERMANENT REFERENCE MONUMENT
- P.G. PAGE
- P.B. PLAT BOOK
- P.K. PARKER KYLON NAIL
- R RADIUS
- R.W. RIGHT OF WAY
- D.E. DRAINAGE EASEMENT
- U.E. UTILITY EASEMENT
- CENTERLINE
- AND NUMBER
- △ DELTA OR CENTRAL ANGLE
- CONCRETE
- CHAIN LINK FENCE
- WOOD FENCE
- MISCELLANEOUS FENCE
- +0.00 TOPOGRAPHIC ELEVATION

ORIGINATION BENCHMARK
 MIAMI-DADE COUNTY
 BENCHMARK "D-180"
 N.G.V.D. ELEVATION = 3.51'

BOUNDARY AND TREE SURVEY WITH TOPOGRAPHIC ELEVATIONS OF
 775 81ST STREET
 MIAMI BEACH, FL. 33141
 PREPARED FOR
 SEBASTIAN BOSCH

Project: C-688040
 Date: 05-01-2025
 Scale: 1"=20'
 1 of 1

6250 N. MILITARY TRAIL
 SUITE 102
 WEST PALM BEACH, FL 33407
 www.compassurveying.net

COMPASS SURVEYING

LB. 7463 PHONE: 561.640.4800 FAX: 561.640.0576

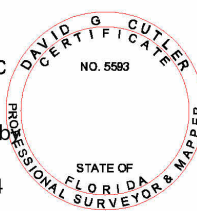
- NOTES:**
- LEGAL DESCRIPTION PROVIDE BY CLIENT
 - NO SEARCH OF THE PUBLIC RECORD FOR THE PURPOSE OF ABSTRACTING TITLE WAS PERFORMED BY THIS OFFICE
 - NO SUBSURFACE IMPROVEMENTS WERE LOCATED AS PART OF THIS SURVEY
 - ALL ANGLES OR BEARINGS AND DISTANCES SHOWN HEREON ARE BOTH RECORD AND MEASURED UNLESS OTHERWISE NOTED
 - SOME FEATURES MAY NOT BE AT SCALE IN ORDER TO SHOW DETAIL.
 - THE BEARINGS SHOWN HEREON ARE BASED UPON THE NORTHERLY PROPERTY LINE, HAVING A BEARING OF S88°18'15"W.

ORIGINAL FIELD WORK COMPLETED BY
 TARGET SURVEYING, LLC.
 SURVEY #: 682779 DATED: 04-01-2025
 DATE OF FIELD WORK: 05-01-2025
 DATE OF MAP: 05-16-2025

REVISIONS:
 1. UPDATED BOUNDARY 08-04-2025

SURVEYORS CERTIFICATE
 I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL, OR A RAISED EMBOSSED SEAL AND SIGNATURE.

David Cutler
 Digitally signed by David Cutler
 Date: 2025.09.04 16:54:20 -04'00'



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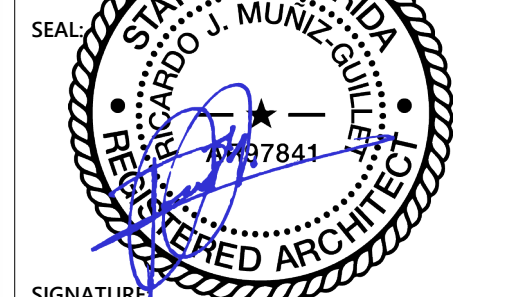
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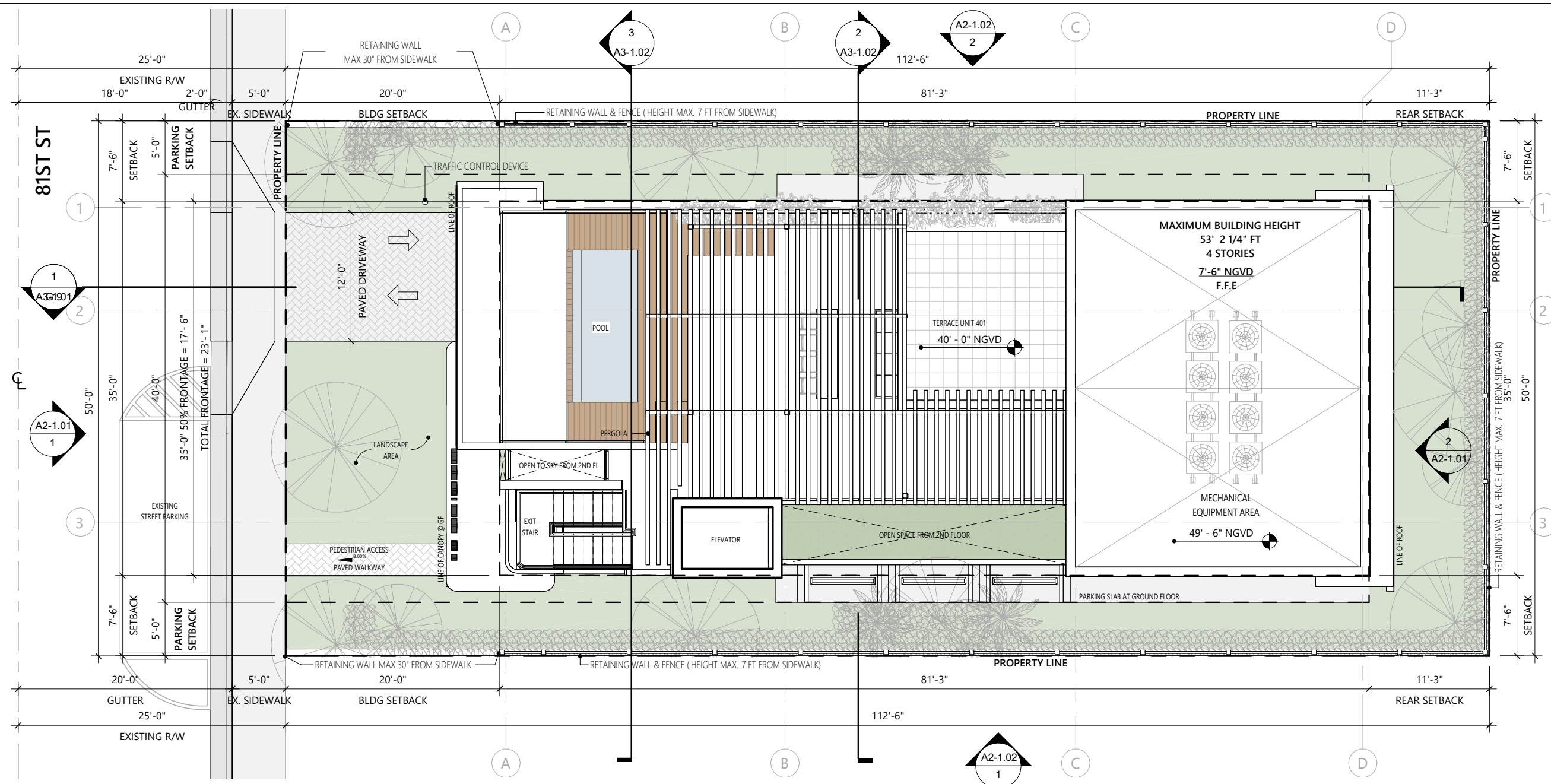
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SURVEY

SCALE:
N.T.S.
 SHEET NO:
G-3
 10/9/2025 4:42:47 PM



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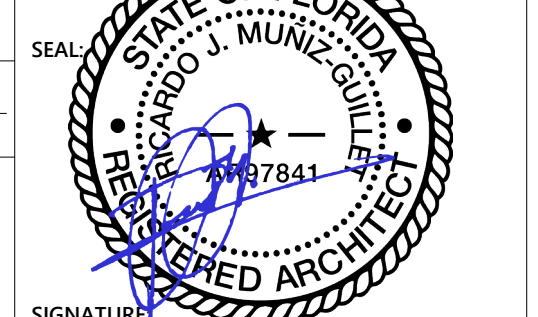
DESIGNER:

 1535 NORTH PARK DRIVE #102 WESTON
 FL 33326
 954 850 9965
 ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITTAL

PERMIT APPLICATION DATE: 07-16-2025
 SHEET ISSUE DATE: 10-10-2025
 PROJECT NO.: 2508
 DRAWN BY: JA APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND MAY ONLY BE DUPLICATED AND REPRODUCED WITH THE WRITTEN CONSENT



SEAL: [Signature]
 SIGNATURE: RICARDO J. MUNIZ-GUILLET
 LIC# AR97841
 SHEET TITLE: **SITE PLAN**

SCALE: **As indicated**

SHEET NO: **G-4**
 10/9/2025 4:42:56 PM

1 SITE PLAN
 3/32" = 1'-0"

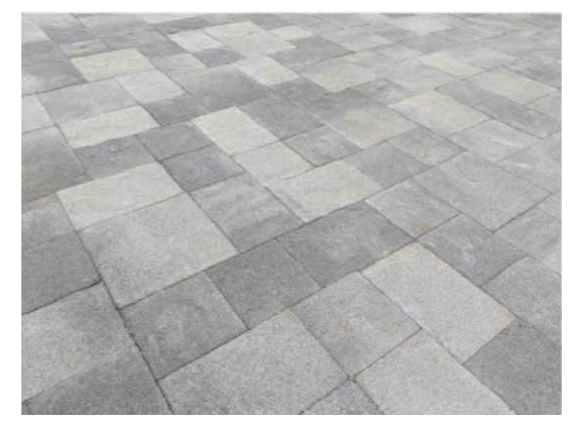
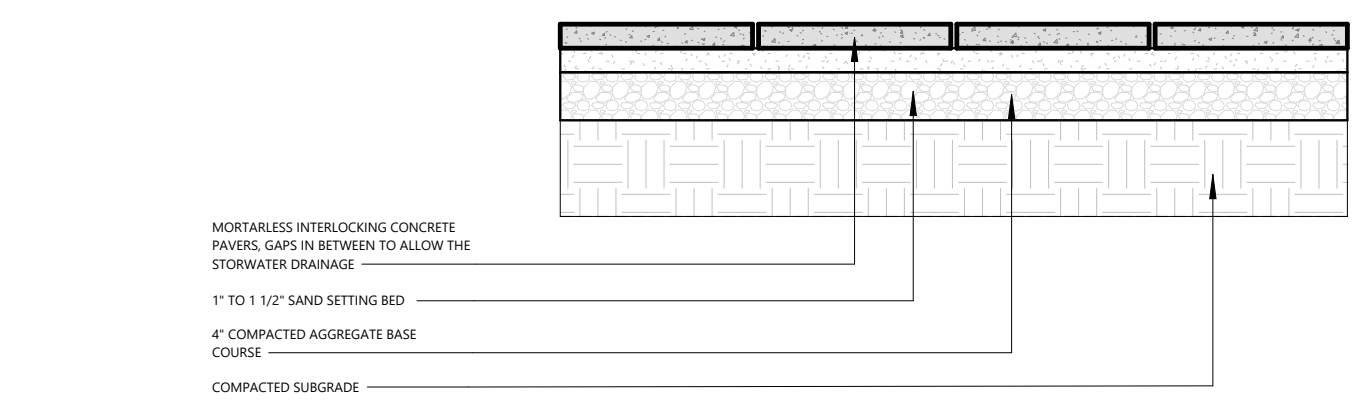


IMAGE ONLY FOR REFERENCE

CONCRETE PAVERS, PLACED WITH A SMALL GAP IN BETWEEN TO ALLOW WATER TO SOAK INTO THE GROUND DURABLE TO HEAVY TRAFFIC. PERVIOUS INTERLOCKING CONCRETE PAVERS CAN PREVENT RUN-OFF FROM HEAVY RAINS. THE PAVERS FILTER STORM WATER THROUGH THEIR JOINTS TO THE BASE LAYERS THAT TRAP MOST OF POLLUTANTS. IN FACT, PERMEABLE PAVERS CAN LOWER NEARLY 80% OF THE TOTAL SUSPENDED SOLID LEVELS IN STORM WATER. BY ENSURING THE INFILTRATION OF RAIN THROUGH ITS LAYERS, PERMEABLE INTERLOCKING CONCRETE PAVERS MAINTAIN HEALTH GOUNDWATER LEVELS, AND SUPPORT THE GROWTH AND SURVIVAL OF PLANT LIFE

2 PAVERS DETAILS
 1/2" = 1'-0"

PROJECT AND OWNER:
MARINA 81

775 81ST ST
MIAMI BEACH | FL | 33141
SEBASTIAN BOSCH

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



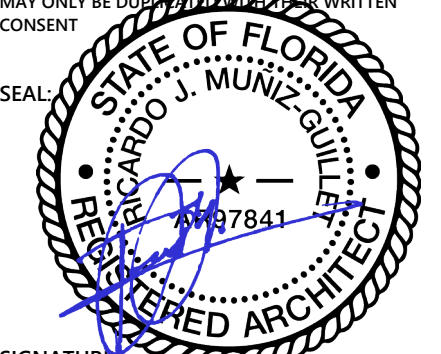
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SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:

AREA DIAGRAMS

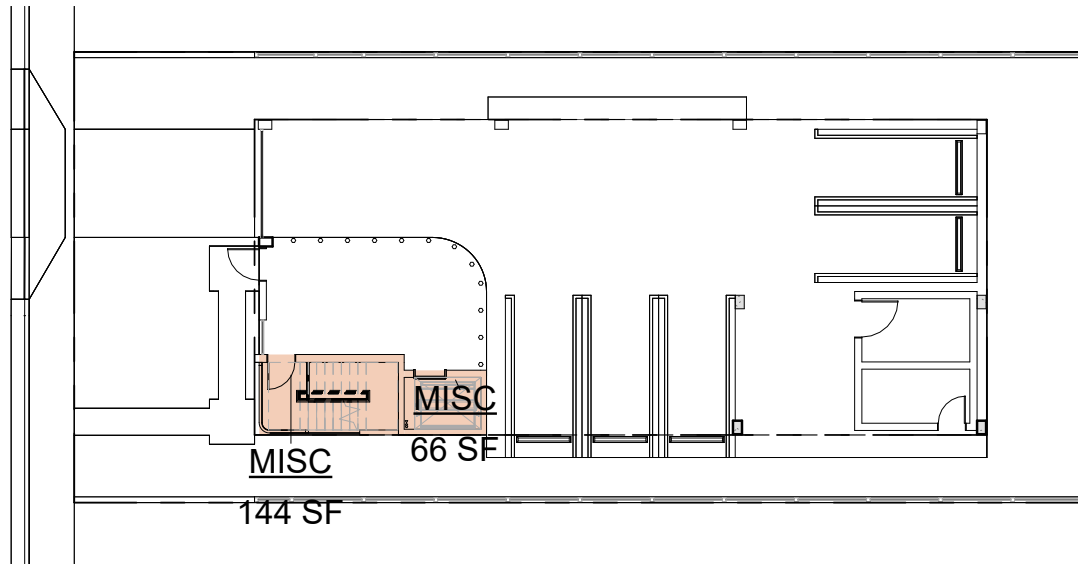
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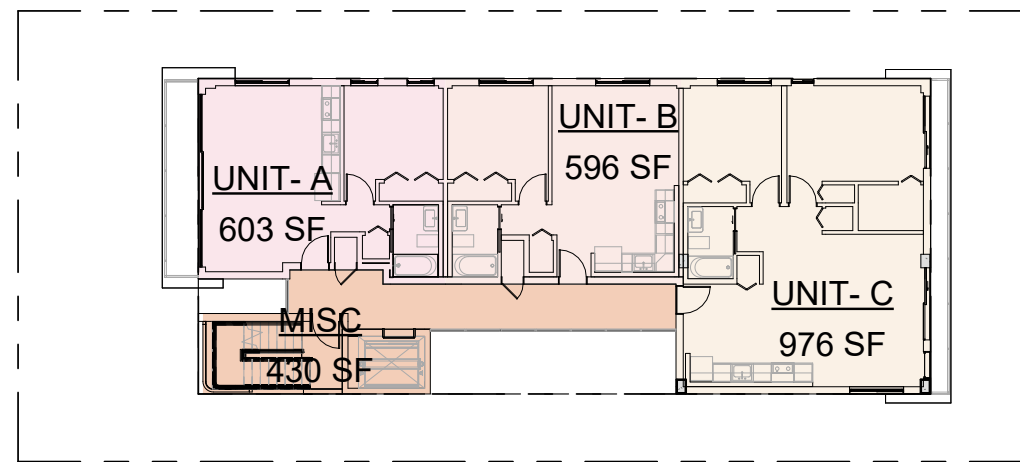
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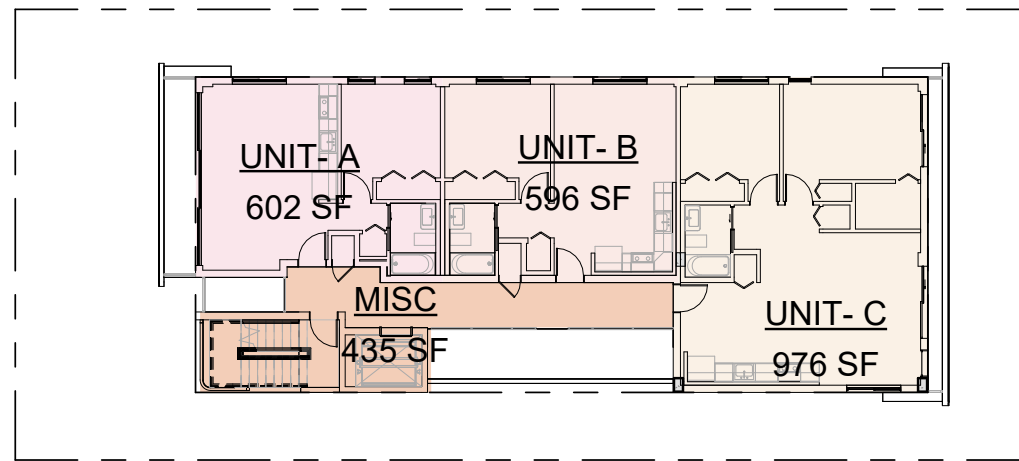
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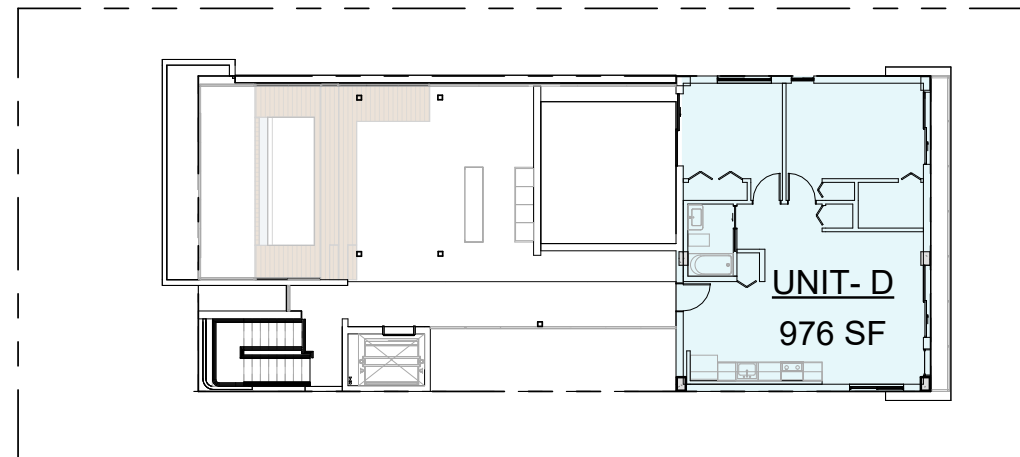
1 LEVEL 1
3/64" = 1'-0"



3 LEVEL 3
3/64" = 1'-0"



2 LEVEL 2
3/64" = 1'-0"



4 LEVEL 4
3/64" = 1'-0"

AREA LEGEND

- MISC
- UNIT- A
- UNIT- B
- UNIT- C
- UNIT- D

TOTAL UNITS

UNIT- A	2	1205 SF
UNIT- B	2	1193 SF
UNIT- C	2	1952 SF
UNIT- D	1	976 SF

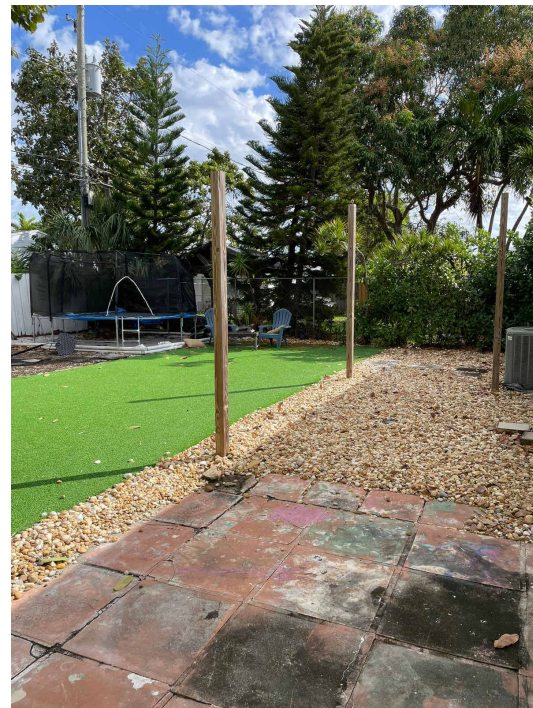
TOTAL UNITS: 7 5326 SF

F.A.R.

MISC	1402 SF	21%
UNIT- A	1205 SF	18%
UNIT- B	1193 SF	18%
UNIT- C	1952 SF	29%
UNIT- D	976 SF	15%
TOTAL SF:	6729 SF	

% MAX F.A.R. = 1.25%
LOT SIZE = 5625 SF
MAX ALLOWED F.A.R. = 7031.25 SF

PROPOSED F.A.R. = 6729 SF
% PROPOSED = 1.19%



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RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



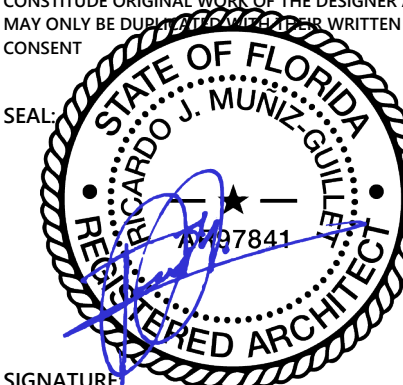
1535 NORTH PARK DRIVE #102 WESTON
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SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:

EXISTING EXT. PICTURES

SCALE:

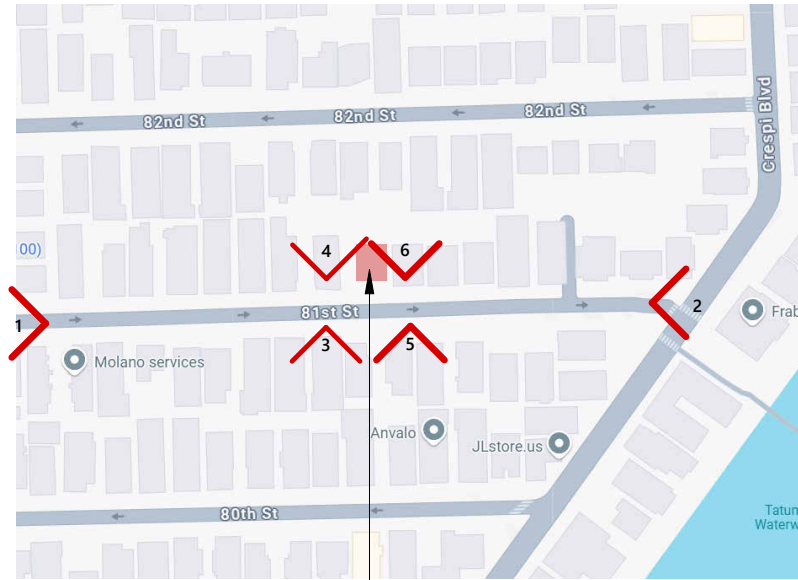
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G-6

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CURRENT EXTERIOR PHOTOGRAPHS, DATED JUNE 16TH, 2025



SUBJECT LOCATION
775 81ST ST | MIAMI BEACH | FL | 33141



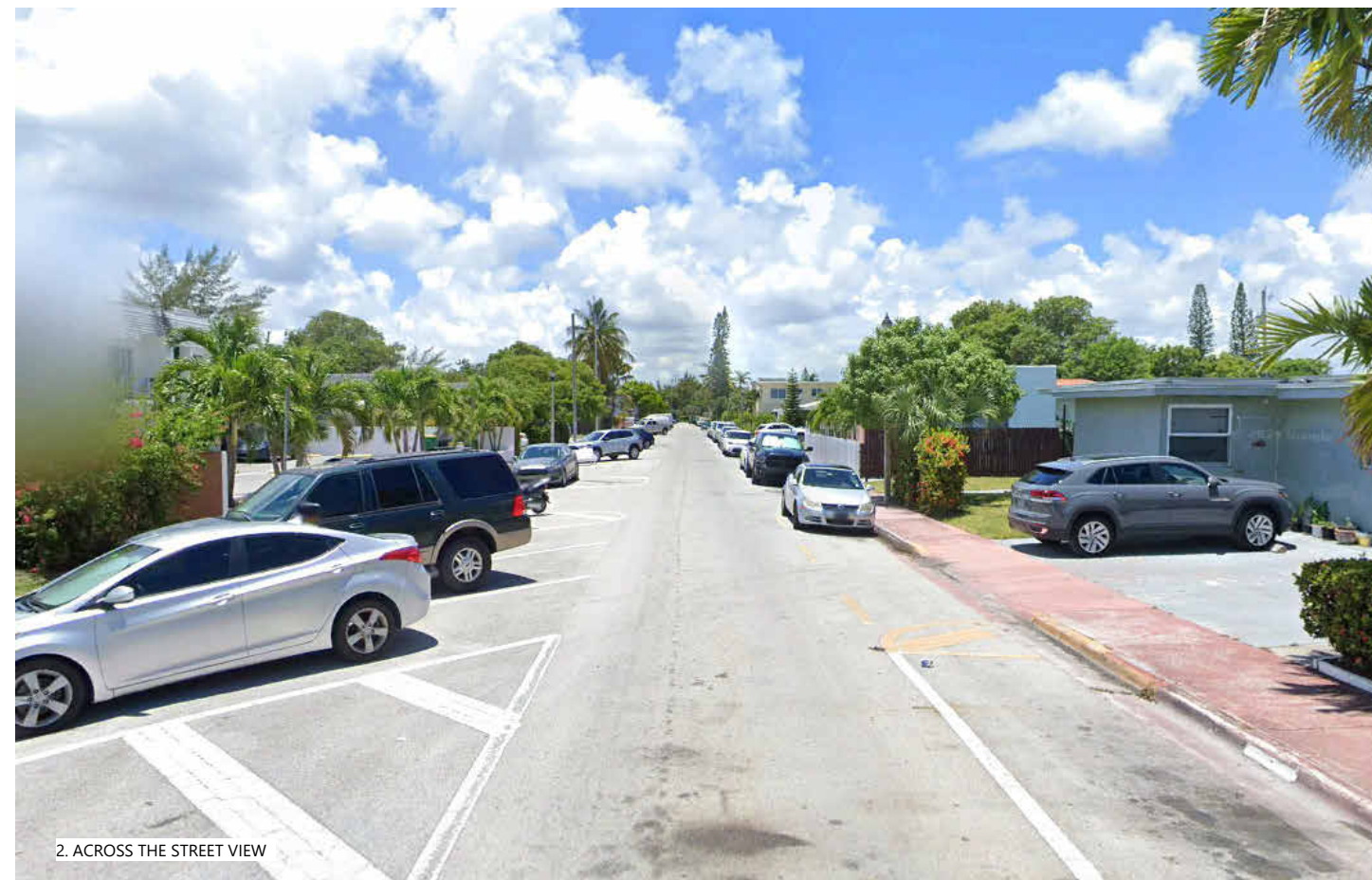
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KEY DIRECTIONAL PLAN

N.T.S.



