



MIAMI BEACH

BUILDING DEPARTMENT

1700 Convention Center Drive, 2nd Floor
Miami Beach, FL 33139
Phone: (305) 673-7610 Fax: (305) 673-7611

B1400014

Owner/ Qualifier Contractor Estimate Construction Cost Affidavit
(To be submitted with the main/master permits or the stand alone permits).

Permit Number: B1400014

Date: 1/6/14

Job Address: 8 Century Lane

Folio No.: 02-3233-002-0080

The construction cost should include the work under the main Permit and all associated permits.

Part 1: FEMA 50% Related Construction Cost

Items to be excluded from Estimate Construction Cost for Part 1 (FEMA 50% Related Construction Cost):

Plan and Specification, Survey Costs, Permit Fees, Swimming Pools, detached structures (garages, storages, cabanas), Landscaping, Fences, Yard light, Not Built-In Appliances and Furniture.

Estimated Construction Cost	General Contractor Cost	Owner Cost
Demolition & Removal	800	
Building & Structural Elements	2800	
Roofing	—	
Doors & Windows	1700	
Railing	—	
Interior Finish, Floor Covering, Painting	1200	
Cabinets and Furniture-Built-Ins	500	
Appliances-Built-Ins	—	
Other Building related Items	800	
Electrical Including Fixtures	1300	
Elevator	—	
Mechanical-HVAC-equipments	—	
Plumbing Including Fixtures	900	
Overhead and Profit	3200	
Sub Total Construction Cost	\$ 13,200	\$
Sub Total Construction Cost Estimate for FEMA 50% Rule Purposes	\$ 13,200	



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Part II: Non Related FEMA 50% Construction Cost		
Estimated Construction Cost	General Contractor Cost	Owner Cost
Swimming Pools		
Fences, Pavers, Sidewalks, Site Improvements	1800	
Yard Light		
Other and detached: garages, storage and cabanas		
Sub Total Cost	\$ 1,800	\$
Sub Total Construction Cost Estimate for non FEMA 50% Rule Purposes	\$ 1,800	

Part III: Total Construction Cost (Note: The construction cost will be validated by Plan Examiners)	
Estimated Construction Cost	
Sub Total Construction Cost Estimate for FEMA 50% Rule Purposes-Part I	\$ 13,200
Sub Total Construction Cost Estimate for Non FEMA 50% Rule Purposes- Part II	\$ 1,800
Total Construction Cost Estimate. (Add Part I and Part II of Construction Cost)	\$ 15,000

Part IV: Signature Required	
If the improvements cost will increase at any point during the proposed construction, it is Owner and the Contractor of Record responsibility to submit the revised Improvements cost to the Building Department for review and approval.	
Signature of Owner	NOTARY PUBLIC-STATE OF FLORIDA John Udbardy Lopez Commission #DD987918 Expires: MAY 03, 2014 BONDED THRU ATLANTIC BONDING CO., INC.
STATE OF FLORIDA COUNTY OF <u>Miami Dade</u>	
Sworn to and Subscribed before me this <u>4</u> day of <u>December</u> 2013, by: <u>Brian Clark</u>	
☒ Personally known [] Produced Identification - Type of Identification _____	
Signature of Notary Public	



MIAMI BEACH

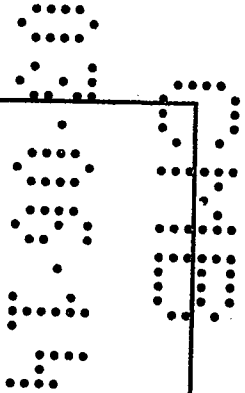
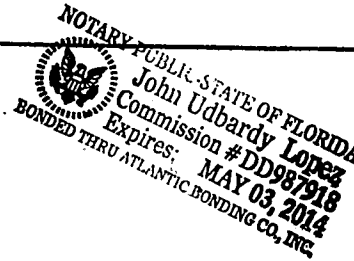
BUILDING DEPARTMENT

1700 Convention Center Drive, 2nd Floor

Miami Beach, FL 33139

Phone: (305) 673-7610 Fax: (305) 673-7857

[Signature]
Signature of Qualifier / Contractor



STATE OF FLORIDA
COUNTY OF _____

Sworn to and Subscribed before me this 1 day of March 20 14, by:

[Signature] Bernard Amengual

☐ Personally known ☐ Produced Identification - Type of Identification _____

[Signature]
Signature of Notary Public

Part V: Building Department Use Only

A	Sub Total Construction Cost Estimate for FEMA 50% Rule Purposes.	\$	15,000
B	Over Five Year Improvements	\$	0.000
C	Total Improvements	\$	15,000
D	Building Tax Assessed Value	\$	112,143
E	Building Appraised Market Value	\$	
F	Improvements Cost Ratio (C/E or C/D)	%	13.37%

If Improvements cost exceed 40% of the Building Tax Value, a building appraised market Value is required for evaluation of Improvement Cost Ratio.

Check one box:

☐ New Construction and Substantial Improvement ☐ Existing Building and Non Substantial Improvement

[Signature]
Engineering Inspector Name

[Signature] 3-06-14
Engineering Inspector Signature and Date

Note: Over \$1,000,000.00 Improvements Cost requires Chief Governmental Compliance Division Approval, over \$50,000,000.00 Improvements Cost requires Building Director Approval.

Name

Signature and Date

Master Security Doors Inc.,
2179 N. Powerline Road, Suite #2
Pompano Beach, FL 33069

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County PERA Product Control Section to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami Dade County) and/or the AHJ in other areas other than Miami Dade County reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. PERA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: Series "EX3" Single Outswing Steel Door -L.M.I.

APPROVAL DOCUMENT: Drawing No. 12-060 (old # 11-037), titled "EX3 USA Outswing Door Large Missile Impact Resistant", sheets 1 through 11 of 11, dated 03/12/12, prepared by Tilteco Inc., signed and sealed by Walter A. Tillit Jr., P.E., bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Section.

MISSILE IMPACT RATING: Large and Small Missile Impact Resistant

Limitations:

1. Refer to sheet 3 of the Dwgs for Design Pressure Vs anchor type and anchor spacing "S"
2. Min (5) retention clip per side jamb required (Max 28.74" OC), See detail X/11 in sheets 3 and 11.

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and series and following statement: "Miami-Dade County Product Control Approved", noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 11-0420.01 and consists of this page 1 and evidence pages E-1, as well as approval document mentioned above.

The submitted documentation was reviewed by Ishaq I. Chanda, P.E.

MIAMI-DADE COUNTY
APPROVED

4/5/12

Approved
as submitted
11/2/12

NOA No 12-0320.21
Expiration Date: April 20, 2016
Approval Date: June 14, 2012
Page 1

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

A. DRAWINGS

1. Manufacturer's die drawings and sections (transferred from file # 11-0420.01)
2. Drawing No. 12-060 (old # 11-037), titled "EX3 USA Outswing Door Large Missile Impact Resistant", sheets 1 through 11 of 11, dated 03/12/12, prepared by Tilteco Inc., signed and sealed by Walter A. Tillit Jr., P.E.

Note: This revision consists of FBC 2010 notes only.

B. TESTS (Submitted under file # 11-0420.01/ 05-1121.03)

1. Test reports on:
 - 1) Air Infiltration Test, per FBC, TAS 202-94
 - 2) Uniform Static Air Pressure Test, Loading per FBC TAS 202-94
 - 3) Water Resistance Test, per FBC, TAS 202-94
 - 4) Large Missile Impact Test per FBC, TAS 201-94
 - 5) Cyclic Wind Pressure Loading per FBC, TAS 203-94
 - 6) Forced Entry Test, per FBC 2411 3.2.1, TAS 202-94

Along with marked-up drawings and installation diagram of outswing steel door, prepared by American Test Lab of South Florida, Test Report No. ATL# 0531.01-05, dated 11/09/05, signed and sealed by William R. Mehner, P.E. and Henry Hattem, P. E.

C. CALCULATIONS

1. Anchor Calculation and Structural analysis complying w/ FBC 2004, prepared by Tilteco, Inc., dated 09/09/05, signed and sealed by Walter A. Tillit Jr., P.E. (submitted under # 05-1121.03)

D. QUALITY ASSURANCE

1. Miami Dade Department of Permitting, Environment, and Regulatory Affairs (PERA).

E. MATERIAL CERTIFICATIONS

1. Tensile test report # 5GM-704 dated July 28, 2005 per ASTM E-8, issued by Metallurgical Inc, signed by Frank Grate(submitted under # 05-1121.03)

F. STATEMENTS

1. Statement letter of compliance to FBC 2010, dated 03/12/12 issued by Tilteco Inc., signed and sealed by Walter A. Tillit Jr., P.E.
2. Statement letter of compliance to FBC 2007, dated 04/14/11 issued by Tilteco Inc., signed and sealed by Walter A. Tillit Jr., P.E. (submitted under # 11-0420.01)
3. Statement letter of compliance to FBC 2004 & "No financial interest", dated 04/14/11 issued by Tilteco Inc., both signed and sealed by Walter A. Tillit Jr., P.E. (submitted under # 05-1121.03).
4. Lab compliance as part of the above referenced test report.

G. OTHER

1. This NOA revises NOA # 11-0420.01, expiring on 04/20/16.

Ishaq I. Chanda
Ishaq I. Chanda, P.E.
Product Control Examiner
NOA No 12-0320.21
Expiration Date: April 20, 2016
Approval Date: June 14, 2012

GENERAL NOTES

1. EX-3 USA, Outswing single door, large missile impact resistant shown on this Product Approval Document (P.A.D.) has been verified for compliance in accordance with the 2007 & 2010 editions of the Florida Building Code. Door may be installed at High Velocity Hurricane Zones (H.V.H.Z.). Design wind loads shall be determined as per section 1620 of the above mentioned codes, using ASCE 7-05 standard for installations under 2007 FBC & ASCE 7-10 standard for installations under 2010 FBC and shall not exceed the maximum (A.S.D.) design pressure rating indicated on note 2 on this sheet & sheet 3. In order to verify the above condition, ultimate design wind loads determined per ASCE 7-10 shall be first reduced to A.S.D design wind loads by multiplying them by 0.6 in order to compare these w/ max. (A.S.D) design pressure rating indicated on note 2 on this sheet & sheet 3.

In order to verify that anchors on this P.A.D., as tested, were not overstressed, a 33% increase in allowable stresses for wind loads was not used in their analysis. A duration factor C_p = 1.60 was used to verify fasteners in wood. This door's adequacy for impact and cyclone resistance has been verified in accordance with section 1626 of the above mentioned code, as per TAS 201, 202 and 203 protocols, per ATL Report #0531.01-05, and as per submitted calculations performed as per section 1612 of the Florida Building Code.

2. Max A.S.D. Design Pressure Rating: + 150, -200 psf
This A.S.D. design pressure rating is only valid if door is assembled with required hardware indicated on sheet 2 of this drawing.

3. This Door is approved for Air and Water Infiltration.
This approval is only valid if door is sealed with required gasketing and weather stripping as indicated on Bill of Materials on sheet 3, and sealant specified on General Note 10 below.

4. This Door will not require a Hurricane Protective Device.

5. Wood bucks by others, and must be properly anchored to transfer loads to the existing structure.
Wood bucks must be Southern Pine #2, with specific Gravity G equal or greater than 0.55, and shall comply w/ sections 2411.3.3.3. & 2326 of the 2007 & 2010 editions of the Florida Building Code & must sustain loads imposed by door and transfer them to the Building Structure.

6. Anchors for fastening door subframe to existing structure must be as indicated on sheet 3.

7. All welding to conform to the American Welding Society AWS D1.3 and AWS D9.1. Regulations per Florida Building Code section 2214.3. Use certified welders.

8. All screws used for assembly connections (metal to metal) to be stainless steel 304 or 316 series or corrosion resistant coated carbon steel as per DIN 50018 with 50 ksi minimum yield strength and 90 ksi tensile strength and shall comply with Florida Building Code section 2411.3.3.4

9. Remaining components for this door system shall be as indicated on Bill of Materials on sheet 2 of this drawing.

10. Sealing of door components shall be as follows:

Sealant:

Frame: The interior and exterior perimeter joints and all frame connections shall be sealed with silicone sealant. The two sheet metal 45° angle shaped sections at the corner key shall be sealed to each other and to the sheet metal fabricated corner section with silicone sealant. The two steel sections at the sill shall be sealed with silicone sealant. Hinges shall be also sealed to hinge jamb with silicone sealant.

Sub-frame: The interior and exterior perimeter joints and all sub-frame connections shall be sealed with silicone sealant. Sub-frame shall be also sealed to the frame with silicone sealant around the exterior perimeter. Sub-frame shall be sealed to the wood buck using silicone sealant.

Door: The interior and exterior perimeter joints and all door connections to the main casing at the top rail, bottom rail and stiles shall be sealed with silicone sealant. Hinges shall also be sealed to hinge stile with silicone sealant. The plywood panel on exterior side of door shall be sealed around perimeter of the top rail, bottom rail and stiles with silicone sealant.

11. Frame and Sub-frame Material: Hot rolled steel DD12 Reference EN 10111 with Tensile Strength = 59,100 psi; Yield Strength at 0.2% = 52,300 psi; Ultimate Elongation 33%.

12. Door Material: Hot rolled zinc plated DX51 + Z100 (275 G/M ± 0.6 Oz/Ft²) Reference EN 10142 + A1-97 with Tensile Strength = 54300 psi, Yield Strength at 49,600 psi; Ultimate Elongation = 23%.

13. ASTM Designation for Steel: Equivalent to ASTM A 653 CQ Grade 50 at frame and ASTM A 653 CQ Grade 50 at door.

14. Galvanizing type: G60 (initial shop coated), followed by a second coat of asphalt paint in accordance w/ 2007 & 2010 Florida Building Code, section 2220.2

15. Decorative Wood Clad Panels: 0.250 (1/4") thick plywood (min. E=1300 ksi.), oak (min. E=1573 ksi.), pine (min. E=1417 ksi.), mahogany (min. E=1204 ksi.), Douglas fir (min. E=1390 ksi.) with 10-12% maximum moisture content, painted with minimum of two (2) coats of water based varnishes, protective impregnators and coatings for outdoor installations.

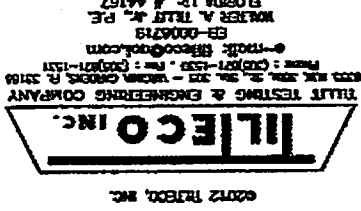
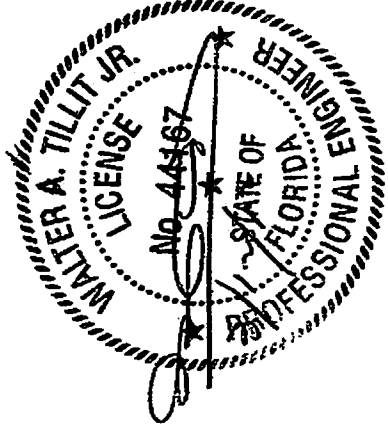
16. Door's manufacturer label shall be placed on the exposed surface of door's frame or sub-frame. One Label shall be placed for every door. Label shall read as follows:

Master Security Doors, Inc.
Deerfield Beach, FL
Miami Dade County Product Control Approved.

17. a. This P.A.D. prepared by this engineer is generic and does not provide information for a specific project; i.e., where the site conditions deviate from the P.A.D.
b. Contractor to be responsible for the selection, purchase and installation, including life safety of this product, based on this P.A.D., provide he/she does not deviate from the conditions detailed on this document. Construction safety at site is the contractor's responsibility.
c. This P.A.D. will be considered invalid if altered by any means.
d. Original P.A.D. shall bear the date and original seal and signature of the professional engineer of record that prepared it.

18. Materials, included but not limited to steel / metal screws, that come in contact with other dissimilar materials shall meet the requirements of 2007 & 2010 Florida Building Code section 2003.8.4.

19. Provide 1/4" max. bearing shim space.



MASTER SECURITY DOORS, INC

2179 N POWER LINE ROAD

SUITE 2

POMERANO BEACH, FL 33069

TELEPHONE: 954-971-4747

FAX: 954-971-4525

MODEL: EX3 USA
OUTSWING DOOR
LARGE MISSILE
IMPACT RESISTANT

DRAWING: ELEVATION

SCALE: NONE

DRAWN BY: KP, REAG

DATE DWN: OLD 11-037 02/29/12

PRODUCT REVISED
in compliance with the Florida
Building Code

Approval No. 12-0320-01

Expiration Date: April 30, 2016

15449 J. L. Chaguis

Professional Engineer

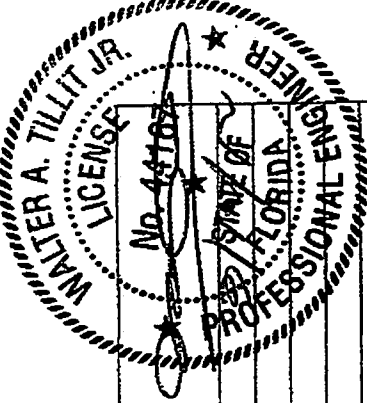
12-060

DRAWING N°

SHEET 1 OF 11

BILL OF MATERIALS

ITEM #	DESCRIPTION	MATERIAL	QTY	COMMENTS
1	HANDLE SET W/ DEAD BOLT	MISC.	1	NOT APPLICABLE
2	EXTERIOR PANEL (SEE NOTE 15)	0.250 THK. WOOD G > = 0.55	1	ATTACHED TO ITEM 11 WITH LIQUID NAIL GLUE
3	INTERIOR PANEL (SEE NOTE 15)	0.250 THK. WOOD G > = 0.55	1	ATTACHED TO ITEM 11 WITH LIQUID NAIL GLUE
4	FRAME JAMBS, HEAD	HR STL W/ A52 PVC FILM	3	NOT APPLICABLE
5	FRAME CORNER KEY	CALV. STEEL	2	REFER TO SHEET 8
6	HINGE ASSEMBLY	STEEL	3	REFER TO SHEET 10
7	ROCKWOOL INSULATION	FIBERGLASS	A/R	PANEL CAVITY
8	REINF (MULTI-POINT LOCK HOUSING)	STEEL	1	AT LOCK STILE
9	9/16" X 1/8" THK OPEN CELL FOAM	EPS	A/R	W/ADHESIVE BACKING AND GLUED TO COMPRESSION GASKET
10	PANEL REINF (HINGE STILE)	STEEL	1	AT HINGE STILE
11	PANEL TOP, BOTTOM & STILE RAILS	HR STL W/ A52 PVC FILM	4	NOT APPLICABLE
12	#5 X 1/2" PPHEMS	STEEL	19	PANEL ASS'Y SCREW
13	CISA CYLINDER ASSEMBLY LOCK	STEEL	1	REFER TO SHEET 2
14	BACKING TOBAR	CALV. STEEL	2	NOT APPLICABLE
15	ELEVATED FRAME SILL	HR STL W/ A52 PVC FILM	1	REFER TO SHEET 6
16	FRONT PANEL PLATE	HOT ROLLED STEEL	1	0.059" THK, WELDED TO THE STEEL FORMED SECTION AROUND THE ENTIRE PERIMETER ON INTERIOR AND EXTERIOR SIDE, (20) WELDS AT EACH STILE, LOCATED AT (4) AT 1/18" FROM TOP RAIL, THEN (19) WELDS AT 3/4" O-C, (8) WELDS AT TOP AND BOTTOM RAIL, EACH LOCATED (1) AT 1" FROM LOCK STILE, THEN (7) AT 5" O-C.
17	REAR PANEL FORMED PLATE	HOT ROLLED STEEL	1	0.059" THK, SPOT WELDED TO ITEM 8 IN THE LOCK STILE WITH TWO ROWS OF SPOT WELDS, 4" APART, FIRST ROW AT 5/8" FROM LOCK STILE. EACH ROW WITH (8) WELDS, LOCATED (1) AT 1 1/2" FROM TOP RAIL, BALANCE AT 13 1/8", 17 1/4", 18", 3 3/4", 11", 10 3/4", 16" AND ALSO SPOT WELDED TO ITEM 10 IN THE HINGE STILE WITH ONE ROW OF (6) SPOT WELDS AT 2 1/2" FROM HINGE STILE, AND AT 2 1/2" FROM TOP RAIL, WITH BALANCE AT 14 1/2", 17", 17 3/8", 18" AND 19 1/2".
18	SUBFRAME HEAD	HOT ROLLED STEEL	1	REFER TO DETAIL 18, SHEET 7
19	SUBFRAME JAMBS	HOT ROLLED STEEL	2	REFER TO DETAIL 19, SHEET 7
20	LOWER FRAME SILL	HR STL W/ A52 PVC FILM	1	REFER TO DETAIL 20, SHEET 7
21	SUBFRAME CORNER KEY	CALV. STEEL	2	REFER TO DETAIL 21, SHEET 7 AND DETAIL 5, SHEET 8
22	FRAME GASKET	VINYL	A/R	REFER TO DETAIL 22, SHEET 11
23	COMPRESSION GASKET	VINYL	A/R	REFER TO DETAIL 23, SHEET 11
24	BLOT W/THREADED SLEEVE	STEEL	5	REF DET 24, SHEET 6 AND REF DET 28, SHEET 7. LOCATED AT 1 3/8" WIDE X 1 1/8" HIGH CUT OUTS COVERED WITH VINYL COVER (5) AT HINGE JAMB
25	RETENTION CLIP HOUSING	CALV STEEL	10	5 PER JAMB, SEE LOCATIONS ON SHEET 3. REF. DET 25, SHEET 11
26	RETENTION CLIP	CALV. STEEL	10	5 PER JAMB, SEE LOCATIONS ON SHEET 3. REF. DET 26, SHEET 11
27	M8 X 30MM ALLEN HEAD BOLT	STEEL	5	SEE SHEET 3 FOR LOCATIONS
28	BLOT KEEPER	PLASTIC	5	REF DET 28, SHEET 7. USE 5 AT HINGE JAMB AT ITEM 24.



MASTER SECURITY DOORS, INC
2179 N POWER LINE ROAD
SUITE 2
HOMER BEACH, FL 33069
TELEPHONE: 954-971-4747
FAX: 954-971-4925

TILTECO INC.
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TILTECO TESTING & ENGINEERING COMPANY
655 NE 30th St, Suite 205 - Western Gardens, Ft. Lauderdale, FL 33309
Tel: (954) 771-1300 - Fax: (954) 771-1331
E-Mail: info@tilteco.com
Web: tilteco.com
TILTECO, INC. is an Equal Opportunity Employer
FLORIDA Lic. # 44168

MODEL: EX3 USA
OUTSWING DOOR
LARGE MISSILE
IMPACT RESISTANT
DRAWING: ELEVATION
SCALE: NONE
DRAWN BY: KP, RE, AG
DATE DWN: OLD 11-037 02/29/12

PRODUCT REVISED
in compliance with the Florida
Building Code
As of 12-03-2011
Expiration Date 12/30/16
1/2/2011
1/2/2011

12-060
DRAWING N°
SHEET 2 OF 11

DATE DWN: OLD 11-037 02/29/12

DRAWN BY: KP, REAG.

SCALE: NONE

DRAWING: ELEVATION

MODEL: EX3 USA
OUTSWING DOOR
IMPACT RESISTANT

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MASTER SECURITY DOORS, INC.

2179 N POWER LINE ROAD
ROCKLAND BEACH, FL 33069
TELEPHONE: 954-971-4747
FAX: 954-971-4925

PRODUCT ADVISED
as complying with the Florida
Building Code
Approval No. 12-0320-21
Expiration Date 12/24/16

WALTER A. TILLIT JR.
Professional Engineer
No. 12444
State of Florida

DRAWING N°
12-060

SHEET 3 OF 11

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TILTECO INC.

TILTECO TESTING & ENGINEERING COMPANY
1000 NW 36th St., Suite 305 - Fort Lauderdale, FL 33309
Phone: (954) 366-1100 - Fax: (954) 366-1101
E-mail: info@tilteco.com
WALTER A. TILLIT JR., P.E.
Florida Lic. # 12444

MAXIMUM ANCHOR
SPACING 'S' SCHEDULE
FOR SUBFRAME ANCHORAGE
TO EXISTING STRUCTURE

DOOR FRAME TYPE	MAX. A.S.D. DESIGN PRESSURE RATING	ANCHOR TYPE	
		1	2
JAMBS	UP TO 100 PSF	10" O.C.	17 3/4" O.C.
	100 TO 200 PSF	5" O.C.	9" O.C.
	200 TO 250 PSF	12 3/4" O.C.	25" O.C.
HEAD	UP TO 100 PSF	12 3/4" O.C.	25" O.C.
S SILL	200 PSF	6 3/8" O.C.	8 3/8" O.C.

