

MIAMI BEACH

Planning Department
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

LANDSCAPE LEGEND

ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY FAIL THE REVIEW
(Refer to the Chapter 4 Landscape Ordinance in the Resiliency Code for additional information)
<https://codehub.gridics.com/us/fl/miami-beach>

ITEM #	Property Address	Zoning District	Lot Area	Acres	Required Fields	Minimum Required	Provided
	800 SOUTH POINTE DRIVE, MIAMI BEACH, FL 33139						
		C-PS3	117,932	2.707			
A OPEN SPACE (**The below open space requirements are intended only for RS and RPS zoning districts)							
RS Districts							
	Square feet of required front yard open space as indicated on site plan:						
1	Total front yard area: _____ s.f. x _____ % (50% minimum without an Understory or 70% minimum with an Understory)				X	N/A	N/A
2	Square feet of required rear yard open space as indicated on site plan: Total rear yard area: _____ s.f. x 70% minimum =				X	N/A	N/A
RPS Districts:							
3	Residential Performance Standard Districts (RPS) open space requirements; the project architect shall provide calculation in accordance with the criteria per section 7.2.15.5. of the Resiliency Code				X	N/A	N/A
B LAWN AREA CALCULATION							
1	Total square feet of landscaped open space required (sum of A.1. and A.2. or per A.3.) =				X	N/A	N/A
2	Maximum lawn area (sod) permitted per Chapter 4.2.3. "Table A" = 20 % x 117,932 s.f. =				X	23,587	17,778
3	Total artificial turf area proposed as shown on plans (if applicable) =				X	N/A	N/A
C TREES							
1	*Number of trees required per lot or net lot acre, meeting minimum zoning district requirements (not including street trees) = 22 trees x _____ net lot acres (not applicable to RS districts) - number of existing trees = 6 EX. TREES (100% percent of the required trees shall be low maintenance or drought and salt tolerant species) 31 PROPOSED				X	22	37
2	Street Trees: Number of street trees at a maximum average spacing of 20 feet on center = 903 LF-106 LF EX. DRIVEWAYS				X	40	16 EX. PALMS 8 TREES
3	Total number of trees: Sum of required lot and street trees = 31 LOT, 8 STREET TREES, 15 ROOF LEVEL, 8 PALMS				X	62	62
4	% Natives required: Number of trees provided x 50% =				X	31	51
5	Tree Diversity: Based on number of required lot and street trees =				X	7	7
D SHRUBS							
1	Number of shrubs required: Number of lot and street trees required x 12 = (100% of shrubs or small trees shall be low maintenance, drought tolerant, and salt tolerant)				X	744	744 MIN.
2	% Native shrubs required: Number of shrubs provided x 50% =				X	372	372 MIN.
3	Shrub Diversity: Based on number of required shrubs = (No one species of shrub shall constitute more than 20% of the shrubs required)				X	149	149 MAX.
E LARGE SHRUBS/SMALL TREES							
1	Number of large shrubs or small trees required: 10% of number of required shrubs = (100% of large shrubs or small trees shall be low maintenance, drought tolerant, and salt tolerant)				X	74	74 MIN.
2	% Native large shrubs or small trees required: 50% of provided large shrubs or small trees =				X	37	37 MIN.
NOTES:							
* The number of required trees listed in "Table A" for category 1 residential zoning districts (RS) are intended for properties up to 6,000 square feet lot area. Provide one additional tree for each additional 1,000 square feet of lot area. If the total lot area is a fraction over the additional 1,000 square feet then, the number of required trees will be rounded up. The net lot acre multiplier does not apply to RS zoning districts.							
* Tree mitigation credits as provided by the Urban Forestry Division shall only apply to those trees counting towards mitigation, and not used to independently satisfy the Chapter 4 Landscape Ordinance minimum lot and street tree requirements.							
** For all other districts, there are applicable minimum setback requirements. For multi-family residential districts (RM), the minimum setback areas must consist of pervious landscape, unless an allowable encroachment / projection is provided (e.g. walkway, driveway, etc.). After considering the allowable encroachments, what remains within the setback must be landscape. This remaining landscape area can have a maximum lawn area of 20% - 30% per "Table A" of Chapter 4.2.3. Place "N/A" if field is not applicable.							
Applicant Signature:					X		
NOTE: Multifamily residential and commercial zones. In multifamily residential, RM-1, RM-2, RM-3, RPS-1, RPS-2, RPS-3, RPS-4, RO, TC-3 or commercial zones, CD- 1, CD-2, CD-3, C-PS-1, C-PS-2, C-PS-3, C-PS-4, 1-1, MXE, TC-1, TC-2, if the minimum number of trees required cannot be planted on the ground level of the subject property, the applicant may plant 25 percent of the required trees on upper levels such as open recreation areas, roofs, and exposed decks. MINIMUM OF (15) 16' HEIGHT TREES ON POOL DECK TERRACE TO COUNT TOWARDS OVERALL TREE REQUIREMENT.							

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Project
APOGEE
EXTERIOR RENOVATION
800 SOUTH POINTE DRIVE
MIAMI BEACH, FL 33139

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Revisions	
09/21/2025	DRB FIRST SUBMITTAL
10/12/2025	DRB FINAL SUBMITTAL
12/11/2025	DRB HEARING DATE

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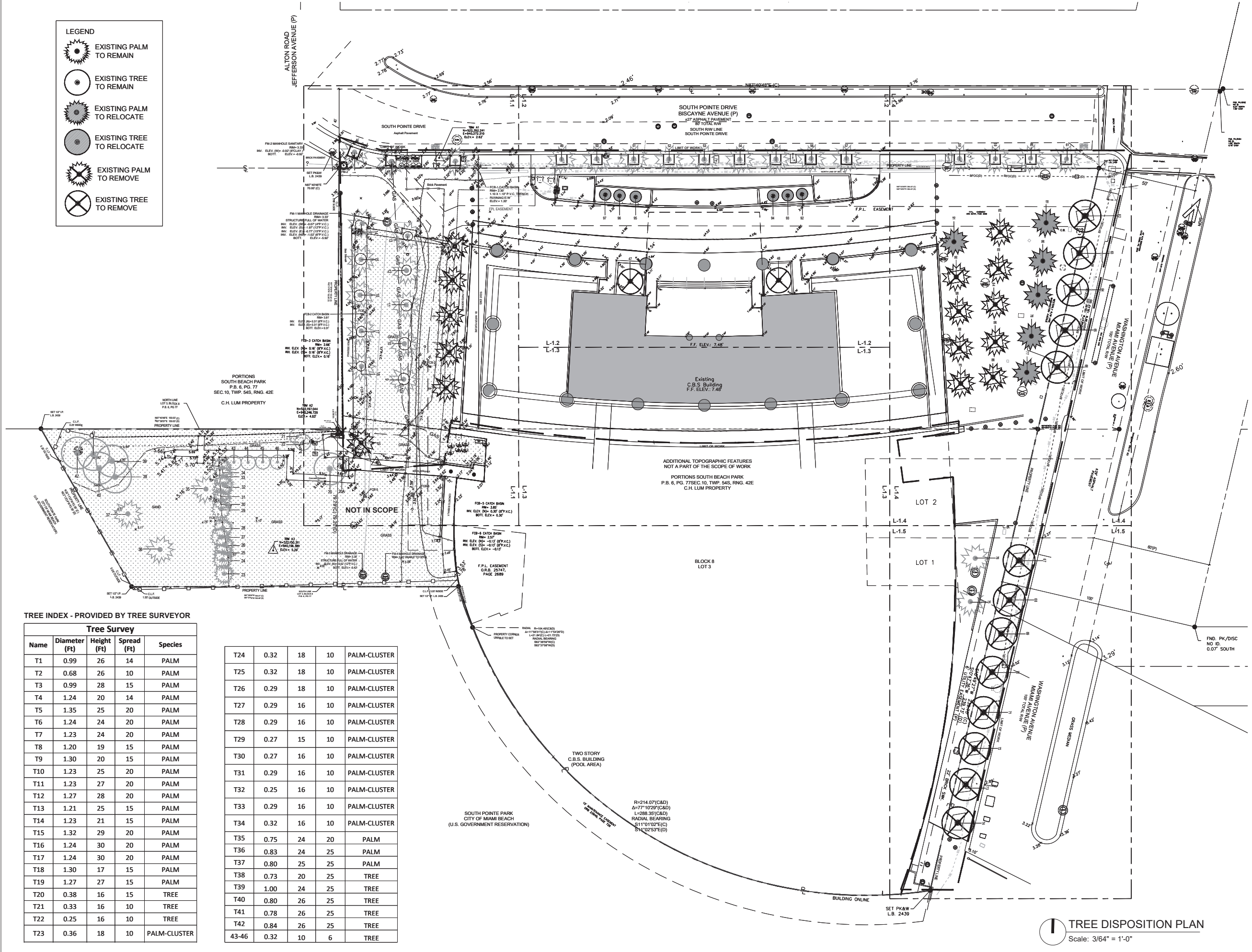
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LEGEND

-  EXISTING PALM TO REMAIN
-  EXISTING TREE TO REMAIN
-  EXISTING PALM TO RELOCATE
-  EXISTING TREE TO RELOCATE
-  EXISTING PALM TO REMOVE
-  EXISTING TREE TO REMOVE



TREE INDEX - PROVIDED BY TREE SURVEYOR

Tree Survey				
Name	Diameter (Ft)	Height (Ft)	Spread (Ft)	Species
T1	0.99	26	14	PALM
T2	0.68	26	10	PALM
T3	0.99	28	15	PALM
T4	1.24	20	14	PALM
T5	1.35	25	20	PALM
T6	1.24	24	20	PALM
T7	1.23	24	20	PALM
T8	1.20	19	15	PALM
T9	1.30	20	15	PALM
T10	1.23	25	20	PALM
T11	1.23	27	20	PALM
T12	1.27	28	20	PALM
T13	1.21	25	15	PALM
T14	1.23	21	15	PALM
T15	1.32	29	20	PALM
T16	1.24	30	20	PALM
T17	1.24	30	20	PALM
T18	1.30	17	15	PALM
T19	1.27	27	15	PALM
T20	0.38	16	15	TREE
T21	0.33	16	10	TREE
T22	0.25	16	10	TREE
T23	0.36	18	10	PALM-CLUSTER

T24	0.32	18	10	PALM-CLUSTER
T25	0.32	18	10	PALM-CLUSTER
T26	0.29	18	10	PALM-CLUSTER
T27	0.29	16	10	PALM-CLUSTER
T28	0.29	16	10	PALM-CLUSTER
T29	0.27	15	10	PALM-CLUSTER
T30	0.27	16	10	PALM-CLUSTER
T31	0.29	16	10	PALM-CLUSTER
T32	0.25	16	10	PALM-CLUSTER
T33	0.29	16	10	PALM-CLUSTER
T34	0.32	16	10	PALM-CLUSTER
T35	0.75	24	20	PALM
T36	0.83	24	25	PALM
T37	0.80	25	25	PALM
T38	0.73	20	25	TREE
T39	1.00	24	25	TREE
T40	0.80	26	25	TREE
T41	0.78	26	25	TREE
T42	0.84	26	25	TREE
43-46	0.32	10	6	TREE

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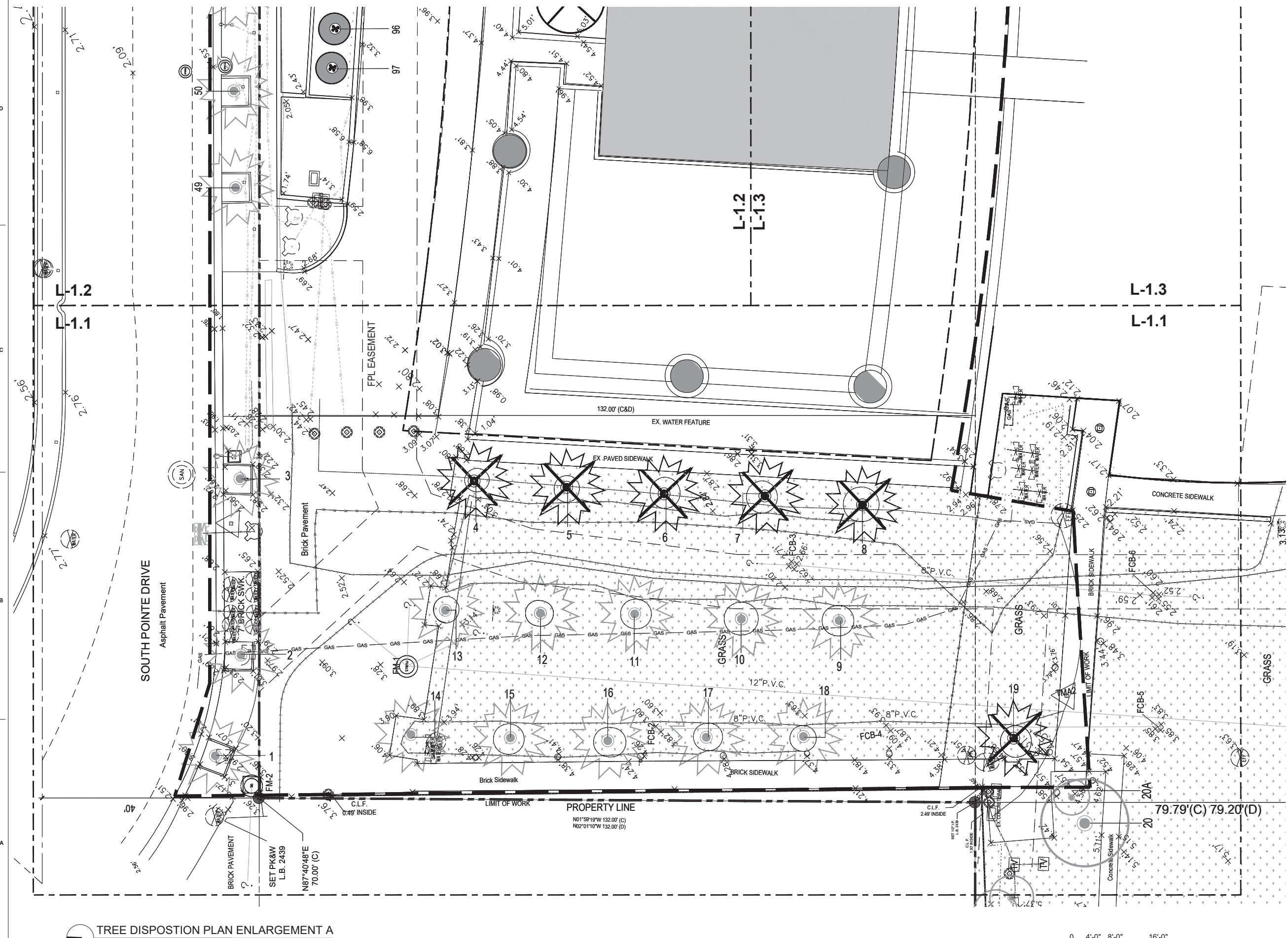
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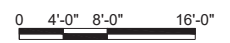
TREE DISPOSITION PLAN
Scale: 3/64" = 1'-0"

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TREE DISPOSITION PLAN ENLARGEMENT A
Scale: 1/8" = 1'-0"



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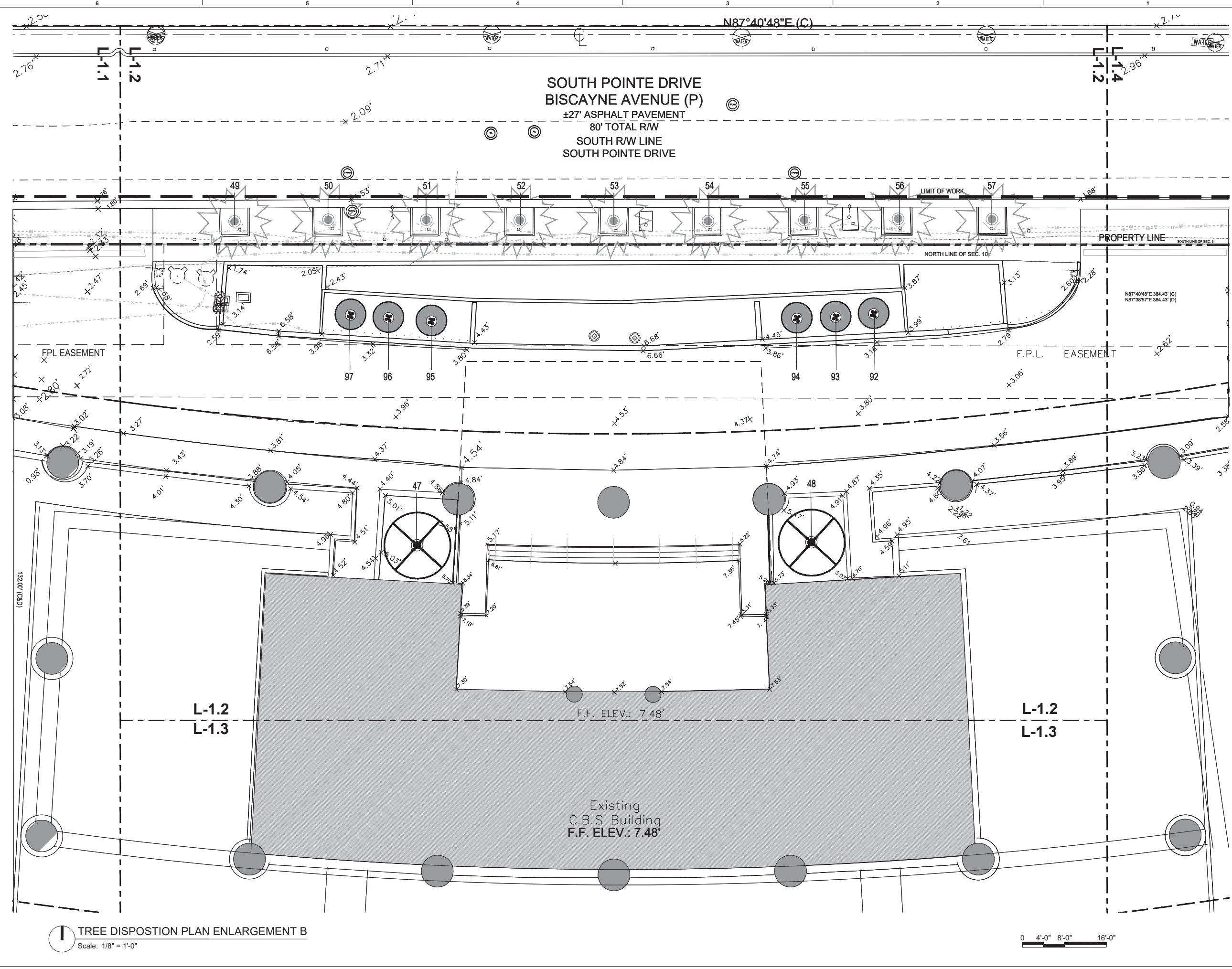
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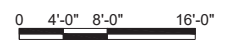
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Sheet No: L-1.1