1. ACROSS THE STREET VIEW



2. ACROSS THE STREET VIEW

CONTEXT PHOTOGRAPHS,
DATED JULY, 2022

PROJECT AND OWNER:
MARINA 81

775 81ST ST
MIAMI BEACH | FL | 33141
SEBASTIAN BOSCH

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



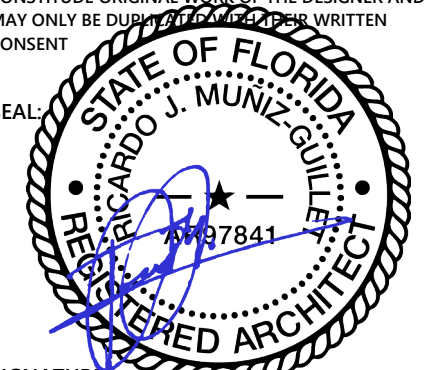
1535 NORTH PARK DRIVE #102 WESTON
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ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITTAL

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SHEET ISSUE DATE: 10-10-2025
PROJECT NO.: 2508
DRAWN BY: JA APPROVED BY: YM

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SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:

SITE & CONTEXT PICTURES

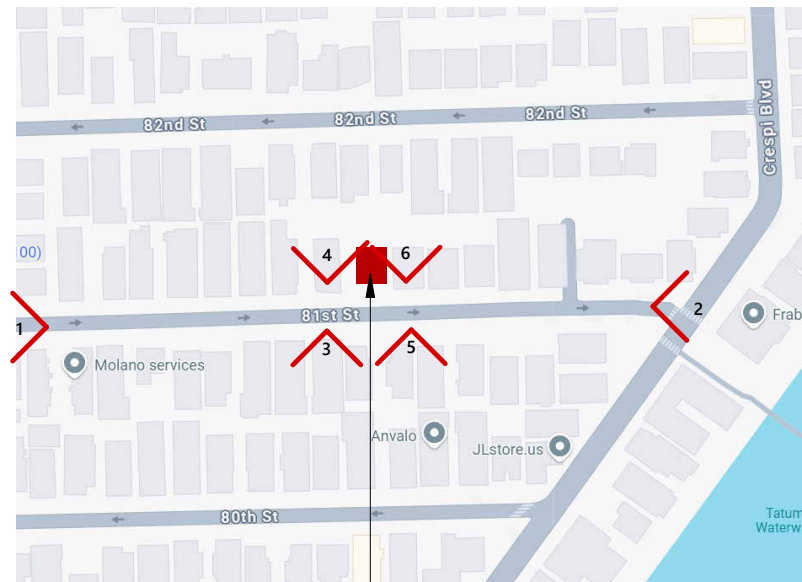
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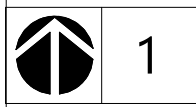
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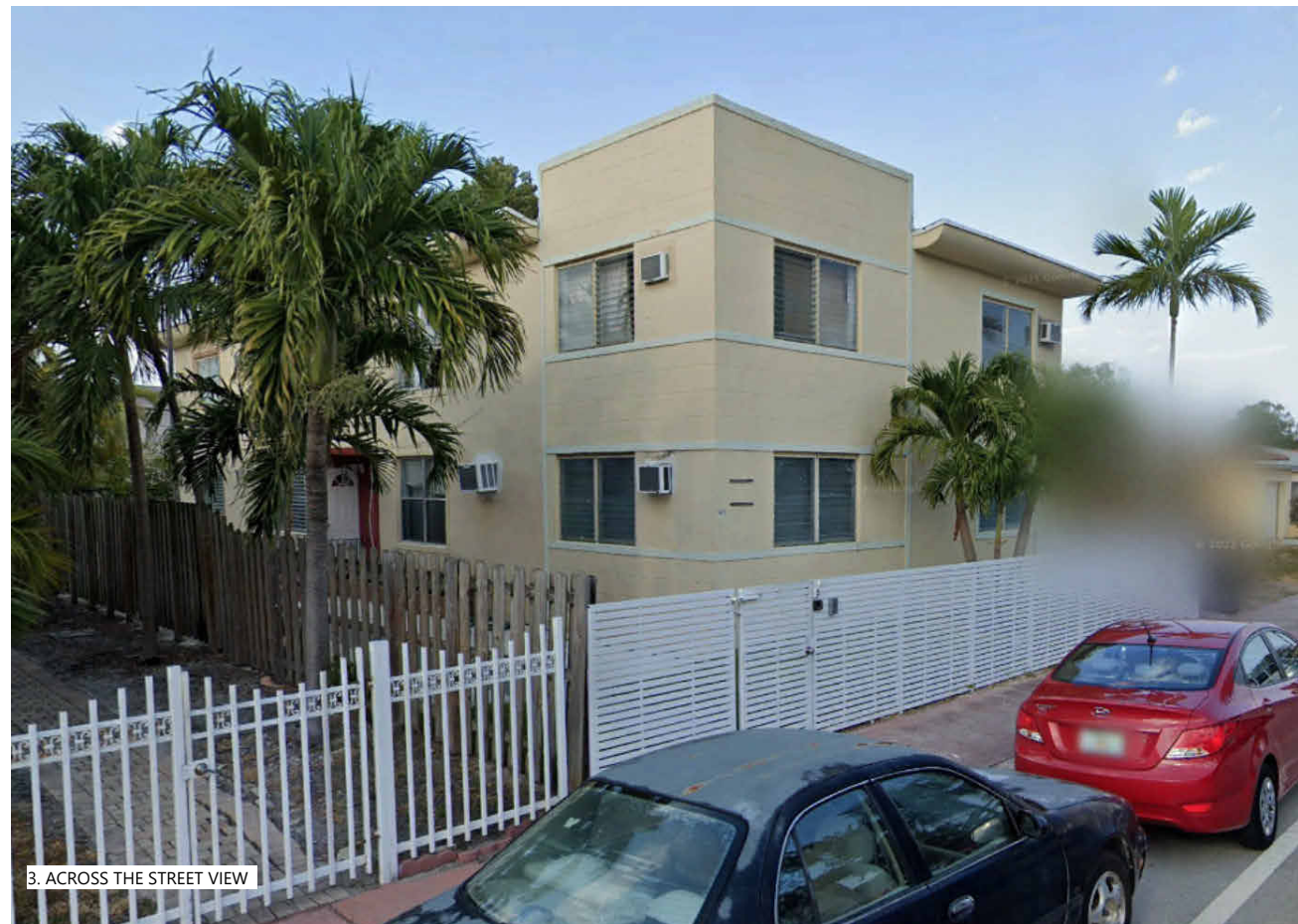


SUBJECT LOCATION
775 81ST ST | MIAMI BEACH | FL | 33141

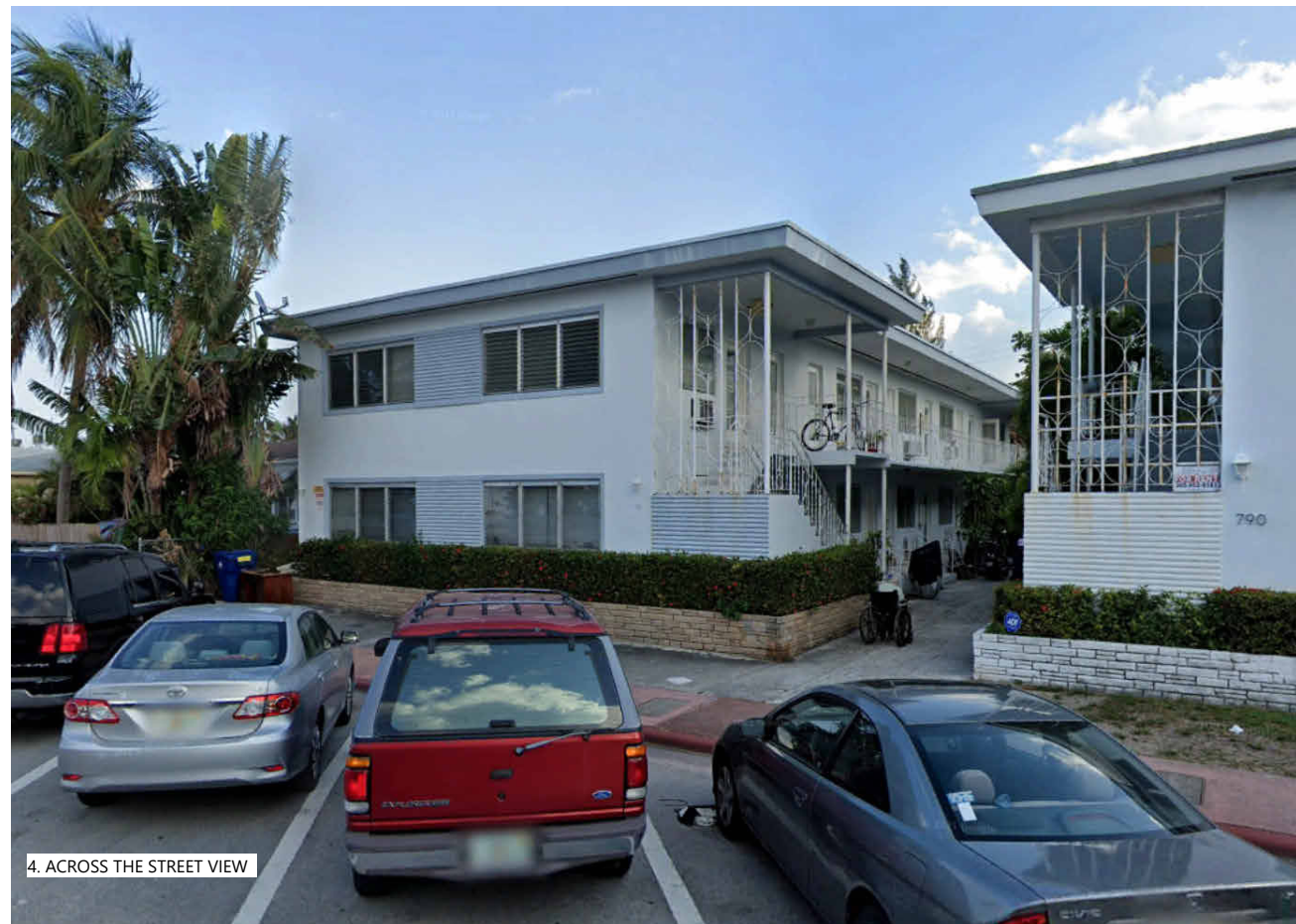


KEY DIRECTIONAL PLAN.

1 1/2" = 1'-0"



3. ACROSS THE STREET VIEW



4. ACROSS THE STREET VIEW

CONTEXT PHOTOGRAPHS,
DATED JULY, 2022

PROJECT AND OWNER:
MARINA 81

775 81ST ST
MIAMI BEACH | FL | 33141
SEBASTIAN BOSCH

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:

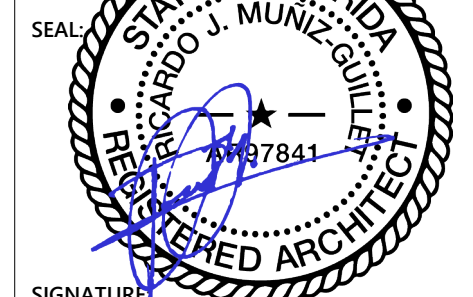


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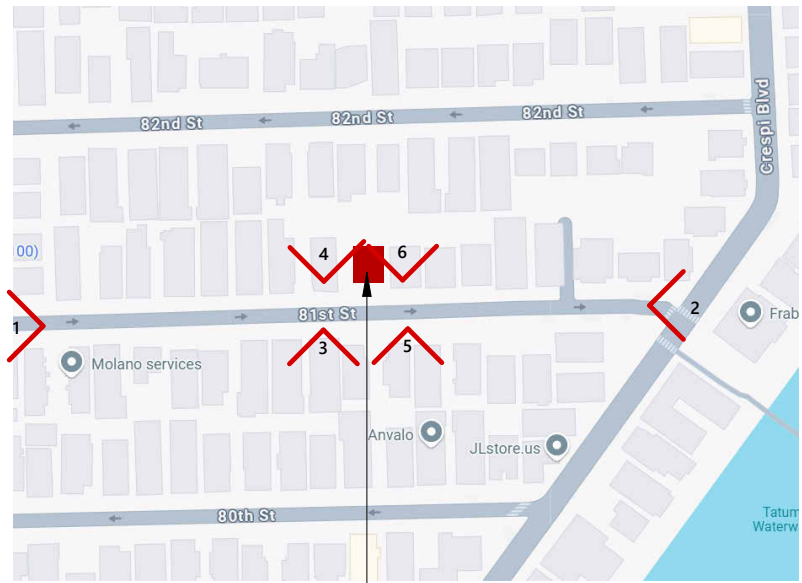
PERMIT APPLICATION DATE: 07-16-2025
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DRAWN BY: JA APPROVED BY: YM

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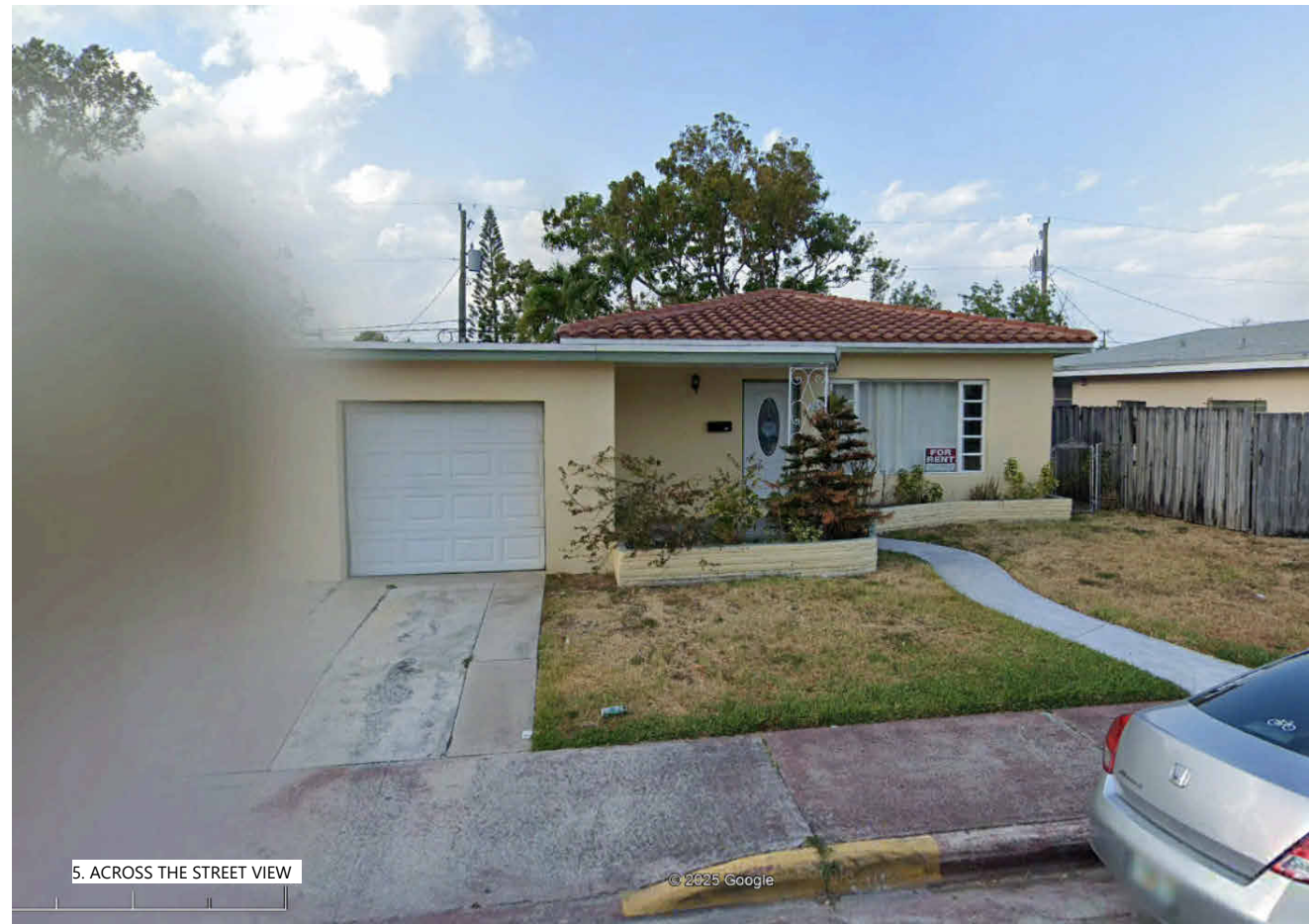
SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841
SHEET TITLE:
SITE & CONTEXT PICTURES

SCALE:
N.T.S.
SHEET NO:
G-7.1



SUBJECT LOCATION
775 81ST ST | MIAMI BEACH | FL | 33141

1 KEY DIRECTIONAL PLAN-
1 1/2" = 1'-0"



5. ACROSS THE STREET VIEW



6. ACROSS THE STREET VIEW

CONTEXT PHOTOGRAPHS,
DATED JULY, 2022

PROJECT AND OWNER:
MARINA 81

775 81ST ST
MIAMI BEACH | FL | 33141
SEBASTIAN BOSCH

ARCHITECT:
2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



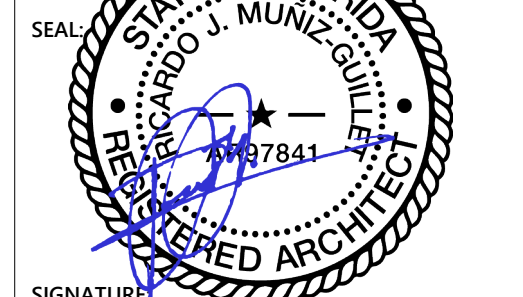
DESIGNER:
REDOCTOPUS.LLC
INTEGRAL ARCHITECTURAL SERVICES
1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM



DRB SUBMITTAL

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SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841
SHEET TITLE:
SITE & CONTEXT PICTURES

SCALE:
N.T.S.
SHEET NO:
G-7.2

10/9/2025 4:43:02 PM

PROJECT AND OWNER:
MARINA 81

775 81ST ST
 MIAMI BEACH | FL | 33141
 SEBASTIAN BOSCH

ARCHITECT:
 2030 HABERSHAM TRCE | CUMMING | GA 30041
 954 812 6650
 RICARDO@MUVEARCH.COM
 AA#26003161



DESIGNER:

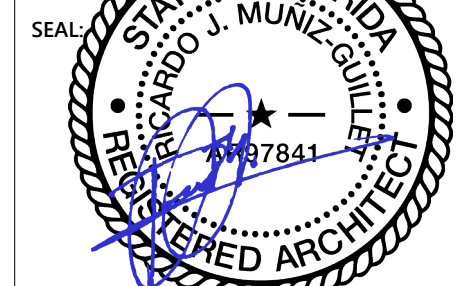


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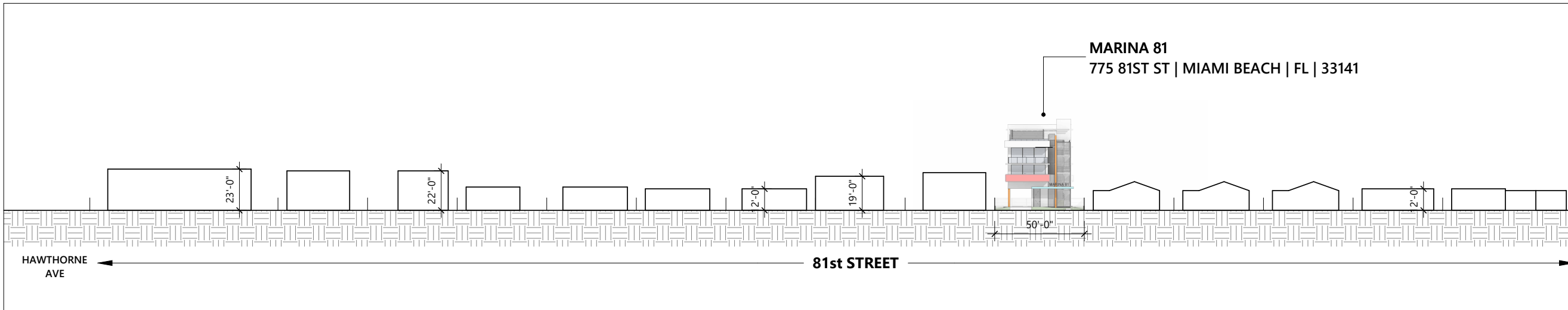