* VALID FOR EITHER POURED CONCRETE,
CONCRETE BLOCK, OR WOOD SUBSTRATES
(REFER TO ANCHOR LEGEND)

ANCHOR LEGEND:
1. 1/4" TAPCON ANCHORS, BY ELOO
TEXTRON W/ 1 1/4" MIN. EMBEDMENT
TO F₀ = 3.32 KSI CONCRETE, OR ASTM
C-90 CONCRETE BLOCK AND WITH 3" MIN.
EMBEDMENT TO WOOD SUBSTRATE
W/ C >= 0.55 MIN EDGE DISTANCE =
2 1/2" (MASONRY) AND MIN. EDGE
DISTANCE 1" (WOOD).
2. 3/8" TAPPERS BY POWER FASTENERS, INC;
W/ 1 1/4" MIN. EMBEDMENT TO F₀ = 3.0 KSI
CONCRETE OR ASTM C-90 CONCRETE
BLOCK WALL AND WITH 3" MIN. EMBED.
TO WOOD SUBSTRATE W/ C >= 0.55 MIN
EDGE DISTANCE = 4 1/2" (MASONRY),
MIN. EDGE DISTANCE = 1 1/2" (WOOD).

MAX. OVERALL FRAME WIDTH
40 5/16"

MAX. OVERALL FRAME HEIGHT
96 3/4"

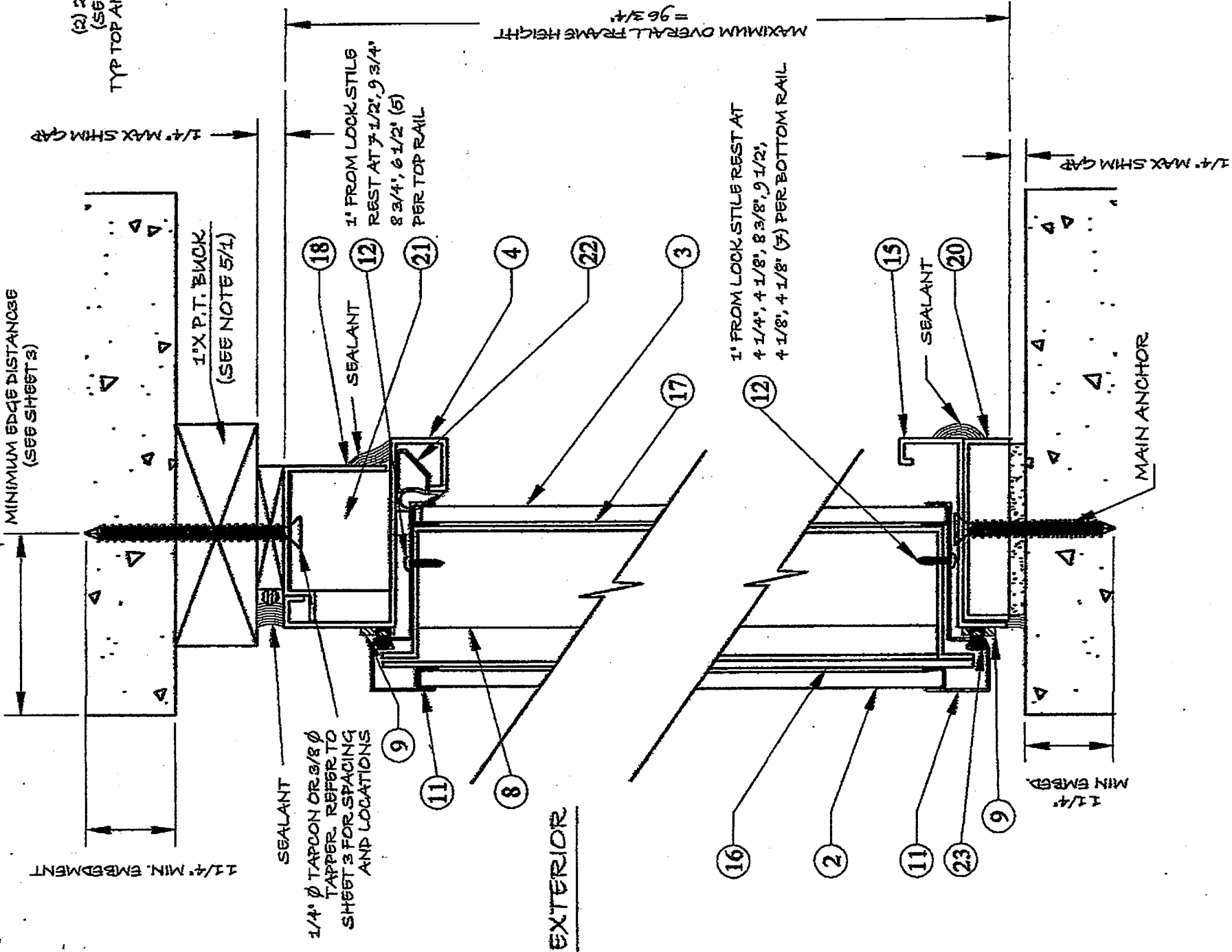
MAXIMUM PANEL
WIDTH 37 1/2"

MAXIMUM PANEL
HEIGHT 95 1/4"

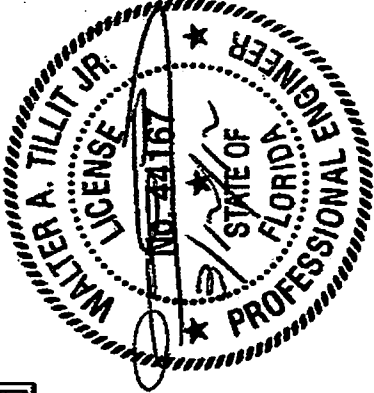
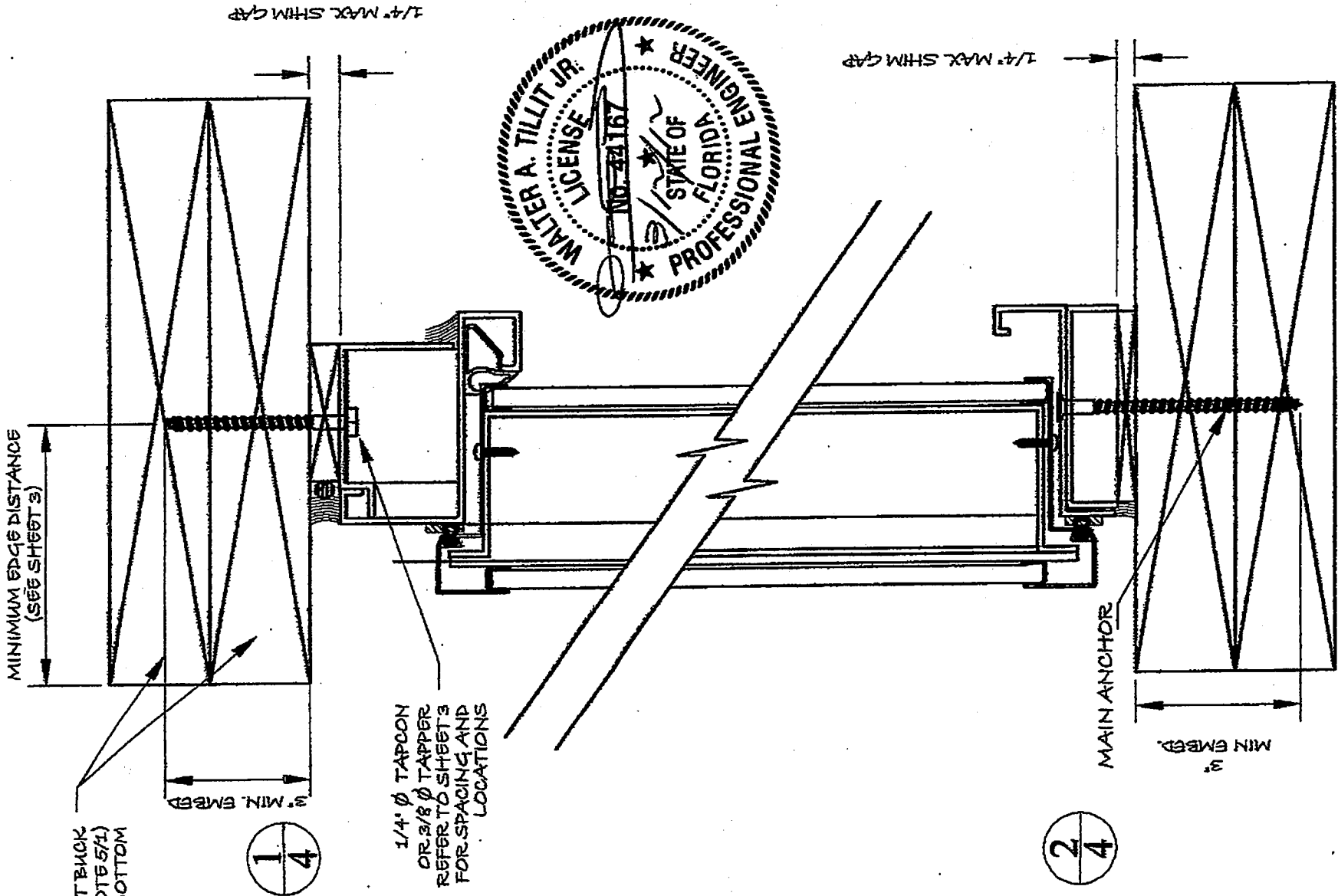
DOOR SUBFRAME CONNECTION
TO DOOR FRAME & DOOR
SUBFRAME CONNECTION TO EXISTING
STRUCTURE (EXTERIOR ELEVATION)

= PERIMETER FASTENER LOCATIONS
(SEE ANCHOR LEGEND, THIS SHEET)

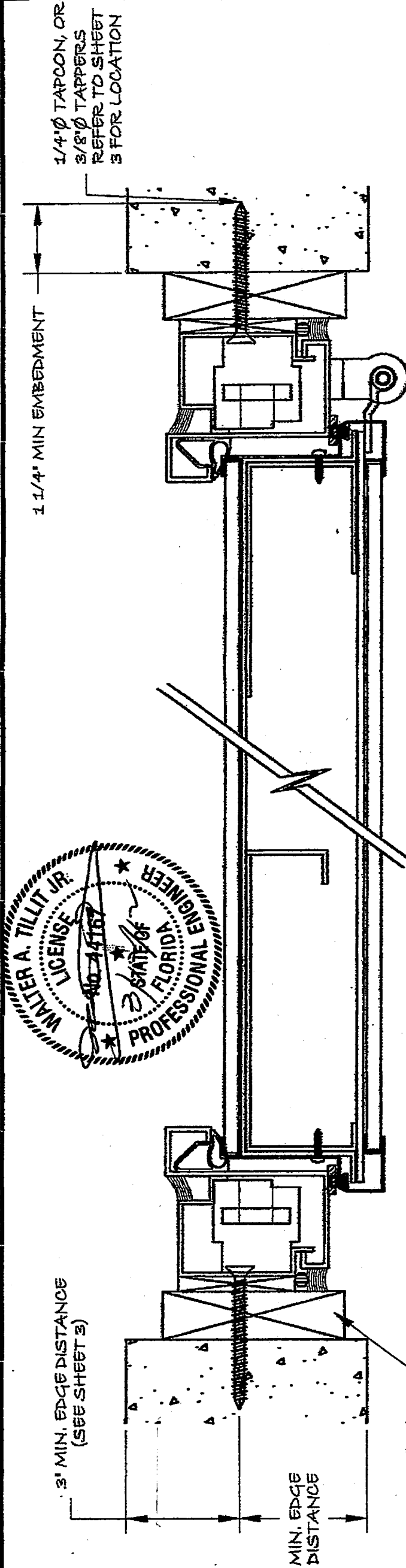
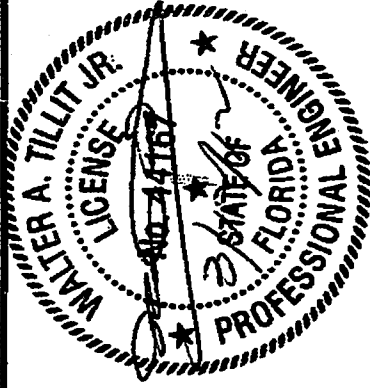
MASONRY INSTALLATION



WOOD INSTALLATION



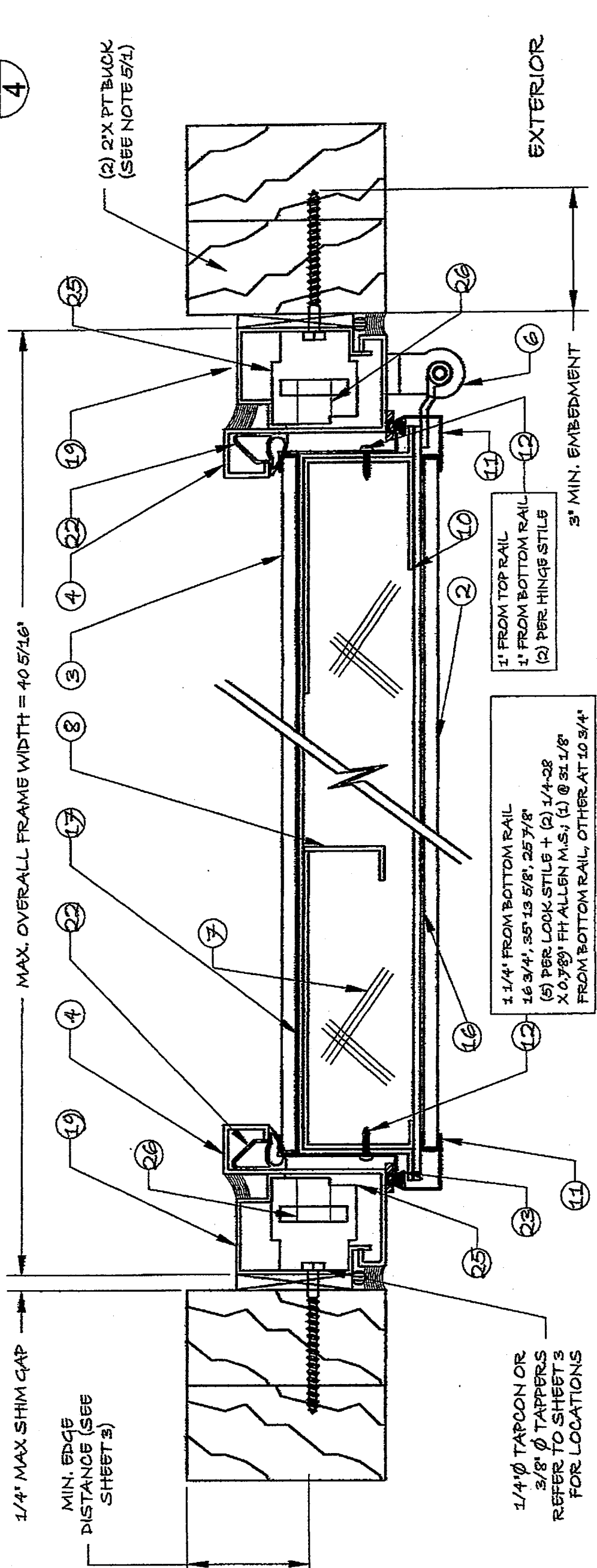
62012 TILTECO, INC. TILTECO INC. TILIT TESTING & ENGINEERING COMPANY 1000 W. 30th St., Suite 100 - Fort Lauderdale, FL 33309 Phone: (954) 350-1500 Fax: (954) 350-1501 E-mail: info@tilteco.com Walter A. Tillit Jr., P.E. Florida Lic. # 44167	MASTER SECURITY DOORS, INC 2179 N POWERLINE ROAD SCOTTSDALE, AZ 85269 TELEPHONE: 954-971-4747 FAX: 954-971-4925	DATE DWN: OLD 11-037 02/29/12	DRAWN BY: KP, REAG	PRODUCT REVISED in compliance with the Florida Building Code Acceptance No. 12-0320-2 Expiration Date 4/20/11 Walter A. Tillit Jr. Professional Engineer	
		MODEL: EX3 USA	DRAWING: VERT. CROSS SECT		SCALE: NONE
		OUTSWING DOOR			
		LARGE MISSILE			
IMPACT RESISTANT					
12-060 DRAWING N° SHEET 4 OF 11					



4
4

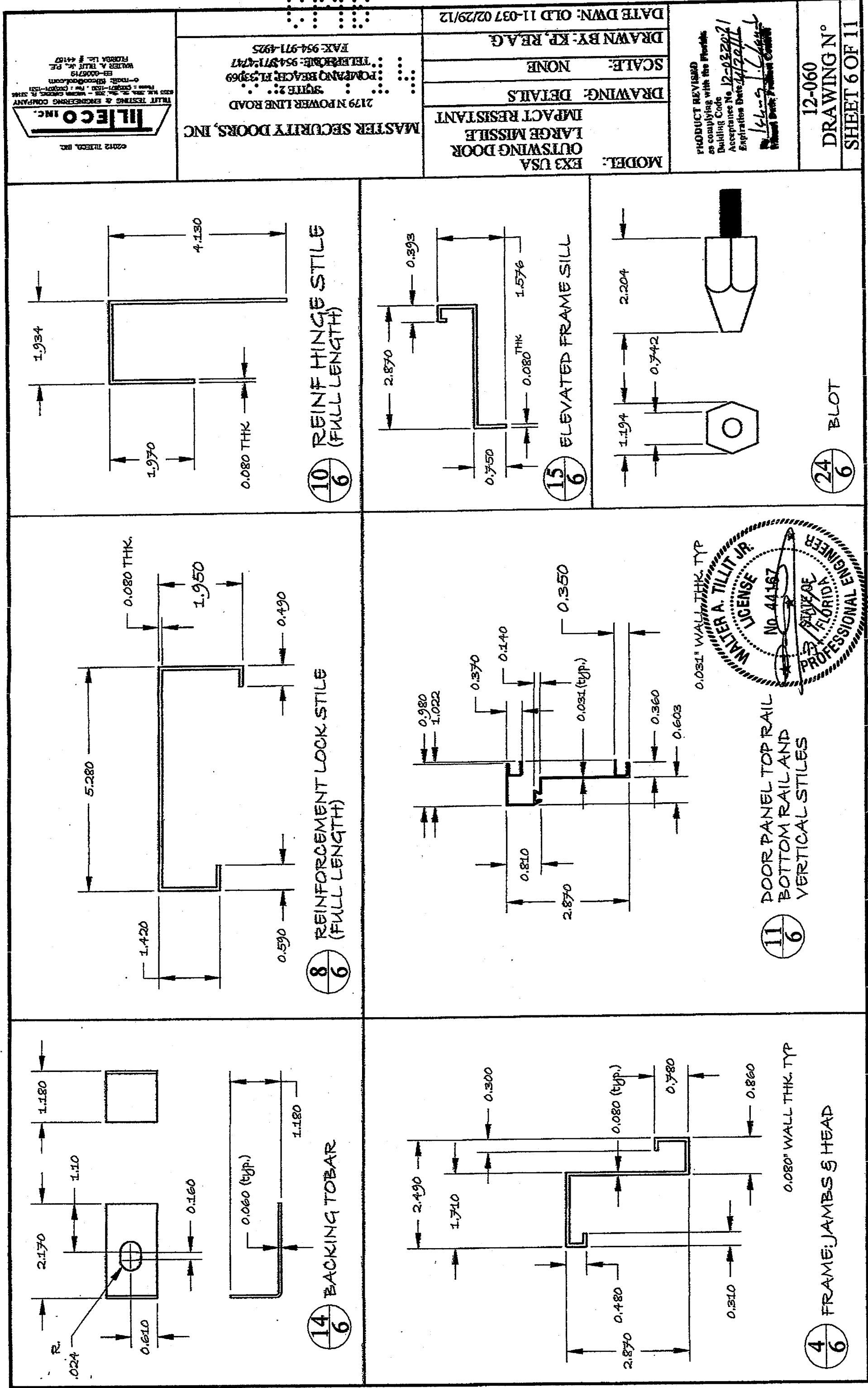
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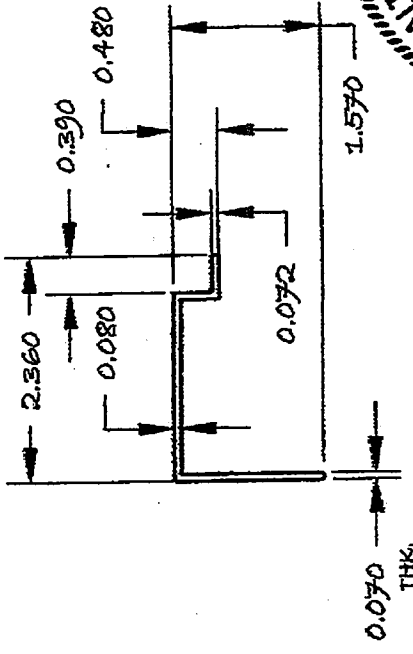
MASONRY INSTALLATION



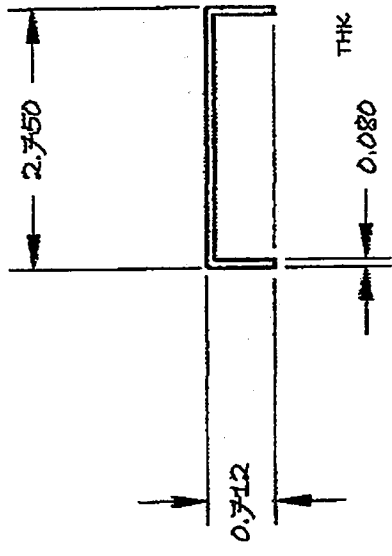
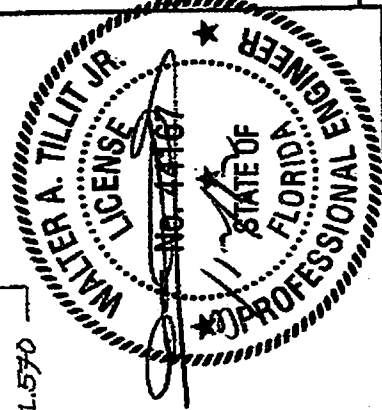
WOOD INSTALLATION

ILITECO INC. 2179 N POWER LINE ROAD PO BOX 900 BEACH, FL 33409 TEL: 954-971-4925 FAX: 954-971-4925 WATER A. TILLIT JR., P.E. FLORIDA LIC. # 44167	MASTER SECURITY DOORS, INC.	MODEL: EX3 USA OUTSWING DOOR LARGE MISSILE IMPACT RESISTANT	DRAWING: HORIZ. CROSS SECT	SCALE: NONE	DRAWN BY: KP, REAG.	DATE DWN: OLD 11-037 02/29/12	
		PRODUCT REVISED in compliance with the Florida Building Code Acceptance No. 12-033021 Expiration Date 12/24/12 By: [Signature] Master Security Doors, Inc.					
		12-060 DRAWING N°					
		SHEET 5 OF 11					