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TREE DISPOSITION PLAN ENLARGEMENT B
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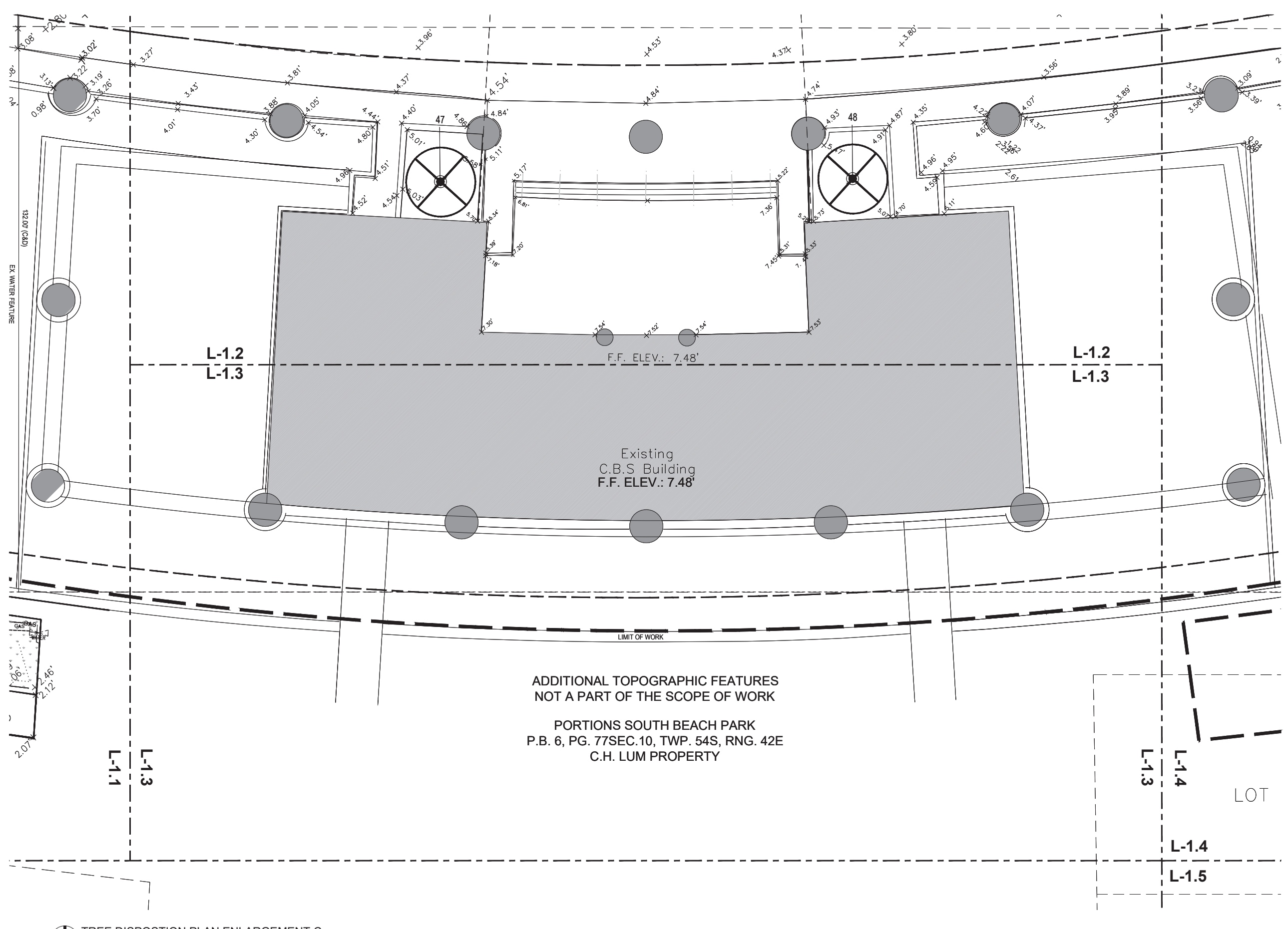
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Project No.	202209
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Sheet No.	L-1.2

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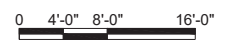
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ADDITIONAL TOPOGRAPHIC FEATURES
NOT A PART OF THE SCOPE OF WORK

PORTIONS SOUTH BEACH PARK
P.B. 6, PG. 77SEC.10, TWP. 54S, RNG. 42E
C.H. LUM PROPERTY

TREE DISPOSITION PLAN ENLARGEMENT C
Scale: 1/8" = 1'-0"



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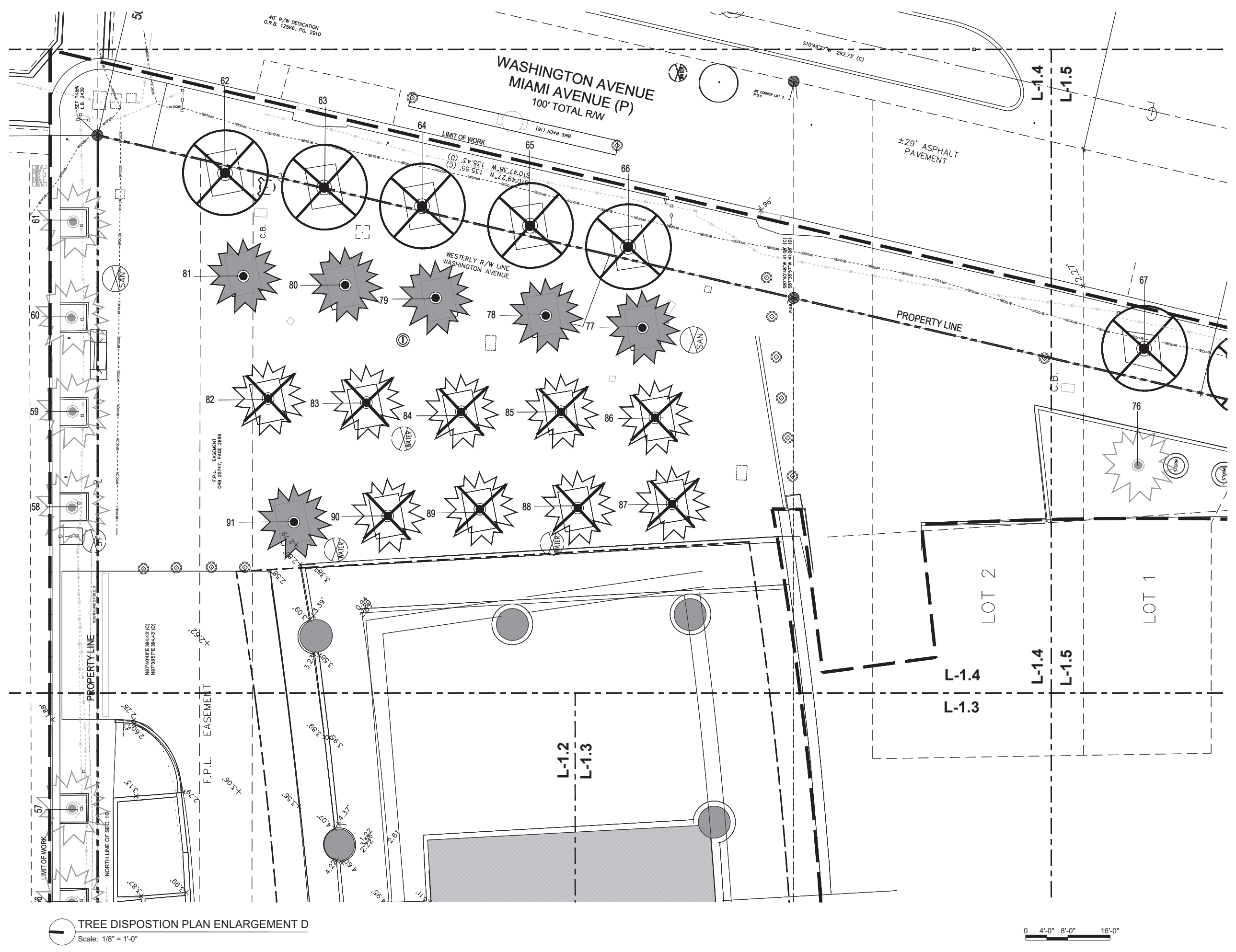
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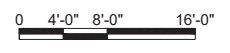
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Sheet Name
TREE DISPOSITION PLAN ENLARGEMENT C
Sheet No.

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TREE DISPOSITION PLAN ENLARGEMENT D
Scale: 1/8" = 1'-0"



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GROUND LEVEL TREE DISPOSITION LIST										
BASED ON TREE SURVEY PROVIDED BY FORTIN, LEAVY, SKILES, INC., LB3653										
ARBORIST REPORT PURPLE MARTIN STUDIO 06/13/2025										
ITEM	SCIENTIFIC NAME	COMMON NAME	DBH (IN)	HEIGHT +/- (FT)	SPREAD (FT)	MIT. REQ.	CONDITION	DISPOSITION	TPZ (FT)	NOTES
1	COCOS NUCIFERA	COCONUT PALM	8	25	14		GOOD	REMAIN	5	
2	COCOS NUCIFERA	COCONUT PALM	10.5	25	10		GOOD	REMAIN	7	
3	COCOS NUCIFERA	COCONUT PALM	11	28	15		GOOD	REMAIN	7	
4	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	15	20	14	YES	GOOD	REMOVE	10	
5	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	15	25	20	YES	GOOD	REMOVE	9	
6	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	14	24	20	YES	GOOD	REMOVE	10	
7	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	15	24	20	YES	GOOD	REMOVE	9	
8	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	14	19	15	YES	GOOD	REMOVE	9	
9	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	16	20	15		GOOD	REMAIN	11	
10	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	14	25	20		GOOD	REMAIN	9	
11	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	14	27	20		GOOD	REMAIN	9	
12	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	15	28	20		GOOD	REMAIN	10	
13	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	15	25	15		GOOD	REMAIN	8	
14	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	14	21	15		GOOD	REMAIN	9	TRUNK DAMAGE
15	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	14	29	20		GOOD	REMAIN	9	
16	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	14	30	20		GOOD	REMAIN	9	
17	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	14	30	20		GOOD	REMAIN	9	
18	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	14	17	15		GOOD	REMAIN	8	
19	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	STUMP	N/A	N/A	YES	DEAD	REMOVE	0	STUMP
20	FILICIJM DECIPIENS	JAPANESE FERN TREE	8.5	16	15		GOOD	REMAIN	6	
20A	MYRCIANTHES FRAGRANS	SIMPSON STOPPER	12	15	10		GOOD	REMAIN	8	
21	MYRCIANTHES FRAGRANS	SIMPSON STOPPER	15	16	10		GOOD/FAIR	REMAIN	10	IRREGULAR CANOPY, CUT BACK
22	MYRCIANTHES FRAGRANS	SIMPSON STOPPER	8	16	10		GOOD/FAIR	REMAIN	5	IRREGULAR CANOPY, CUT BACK
23	DYPSIS CABADAE	CABADA PALM - MULTI	33	16	10		GOOD	REMAIN	22	
24	DYPSIS CABADAE	CABADA PALM - MULTI	43	18	10		GOOD	REMAIN	29	
25	DYPSIS CABADAE	CABADA PALM - MULTI	30	18	10		GOOD	REMAIN	20	
26	DYPSIS CABADAE	CABADA PALM - MULTI	23	18	10		GOOD	REMAIN	15	
27	DYPSIS CABADAE	CABADA PALM - MULTI	12	18	10		GOOD	REMAIN	8	
28	DYPSIS CABADAE	CABADA PALM - MULTI	36	18	10		GOOD	REMAIN	24	
29	DYPSIS CABADAE	CABADA PALM - MULTI	27	16	10		GOOD	REMAIN	18	
30	DYPSIS CABADAE	CABADA PALM - MULTI	8	16	10		GOOD	REMAIN	5	
31	DYPSIS CABADAE	CABADA PALM - MULTI	30	16	10		GOOD	REMAIN	20	
32	DYPSIS CABADAE	CABADA PALM - MULTI	31	16	10		GOOD	REMAIN	21	
33	DYPSIS CABADAE	CABADA PALM - MULTI	27	16	10		GOOD	REMAIN	18	
34	DYPSIS CABADAE	CABADA PALM - MULTI	29	16	10		GOOD	REMAIN	19	
35	COCOS NUCIFERA	COCONUT PALM	9	24	20		GOOD	REMAIN	6	
36	COCOS NUCIFERA	COCONUT PALM	9.5	24	25		GOOD	REMAIN	6	
37	COCOS NUCIFERA	COCONUT PALM	9.5	25	25		GOOD	REMAIN	6	
38	CLUSIA ROSEA	PITCH APPLE	26	20	25		GOOD	REMAIN	17	
39	CLUSIA ROSEA	PITCH APPLE	2	24	25		FAIR	REMAIN	8	LIGHTING DAMAGE, TORN LIMBS
40	CLUSIA ROSEA	PITCH APPLE	17	26	25		GOOD	REMAIN	11	
41	CLUSIA ROSEA	PITCH APPLE	10	26	25		GOOD	REMAIN	7	TRUNK DAMAGE
42	CLUSIA ROSEA	PITCH APPLE	11	26	25		GOOD	REMAIN	7	
43	FILICIJM DECIPIENS	JAPANESE FERN TREE	3	10	6		FAIR	REMAIN	2	UNDER REG.
44	FILICIJM DECIPIENS	JAPANESE FERN TREE	5	10	6		FAIR	REMAIN	3	UNDER REG.
45	FILICIJM DECIPIENS	JAPANESE FERN TREE	6	10	6		FAIR	REMAIN	4	UNDER REG.
46	FILICIJM DECIPIENS	JAPANESE FERN TREE	4	10	6		FAIR	REMAIN	3	UNDER REG.

NOTE: TREES 20A-46 NOT INCLUDED IN SCOPE OF WORK

47	FICUS MICROCARPA	GREEN ISLAND FICUS	15	5	5		GOOD	REMAIN	10	
48	FICUS MICROCARPA	GREEN ISLAND FICUS	12	8	8		GOOD	REMAIN	8	
49	COCOS NUCIFERA	COCONUT PALM	11	20	20		GOOD	REMAIN	7	
50	COCOS NUCIFERA	COCONUT PALM	8	18	20		GOOD	REMAIN	5	
51	COCOS NUCIFERA	COCONUT PALM	10	18	20		FAIR	REMAIN	7	
52	COCOS NUCIFERA	COCONUT PALM	12	20	20		GOOD	REMAIN	8	
53	COCOS NUCIFERA	COCONUT PALM	13.5	20	20		GOOD	REMAIN	9	
54	COCOS NUCIFERA	COCONUT PALM	11.5	18	20		FAIR	REMAIN	8	
55	COCOS NUCIFERA	COCONUT PALM	9	18	20		GOOD	REMAIN	6	
56	COCOS NUCIFERA	COCONUT PALM	12	18	20		GOOD	REMAIN	8	
57	COCOS NUCIFERA	COCONUT PALM	12	16	15		GOOD	REMAIN	8	
58	COCOS NUCIFERA	COCONUT PALM	11	20	20		GOOD	REMAIN	7	
59	COCOS NUCIFERA	COCONUT PALM	12	18	20		FAIR	REMAIN	8	
60	COCOS NUCIFERA	COCONUT PALM	11.5	18	15		FAIR	REMAIN	8	
61	COCOS NUCIFERA	COCONUT PALM	9.5	16	10		GOOD	REMAIN	6	
62	QUERCUSE VIRGINIANA	LIVE OAK	7	12	10	YES	FAIR/POOR	REMOVE	5	CUT BACK, IN DECLINE
63	QUERCUSE VIRGINIANA	LIVE OAK	4	12	5	YES	POOR	REMOVE	3	
64	QUERCUSE VIRGINIANA	LIVE OAK	5	12	5	YES	POOR	REMOVE	3	
65	QUERCUSE VIRGINIANA	LIVE OAK	6	12	10	YES	POOR	REMOVE	4	
66	QUERCUSE VIRGINIANA	LIVE OAK	5	12	5	YES	POOR	REMOVE	3	
67	QUERCUSE VIRGINIANA	LIVE OAK	6	12	5	YES	POOR	REMOVE	4	LEANING
68	QUERCUSE VIRGINIANA	LIVE OAK	6	12	10	YES	POOR	REMOVE	4	
69	QUERCUSE VIRGINIANA	LIVE OAK	4	12	5	YES	POOR	REMOVE	3	LEANING
70	QUERCUSE VIRGINIANA	LIVE OAK	5	15	10	YES	POOR	REMOVE	3	
71	QUERCUSE VIRGINIANA	LIVE OAK	4	15	10	YES	POOR	REMOVE	3	STAKES GROWING INTO TREES
72	QUERCUSE VIRGINIANA	LIVE OAK	5	15	10	YES	FAIR	REMOVE	3	LEANING
73	QUERCUSE VIRGINIANA	LIVE OAK	5	15	10	YES	FAIR	REMOVE	3	
74	QUERCUSE VIRGINIANA	LIVE OAK	6	15	10	YES	FAIR	REMOVE	4	
75	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	15	25	10		GOOD	REMAIN	10	
76	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	15	30	10		GOOD	REMAIN	10	
77	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	14	30	10		GOOD	RELOCATE	9	
78	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	15	20	10		GOOD	RELOCATE	10	
79	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	15	18	10		GOOD	RELOCATE	10	
80	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	14	16	10		GOOD	RELOCATE	9	
81	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	14	16	10		GOOD	RELOCATE	9	
82	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	15	16	10	YES	GOOD	REMOVE	0	
83	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	15	16	10	YES	GOOD	REMOVE	10	
84	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	14	18	10	YES	GOOD	REMOVE	9	
85	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	15	18	10	YES	GOOD	REMOVE	10	
86	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	14	20	10	YES	GOOD	REMOVE	9	
87	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	13	20	10	YES	GOOD	REMOVE	9	
88	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	13	20	10	YES	GOOD	REMOVE	9	
89	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	16	20	10	YES	GOOD	REMOVE	11	
90	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	13	16	10	YES	GOOD	REMOVE	9	
91	PHOENIX DACTYLIFERA	MEDJOO DATE PALM	15	16	10		GOOD	RELOCATE	10	
92	CONOCARPUS ERECTUS 'SERICEUS'	SILVER BUTTWOOD	15	12	6		GOOD	RELOCATE	10	MULTI-TRUNK
93	CONOCARPUS ERECTUS 'SERICEUS'	SILVER BUTTWOOD	15	12	6		GOOD	RELOCATE	10	MULTI-TRUNK
94	CONOCARPUS ERECTUS 'SERICEUS'	SILVER BUTTWOOD	15	12	6		GOOD	RELOCATE	10	MULTI-TRUNK
95	CONOCARPUS ERECTUS 'SERICEUS'	SILVER BUTTWOOD	15	12	6		GOOD	RELOCATE	10	MULTI-TRUNK
96	CONOCARPUS ERECTUS 'SERICEUS'	SILVER BUTTWOOD	12	12	6		GOOD	RELOCATE	8	MULTI-TRUNK
97	CONOCARPUS ERECTUS 'SERICEUS'	SILVER BUTTWOOD	15	12	6		GOOD	RELOCATE	10	MULTI-TRUNK