SIGNATURE:
 RICARDO J. MUNIZ-GUILLET
 LIC# AR97841
 SHEET TITLE:
CONTEXTUAL ELEVATION

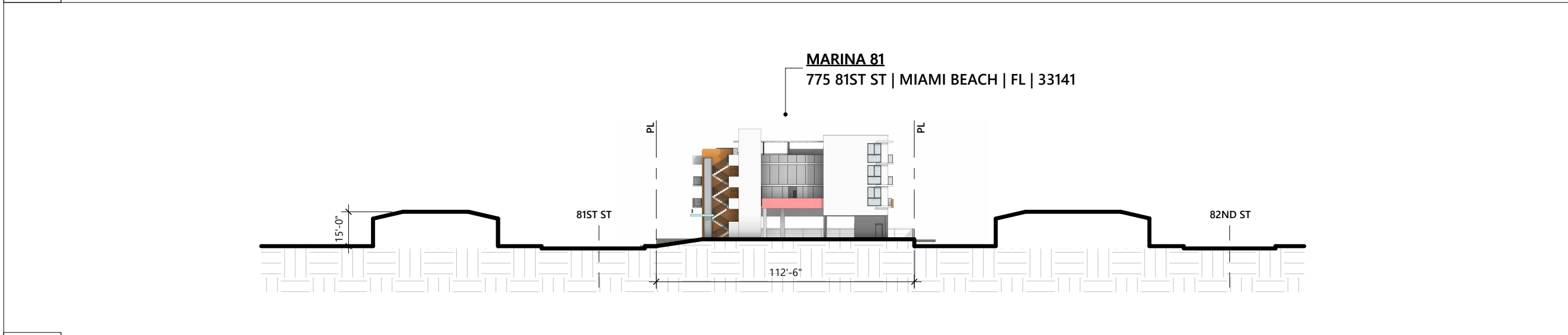
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SHEET NO:
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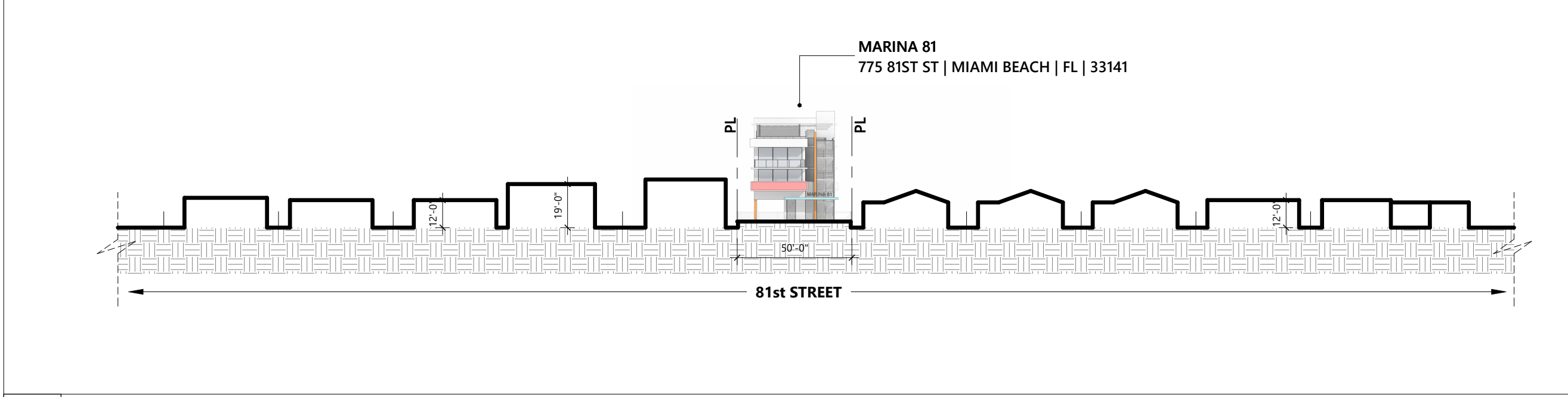
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1 CONTEXTUAL ELEVATION - HAWTHORNE TO CRESPI BLVD.
 1/64" = 1'-0"



2 CONTEXTUAL ELEVATION - ACROSS THE STREET 81st ST. / 82st ST.
 1" = 50'-0"



3 CONTEXTUAL ELEVATION - HAWTHORNE TO CRESPI BLVD. Copy 1
 1" = 50'-0"

PROJECT AND OWNER:
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SEBASTIAN BOSCH

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
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DESIGNER:



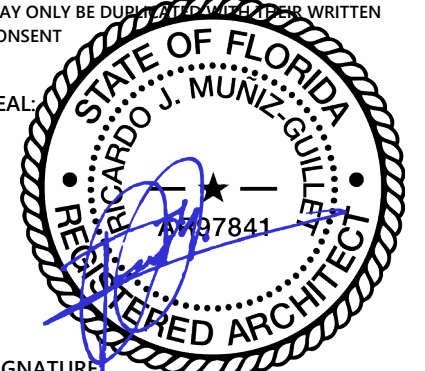
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SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:

**WAIVER DIAGRAM
PROPOSED HEIGHT**

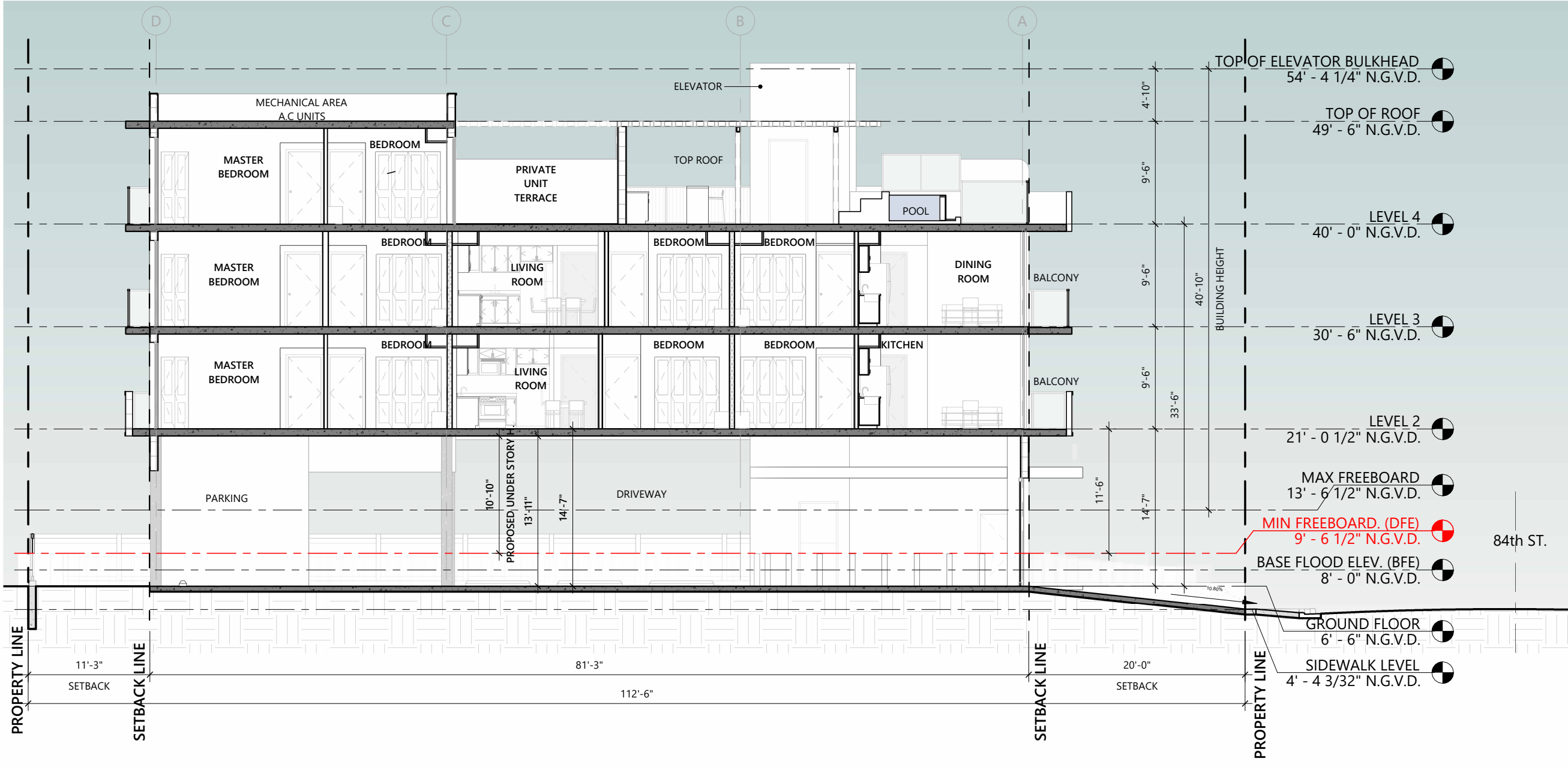
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SHEET NO:

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1 REQUESTED WAIVER DIAGRAM SECTION. (10'-10" UNDER STORY HEIGHT)

3/32" = 1'-0"

1. WAIVER NOTE:

UNDER STORY LEVEL HEIGHT AS PER 7.1.2.2 C.2. a

"A MINIMUM HEIGHT OF 12 FEET SHALL BE PROVIDED, AS MEASURED FROM BASE FLOOD ELEVATION PLUS MINIMUM FREEBOARD TO THE UNDERSIDE OF THE FIRST FLOOR SLAB. THE DESIGN REVIEW BOARD OR HISTORIC PRESERVATION BOARD, AS APPLICABLE, MAY WAIVE THIS HEIGHT REQUIREMENT BY UP TO TWO FEET, IN ACCORDANCE WITH THE DESIGN REVIEW OF CERTIFICATE OF APPROPRIATENESS CRITERIA, AS APPLICABLE."

A WAIVER IS REQUESTED TO REDUCE THE REQUIRED MINIMUM VERTICAL CLEARANCE FROM 12'-0" TO 10'-10", MEASURED FROM THE MINIMUM FREEBOARD (DFE) TO THE UNDERSIDE OF THE SECOND-FLOOR SLAB.

PROJECT AND OWNER:
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DESIGNER:



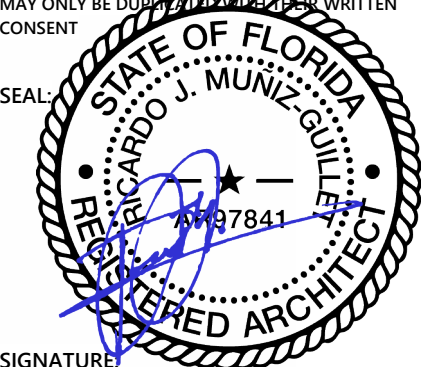
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SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:

DIAGRAM REQUIRED 12FT UNDER STORY H.

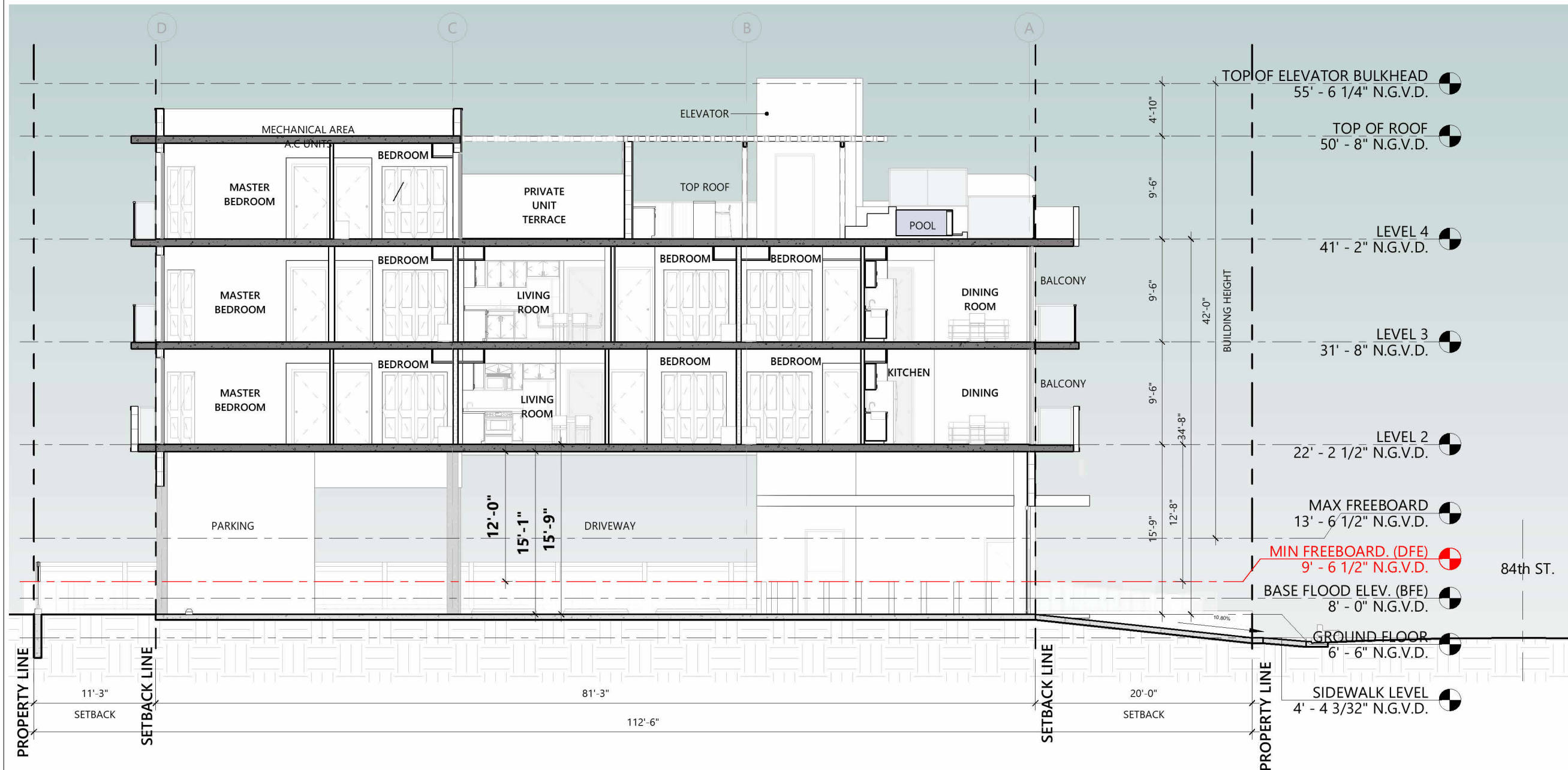
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1

WAIVER DIAGRAM SECTION REQUIRED 12'-0" H.








3/32" = 1'-0"

1. WAIVER NOTE:

UNDER STORY LEVEL HEIGHT AS PER 7.1.2.2 C.2. a







"A MINIMUM HEIGHT OF 12 FEET SHALL BE PROVIDED, AS MEASURED FROM BASE FLOOD ELEVATION PLUS MINIMUM FREEBOARD TO THE UNDERSIDE OF THE FIRST FLOOR SLAB. THE DESIGN REVIEW BOARD OR HISTORIC PRESERVATION BOARD, AS APPLICABLE, MAY WAIVE THIS HEIGHT REQUIREMENT BY UP TO TWO FEET, IN ACCORDANCE WITH THE DESIGN REVIEW OF CERTIFICATE OF APPROPRIATENESS CRITERIA, AS APPLICABLE."

A WAIVER IS REQUESTED TO REDUCE THE REQUIRED MINIMUM VERTICAL CLEARANCE FROM 12'-0" TO 10'-10", MEASURED FROM THE MINIMUM FREEBOARD (DFE) TO THE UNDERSIDE OF THE SECOND-FLOOR SLAB.

WALL LEGEND	
	 TYPICAL 4" INTERIOR PARTITION NON-RATED
	 EXTERIOR - EXISTING TO REMAIN
	 INTERIOR - EXISTING TO REMAIN
	 TO BE DEMOLISHED

ALL LIFE SAFETY EQUIPMENT TO REMAIN OPERABLE DURING DEMOLITION

DEMOLITION PLAN KEYNOTES

-  REMOVE EXISTING INTERIOR PARTITION
 -  REMOVE EXISTING DOOR
 -  REMOVE PLUMBING FIXTURES, CAP EXISTING CONNECTIONS AND COVER ALL SANITARY AND DRAINAGE LINES TO PREVENT THE INTRUSION OF DEBRIS
 -  REMOVE FINISH FLOOR
 -  REMOVE KITCHEN APPLIANCES CABINETS AND COUNTERTOPS
 -  REMOVE EXISTING CEILING
- COORDINATE SELECTIVE REMOVAL / RELOCATION OF LIGHT LIXTURES, ELECTRICAL WIRES, CONDUITS, "J" BOXES, DUCT WORK, DIFFUSERS, GRILLS.
- REMOVE ALL DUCTWORK, DIFFUSERS, GRILLS, LIGHTS, AND CLEAN THE BOTTOM OF THE SLAB FROM REMAINING DEBRIS.
- SPRINKLER LINES TO REMAIN AND BE RELOCATED PER REVISED PLAN

DEMOLITION NOTES

02110 DEMOLITION

1. PROVIDE LABOR, MATERIALS AND EQUIPMENT TO PERFORM ALL DEMOLITION AND REMOVAL WORK SHOWN, SPECIFIED OR REQUIRED TO COMPLETE THE WORK.

"TITLE OF PROPERTY": EXCEPT AS OTHERWISE SPECIFIED, OR INDICATED, ALL SALVAGE- ABLE MATERIAL AND EQUIPMENT TO BE DISCONNECTED AND REMOVED SHALL BECOME THE PROPERTY OF THE OWNER TO BE ASSIGNED AND DISPOSED OF BY THE CONTRACTOR AT THE OWNERS DIRECTION. CONTRACTOR SHALL SUBMIT TO OWNER REFERENCES AND EXPERIENCE OF TRADES FOR REVIEW AND APPROVAL. THESE ITEMS MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

1. EQUIPMENT, CONDUIT, LIGHT FIXTURES, TOILET FIXTURES AND FITTINGS, WINDOWS/DOORS AND MECHANICAL ITEMS. PROTECTION OF PERSONS AND PROPERTY: SHALL BE PROVIDED THROUGHOUT THE PROGRESS OF THE WORK. THE WORK SHALL PROCEED IN SUCH A MANNER AS TO MINIMIZE THE SPREAD OF DUST AND FLYING PARTICLES AND TO PROVIDE SAFE WORKING CONDITIONS FOR PERSONNEL.

2. DISCONNECTION OF SERVICES: BEFORE STARTING THE WORK, ALL AFFECTED UTILITIES SHALL BE DISCONNECTED UNLESS OTHERWISE INDICATED OR DIRECTED. ALL UTILITY MAINS SHALL BE SEALED IN AN APPROVED MANNER. IF IT BECOMES NECESSARY TO INTERRUPT THE UTILITY SERVICE TO UTILITIES NOT PART OF THIS CONTRACT, PRIOR APPROVAL SHALL BE OBTAINED IN WRITING FROM THE OWNER.

3. CONTRACTOR SHALL INVESTIGATE THE EXISTENCE OF ASBESTOS AND NOTIFY THE OWNER BEFORE PROCEEDING WITH DEMOLITION WORK.

SCOPE OF WORK
 CONTRACTOR TO OBTAIN ALL NECESSARY BUILDING PERMITS.
 DEMOLITION AND REMOVAL FOR BUILDING AS INDICATED ON DRAWINGS.
 CONTRACTOR TO REMOVE ALL PARTITIONS, WALLS, PLUMBING AS INDICATED IN THE DRAWINGS.
 THE ABOVE SCOPE OF WORK IS NOT EXHAUSTIVE. REFERENCE SHOULD BE MADE TO EXISTING SITE CONDITIONS TO VERIFY EXTENT OF REMOVALS TO COMPLETE THE PROJECT. SHOULD THERE BE A QUESTION AS TO THE REMOVAL OF ANY PORTION OF THE PROJECT, THE CONTRACTOR SHOULD REQUEST CLARIFICATION FROM THE OWNER.

EXECUTION
 ALL DEMOLITION SHALL BE CARRIED OUT WITH MINIMUM DAMAGE TO ADJOINING WORK. HOLES OR OTHER DAMAGE LEFT BY THE CONTRACTOR IN EXISTING BUILDING SURFACES SHALL BE REPAIRED TO MATCH THE EXISTING ADJACENT SURFACE. ASSIGN REMOVAL AND CUTTING WORK TO TRADES EXPERIENCED IN THE PARTICULAR WORK TO AVOID UNNECESSARY DAMAGE DUE TO UNSKILLED WORKMANSHIP.
 REMOVE ALL DEBRIS AND MATERIAL RESULTING FROM DEMOLITION OFF THE SITE AT THE END OF EACH WORKING DAY.
 THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO EXISTING WIRING, PIPING, TUBING AND EQUIPMENT. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL DAMAGE TO EXISTING STRUCTURE CAUSED BY HIS OPERATIONS. ALL DEMOLITION WORK SHALL BE UNDERTAKEN IN ACCORDANCE WITH REQUIREMENTS OF REGULATIONS OSHA AND OF LOCAL AUTHORITIES AND APPLICABLE BUILDING CODES. DEMOLITION WORK SHALL BE COORDINATED WITH BUILDING MANAGEMENT.

NOTE:

1. THE REMOVAL OF THE WALLS MUST BE PERFORMED CAREFULLY TO ENSURE EXISTING PLUMBING VENT AND SANITARY STACKS WILL NOT BE DAMAGED AND/OR MODIFIED IN ANY MANNER. IF A PLUMBING/VENT STACK IS TO BE CONCEALED WITHIN A WALL THE GENERAL CONTRACTOR NEEDS TO ASCERTAIN THAT, BEFORE THE PLUMBING STACK IS COVERED WITHIN ANY ARCHITECTURAL FINISH, COLUMN ELEMENT OR WALL SECTION, THAT THE FIRE RATED SEALANTS THAT SEPARATE THE UNITS AT THE SLABS ARE C PRESENT.

2. THE EXISTING/REMAING SMOKE DETECTORS AS WELL AS FIRE ALARM SYSTEM SPEAKERS AND ASSOCIATED WIRING SHOULD BE PROTECTED FROM DUST, PAINT OR ANY TYPE OF DAMAGE DURING CONSTRUCTION.

3. ANY NEW OPENINGS, PENETRATIONS, AND/OR MODIFICATIONS TO EXISTING STRUCTURAL COMPONENTS (INCLUDING AND NOT LIMITED TO WALLS, SLABS, COLUMNS, BEAMS, ETC) ARE STRICTLY NOT PERMITTED WITHOUT PRIOR APPROVAL BY THE BUILDING'S ASSOCIATION.

4. ANY AND ALL FIRE SPRINKLER SYSTEM WORK SHOULD BE PERFORMED BY THE ASSOCIATION'S FIRE SPRINKLER CONTRACTOR THAT IS RESPONSIBLE FOR MAINTAINING AND REPAIRING THE FIRE SPRINKLER SYSTEM ON A BUILDING WIDE BASIS.

GENERAL DEMOLITION NOTES

1. BEFORE BEGINNING WORK AT THE SITE, WHERE POSSIBLE, AND THROUGH THE COURSE OF THE WORK, INSPECT AND VERIFY THE LOCATION AND CONDITION OF EVRY ITEM AFFECTED BY THE WORK UNDER THIS CONTRACT AND REPORT ANY DISCREPANCIES TO THE OWNER BEFORE DOING WORK RELATED OT THAT INSPECTION.
2. DRAWINGS SHOW PRINCIPAL AREAS WHERE WORK MUST BE COMPLETED UNDER THIS CONTRACT, INCIDENTAL WORK MUST ALSO BE NECESSARY ON AREAS NOT SHOWN IN THE DRAWINGS DUE TO CHANGES AFFECTING EXISTING MECHANICAL, ELECTRICAL, PLUMBING OR OTHER SYSTEMS, SUCH INCIDENTAL WORK IS ALSO AS PART OF THIS CONTRACT. INSPECT THOSE AREAS, AND AS CERTAIN WORKNEEDED AND TO THAT WORK ACCORD WITH THE CONTRACT REQUIREMENTS, AT NO ADDITIONAL COST.
3. TAKE ALL NECESSARY PRECAUTIONS TO GUARD AGAINST ANY AND ALL POSSIBLE HAZARDOUS CONDITIONS (I.E. EXPOSED "HOT" WIRING, MATERIALS PLACED IN TRAFFIC PATHS CREATING A "TRIPPING" HAZARD, ETC.) WHICH MIGHT OCCUR AS A RESULT OF DEMOLITION AND CONSTRUCTION.
4. IF UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS, WHICH CONFLICT WITH INTENDED FUNCTION OR DESIGN AR ENCOUNTERED, INVESTIGATE AND MEASURE BOTH NATURE OF EXTENT OF THE CONFLICT. SUBMIT REPORT TO OWNERS REPRESENTATIVE IN WRITTEN, ACCURATE DETAIL.
5. IN ALL ACTIVITIES, COMPLY WITH PERTINENT REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION.
6. UPON COMPLETION OF DEMOLITION WORK, REMOVE DEBRIS, RUBBISH AND OTHER MATERIALS FROM BUILDING SITE. TRANSPORT AND LEGALLY DISPOSE OF MATERIALS OFF SITE. LEAVE RESULTING DEBRIS FROM INTERIOR AREAS BROOM CLEAN.
7. USE SAW CUT TO REMOVE MASONRY WHERE REMAINING MASONRY IS TO BE EXPOSED.
8. PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED AND ADJACENT EXISTING STRUCTURES TO REMAIN. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
9. BEFORE ANY STRUCTURAL DEMOLITION CAN START, CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER FOR AUTHORIZATION.
10. DEMOLITION OPERATION SHALL BE EXECUTED BY ADEQUATE NUMBER OF SKILLED WORKERS EXPERIENCED IN THE NECESSARY CRAFTS. SHUT OFF, CAP AND OTHERWISE PROTECT MECHANICAL AND ELECTRICAL INSTALLATIONS, WORK IN PUBLIC UTILITY LINES SHALL BE COORDINATED WITH THE AGENCY OR UTILITY HAVING JURISDICTION AND THE CONTRACTOR SHALL PROTECT EXISTING INSTALLATIONS ACCORDING TO THEIR REQUIREMENTS.
11. ITEMS INDICATED TO BE REMOVED BUT OF SALVABLE VALUE TO THE CONTRACTOR, AND NOT TO BE KEPT BY THE OWNER, MAY BE REMOVED FROM THE STRUCTURE AS WORK PROGRESSES. TRANSPORT SALVAGED ITEMS FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED. MATERIALS AND EQUIPMENT TO BE REUSED SHALL BE TREATED WITH CARE AND REINSTALLED AS SHOWN ON PLANS.
12. G.C. SHALL REPAIR AT HIS OWN COST ANY DAMAGES TO THE PREMISES OR ADJACENT WORK CAUSED BY HIS OPERATION. FIRE PROTECTION WILL BE PROVIDED FROM THE OCCUPIED SIDE OF THE BUILDING TO THE DEMO SIDE.