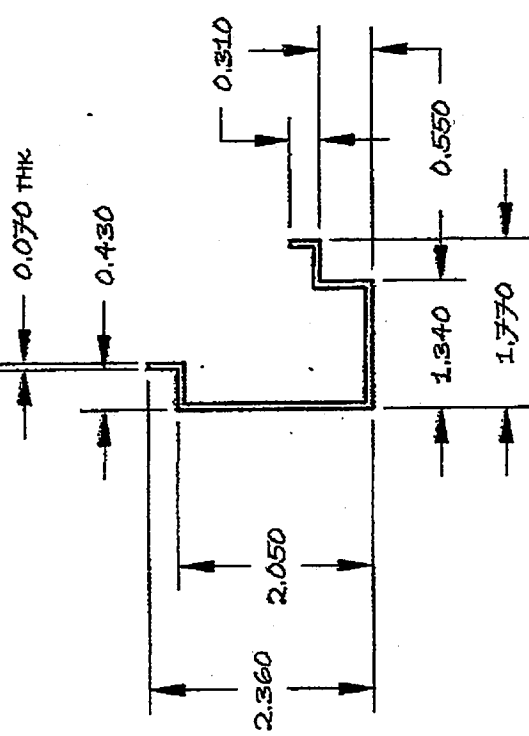




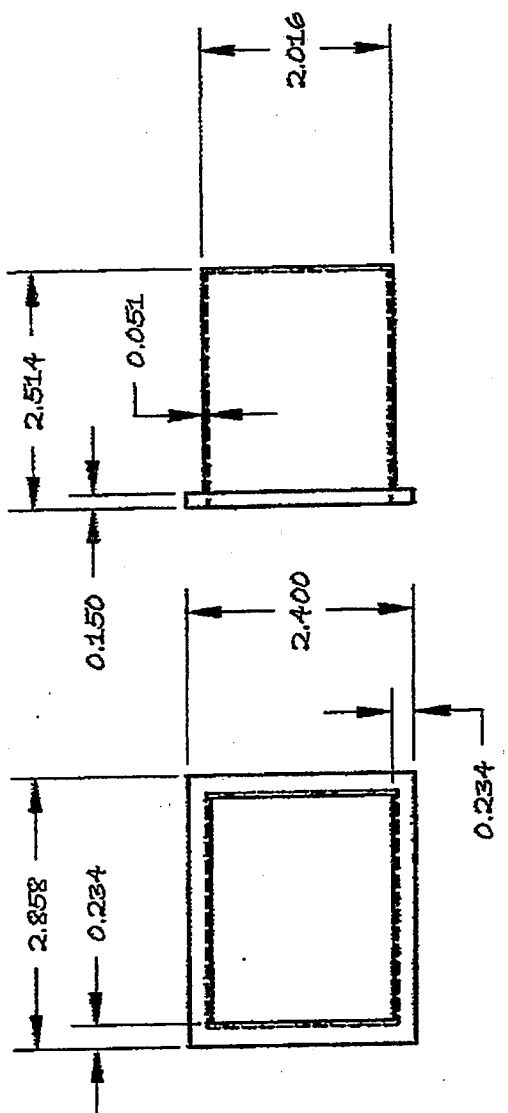
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 SUB FRAME HEAD
 SCALE: 1/2



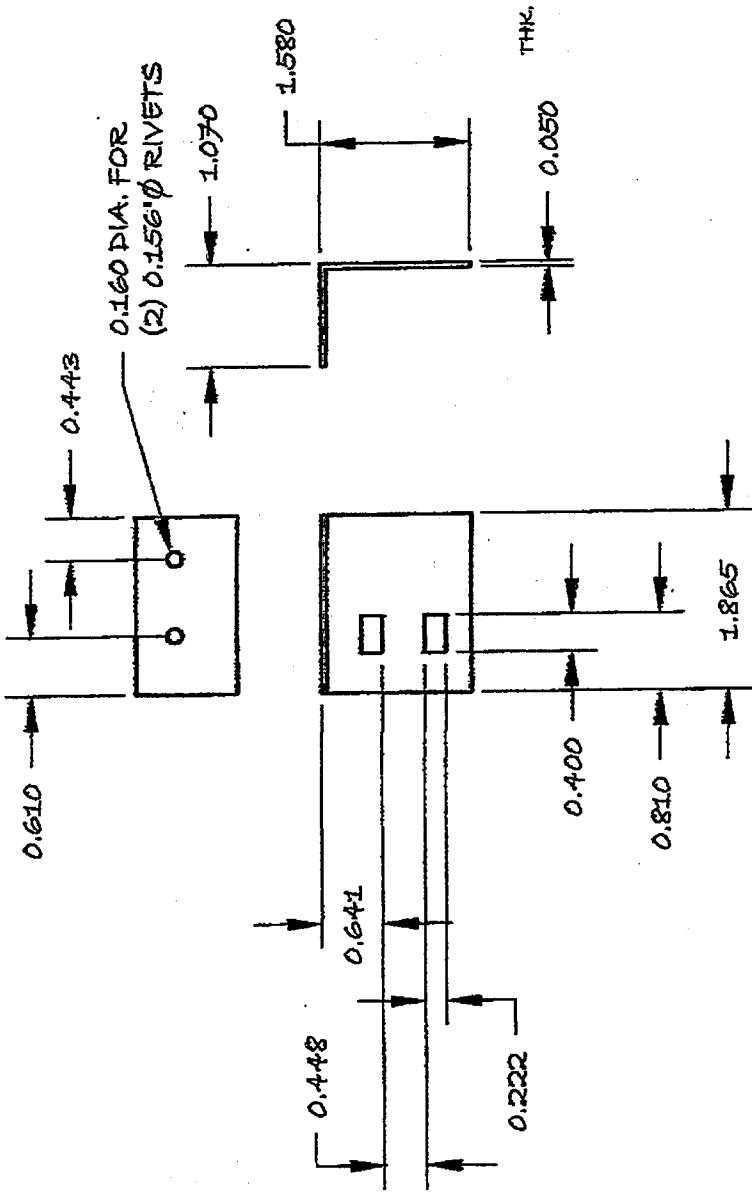
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7
 LOWER FRAME SILL
 SCALE: 1/2



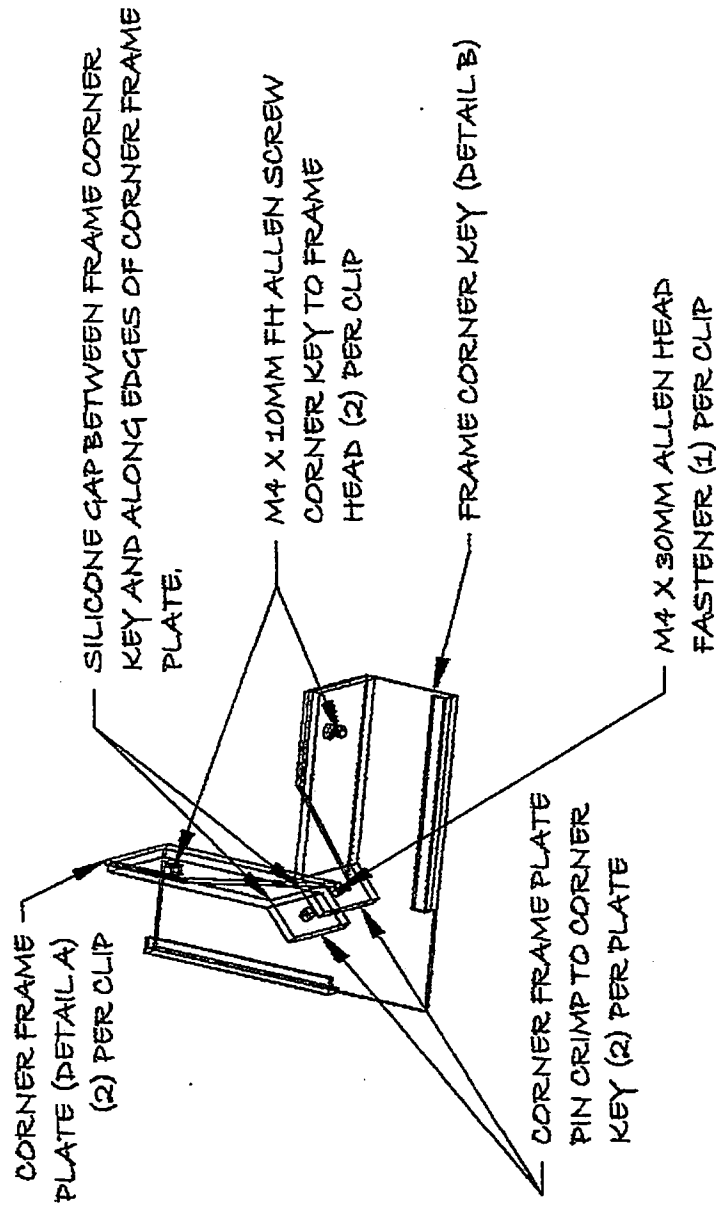
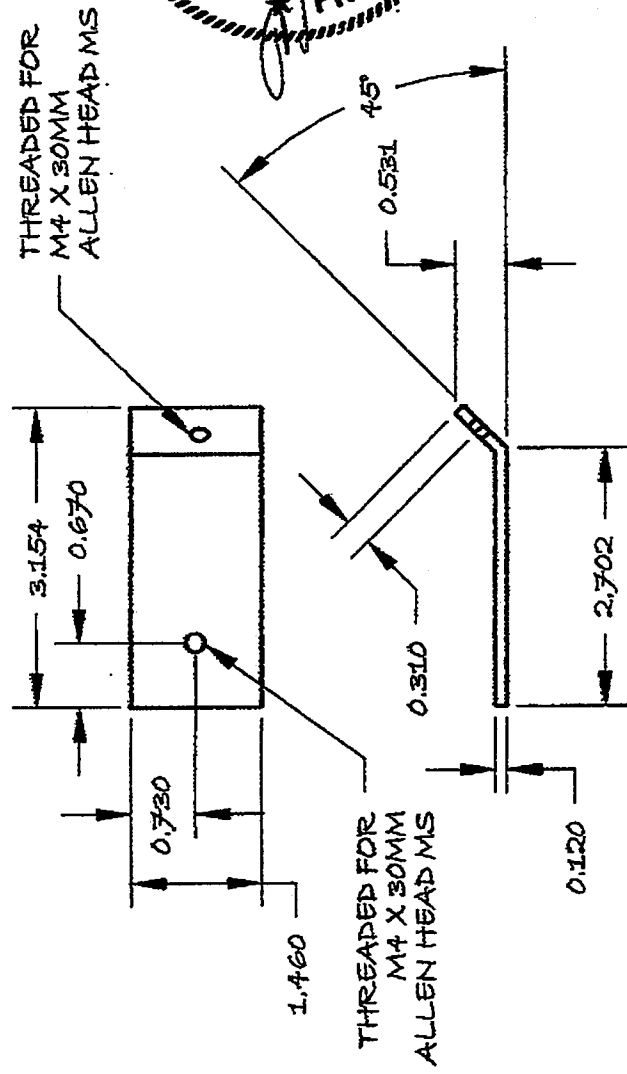
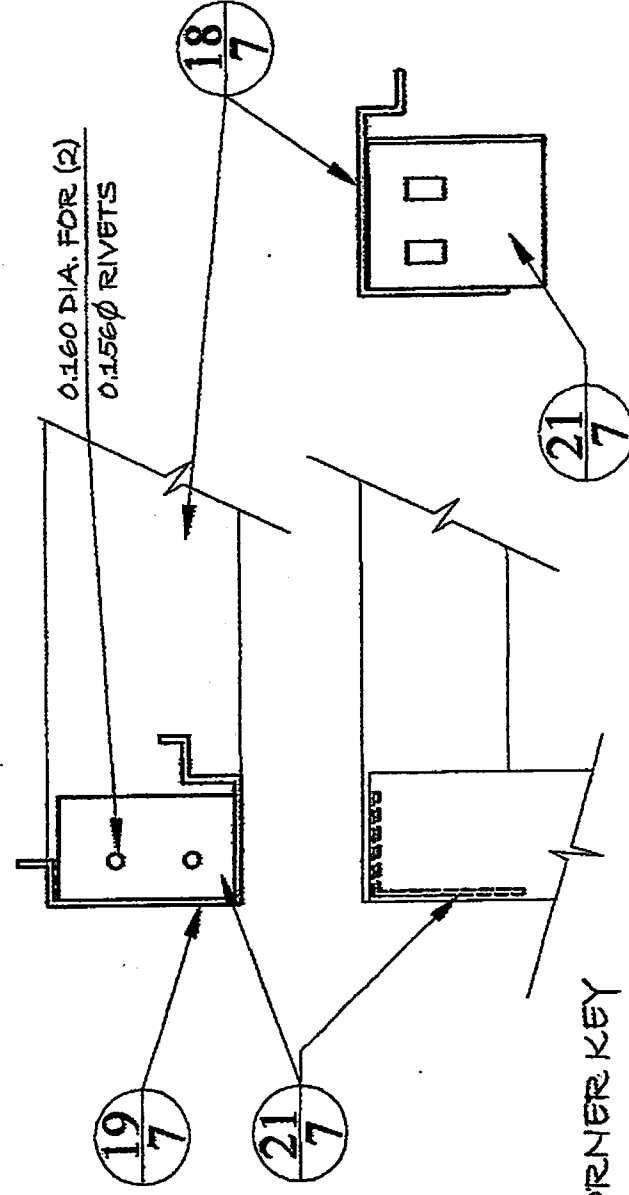
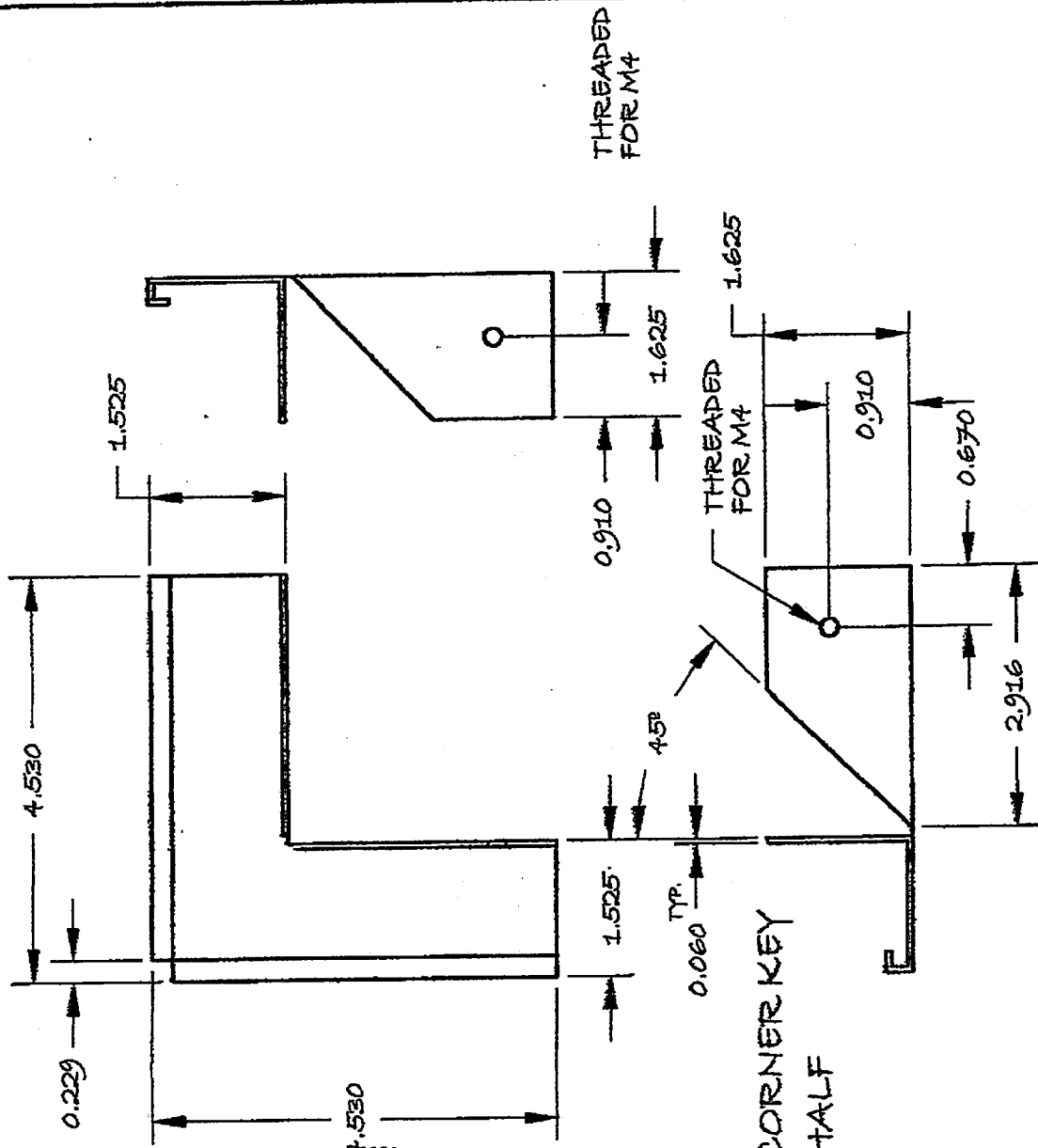
19
7
 SUBFRAME JAMBS
 SCALE: 1/2



28
7
 BLOT KEEPER
 SCALE: FULL



21
7
 SUB FRAME CORNER KEY
 SCALE: 1/2



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MASTER SECURITY DOORS, INC
2179 N POWERLINE ROAD
SUITE 2
POMERANO BEACH, FL 33069
TELEPHONE-954-971-4947
FAX-954-971-4925

MODEL: EX3 USA
OUTSWING DOOR
IMPACT RESISTANT

DRAWING: DETAILS

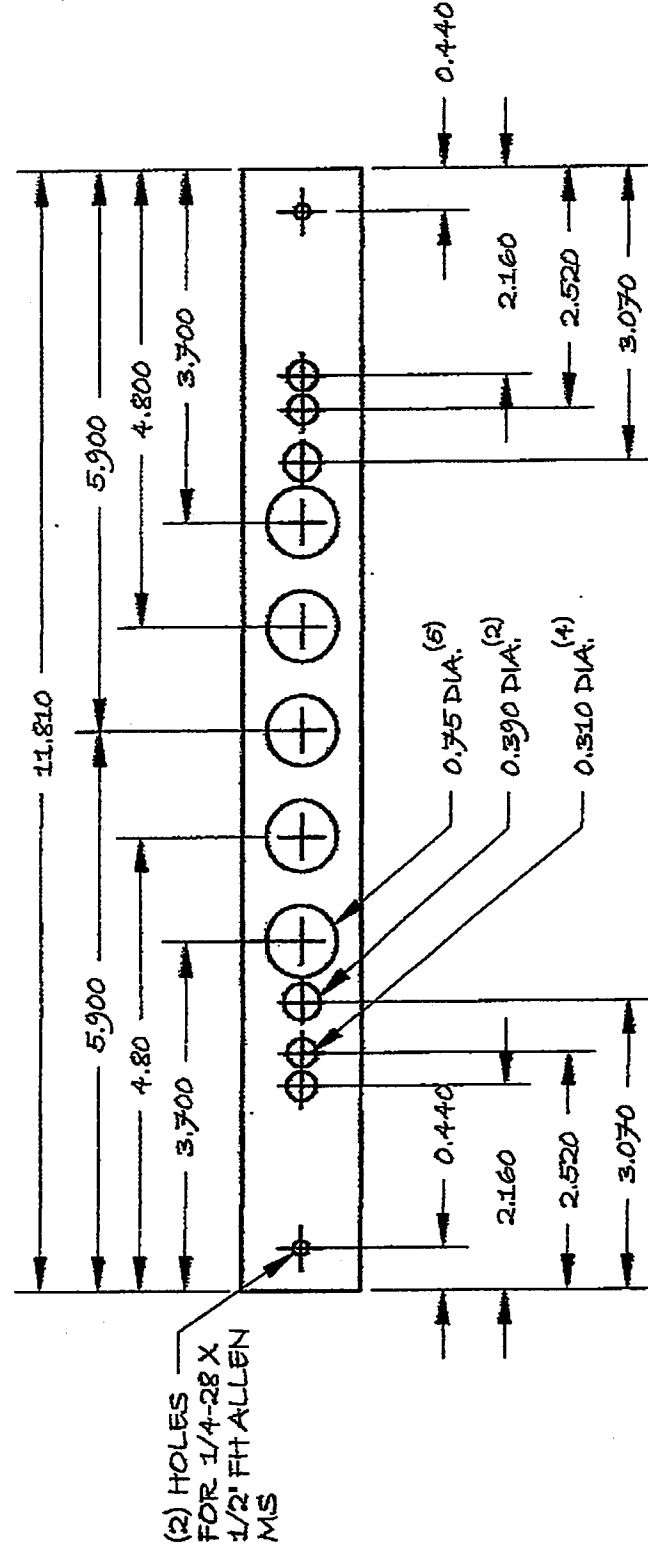
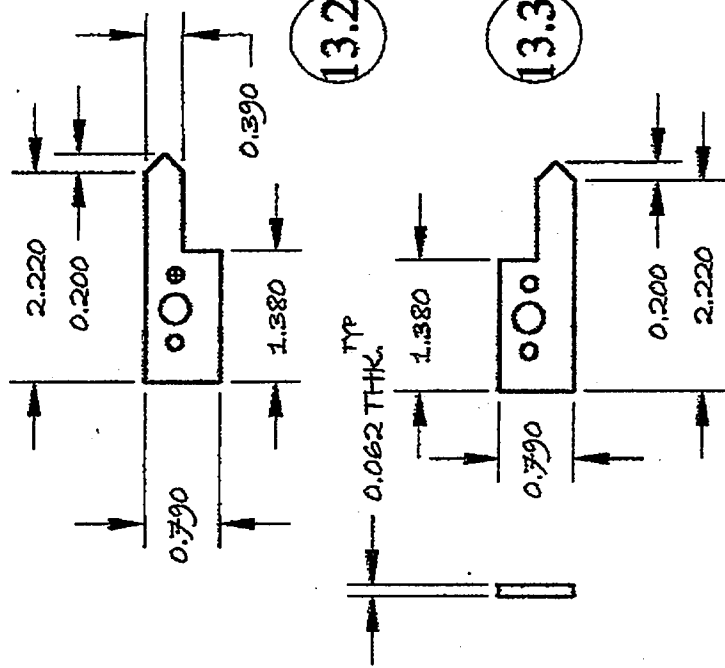
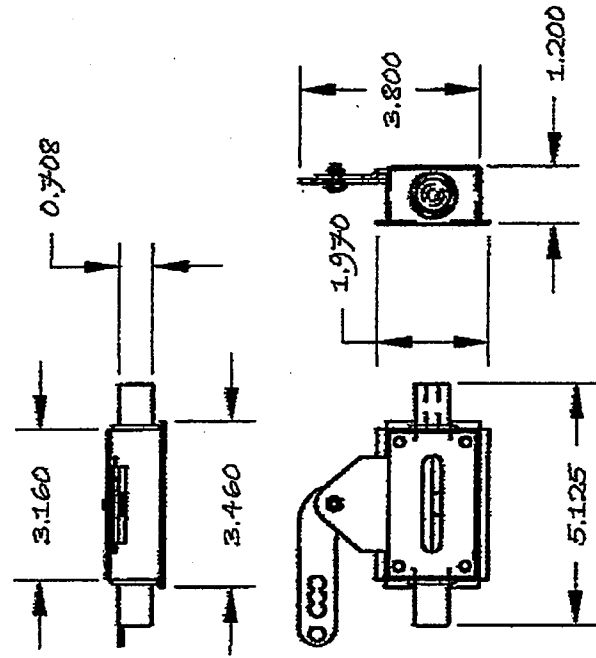
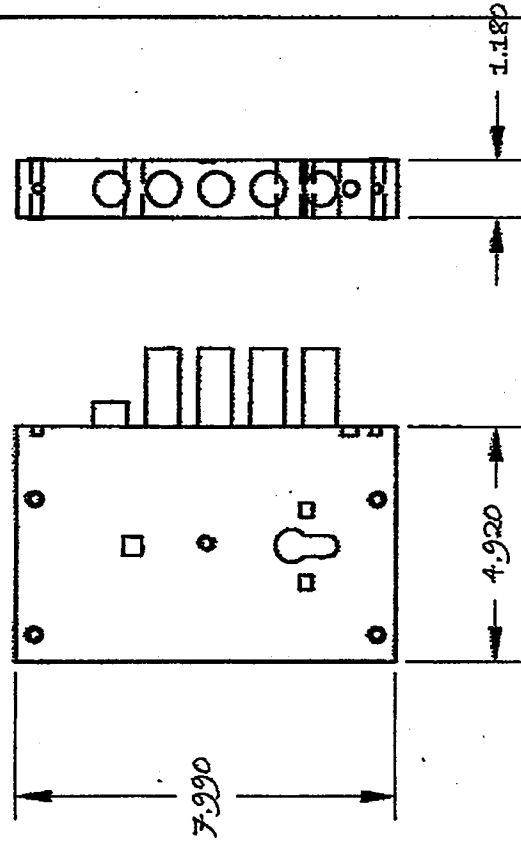
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DRAWN BY: KP, REAG.