Project
APOGEE
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Revisions

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09/21/2025	DRB FIRST SUBMITTAL
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Date: 2025.10.10 14:50:57 -0400
STEPHEN MICHAEL CALLAHAN
STATE OF FLORIDA RLA #6667206

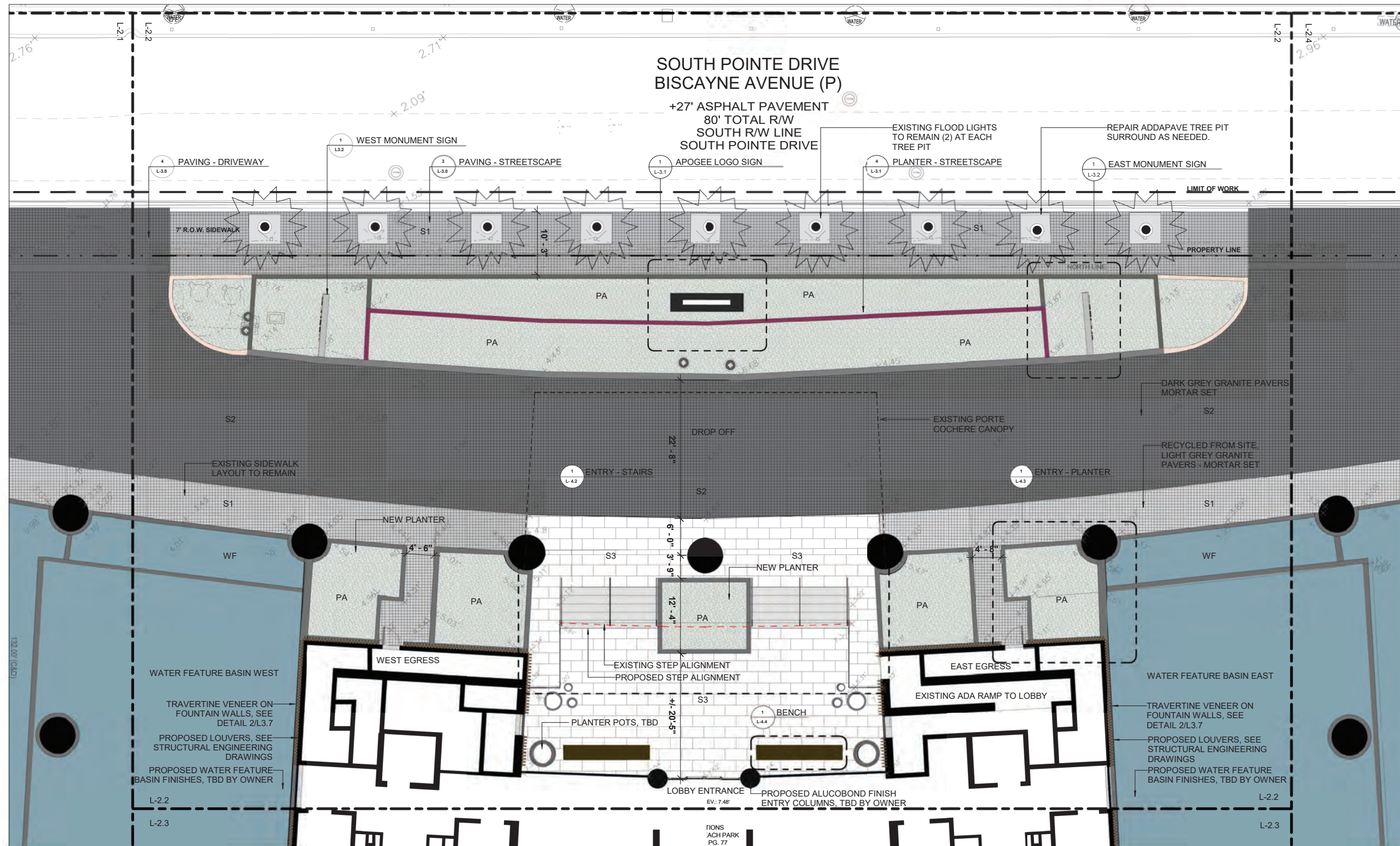
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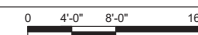
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MATERIAL LEGEND

	S1 - LIGHT GRAY GRANITE PAVER 4X4 - RECYCLED FROM SITE
	S2 - NEW DARK GRAY GRANITE VEHICULAR PAVER 4X4
	S3 - STONE PAVING EXISTING/ REPAIR TO MATCH EXISTING
	WF - EXISTING WATER FEATURE BASIN
	PA - PLANTING AREA
	LA - LAWN AREA



1 HARDSCAPE ENLARGEMENT PLAN B
1/8" = 1'-0"



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Date: 2025.10.10 14:51:50 -0400
STEPHEN MICHAEL CALLAHAN
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Date
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Sheet Name
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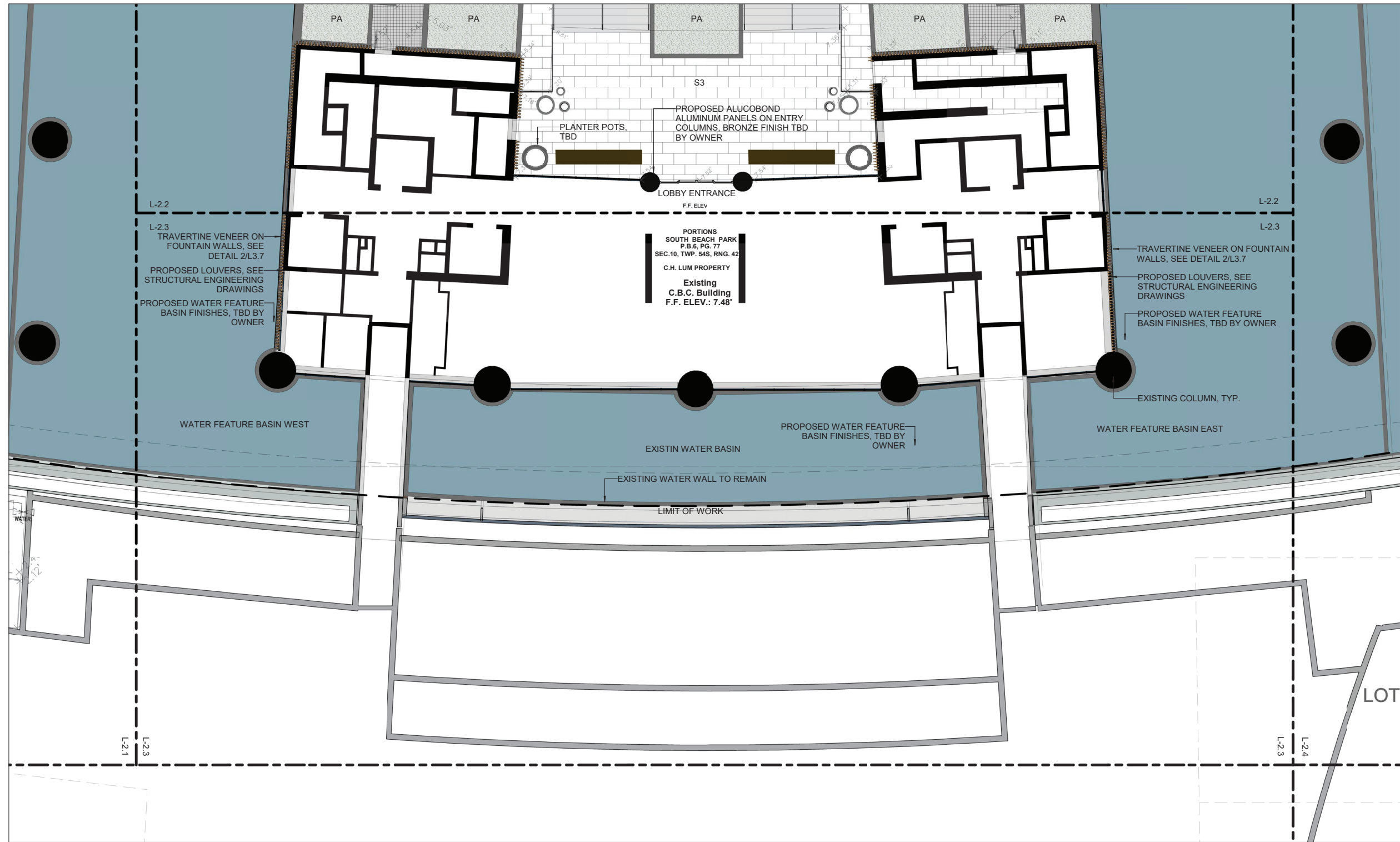
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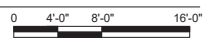
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	S2 - NEW DARK GRAY GRANITE VEHICULAR PAVER 4X4
	S3 - STONE PAVING EXISTING/ REPAIR TO MATCH EXISTING
	WF - EXISTING WATER FEATURE BASIN
	PA - PLANTING AREA
	LA - LAWN AREA



PORTIONS
SOUTH BEACH PARK
P.B.6, PG. 77
SEC.10, TWP. 54S, RNG. 42
C.H. LUM PROPERTY
Existing
C.B.C. Building
F.F. ELEV.: 7.48'

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1 HARDSCAPE ENLARGEMENT PLAN C
1/8" = 1'-0"



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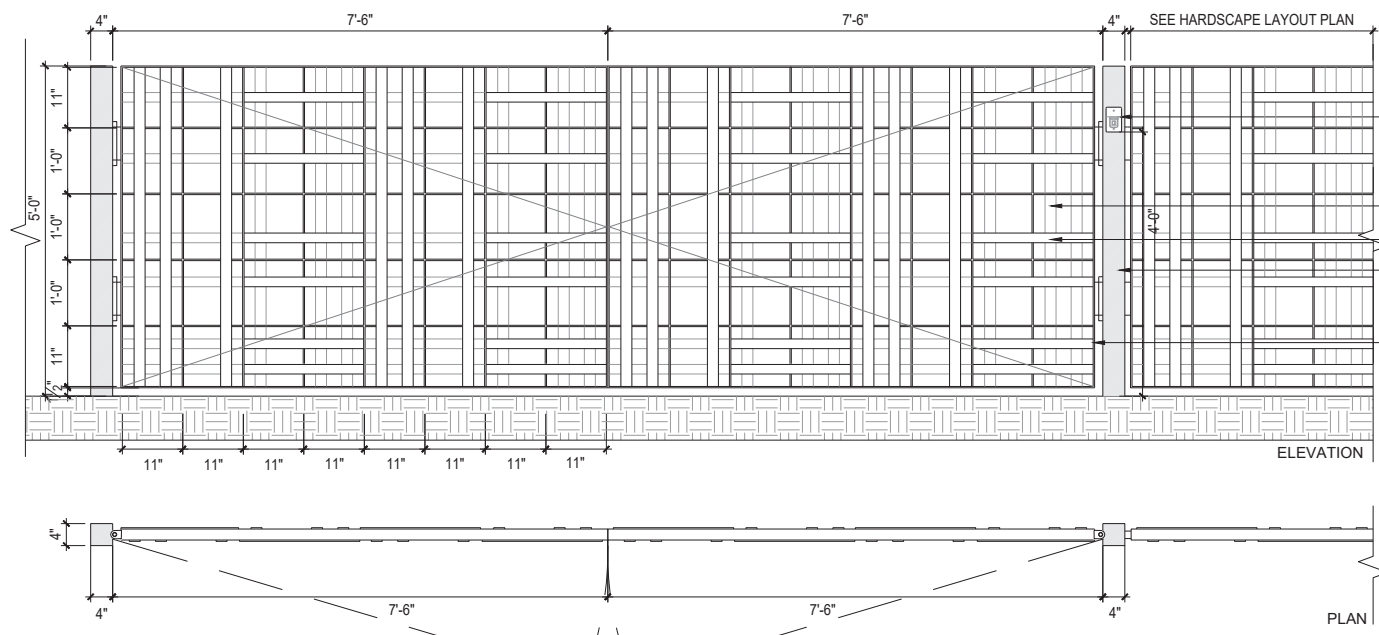
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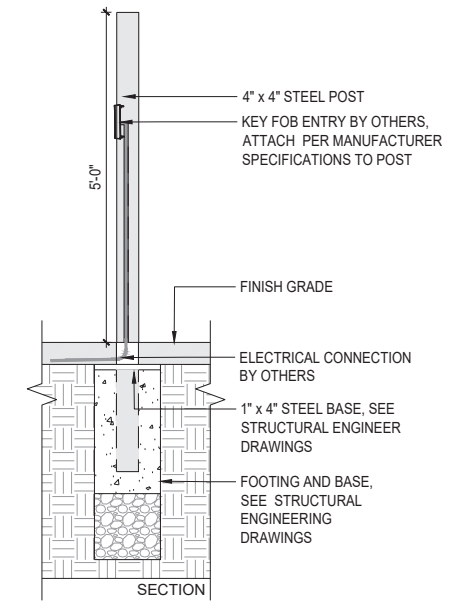
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Date: 2025.10.10 14:52:15 -0400
STEPHEN MICHAEL CALLAHAN
STATE OF FLORIDA RLA #6667206

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Sheet No.

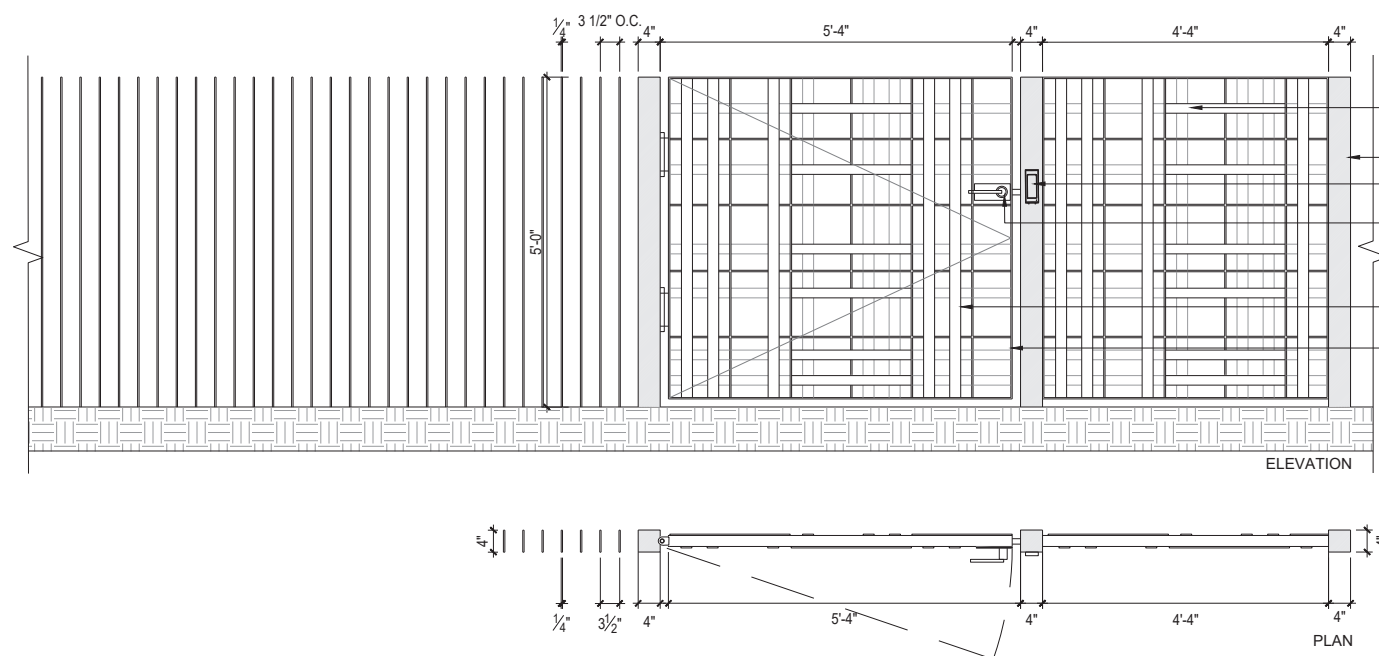


- KNOX KEY SWITCH MODEL 3502 PER MIAMI-DADE FIRE RESCUE ACCESS ROAD REQUIREMENTS, SEE DETAIL 1/L-2.10
- 2" x 1/4" STEEL PICKETS
- 2" x 1/4" STEEL CROSS BARS
- 4" x 4" STEEL POSTS
- 2" x 1/2" STEEL GATE FRAME

NOTE: BRONZE FINISH. CONTRACTOR TO PROVIDE FENCE AND GATE SHOP DRAWINGS FOR OWNER AND LANDSCAPE ARCHITECT APPROVAL

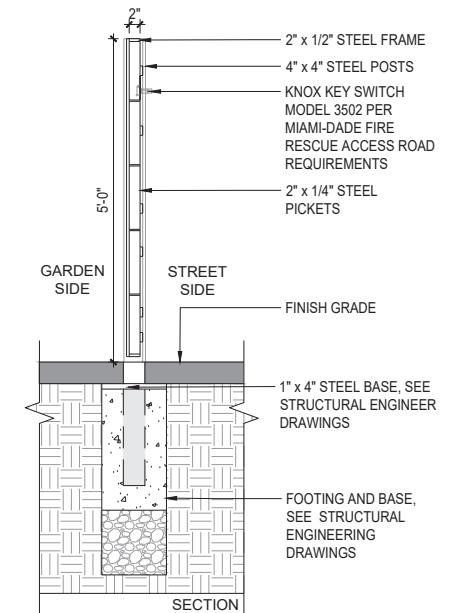


1 FIRE ACCESS DOUBLE GATE AND NORTH FENCE
Scale: 3/4" = 1'-0"



- 2" x 1/4" STEEL CROSS BARS
- 4" x 4" STEEL POST
- KEY FOB ENTRY, BY OTHERS
- SELF-LATCHING GATE LATCH, FINISH TO MATCH FENCE, 40" TOP HEIGHT MOUNTED
- 2" x 1/4" STEEL PICKETS
- 2" x 1/2" STEEL GATE FRAME

