

6

5

4

3

2

1

D

C

B

A

D

C

B

A

### L - LANDSCAPE SHEET INDEX

ID	SHEET NAME
L-0.0	LANDSCAPE SHEET INDEX
L-0.1	LANDSCAPE LEGEND
L-1.0	TREE DISPOSITION PLAN OVERALL
L-1.1	TREE DISPOSITION PLAN ENLARGEMENT A
L-1.2	TREE DISPOSITION PLAN ENLARGEMENT B
L-1.3	TREE DISPOSITION PLAN ENLARGEMENT C
L-1.4	TREE DISPOSITION PLAN ENLARGEMENT D
L-1.5	TREE DISPOSITION PLAN ENLARGEMENT E
L-1.6	TREE DISPOSITION LIST
L-2.0	HARDSCAPE MASTER PLAN
L-2.1	HARDSCAPE ENLARGEMENT PLAN A
L-2.2	HARDSCAPE ENLARGEMENT PLAN B
L-2.3	HARDSCAPE ENLARGEMENT PLAN C
L-2.4	HARDSCAPE ENLARGEMENT PLAN D
L-2.5	HARDSCAPE ENLARGEMENT PLAN E
L-3.0	HARDSCAPE DETAILS
L-3.1	HARDSCAPE DETAILS
L-3.2	HARDSCAPE DETAILS
L-3.3	ENTRY DRIVEWAY DETAILS
L-3.4	EXIT DRIVEWAY DETAILS
L-3.5	ENTRY STEPS DETAILS
L-3.6	ENTRY STEPS DETAILS
L-3.7	PLANTER DETAILS
L-3.8	SITE FURNITURE
L-3.9	GATE DETAILS
L-3.10	GATE DETAILS
L-6.0	OVERALL PLANTING PLAN
L-6.1	PLANTING ENLARGEMENT PLAN A
L-6.2	PLANTING ENLARGEMENT PLAN B
L-6.3	PLANTING ENLARGEMENT PLAN C
L-6.4	PLANTING ENLARGEMENT PLAN D
L-6.5	PLANTING ENLARGEMENT PLAN E
L-6.6	PLANT LIST & DETAILS
L-6.7	LANDSCAPE NOTES & SPECS
L-7.0	OVERALL LIGHTING PLAN
L-7.1	LIGHTING ENLARGEMENT PLAN A
L-7.2	LIGHTING ENLARGEMENT PLAN B
L-7.3	LIGHTING ENLARGEMENT PLAN C
L-7.4	LIGHTING ENLARGEMENT PLAN D
L-7.5	LIGHTING ENLARGEMENT PLAN E
L-7.6	LIGHTING SPECIFICATIONS
L-8.0	MATERIAL PALETTE
L-8.1	SITE PHOTOS
L-8.2	SITE PHOTOS
L-8.3	CONCEPTUAL RENDERING
L-8.4	CONCEPTUAL RENDERING
L-8.5	CONCEPTUAL RENDERING
L-8.6	CONCEPTUAL RENDERING
IR-1.0	OVERALL IRRIGATION PLAN
IR-1.1	IRRIGATION PLAN ENLARGEMENT A
IR-1.2	IRRIGATION PLAN ENLARGEMENT B
IR-1.3	IRRIGATION PLAN ENLARGEMENT C
IR-1.4	IRRIGATION PLAN ENLARGEMENT D
IR-1.5	IRRIGATION PLAN ENLARGEMENT E
IR-1.6	IRRIGATION SPECIFICATIONS

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Project  
**APOGEE**  
 EXTERIOR RENOVATION  
 800 SOUTH POINTE DRIVE  
 MIAMI BEACH, FL 33139

Owner Information  
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 MIAMI FL, 33175  
 (305) 221-6210

Revisions

Date	Description
09/21/2025	DRB FIRST SUBMITTAL
10/12/2025	DRB FINAL SUBMITTAL
12/11/2025	DRB HEARING DATE

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 Digitally signed by Stephen Michael Callahan  
 DN: cn=Stephen Michael Callahan, email=S.M.Callahan@theshold.com, c=US  
 Date: 2025.10.10 14:48:24 -0400

STEPHEN MICHAEL CALLAHAN  
 STATE OF FLORIDA RLA #6667206

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 10/12/2025  
 Scale  
 AS SHOWN  
 Project No.  
 202209  
 Sheet Name  
 L - LANDSCAPE SHEET INDEX

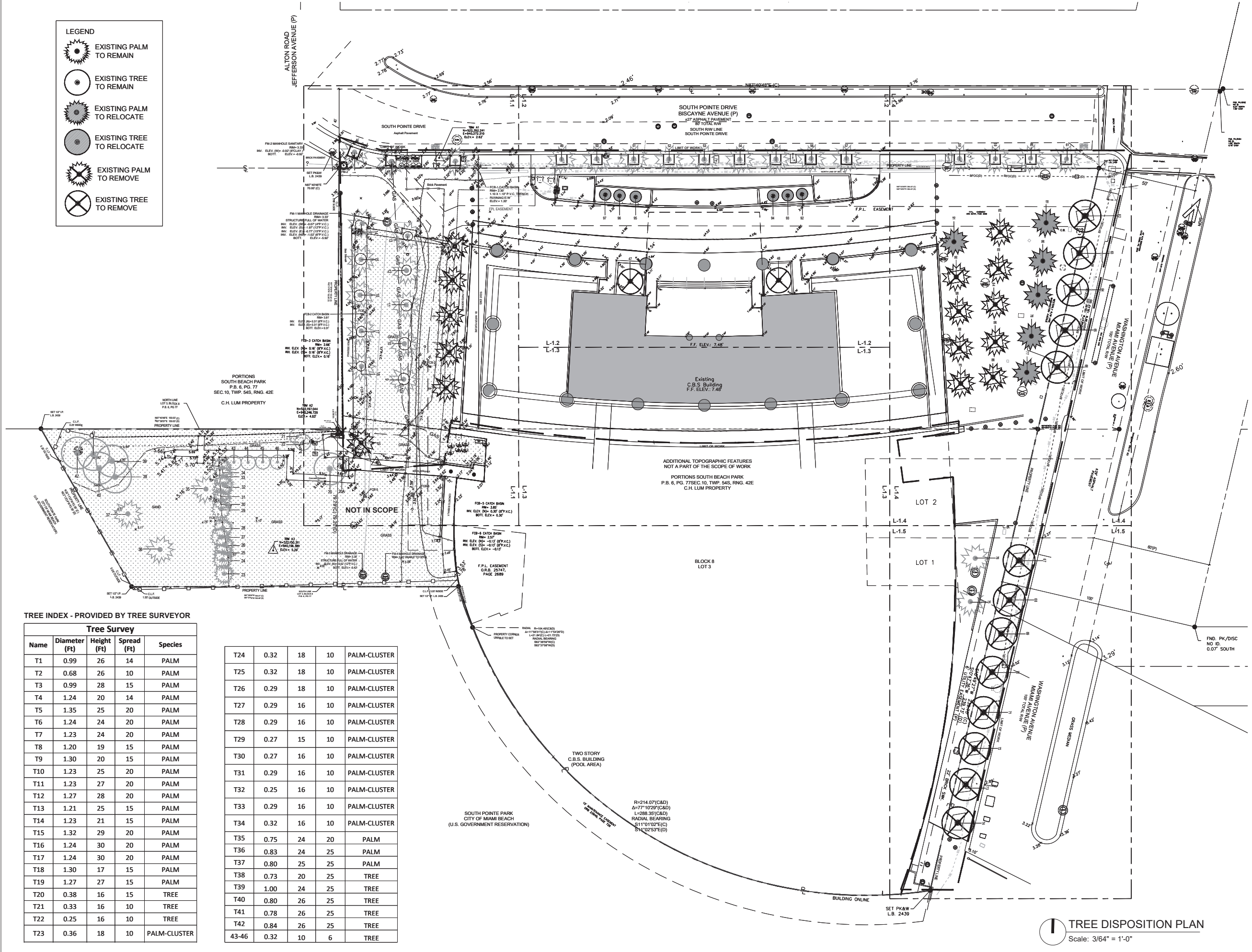
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**LEGEND**

- EXISTING PALM TO REMAIN
- EXISTING TREE TO REMAIN
- EXISTING PALM TO RELOCATE
- EXISTING TREE TO RELOCATE
- EXISTING PALM TO REMOVE
- EXISTING TREE TO REMOVE



**TREE INDEX - PROVIDED BY TREE SURVEYOR**

Tree Survey				
Name	Diameter (Ft)	Height (Ft)	Spread (Ft)	Species
T1	0.99	26	14	PALM
T2	0.68	26	10	PALM
T3	0.99	28	15	PALM
T4	1.24	20	14	PALM
T5	1.35	25	20	PALM
T6	1.24	24	20	PALM
T7	1.23	24	20	PALM
T8	1.20	19	15	PALM
T9	1.30	20	15	PALM
T10	1.23	25	20	PALM
T11	1.23	27	20	PALM
T12	1.27	28	20	PALM
T13	1.21	25	15	PALM
T14	1.23	21	15	PALM
T15	1.32	29	20	PALM
T16	1.24	30	20	PALM
T17	1.24	30	20	PALM
T18	1.30	17	15	PALM
T19	1.27	27	15	PALM
T20	0.38	16	15	TREE
T21	0.33	16	10	TREE
T22	0.25	16	10	TREE
T23	0.36	18	10	PALM-CLUSTER

T24	0.32	18	10	PALM-CLUSTER
T25	0.32	18	10	PALM-CLUSTER
T26	0.29	18	10	PALM-CLUSTER
T27	0.29	16	10	PALM-CLUSTER
T28	0.29	16	10	PALM-CLUSTER
T29	0.27	15	10	PALM-CLUSTER
T30	0.27	16	10	PALM-CLUSTER
T31	0.29	16	10	PALM-CLUSTER
T32	0.25	16	10	PALM-CLUSTER
T33	0.29	16	10	PALM-CLUSTER
T34	0.32	16	10	PALM-CLUSTER
T35	0.75	24	20	PALM
T36	0.83	24	25	PALM
T37	0.80	25	25	PALM
T38	0.73	20	25	TREE
T39	1.00	24	25	TREE
T40	0.80	26	25	TREE
T41	0.78	26	25	TREE
T42	0.84	26	25	TREE
43-46	0.32	10	6	TREE

Project  
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Date: 2025.10.10 14:49:23 -0400

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STATE OF FLORIDA RLA #6667206

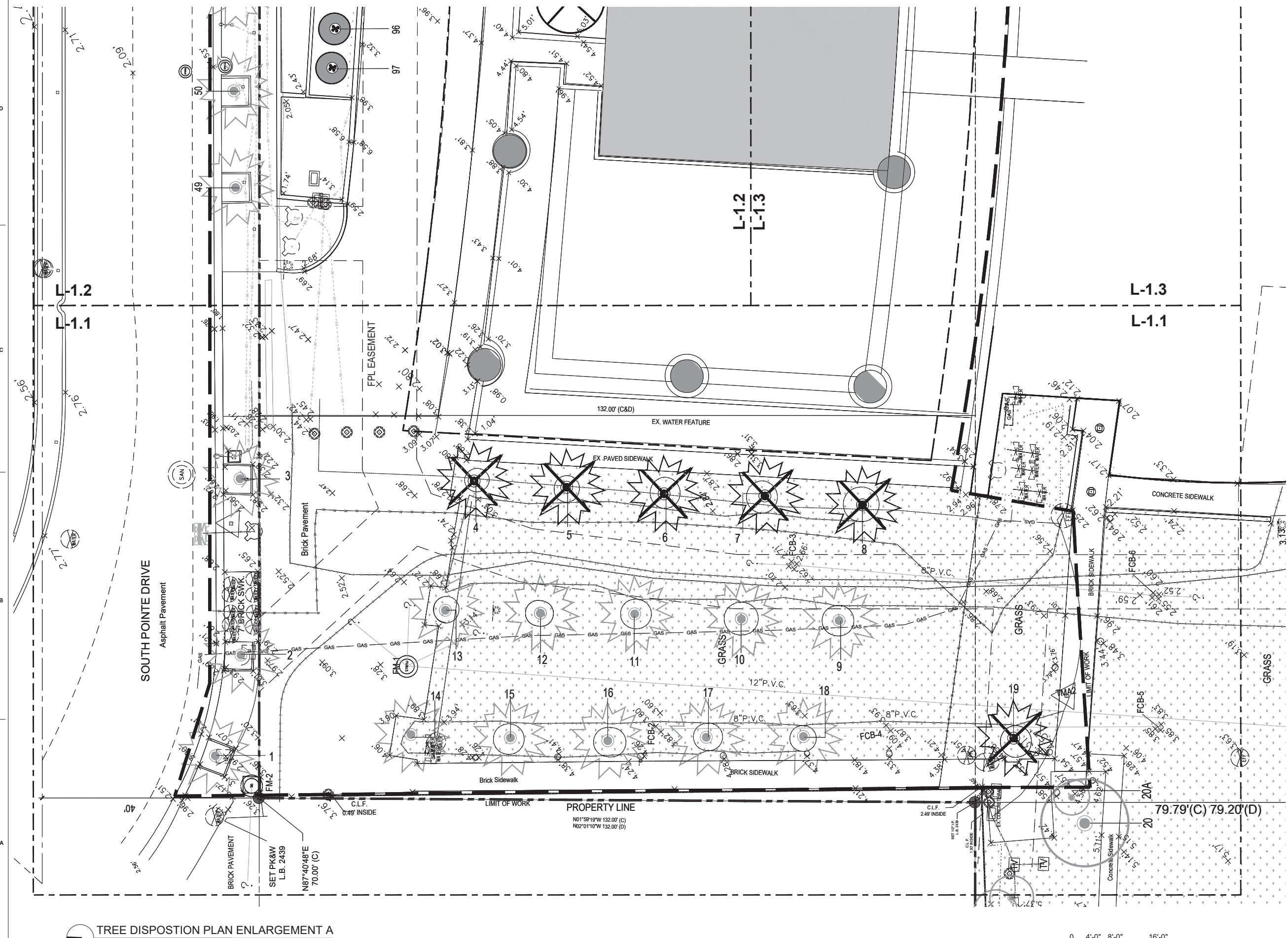
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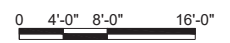
**TREE DISPOSITION PLAN**  
Scale: 3/64" = 1'-0"

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**TREE DISPOSITION PLAN ENLARGEMENT A**  
Scale: 1/8" = 1'-0"



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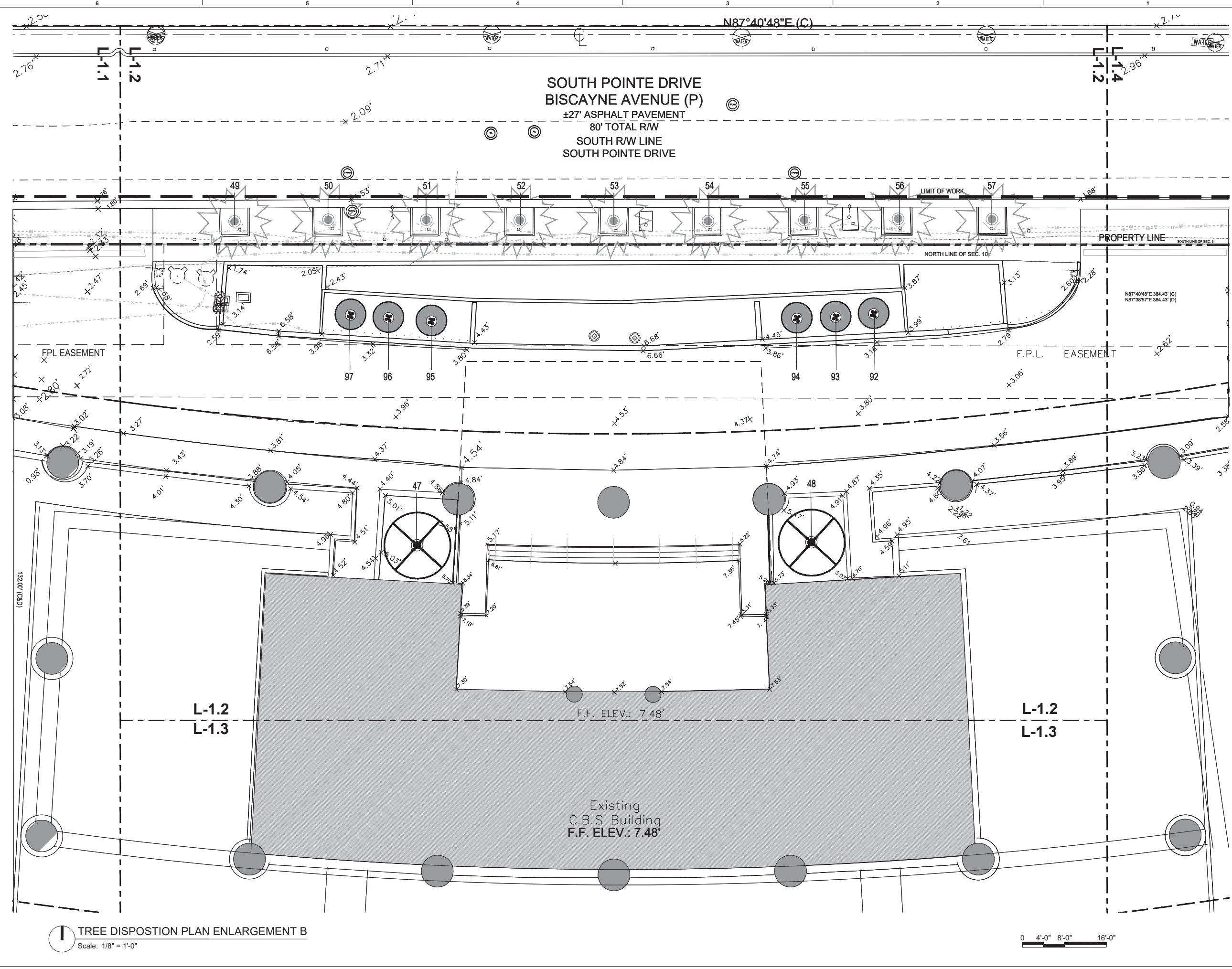
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Project No: 202209  
Sheet Name: TREE DISPOSITION PLAN ENLARGEMENT A  
Sheet No: L-1.1