PROJECT AND OWNER:
MARINA 81
 775 81ST ST
 MIAMI BEACH | FL | 33141
 SEBASTIAN BOSCH

ARCHITECT:
 2030 HABERSHAM TRCE | CUMMING | GA 30041
 954 812 6650
 RICARDO@MUVEARCH.COM
 AA#26003161



DESIGNER:

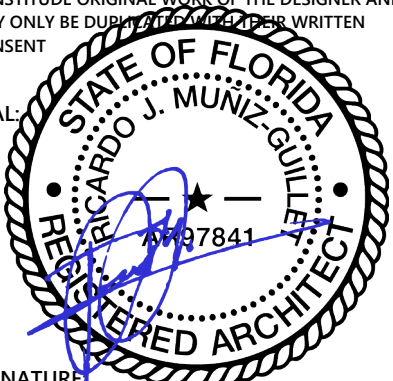


1535 NORTH PARK DRIVE #102 WESTON
 FL 33326
 954 850 9965
 ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITTAL

PERMIT APPLICATION DATE: 07-16-2025
 SHEET ISSUE DATE: 06-15-2025
 PROJECT NO.: 2508
 DRAWN BY: J APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND MAY ONLY BE DUPLICATED AND REPRODUCED WITH THE WRITTEN CONSENT



SEAL: RICARDO J. MUNIZ-GUILLET, REGISTERED ARCHITECT, STATE OF FLORIDA, LIC# AR97841

SIGNATURE: RICARDO J. MUNIZ-GUILLET, LIC# AR97841

SHEET TITLE: **DEMOLITION NOTES**

SCALE: **N.T.S.**

SHEET NO: **D1-1.00**

10/9/2025 4:43:15 PM

PROJECT AND OWNER:
MARINA 81

775 81ST ST
 MIAMI BEACH | FL | 33141
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ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
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DESIGNER:

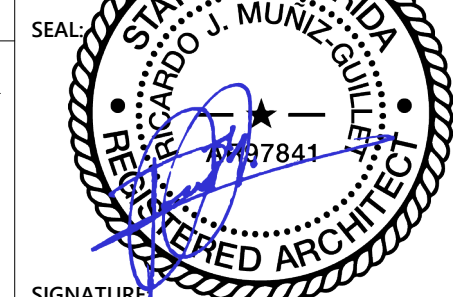


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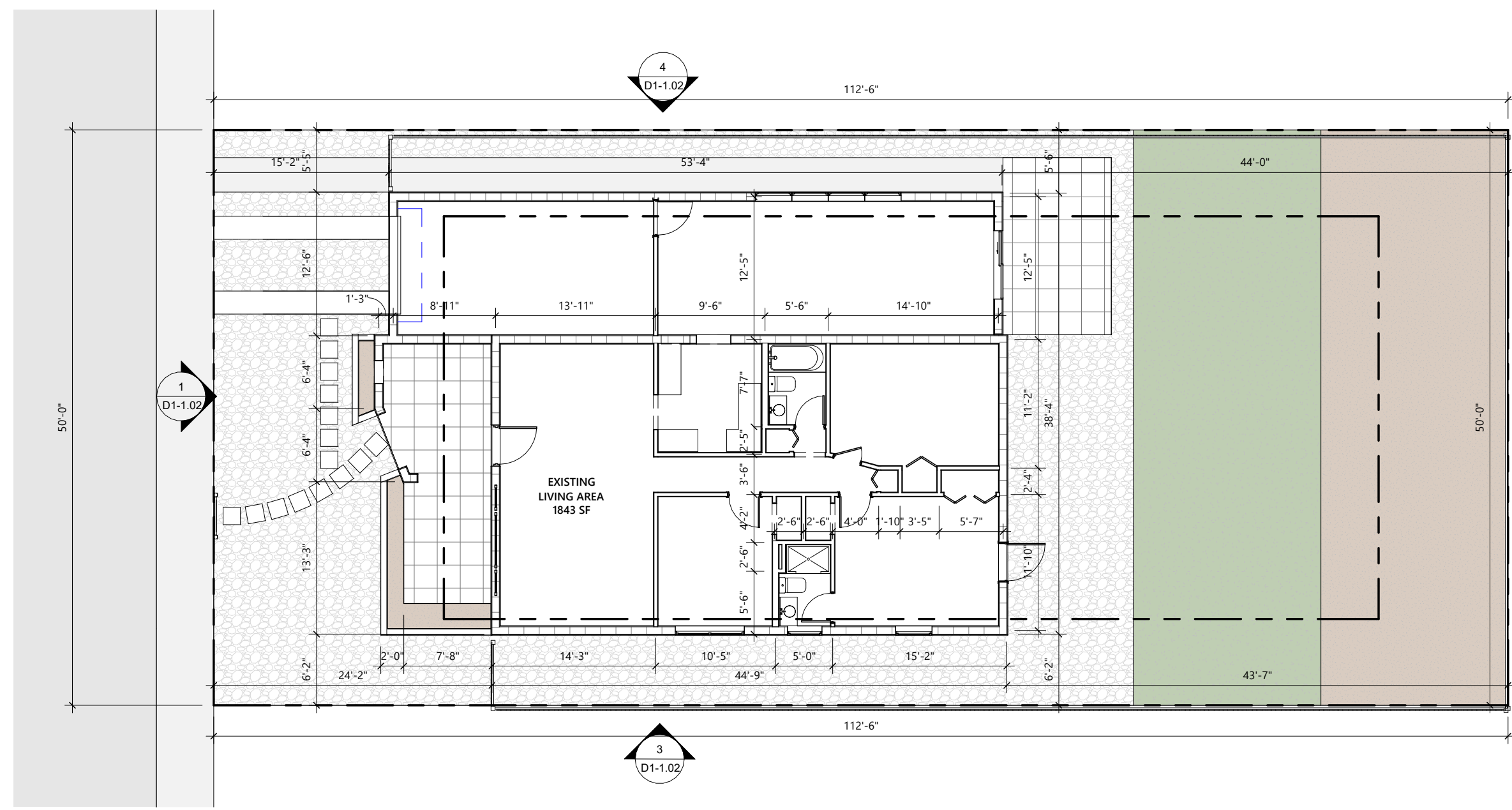
SIGNATURE:
 RICARDO J. MUNIZ-GUILLET
 LIC# AR97841

SHEET TITLE:
**EXISTING GROUND LEVEL
 FLOOR PLAN**

SCALE:
3/32" = 1'-0"

SHEET NO:
D1-1.01

10/9/2025 4:43:17 PM



1 EXISTING GROUND LEVEL PLAN
 3/32" = 1'-0"

PROJECT AND OWNER:
MARINA 81

775 81ST ST
MIAMI BEACH | FL | 33141
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ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
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DESIGNER:



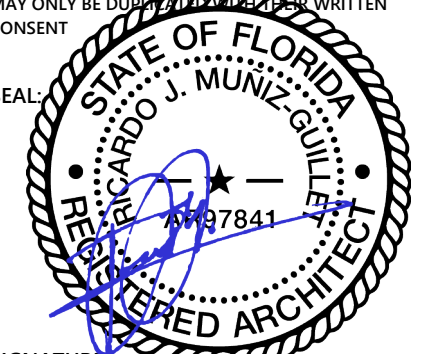
1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITTAL

PERMIT APPLICATION DATE: 07-16-2025
SHEET ISSUE DATE: 06-15-2025
PROJECT NO.: 2508
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SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:

EXISTING ELEVATION

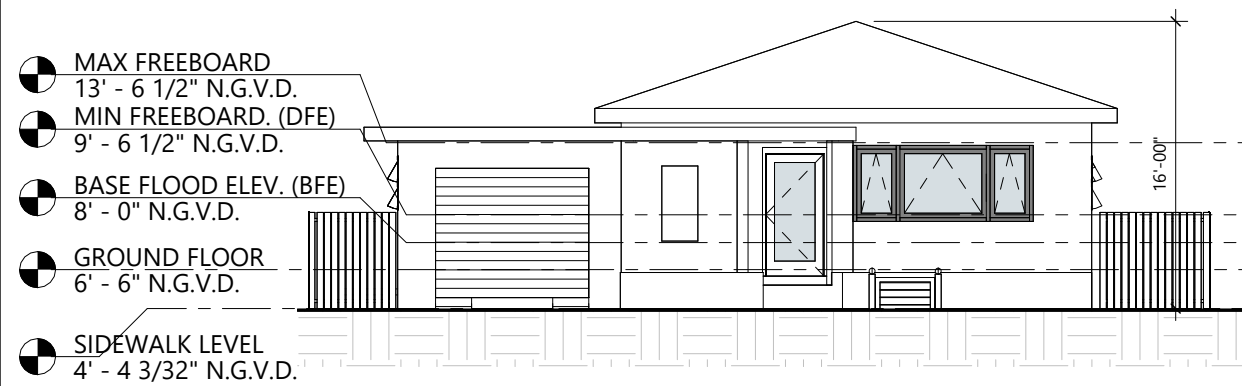
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3/32" = 1'-0"

SHEET NO.:

D1-1.02

10/9/2025 4:43:19 PM

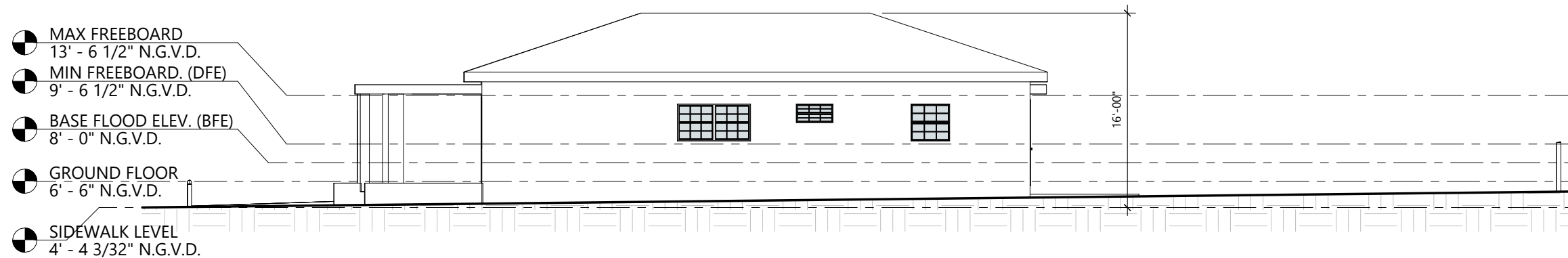


1 EXISTING SOUTH ELEVATION

3/32" = 1'-0"

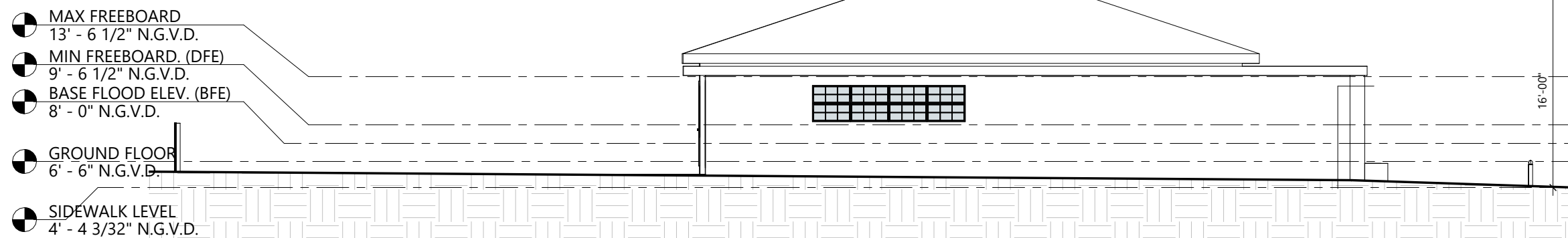
2 EXISTING NORTH ELEVATION

3/32" = 1'-0"



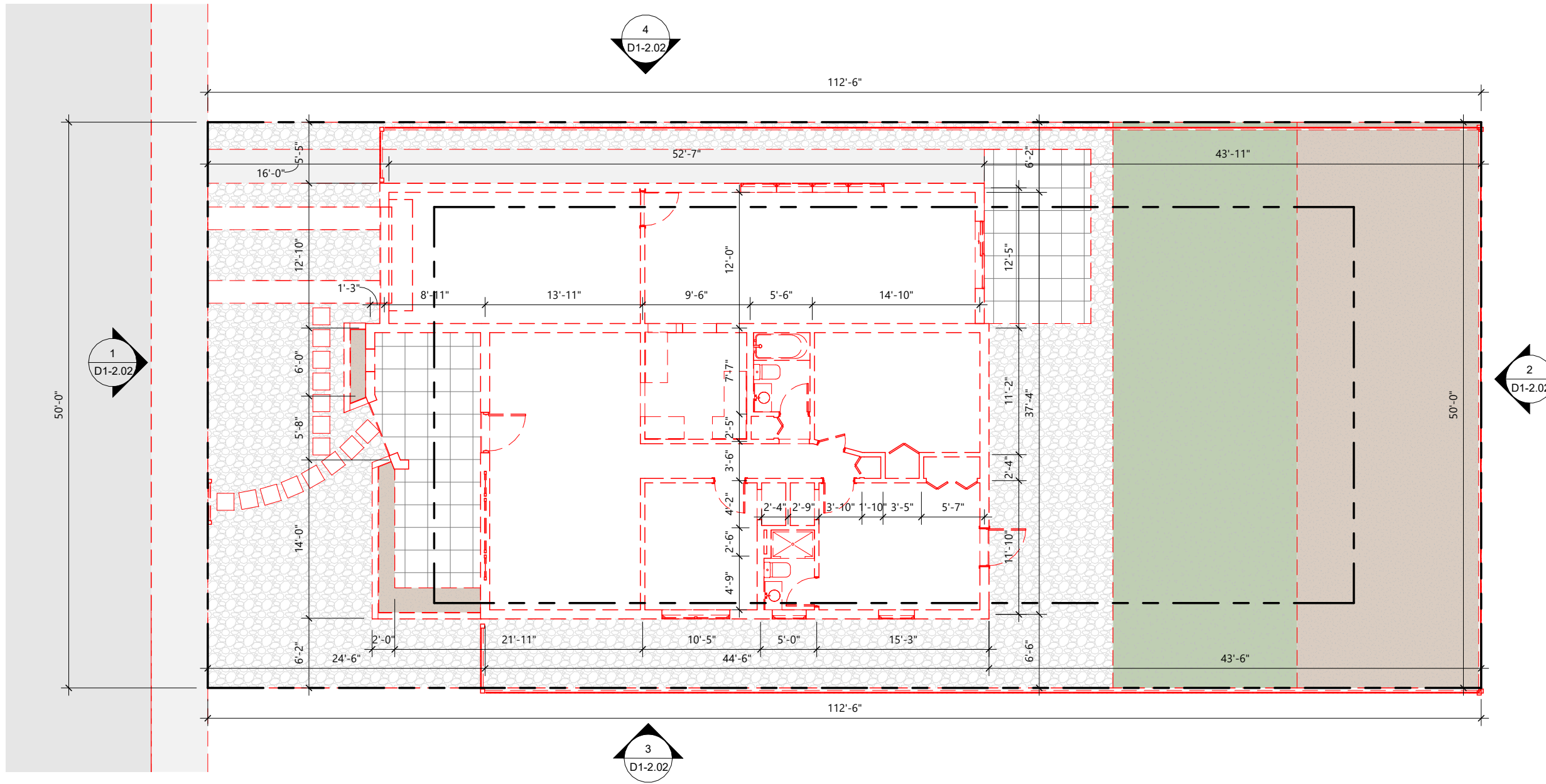
3 EXISTING EAST ELEVATION

3/32" = 1'-0"



4 EXISTING WEST ELEVATION

3/32" = 1'-0"




PROJECT AND OWNER:
MARINA 81

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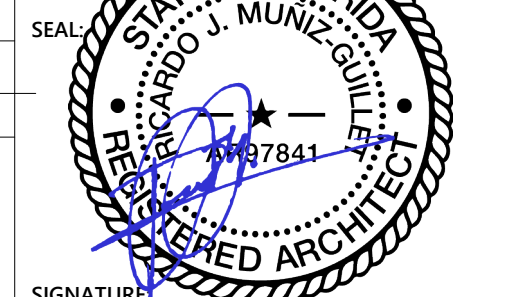


DESIGNER:

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DRB SUBMITTAL

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 DRAWN BY: J APPROVED BY: YM

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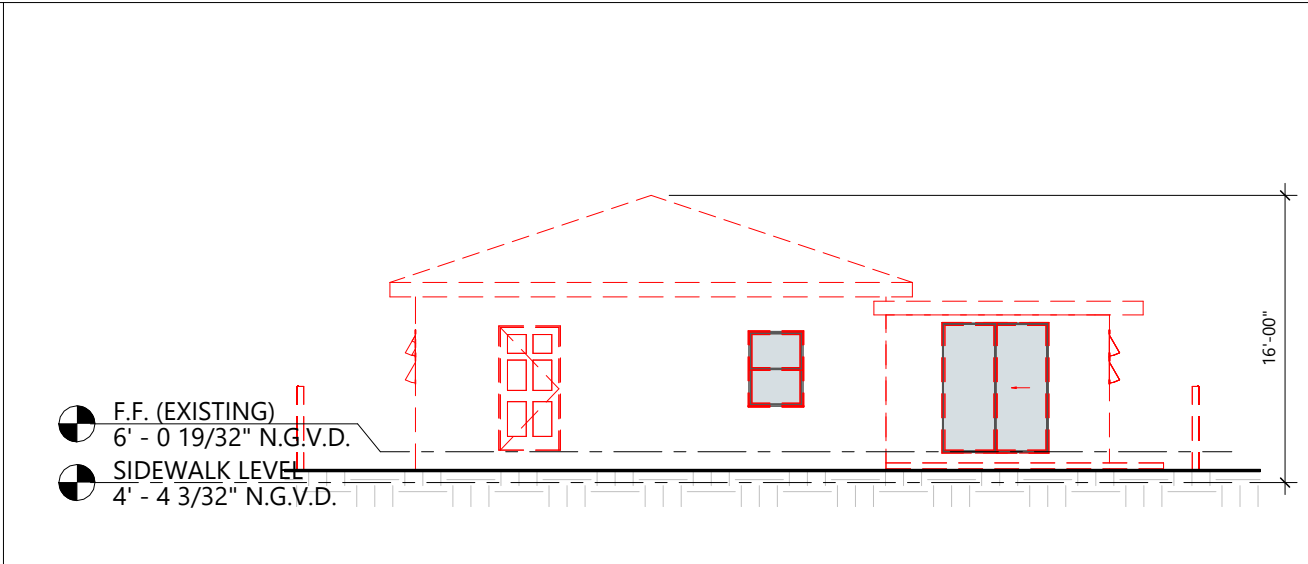
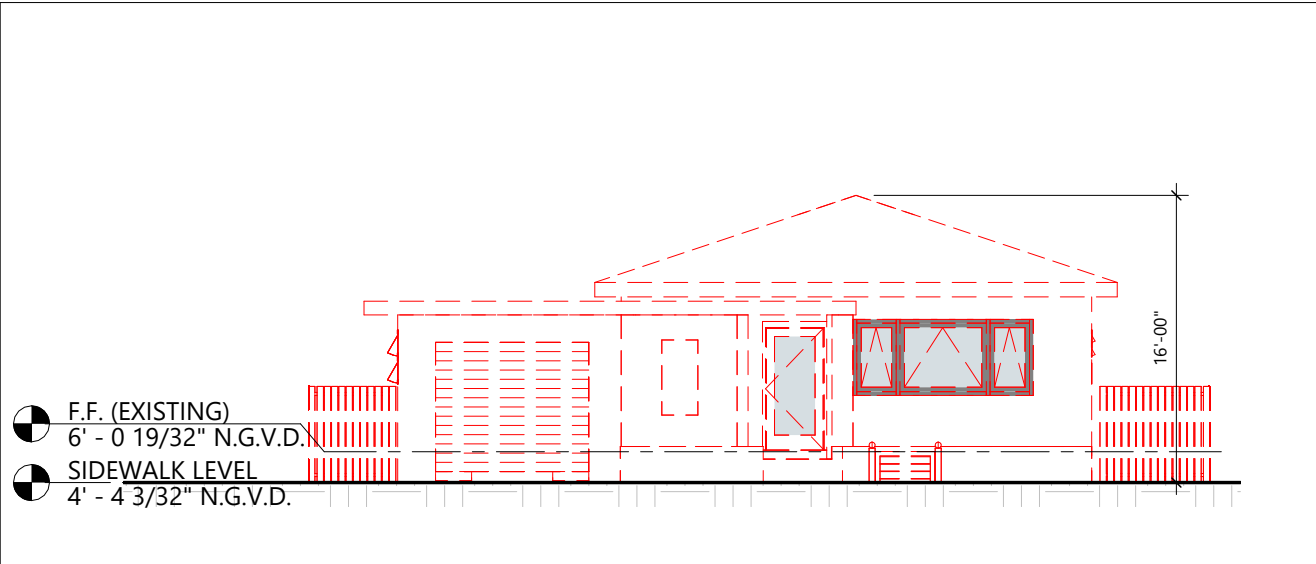
SIGNATURE:
 RICARDO J. MUNIZ-GUILLET
 LIC# AR97841
 SHEET TITLE:
DEMO GROUND LEVEL PLAN

SCALE:
3/32" = 1'-0"

SHEET NO:
D1-2.01

10/9/2025 4:43:21 PM

1 DEMO GROUND LEVEL PLAN
 3/32" = 1'-0"



PROJECT AND OWNER:
MARINA 81
 775 81ST ST
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 SEBASTIAN BOSCH

ARCHITECT:
 2030 HABERSHAM TRCE | CUMMING | GA 30041
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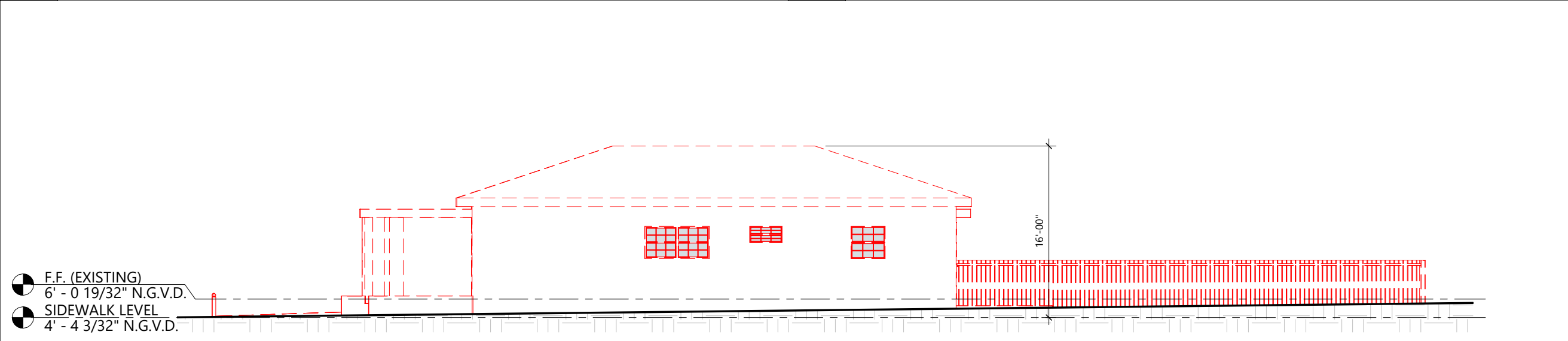


DESIGNER:

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1 DEMO SOUTH ELEVATION
 3/32" = 1'-0"