NOTE: BRONZE FINISH. CONTRACTOR TO PROVIDE FENCE AND GATE SHOP DRAWINGS FOR OWNER AND LANDSCAPE ARCHITECT APPROVAL



2 WEST SIDE YARD - PEDESTRIAN GATE
Scale: 3/4" = 1'-0"

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Revisions

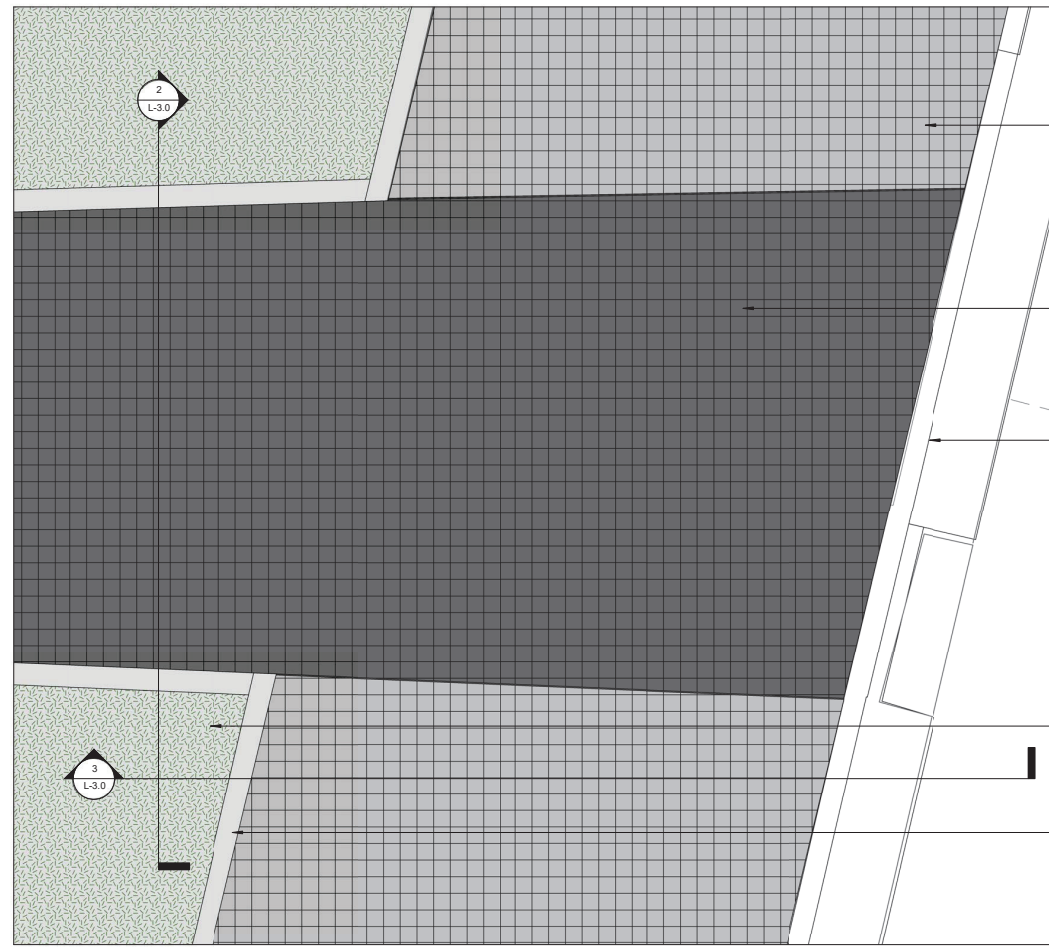
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Date: 2025.10.10 14:54:09 -0400
STEPHEN MICHAEL CALLAHAN
STATE OF FLORIDA RLA #6667206

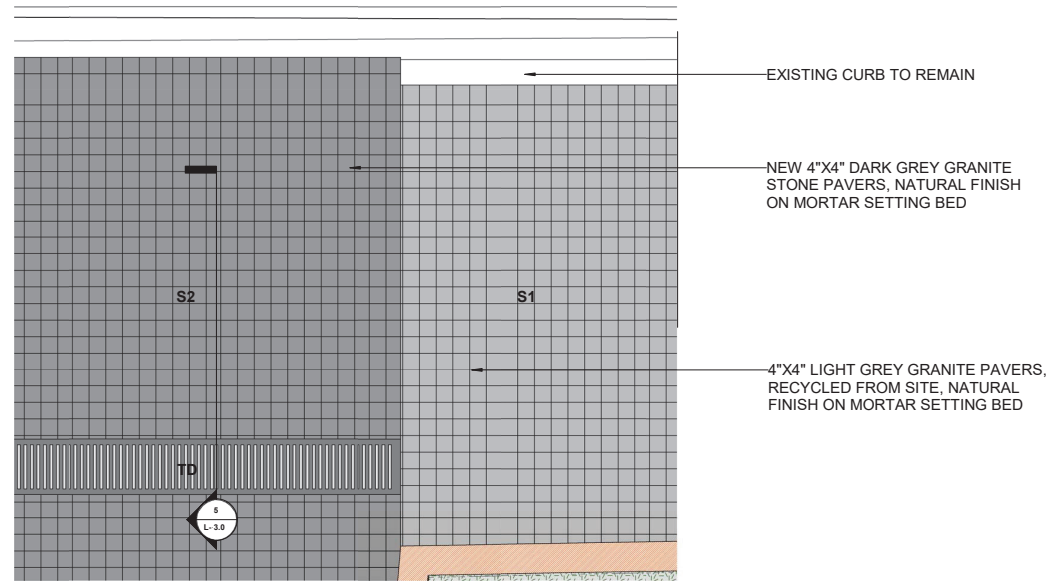
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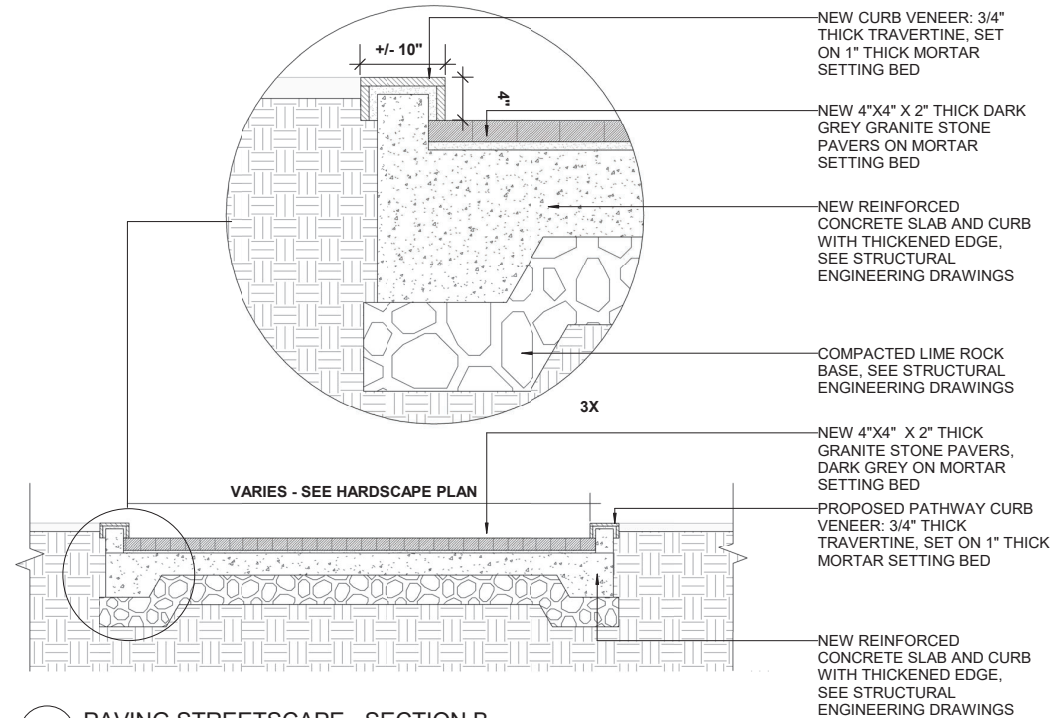
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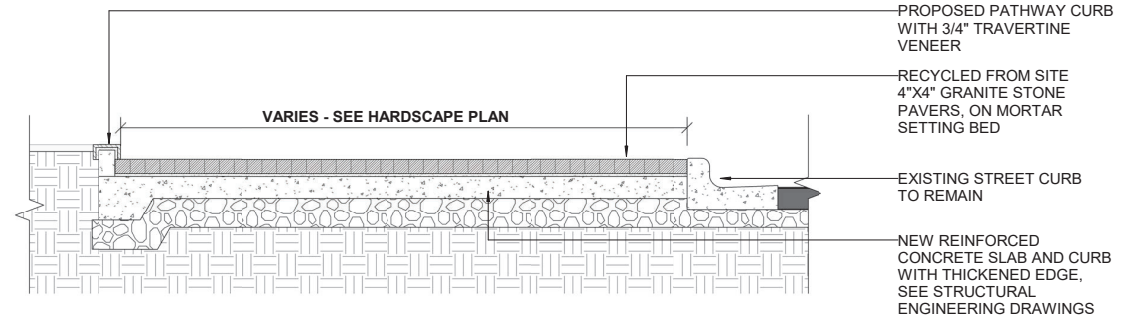
1 PAVING STREETSCAPE - ENLARGEMENT PLAN
1/2" = 1'-0"



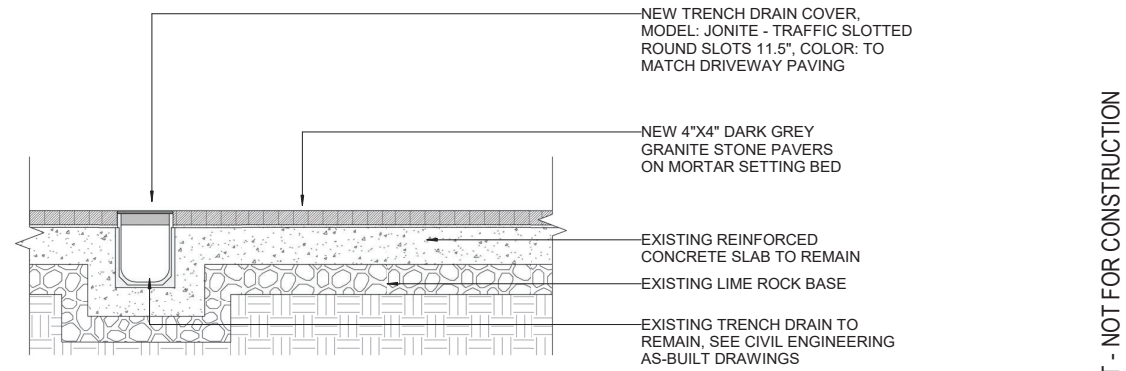
4 PAVING DRIVEWAY
1/2" = 1'-0"



2 PAVING STREETSCAPE - SECTION B
1/2" = 1'-0"



3 PAVING STREETSCAPE - SECTION A
1/2" = 1'-0"



5 PAVING DRIVEWAY - SECTION
1/2" = 1'-0"

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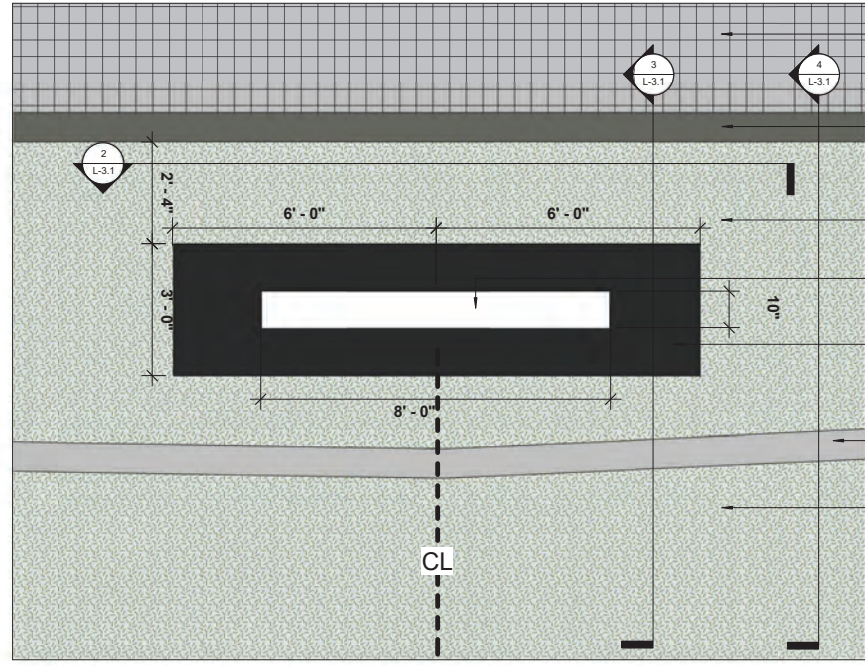
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Date: 2025.10.10 14:54:40 -0400

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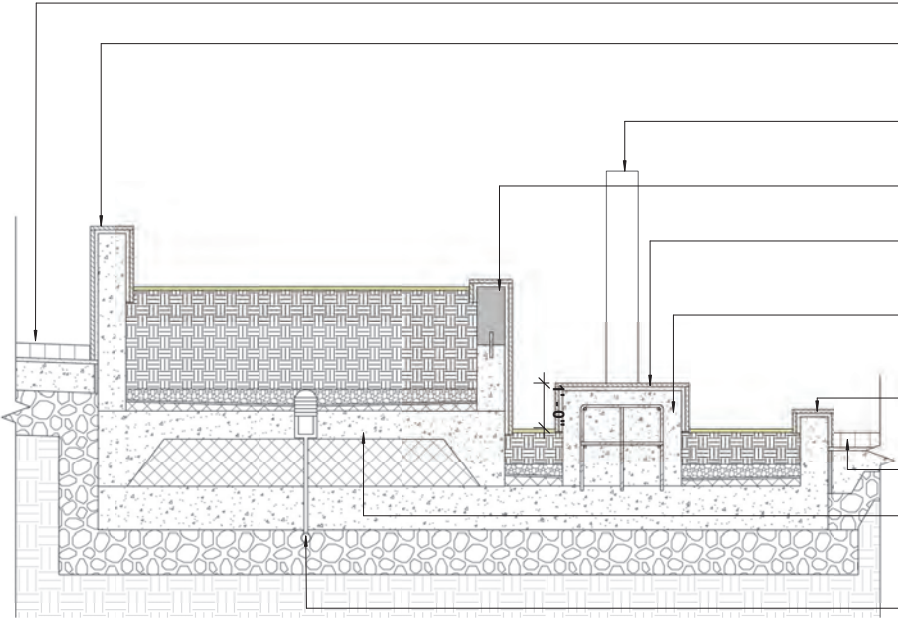
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Sheet No.

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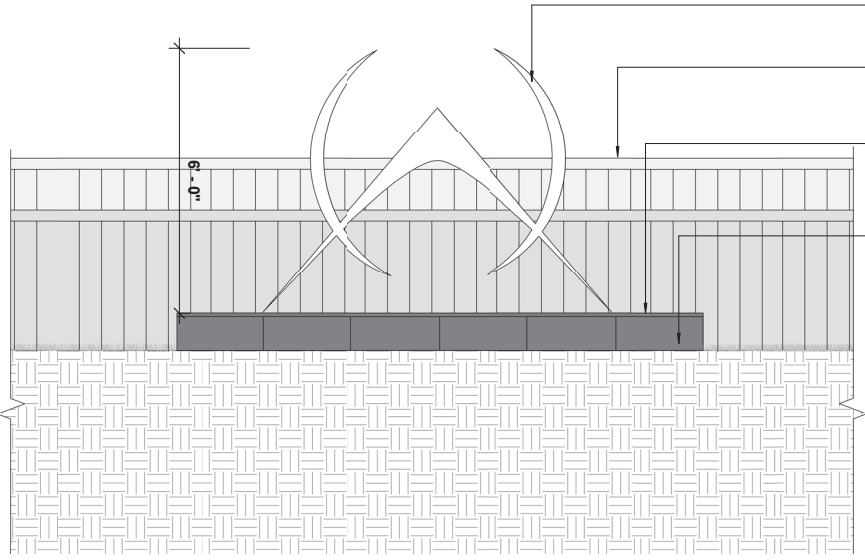
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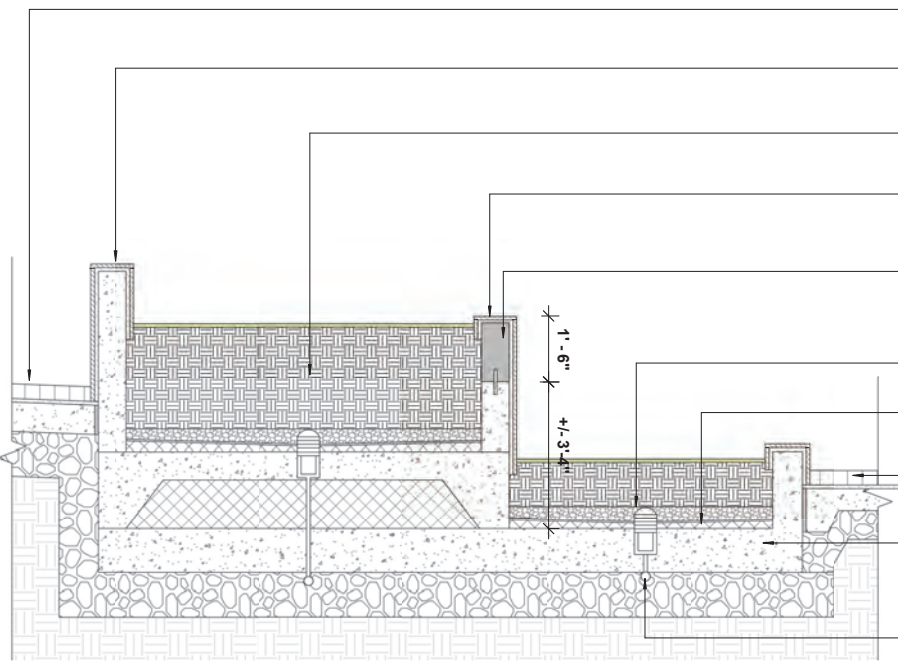
1 LOGO SIGN - PLANTER LAYOUT PLAN
1/2" = 1'-0"



3 LOGO SIGN - PLANTER SECTION
1/2" = 1'-0"



2 LOGO SIGN - ELEVATION
1/2" = 1'-0"



4 STREETSCAPE PLANTER- SECTION
1/2" = 1'-0"

NOTE: CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD.