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**TREE DISPOSITION PLAN ENLARGEMENT B**  
Scale: 1/8" = 1'-0"

0 4'-0" 8'-0" 16'-0"

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Project  
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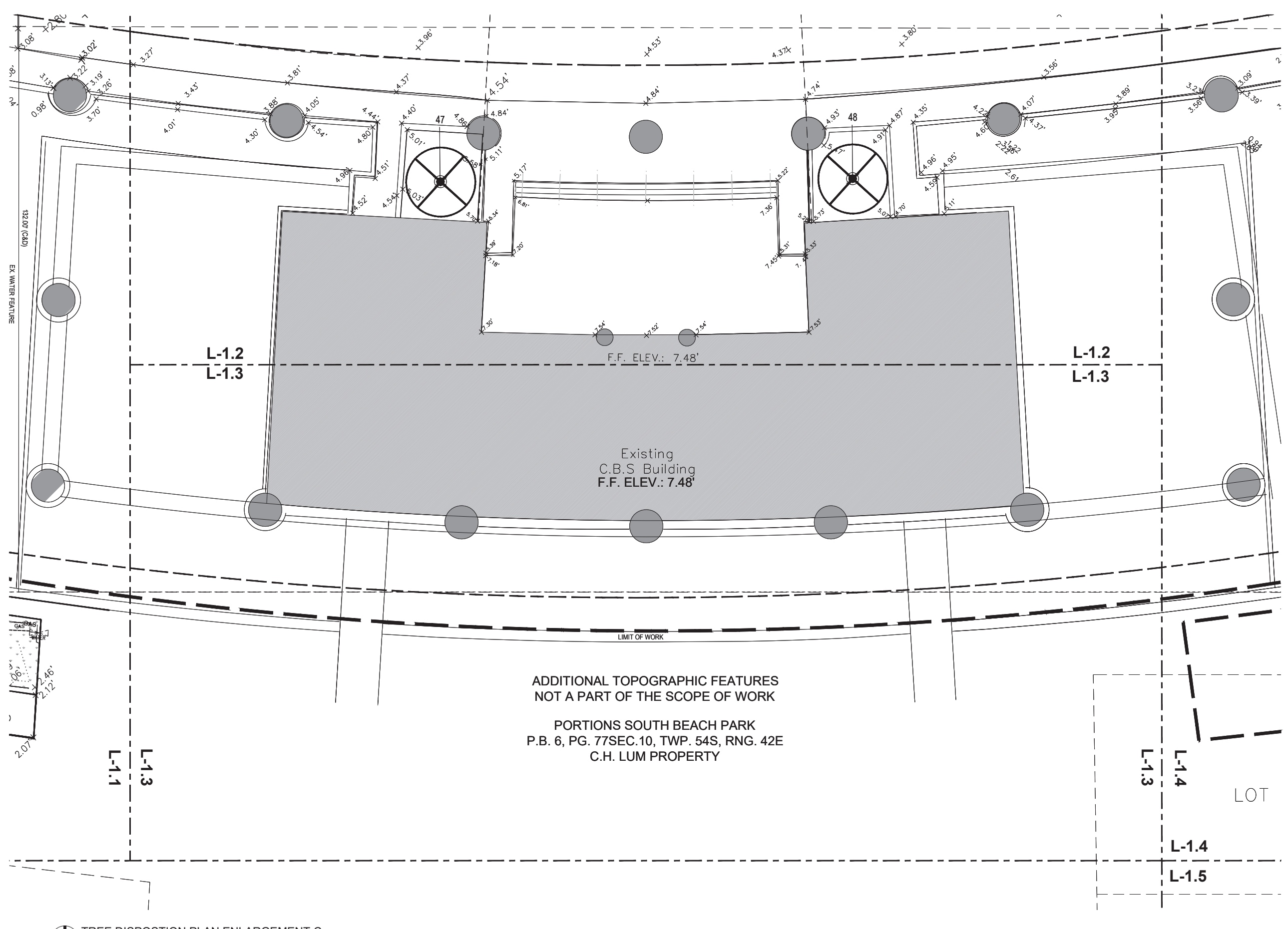
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STATE OF FLORIDA RLA #6667206

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202209  
Sheet Name  
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Sheet No.

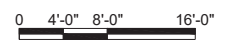
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ADDITIONAL TOPOGRAPHIC FEATURES  
NOT A PART OF THE SCOPE OF WORK

PORTIONS SOUTH BEACH PARK  
P.B. 6, PG. 77SEC.10, TWP. 54S, RNG. 42E  
C.H. LUM PROPERTY

**TREE DISPOSITION PLAN ENLARGEMENT C**  
Scale: 1/8" = 1'-0"



Project  
**APOGEE**  
EXTERIOR RENOVATION  
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DN: cn=Stephen Michael Callahan, email=smcallahan@thresholdlandscape.com, o=THRESHOLD LANDSCAPE WORKSHOP, ou=THRESHOLD LANDSCAPE WORKSHOP, c=US  
Date: 2025.10.10 14:50:10 -0400

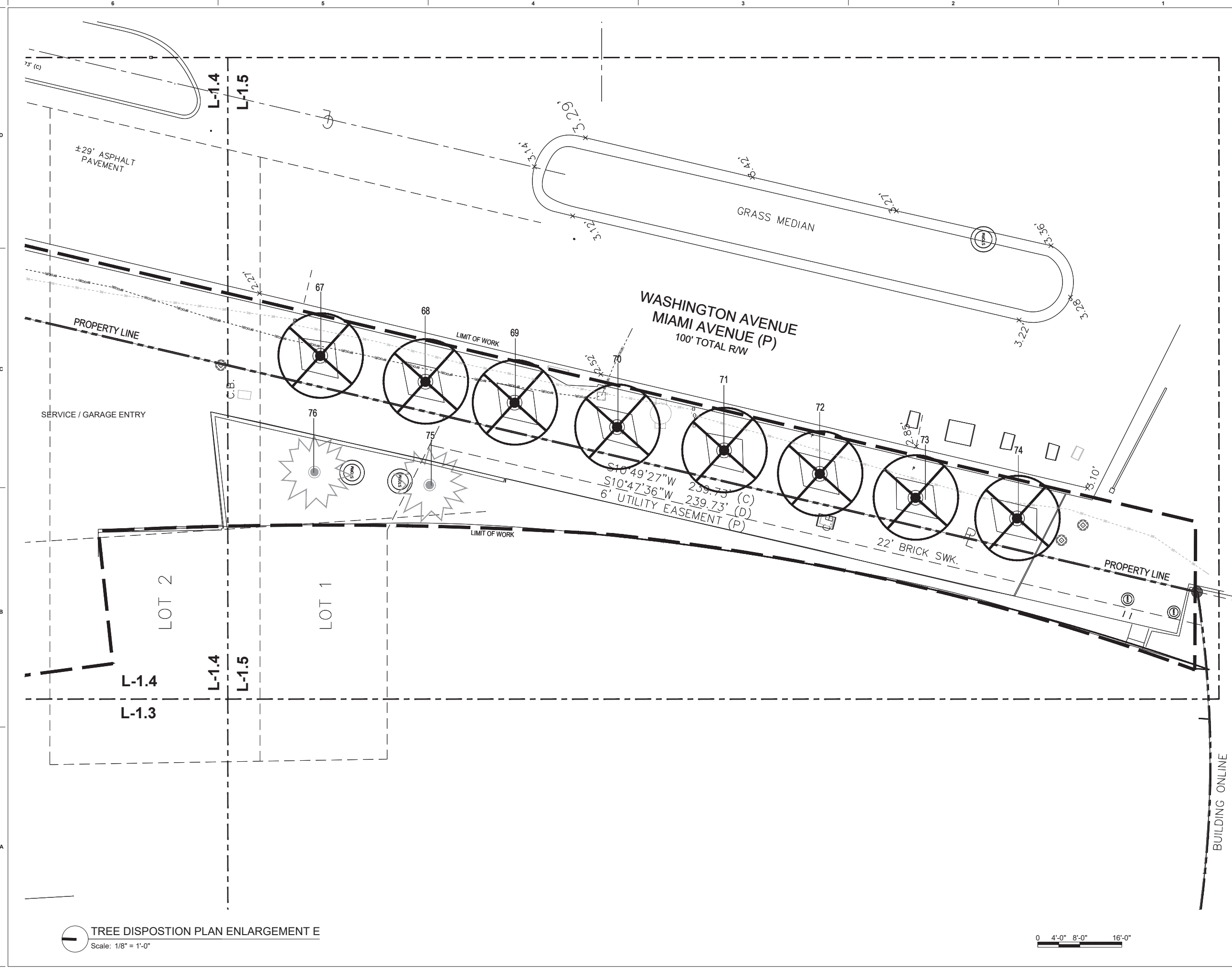
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Scale  
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Project No.  
202209  
Sheet Name  
**TREE DISPOSITION PLAN ENLARGEMENT C**  
Sheet No.

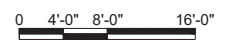
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**TREE DISPOSITION PLAN ENLARGEMENT E**  
Scale: 1/8" = 1'-0"



Project  
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EXTERIOR RENOVATION  
800 SOUTH POINTE DRIVE  
MIAMI BEACH, FL 33139

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Sheet Name  
**TREE DISPOSITION PLAN ENLARGEMENT E**

Sheet No.  
**L-1.5**

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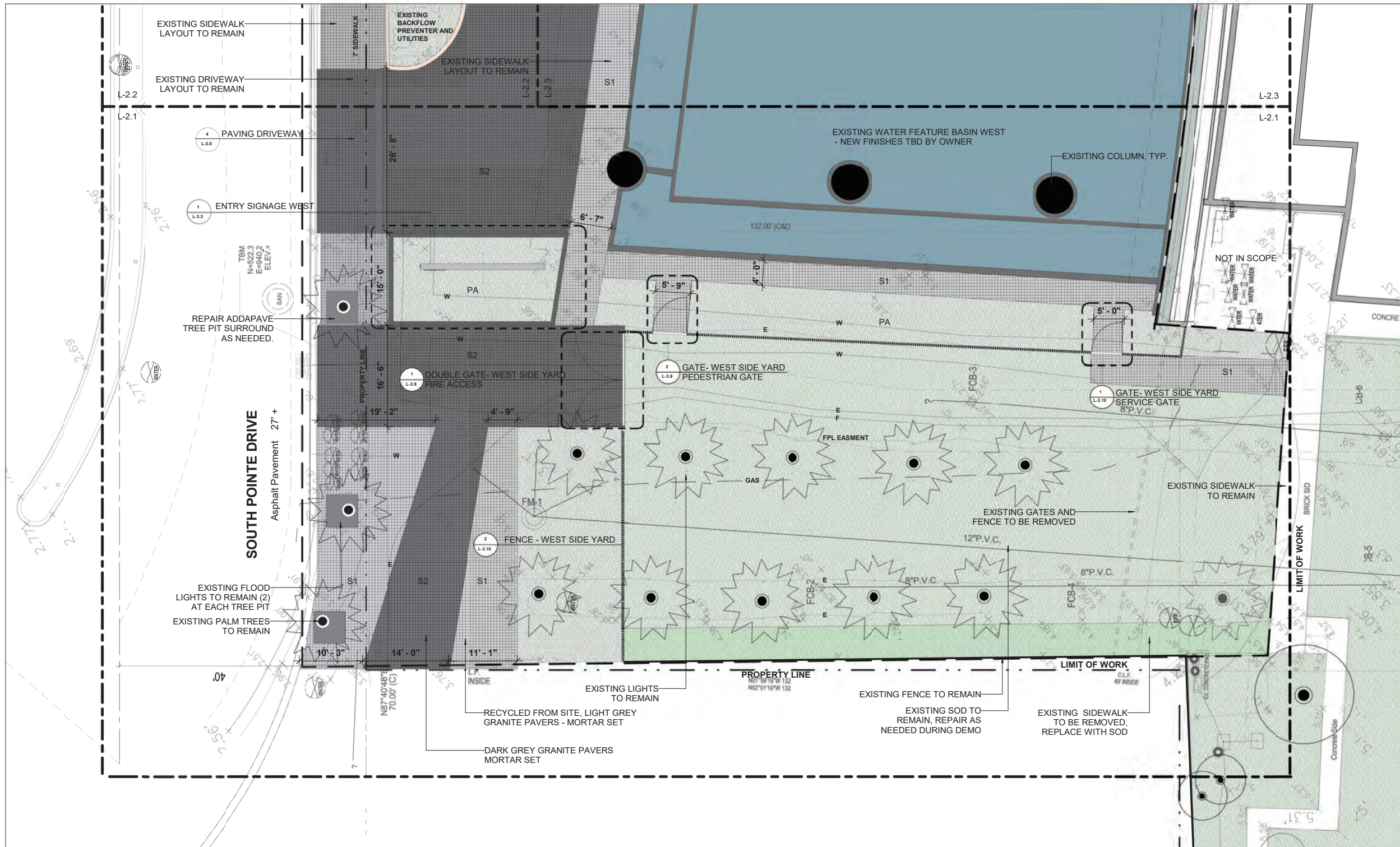




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**MATERIAL LEGEND**

	S1 - LIGHT GRAY GRANITE PAVER 4X4 - RECYCLED FROM SITE
	S2 - NEW DARK GRAY GRANITE VEHICULAR PAVER 4X4
	S3 - STONE PAVING EXISTING/ REPAIR TO MATCH EXISTING
	WF - EXISTING WATER FEATURE BASIN
	PA - PLANTING AREA
	LA - LAWN AREA



**1 HARDSCAPE ENLARGEMENT PLAN A**  
1/8" = 1'-0"



Project  
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Date  
10/12/2025

Scale  
AS SHOWN

Project No.  
202209

Sheet Name  
HARDSCAPE ENLARGEMENT PLAN A

Sheet No.  
**L-2.1**

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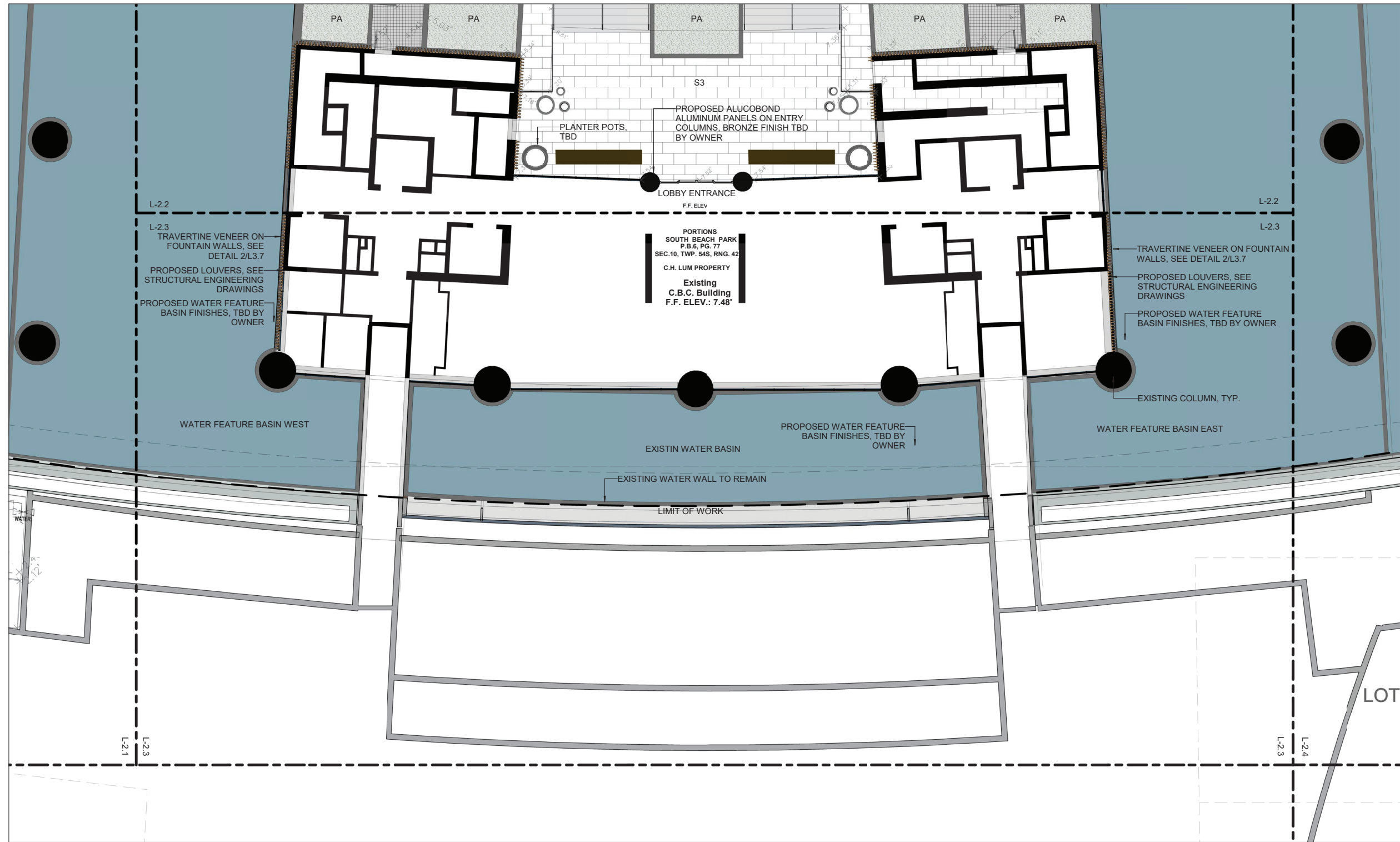
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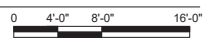
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	WF - EXISTING WATER FEATURE BASIN
	PA - PLANTING AREA
	LA - LAWN AREA