2 DEMO NORTH ELEVATION
 3/32" = 1'-0"

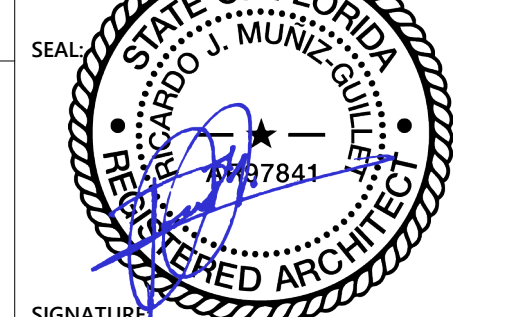
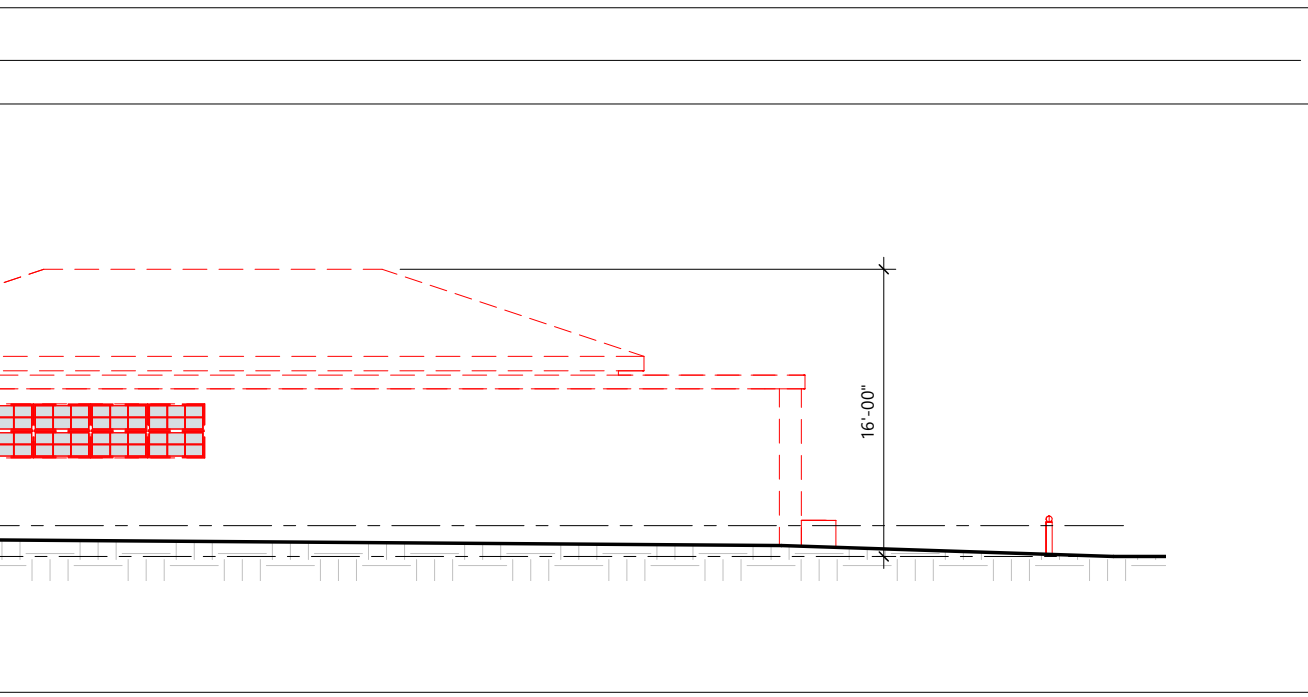


DRB SUBMITTAL

PERMIT APPLICATION DATE: 07-16-2025
 SHEET ISSUE DATE: 06-15-2025
 PROJECT NO.: 2508
 DRAWN BY: J APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
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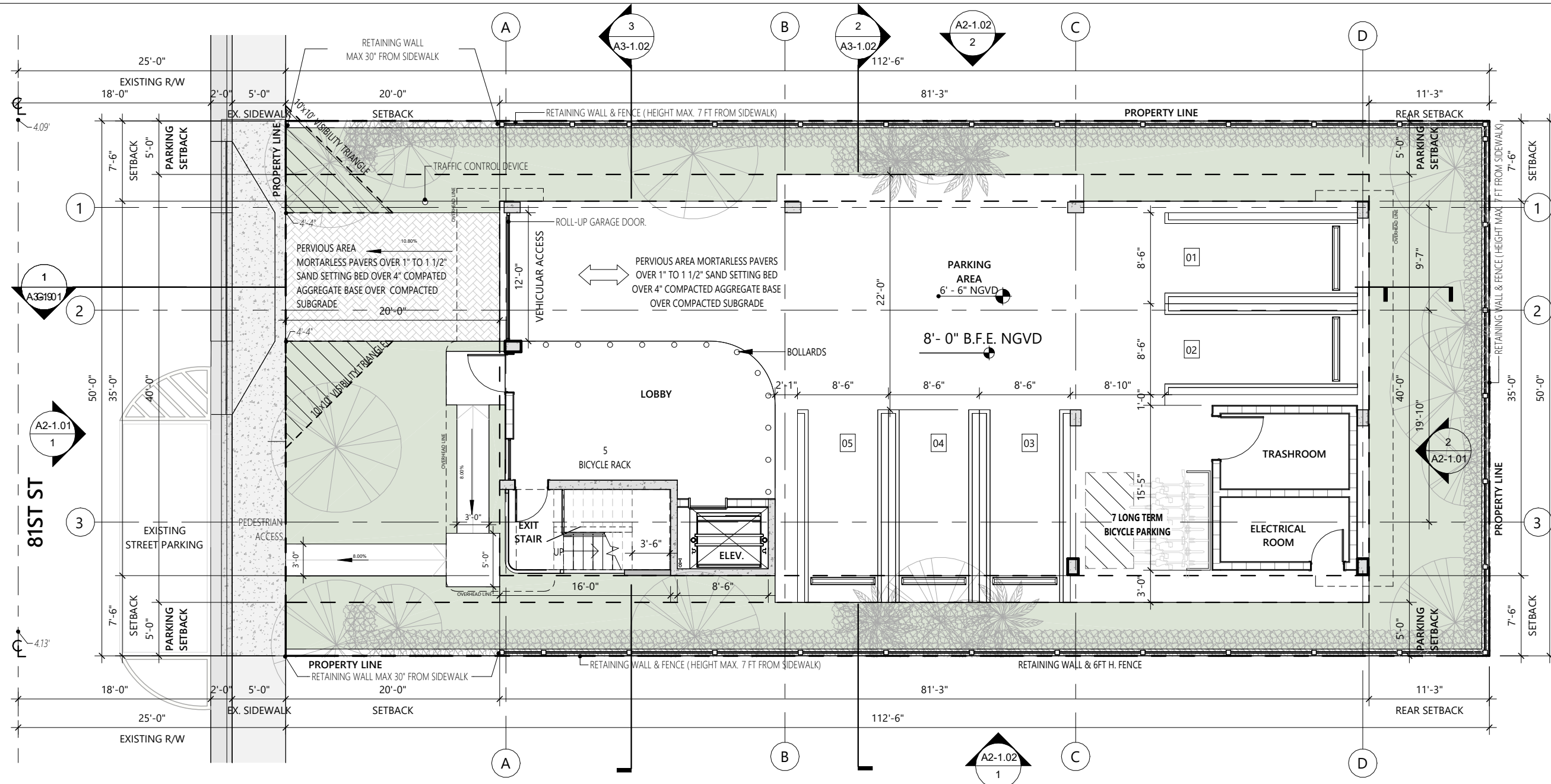
3 DEMO EAST ELEVATION
 3/32" = 1'-0"



SIGNATURE:
 RICARDO J. MUNIZ-GUILLET
 LIC# AR97841
 SHEET TITLE:
DEMOLITION ELEVATION

4 DEMO WEST ELEVATION
 3/32" = 1'-0"

SCALE:
 3/32" = 1'-0"
 SHEET NO.:
D1-2.02
 10/9/2025 4:43:23 PM



PROJECT AND OWNER:
MARINA 81
 775 81ST ST
 MIAMI BEACH | FL | 33141
 SEBASTIAN BOSCH

ARCHITECT:
 2030 HABERSHAM TRCE | CUMMING | GA 30041
 954 812 6650
 RICARDO@MUVEARCH.COM
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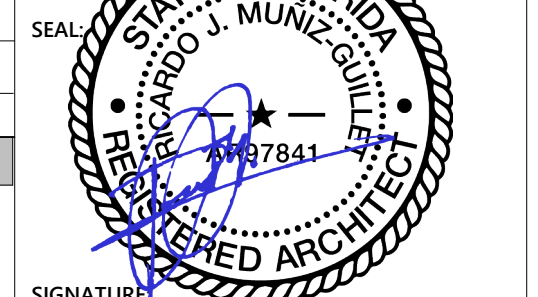
DESIGNER:

 INTEGRAL ARCHITECTURAL SERVICES
 1535 NORTH PARK DRIVE #102 WESTON
 FL 33326
 954 850 9965
 ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITTAL

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SIGNATURE:
 RICARDO J. MUNIZ-GUILLET
 LIC# AR97841
 SHEET TITLE:
GROUND FLOOR PLAN

SCALE:
As indicated
 SHEET NO:
A1-1.01
 10/9/2025 4:43:25 PM

1 GROUND LEVEL FLOOR PLAN
 3/32" = 1'-0"

GROUND LEVEL AREA: 174 S.F.

WALL LEGEND	
	WALL TYPE 1 TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
	WALL TYPE 2 REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS.
	WALL TYPE 3 UNIT DEMISING PARTITION 1 HR FIRE RATED.
	WALL TYPE 4 TYPICAL 4" INTERIOR PARTITION NON-RATED.
	WALL TYPE 6 TYPICAL 6" WET AREAS

PLAN NOTES
1. BUILDING IS FULLY SPRINKLERED. 2. SEE ELECTRICAL DRAWINGS FOR LIFE SAFETY/ EGRESS LIGHTS. 3. ALL INTERIOR PARTITION ARE TO BE WALL TYPE 4, UNLESS OTHERWISE NOTED. 4. ALL BATHROOMS TO RECEIVE WATER RESISTANT GYP. BOARD IN NON WET AREAS. 5. FRAMING CONTRACTOR TO VERIFY FLOOR FINISH WITH OWNER PRIOR TO INSTALLATIONS OF DOOR FRAME. 6. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION. 7. VERIFY LAYOUT OF ALL FIXTURES LOCATED IN CONCRETE SLAB WITH ARCHITECT PRIOR TO POUR. 8. FINAL SELECTION, LOCATION, AND DESIGN OF FINISHES, FIXTURES, AND EQUIPMENT WILL BE PROVIDED BY OWNER.

PROJECT AND OWNER:
MARINA 81

775 81ST ST
MIAMI BEACH | FL | 33141
SEBASTIAN BOSCH

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



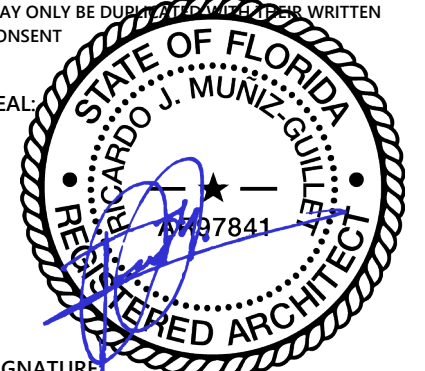
1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITTAL

PERMIT APPLICATION DATE: 07-16-2025
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PROJECT NO.: 2508
DRAWN BY: JA APPROVED BY: YM

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SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:

FLOOR PLAN 2ND LEVEL

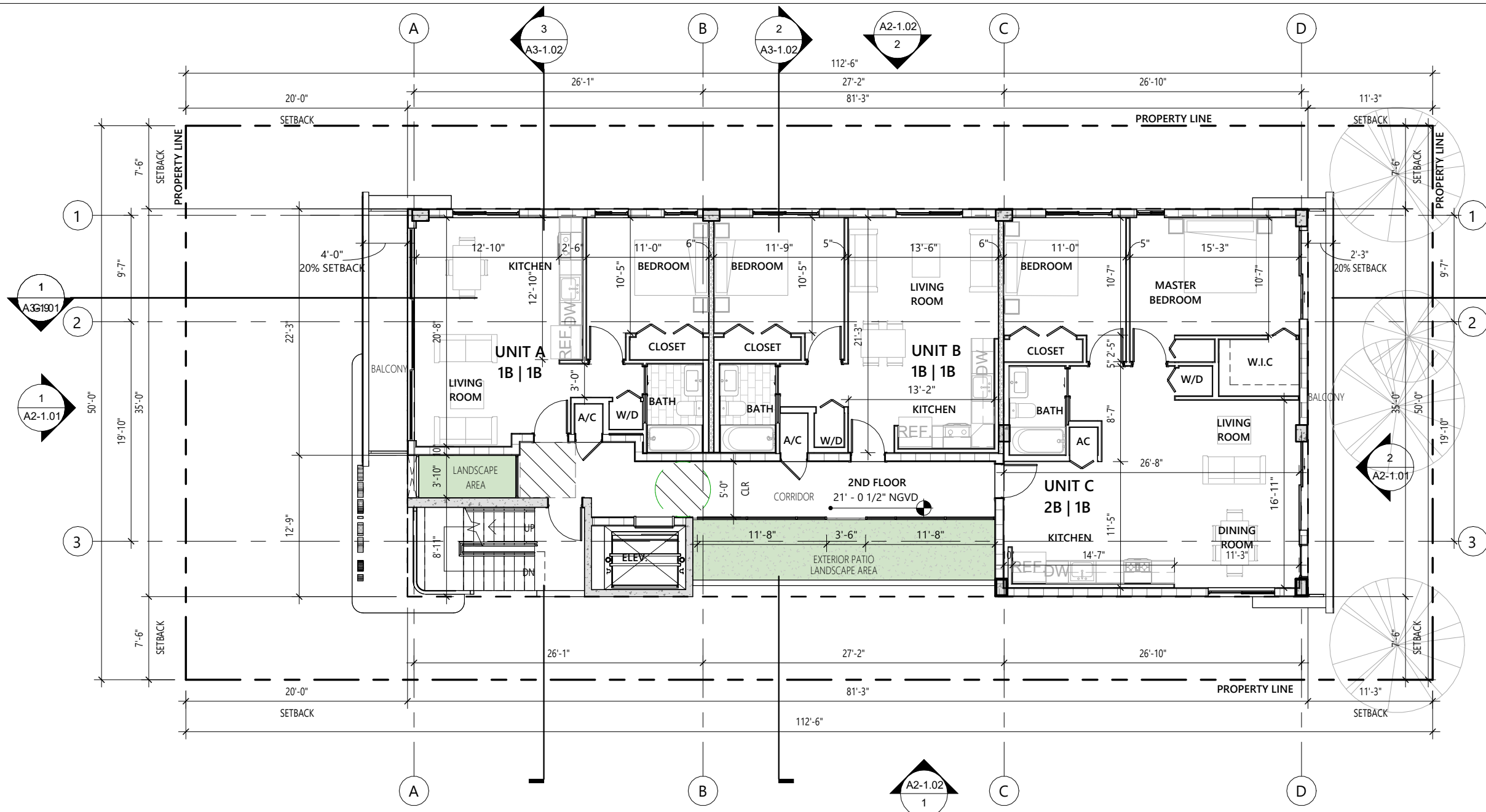
SCALE:

As indicated

SHEET NO.:

A1-1.02

10/9/2025 4:43:27 PM



2 FLOOR PLAN LEVEL 02
3/32" = 1'-0"

FLOOR LEVEL 2 AREA= 2,606 S.F.

WALL LEGEND	
	WALL TYPE 1 TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
	WALL TYPE 2 REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS.
	WALL TYPE 3 UNIT DEMISING PARTITION 1 HR FIRE RATED.
	WALL TYPE 4 TYPICAL 4" INTERIOR PARTITION NON-RATED.
	WALL TYPE 5 TYPICAL 6" WET AREAS

PLAN NOTES
<ol style="list-style-type: none"> BUILDING IS FULLY SPRINKLERED. SEE ELECTRICAL DRAWINGS FOR LIFE SAFETY/ EGRESS LIGHTS. ALL INTERIOR PARTITION ARE TO BE WALL TYPE 4, UNLESS OTHERWISE NOTED. ALL BATHROOMS TO RECEIVE WATER RESISTANT GYP. BOARD IN NON WET AREAS. FRAMING CONTRACTOR TO VERIFY FLOOR FINISH WITH OWNER PRIOR TO INSTALLATIONS OF DOOR FRAME. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION. VERIFY LAYOUT OF ALL FIXTURES LOCATED IN CONCRETE SLAB WITH ARCHITECT PRIOR TO POUR. FINAL SELECTION, LOCATION, AND DESIGN OF FINISHES, FIXTURES, AND EQUIPMENT WILL BE PROVIDED BY OWNER.

PROJECT AND OWNER:
MARINA 81

775 81ST ST
MIAMI BEACH | FL | 33141
SEBASTIAN BOSCH

ARCHITECT:

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954 812 6650
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DESIGNER:

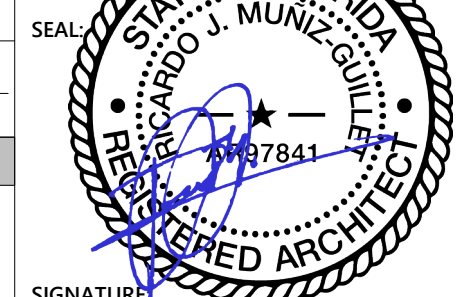


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DRB SUBMITTAL

PERMIT APPLICATION DATE: 07-16-2025
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DRAWN BY: JA APPROVED BY: YM

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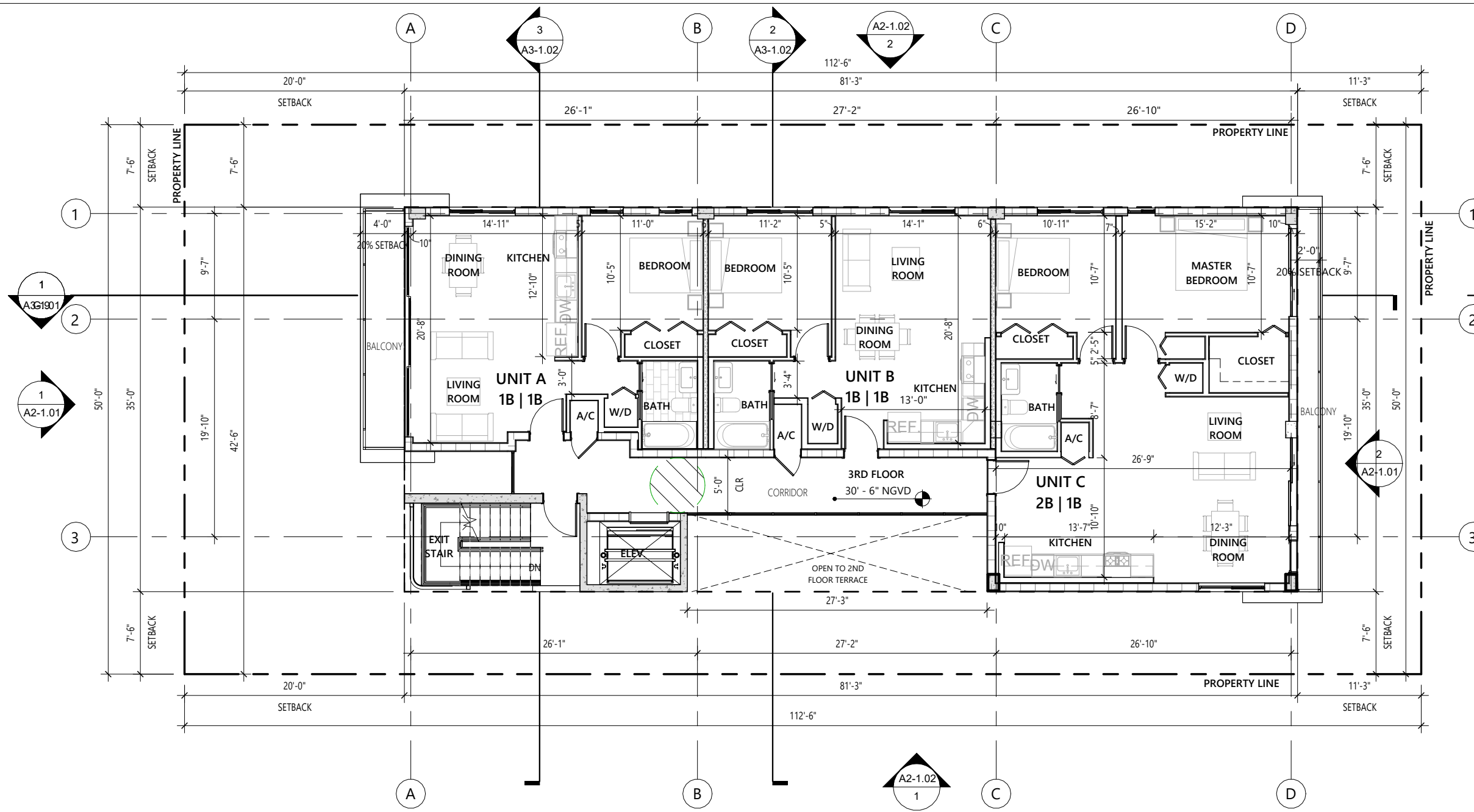


SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841
SHEET TITLE:
FLOOR PLAN 3RD LEVEL

SCALE:
As indicated

SHEET NO:
A1-1.03

10/9/2025 4:43:29 PM



1 FLOOR PLAN LEVEL 3
3/32" = 1'-0"

FLOOR LEVEL 3 AREA= 2,606 S.F.

WALL LEGEND	
1	WALL TYPE 1 TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
2	WALL TYPE 2 REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS.
3	WALL TYPE 3 UNIT DEMISING PARTITION 1 HR FIRE RATED.
4	WALL TYPE 4 TYPICAL 4" INTERIOR PARTITION NON-RATED.
5	WALL TYPE 6 TYPICAL 6" WET AREAS

PLAN NOTES
<ol style="list-style-type: none"> BUILDING IS FULLY SPRINKLERED. SEE ELECTRICAL DRAWINGS FOR LIFE SAFETY/ EGRESS LIGHTS. ALL INTERIOR PARTITION ARE TO BE WALL TYPE 4, UNLESS OTHERWISE NOTED. ALL BATHROOMS TO RECEIVE WATER RESISTANT GYP. BOARD IN NON WET AREAS. FRAMING CONTRACTOR TO VERIFY FLOOR FINISH WITH OWNER PRIOR TO INSTALLATIONS OF DOOR FRAME. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION. VERIFY LAYOUT OF ALL FIXTURES LOCATED IN CONCRETE SLAB WITH ARCHITECT PRIOR TO POUR. FINAL SELECTION, LOCATION, AND DESIGN OF FINISHES, FIXTURES, AND EQUIPMENT WILL BE PROVIDED BY OWNER.

PROJECT AND OWNER:
MARINA 81

775 81ST ST
MIAMI BEACH | FL | 33141
SEBASTIAN BOSCH

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



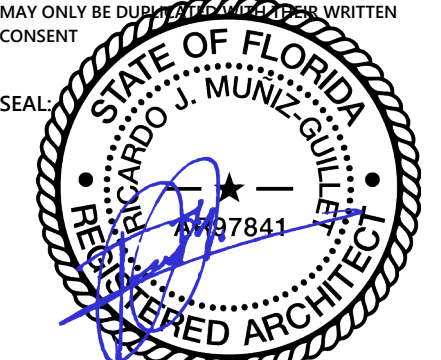
1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITTAL

PERMIT APPLICATION DATE: 07-16-2025
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SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:

FLOOR PLAN 4TH LEVEL

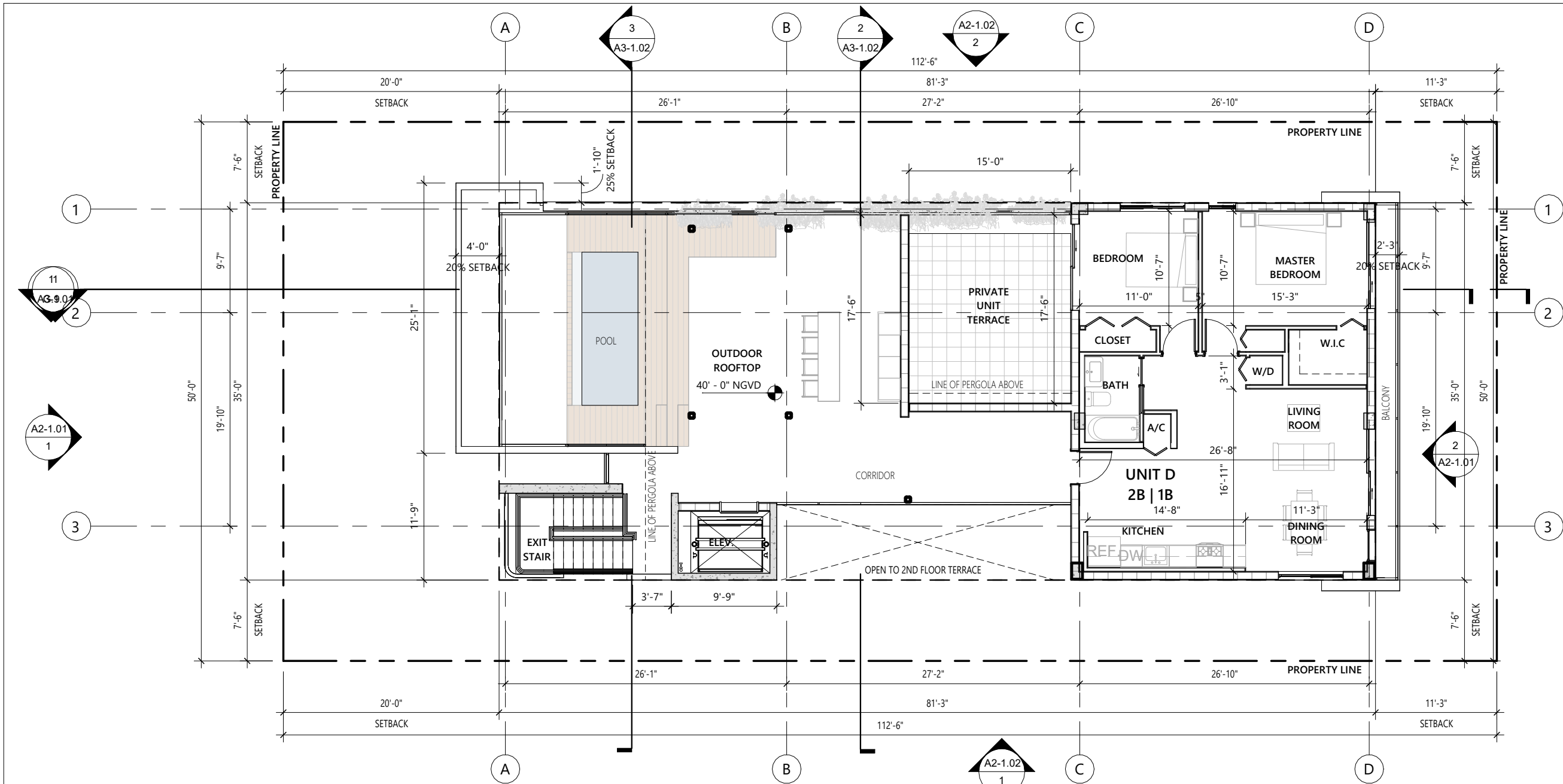
SCALE:

As indicated

SHEET NO.:

A1-1.04

10/9/2025 4:44:06 PM



1 FLOOR PLAN 4TH LEVEL
3/32" = 1'-0"

FLOOR LEVEL 4 AREA= 976 S.F.