DATE DWN: OLD 11-037 02/29/12

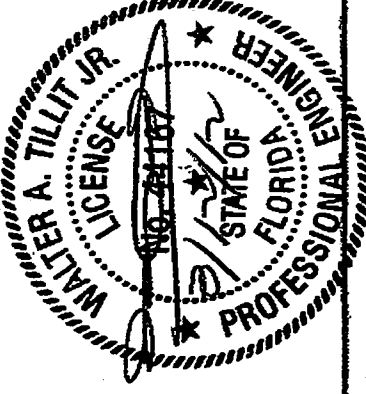
PRODUCT REVIEWED
in compliance with the Florida
Retailing Code
Acceptance No. 12-0320.21
Expiration Date 4/28/16
By: *John L. L...*
Miami-Dade Product Control

12-060
DRAWING N
SHEET 8 OF 11



ITEM #	DESCRIPTION	QUANTITY
13.1	LOCK	1
13.2	TONGUE UPPER	1
13.3	TONGUE LOWER	1
13.4	LOCK SLIDE BOLTS	2
13.5	CONNECTOR ROD (NOT SHOWN)	2
13.6	LOCK STRIKE PLATE	1

13 MULTI-POINT LOCKING SYSTEM



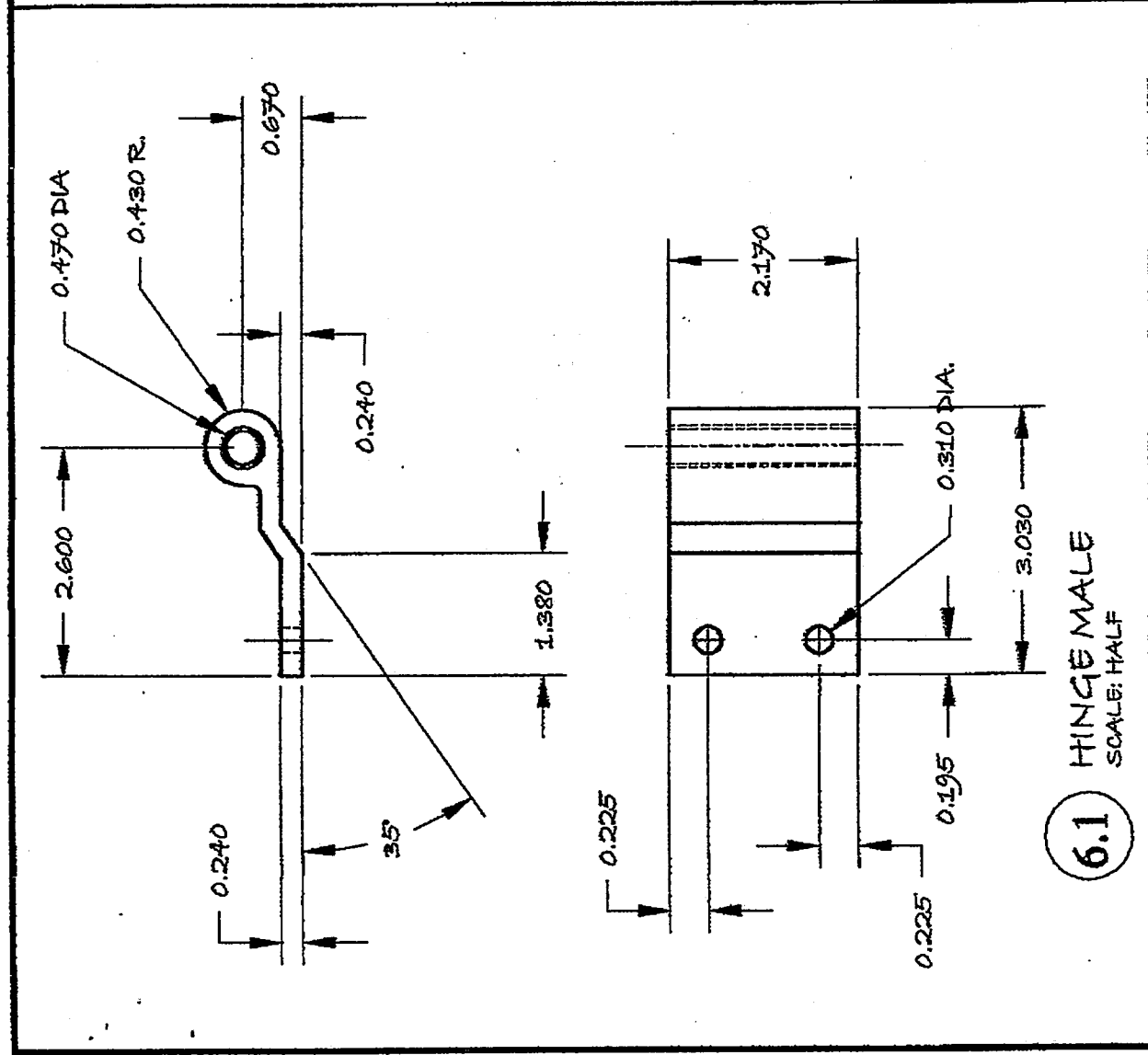
ILITECO INC.
62012 HUBB, INC.

MASTER SECURITY DOORS, INC
2179 N POWERLINE ROAD
SUITE 2
PO BOX 10 BEACH, FL 33069
TELEPHONE: 954-971-4747
FAX: 954-971-4925

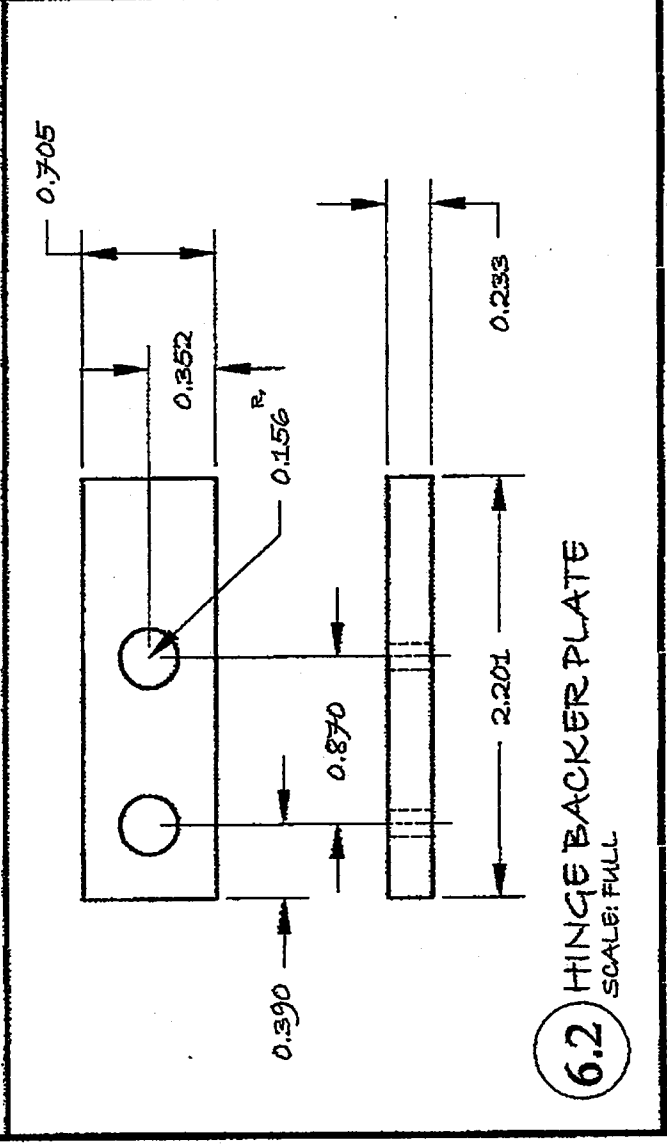
MODEL: EX3 USA
OUTSWING DOOR
LARGE MISSILE
IMPACT RESISTANT

PAYMENT OF BILLS
 are complying with the Western
 Billing Code
 Acceptance No 12-038021
 Expiration Date 9/20/76
 By Isheng I. Chande
President

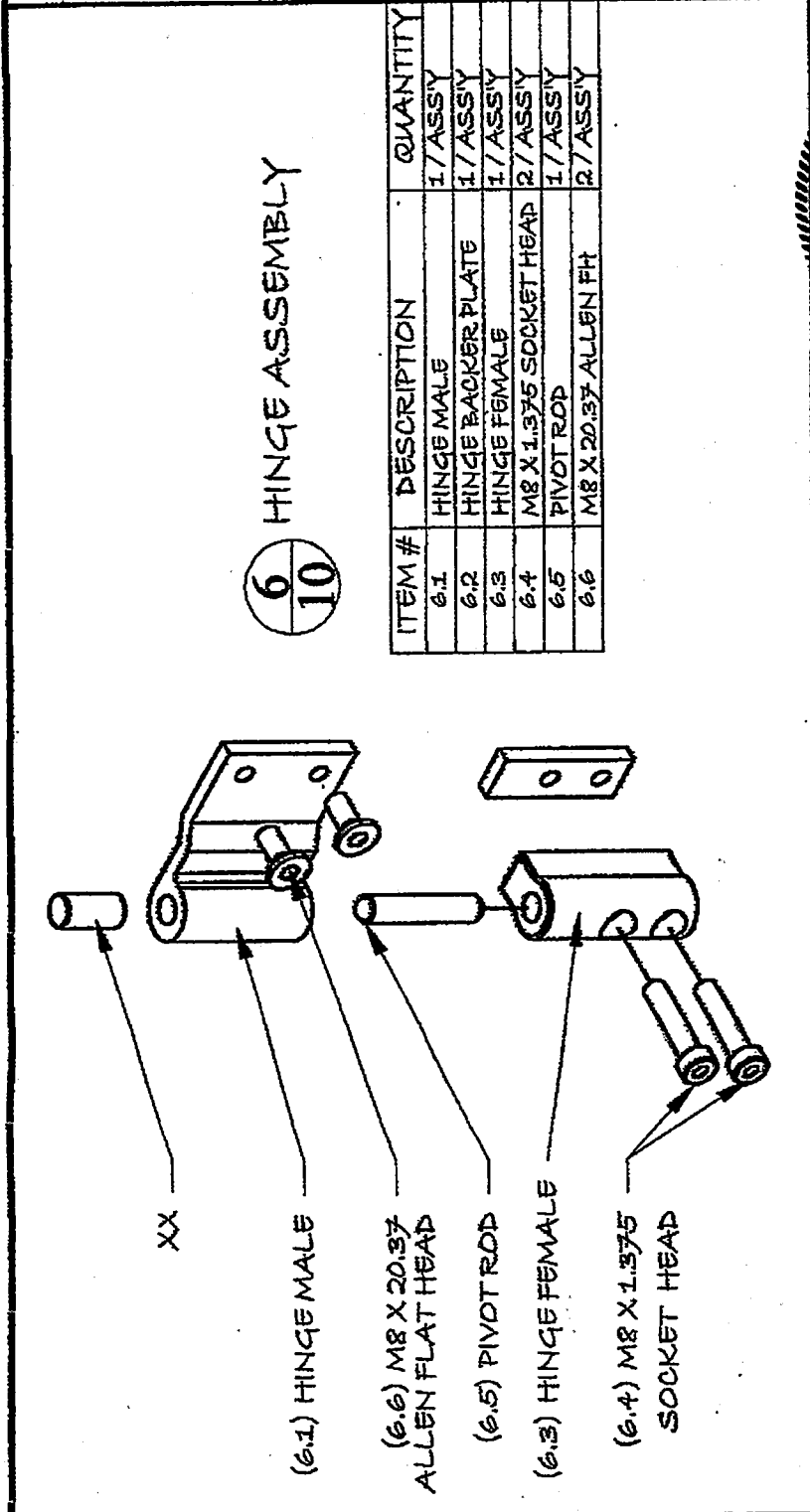
12-060
DRAWING N°
SHEET 9 OF 11



6.1 HINGE MALE
SCALE: HALF

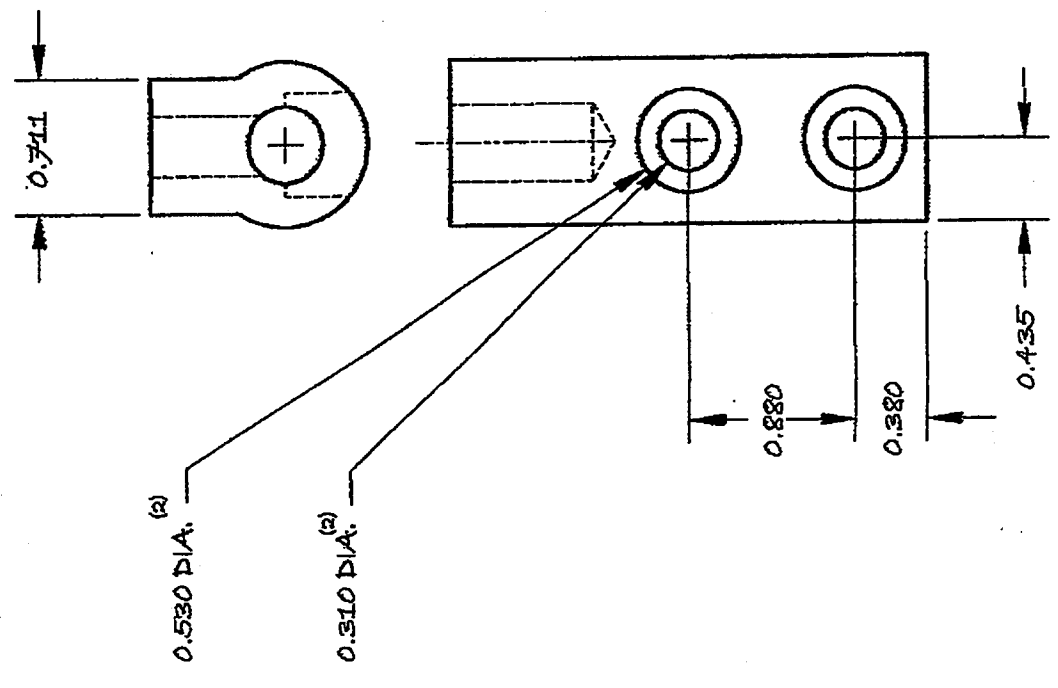
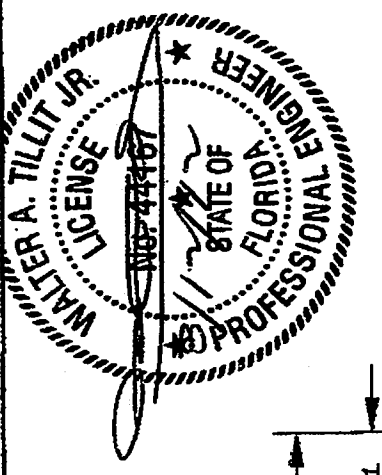


6.2 HINGE BACKER PLATE
SCALE: FULL



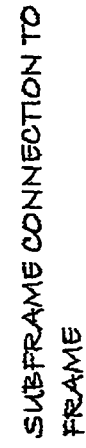
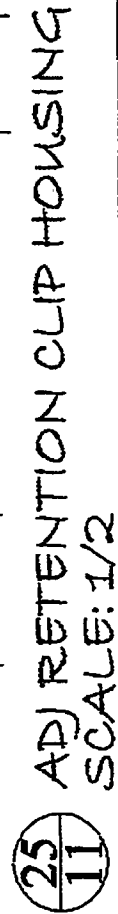
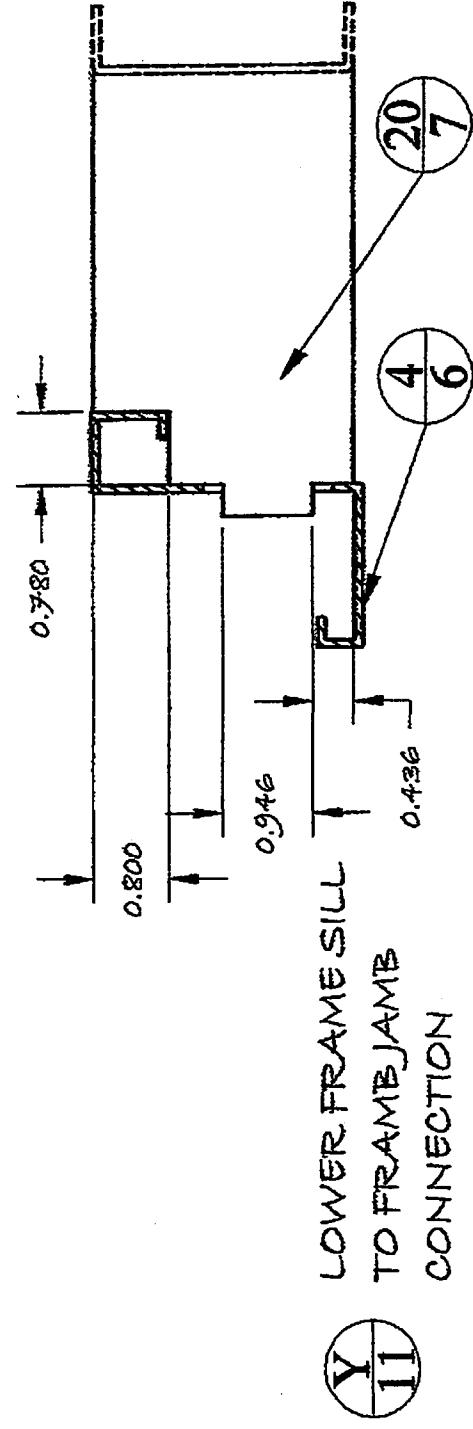
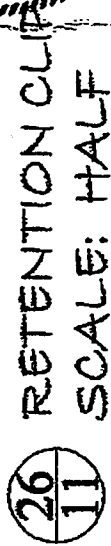
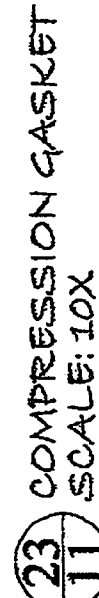
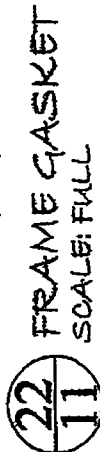
ITEM #	DESCRIPTION	QUANTITY
6.1	HINGE MALE	1 / ASSY
6.2	HINGE BACKER PLATE	1 / ASSY
6.3	HINGE FEMALE	1 / ASSY
6.4	M8 X 1.375 SOCKET HEAD	2 / ASSY
6.5	PIVOT ROD	1 / ASSY
6.6	M8 X 20.37 ALLEN FH	2 / ASSY

6 HINGE ASSEMBLY
10



6.3 HINGE FEMALE
SCALE: FULL

ILITECO INC. 02012 ILITECO, INC. TILIT TESTING & ENGINEERING COMPANY 1500 N. W. 30th St., Suite 200 - Fort Lauderdale, FL 33309 Tel: (954) 444-1500 - Fax: (954) 444-1501 E-Mail: iliteco@iliteco.com Walter A. Tillit Jr., P.E. Florida Lic. # 44467	MASTER SECURITY DOORS, INC. 2179 N. POWERLINE ROAD SUITE 2 HOMERIDGE, FL 33069 TELEPHONE: 954-971-4747 FAX: 954-971-4925	MODEL: EX3 USA OUTSWING DOOR LARGE MISSILE IMPACT RESISTANT	DRAWING: HINGE ASSY	SCALE: NONE	DRAWN BY: KP, RE.A.G.	DATE DWN: OLD 11-037 02/29/12
		PRODUCT REVIEWED as complying with the Florida Building Code. Approval No. 12-0320-021 Expiration Date 4/26/16 By: <i>Walter A. Tillit Jr.</i> Missile Data Product Control				
		12-060		DRAWING N°		SHEET 10 OF 11



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DATE DWN: OLD 11-037 02/29/12

PRODUCT REVISED
as complying with the Florida
Building Code
Assessments No. **17-0329.21**
Expiration Date **AM 29, 2016**

12-060
DRAWING N°
SHEET 11 OF 11

NOTICE OF ACCEPTANCE**JELD-WEN, INC. (OR)
3737 Lakeport Boulevard
Klamath Falls, OR 97601****SCOPE:**

This NOA is being issued under applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County BNC-Product Control Section to be used in Miami-Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (in Miami-Dade County) and/or the AHJ in areas other than Miami-Dade County reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BNC reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: Series "6400 Premium Atlantic" Aluminum Double Hung Window - L.M.I.

APPROVAL DOCUMENT: Drawing No. JELD0020, titled Series "Premium Atlantic Aluminum 6400 Double Hung Window, LMP", sheets 1 through 11 of 11, dated 04/12/2006 with revision "2" dated 07/06/2011, prepared by PTC, LLC, signed and sealed by Robert J. Amoroso, P. E., bearing the Miami-Dade County Product Control Renewal stamp with the Notice of Acceptance number and Expiration date by the Miami-Dade County Product Control Section.

MISSILE IMPACT RATING: Large and Small Missile Impact Resistant.

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state, model/series and following statement: "Miami-Dade County Product Control Approved" unless otherwise noted herein.

REVISION of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA No. 06-0504.02 and consists of this page 1, evidence pages E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by Jaime D. Gascon, P. E.

**MIAMI-DADE COUNTY
APPROVED***J. Gascon
7/19/11**approved
as submitted
9/30/13***NOA No. 11-0426.03
Expiration Date: August 10, 2016
Approval Date: July 28, 2011****Page 1**

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

A. DRAWINGS

1. Manufacturer's die drawings and sections.
2. Drawing No. **JELD0020**, titled Series "Premium Atlantic Aluminum 6400 Double Hung Window, LMP", sheets 1 through 11 of 11, dated 04/12/2006 with revision "2" dated 07/06/2011, prepared by PTC, LLC, signed and sealed by Robert J. Amoruso, P. E.

B. TESTS

1. Test reports on:
 - 1) Air Infiltration Test, per FBC, TAS 202-94
 - 2) Uniform Static Air Pressure Test, Loading per FBC TAS 202-94
 - 3) Water Resistance Test, per FBC, TAS 202-94
 - 4) Large Missile Impact Test per FBC, TAS 201-94
 - 5) Cyclic Wind Pressure Loading per FBC, TAS 203-94.
 - 6) Forced Entry Test, Type "A", Grade 10, per ASTM F 842-04, and per FBC 2411 3.2.1 TAS 202-94along with marked-up drawings and installation diagram of double hung window, prepared by National Certified Testing Laboratories, inc., Test Report No. **NCTL 210-3209-2**, dated 10/28/2005, signed and sealed by Gerard J. Ferrara, P. E.
(Submitted under previous NOA No.06-0504.02)

C. CALCULATIONS

1. Anchor verification calculations and structural analysis, complying with FBC-2007, prepared by PTC, LLC, dated 04/20/2011, signed, sealed and dated 07/05/2011 by Robert J. Amoruso, P. E.
Complies with ASTM E1300-04

D. QUALITY ASSURANCE

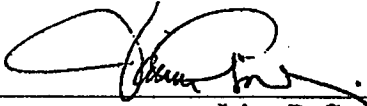
1. Miami-Dade Building and Neighborhood Compliance Department (BNC).

E. MATERIAL CERTIFICATIONS

1. Notice of Acceptance No. **10-0413.04** issued to E.I. DuPont DeNemours & Co., Inc. for their "**DuPont Sentry Glass® Interlayer**" dated 05/26/2010, expiring on 01/14/12.

F. STATEMENTS

1. Statement letter of no financial interest, conformance and compliance with the FBC-2007, dated 04/20/2011, signed and sealed by Robert J. Amoruso, P. E.



Jaime D. Gascon, P. E.
Product Control Section Supervisor
NOA No. 11-0426.03
Expiration Date: August 10, 2016
Approval Date: July 28, 2011

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

F. STATEMENTS (CONTUNIED)

2. Laboratory compliance letter for Test Report No. NCTL 210-3209-2, issued by National Certified Testing Laboratories, Inc., dated 10/28/2005, signed and sealed by Gerard J. Ferrara, P. E.
(Submitted under previous NOA No.06-0504.02)
3. Laboratory addendum letter for Test Report No. NCTL 210-3209-2, issued by National Certified Testing Laboratories, Inc., dated 06/29/2006, signed by Christopher Bennett.
(Submitted under previous NOA No.06-0504.02)

G. OTHERS

1. Notice of Acceptance No. 06-0504.02, issued to Jeld-Wen, Inc. (OR) for their Series "6400 Premium Atlantic" Aluminum Double Hung Window - L.M.I., approved on 08/10/2006 and expiring on 08/10/2011.