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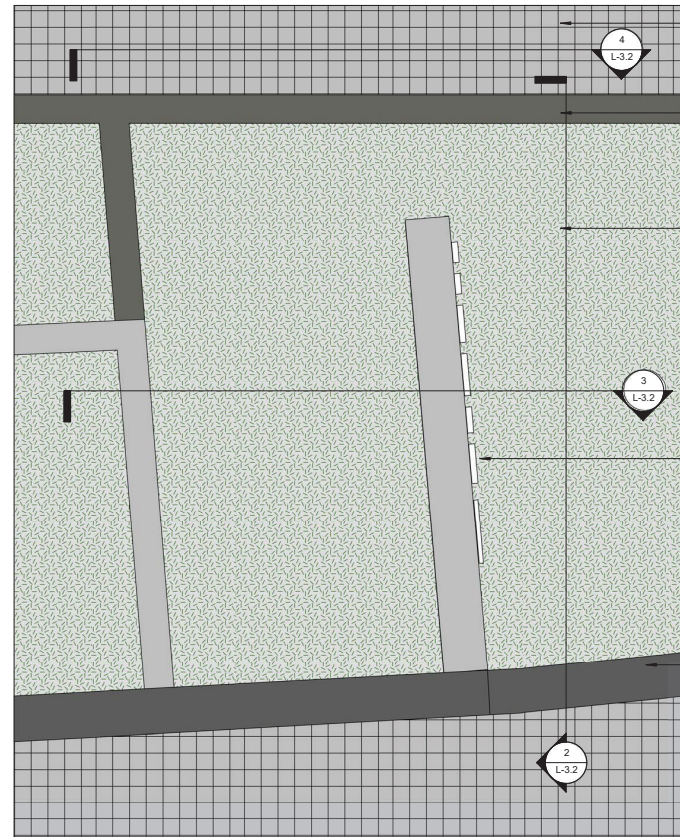
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STATE OF FLORIDA RLA #6667206

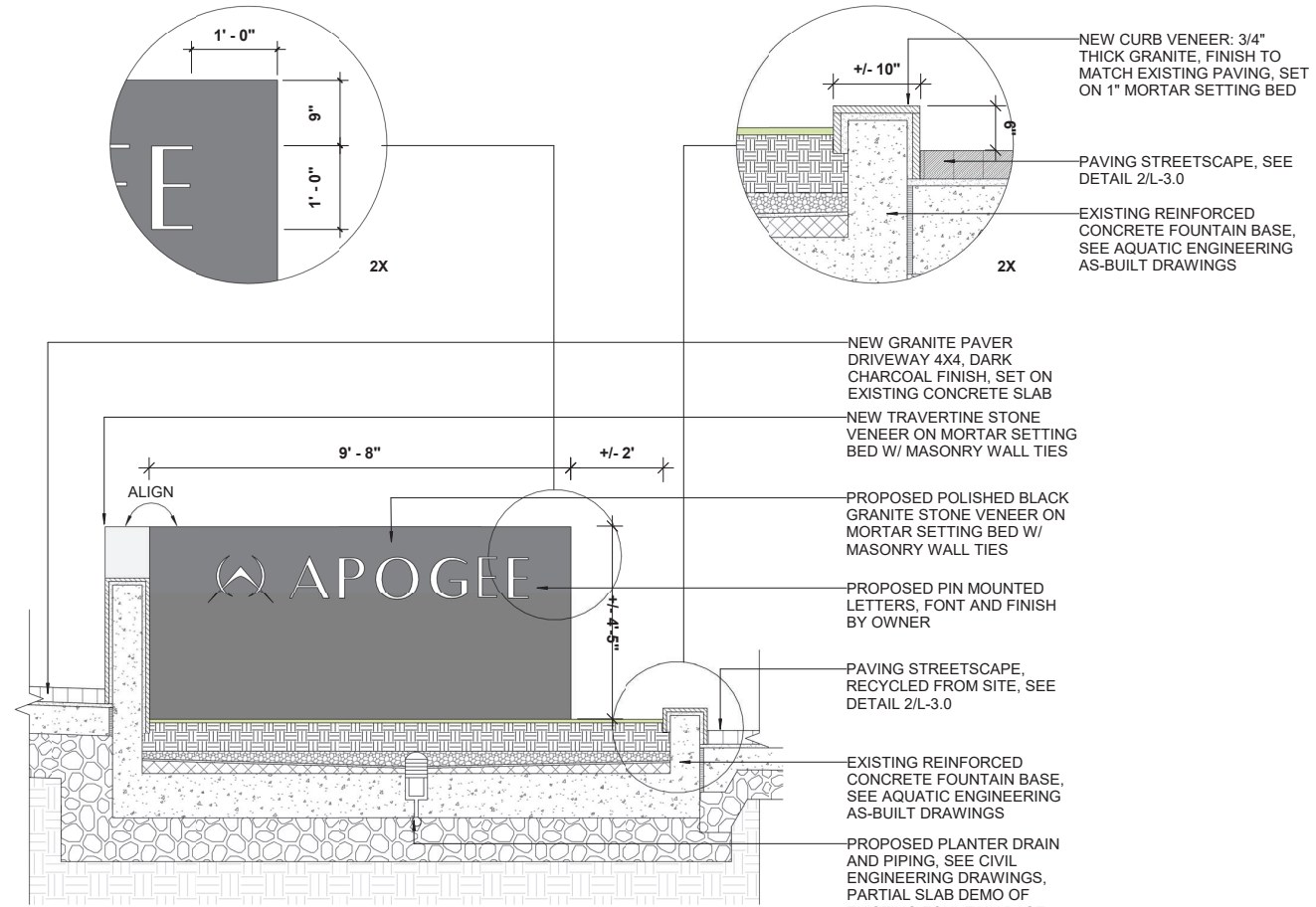
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HARDSCAPE DETAILS
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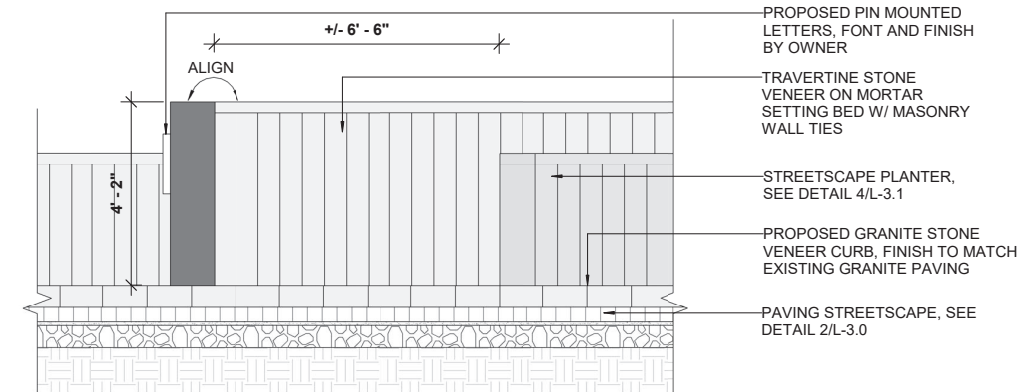
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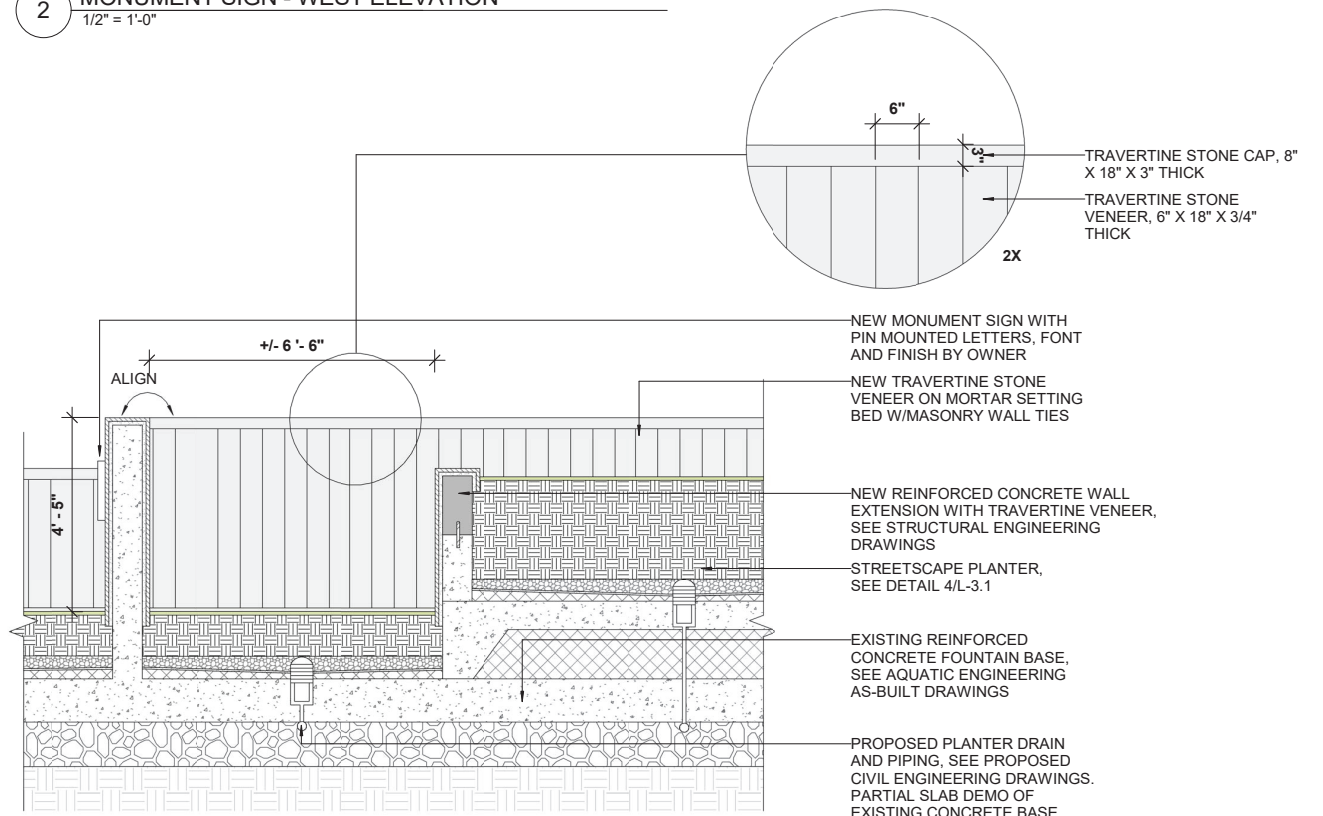
1 MONUMENT SIGN - LAYOUT PLAN
1/2" = 1'-0"



2 MONUMENT SIGN - WEST ELEVATION
1/2" = 1'-0"



3 MONUMENT SIGN - SECTION A
1/2" = 1'-0"



4 MONUMENT SIGN - SECTION B
1/2" = 1'-0"

Project
APOGEE
EXTERIOR RENOVATION
800 SOUTH POINTE DRIVE
MIAMI BEACH, FL 33139

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(305) 221-6210

Revisions

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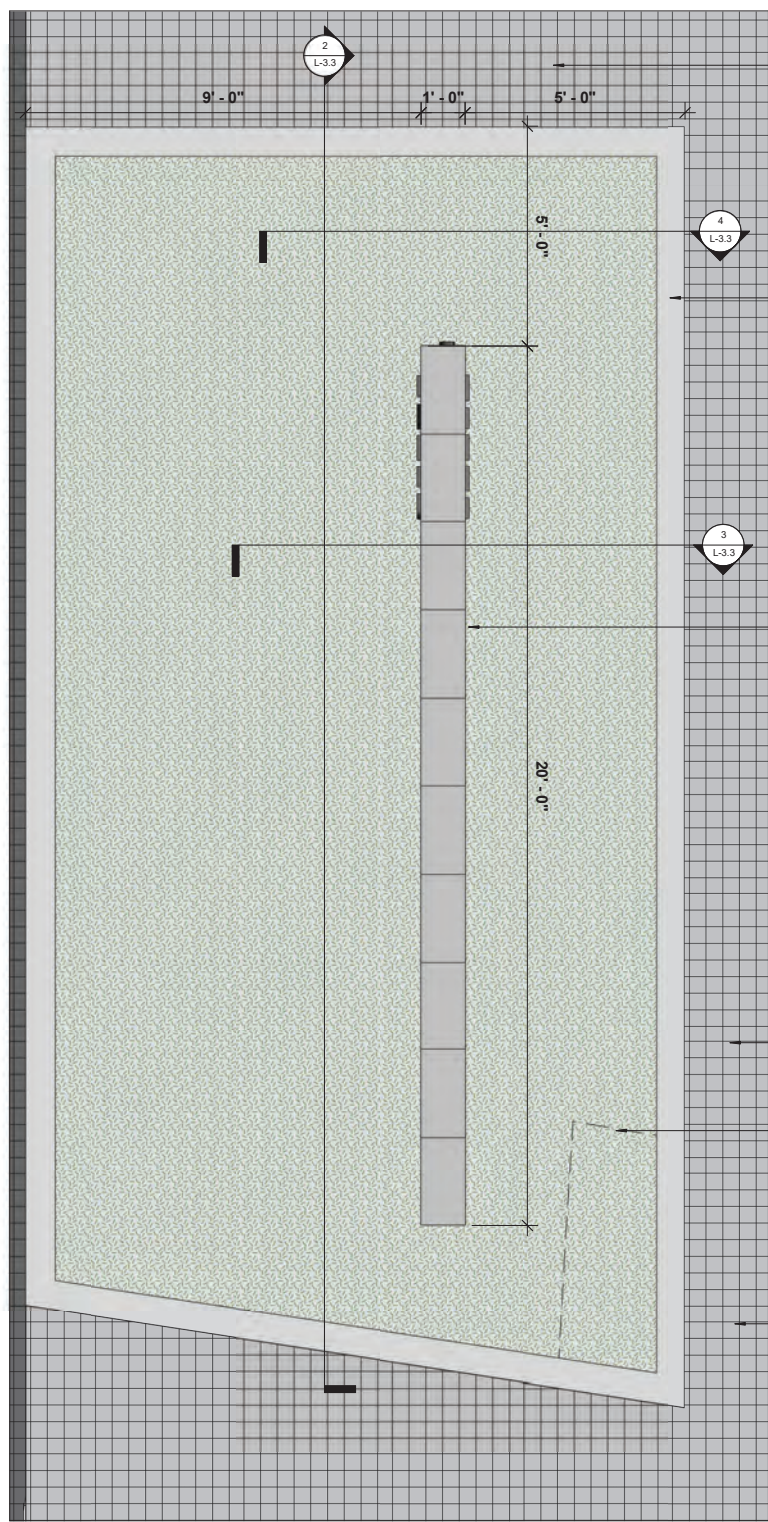
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DN: cn=Stephen Michael Callahan, email=stephen.callahan@theshold.com, c=US
Date: 2025.10.10 14:56:05-0400
STEPHEN MICHAEL CALLAHAN
STATE OF FLORIDA RLA #6667206

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1 ENTRY WEST WALL - LAYOUT PLAN
1/2" = 1'-0"

PAVING STREETScape, SEE DETAIL 2/L-3.0

PROPOSED CURB VENEER 3/4" THICK TRAVERTINE, SEE STRUCTURAL ENGINEERING DRAWINGS

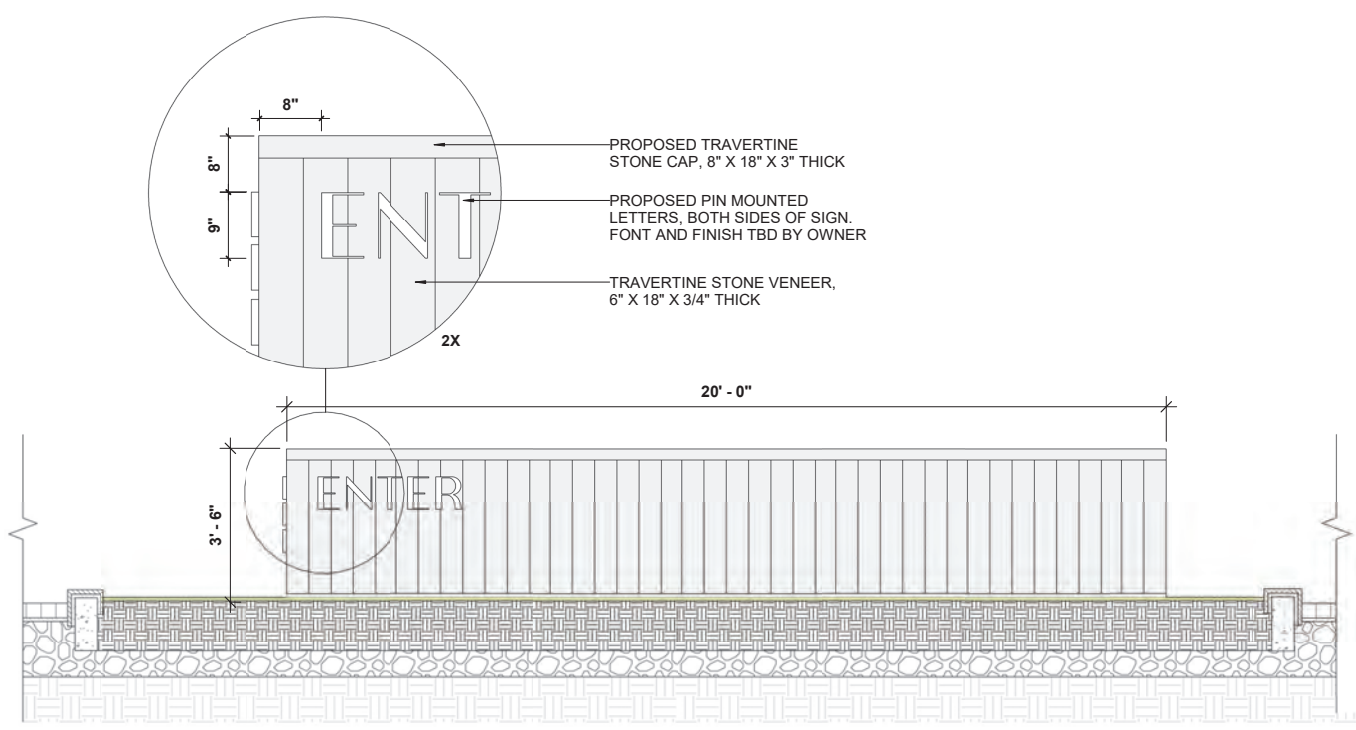
PROPOSED REINFORCED CONCRETE ENTRY WALL W/ TRAVERTINE STONE VENEER AND PIN MOUNTED LETTERS

PAVING STREETScape, SEE DETAIL 2/L-3.0

PLANTING AREA, SEE PLANTING PLAN L-6.0

PAVING DRIVEWAY, SEE DETAIL 4/L-3.0

NOTE:
CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND FULL SCALE TEXT MOCKUP ON-SITE FOR LANDSCAPE ARCHITECT AND OWNER APPROVAL