WALL LEGEND	
	WALL TYPE 1 TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
	WALL TYPE 2 REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS.
	WALL TYPE 3 UNIT DEMISING PARTITION 1 HR FIRE RATED.
	WALL TYPE 4 TYPICAL 4" INTERIOR PARTITION NON-RATED.
	WALL TYPE 6 TYPICAL 6" WET AREAS

PLAN NOTES
<ol style="list-style-type: none"> BUILDING IS FULLY SPRINKLERED. SEE ELECTRICAL DRAWINGS FOR LIFE SAFETY/ EGRESS LIGHTS. ALL INTERIOR PARTITION ARE TO BE WALL TYPE 4, UNLESS OTHERWISE NOTED. ALL BATHROOMS TO RECEIVE WATER RESISTANT GYP. BOARD IN NON WET AREAS. FRAMING CONTRACTOR TO VERIFY FLOOR FINISH WITH OWNER PRIOR TO INSTALLATIONS OF DOOR FRAME. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION. VERIFY LAYOUT OF ALL FIXTURES LOCATED IN CONCRETE SLAB WITH ARCHITECT PRIOR TO POUR. FINAL SELECTION, LOCATION, AND DESIGN OF FINISHES, FIXTURES, AND EQUIPMENT WILL BE PROVIDED BY OWNER.

PROJECT AND OWNER:
MARINA 81

775 81ST ST
MIAMI BEACH | FL | 33141
SEBASTIAN BOSCH

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITTAL

PERMIT APPLICATION DATE: 07-16-2025
SHEET ISSUE DATE: 10-10-2025
PROJECT NO.: 2508
DRAWN BY: JA APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND MAY ONLY BE DUPLICATED AND REPRODUCED WITH WRITTEN CONSENT

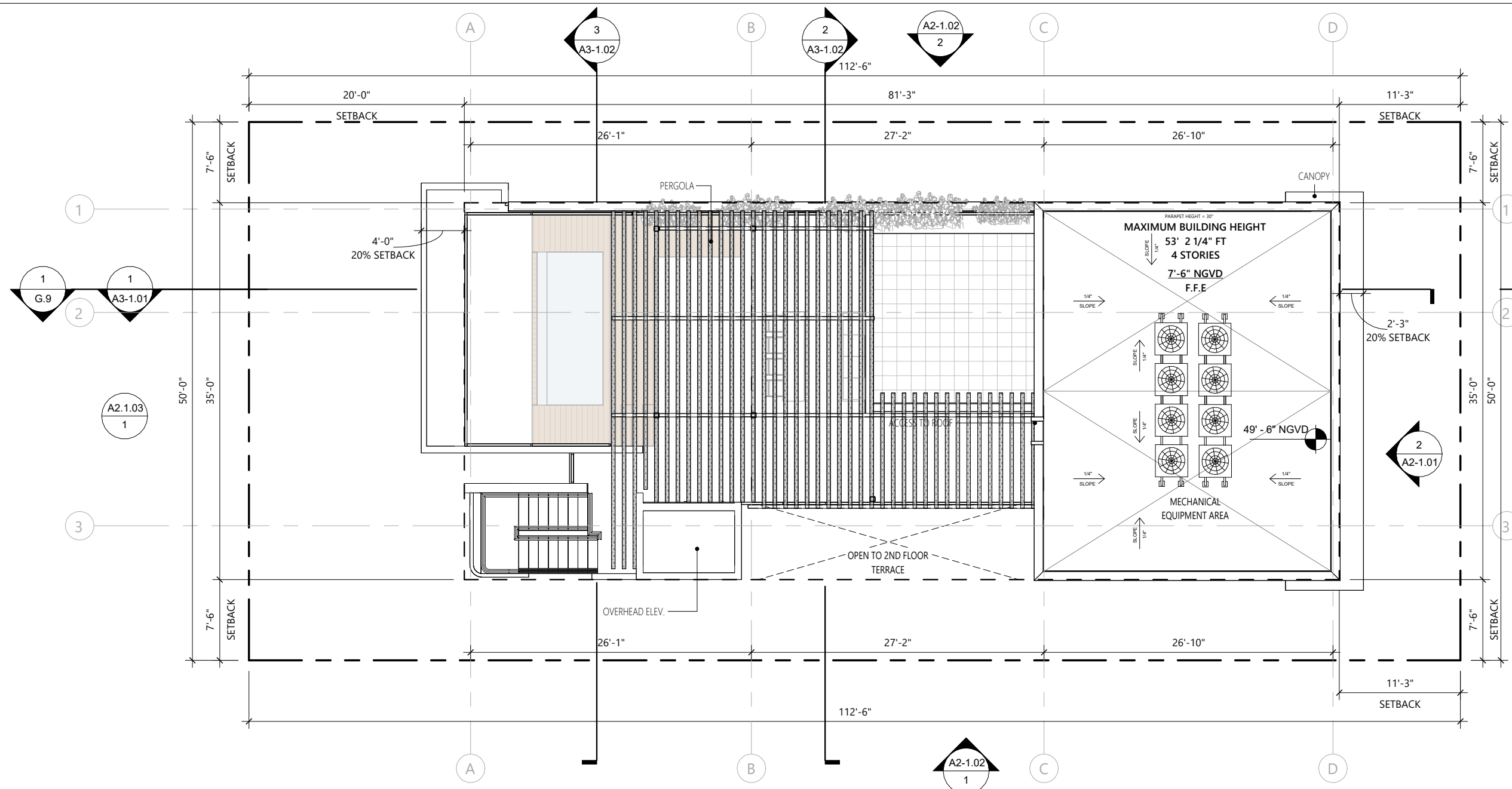


SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841
SHEET TITLE:
TOP OF ROOF PLAN

SCALE:
As indicated

SHEET NO.:
A1-1.05

10/9/2025 4:44:14 PM

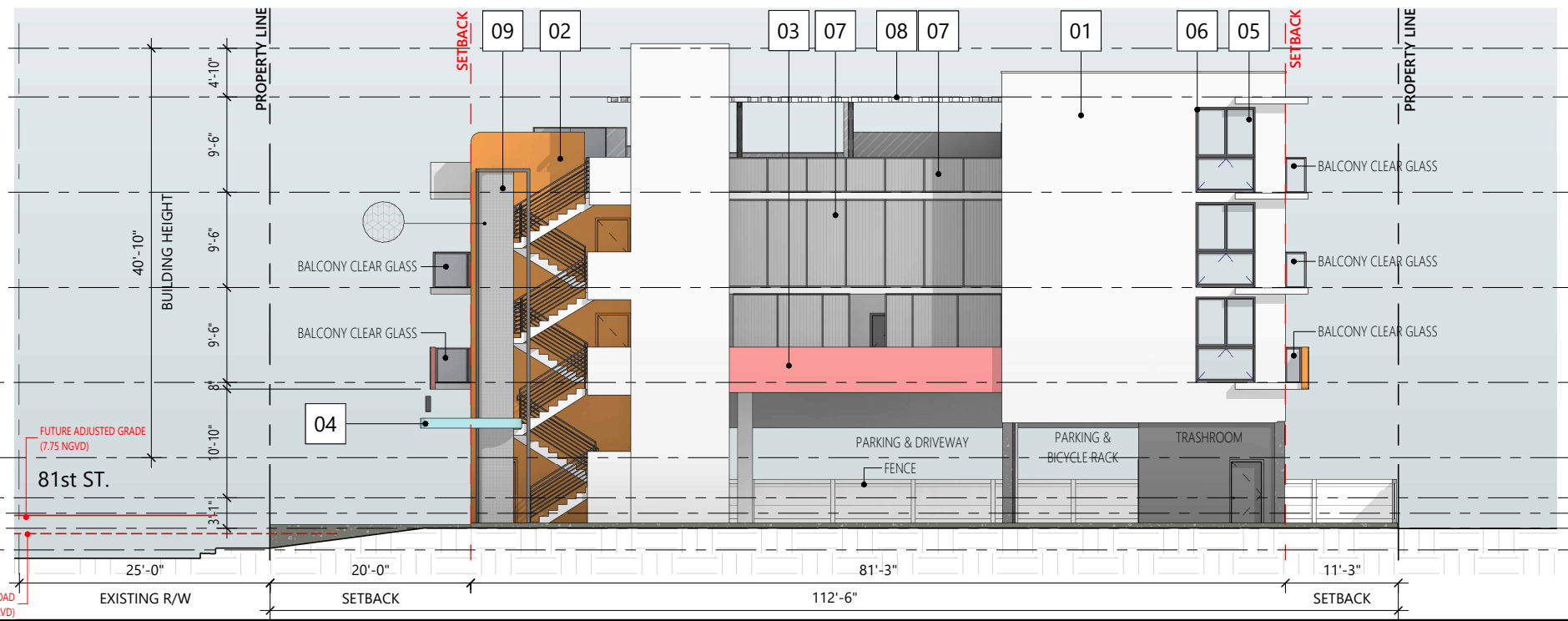


1 ROOF LEVEL
3/32" = 1'-0"

WALL LEGEND	
	WALL TYPE 1 TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
	WALL TYPE 2 REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS.
	WALL TYPE 3 UNIT DEMISING PARTITION 1 HR FIRE RATED.
	WALL TYPE 4 TYPICAL 4" INTERIOR PARTITION NON-RATED.
	WALL TYPE 6 TYPICAL 6" WET AREAS

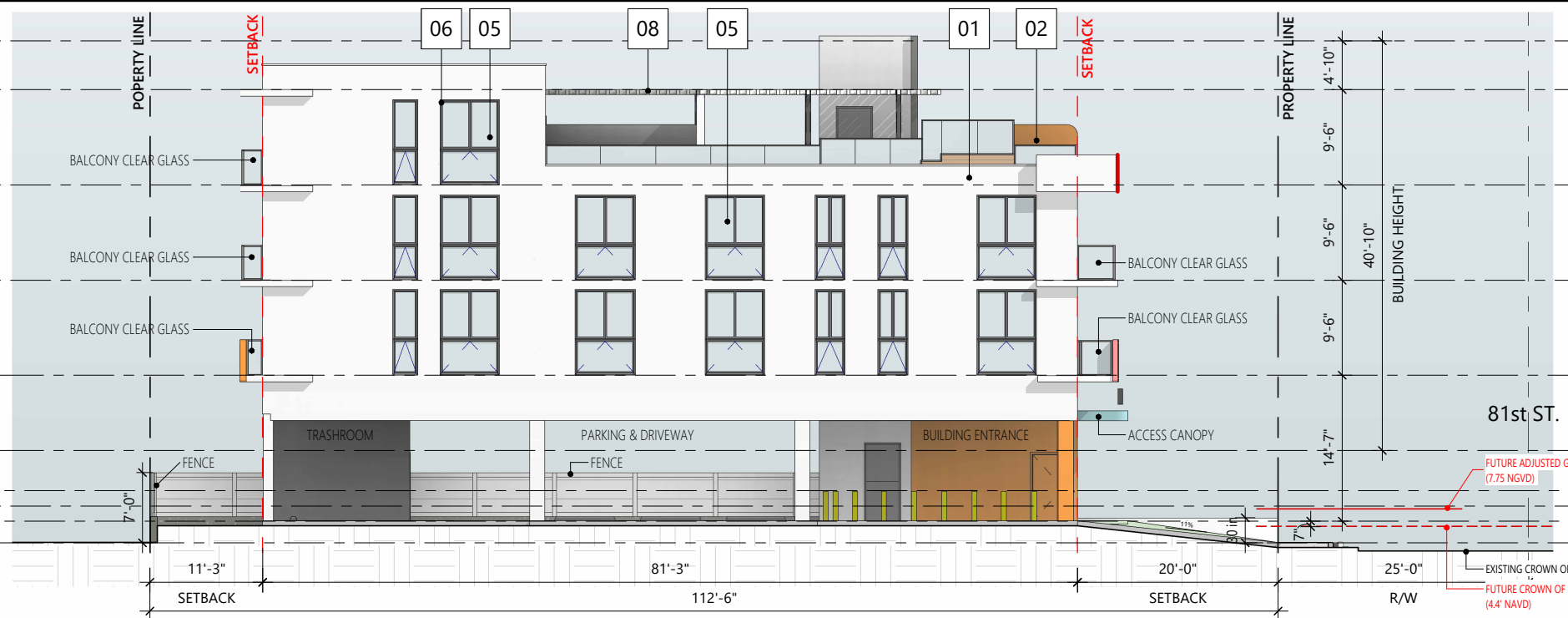
- PLAN NOTES**
- BUILDING IS FULLY SPRINKLERED.
 - SEE ELECTRICAL DRAWINGS FOR LIFE SAFETY/ EGRESS LIGHTS.
 - ALL INTERIOR PARTITION ARE TO BE WALL TYPE 4, UNLESS OTHERWISE NOTED.
 - ALL BATHROOMS TO RECEIVE WATER RESISTANT GYP. BOARD IN NON WET AREAS.
 - FRAMING CONTRACTOR TO VERIFY FLOOR FINISH WITH OWNER PRIOR TO INSTALLATIONS OF DOOR FRAME.
 - SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - VERIFY LAYOUT OF ALL FIXTURES LOCATED IN CONCRETE SLAB WITH ARCHITECT PRIOR TO POUR.
 - FINAL SELECTION, LOCATION, AND DESIGN OF FINISHES, FIXTURES, AND EQUIPMENT WILL BE PROVIDED BY OWNER.

- TOP OF ELEVATOR BULKHEAD
54' - 4 1/4" N.G.V.D.
- TOP OF ROOF
49' - 6" N.G.V.D.
- LEVEL 4
40' - 0" N.G.V.D.
- LEVEL 3
30' - 6" N.G.V.D.
- LEVEL 2
21' - 0 1/2" N.G.V.D.
- MAX FREEBOARD
13' - 6 1/2" N.G.V.D.
- MIN FREEBOARD. (DFE)
9' - 6 1/2" N.G.V.D.
- BASE FLOOD ELEV. (BFE)
8' - 0" N.G.V.D.
- GROUND FLOOR
6' - 6" N.G.V.D.
- SIDEWALK LEVEL
4' - 4 3/32" N.G.V.D.



1 EAST ELEVATION
1/16" = 1'-0"

- TOP OF ELEVATOR BULKHEAD
54' - 4 1/4" N.G.V.D.
- TOP OF ROOF
49' - 6" N.G.V.D.
- LEVEL 4
40' - 0" N.G.V.D.
- LEVEL 3
30' - 6" N.G.V.D.
- LEVEL 2
21' - 0 1/2" N.G.V.D.
- MAX FREEBOARD
13' - 6 1/2" N.G.V.D.
- MIN FREEBOARD. (DFE)
9' - 6 1/2" N.G.V.D.
- BASE FLOOD ELEV. (BFE)
8' - 0" N.G.V.D.
- GROUND FLOOR
6' - 6" N.G.V.D.
- SIDEWALK LEVEL
4' - 4 3/32" N.G.V.D.



2 WEST ELEVATION
1/16" = 1'-0"

MATERIAL LEGEND

1	WHITE STUCCO, FINISH PAINT SHERWIN-WILLIAMS PURE WHITE SW 7005	3	SMOOTH FINISH STUCCO, PINK COLOR A (REF: RGB 255 206 206) B (REF: RGB 255 151 151)	5	LAMINATED GLASS	7	VERTICAL ALUMINUM BALUSTERS	9	PERFORATED, LASER-CUT METAL PANEL, WHITE PAINTED.
2	SMOOTH FINISH STUCCO, ORANGE COLOR (REF: RGB 245 164 082)	4	BLUE SMOOTH FINISH STUCCO (RGB 179 232 236)	6	ALUMINUM FRAMING	8	WHITE STEEL FRAMING C CHANNEL (PERGOLA)	NOTE: A SAMPLE OF THE PROPOSED FINISH AND COLORS SHALL BE SUBMITTED ON SITE FOR REVIEW AND APPROVAL.	

ELEVATION LEGEND AND NOTES

- UNLESS OTHERWISE INDICATED ALL ELEVATIONS SHOWN IN N.G.V.D = 1.56'
1. 0'-0" = 6'-6" N.G.V.D.
 2. ALL SHOP DRAWINGS REQUIRE APPROVAL OF CITY OF MIAMI BEACH.
 3. ALL CONSTRUCTION AND FINISH MATERIAL INSTALLED BELOW BFE SHALL BE FLOOD RESISTANT MATERIAL

PROJECT AND OWNER:
MARINA 81
775 81ST ST
MIAMI BEACH | FL | 33141
SEBASTIAN BOSCH

ARCHITECT:
2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161

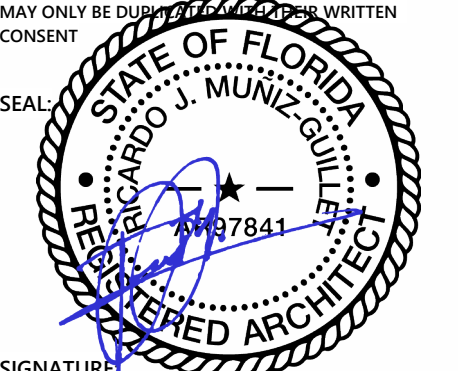


DESIGNER:
REDOCTOPUS.LLC
INTEGRAL ARCHITECTURAL SERVICES
1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITTAL

PERMIT APPLICATION DATE: 07-16-2025
SHEET ISSUE DATE: 10-10-2025
PROJECT NO.: 2508
DRAWN BY: JA APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND MAY ONLY BE DUPLICATED AND REPRODUCED WITH WRITTEN CONSENT



SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841
SHEET TITLE:
EAST & WEST ELEVATIONS

SCALE:
As indicated
SHEET NO:
A2-1.02
10/9/2025 4:44:36 PM

PROJECT AND OWNER:
MARINA 81

775 81ST ST
MIAMI BEACH | FL | 33141
SEBASTIAN BOSCH

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:

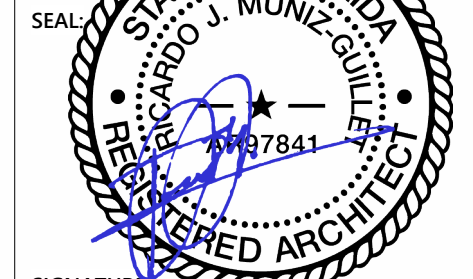


1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITTAL

PERMIT APPLICATION DATE: 07-16-2025
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PROJECT NO.: 2508
DRAWN BY: JA APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND MAY ONLY BE DUPLICATED AND REPRODUCED WITH WRITTEN CONSENT



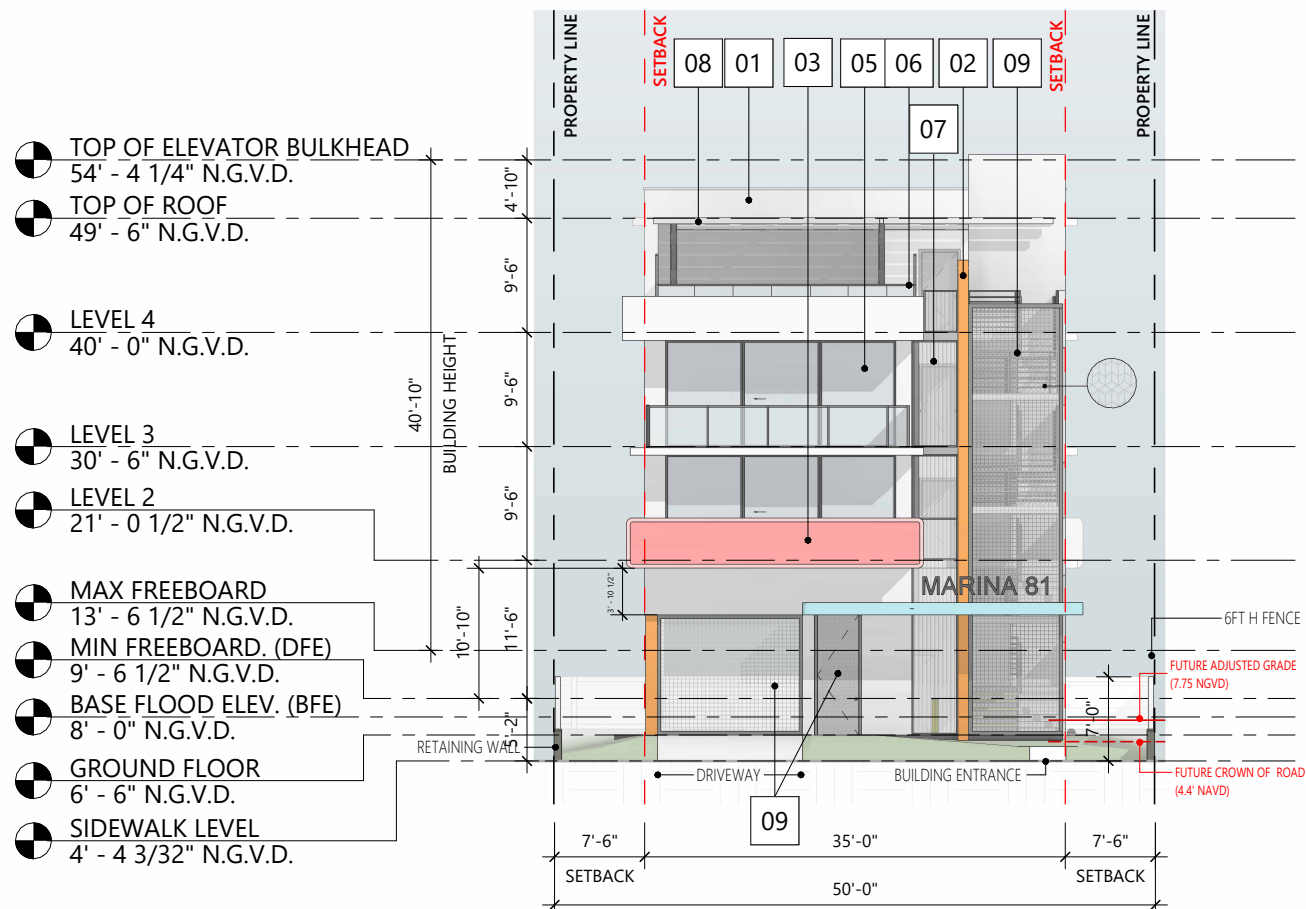
SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
NORTH & SOUTH ELEV.