PORTIONS  
SOUTH BEACH PARK  
P.B.6, PG. 77  
SEC.10, TWP. 54S, RNG. 42  
C.H. LUM PROPERTY  
Existing  
C.B.C. Building  
F.F. ELEV.: 7.48'

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1 HARDSCAPE ENLARGEMENT PLAN C  
1/8" = 1'-0"



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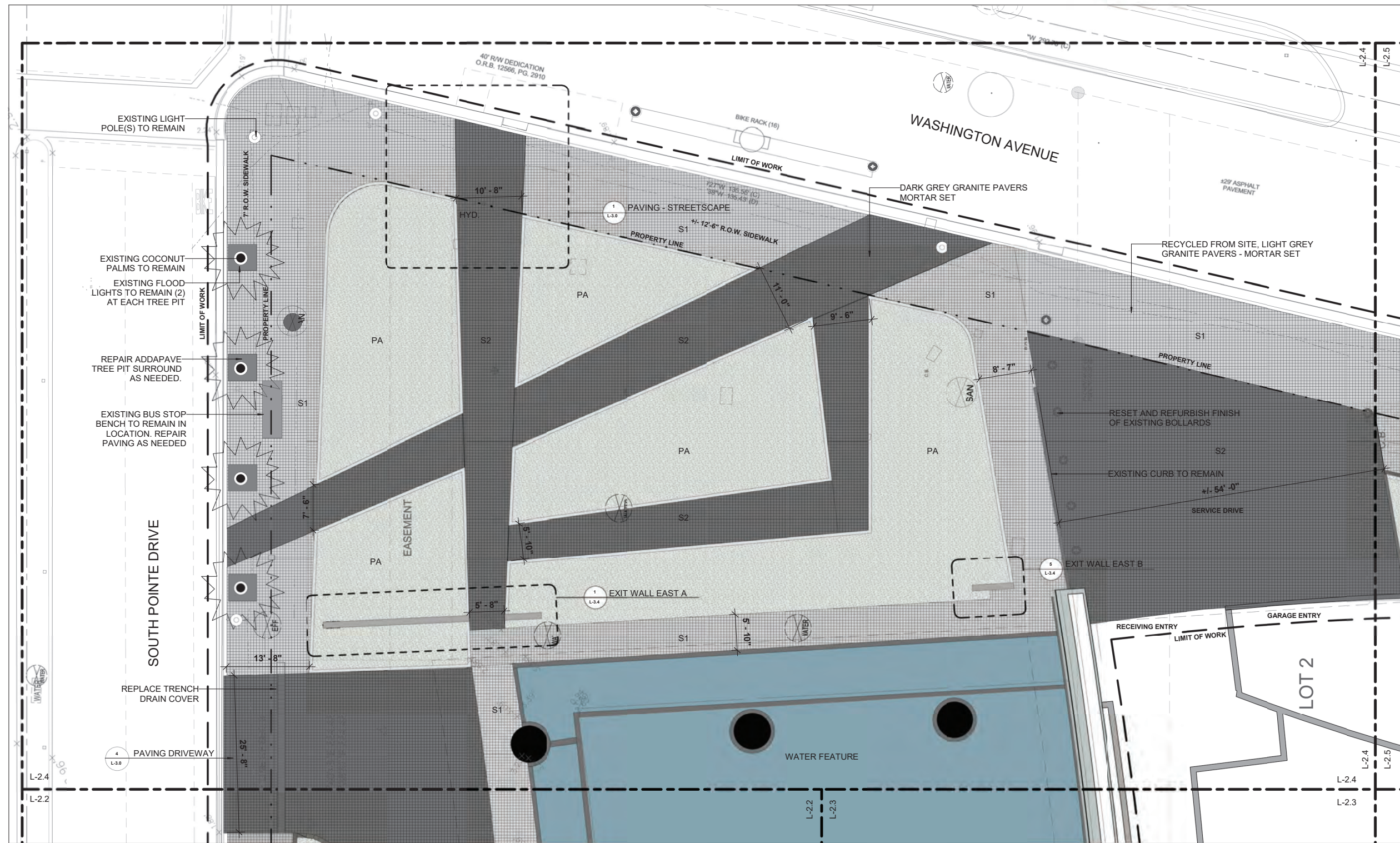
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Date: 2025.10.10 14:52:15 -0400  
**STEPHEN MICHAEL CALLAHAN**  
STATE OF FLORIDA RLA #6667206

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10/12/2025  
Scale  
AS SHOWN  
Project No.  
202209  
Sheet Name  
HARDSCAPE ENLARGEMENT PLAN C  
Sheet No.

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### MATERIAL LEGEND

	S1 - LIGHT GRAY GRANITE PAVER 4X4 - RECYCLED FROM SITE
	S2 - NEW DARK GRAY GRANITE VEHICULAR PAVER 4X4
	S3 - STONE PAVING EXISTING/ REPAIR TO MATCH EXISTING
	WF - EXISTING WATER FEATURE BASIN
	PA - PLANTING AREA
	LA - LAWN AREA



Project  
**APOGEE**  
 EXTERIOR RENOVATION  
 800 SOUTH POINTE DRIVE  
 MIAMI BEACH, FL 33139

Owner Information  
 APOGEE CONDOMINIUM ASSOCIATION  
 800 South Pointe Drive  
 Miami Beach, FL 33139

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 811 E Las Olas Blvd, Suite 9  
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 (305) 663-1970

Civil Engineer

SPEATH ENGINEERING  
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 (305) 834-4213

Land Surveyor

MANUEL VERA AND ASSOCIATES  
 13960 SW 47th Street  
 MIAMI FL, 33175  
 (305) 221-6210

Revisions

Date	Description
09/21/2025	DRB FIRST SUBMITTAL
10/12/2025	DRB FINAL SUBMITTAL
12/11/2025	DRB HEARING DATE

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STEPHEN MICHAEL CALLAHAN  
 STATE OF FLORIDA RLA #6667206

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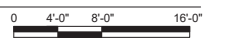
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 Scale  
 AS SHOWN  
 Project No.  
 202209  
 Sheet Name  
 HARDSCAPE ENLARGEMENT PLAN D

Sheet No.

L-2.4

## 1 HARDSCAPE ENLARGEMENT PLAN D

1/8" = 1'-0"



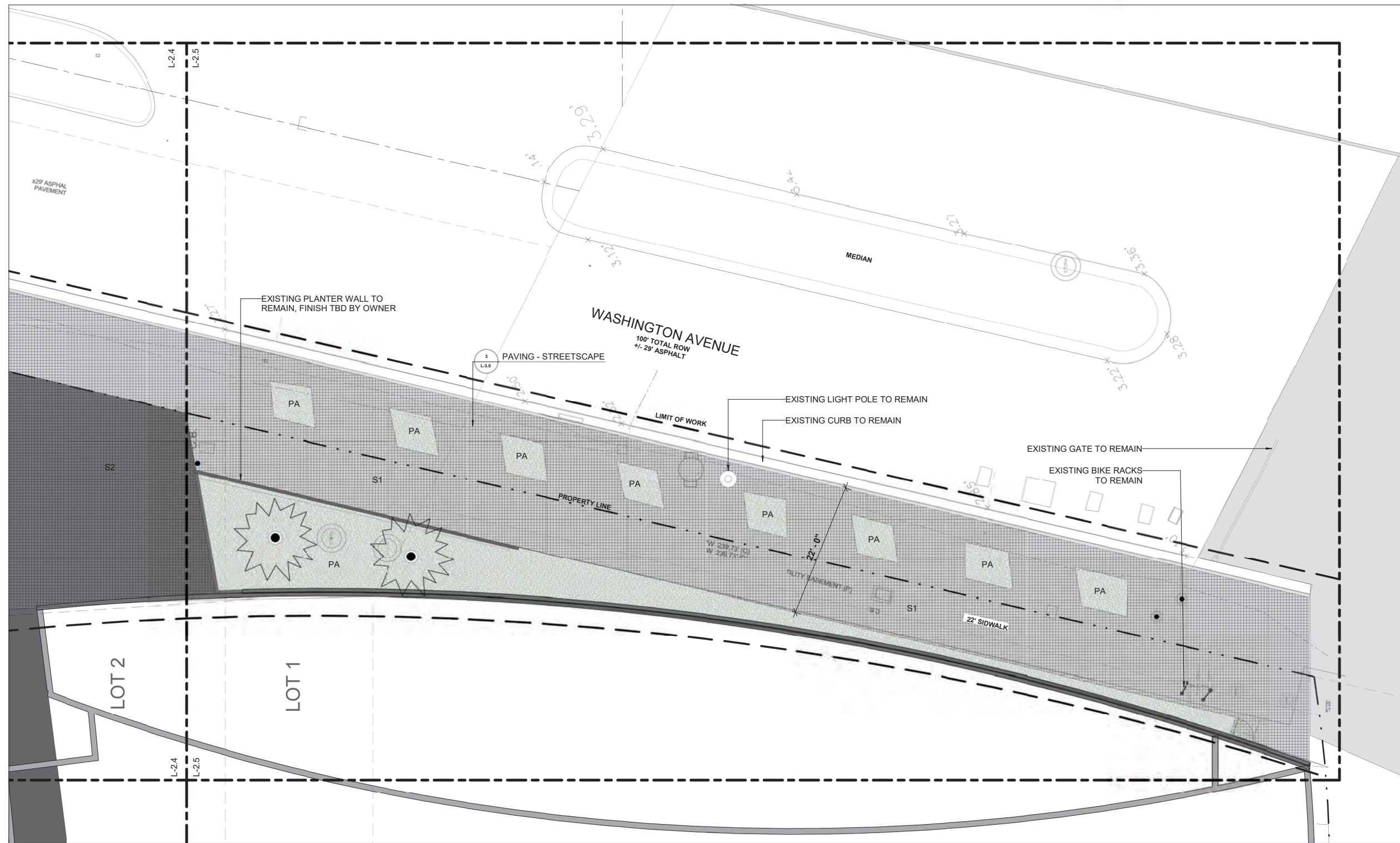
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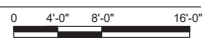
**MATERIAL LEGEND**

	S1 - LIGHT GRAY GRANITE PAVER 4X4 - RECYCLED FROM SITE
	S2 - NEW DARK GRAY GRANITE VEHICULAR PAVER 4X4
	S3 - STONE PAVING EXISTING/ REPAIR TO MATCH EXISTING
	WF - EXISTING WATER FEATURE BASIN
	PA - PLANTING AREA
	LA - LAWN AREA



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**1 HARDSCAPE ENLARGEMENT PLAN E**  
1/8" = 1'-0"



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**Project**  
**APOGEE**  
EXTERIOR RENOVATION  
800 SOUTH POINTE DRIVE  
MIAMI BEACH, FL 33139

**Owner Information**  
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**Civil Engineer**

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44 W Flagler St Suite 1850  
Miami, FL 33130  
(305) 834-4213

**Land Surveyor**

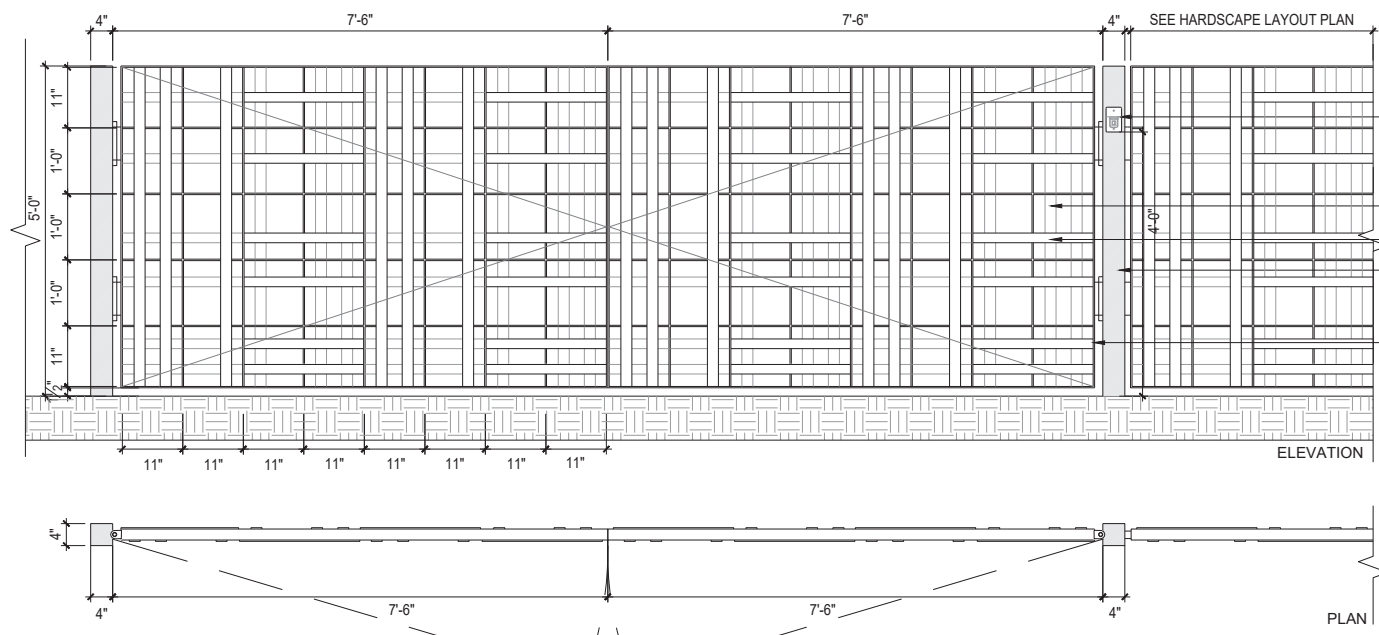
**MANUEL VERA AND ASSOCIATES**  
13960 SW 47th Street  
MIAMI FL, 33175  
(305) 221-6210

**Revisions**

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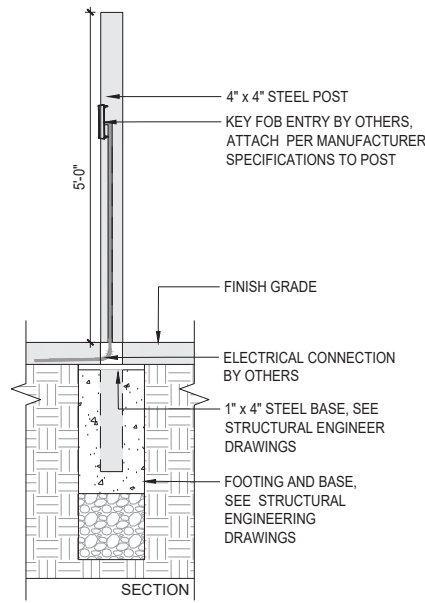
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Date: 2025.10.10 14:53:23 -0400  
**STEPHEN MICHAEL CALLAHAN**  
STATE OF FLORIDA RLA #6667206

**DRB PERMIT SET**  
Date: 10/12/2025  
Scale: AS SHOWN  
Project No: 202209  
Sheet Name: HARDSCAPE ENLARGEMENT PLAN E  
Sheet No: L-2.5



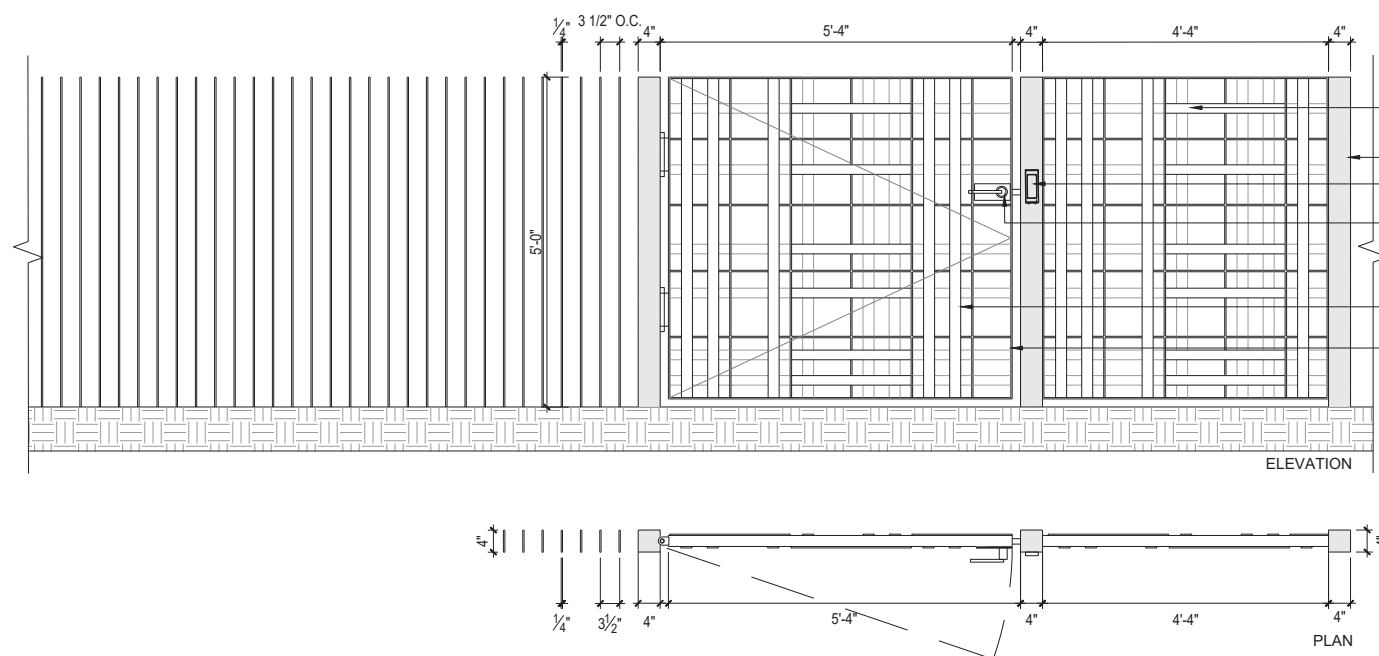
- KNOX KEY SWITCH MODEL 3502 PER MIAMI-DADE FIRE RESCUE ACCESS ROAD REQUIREMENTS, SEE DETAIL 1/L-2.10
- 2" x 1/4" STEEL PICKETS
- 2" x 1/4" STEEL CROSS BARS
- 4" x 4" STEEL POSTS
- 2" x 1/2" STEEL GATE FRAME