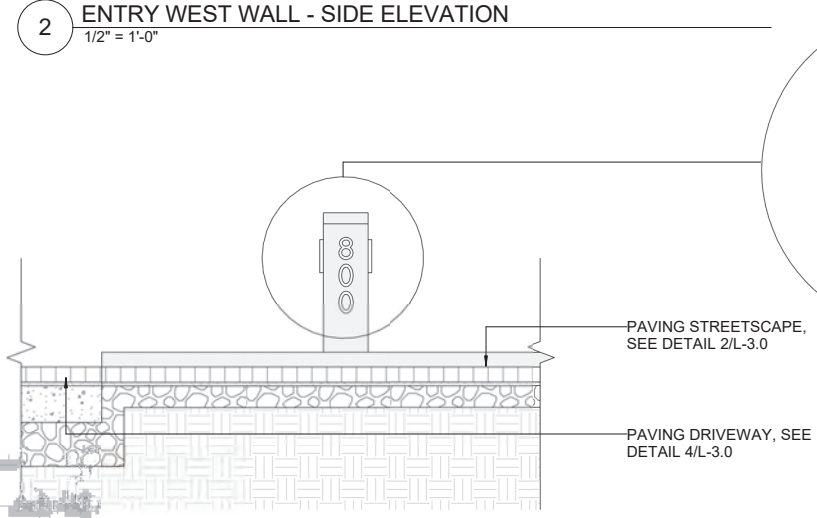


2 ENTRY WEST WALL - SIDE ELEVATION
1/2" = 1'-0"

PROPOSED TRAVERTINE STONE CAP, 8" X 18" X 3" THICK

PROPOSED PIN MOUNTED LETTERS, BOTH SIDES OF SIGN, FONT AND FINISH TBD BY OWNER

TRAVERTINE STONE VENEER, 6" X 18" X 3/4" THICK



3 ENTRY WEST WALL - FRONT ELEVATION
1/2" = 1'-0"

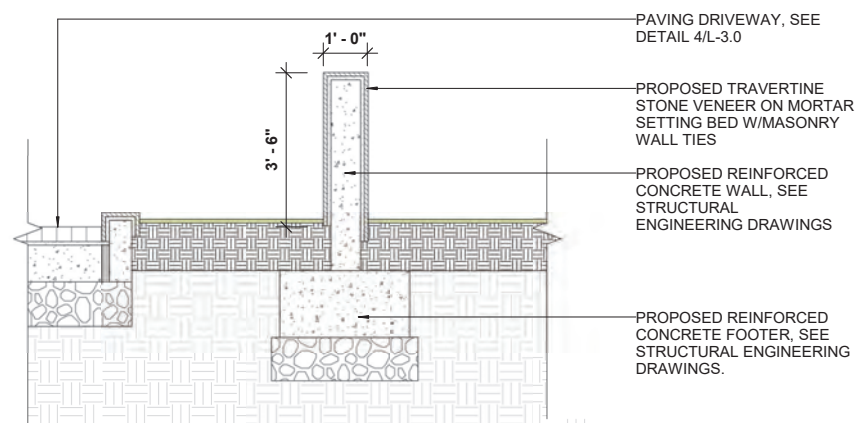
PROPOSED TRAVERTINE STONE CAP, 8" X 18" X 3" THICK

PROPOSED PIN MOUNTED LETTERS, FONT AND FINISH BY OWNER

PROPOSED TRAVERTINE STONE VENEER, 12" X 18" X 3/4" THICK

PAVING STREETScape, SEE DETAIL 2/L-3.0

PAVING DRIVEWAY, SEE DETAIL 4/L-3.0



4 ENTRY WEST WALL - SECTION
1/2" = 1'-0"

PAVING DRIVEWAY, SEE DETAIL 4/L-3.0

PROPOSED TRAVERTINE STONE VENEER ON MORTAR SETTING BED W/MASONRY WALL TIES

PROPOSED REINFORCED CONCRETE WALL, SEE STRUCTURAL ENGINEERING DRAWINGS

PROPOSED REINFORCED CONCRETE FOOTER, SEE STRUCTURAL ENGINEERING DRAWINGS.

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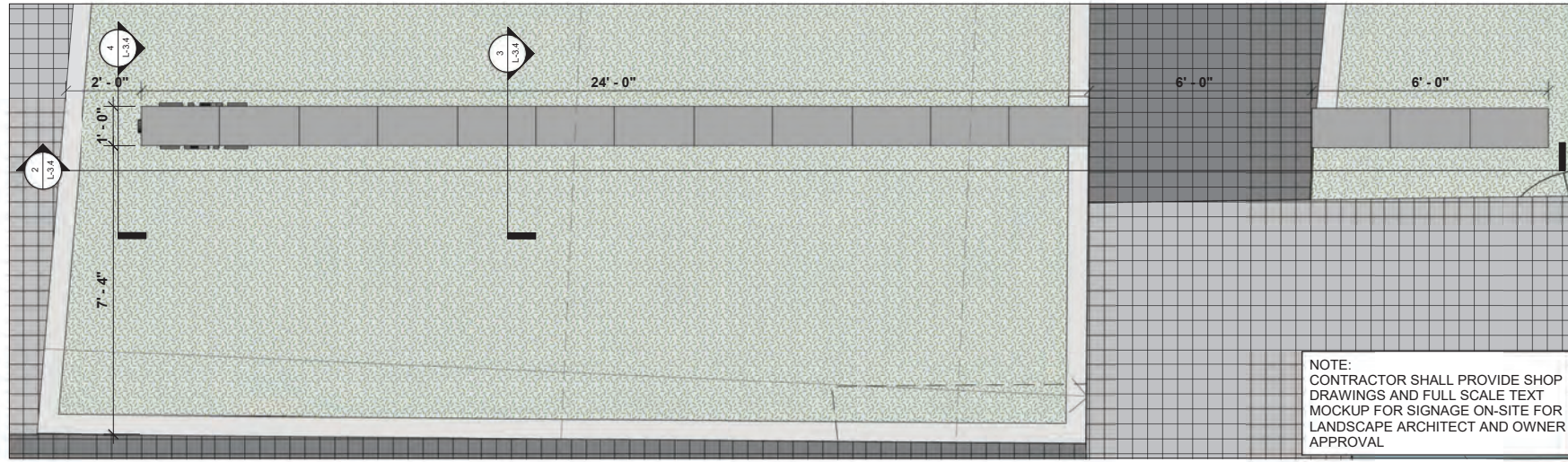
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Stephen Michael Callahan
STATE OF FLORIDA RLA #6667206

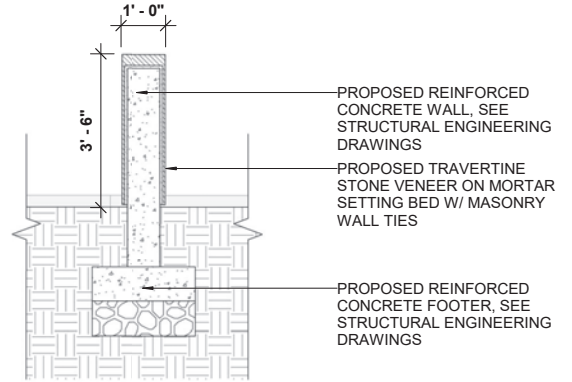
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10/12/2025
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ENTRY DRIVEWAY DETAILS
Sheet No.

L-3.3

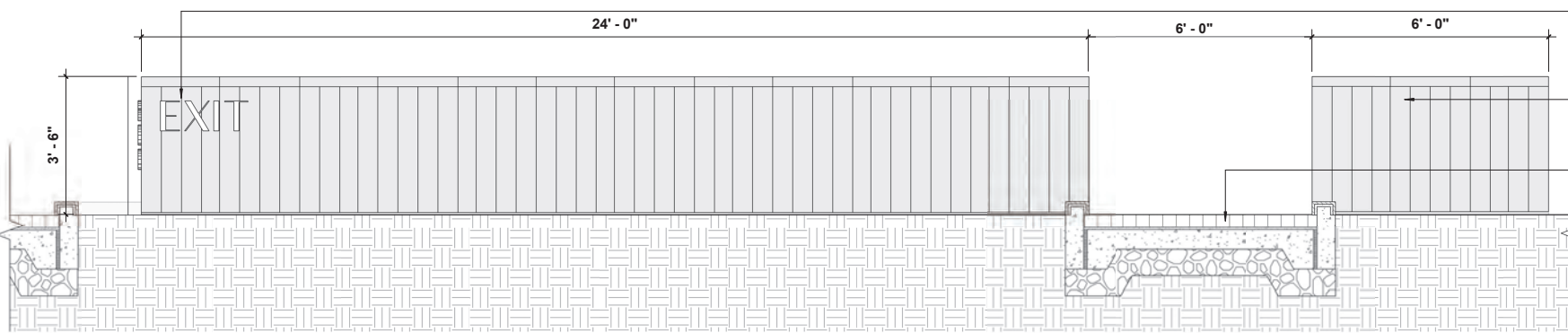
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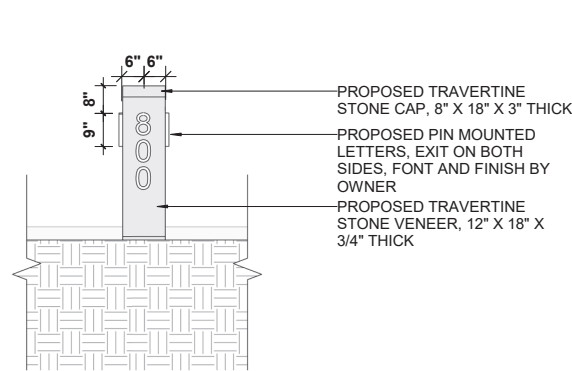
1 EXIT WALL EAST A - LAYOUT PLAN
1/2" = 1'-0"



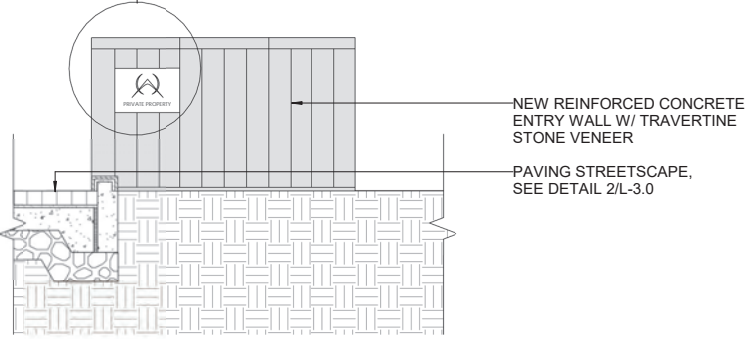
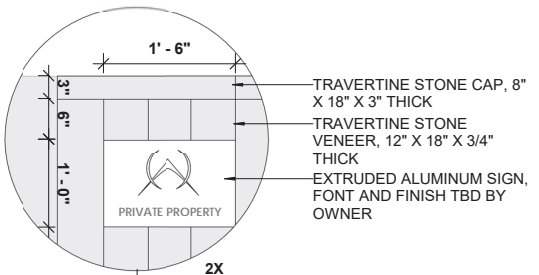
3 EXIT WALL EAST A - SECTION
1/2" = 1'-0"



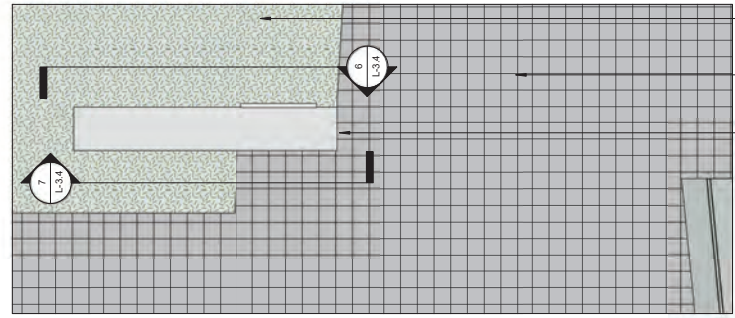
2 EXIT WALL EAST A - SIDE ELEVATION
1/2" = 1'-0"



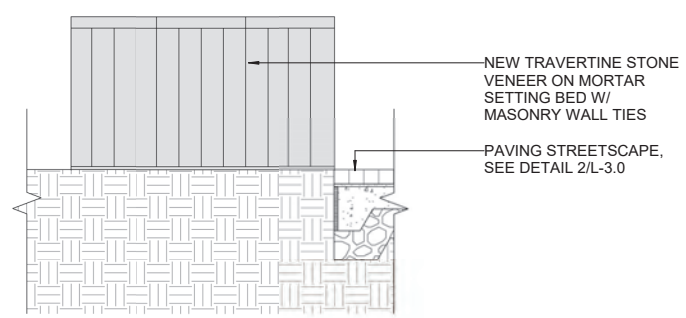
4 EXIT WALL EAST A - FRONT ELEVATION
1/2" = 1'-0"



6 EXIT WALL EAST B - FRONT ELEVATION
1/2" = 1'-0"



5 EXIT WALL EAST B - LAYOUT PLAN
1/2" = 1'-0"



7 EXIT WALL EAST B - BACK ELEVATION
1/2" = 1'-0"

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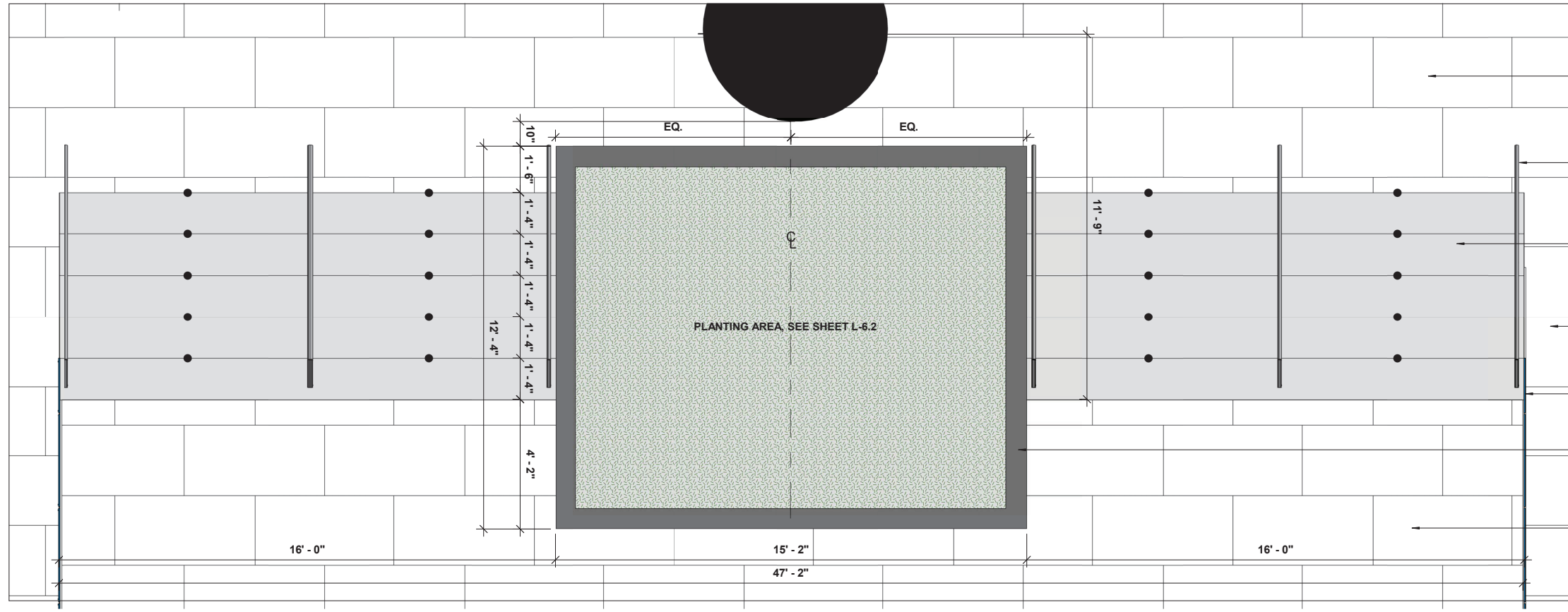
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EXIT DRIVEWAY DETAILS
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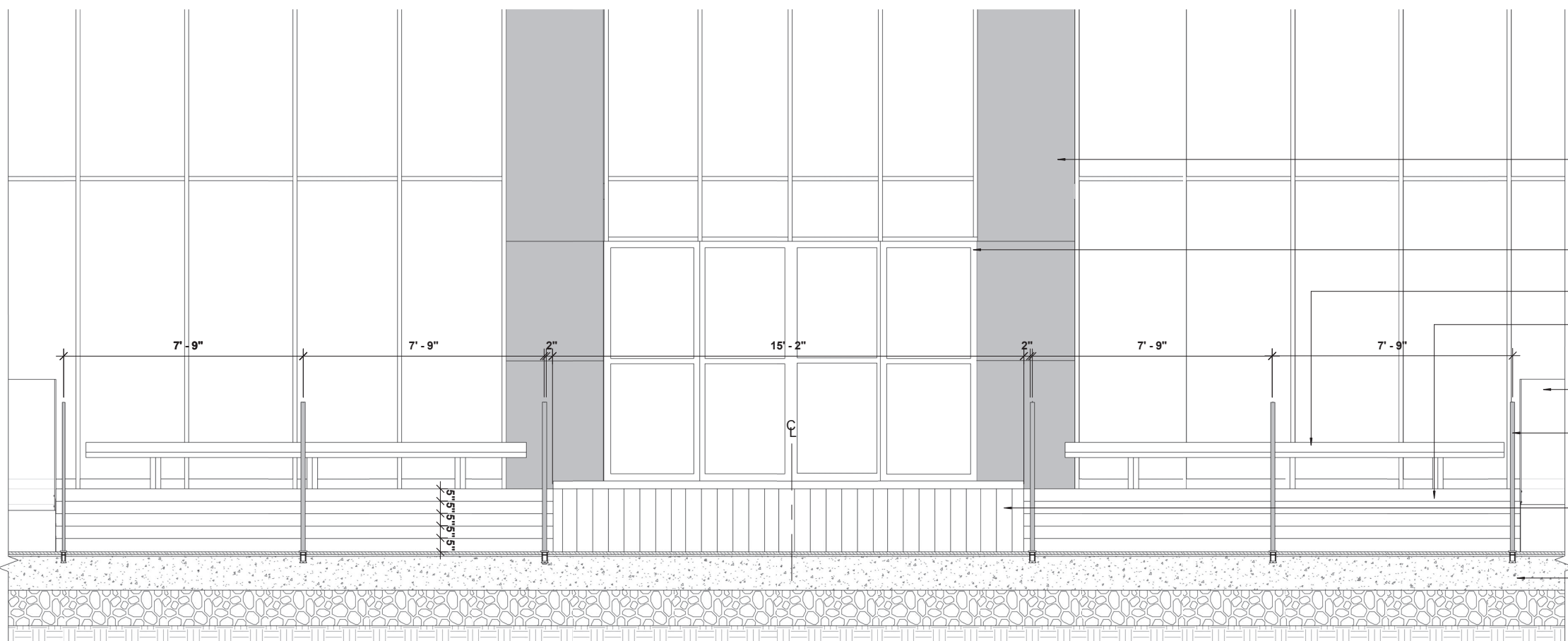
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- EXISTING MARBLE STONE PAVING TO REMAIN, SEE ARCHITECTURE AS-BUILT DRAWINGS
- PROPOSED POWDER COATED STEEL HANDRAIL, FINISH TO MATCH LOBBY INTERIOR TRELLIS, SEE DETAIL 3/L-3.6
- PROPOSED MARBLE STONE STEP TREADS AND RISERS TO MATCH EXISTING ENTRY PAVERS WITH ANTI-SLIP FINISH
- EXISTING MARBLE STONE PAVING TO REMAIN, SEE ARCHITECTURE AS-BUILT DRAWINGS
- PROPOSED GLASS RAILING, SEE DETAIL 6/L-3.6
- ENTRY PLANTER SEE DETAIL 1/L-3.6
- EXISTING MARBLE STONE PAVING TO REMAIN.