Jaime D. Gascon, P. E.
Product Control Section Supervisor
NOA No. 11-0426.03
Expiration Date: August 10, 2016
Approval Date: July 28, 2011

JELD-WEN
PREMIUM ATLANTIC ALUMINUM 6400
DOUBLE HUNG WINDOW, LMI
INSTALLATION ANCHORAGE DETAILS

GENERAL NOTES:

1. THIS PRODUCT IS DESIGNED TO COMPLY WITH THE HIGH VELOCITY HURRICANE ZONE (HVHZ) OF THE 2007 FLORIDA BUILDING CODE (FBC) AT THE DESIGN PRESSURE STATED HEREIN. THE PRODUCT DETAILS CONTAINED HEREIN ARE BASED UPON SIGNED AND SEALED TEST REPORT #NCTL-210-3209-2 DATED 06/28/08 AND ASSOCIATED LABORATORY STAMPED DRAWINGS AND WERE TESTED IN ACCORDANCE WITH CURRENT DADE COUNTY PROTOCOLS.
2. ADEQUACY OF THE EXISTING STRUCTURAL CONCRETE MASONRY AND 2X FRAMING AS A MAIN WIND FORCE RESISTING SYSTEM CAPABLE OF WITHSTANDING AND TRANSFERRING APPLIED PRODUCT LOADS TO THE STRUCTURE IS THE RESPONSIBILITY OF THE ENGINEER OR ARCHITECT OF RECORD.
3. 1X BUCKS AND 2X WOOD FRAMING (WHEN USED) SHALL BE DESIGNED AND ANCHORED TO PROPERLY TRANSFER ALL LOADS TO THE STRUCTURE. BUCK DESIGN AND INSTALLATION IS THE RESPONSIBILITY OF THE ENGINEER OR ARCHITECT OF RECORD.
4. IN AREAS WHERE WIND-BORNE DEBRIS PROTECTION REQUIREMENTS EXIST, USE OF AN APPROVED MIAMI DADE IMPACT PROTECTIVE SYSTEM IS NOT REQUIRED.

DESIGN PRESSURE RATING (PSF)			IMPACT RATING
WINDOW SIZE	DP (PSF)		
UP TO 53 1/8" X 76"	+80.0 / -80.0	LARGE MISSILE IMPACT	
UP TO 37" X 73"	+90.0 / -95.0		

TABLE OF CONTENTS		
SHEET	REV.	SHEET DESCRIPTION
1	1	GENERAL NOTES, INSTALLATION NOTES & D.P. CHART
2	1	ELEVATIONS
3	1	ELEVATIONS & ANCHOR LAYOUTS - FLANGE
4	1	ELEVATIONS & ANCHOR LAYOUTS - FIN
5	1	SECTIONS - FLANGE INST. IN CONCRETE/MASONRY
6	1	SECTIONS - FLANGE INST. IN WOOD
7	1	SECTIONS - NAILING FIN INST. IN WOOD
8	1	GLAZING DETAIL & BILL OF MATERIALS
9	1	COMPONENT DETAILS
10	1	FRAME CORNER CONSTRUCTION DETAILS
11	1	SASH CORNER CONSTRUCTION DETAILS

5. WINDOW FRAME MATERIAL: ALUMINUM ALLOY 6063-T6.
6. GLASS MEETS THE REQUIREMENTS OF ASTM E1300-04 AND PER CALCULATIONS.
7. DESIGNATION "X" STANDS FOR THE FOLLOWING:
7.1. X: OPERABLE PANEL
8. A 1/3 INCREASE IN ALLOWABLE STRESS FOR WIND LOADS WAS NOT USED IN THE DESIGN OF THE PRODUCT(S) SHOWN HEREIN. WIND LOAD DURATION FACTOR (Cd = 1.6) HAS BEEN USED FOR WOOD ANCHOR WITHDRAWAL DESIGN ONLY.
9. IN ACCORDANCE WITH THE 2007 FBC, SECTION 2411.3.3.3 WOOD SHALL HAVE BEEN PRESERVATIVE TREATED OR SHALL BE OF A DURABLE SPECIES AS DEFINED IN SECTION 2328.2.
10. IN ACCORDANCE WITH THE 2007 FBC, SECTION 2003.8.4 DISSIMILAR METALS INCLUDING FASTENERS THAT MAY COME INTO CONTACT WITH ALUMINUM WINDOW FRAMING WOOD SHALL HAVE BEEN PROTECTED AS DEFINED IN SECTION 2003.8.4.2.

INSTALLATION NOTES:

1. ONE (1) INSTALLATION ANCHOR IS REQUIRED AT EACH ANCHOR LOCATION SHOWN.
2. THE NUMBER OF INSTALLATION ANCHORS DEPICTED IS THE MINIMUM NUMBER OF ANCHORS TO BE USED FOR PRODUCT INSTALLATION.
3. SHIM AS REQUIRED AT EACH INSTALLATION ANCHOR WITH LOAD BEARING SHIM(S). MAXIMUM ALLOWABLE SHIM SIZE IS 1/4 INCH. SHIM WHERE SPACE OF 1/16 INCH OR GREATER OCCURS. SHIM(S) SHALL BE CONSTRUCTED OF HIGH DENSITY PLASTIC OR BETTER.
4. FASTENERS FOR INSTALLATION INTO WOOD FRAMING OR THROUGH 1X BUCK TO CONCRETE / MASONRY, OR DIRECTLY INTO CONCRETE / MASONRY SHALL BE AS SHOWN IN "ANCHOR SCHEDULE" THIS SHEET.
5. MINIMUM EMBEDMENT AND EDGE DISTANCE EXCLUDE WALL FINISHES, INCLUDING BUT NOT LIMITED TO STUCCO, FOAM, BRICK VENEER AND SIDING.
6. FOR CONCRETE BLOCK APPLICATIONS DO NOT INSTALL INSTALLATION ANCHORS INTO MORTAR JOINTS.
7. INSTALLATION ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH ANCHOR MANUFACTURER'S INSTALLATION INSTRUCTIONS AND ANCHORS SHALL NOT BE USED IN SUBSTRATES WITH STRENGTHS LESS THAN THE MINIMUM STRENGTH SPECIFIED BY THE ANCHOR MANUFACTURER.
8. INSTALLATION ANCHOR CAPACITIES FOR PRODUCTS HEREIN ARE BASED ON SUBSTRATE MATERIAL PROPERTIES SHOWN IN "ANCHOR SCHEDULE" THIS SHEET.

ANCHOR SCHEDULE							
SUBSTRATE	WINDOW FRAME TYPE	TYPE	SIZE	MANUFACTURER AND/OR SPECIFICATION	EMBEDMENT (IN) (1)	EDGE DISTANCE (IN) (2)	ANCHOR CAPACITIES BASED ON
CONCRETE	THRU-FRAME (FLANGE)	FLAT HEAD	1/4"	ITW TAPCONS (1)	1-1/2"	1-1/2"	MIN. 2000 PSI CONCRETE AND COMPLIES WITH ACI 301, ACI 318 AND ACI 355
MASONRY (BLOCK/CMU)	THRU-FRAME (FLANGE)	FLAT HEAD	1/4"	ITW TAPCONS (1)	1"	2"	STRENGTH CONFORMANCE TO ASTM C-90, MEDIUM WEIGHT
WOOD	THRU-FRAME (FLANGE)	FLAT HEAD, CUT THREADED	NO. 14	ANSI B18.8.1 (WOOD SCREW)	1-1/2"	1"	WOOD WITH A MINIMUM SPECIFIC GRAVITY OF 0.55.
		FLAT HEAD	No. 14 or 1/4" Dia.	ASME B18.8.4 (TAPPING SCREW)			
WOOD	FIN FRAME	PAN HEAD	NO. 10	ANSI B18.8.1 (WOOD SCREW) ASME B18.8.4 (TAPPING SCREW)	1-1/2"	3/8"	WOOD WITH A MINIMUM SPECIFIC GRAVITY OF 0.55.

NOTES:

- 1) ITW (ADVANCED THREADFORM TECHNOLOGY) TAPCONS WILL BE USED FOR CONCRETE/MASONRY INSTALLATION.
- 2) FOR WOOD SCREWS IF SPLITTING IS A CONCERN, DRILL 5/32" PILOT HOLE FOR NO. 14 OR 3/32" PILOT HOLE FOR NO. 10.
- 3) FOR TAPPING SCREWS IF SPLITTING IS A CONCERN, DRILL 11/64" PILOT HOLE FOR NO. 14 & 1/4" DIA. OR 3/32" PILOT HOLE FOR NO. 10.

PROJECT # 411-0112		
REV	DESCRIPTION	DATE
1	NOA RENEWAL	3/9/11
2	PER DADE LETTER	07/06/11
BY	DATE	BY
RJA	3/9/11	TJH

PREPARED BY:
P.D. BARNETT
P.O. Box 20775
Lakewood, FL 32720-0775
Phone: 321.480.1718
Email: info@pdlc.com

DATE: 04/12/08

BY: BB

NO. 11

1 OF 11

3737 LAKEPORT BLVD.
JELD-WEN
Klamath Falls, OR 97603
Premium Atlantic Aluminum 6400 Double Hung Window, LMI
GENERAL NOTES, INSTALLATION NOTES & D.P. CHART
DRAWING NO. JELD0020

PRODUCT RENEWED
as complying with the Florida
Building Code
Acceptance No. 11-9426-03
Expiration Date 03/12/2018
By: [Signature]
Miami Dade Product Control

Robert J. Amoroso, P.E.
Florida P.E. No. 49752

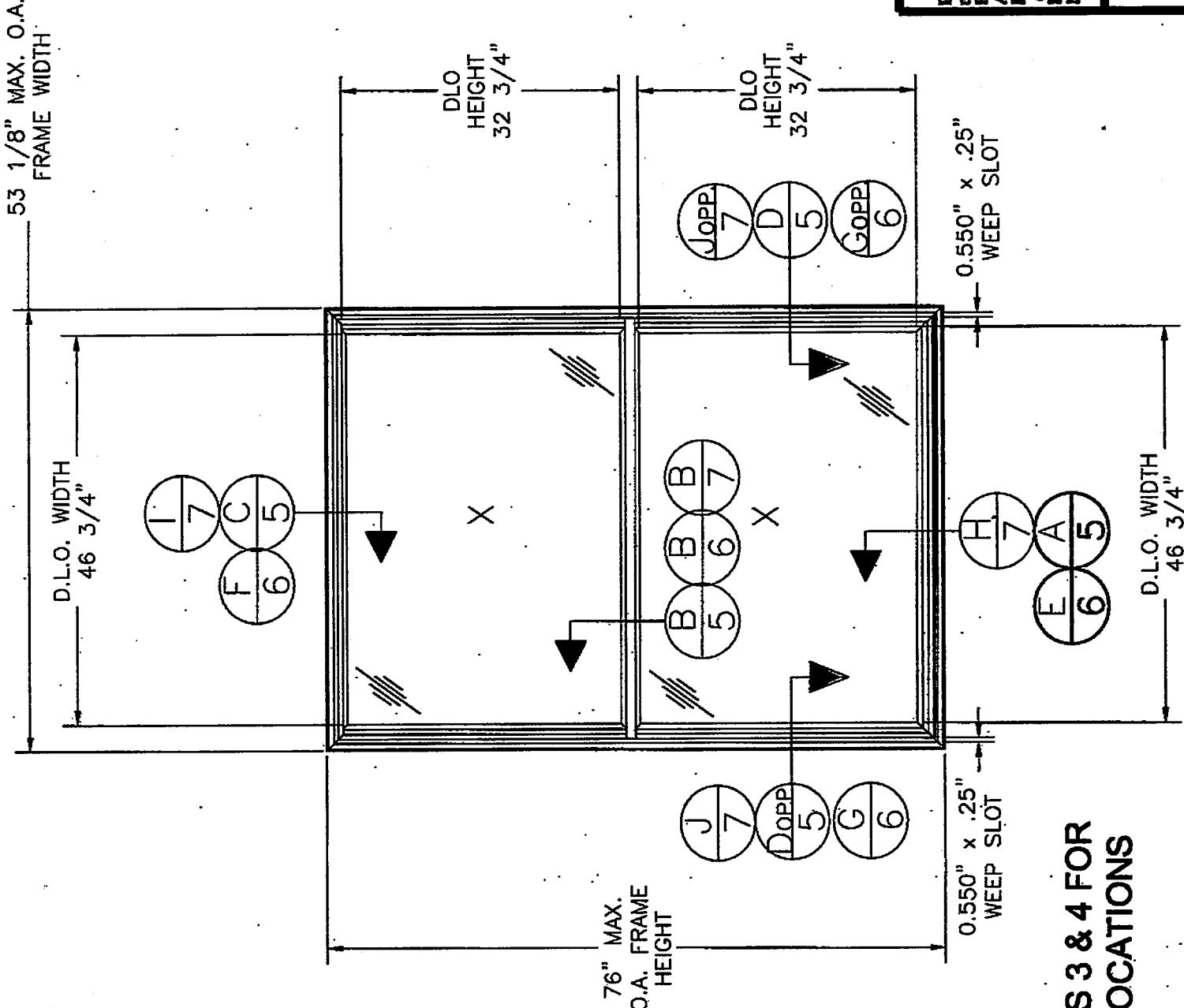
BY	DATE	DESCRIPTION	REV
RJA	3/9/11	NOA RENEWAL	1
TJH	07/06/11	PER DADE LETTER DATED JUNE 28, 2011	2

PROJECT # 411-0112	JELD-WEN 3737 LAKEPORT BLVD. KLAUTH FALLS, OR 97601	DATE: 04/12/06 DRAWING NO.: JELD0020 SHEET: 2 OF 11	PREPARED BY: [Signature] CHECKED BY: [Signature] DATE: 04/12/06 DRAWING NO.: JELD0020 SHEET: 2 OF 11
--------------------	---	---	--

PRODUCT RENEWED
as complying with the Florida
Building Code
Acceptance No. 11-29426-03
Expiration Date 08/10/2013
By [Signature]
Miami Dade Product Control

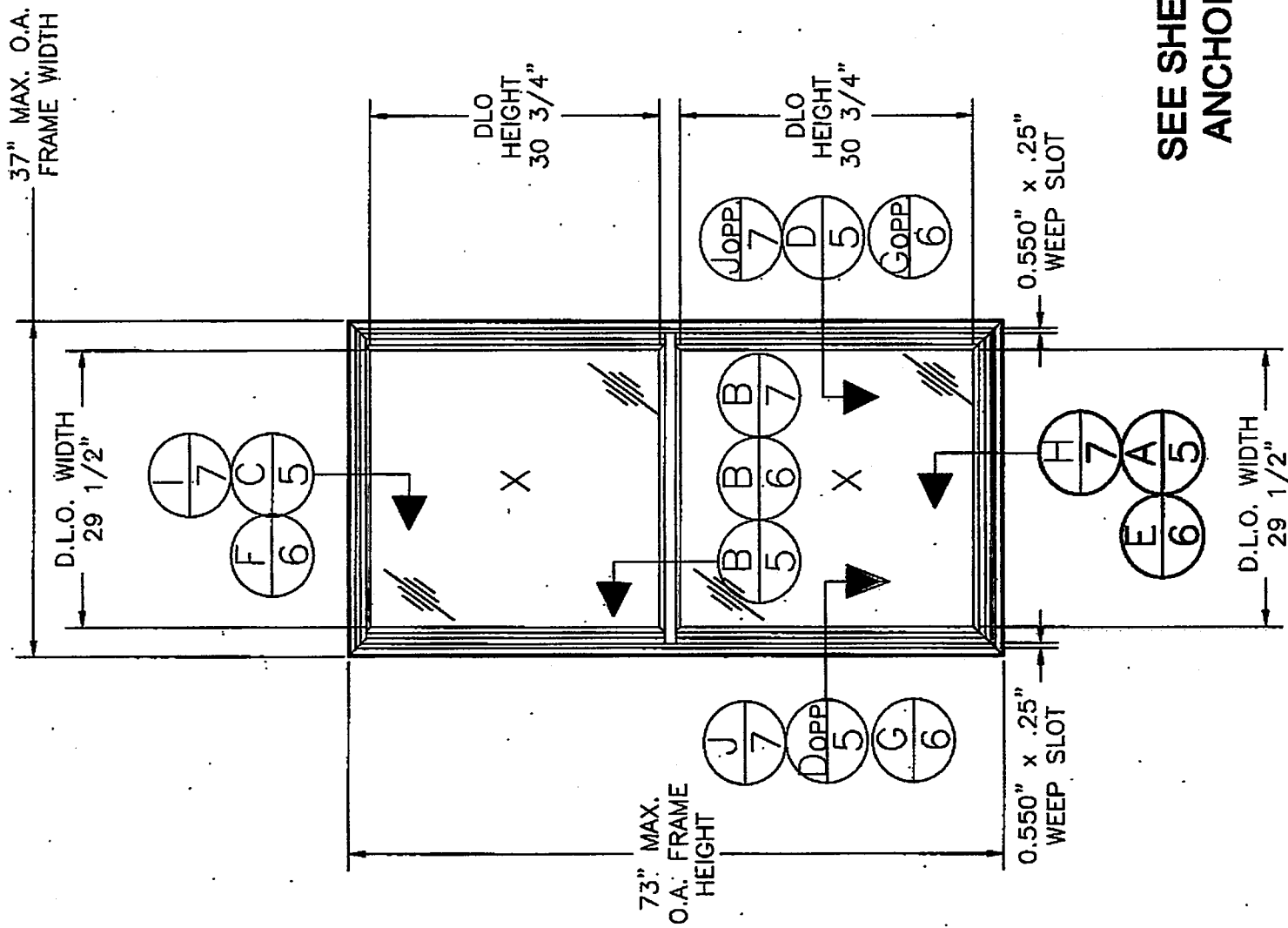
Robert J. Amoroso, P.E.
Florida P.E. No. 49762

STATE OF FLORIDA
PROFESSIONAL ENGINEER
No. 49752
* 7/6/11 *

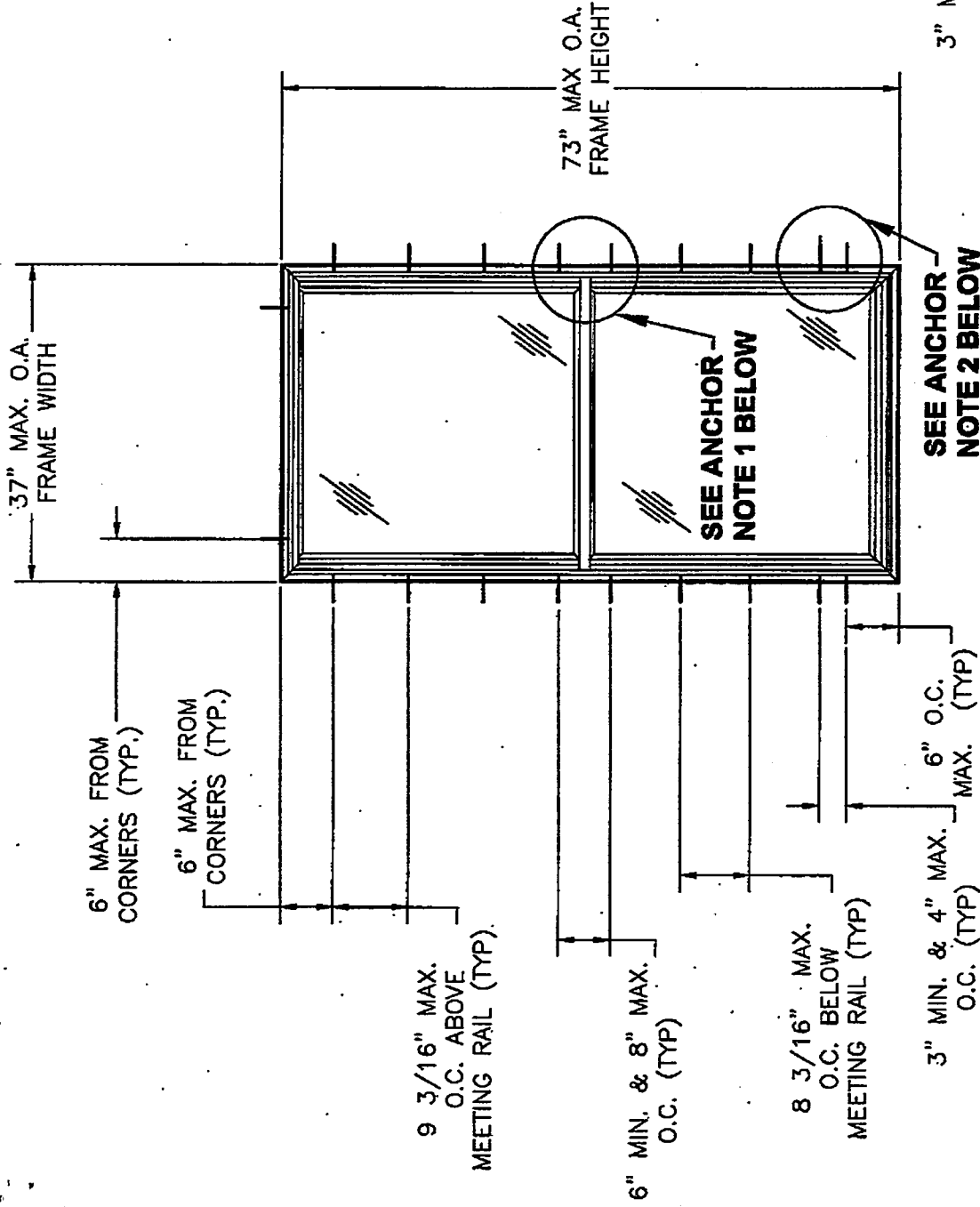


SEE SHEETS 3 & 4 FOR
ANCHOR LOCATIONS

ELEVATION
EXTERIOR VIEW 53 1/8" X 76"
(FLANGE (SHOWN) OR FIN FRAME)



ELEVATION
EXTERIOR VIEW 37" X 73"
(FLANGE (SHOWN) OR FIN FRAME)

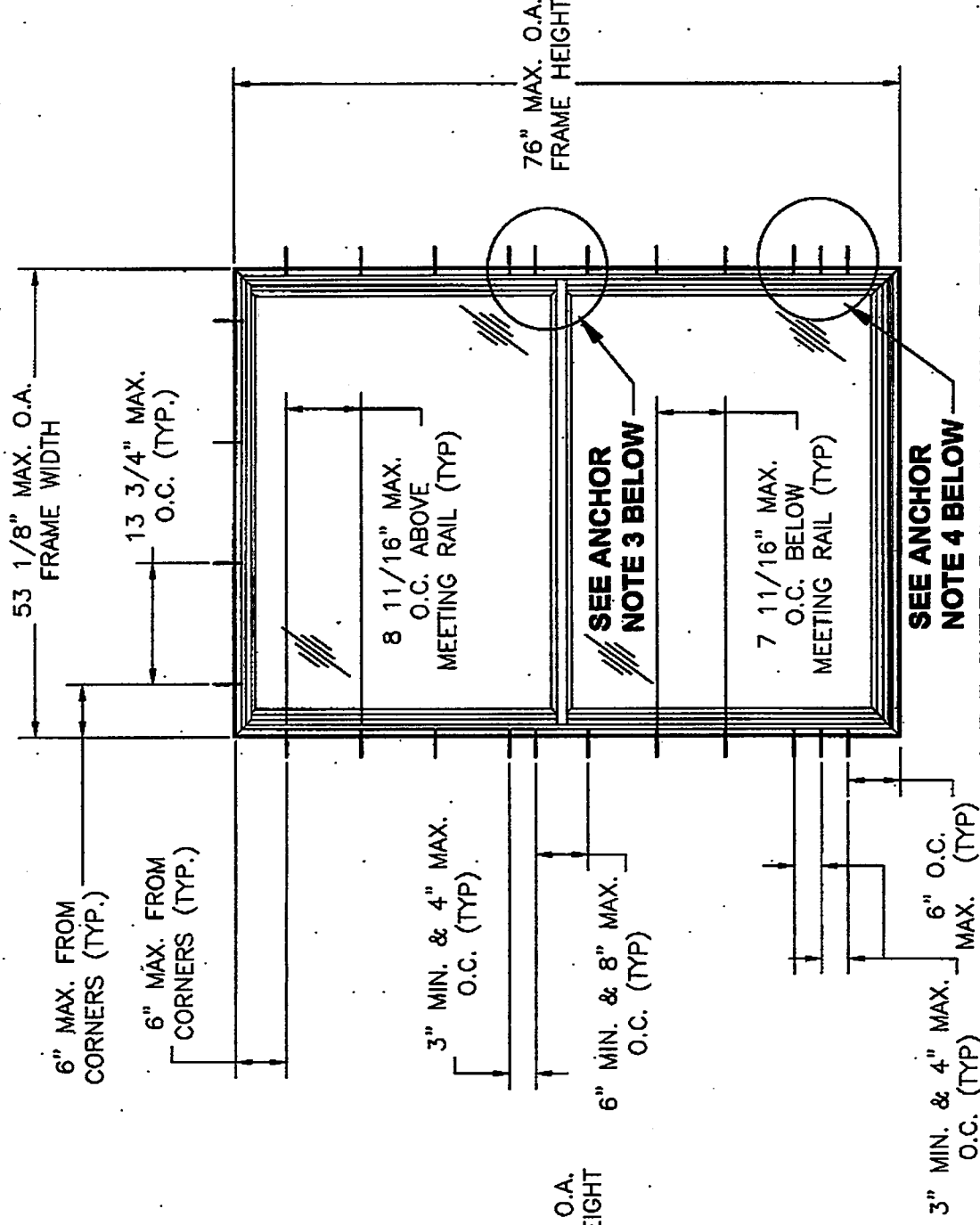


ANCHOR LAYOUT

EXTERIOR VIEW 37" X 73" (FLANGE INTO
CONCRETE/MASONRY OR WOOD SUBSTRATE)

ANCHOR NOTE 1: CLUSTER OF 2 ITW
TAPCONS OR WOOD SCREWS 6" O.C.
MIN. TO 8" O.C. MAX. SPACING

ANCHOR NOTE 1: CLUSTER OF 2 ITW
TAPCONS OR WOOD SCREWS 3" O.C.
MIN. TO 4" O.C. MAX. SPACING AND 6"
MAX. FROM CORNER.