NOTE: BRONZE FINISH. CONTRACTOR TO PROVIDE FENCE AND GATE SHOP DRAWINGS FOR OWNER AND LANDSCAPE ARCHITECT APPROVAL



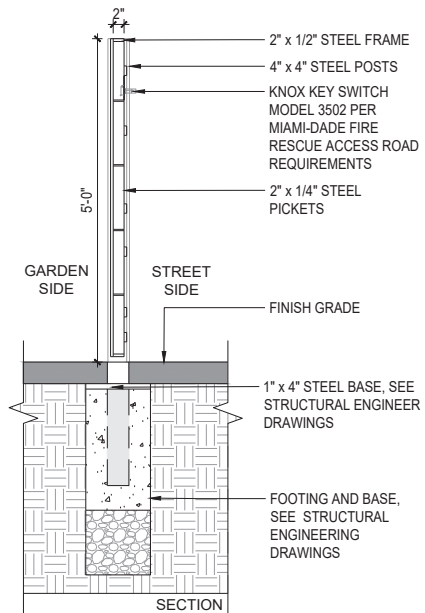
- 4" x 4" STEEL POST
- KEY FOB ENTRY BY OTHERS, ATTACH PER MANUFACTURER SPECIFICATIONS TO POST
- FINISH GRADE
- ELECTRICAL CONNECTION BY OTHERS
- 1" x 4" STEEL BASE, SEE STRUCTURAL ENGINEER DRAWINGS
- FOOTING AND BASE, SEE STRUCTURAL ENGINEERING DRAWINGS

**1 FIRE ACCESS DOUBLE GATE AND NORTH FENCE**  
Scale: 3/4" = 1'-0"



- 2" x 1/4" STEEL CROSS BARS
- 4" x 4" STEEL POST
- KEY FOB ENTRY, BY OTHERS, SELF-LATCHING GATE LATCH, FINISH TO MATCH FENCE, 40" TOP HEIGHT MOUNTED
- 2" x 1/4" STEEL PICKETS
- 2" x 1/2" STEEL GATE FRAME

NOTE: BRONZE FINISH. CONTRACTOR TO PROVIDE FENCE AND GATE SHOP DRAWINGS FOR OWNER AND LANDSCAPE ARCHITECT APPROVAL



- 2" x 1/2" STEEL FRAME
- 4" x 4" STEEL POSTS
- KNOX KEY SWITCH MODEL 3502 PER MIAMI-DADE FIRE RESCUE ACCESS ROAD REQUIREMENTS
- 2" x 1/4" STEEL PICKETS
- FINISH GRADE
- 1" x 4" STEEL BASE, SEE STRUCTURAL ENGINEER DRAWINGS
- FOOTING AND BASE, SEE STRUCTURAL ENGINEERING DRAWINGS

**2 WEST SIDE YARD - PEDESTRIAN GATE**  
Scale: 3/4" = 1'-0"

Project  
**APOGEE**  
EXTERIOR RENOVATION  
800 SOUTH POINTE DRIVE  
MIAMI BEACH, FL 33139

Owner Information  
**APOGEE CONDOMINIUM ASSOCIATION**  
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Land Surveyor  
**MANUEL VERA AND ASSOCIATES**  
13960 SW 47th Street  
MIAMI, FL 33130  
(305) 834-4213

Revisions

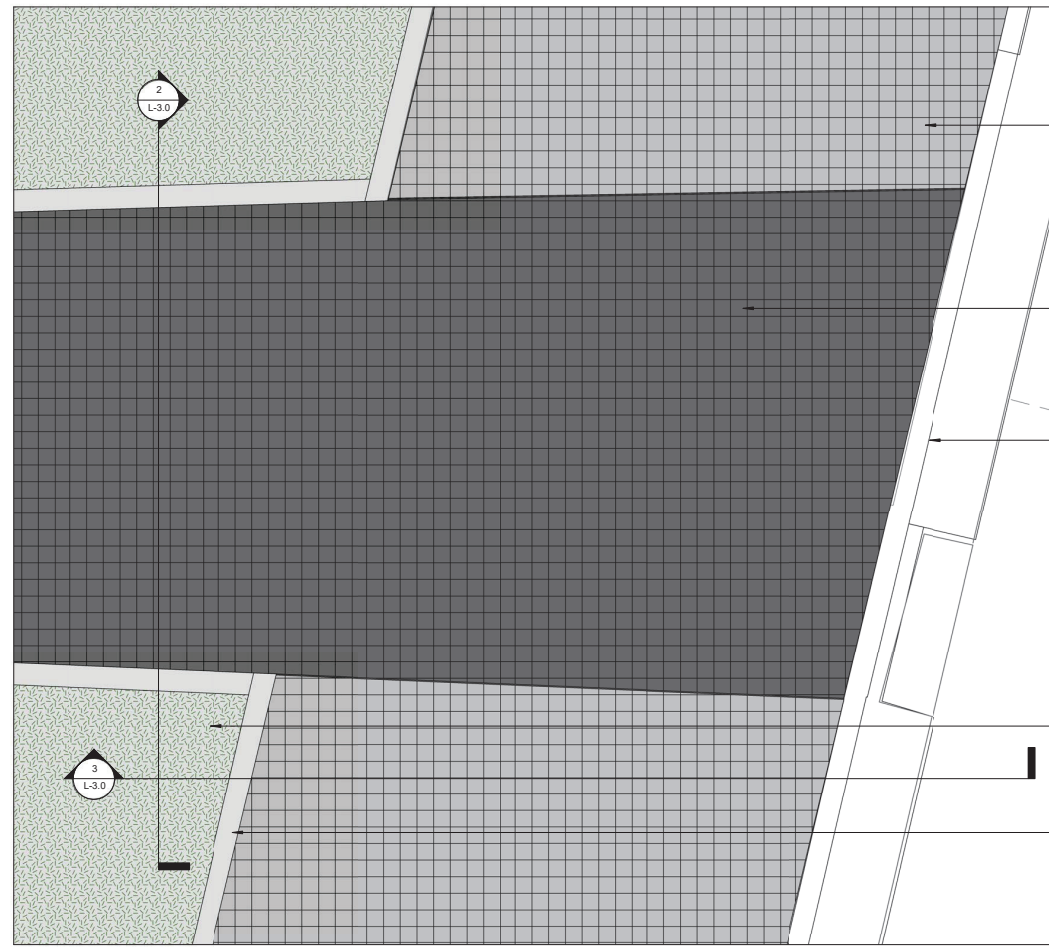
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12/11/2025	DRB HEARING DATE

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Date: 2025.10.10 14:54:09 -0400  
**STEPHEN MICHAEL CALLAHAN**  
STATE OF FLORIDA RLA #6667206

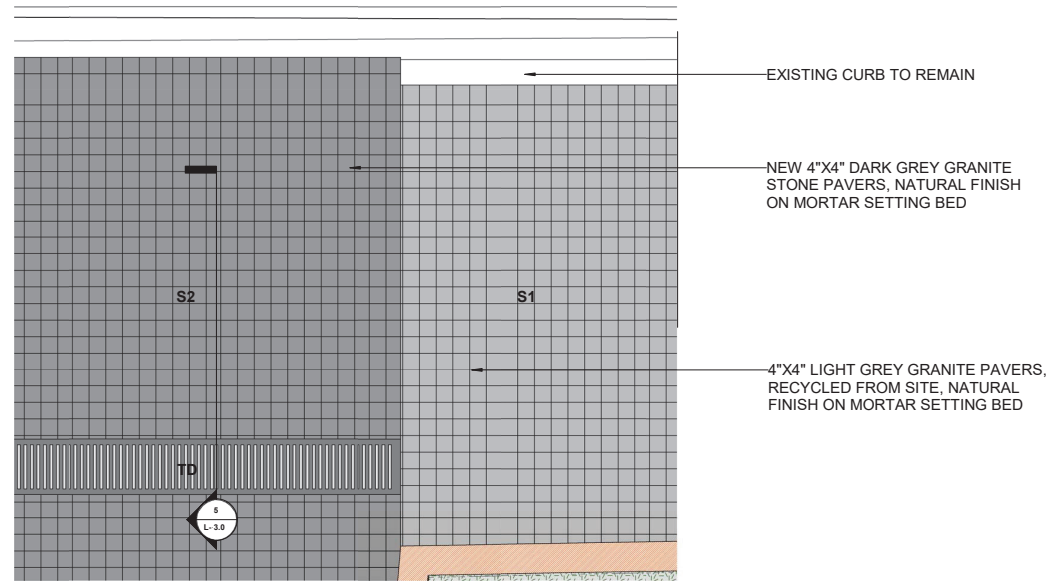
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202209  
Sheet Name  
**GATE DETAILS**

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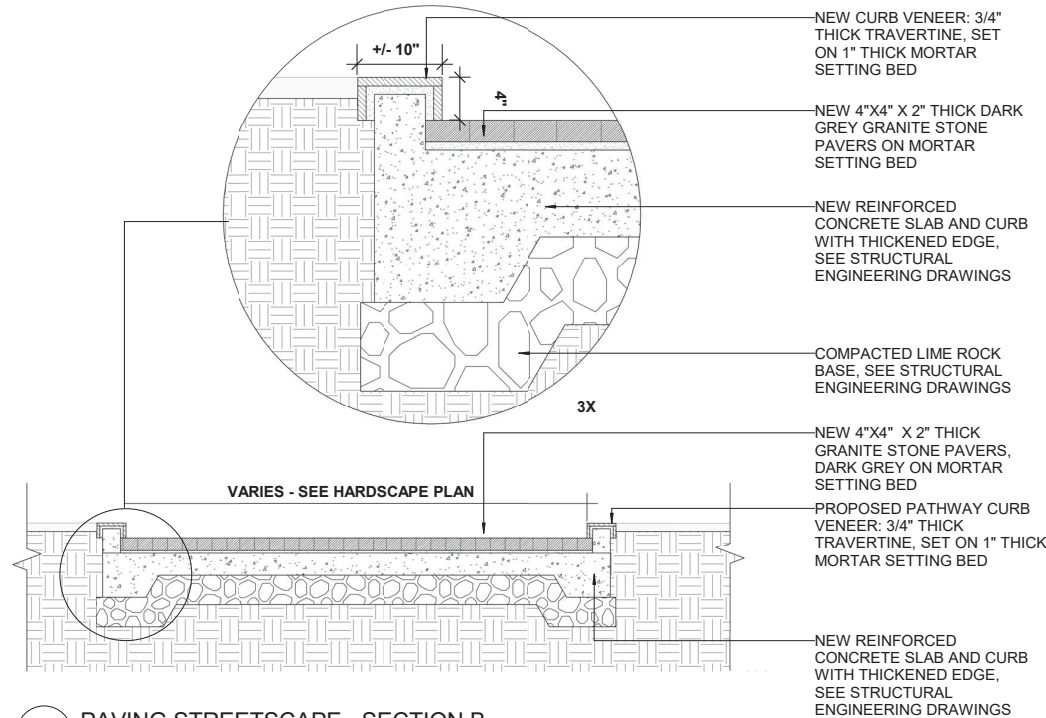
PERMIT DOCUMENTS - NO FOR CONSTRUCTION



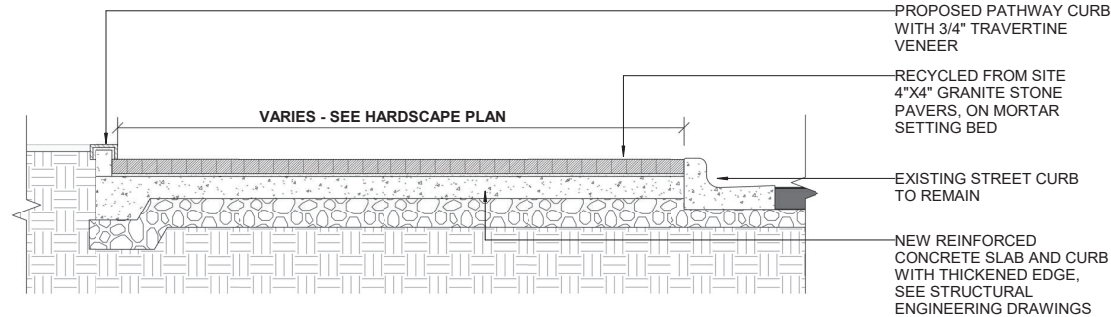
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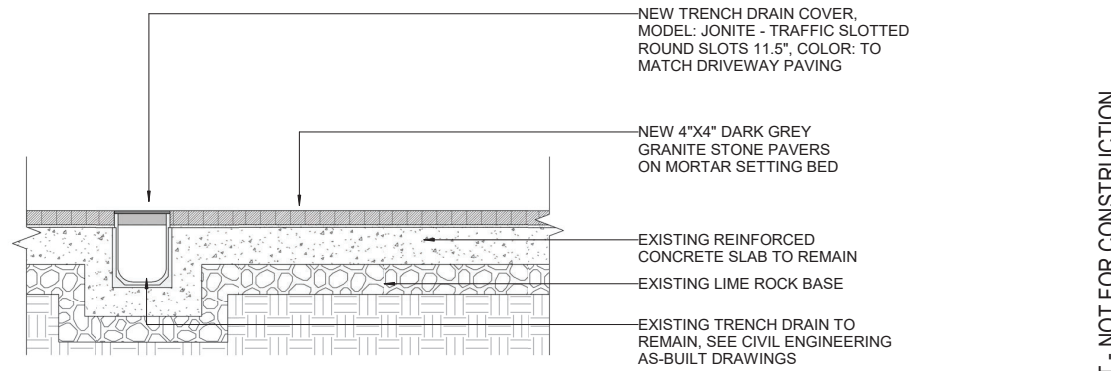
**4 PAVING DRIVEWAY**  
1/2" = 1'-0"



**2 PAVING STREETScape - SECTION B**  
1/2" = 1'-0"



**3 PAVING STREETScape - SECTION A**  
1/2" = 1'-0"



**5 PAVING DRIVEWAY - SECTION**  
1/2" = 1'-0"

Project  
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**STEPHEN MICHAEL CALLAHAN**  
STATE OF FLORIDA RLA #6667206

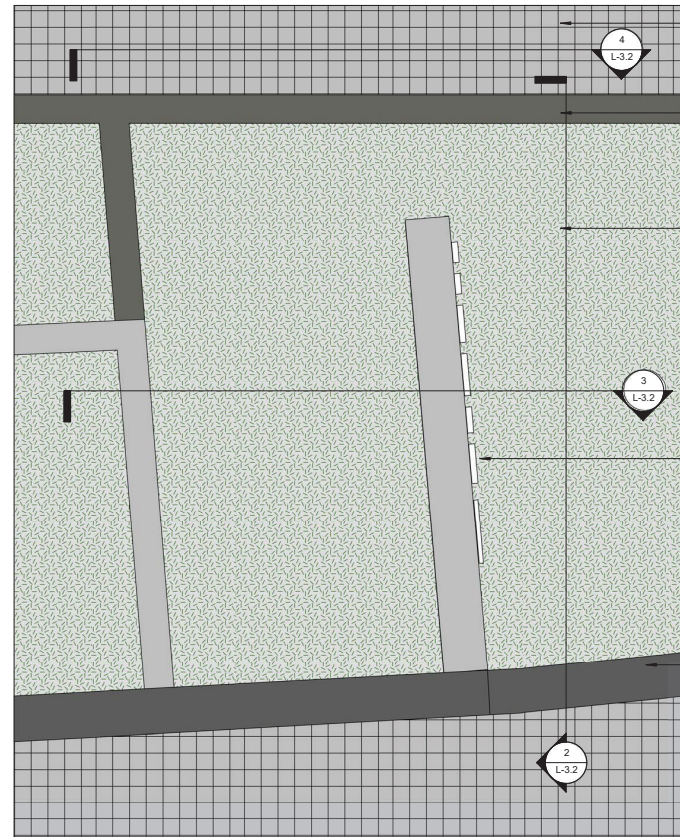
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Project No.  
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HARDSCAPE DETAILS  
Sheet No.