1 ENTRY STAIRS - ENLARGEMENT PLAN
1/2" = 1'-0"



2 ENTRY STAIRS - ELEVATION
1/2" = 1'-0"

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Date
10/12/2025

Scale
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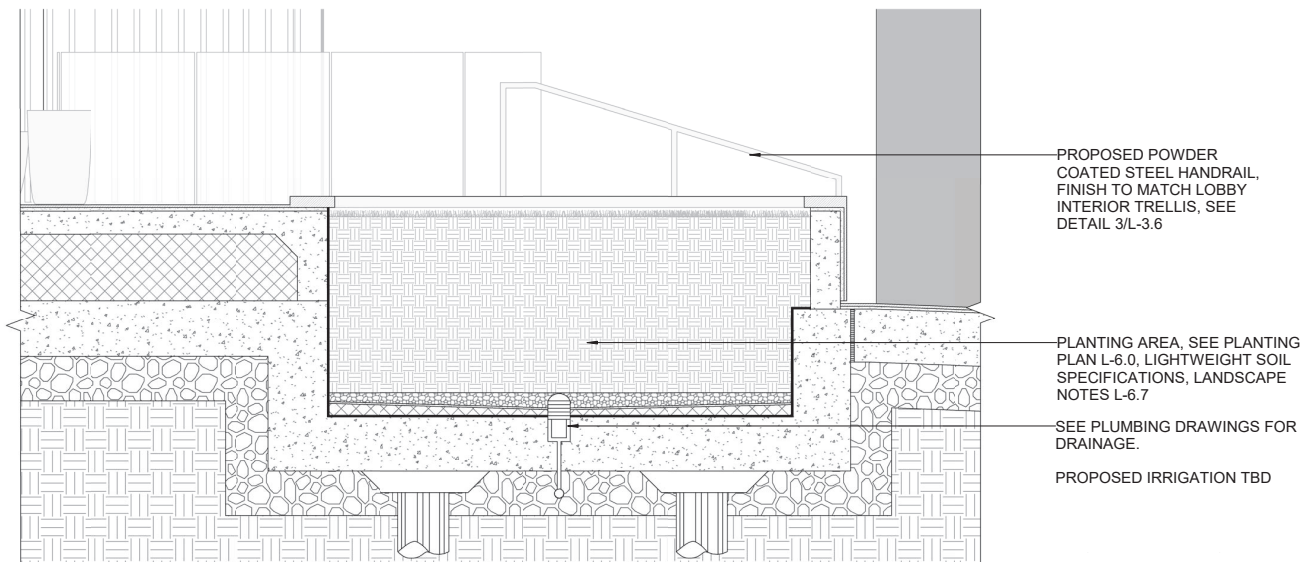
Project No.
202209

Sheet Name
ENTRY STEPS DETAILS

Sheet No.
L-3.5

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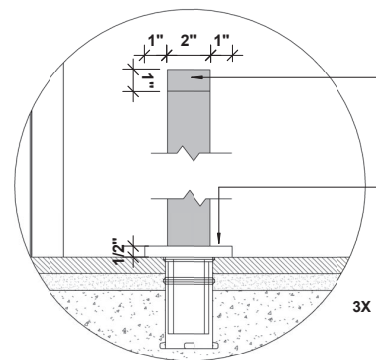
1 ENTRY STAIRS PLANTER - SECTION
1/2" = 1'-0"

PROPOSED POWDER COATED STEEL HANDRAIL, FINISH TO MATCH LOBBY INTERIOR TRELLIS, SEE DETAIL 3/L-3.6

PLANTING AREA, SEE PLANTING PLAN L-6.0, LIGHTWEIGHT SOIL SPECIFICATIONS, LANDSCAPE NOTES L-6.7

SEE PLUMBING DRAWINGS FOR DRAINAGE.

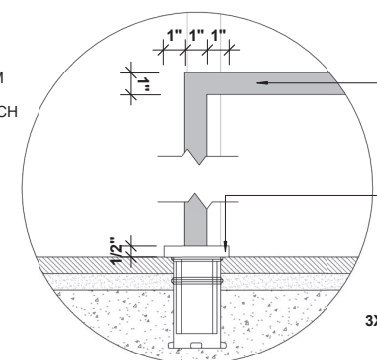
PROPOSED IRRIGATION TBD



STRUCTURAL ALUMINUM HANDRAIL W/ POWDER COATED FINISH TO MATCH INTERIOR LOBBY

ALUMINUM SLEEVE CAP 3"x4"x1/2" HT FINISH TO MATCH HANDRAIL

3X

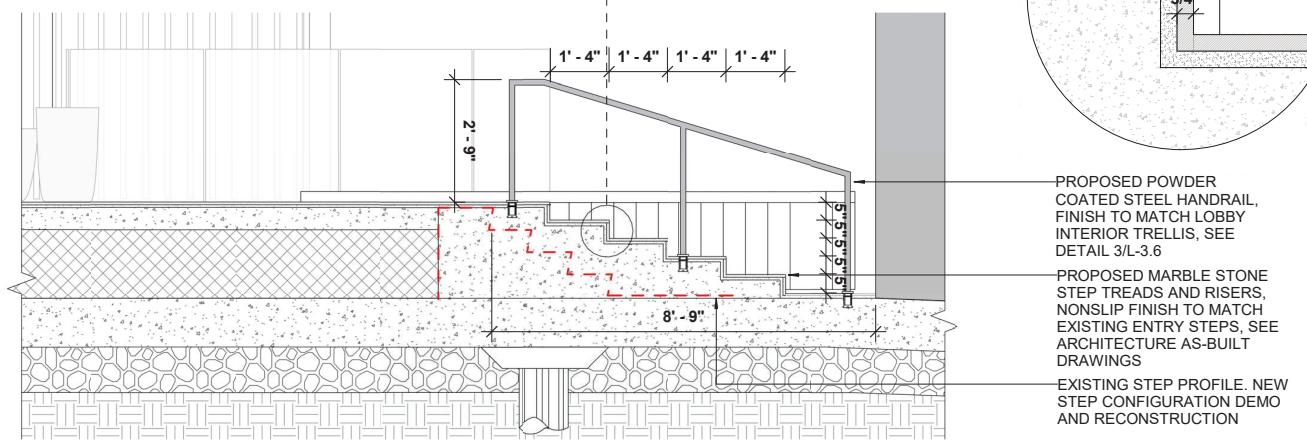


STRUCTURAL ALUMINUM HANDRAIL W/ POWDER COATED FINISH TO MATCH INTERIOR LOBBY

ALUMINUM SLEEVE CAP 3"x4"x1/2" HT FINISH TO MATCH HANDRAIL

3X

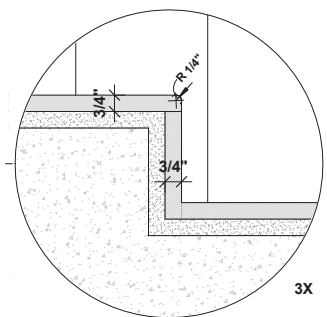
2 ENTRY STAIRS HANDRAIL DETAILS
3" = 1'-0"



PROPOSED POWDER COATED STEEL HANDRAIL, FINISH TO MATCH LOBBY INTERIOR TRELLIS, SEE DETAIL 3/L-3.6

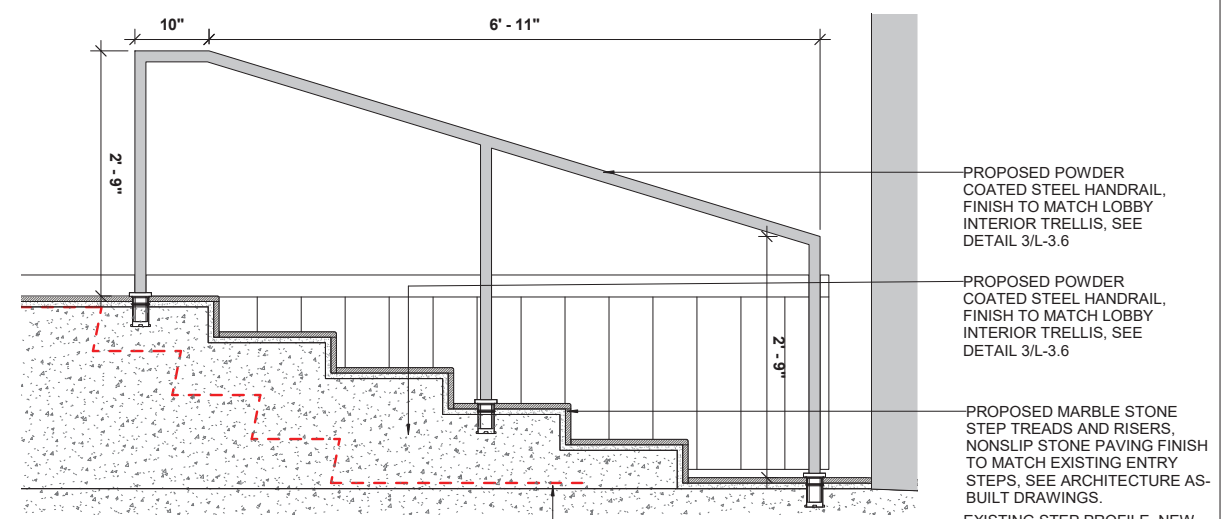
PROPOSED MARBLE STONE STEP TREADS AND RISERS, NONSLIP FINISH TO MATCH EXISTING ENTRY STEPS, SEE ARCHITECTURE AS-BUILT DRAWINGS

EXISTING STEP PROFILE, NEW STEP CONFIGURATION DEMO AND RECONSTRUCTION



3X

3 ENTRY STAIRS - SECTION
1/2" = 1'-0"



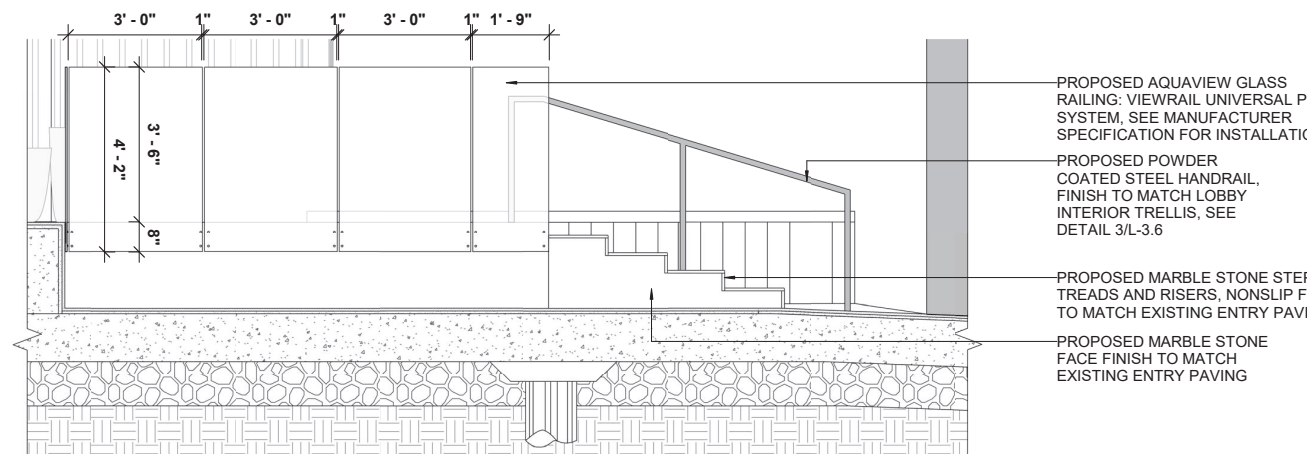
PROPOSED POWDER COATED STEEL HANDRAIL, FINISH TO MATCH LOBBY INTERIOR TRELLIS, SEE DETAIL 3/L-3.6

PROPOSED POWDER COATED STEEL HANDRAIL, FINISH TO MATCH LOBBY INTERIOR TRELLIS, SEE DETAIL 3/L-3.6

PROPOSED MARBLE STONE STEP TREADS AND RISERS, NONSLIP STONE PAVING FINISH TO MATCH EXISTING ENTRY STEPS, SEE ARCHITECTURE AS-BUILT DRAWINGS.

EXISTING STEP PROFILE, NEW STEP CONFIGURATION DEMO AND RECONSTRUCTION

4 ENTRY STAIRS HANDRAIL SECTION
1" = 1'-0"



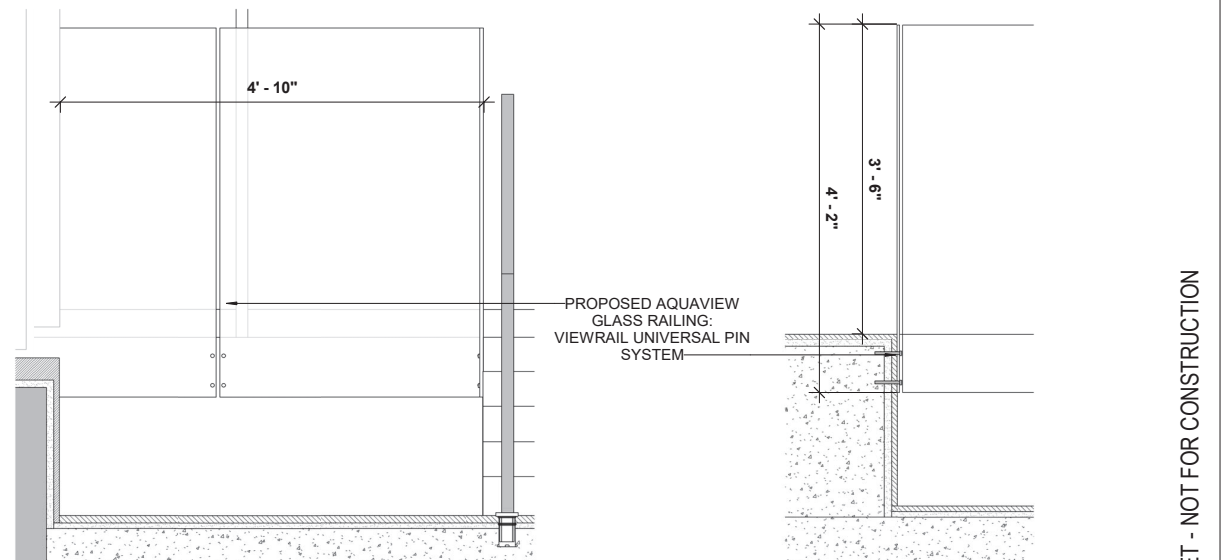
PROPOSED AQUAVIEW GLASS RAILING: VIEWRAIL UNIVERSAL PIN SYSTEM, SEE MANUFACTURER SPECIFICATION FOR INSTALLATION