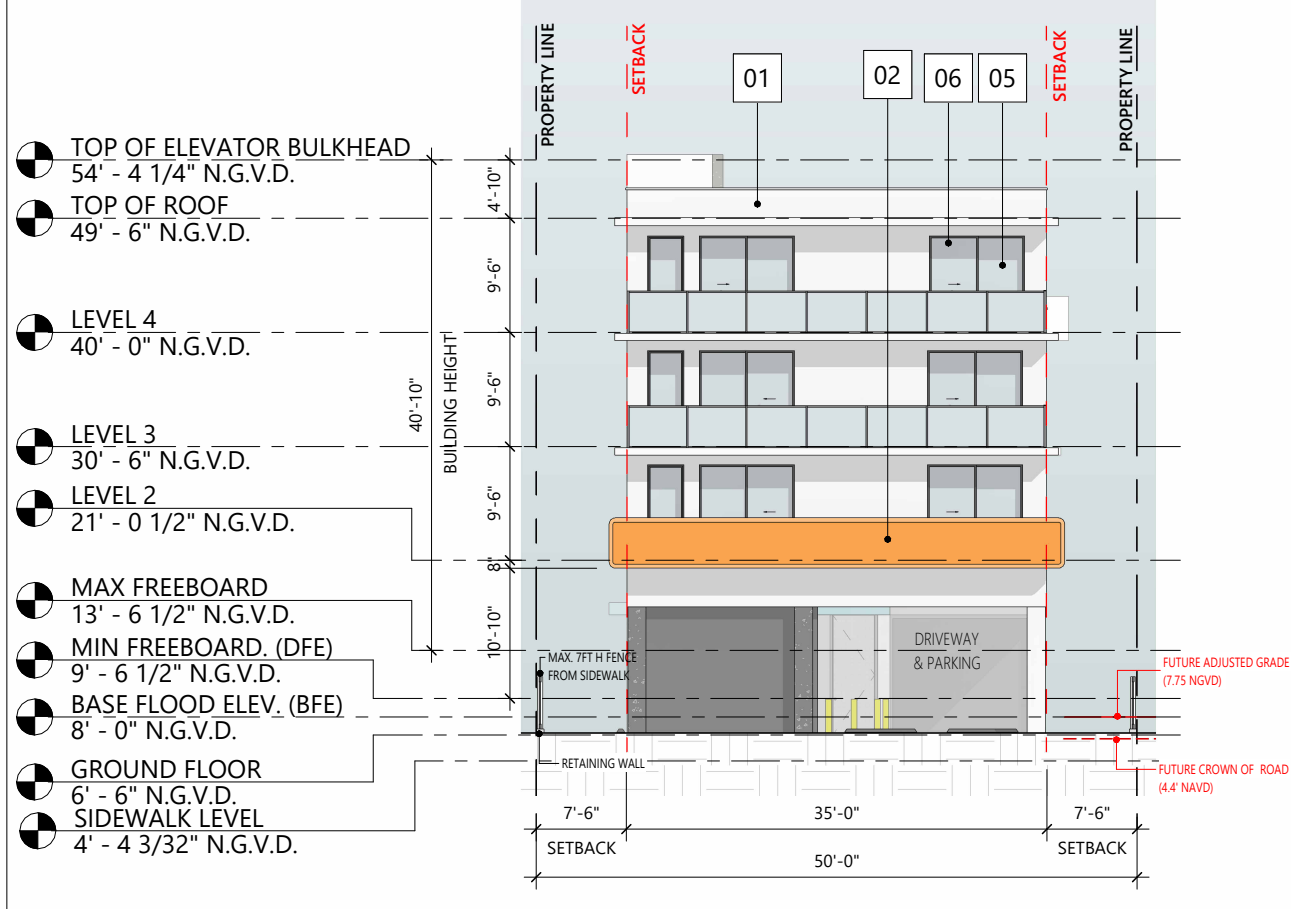
SCALE:
As indicated

SHEET NO:
A2-1.01

10/9/2025 4:44:52 PM



- TOP OF ELEVATOR BULKHEAD
54' - 4 1/4" N.G.V.D.
- TOP OF ROOF
49' - 6" N.G.V.D.
- LEVEL 4
40' - 0" N.G.V.D.
- LEVEL 3
30' - 6" N.G.V.D.
- LEVEL 2
21' - 0 1/2" N.G.V.D.
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13' - 6 1/2" N.G.V.D.
- MIN FREEBOARD. (DFE)
9' - 6 1/2" N.G.V.D.
- BASE FLOOD ELEV. (BFE)
8' - 0" N.G.V.D.
- GROUND FLOOR
6' - 6" N.G.V.D.
- SIDEWALK LEVEL
4' - 4 3/32" N.G.V.D.



- TOP OF ELEVATOR BULKHEAD
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- TOP OF ROOF
49' - 6" N.G.V.D.
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- BASE FLOOD ELEV. (BFE)
8' - 0" N.G.V.D.
- GROUND FLOOR
6' - 6" N.G.V.D.
- SIDEWALK LEVEL
4' - 4 3/32" N.G.V.D.

1 SOUTH ELEVATION
1/16" = 1'-0"

2 NORTH ELEVATION
1/16" = 1'-0"

MATERIAL LEGEND				ELEVATION LEGEND AND NOTES			
	1 WHITE STUCCO, FINISH PAINT SHERWIN-WILLIAMS PURE WHITE SW 7005		3 SMOOTH FINISH STUCCO, PINK COLOR A (REF: RGB 255 206 206) B (REF: RGB 255 151 151)		5 LAMINATED GLASS		7 VERTICAL ALUMINUM BALUSTERS
	2 SMOOTH FINISH STUCCO, ORANGE COLOR (REF: RGB 245 164 082)		4 BLUE SMOOTH FINISH STUCCO (RGB 179 232 236)		6 ALUMINUM FRAMING		8 WHITE STEEL FRAMING C CHANNEL (PERGOLA)
					9 PERFORATED, LASER-CUT METAL PANEL, WHITE PAINTED.	<p>NOTE: A SAMPLE OF THE PROPOSED FINISH AND COLORS SHALL BE SUBMITTED ON SITE FOR REVIEW AND APPROVAL.</p>	
				<p>UNLESS OTHERWISE INDICATED ALL ELEVATIONS SHOWN IN N.G.V.D = 1.56'</p> <ol style="list-style-type: none"> 0'-0" = 6'-6" N.G.V.D. ALL SHOP DRAWINGS REQUIRE APPROVAL OF CITY OF MIAMI BEACH. ALL CONSTRUCTION AND FINISH MATERIAL INSTALLED BELOW BFE SHALL BE FLOOD RESISTANT MATERIAL 			



EAST ELEVATION ▷



WEST ELEVATION ▷

PROJECT AND OWNER:
MARINA 81

775 81ST ST
MIAMI BEACH | FL | 33141
SEBASTIAN BOSCH

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



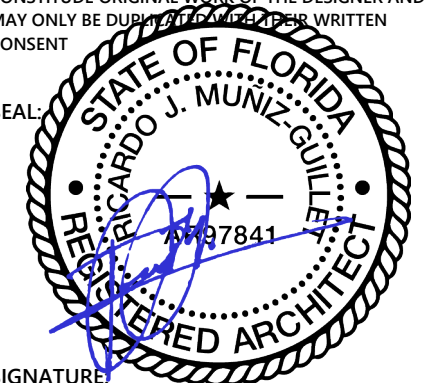
1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITTAL

PERMIT APPLICATION DATE: 07-16-2025
SHEET ISSUE DATE: 10-10-2025
PROJECT NO.: 2508
DRAWN BY: JA APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED AND REPRODUCED WITH THE WRITTEN
CONSENT

SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:

**RENDERING EAST & WEST
ELEVATIONS**

SCALE:

SHEET NO.:

A2-1.03

10/9/2025 4:44:54 PM

PROJECT AND OWNER:
MARINA 81

775 81ST ST
 MIAMI BEACH | FL | 33141
 SEBASTIAN BOSCH

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
 954 812 6650
 RICARDO@MUVEARCH.COM
 AA#26003161



DESIGNER:



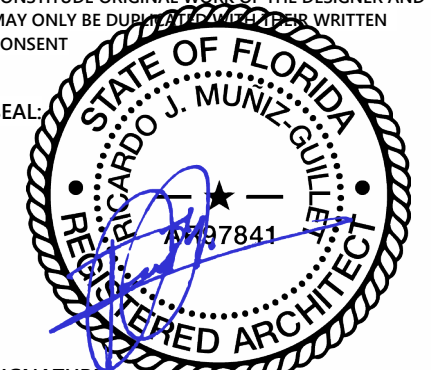
1535 NORTH PARK DRIVE #102 WESTON
 FL 33326
 954 850 9965
 ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITTAL

PERMIT APPLICATION DATE: 07-16-2025
 SHEET ISSUE DATE: 10-10-2025
 PROJECT NO.: 2508
 DRAWN BY: JA APPROVED BY: YM

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 CONSENT

SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GUILLET
 LIC# AR97841

SHEET TITLE:

LONGITUDINAL SECTION

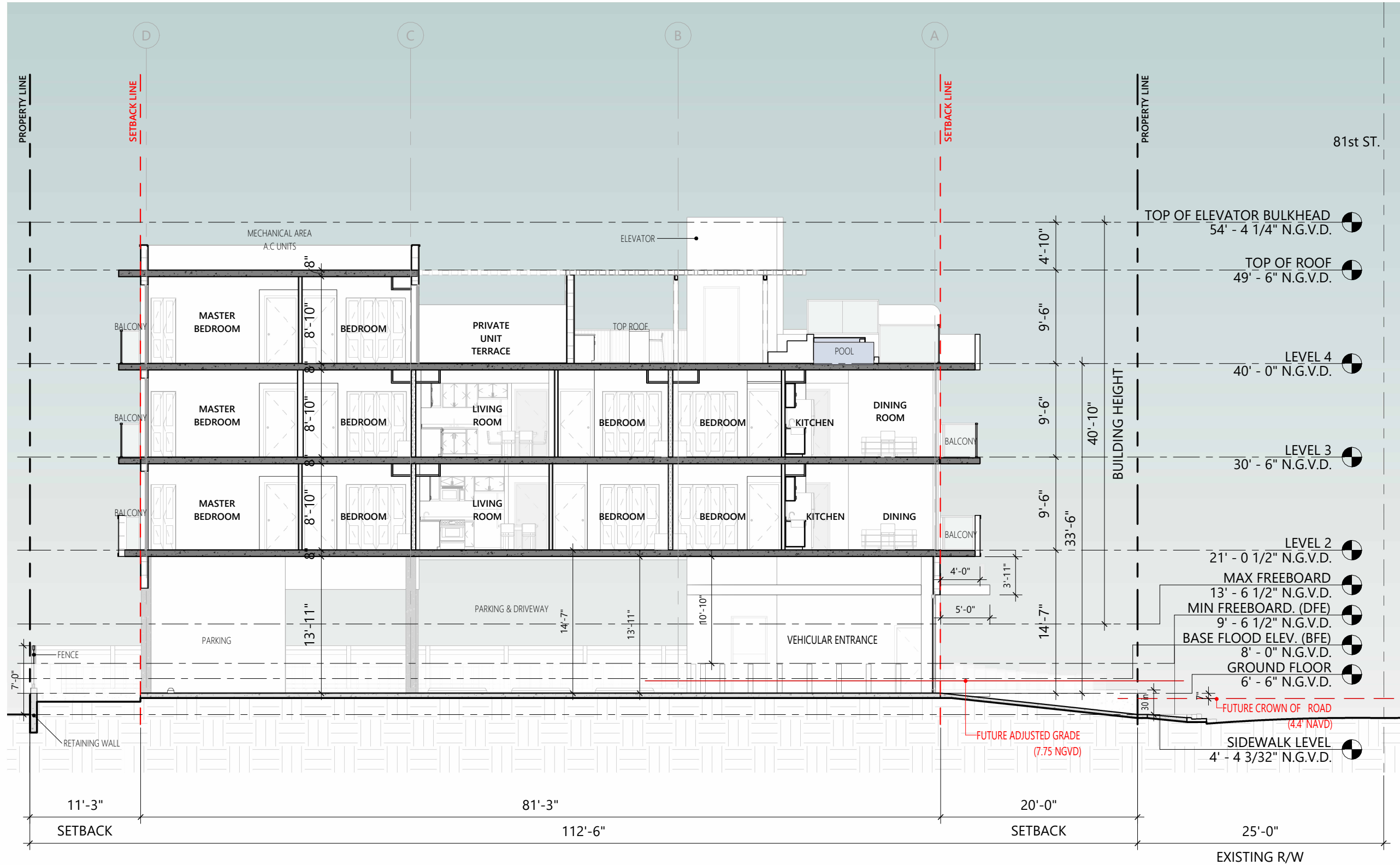
SCALE:

3/32" = 1'-0"

SHEET NO.:

A3-1.01

10/9/2025 4:45:01 PM



1 LONGITUDINAL SECTION
 3/32" = 1'-0"

PROJECT AND OWNER:
MARINA 81

775 81ST ST
 MIAMI BEACH | FL | 33141
 SEBASTIAN BOSCH

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
 954 812 6650
 RICARDO@MUVEARCH.COM
 AA#26003161



DESIGNER:



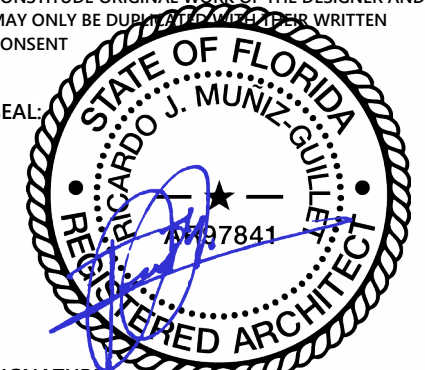
1535 NORTH PARK DRIVE #102 WESTON
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DRB SUBMITTAL

PERMIT APPLICATION DATE: 07-16-2025
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 CONSENT

SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GUILLET
 LIC# AR97841

SHEET TITLE:

CROSS SECTION

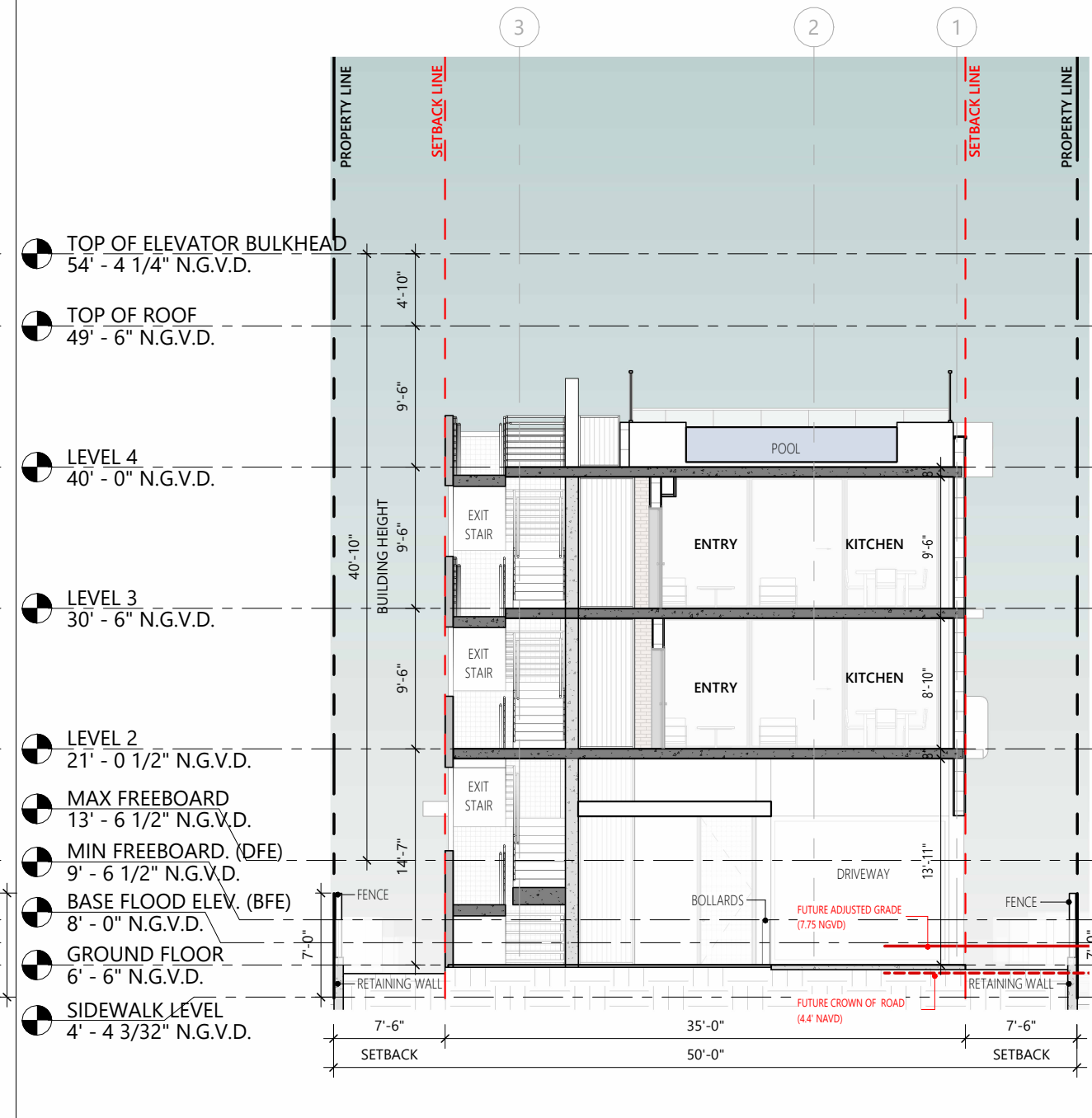
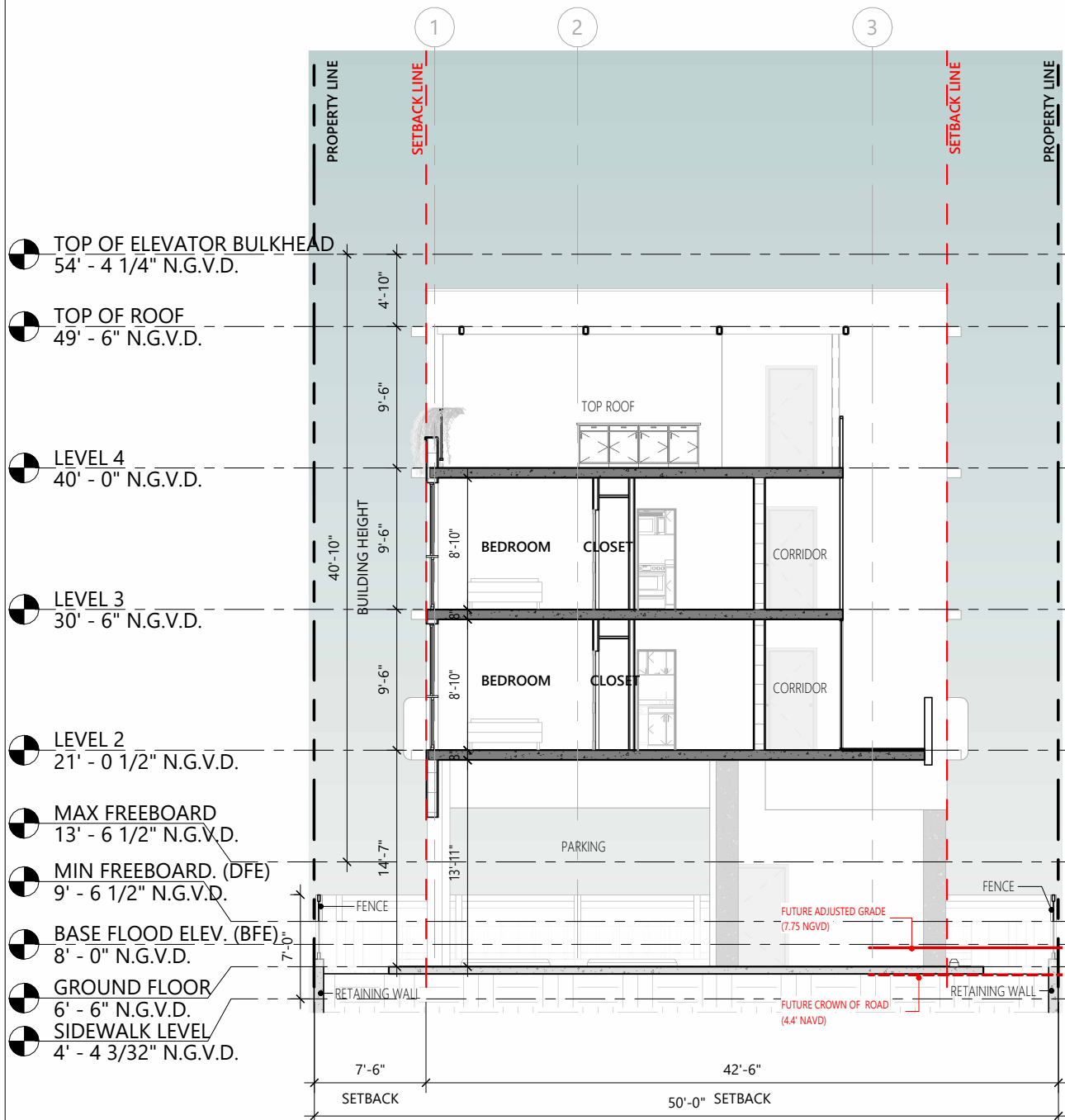
SCALE:

3/32" = 1'-0"

SHEET NO.:

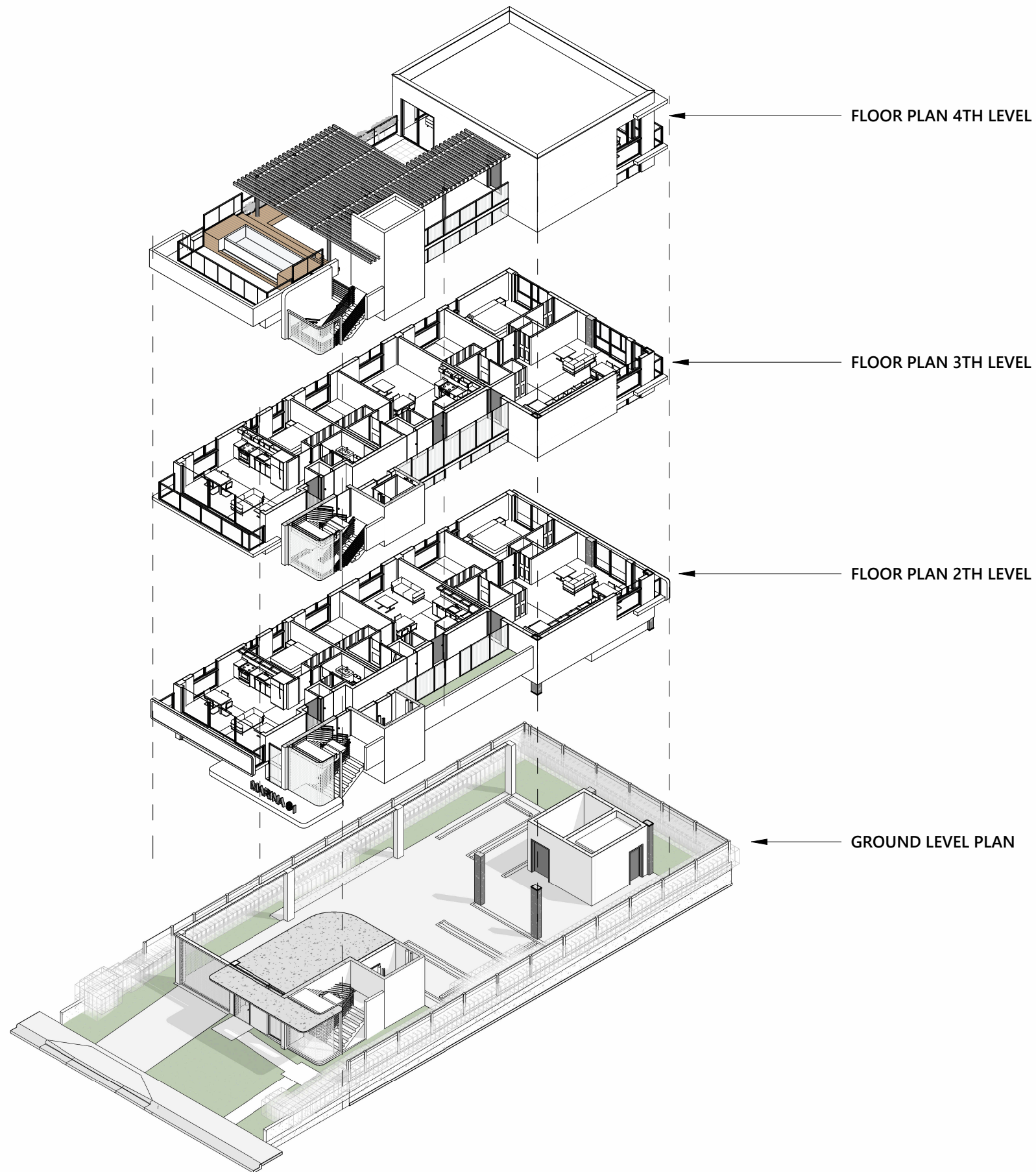
A3-1.02

10/9/2025 4:45:09 PM



2 **CROSS SECTION 2**
 3/32" = 1'-0"

3 **CROSS SECTION 4**
 3/32" = 1'-0"



FLOOR PLAN 4TH LEVEL

FLOOR PLAN 3TH LEVEL

FLOOR PLAN 2TH LEVEL

GROUND LEVEL PLAN

PROJECT AND OWNER:
MARINA 81

775 81ST ST
MIAMI BEACH | FL | 33141
SEBASTIAN BOSCH

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



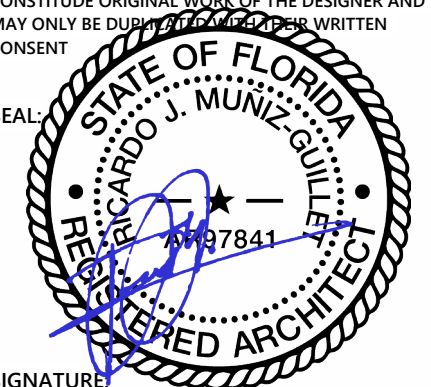
1535 NORTH PARK DRIVE #102 WESTON
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DRB SUBMITTAL