**L-3.0**

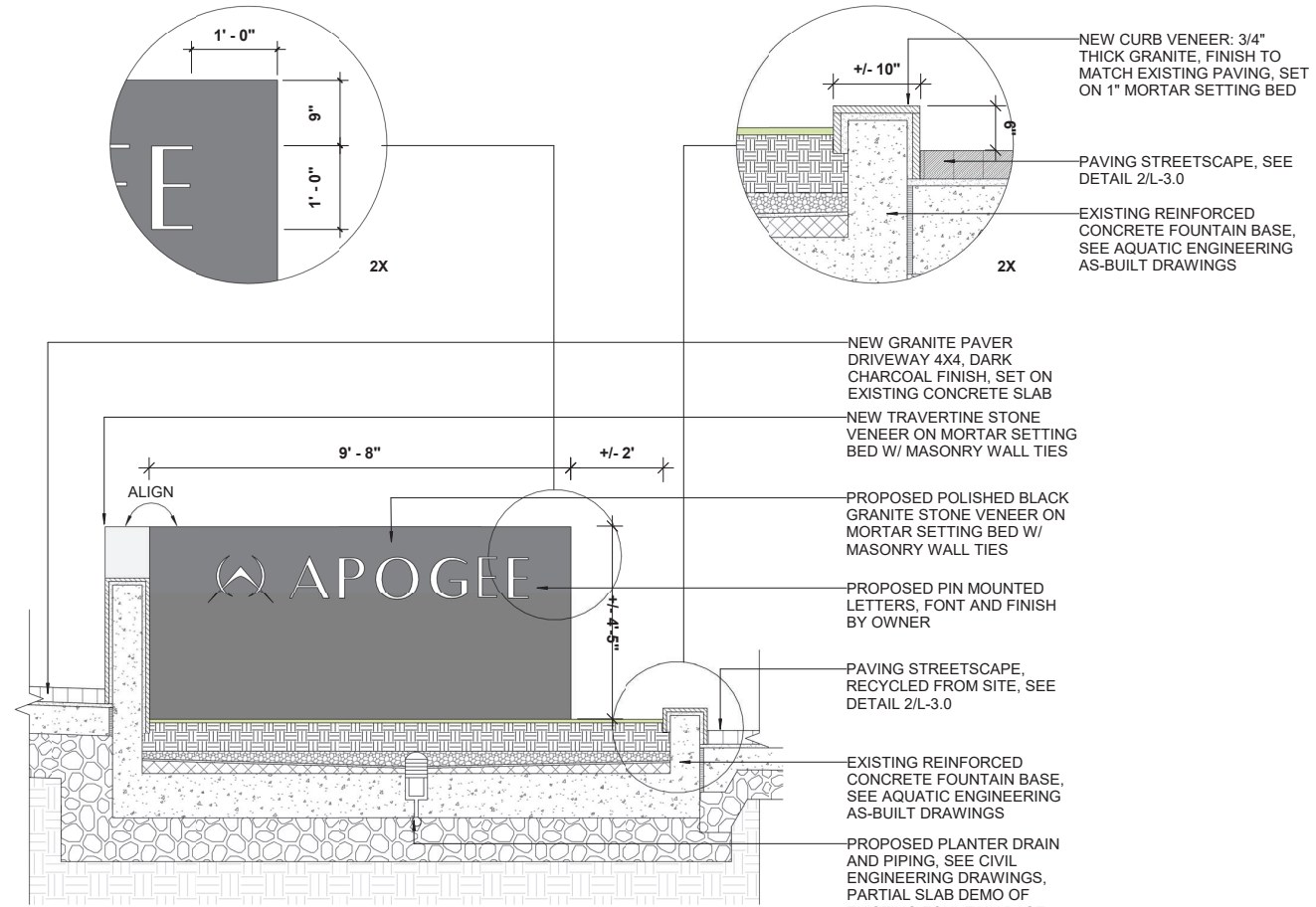
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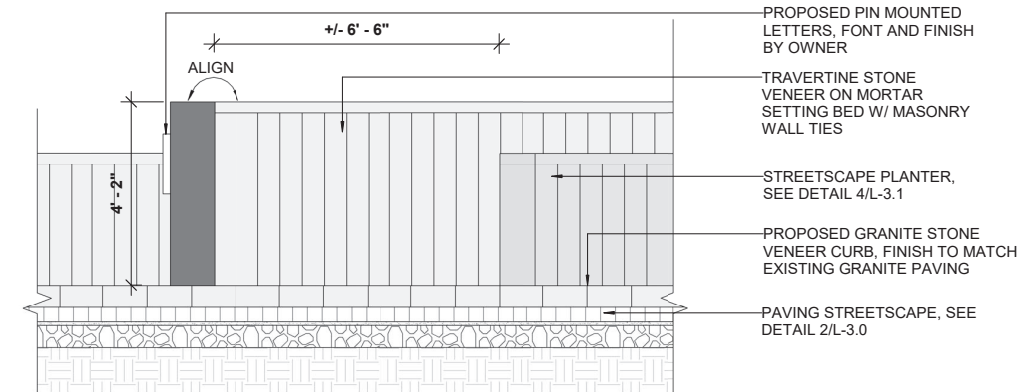




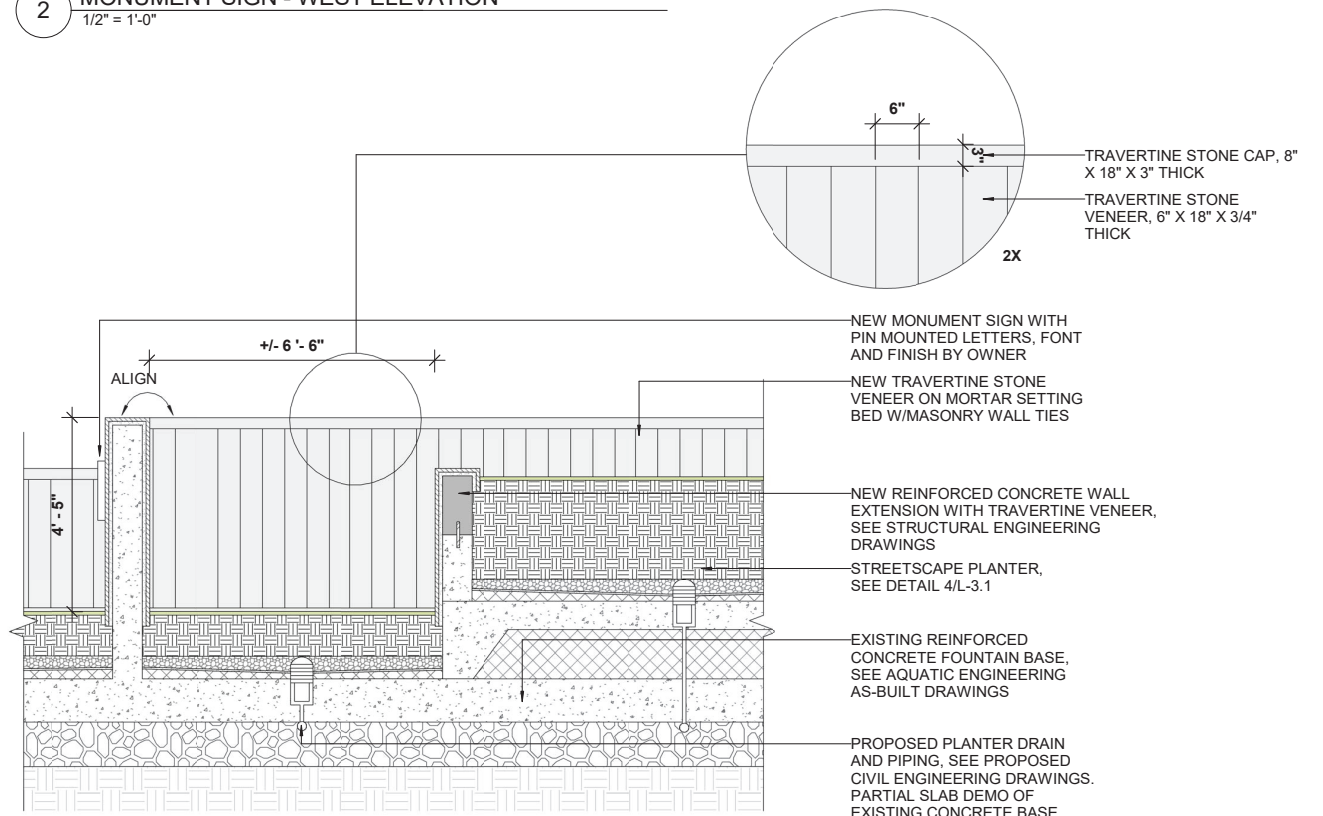
**1 MONUMENT SIGN - LAYOUT PLAN**  
1/2" = 1'-0"



**2 MONUMENT SIGN - WEST ELEVATION**  
1/2" = 1'-0"



**3 MONUMENT SIGN - SECTION A**  
1/2" = 1'-0"



**4 MONUMENT SIGN - SECTION B**  
1/2" = 1'-0"

Project  
**APOGEE**  
EXTERIOR RENOVATION  
800 SOUTH POINTE DRIVE  
MIAMI BEACH, FL 33139

Owner Information  
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Land Surveyor

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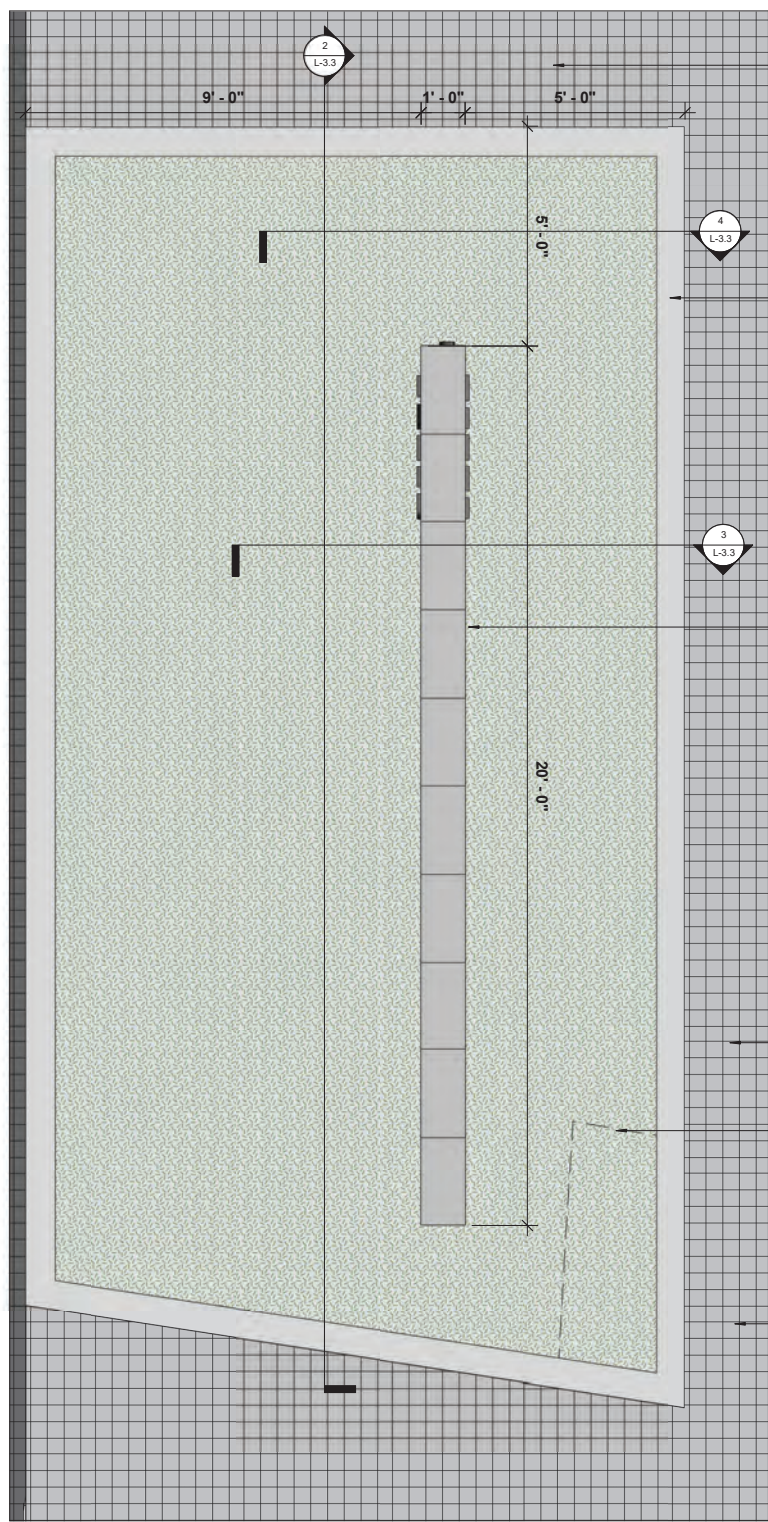
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STEPHEN MICHAEL CALLAHAN  
STATE OF FLORIDA RLA #6667206

**DRB PERMIT SET**  
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Scale  
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Project No.  
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Sheet Name  
HARDSCAPE DETAILS  
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**1 ENTRY WEST WALL - LAYOUT PLAN**  
1/2" = 1'-0"

PAVING STREETScape, SEE DETAIL 2/L-3.0

PROPOSED CURB VENEER 3/4" THICK TRAVERTINE, SEE STRUCTURAL ENGINEERING DRAWINGS

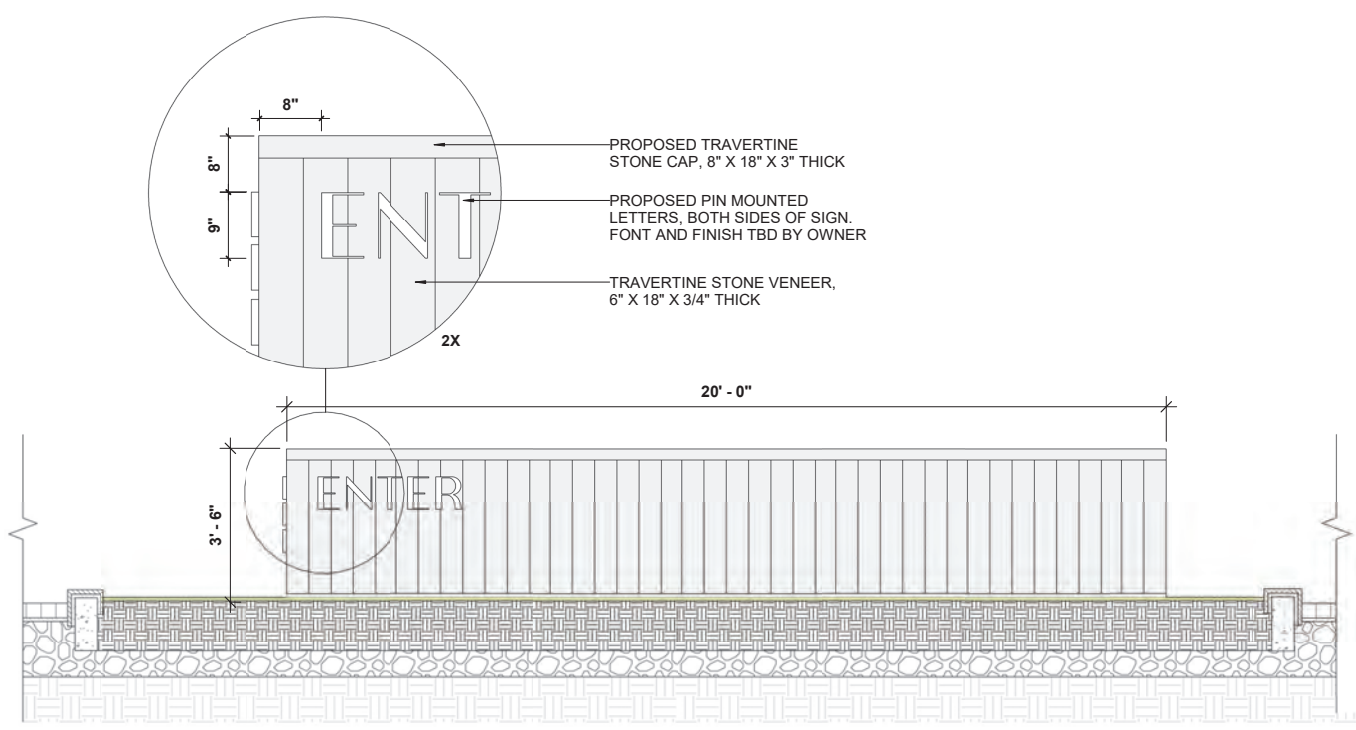
PROPOSED REINFORCED CONCRETE ENTRY WALL W/ TRAVERTINE STONE VENEER AND PIN MOUNTED LETTERS

PAVING STREETScape, SEE DETAIL 2/L-3.0

PLANTING AREA, SEE PLANTING PLAN L-6.0

PAVING DRIVEWAY, SEE DETAIL 4/L-3.0

NOTE:  
CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND FULL SCALE TEXT MOCKUP ON-SITE FOR LANDSCAPE ARCHITECT AND OWNER APPROVAL

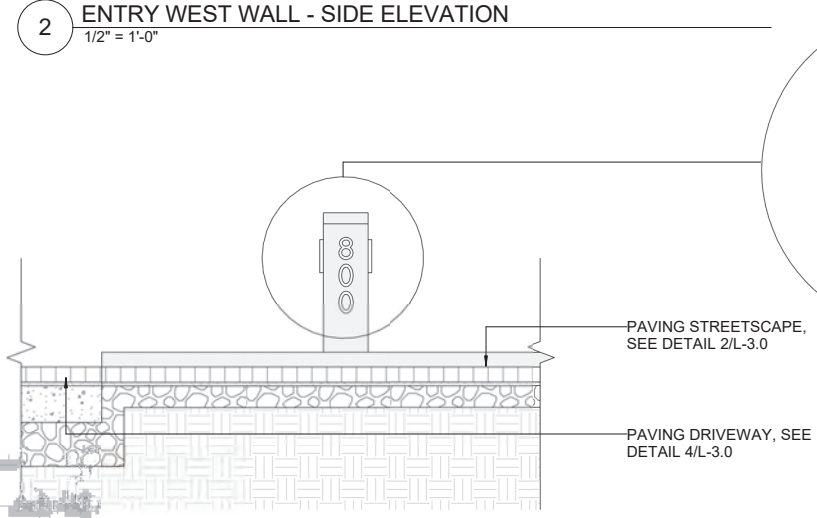


**2 ENTRY WEST WALL - SIDE ELEVATION**  
1/2" = 1'-0"

PROPOSED TRAVERTINE STONE CAP, 8" X 18" X 3" THICK

PROPOSED PIN MOUNTED LETTERS, BOTH SIDES OF SIGN, FONT AND FINISH TBD BY OWNER

TRAVERTINE STONE VENEER, 6" X 18" X 3/4" THICK



**3 ENTRY WEST WALL - FRONT ELEVATION**  
1/2" = 1'-0"

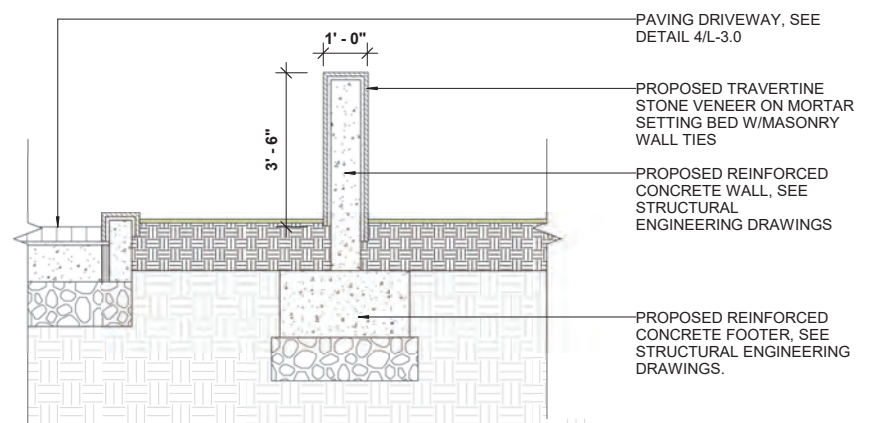
PROPOSED TRAVERTINE STONE CAP, 8" X 18" X 3" THICK

PROPOSED PIN MOUNTED LETTERS, FONT AND FINISH BY OWNER

PROPOSED TRAVERTINE STONE VENEER, 12" X 18" X 3/4" THICK

PAVING STREETScape, SEE DETAIL 2/L-3.0

PAVING DRIVEWAY, SEE DETAIL 4/L-3.0



**4 ENTRY WEST WALL - SECTION**  
1/2" = 1'-0"

PAVING DRIVEWAY, SEE DETAIL 4/L-3.0

PROPOSED TRAVERTINE STONE VENEER ON MORTAR SETTING BED W/MASONRY WALL TIES

PROPOSED REINFORCED CONCRETE WALL, SEE STRUCTURAL ENGINEERING DRAWINGS

PROPOSED REINFORCED CONCRETE FOOTER, SEE STRUCTURAL ENGINEERING DRAWINGS.