ANCHOR LAYOUT

EXTERIOR VIEW 53 1/8" X 76" (FLANGE INTO
CONCRETE/MASONRY OR WOOD SUBSTRATE)

ANCHOR NOTE 3: CLUSTER OF 3 ITW
TAPCONS OR WOOD SCREWS 6" O.C.
MIN. TO 8" O.C. MAX. SPACING

ANCHOR NOTE 4: CLUSTER OF 3 ITW
TAPCONS OR WOOD SCREWS 3" O.C.
MIN. TO 4" O.C. MAX. SPACING AND 6"
MAX. FROM CORNER.

SEE SHEET 2 FOR
SECTION CUTS

REV	DESCRIPTION	DATE	BY
1	NOA RENEWAL	3/9/11	RJA
2	PER DADE LETTER DATED JUNE 28, 2011	07/06/11	TJH

PROJECT # 411-0112

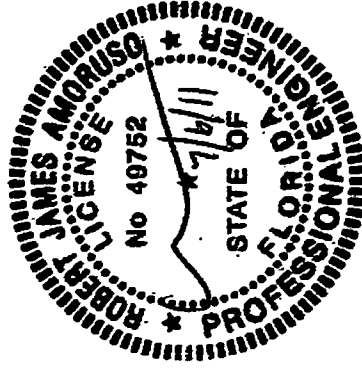
PREPARED BY:	DATE:	04/12/06
SCALE:	BB	
SHEET:	NTS	
DRAWING NO:	JELD0020	
SHEET:	3 OF 11	

3737 LAKEPORT BLVD.
KLAUMATH-ALLS, OR 97601
Premium Atlantic Aluminum 6480 Double Hung Window, LMT
ELEVATIONS & ANCHOR LAYOUTS



PRODUCT RENEWED
as complying with the Florida
Building Code
Acceptance No 11-9426.03
Expiration Date 03/12/2012
By: [Signature]
Miami Dade Product Control

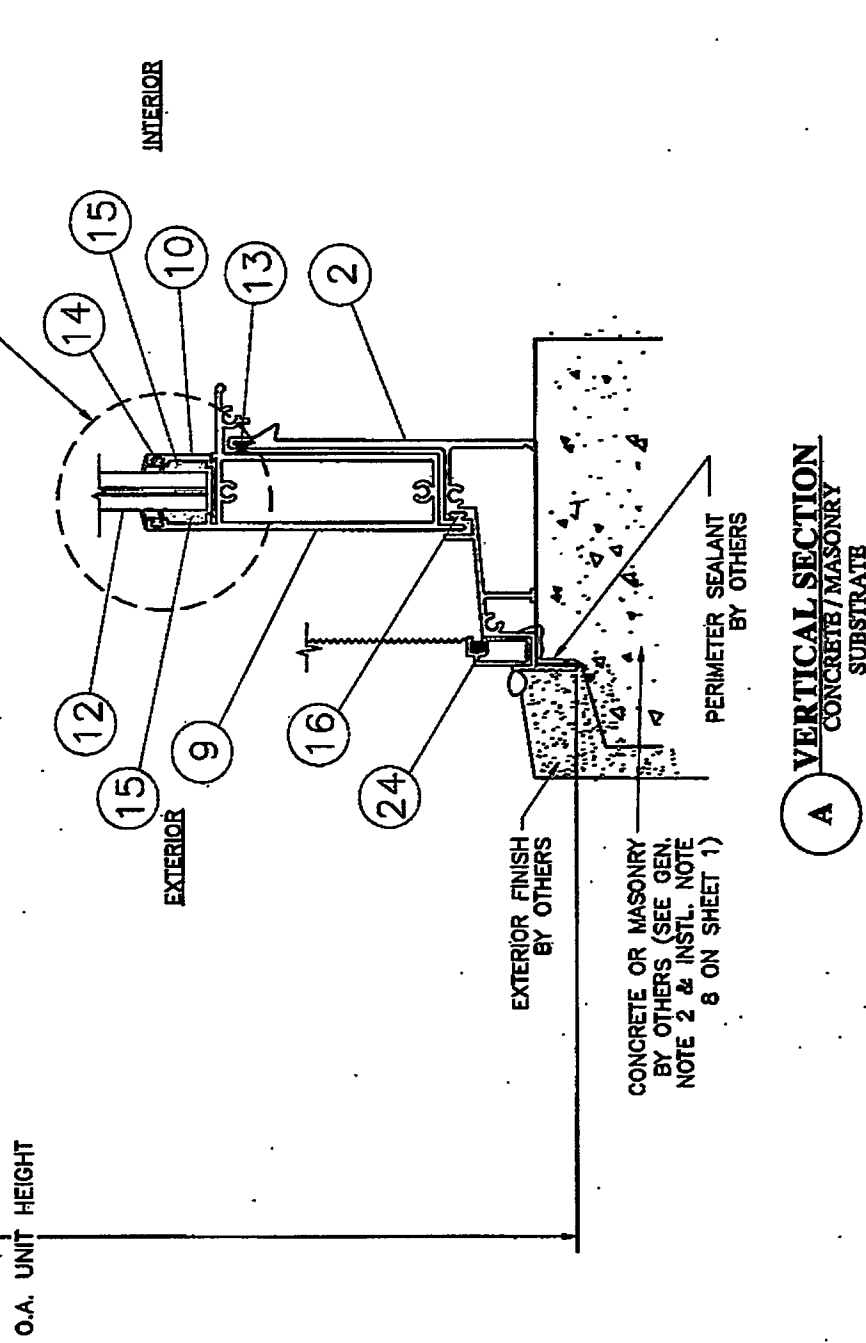
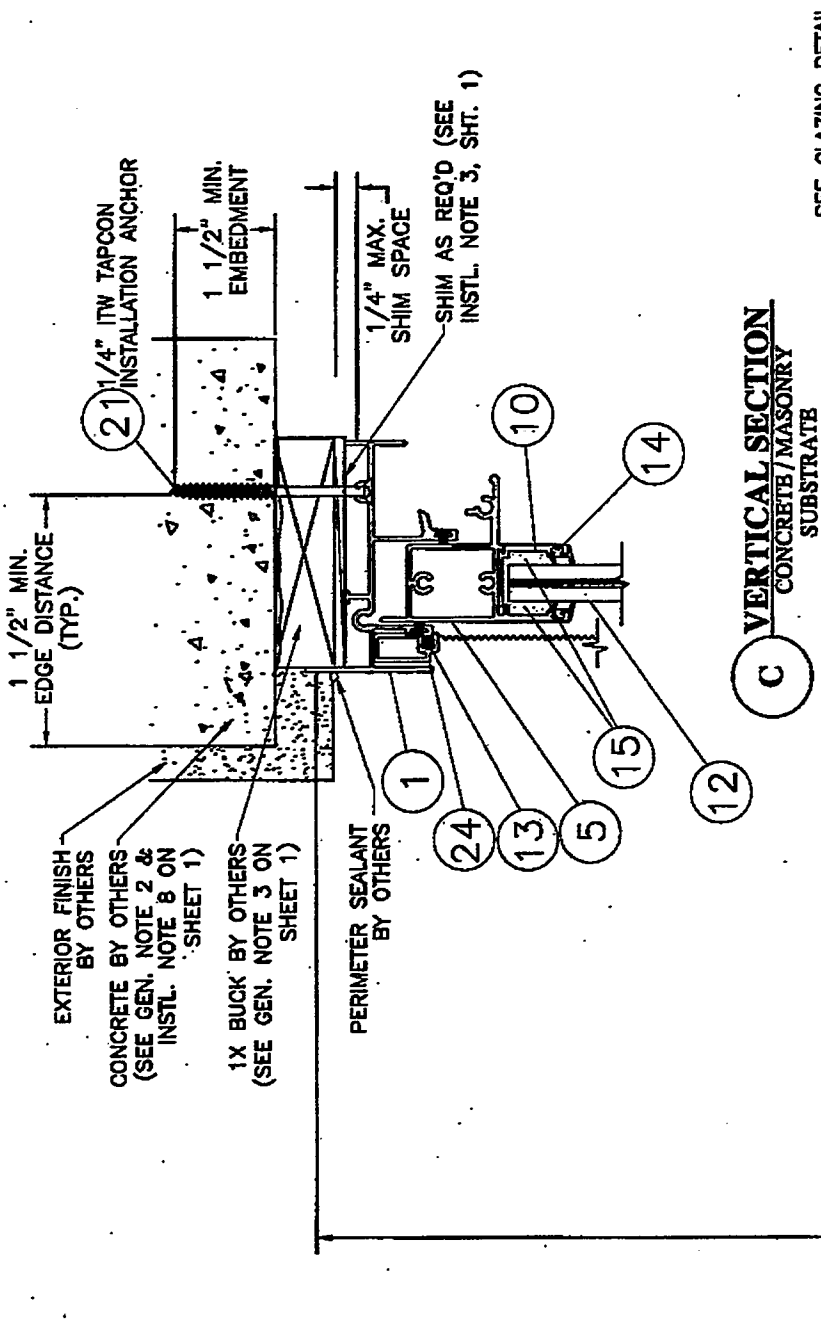
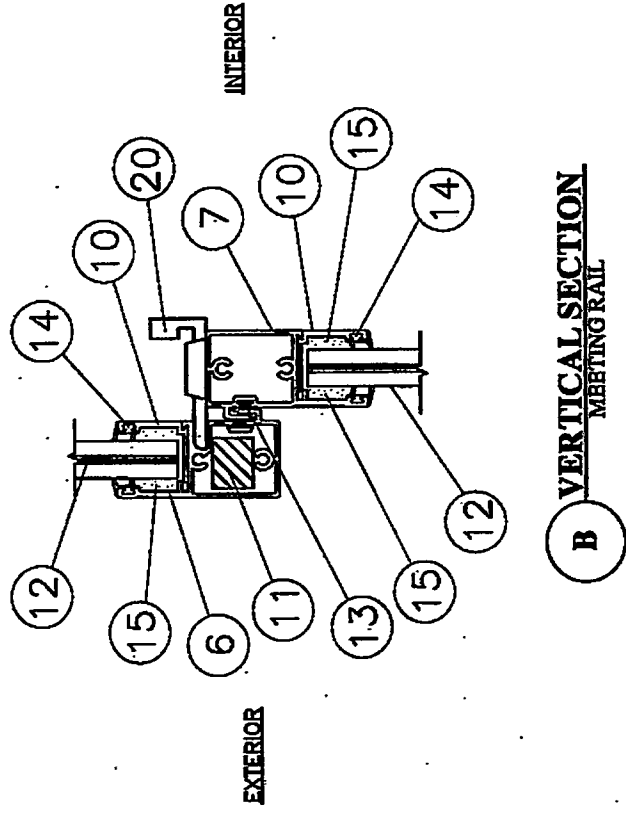
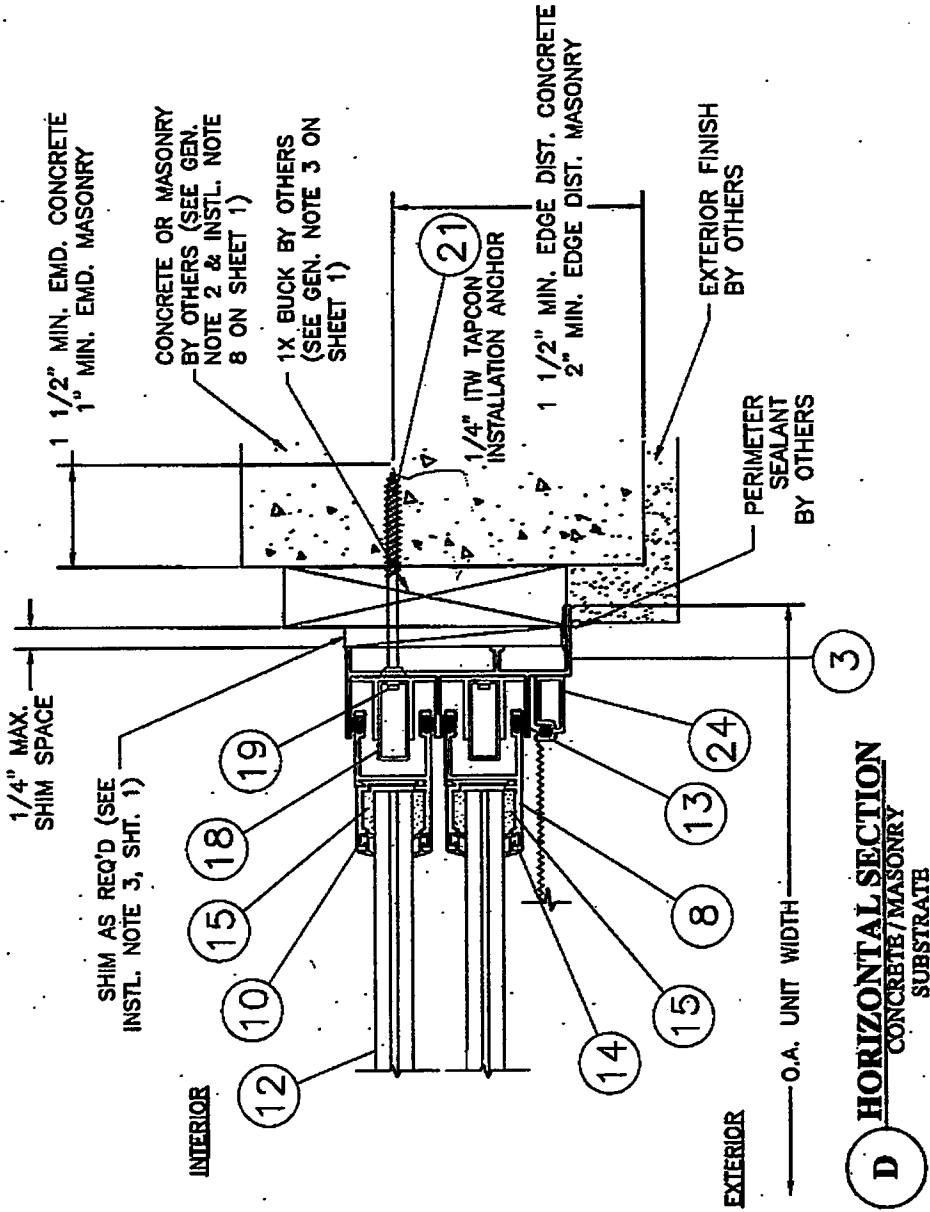
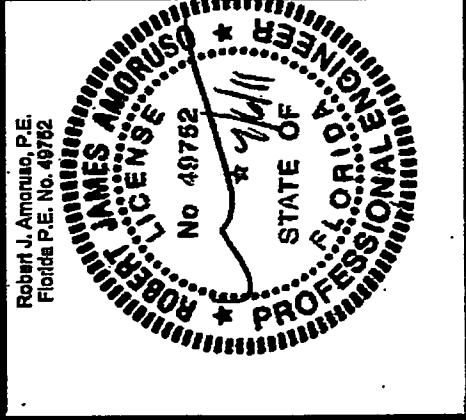
Robert J. Amoroso, P.E.
Florida P.E. No. 49782

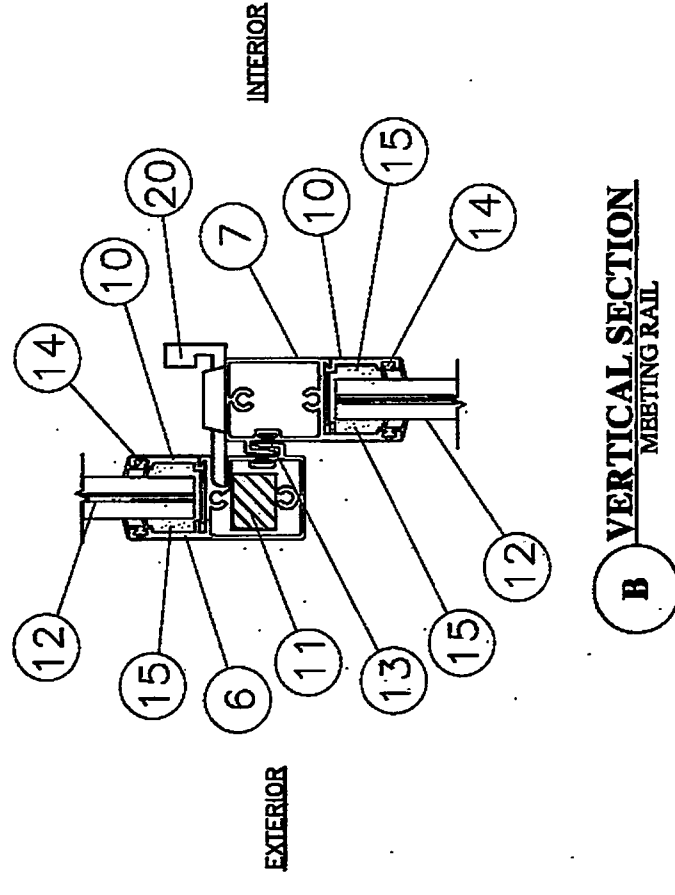
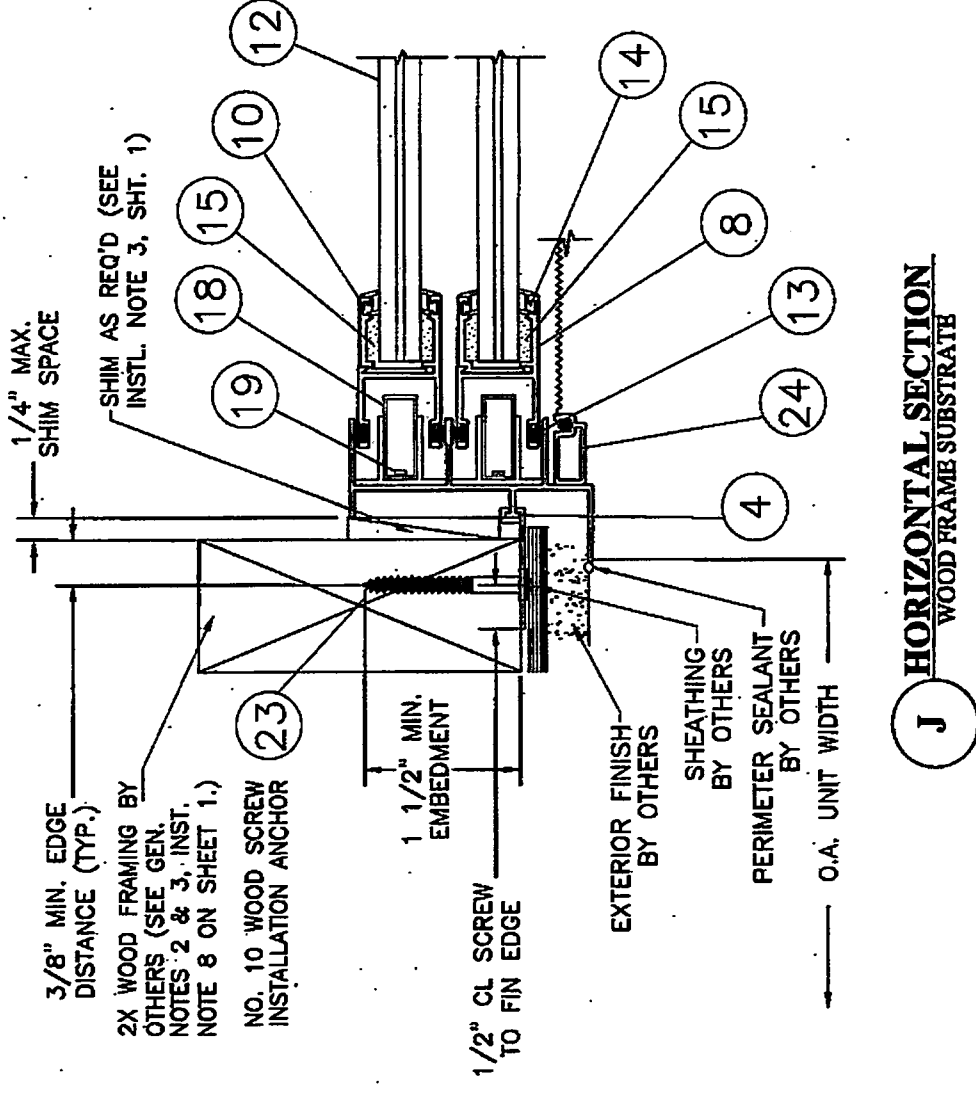
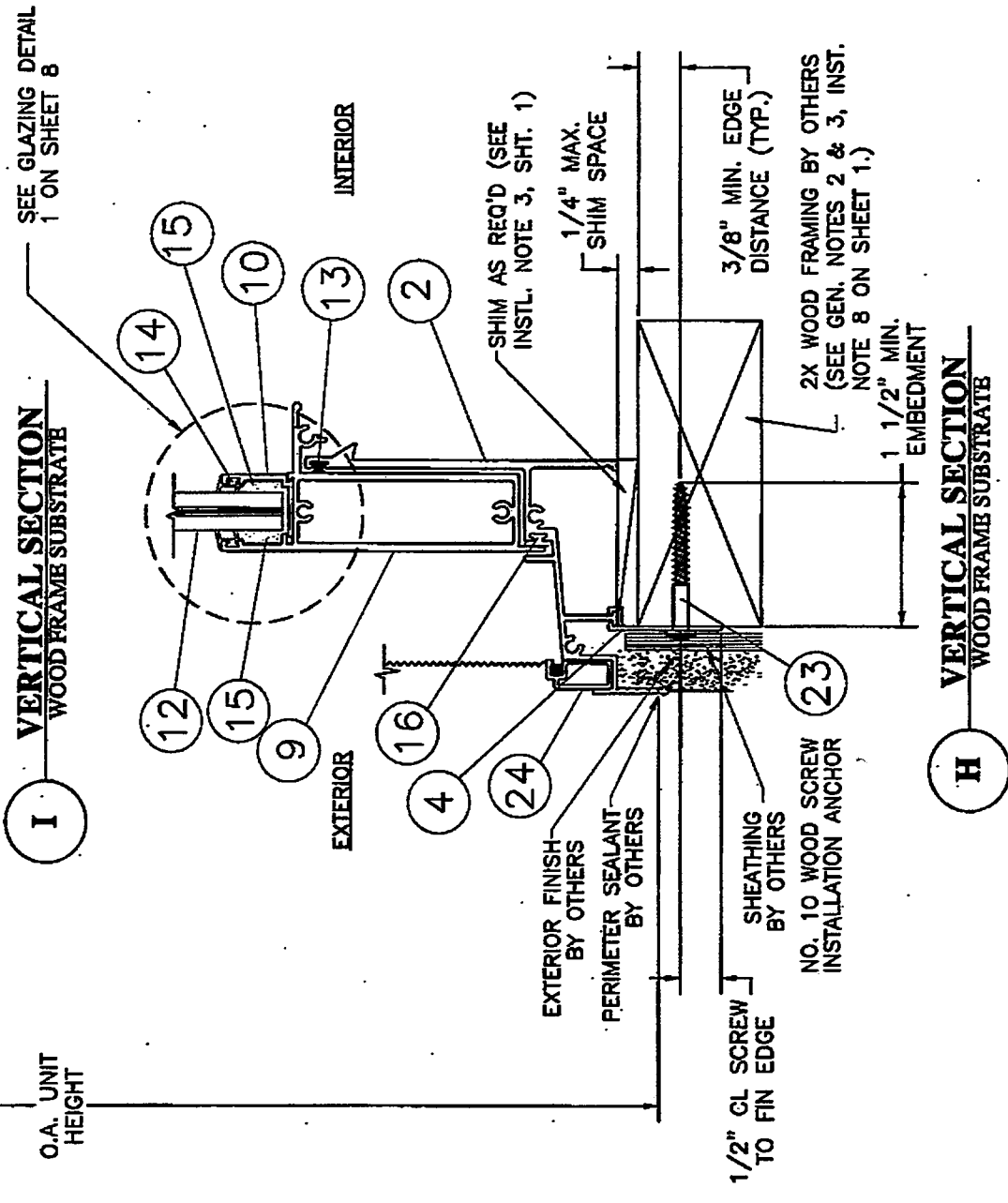
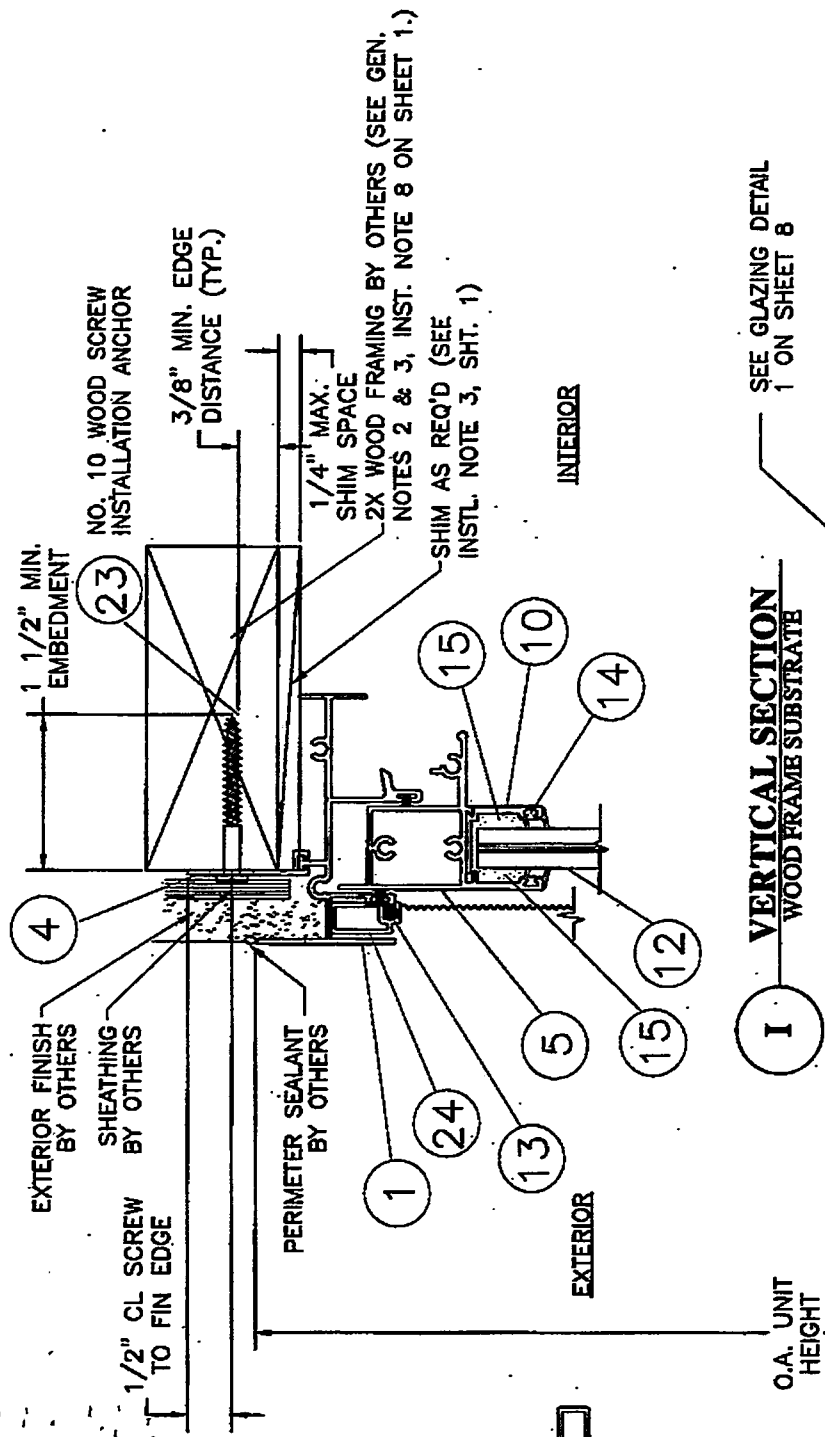