PROPOSED POWDER COATED STEEL HANDRAIL, FINISH TO MATCH LOBBY INTERIOR TRELLIS, SEE DETAIL 3/L-3.6

PROPOSED MARBLE STONE STEP TREADS AND RISERS, NONSLIP FINISH TO MATCH EXISTING ENTRY PAVING

PROPOSED MARBLE STONE FACE FINISH TO MATCH EXISTING ENTRY PAVING

5 GLASS RAILING - ELEVATION A
1/2" = 1'-0"



PROPOSED AQUAVIEW GLASS RAILING: VIEWRAIL UNIVERSAL PIN SYSTEM

6 GLASS RAILING - ELEVATION B
1" = 1'-0"

7 GLASS RAILING - SECTION
1" = 1'-0"

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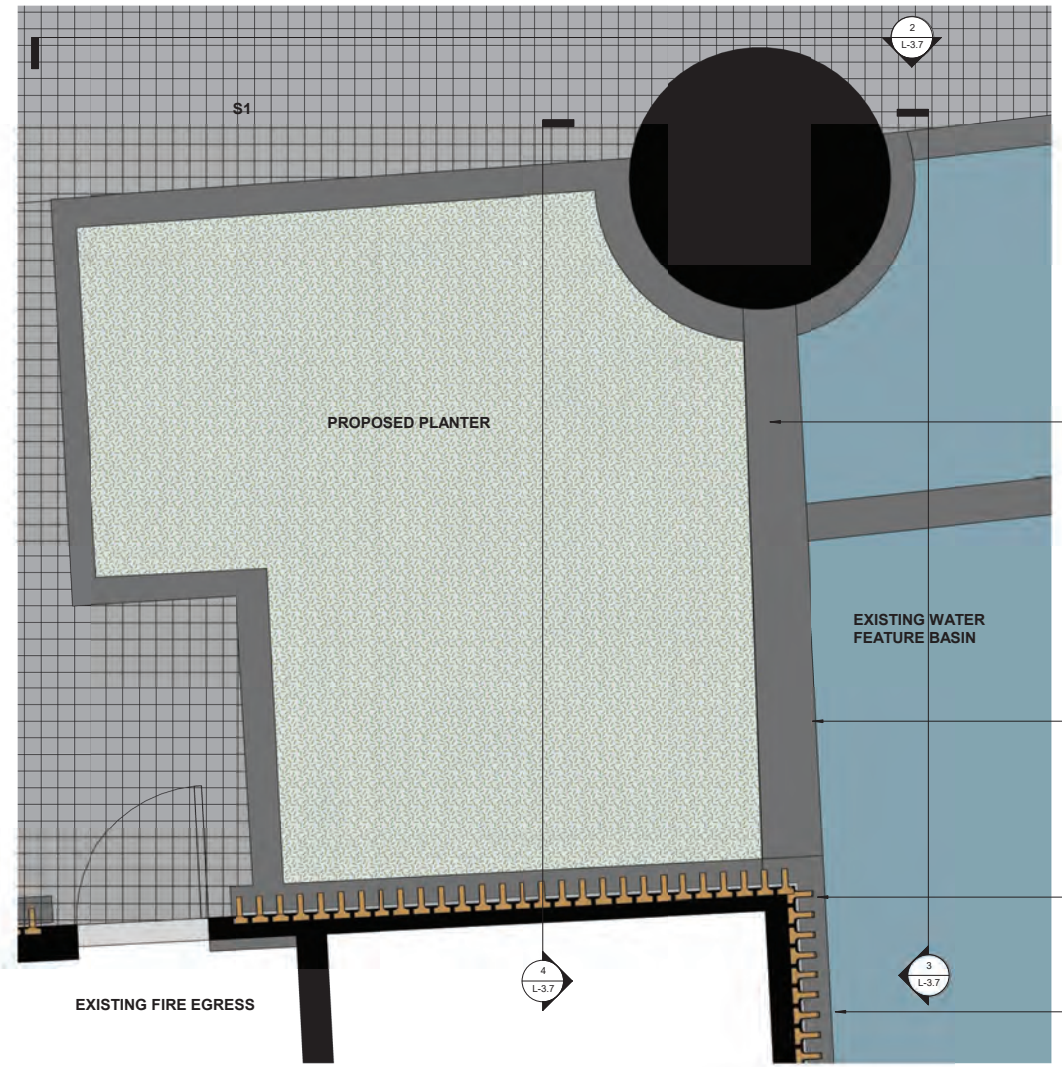
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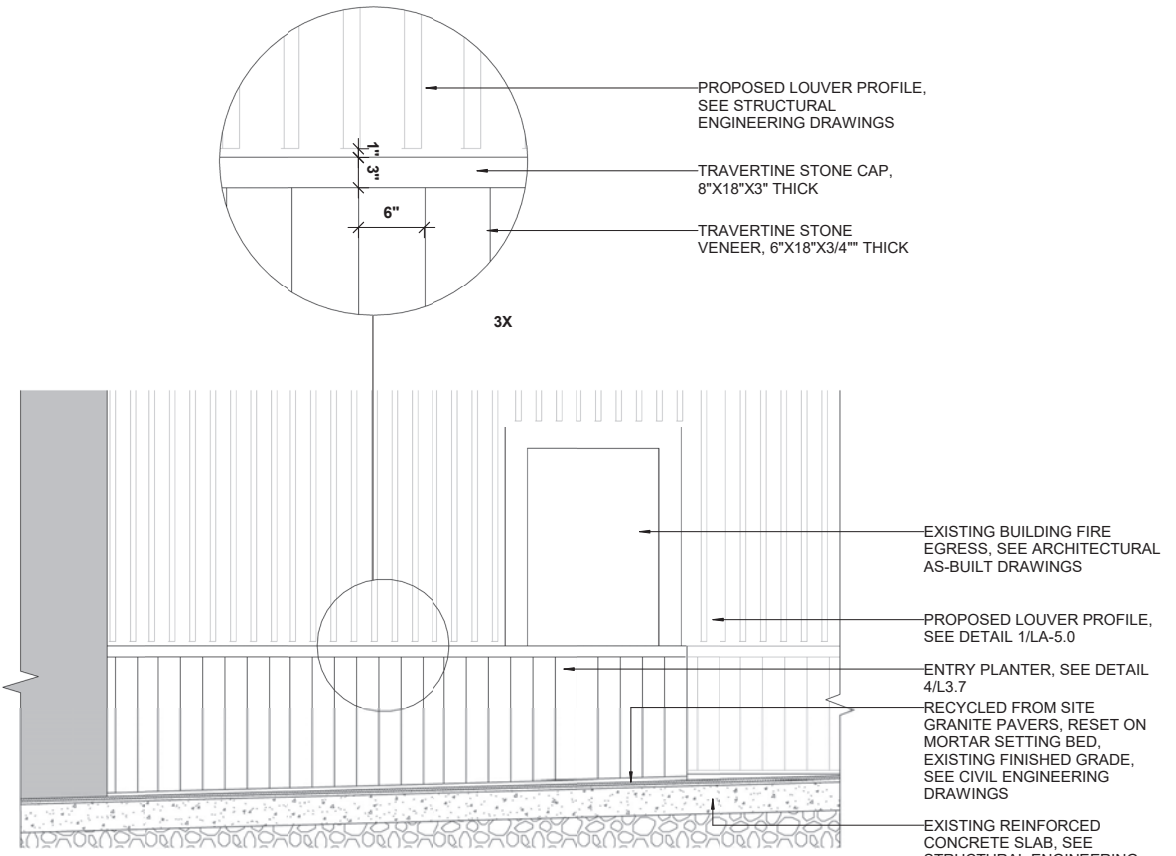
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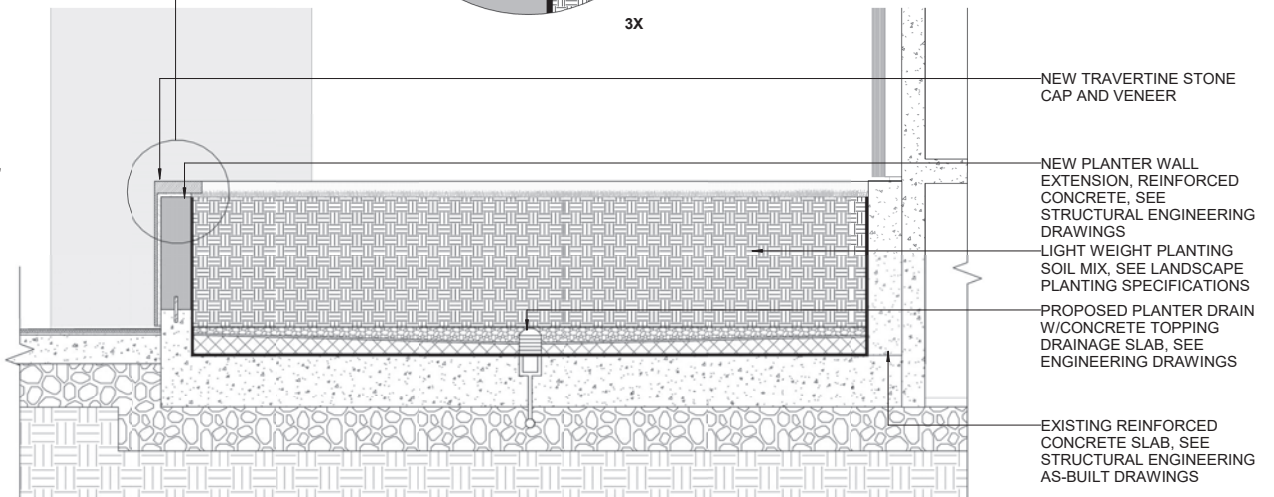
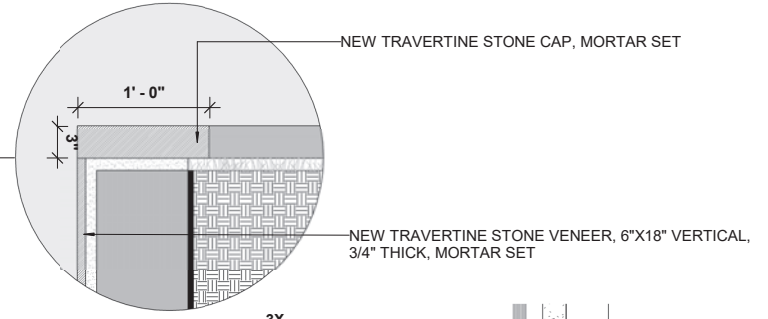
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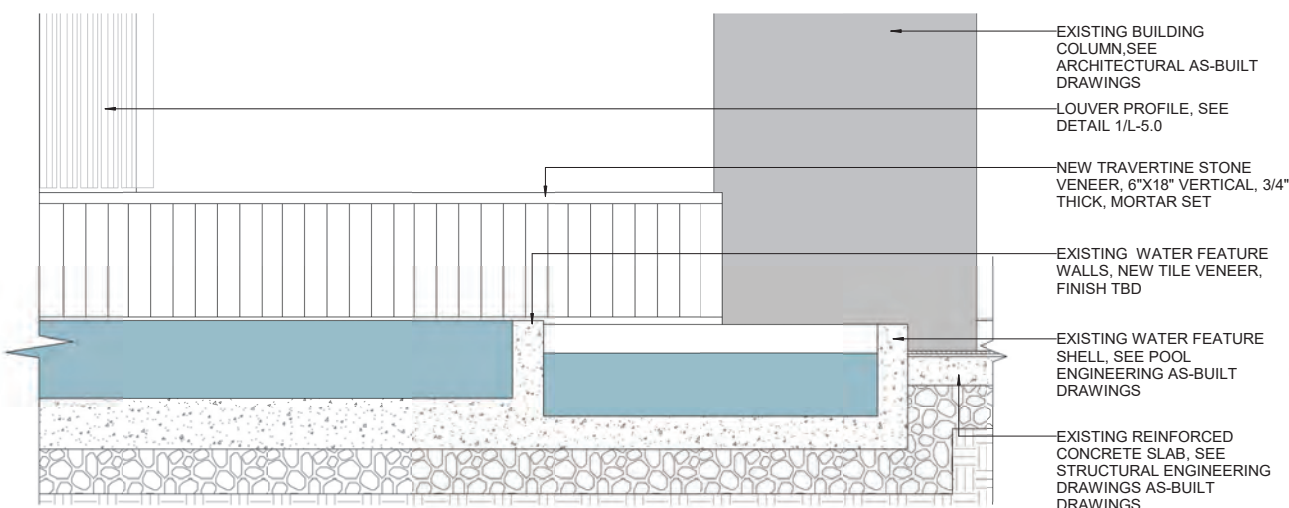
1 ENTRY PLANTER - ENLARGEMENT PLAN
1/2" = 1'-0"



2 ENTRY PLANTER - ELEVATION
1/2" = 1'-0"



4 ENTRY PLANTER - SECTION A
1/2" = 1'-0"



3 ENTRY PLANTER - SECTION B
1/2" = 1'-0"

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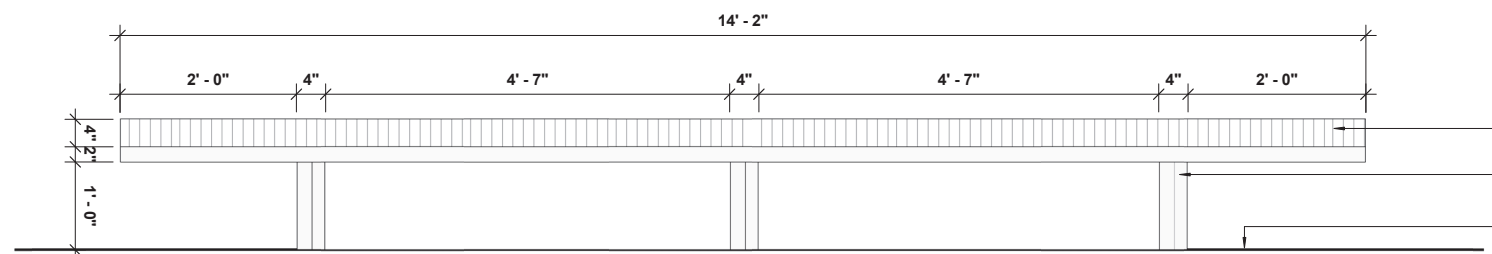
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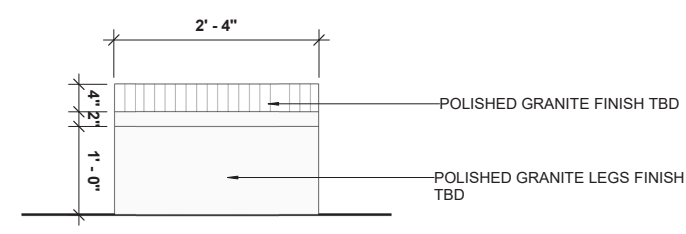


1 ENTRY BENCH - PLAN
1" = 1'-0"



2 ENTRY BENCH - LONGITUDINAL SECTION
1" = 1'-0"

NOTE:
FABRICATOR TO PROVIDE SHOP
DRAWINGS. FINISHES TBD BY OWNER



3 ENTRY BENCH - CROSS SECTION
1" = 1'-0"

Project
APOGEE
EXTERIOR RENOVATION
800 SOUTH POINTE DRIVE
MIAMI BEACH, FL 33139

Owner Information
APOGEE CONDOMINIUM ASSOCIATION
800 South Pointe Drive
Miami Beach, FL 33139

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THRESHOLD
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811 E Las Olas Blvd. Suite 9
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(954) 361-4721

Structural, Electrical & Plumbing Engineer

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(305) 663-1970

Civil Engineer

SPEATH ENGINEERING
44 W Flagler St Suite 1850
Miami, FL 33130
(305) 834-4213

Land Surveyor

MANUEL VERA AND ASSOCIATES
13960 SW 47th Street
MIAMI FL, 33175
(305) 221-6210

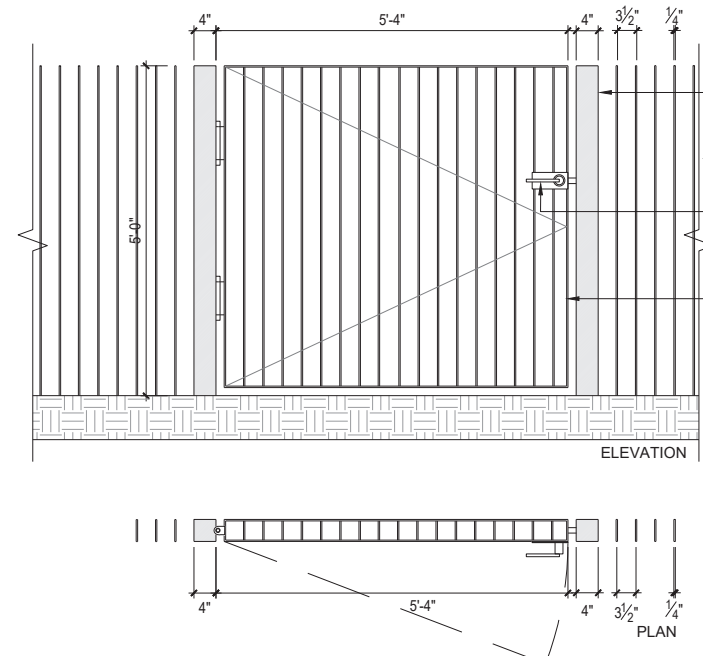
Revisions

Date	Description
09/21/2025	DRB FIRST SUBMITTAL
10/12/2025	DRB FINAL SUBMITTAL
12/11/2025	DRB HEARING DATE

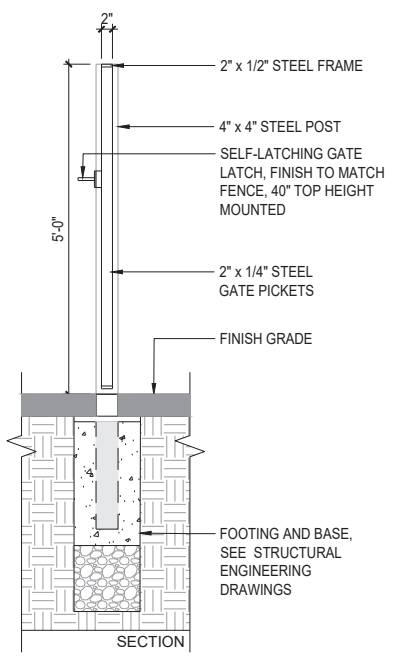
Seal
Digitally signed by Stephen Michael Callahan
DN: cn=Stephen Michael Callahan, email=smc@thresholdlandscape.com, c=US
Date: 2025.10.10 14:59:20 -0400
STEPHEN MICHAEL CALLAHAN
STATE OF FLORIDA RLA #6667206

DRB PERMIT SET
Date
10/12/2025
Scale
AS SHOWN
Project No.
202209
Sheet Name
SITE FURNITURE
Sheet No.

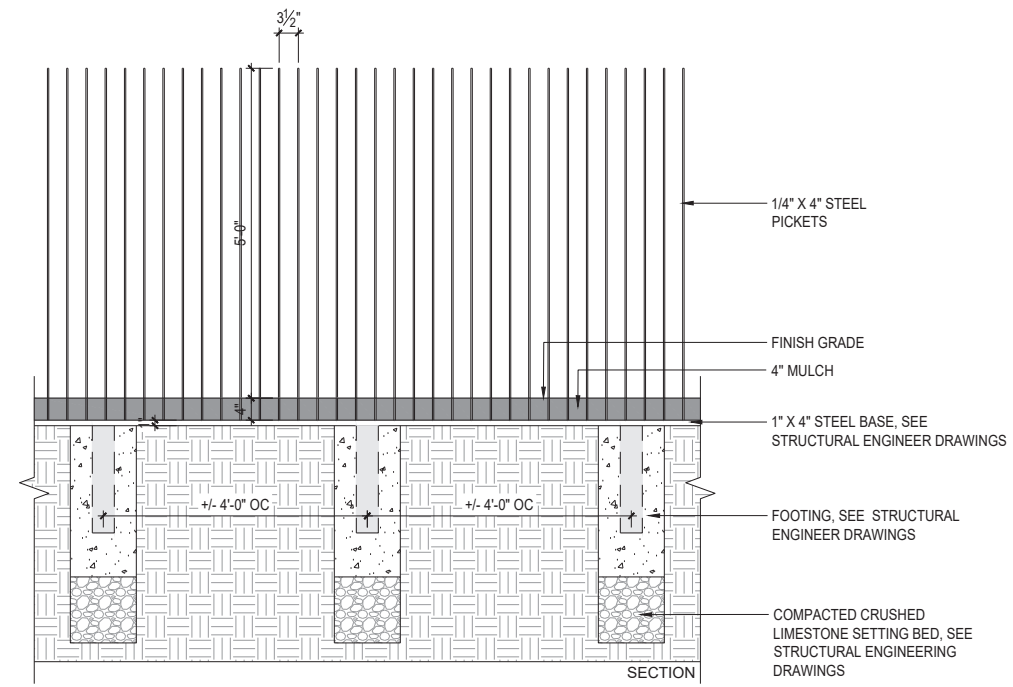
PERMIT SET - NOT FOR CONSTRUCTION



NOTE: BRONZE FINISH. CONTRACTOR TO PROVIDE FENCE AND GATE SHOP DRAWINGS FOR OWNER AND LANDSCAPE ARCHITECT APPROVAL



1 WEST SIDE YARD - SERVICE GATE
Scale: 3/4" = 1'-0"



2 WEST SIDE YARD - FENCE
Scale: 3/4" = 1'-0"

Project
APOGEE
EXTERIOR RENOVATION
800 SOUTH POINTE DRIVE
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Revisions

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STATE OF FLORIDA RLA #6667206

DRB PERMIT SET
Date
10/12/2025
Scale
AS SHOWN
Project No.
202209
Sheet Name
GATE DETAILS
Sheet No.

L-3.10

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PERMIT DOCUMENTS - NO FOR CONSTRUCTION