Project  
**APOGEE**  
EXTERIOR RENOVATION  
800 SOUTH POINTE DRIVE  
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Owner Information  
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Revisions

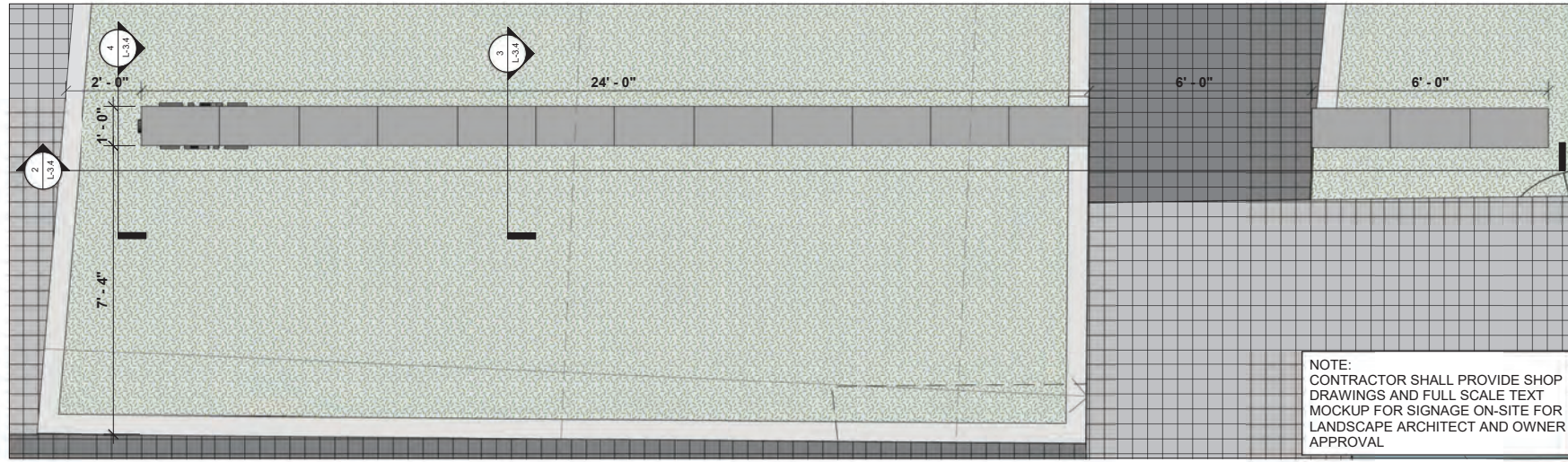
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Stephen Michael Callahan  
STATE OF FLORIDA RLA #6667206

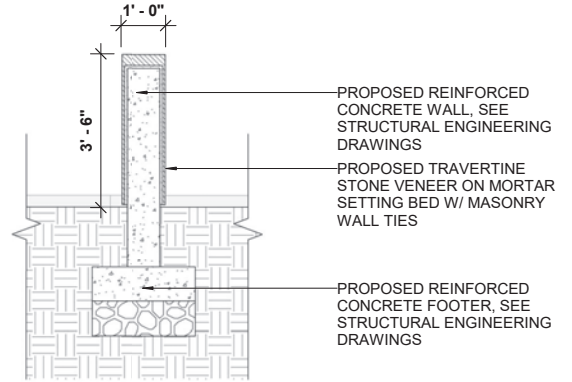
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AS SHOWN  
Project No.  
202209  
Sheet Name  
ENTRY DRIVEWAY DETAILS  
Sheet No.

**L-3.3**

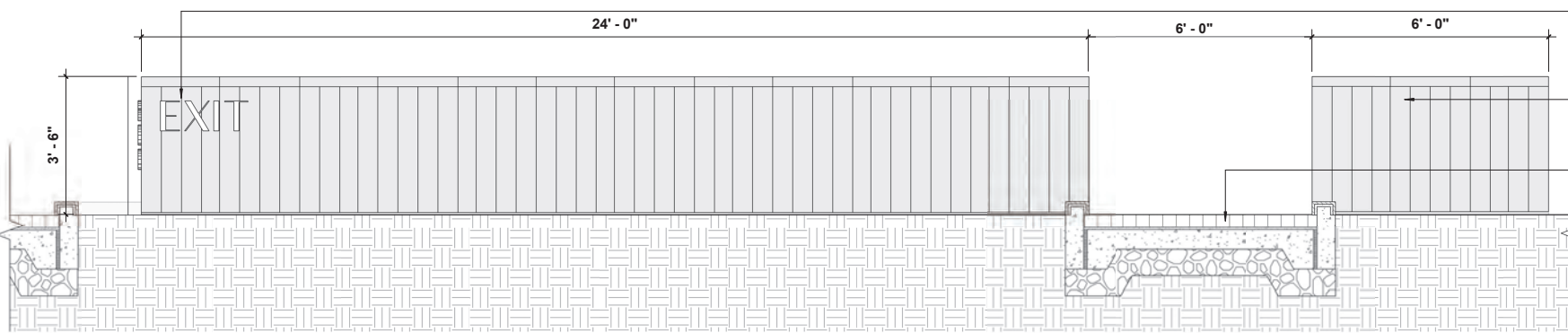
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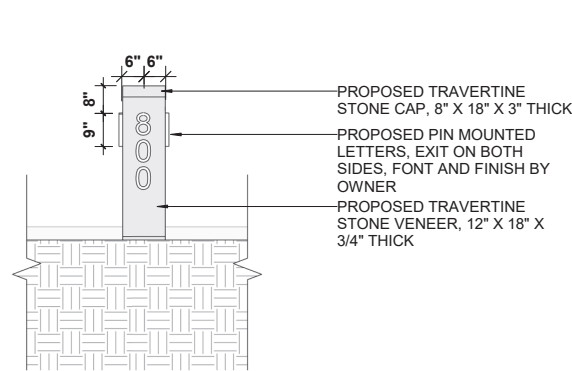
**1 EXIT WALL EAST A - LAYOUT PLAN**  
1/2" = 1'-0"



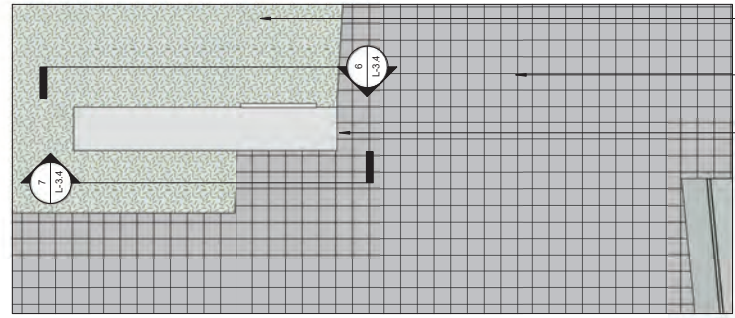
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1/2" = 1'-0"



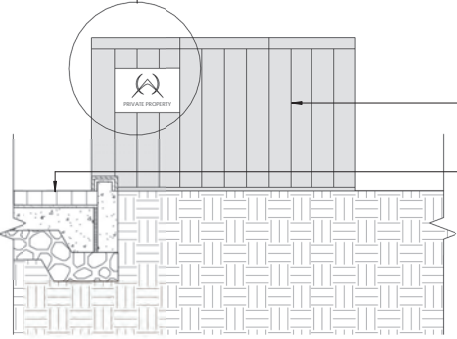
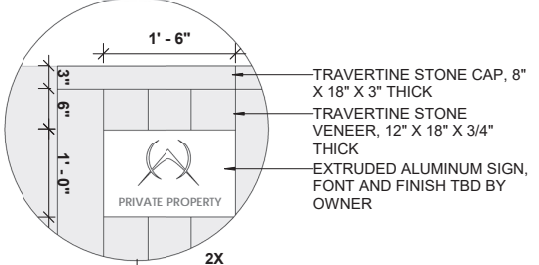
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1/2" = 1'-0"



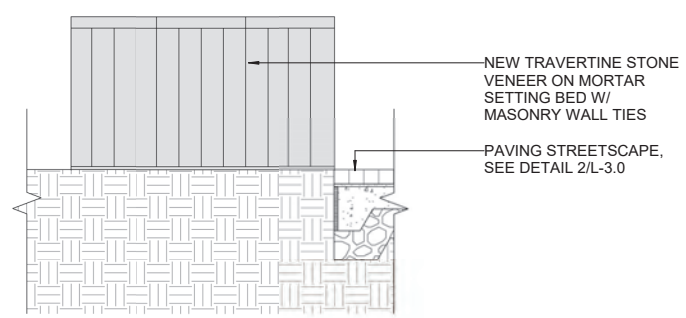
**4 EXIT WALL EAST A - FRONT ELEVATION**  
1/2" = 1'-0"



**5 EXIT WALL EAST B - LAYOUT PLAN**  
1/2" = 1'-0"



**6 EXIT WALL EAST B - FRONT ELEVATION**  
1/2" = 1'-0"



**7 EXIT WALL EAST B - BACK ELEVATION**  
1/2" = 1'-0"

Project  
**APOGEE**  
EXTERIOR RENOVATION  
800 SOUTH POINTE DRIVE  
MIAMI BEACH, FL 33139

Owner Information  
APOGEE CONDOMINIUM ASSOCIATION  
800 South Pointe Drive  
Miami Beach, FL 33139

Landscape Architect  
**THRESHOLD**  
LANDSCAPE WORKSHOP  
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Fort Lauderdale, FL 33301  
(954) 361-4721

Structural, Electrical & Plumbing Engineer

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15405 NW 7TH AVE  
MIAMI, FL 33169  
(305) 663-1970

Civil Engineer

SPEATH ENGINEERING  
44 W FLAGLER ST SUITE 1850  
MIAMI, FL 33130  
(305) 834-4213

Land Surveyor

MANUEL VERA AND ASSOCIATES  
13960 SW 47th Street  
MIAMI FL, 33175  
(305) 221-6210

Revisions

Date	Description
09/21/2025	DRB FIRST SUBMITTAL
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12/11/2025	DRB HEARING DATE

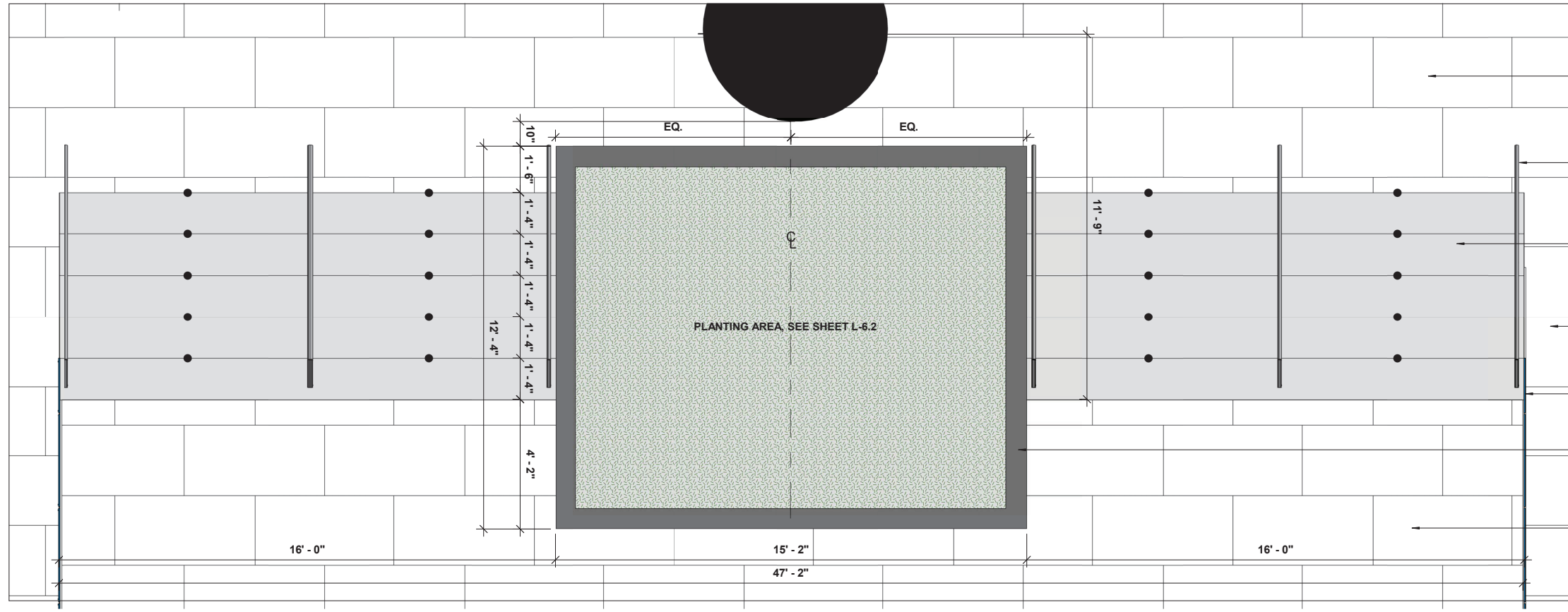
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Date: 2025.10.10 14:57:59 -0400

STEPHEN MICHAEL CALLAHAN  
STATE OF FLORIDA RLA #6667206

DRB PERMIT SET  
Date  
10/12/2025  
Scale  
AS SHOWN  
Project No.  
202209  
Sheet Name  
EXIT DRIVEWAY DETAILS  
Sheet No.

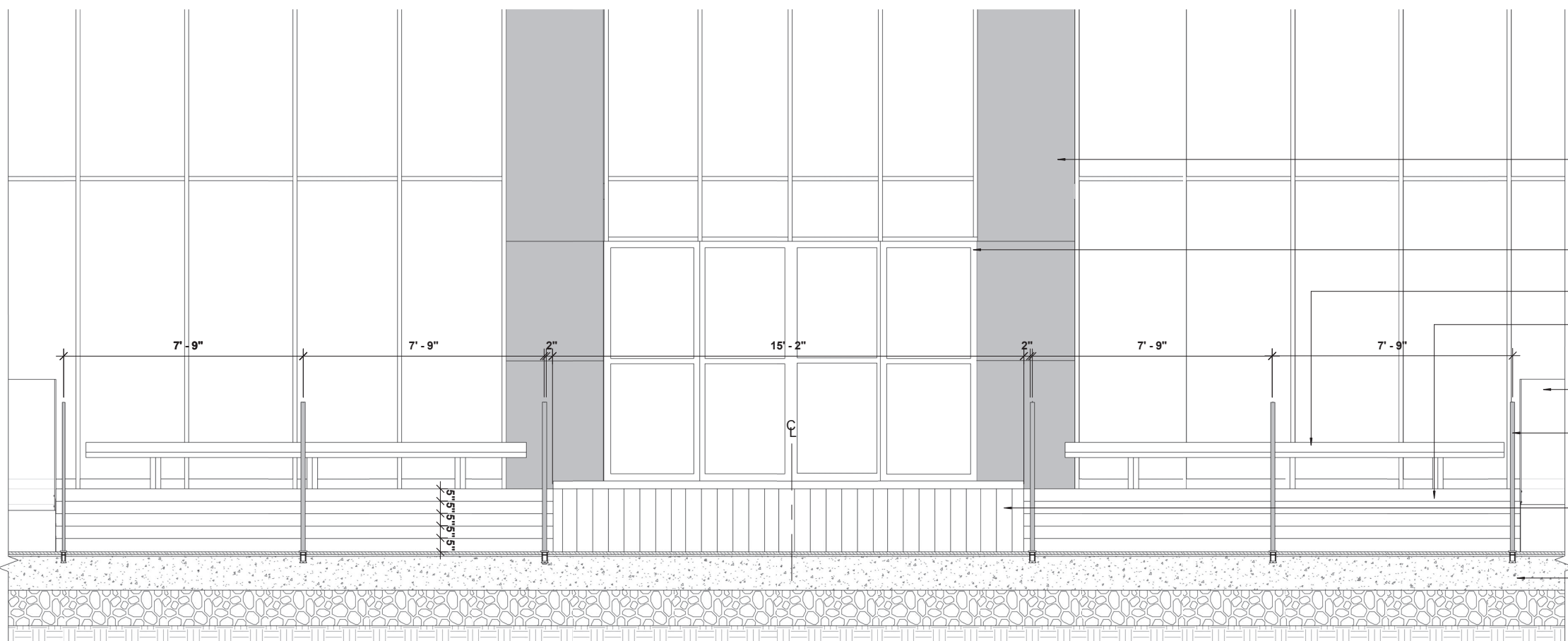
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PERMIT SET - NOT FOR CONSTRUCTION



- EXISTING MARBLE STONE PAVING TO REMAIN, SEE ARCHITECTURE AS-BUILT DRAWINGS
- PROPOSED POWDER COATED STEEL HANDRAIL, FINISH TO MATCH LOBBY INTERIOR TRELLIS, SEE DETAIL 3/L-3.6
- PROPOSED MARBLE STONE STEP TREADS AND RISERS TO MATCH EXISTING ENTRY PAVERS WITH ANTI-SLIP FINISH
- EXISTING MARBLE STONE PAVING TO REMAIN, SEE ARCHITECTURE AS-BUILT DRAWINGS
- PROPOSED GLASS RAILING, SEE DETAIL 6/L-3.6
- ENTRY PLANTER SEE DETAIL 1/L-3.6
- EXISTING MARBLE STONE PAVING TO REMAIN.