PROJECT # 411-0112			
REV.	DESCRIPTION	DATE	BY
2	PER DADE LETTER	07/06/11	T.J.H.
1	NOA RENEWAL	3/9/11	R.J.A.

JELD-WEN 3737 LAKEPORT BLVD. KIAMATH FALLS, OR 97601			
Premium Atlantic Aluminum 6400 Double Hung Window Unit			
SECTIONS - FLANGE INST. IN CONCRETE/MASONRY			
PREPARED BY:	DATE:	DRAWN BY:	SCALE:
P.T.C. LLC P.O. Box 50775 Longwood, FL 32750-0775 Phone 321.331.7775 Fax 321.331.7789 Email info@ptc-usa.com	04/12/06	BB	N.T.S.
REV:	DATE:	BY:	DESCRIPTION:
2	04/12/06	BB	FLD0020
1	04/12/06	BB	FLD0020

PRODUCT RENEWED
as complying with the Florida
Building Code
Acceptance No. 11-2436-03
Expiration Date 03/28/2013
By *[Signature]*
Miami Dade Product Control

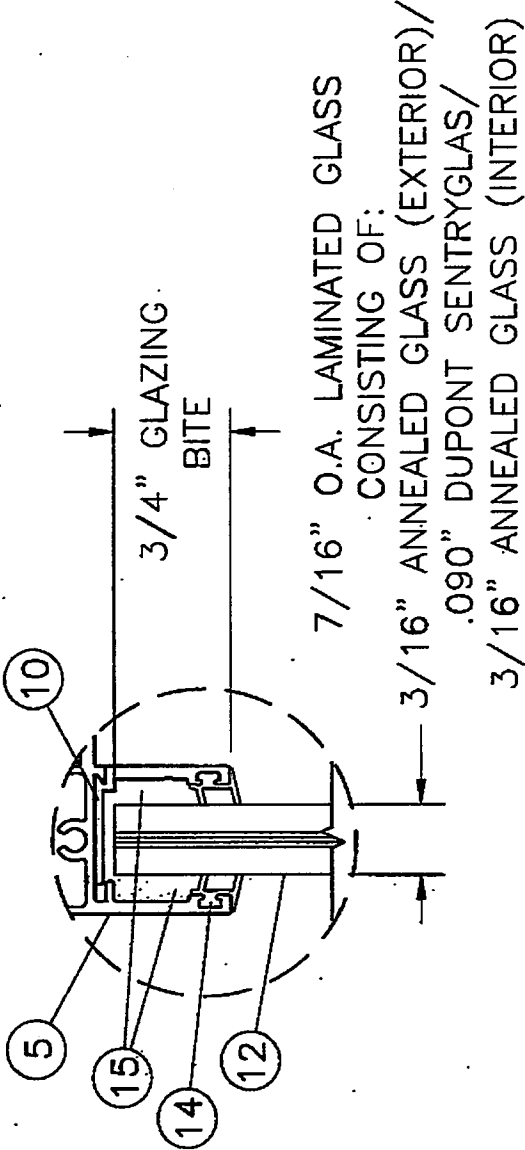




JELD-WEN 3737 LAKEPORT BLVD. KLAMATH FALLS, OR 97601.		Premium Atlantic Aluminum 6400 Double Hung Window Unit SECTIONS - NAILING FIN INST. IN WOOD		PREPARED BY:  PJC, LLC P.O. Box 520775 Longwood, FL 32762-0775 Phone: 321.950.1788 Email: info@pjc-llc.com	
DRAWN BY: BB		SCALE: N.T.S.		REV: 2	
DATE: 04/12/06		DRAWING NO.: JELD0020		REV: 2	
2		2		2	
PER DADE LETTER DATED JUNE 28, 2011		NOA RENEWAL		DESCRIPTION	
07/06/11		3/9/11		DATE	
PROJECT # 411-0112		PROJECT # 411-0112		PROJECT # 411-0112	

BILL OF MATERIALS

ITEM #	PART NO.	DESCRIPTION	ALLOY	SUPPLIER
1	11342	FRAME HEAD	6063-T6	SAPA
2	11344	FRAME SILL	6063-T6	SAPA
3	11343	FRAME JAMB	6063-T6	SAPA
4	45222	APPLIED FIN	6063-T5	SAPA
5	46209	TOP SASH RAIL	6063-T6	SAPA
6	46207	TOP SASH RAIL I'LOCK RAIL	6063-T6	SAPA
7	46206	DTM SASH RAIL I'LOCK IMPACT RAIL	6063-T6	SAPA
8	46208	SASH JAMB/SILL IMPACT	6063-T6	SAPA
9		EXTERNAL VENT SILL	6063-T6	SAPA
10	46210	GLAZING BEAD IMPACT	6063-T6	SAPA
11		.500" X .625" STEEL REINF. BAR (70 KSI ULT. STRENGTH)	C1018	
12		7/16" O.A. LAMINATED GLASS: 3/16" ANNEALED EXTERIOR/ .090" SENTRY PLUS FILM/ 3/16" ANNEALED INTERIOR		
13		.187" HIGH WOOLPILE W/INTEGRAL PLASTIC FIN		
14		BULB VINYL - DUROMETER 75-80 SHORE D		
15		SILICONE DOW CORNING 995		
16		VINYL WEDGE		
17		VINYL SASH STOP - DUROMETER 75 - 80 SHORE D		
18		BLOCK & TACKLE BALANCE		
19		BALANCE TAKE OUT CLIP		
20		SWEEP LOCK		
21		1/4" DIA. ITW ADVANCED THREADFORM TECH. TAPCON	STEEL	ITW
22		#14 WOOD SCREW INSTALLATION ANCHOR	STEEL	
23		#10 WOOD SCREW INSTALLATION ANCHOR	STEEL	
24	GAH-43585	INSECT SCREEN FRAME	6063-T5	INDALEX



GLAZING DETAIL 1

PROJECT # 411-0112

PER DATE LETTER
07/06/11

DATE
3/9/11

DESCRIPTION
NOA RENEWAL

BY
RJA

DATE
04/12/06

DRAWING NO.
JELD0020

SHEET
8 OF 11

DATE
04/12/06

BB

SCALE
N.T.S.

REV
2

PREPARED BY
JELD-WEN

3737 LAKEPORT BLVD.
KIAMATH FALLS, OR 97601

PREMIUM ALUMINUM 6400 DOUBLE HUNG WINDOW, LMT
GLAZING DETAIL & BILL OF MATERIALS

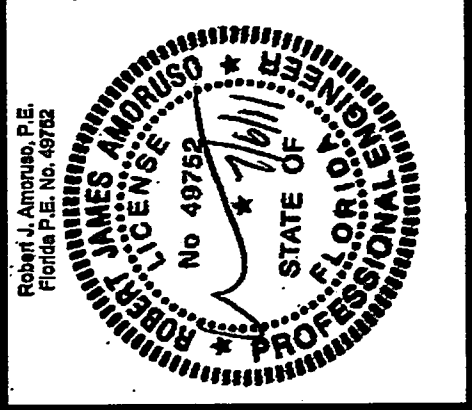
PRODUCT RENEWED
as complying with the Florida
Building Code
Acceptance No.
Expiration Date: 11-04-26-03

By: *[Signature]*
Miami Trade Product Control

Robert J. Amoroso, P.E.
Florida P.E. No. 49762

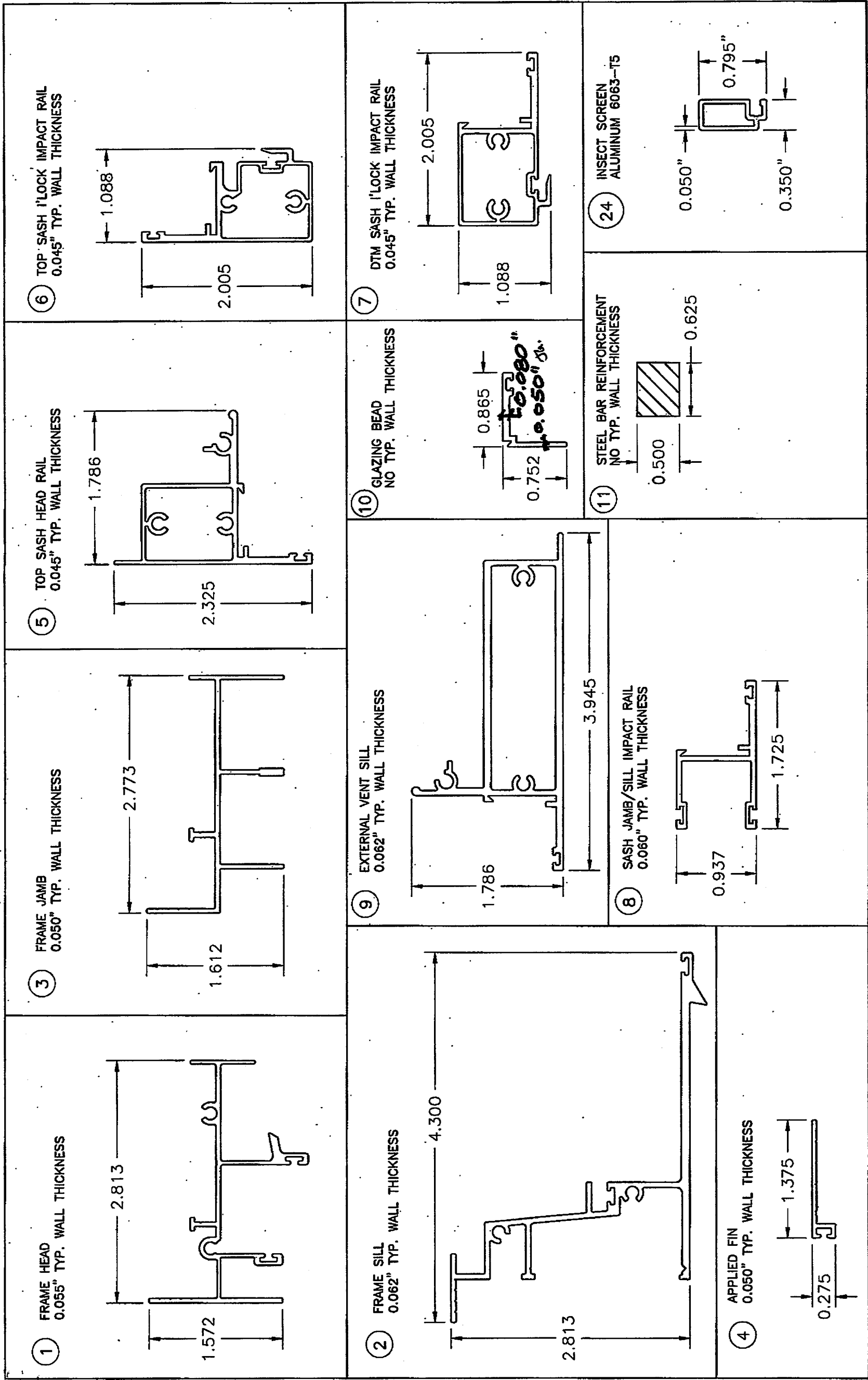
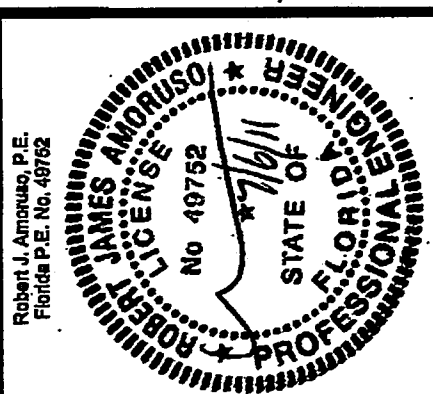
ROBERT JAMES AMOROSO
No 49752
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

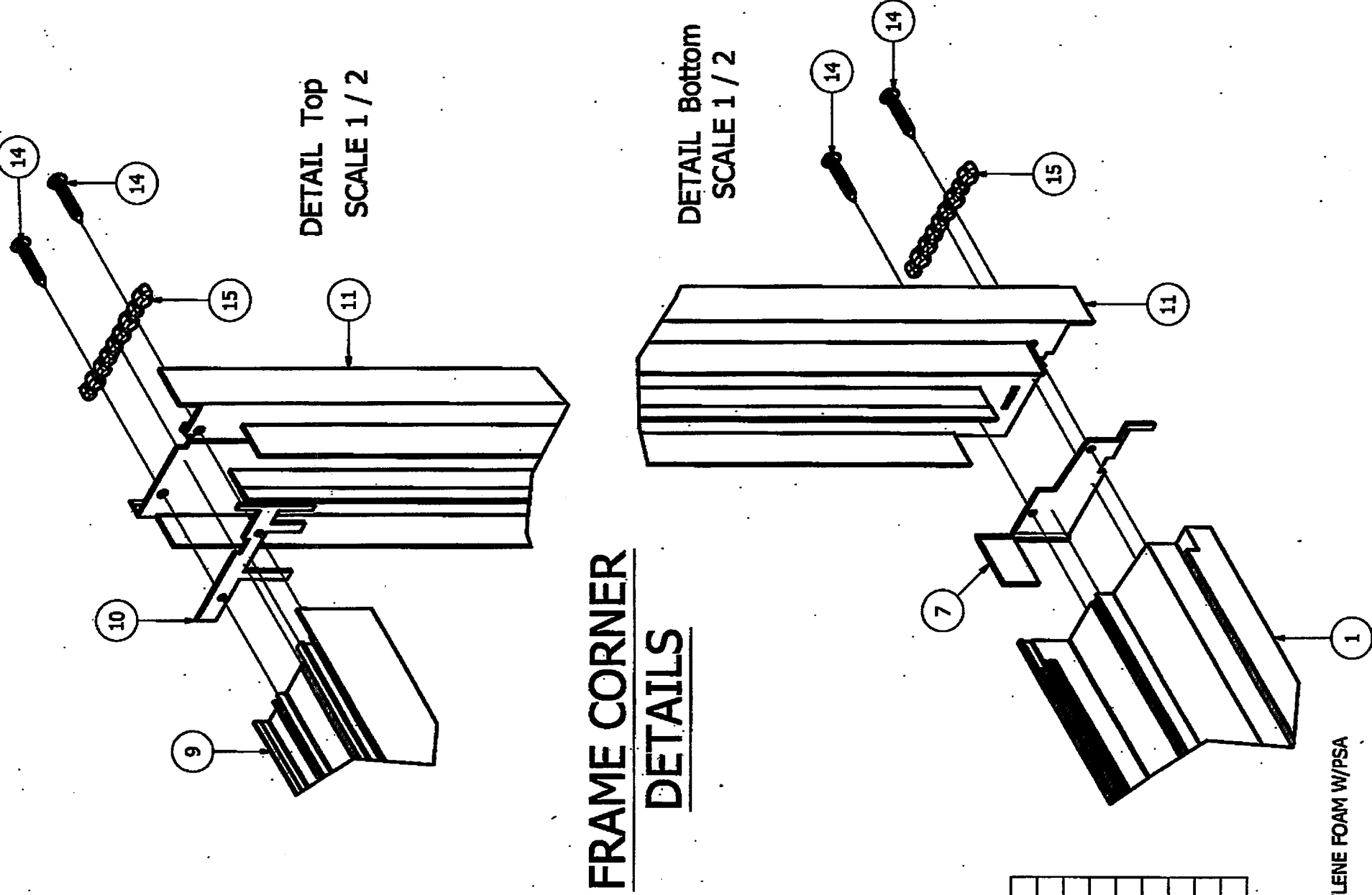
11-04-26-03
11-04-26-03



PROJECT #411-0112		JELD-WEN 3737 LAKEPORT BLVD. KILMATH FALLS, OR 97603		Premium Atlantic Aluminum 6400 Double-Hung Window, LMI	
PER DADE LETTER DATED JUNE 28, 2011		DATE 04/12/06		DRAWN BY: BB	
NOA RENEWAL		SCALE N.T.S.		REV: 2	
DESCRIPTION		SHEET 9 OF 11		P.T.C. LLC P.O. Box 53075 Longwood, FL 32754-0775 Phone 407.480.1789 Fax 407.480.1789 Email info@ptc-corp.com	
DATE 3/8/11	BY RJA				

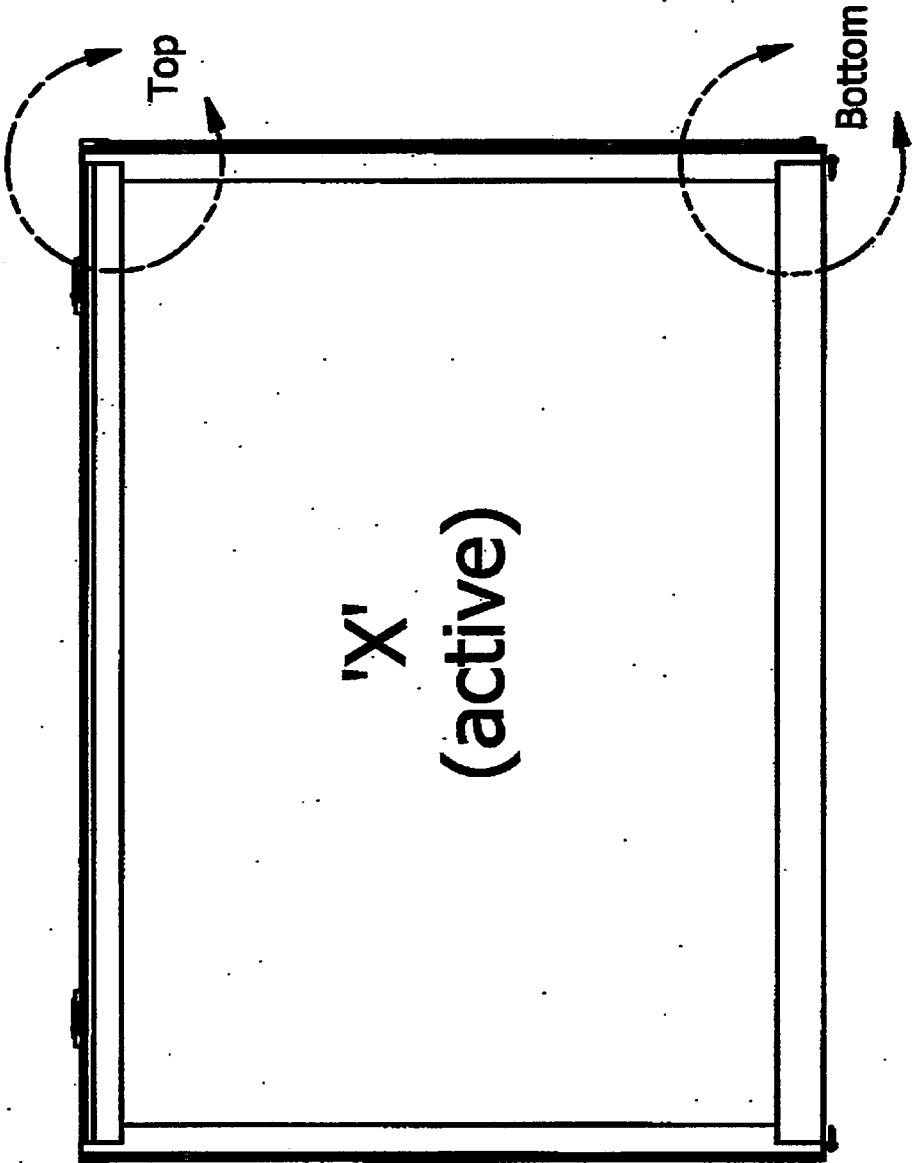
PRODUCT RENEWED
as complying with the Florida
Building Code
Acceptance No. **11-0426-03**
Expiry Date **08/16/2016**
By *[Signature]*
Miami Dade Product Control