PERMIT APPLICATION DATE: 07-16-2025
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CONSENT

SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:

EXPLOTED AXONOMETRIC

SCALE:

SHEET NO:

A3-2.01

10/9/2025 4:46:46 PM



△ FRONT WEST VIEW



FRONT WEST VIEW ▽



REAR VIEW ▷



▽ AXONOMETRIC VIEW

PROJECT AND OWNER:
MARINA 81

775 81ST ST
MIAMI BEACH | FL | 33141
SEBASTIAN BOSCH

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITTAL

PERMIT APPLICATION DATE: 07-16-2025
SHEET ISSUE DATE: 10-10-2025
PROJECT NO.: 2508
DRAWN BY: JA APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED AND REPRODUCED WITH THE WRITTEN
CONSENT

SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:

3D PERSPECTIVE

SCALE:

SHEET NO.:

A3-2.02

10/9/2025 4:46:51 PM

PROJECT AND OWNER:
MARINA 81

775 81ST ST
MIAMI BEACH | FL | 33141
SEBASTIAN BOSCH

ARCHITECT:
2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161

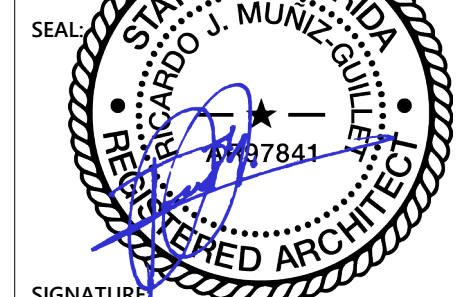


DESIGNER:
REDOCTOPUS.LLC
INTEGRAL ARCHITECTURAL SERVICES
1535 NORTH PARK DRIVE #102 WESTON
FL 33326
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ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITTAL

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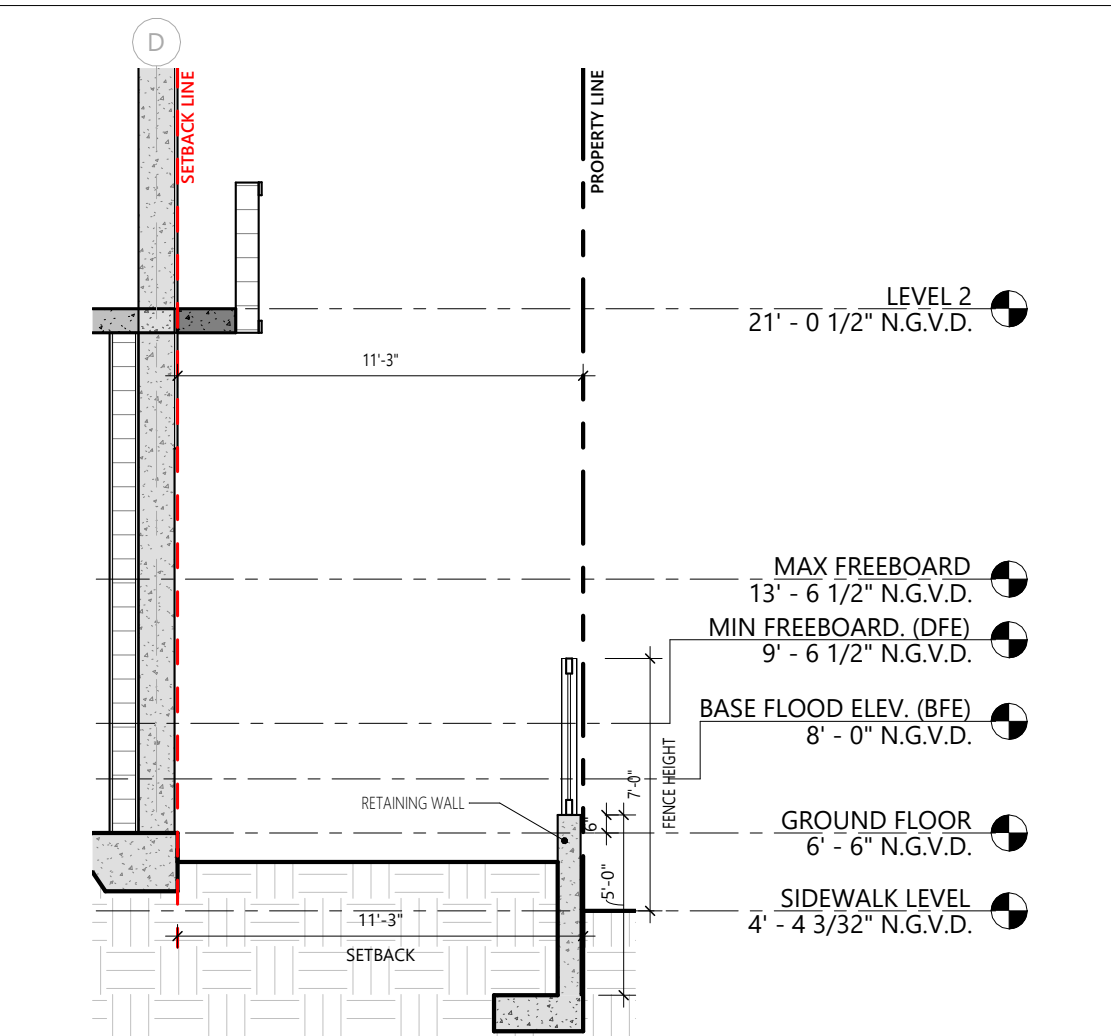
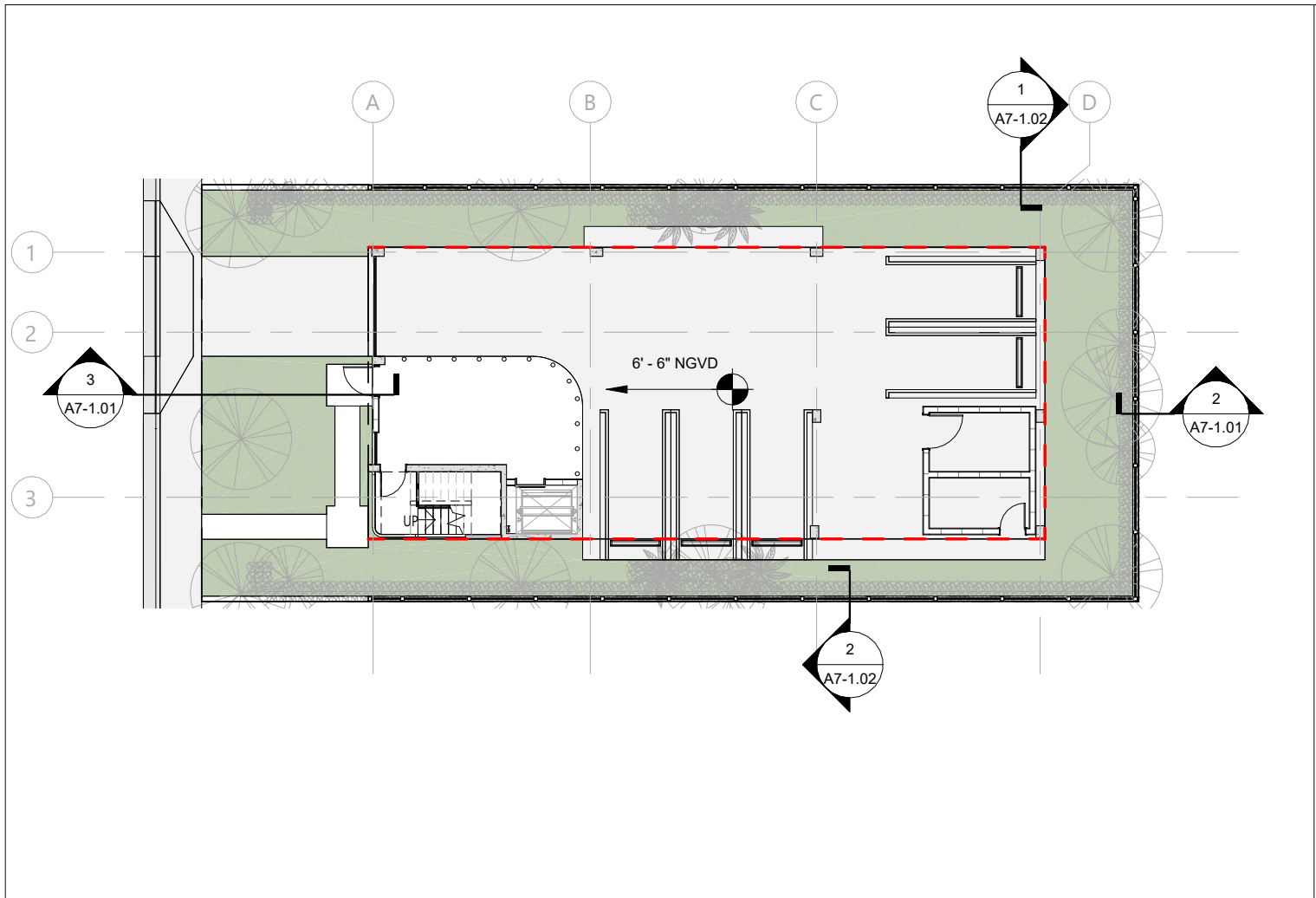


SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841
SHEET TITLE:
YARD SECTIONS

SCALE:
As indicated

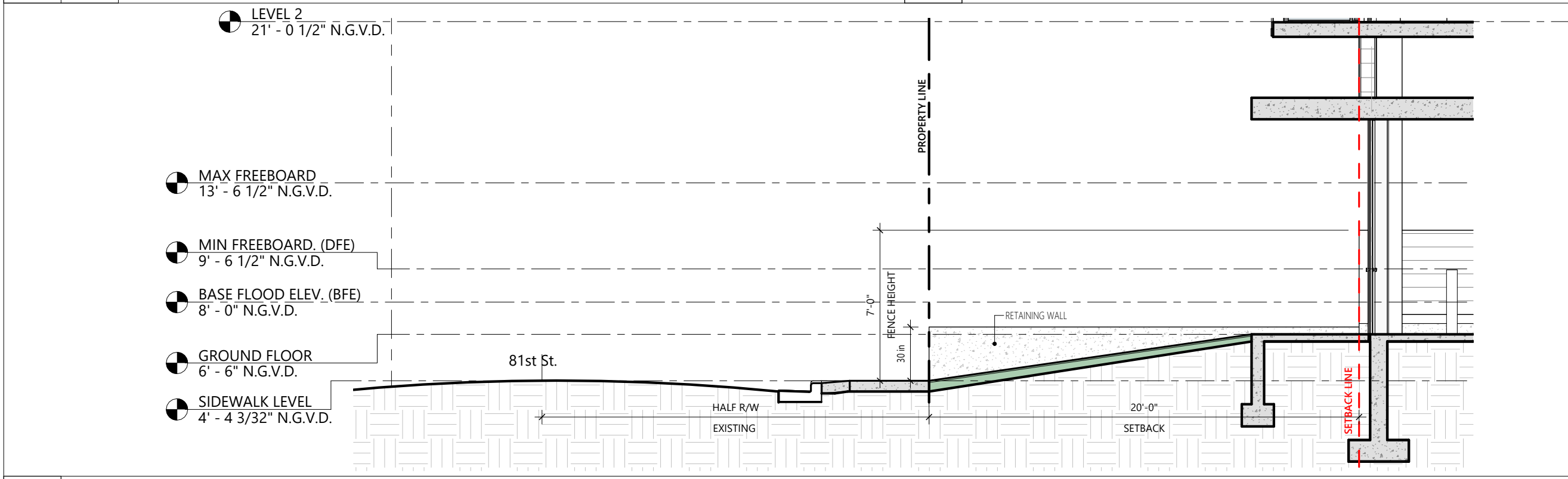
SHEET NO:
A7-1.01

10/9/2025 4:46:54 PM



1 GROUND LEVEL FLOOR PLAN
1" = 20'-0"

2 REAR YARD SECTION
3/16" = 1'-0"



3 FRONT YARD SECTION
3/16" = 1'-0"

PROJECT AND OWNER:
MARINA 81

775 81ST ST
MIAMI BEACH | FL | 33141
SEBASTIAN BOSCH

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
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DESIGNER:

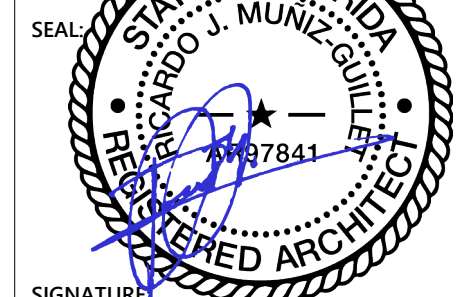


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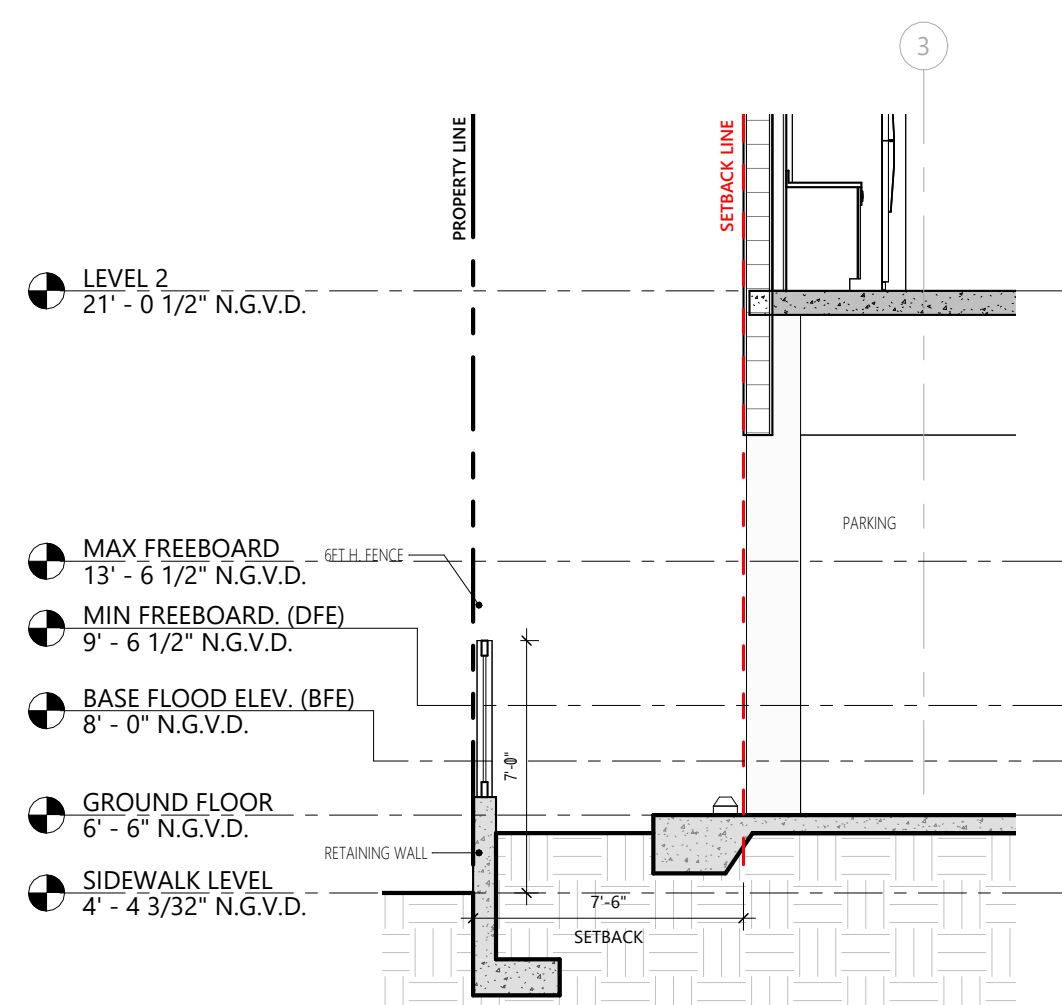
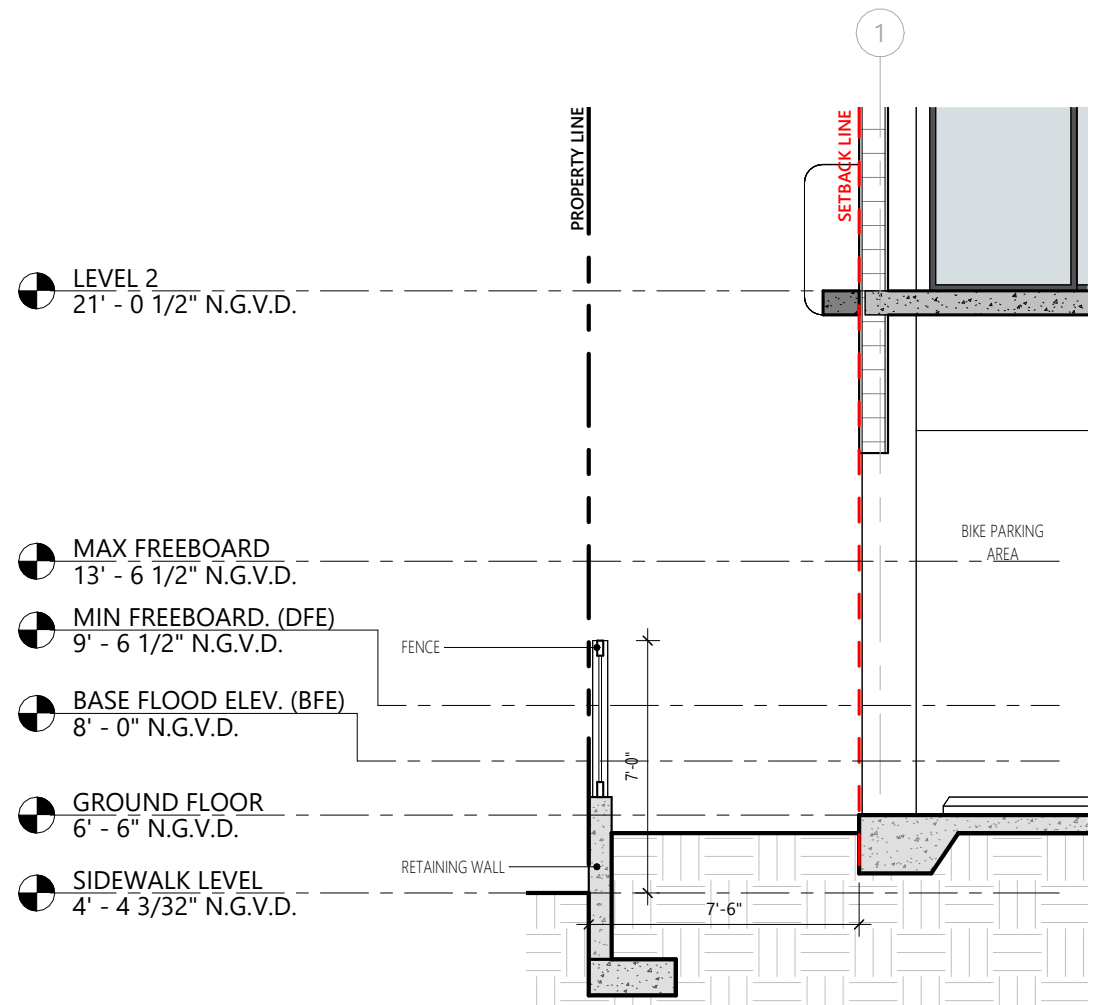
SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
YARD SECTIONS

SCALE:
N.T.S.

SHEET NO.:
A7-1.02

10/9/2025 4:46:55 PM



1 SIDE YARD SECTION 1
3/16" = 1'-0"

2 SIDE YARD SECTION 2
3/16" = 1'-0"

PROJECT AND OWNER:
MARINA 81

775 81ST ST
MIAMI BEACH | FL | 33141
SEBASTIAN BOSCH

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



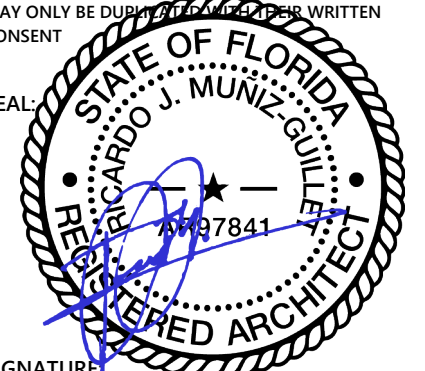
1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITTAL

PERMIT APPLICATION DATE: 07-16-2025
SHEET ISSUE DATE: 10-10-2025
PROJECT NO.: 2508
DRAWN BY: JA APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED AND REPRODUCED WITH THE WRITTEN
CONSENT

SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:

WALL DETAIL

SCALE:

N.T.S.

SHEET NO:

A7-1.03

10/9/2025 4:46:55 PM

MAX FREEBOARD
13' - 6 1/2" N.G.V.D.

MIN FREEBOARD (DFE)
9' - 6 1/2" N.G.V.D.

FENCE

BASE FLOOD ELEV. (BFE)
8' - 0" N.G.V.D.

7'-0"

GROUND FLOOR
6' - 6" N.G.V.D.

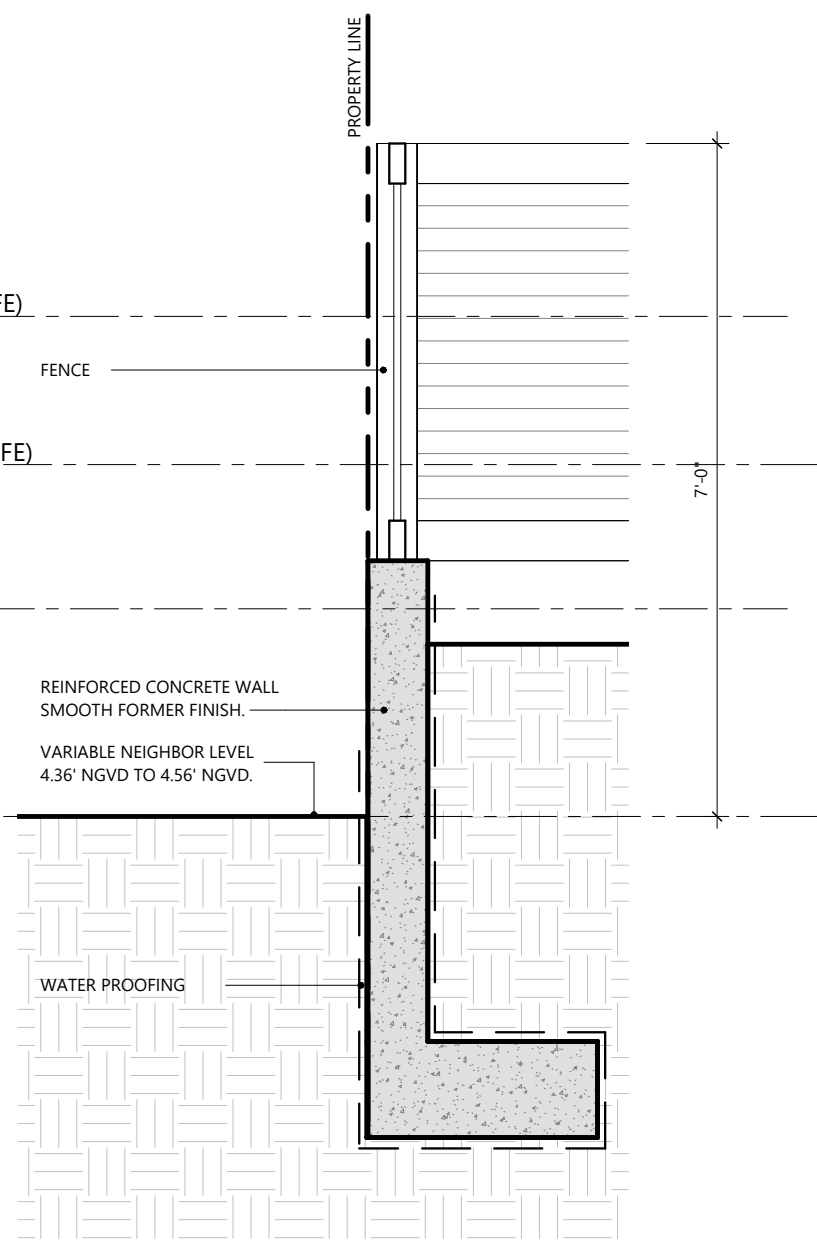
REINFORCED CONCRETE WALL
SMOOTH FORMER FINISH.

VARIABLE NEIGHBOR LEVEL
4.36' NGVD TO 4.56' NGVD.

SIDEWALK LEVEL
4' - 4 3/32" N.G.V.D.

WATER PROOFING

PROPERTY LINE



1

RETAINING WALL DETAIL SECTION

1/2" = 1'-0"