**1 ENTRY STAIRS - ENLARGEMENT PLAN**  
1/2" = 1'-0"



**2 ENTRY STAIRS - ELEVATION**  
1/2" = 1'-0"

Project  
**APOGEE**  
EXTERIOR RENOVATION  
800 SOUTH POINTE DRIVE  
MIAMI BEACH, FL 33139

Owner Information  
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**STEPHEN MICHAEL CALLAHAN**  
STATE OF FLORIDA RLA #6667206

**DRB PERMIT SET**

Date  
10/12/2025

Scale  
AS SHOWN

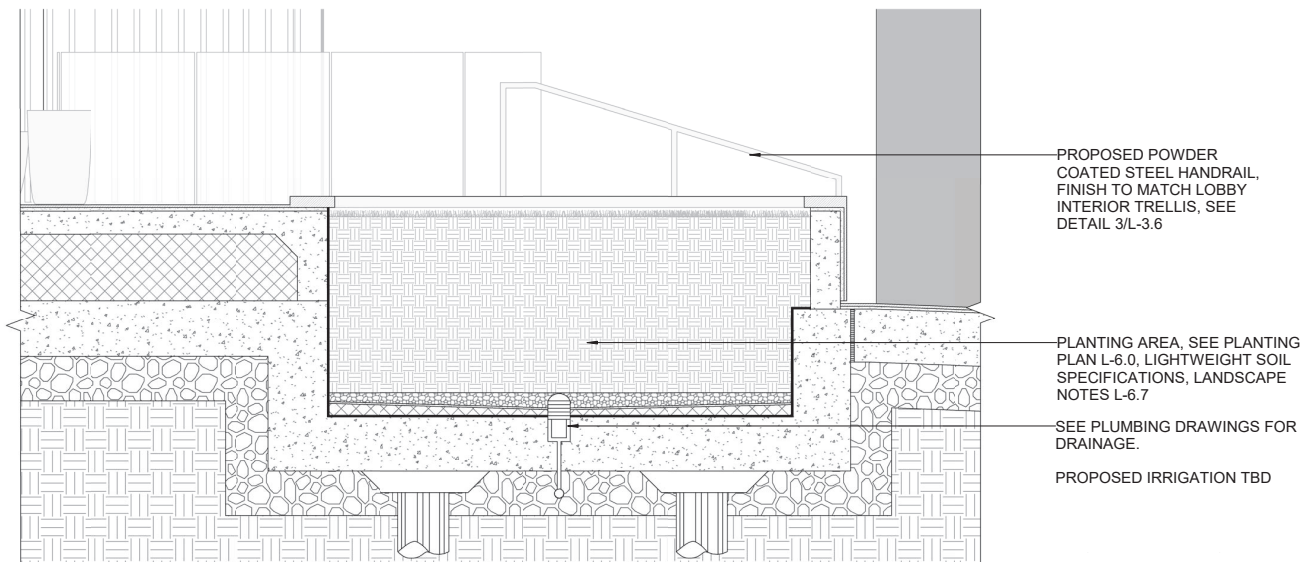
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Sheet Name  
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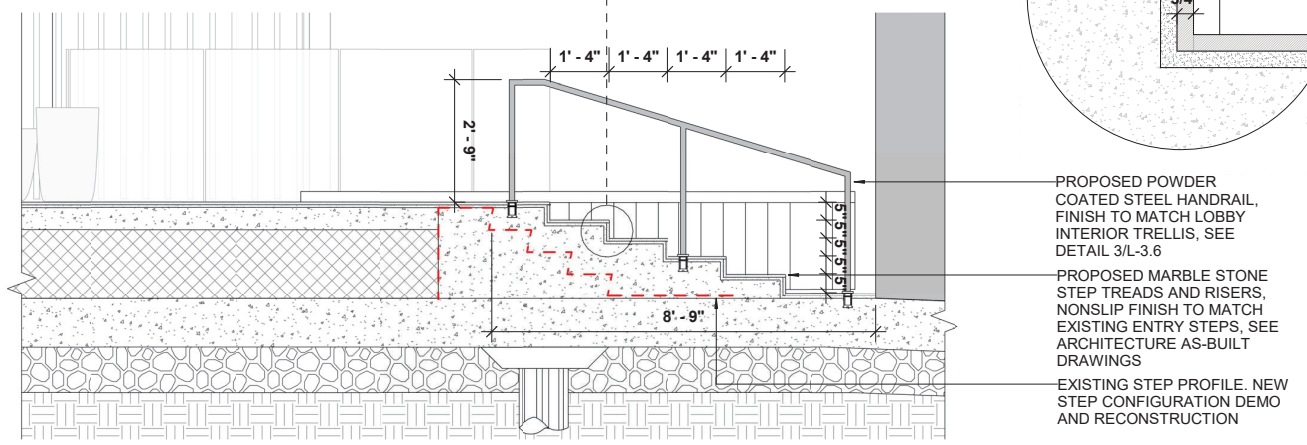
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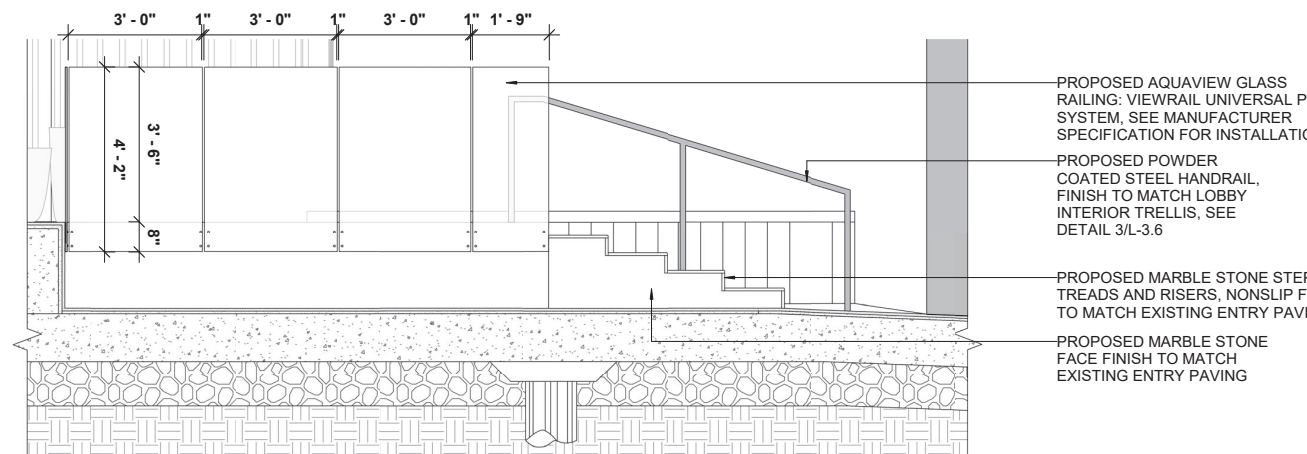
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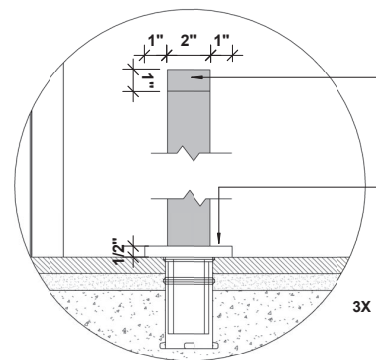
**1 ENTRY STAIRS PLANTER - SECTION**  
1/2" = 1'-0"



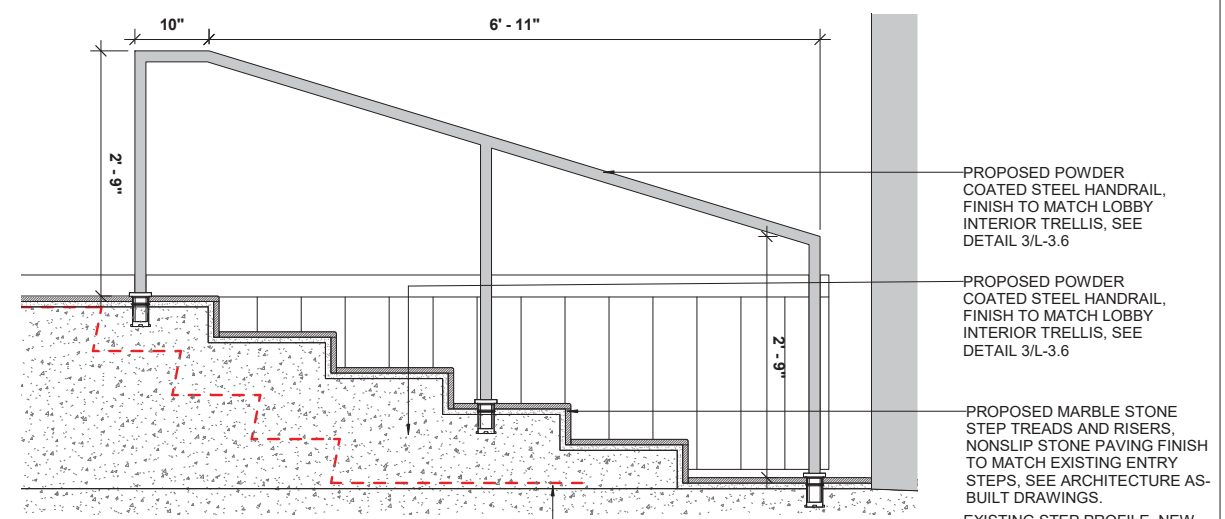
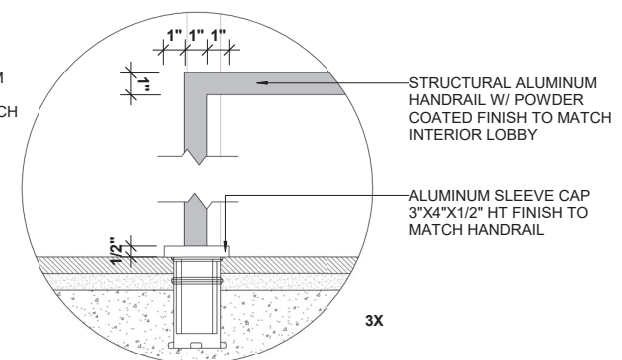
**3 ENTRY STAIRS - SECTION**  
1/2" = 1'-0"



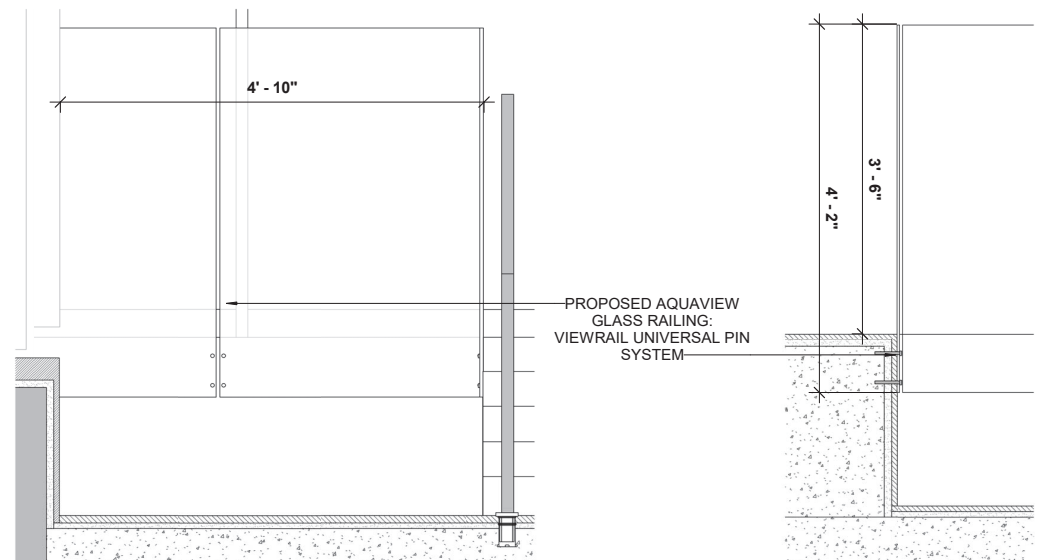
**5 GLASS RAILING - ELEVATION A**  
1/2" = 1'-0"



**2 ENTRY STAIRS HANDRAIL DETAILS**  
3" = 1'-0"



**4 ENTRY STAIRS HANDRAIL SECTION**  
1" = 1'-0"



**6 GLASS RAILING - ELEVATION B**  
1" = 1'-0"

**7 GLASS RAILING - SECTION**  
1" = 1'-0"

Project  
**APOGEE**  
EXTERIOR RENOVATION  
800 SOUTH POINTE DRIVE  
MIAMI BEACH, FL 33139

Owner Information  
APOGEE CONDOMINIUM ASSOCIATION  
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Land Surveyor

**MANUEL VERA AND ASSOCIATES**  
13960 SW 47th Street  
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Revisions

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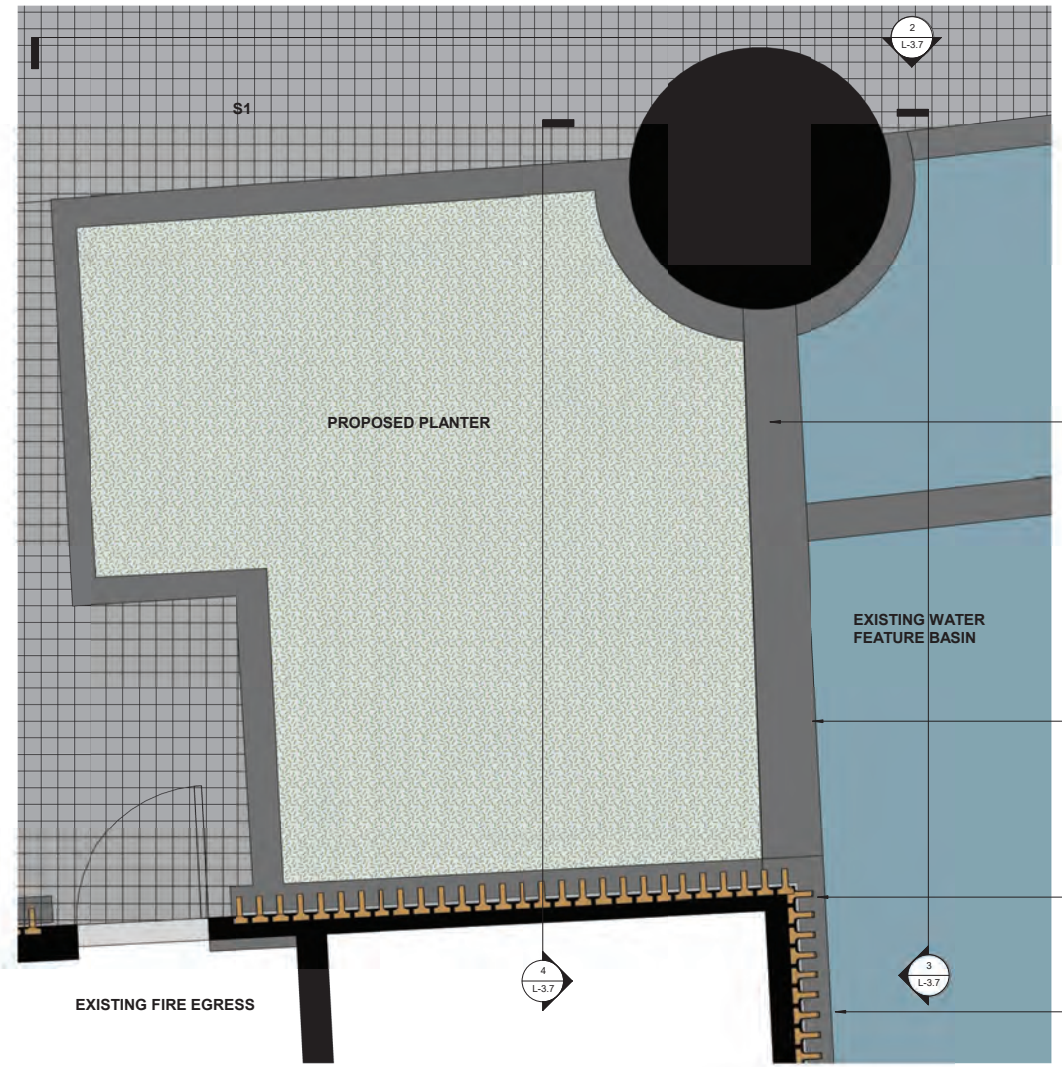
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DN: cn=Stephen Michael Callahan, email=smc@thresholdlandscape.com, c=US  
Date: 2025.10.10 14:58:11 -0400  
**STEPHEN MICHAEL CALLAHAN**  
STATE OF FLORIDA RLA #6667206

**DRB PERMIT SET**  
Date  
10/12/2025  
Scale  
AS SHOWN  
Project No.  
202209  
Sheet Name  
ENTRY STEPS DETAILS

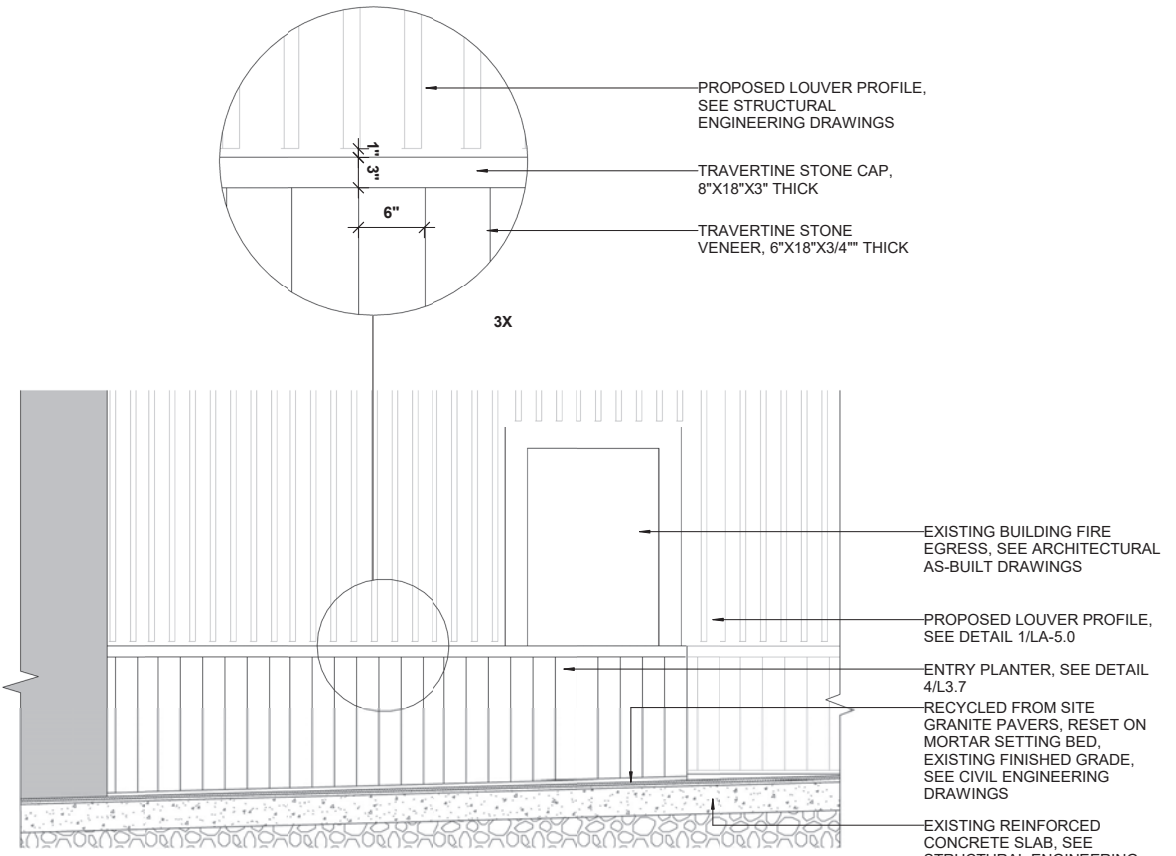
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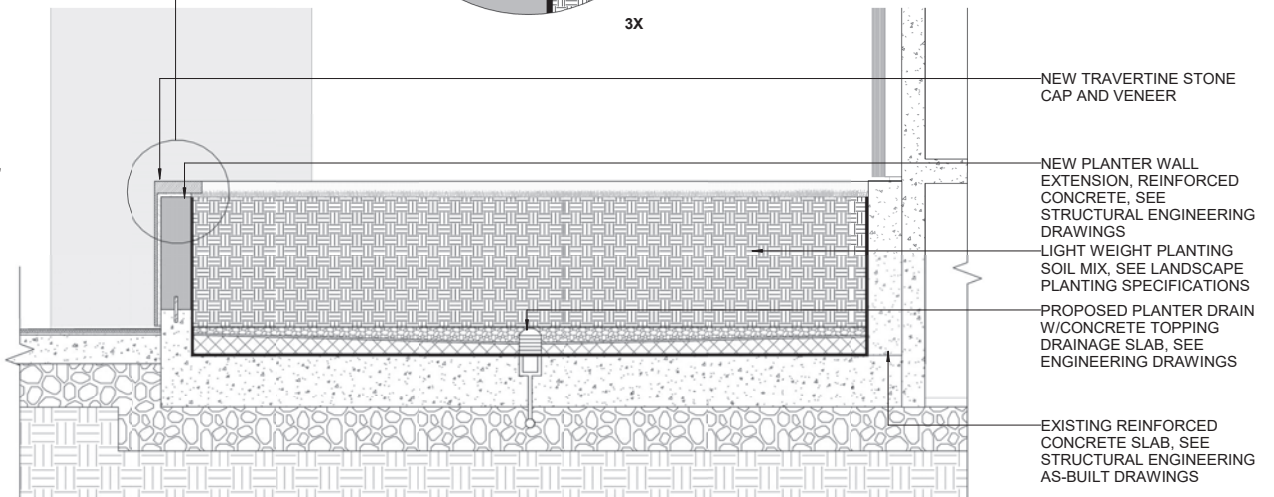
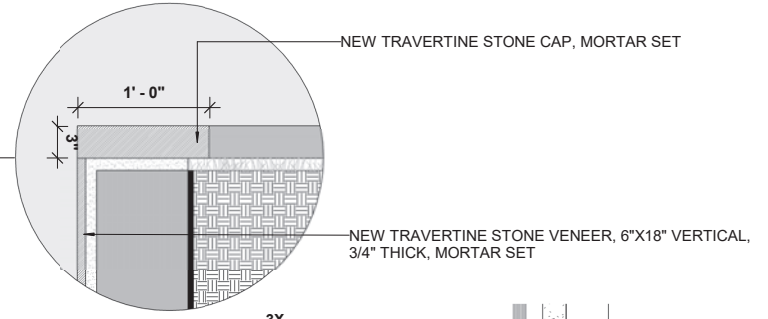
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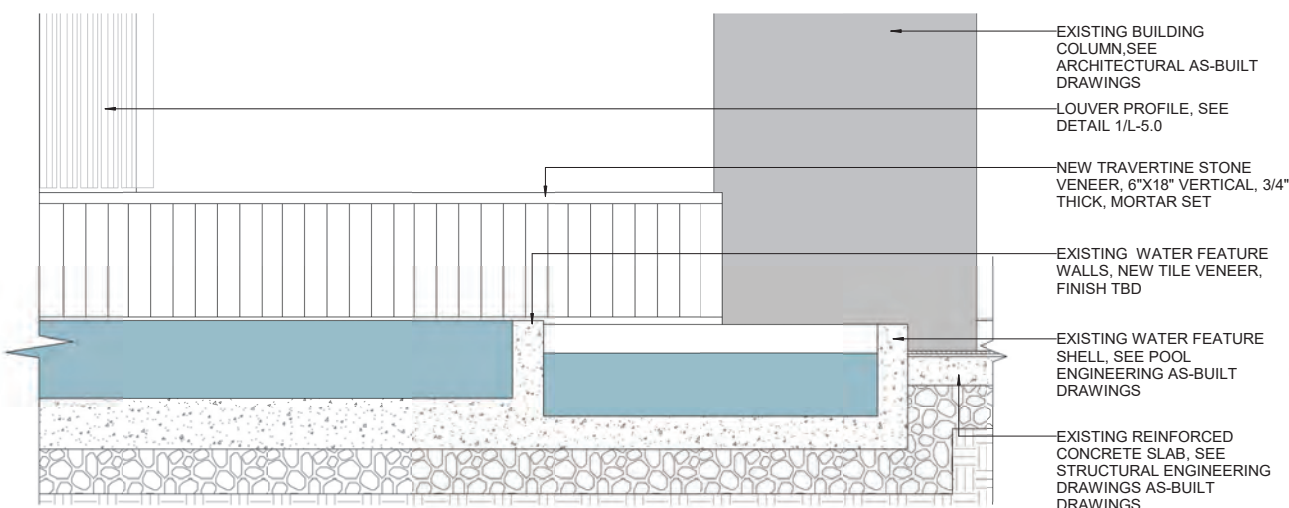
**1 ENTRY PLANTER - ENLARGEMENT PLAN**  
1/2" = 1'-0"



**2 ENTRY PLANTER - ELEVATION**  
1/2" = 1'-0"



**4 ENTRY PLANTER - SECTION A**  
1/2" = 1'-0"



**3 ENTRY PLANTER - SECTION B**  
1/2" = 1'-0"

**Project**  
**APOGEE**  
EXTERIOR RENOVATION  
800 SOUTH POINTE DRIVE  
MIAMI BEACH, FL 33139

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**Revisions**

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**Seal**

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DN: cn=Stephen Michael Callahan, email=stephen@thresholdlandscape.com, ou=THRESHOLD LANDSCAPE WORKSHOP, o=THRESHOLD LANDSCAPE WORKSHOP, c=US  
Date: 2025.10.10 14:58:48 -0400

**STEPHEN MICHAEL CALLAHAN**  
STATE OF FLORIDA RLA #6667206

**DRB PERMIT SET**

Date  
10/12/2025

Scale  
AS SHOWN

Project No.  
202209

Sheet Name  
PLANTER DETAILS

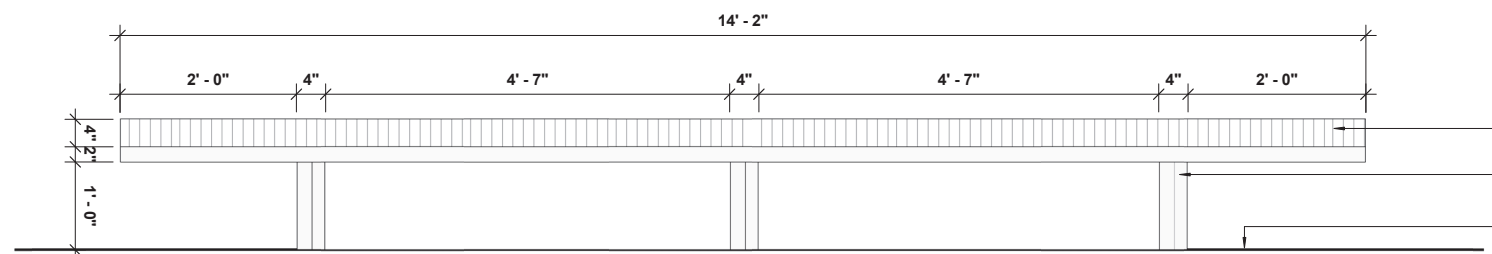
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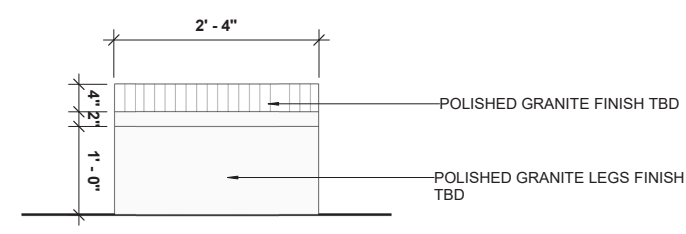


**1 ENTRY BENCH - PLAN**  
1" = 1'-0"



**2 ENTRY BENCH - LONGITUDINAL SECTION**  
1" = 1'-0"

NOTE:  
FABRICATOR TO PROVIDE SHOP  
DRAWINGS. FINISHES TBD BY OWNER



**3 ENTRY BENCH - CROSS SECTION**  
1" = 1'-0"

PERMIT SET - NOT FOR CONSTRUCTION

Project  
**APOGEE**  
EXTERIOR RENOVATION  
800 SOUTH POINTE DRIVE  
MIAMI BEACH, FL 33139

Owner Information  
APOGEE CONDOMINIUM ASSOCIATION  
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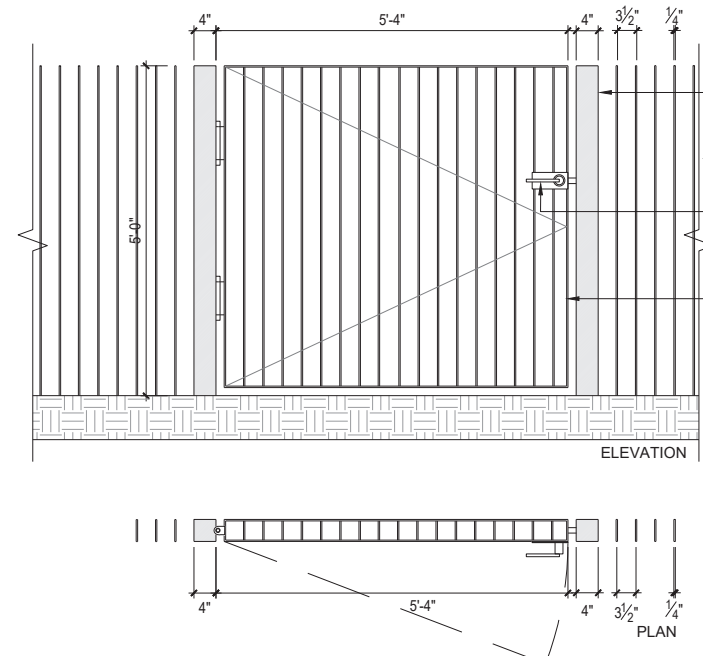
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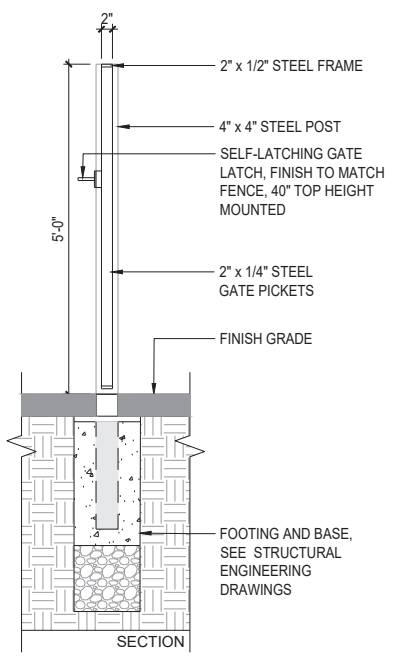
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Date: 2025.10.10 14:59:20-0400

STEPHEN MICHAEL CALLAHAN  
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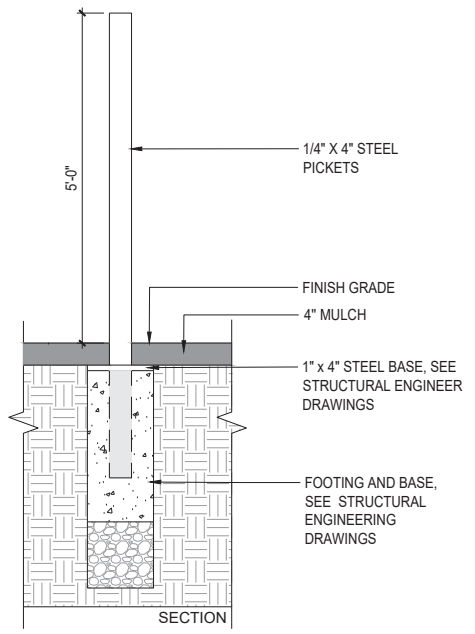
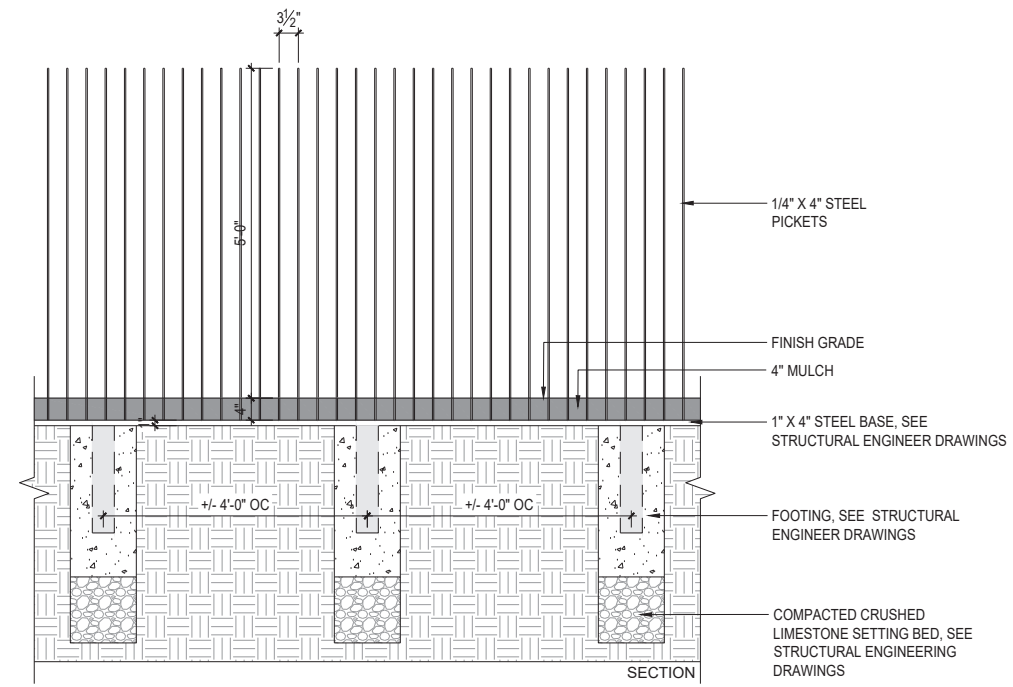
**DRB PERMIT SET**  
Date  
10/12/2025  
Scale  
AS SHOWN  
Project No.  
202209  
Sheet Name  
SITE FURNITURE  
Sheet No.



NOTE: BRONZE FINISH. CONTRACTOR TO PROVIDE FENCE AND GATE SHOP DRAWINGS FOR OWNER AND LANDSCAPE ARCHITECT APPROVAL



1 WEST SIDE YARD - SERVICE GATE  
Scale: 3/4" = 1'-0"



2 WEST SIDE YARD - FENCE  
Scale: 3/4" = 1'-0"

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**STEPHEN MICHAEL CALLAHAN**  
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Date  
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Project No.  
202209  
Sheet Name  
**GATE DETAILS**  
Sheet No.

**L-3.10**

PERMIT DOCUMENTS - NO FOR CONSTRUCTION