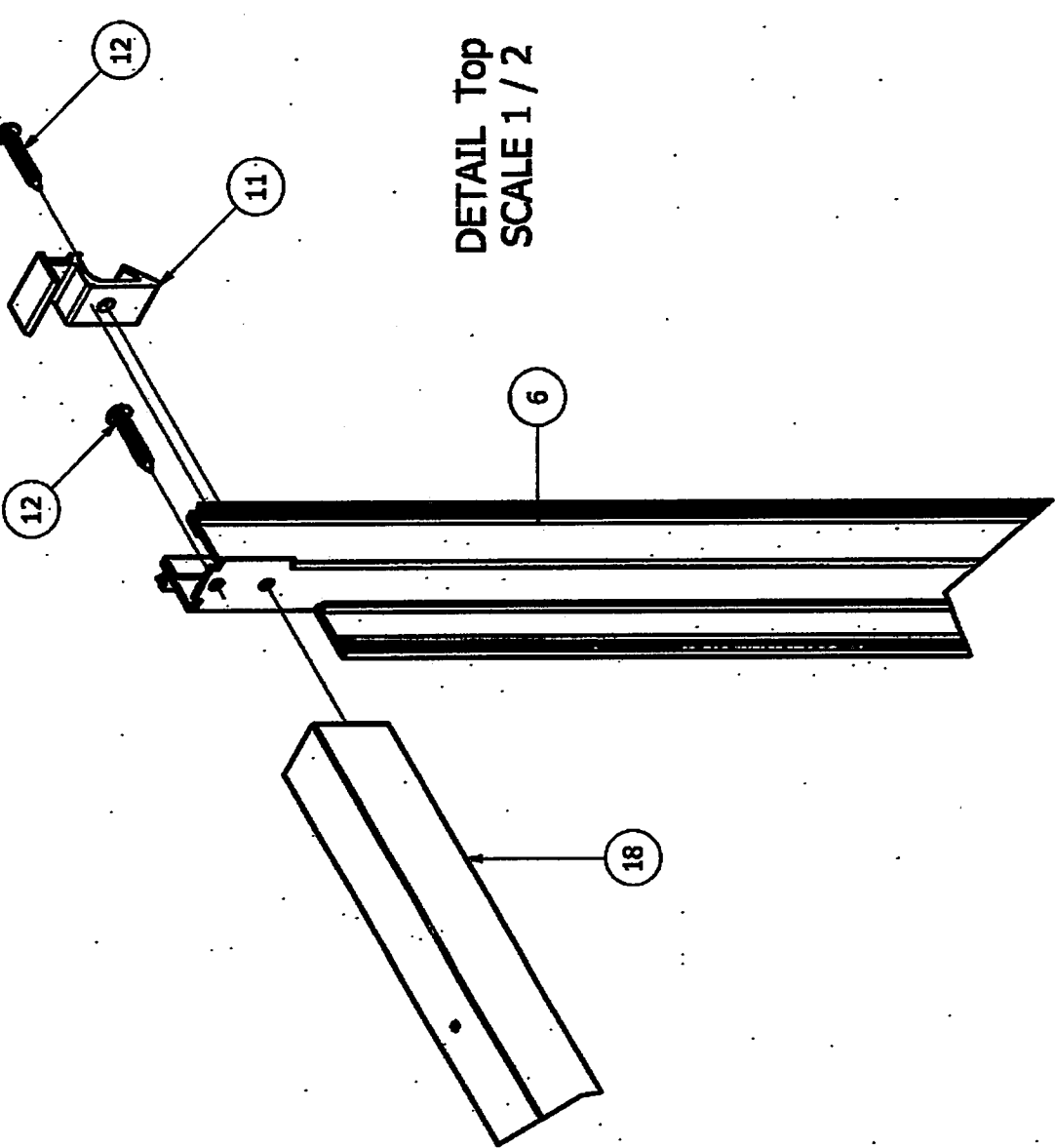


NOTE:
1) BOM ONLY APPLICABLE TO THIS SHEET
2) ITEM NO. 5 AND 11 ABOVE MADE FROM

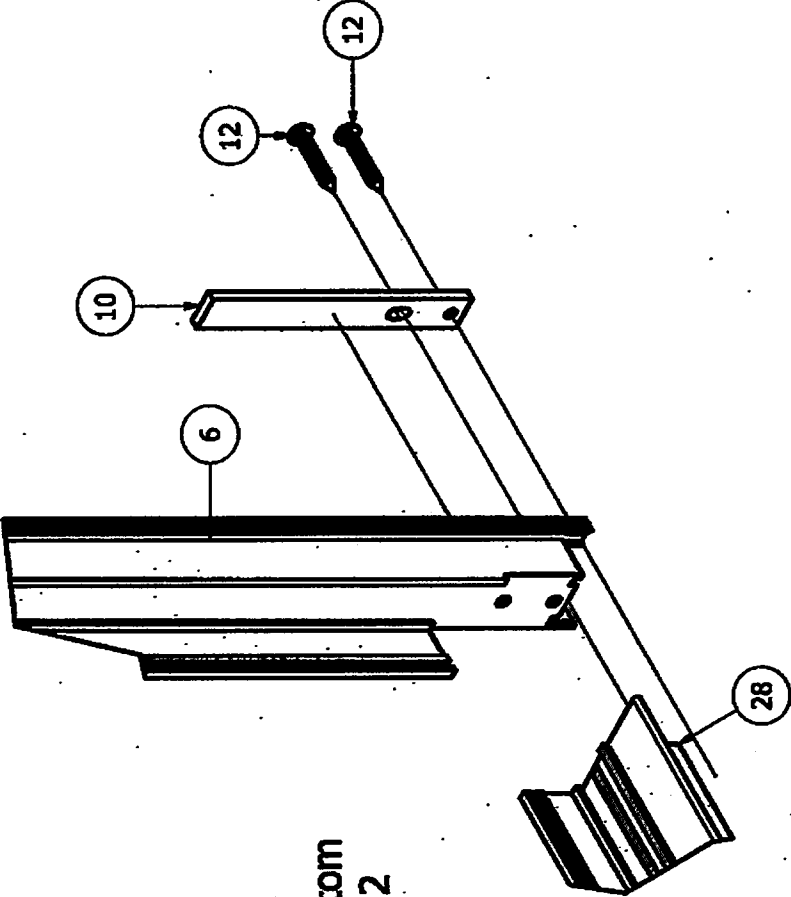
SASH CORNER DETAILS



DETAIL Top
SCALE 1 / 2



DETAIL Bottom
SCALE 1 / 2



PARTS LIST			
ITEM	QTY	PART NUMBER	DESCRIPTION
6	2	00631	Sash - Stile
10	2	01024	Balance Guide
11	2	02000	Sash Cam (00697)
12	8	00169	#8 x 1.00" PPH SMS S/S
18	1	00621	Interlock - Bottom (601BIV)
28	1	00633	Lift Rail

NOTE:
1) BOM ONLY APPLICABLE TO THIS SHEET

PROJECT # 411-0112		JELD-WEN 3737 LAKEPORT BLVD. KLAMATH FALLS, OR 97601	
PER DADE LETTER DATED JUNE 28, 2011		Premium Atlantic Aluminum 6400 Double Hung Window, LMT SASH CORNER CONSTRUCTION DETAILS	
NOA RENEWAL	DATE: 04/12/06	SCALE: N.T.S.	DATE: 04/12/06
DATE: 3/9/11	DATE: 07/06/11	REV: 2	REV: 2
DATE: 3/9/11	DATE: 07/06/11	REV: 2	REV: 2

PRODUCT RENEWED
as complying with the Florida
Building Code
Acceptance No. 11-042603
Expiration Date 03/16/2013

By *[Signature]*
Miami Dade Product Control

PREPARED BY:
P.T.C. LLC
P.O. Box 22775
Longwood, FL 32752-0775
Phone: 407.350.1700
Fax: 407.350.1700
Email: info@ptc.com

Robert J. Amoroso, P.E.
Florida P.E. No. 49752

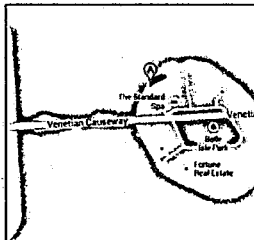
STATE OF
FLORIDA
PROFESSIONAL ENGINEER
ROBERT JAMES AMOROSO
No. 49752
11/6/11

PREPARED BY:

EXACTA

Land Surveyors, Inc.

www.exactaland.com
Toll Free 866-735-1916 • F 866-744-2882



PROPERTY ADDRESS: 8 CENTURY LANE MIAMI BEACH, FLORIDA 33139

SURVEY NUMBER: 12.0417

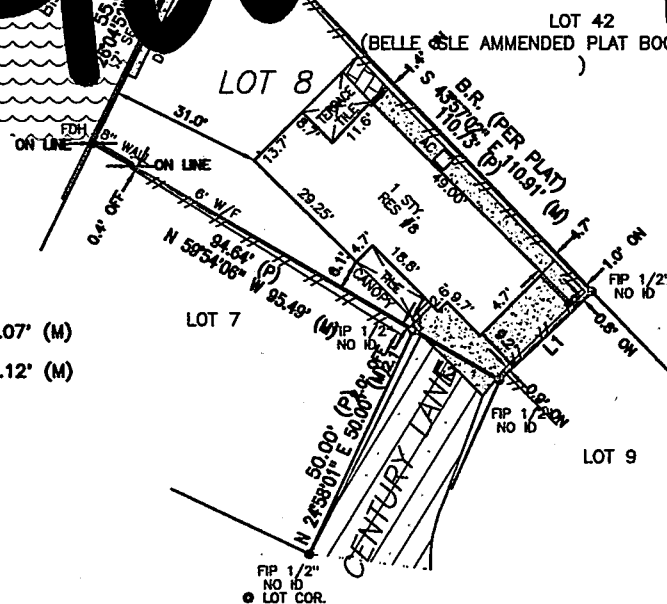
FIELD WORK DATE: 12/12/2013
1312.0417
BOUNDARY SURVEY
MIAMI-DADE COUNTY

REVISION DATE(S): (REV. 0 12/16/2013)

BK 600 K

TABLE:

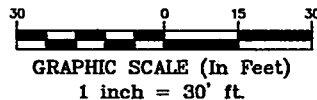
L1 26.11' (P)
S 48°15'22" W 26.07' (M)
L2 20' (P)
N 60°02'52" W 20.12' (M)



FENCE OWNERSHIP WAS NOT DETERMINED.

I hereby certify that the Boundary Survey of the hereon described property has been made under my direction, and to the best of my knowledge and belief, it is a true and accurate representation of a survey that meets the minimum technical standards set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17 of the Florida Administrative Code.

RONALD W. WALLING
State of Florida Professional Surveyor and Mapper
License No. 6473



Use of This Survey for Purposes other than Intended, Without Written Verification, will be at the User's Sole Risk and Without Liability to the Surveyor.
Nothing hereon shall be Construed to Give ANY Rights or Benefits to Anyone Other than those Certified.

FLOOD INFORMATION:

BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE AE (WITH A BASE FLOOD ELEVATION OF 9). THIS PROPERTY WAS FOUND IN THE CITY OF MIAMI BEACH, COMMUNITY NUMBER 120651, DATED 09/11/09.

POINTS OF INTEREST
NONE VISIBLE

CLIENT NUMBER:

DATE: 12/16/2013

BUYER:

SELLER: BRIAN CLARK

CERTIFIED TO:



**AFFILIATE
MEMBERS**

EXACTA
Land Surveyors, Inc.

LB# 7337

www.exactaland.com
P866-735-1916 • F866-744-2882
11940 Fairway Lakes Drive, Suite 1 • Ft. Myers, FL 33913

LOT 8 OF BELLE ISLES VILLAS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 42, PAGE 92, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

THE BEARING REFERENCE OF SOUTH 43 DEGREES 57 MINUTES 02 SECONDS EAST IS BASED ON THE NORTHEASTERLY PROPERTY LINE OF LOT 8, LOCATED WITHIN OF BELLE ISLES VILLAS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 42, PAGE 92, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

1. The Legal Description used to perform this survey was supplied by others. This survey does not determine or imply ownership.
2. This survey only shows improvements found above ground. Underground footings, utilities and encroachments are not located on this survey map.
3. If there is a septic tank, or drain field shown on this survey, the location is approximate as the location was either shown to Exacta by a third party or it was estimated by metal detection, probing rods, and visual above ground inspection only. No excavation was performed in order to determine the exact and accurate location.
4. This survey is exclusively for the use of the parties to whom it is certified.
5. Additions or deletions to this survey map and report by other than the signing party or parties is prohibited without written consent of the signing party or parties.
6. Dimensions are in feet and decimals thereof.
7. Due to varying construction standards, house dimensions are approximate.
8. Any FEMA flood zone data contained on this survey is for informational purposes only. Research to obtain such data was performed at www.fema.gov.
9. All corners marked as set are at a minimum a 1/2" diameter, 18" iron rebar with a cap stamped LB#7337.
10. If you signed this survey in an electronic format, the information contained on this document is only valid if this document is electronically signed as specified in Chapter 53-17.062 (3) of the Florida Administrative Code and Florida Statute 472.0225. The Electronic Signature File related to this document is prominently displayed on the invoice for this survey which is sent under separate cover. Manually signed and sealed logs of this survey signature files are kept in the office of the performing surveyor. If this document is in paper format, it is not valid without the signature and original raised seal of a Florida Licensed Surveyor.
11. Unless otherwise noted, an examination of the abstract of title was NOT performed by the signing surveyor to determine which instruments, if any, are affecting this property.
12. The symbols reflected in the legend and on this survey may have been enlarged or reduced for clarity. The symbols have been plotted at the center of the field and may not represent the actual shape or size of the feature.
13. Points of Interest (POIs) are selected above-ground improvements which may be in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. There may be additional POIs which are not shown, not called-out as POIs, or which are otherwise unknown to the surveyor. These POIs may not represent all items of interest to the viewer.
14. Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.
15. The information contained on this survey has been performed exclusively, and is the sole responsibility, of Exacta Surveyors. Additional logo or references to third party firms are for informational purposes only.
16. Pursuant to F.S. 558.0035, an individual employee or agent may not be held individually liable for negligence.
17. House measurements should not be used for new construction or planning. Measurements should be verified prior to such activity.

In complete accordance with Florida Statute 47.02(5) and Pursuant to the Electronic Signature Act of 1996 or Florida Statute Title XXXIX, Chapter 668, if this document was received electronically via PDF, then it has been lawfully Electronically Signed. Therefore, this survey PDF is Authentic, is Completely official and Inalterable. In order to validate the Electronic Signature of PDF surveys sent from www.surveystars.com, you must use a hash calculator. A free hash calculator is available for download at: www.softpdf.com/Get/System/File/Manager/Hash-Calculator/Hash-Util.html

In order to validate the Electronic Signature of any survey PDF sent via www.surveystars.com:

1. Download the Hash Calculator available at: www.softpdf.com/Get/System/File/Manager/Hash-Calculator/Hash-Util.html
2. Save the Survey PDF onto your computer from www.surveystars.com or from the email you received from www.surveystars.com
3. Click the Square Browse button in the upper right hand corner of the Hash Calculator to find and select the saved Survey PDF document, and click the COMPUTE button in the lower right hand corner of the Hash Calculator
4. Compare the 40 digit string of characters in the SHA-1 Title to the 40 digit SHA-1 characters for the survey in the job file in www.surveystars.com which is also printed on the Invoice for that survey.
5. If the 40 digit string of SHA-1 characters are exactly the same on the Invoice for the Survey (at www.surveystars.com) as they are in the Hash Calculator then the Survey is Authentic. If the 40 digit string of characters does not match exactly, then this PDF has been tampered with and it is not authentic.

1. While viewing the survey in Adobe Reader, select the "Print" button under the "File" tab.
 2. Select a printer with legal sized paper.
 3. Under "Print Range", click select the "All" toggle.
 4. Under the "Page Handling" section, select the number of copies that you would like to print.
 5. Under the "Page Scaling" selection drop down menu, select "None."
 6. Uncheck the "Auto Rotate and Center" checkbox.
 7. Check the "Choose Paper size by PDF" checkbox.
 8. Click OK to print.
- TO PRINT IN BLACK + WHITE:**
1. In the main print screen, choose "Properties".
 2. Choose "Quality" from the options.
 3. Change from "Auto Color" or "Full Color" to "Gray Scale".

EXACTA
25% off
(UP TO \$500)
**ANY FUTURE
SURVEYING SERVICES
ON THIS PROPERTY**

Offer valid only for the buyer as listed on the first page of the survey. Total discount not to exceed \$500.



Boundary Survey

SURVEY #FL0803.0153EC

PROPERTY ADDRESS:
8 CENTURY LANE
MIAMI BEACH, FLORIDA 33139

LEGAL DESCRIPTION:

Lot 8, BELLE ISLE VILLAS according to the plat thereof, as recorded in Plat Book 42, Page 92 of the public records of MIAMI-DADE County, FLORIDA.

Community Number: 12025

Panel: 0184 Suffix: J

Index Date: 7/17/1995 F.I.R.M. Date: 03/02/94

Flood Zone AE

Field Work: 3/7/2008 Completed: 3/10/2008



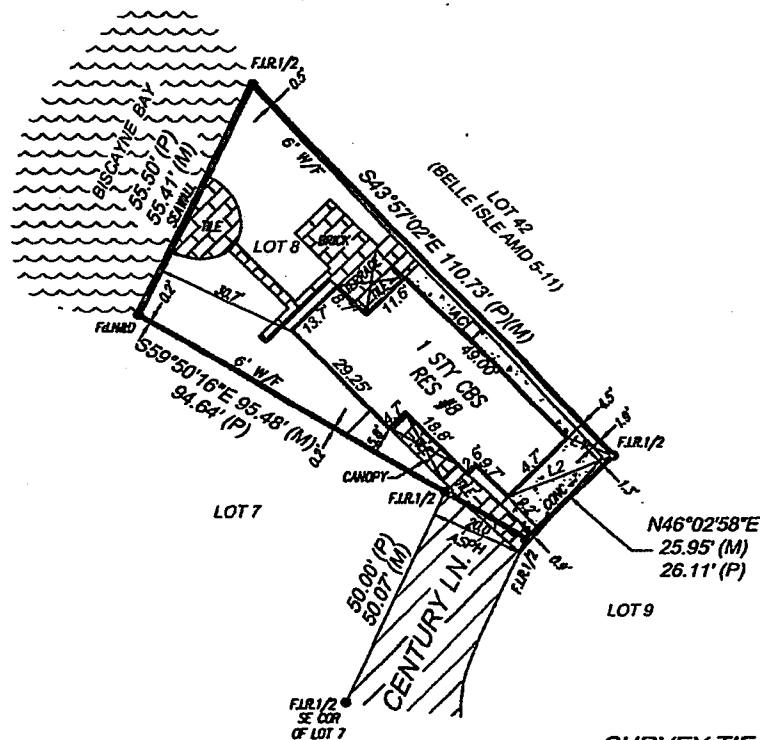
CERTIFIED TO:

**BRIAN CLARK ; P & P TITLE SERVICES, LLC-MIAMI
; UNITED GENERAL TITLE INSURANCE COMPANY
; BANK OF AMERICA ; ; ATIMA ; ISAOA.**

For Surveyors Notes and Legend, see page 2

FL-0803-0153

**MIAMI-DADE COUNTY
BOUNDARY SURVEY**



SURVEY TIE LINE

L1 N69°18'23"W 10.55'
L2 S68°08'09"W 24.35'

I hereby certify that this Sketch of Survey of the herein described property is a true and correct representation of a survey made under my direction and that said Survey meets the minimum technical standards set forth by the Florida Board of Professional Land Surveyors, pursuant to Section 472.02, Florida Statutes, and Chapter 61G-17 of the Florida Administrative Code. Further, this document is electronically signed and recorded pursuant to Section 472.027 of the Florida Statutes and Chapter 61G-17-7.0025 of the Florida Administrative Code. STATE OF

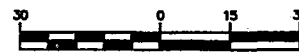
POINTS OF INTEREST

NO POINTS INTEREST WERE
OBSERVED AT THE TIME IT WAS
SURVEYED

THERE ARE FENCES NEAR THE
BOUNDARY OF THIS PROPERTY.
FENCE OWNERSHIP WAS NOT
DETERMINED.

DALE R. HAYWOOD

State of Florida Professional Surveyor and Mapper License No.65711



U.S. DEPARTMENT OF HOMELAND SECURITY
Federal Emergency Management Agency
National Flood Insurance Program

ELEVATION CERTIFICATE

Important: Read the instructions on pages 1-8.

OMB No. 1650-0008
Expires February 28, 2009

SECTION A - PROPERTY INFORMATION

A1. Building Owner's Name BRIAN CLARK		For Insurance Company Use	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 8 CENTURY LANE		Policy Number	
City MIAMI BEACH		Company NAIC Number	
State FLORIDA		ZIP Code 33139	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Lot 8, BELLE ISLE VILLAS according to the plat thereof, as recorded in Plat Book 42, Page 92 of the public records of MIAMI-DADE County, FLORIDA.			
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) RESIDENTIAL			
A5. Latitude/Longitude: Lat. 25° 47'31" Long. 80° 08'59"		Horizontal Datum: ☐ NAD 1927 ☒ NAD 1983	
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.			
A7. Building Diagram Number 8			
A8. For a building with a crawl space or enclosure(s), provide:		A9. For a building with an attached garage, provide:	
a) Square footage of crawl space or enclosure(s) 533.75 sq ft		a) Square footage of attached garage n/a sq ft	
b) No. of permanent flood openings in the crawl space or enclosure(s) walls within 1.0 foot above adjacent grade 3		b) No. of permanent flood openings in the attached garage walls within 1.0 foot above adjacent grade n/a	
c) Total net area of flood openings in A8.b 560 sq in		c) Total net area of flood openings in A9.b n/a sq in	

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number DADE CO UNINC&INC AREAS 12025		B2. County Name MIAMI-DADE		B3. State FLORIDA	
B4. Map/Panel Number 12025 - 0184	B5. Suffix J	B6. FIRM Index Date 7/17/1995	B7. FIRM Panel Effective/Revised Date 03/02/94	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) 9.0' NGVD 29

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.
☐ FIS Profile ☒ FIRM ☐ Community Determined ☐ Other (Describe) _____

B11. Indicate elevation datum used for BFE in Item B9: ☒ NGVD 1929 ☐ NAVD 1988 ☐ Other (Describe) _____

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? ☐ Yes ☒ No
 Designation Date **n/a** ☐ CBRS ☐ OPA

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: ☐ Construction Drawings* ☐ Building Under Construction* ☒ Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-g below according to the building diagram specified in Item A7.

Benchmark Utilized **3245-se-d-169-7.86** Vertical Datum _____

Conversion/Comments _____

Check the measurement used.

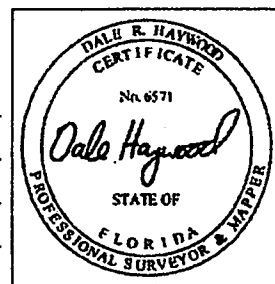
a) Top of bottom floor (including basement, crawl space, or enclosure floor)	4.88	☒ feet	☐ meters (Puerto Rico only)
b) Top of the next higher floor	6.47	☒ feet	☐ meters (Puerto Rico only)
c) Bottom of the lowest horizontal structural member (V Zones only)	n/a	☒ feet	☐ meters (Puerto Rico only)
d) Attached garage (top of slab)	na	☒ feet	☐ meters (Puerto Rico only)
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment in Comments)	6.00	☒ feet	☐ meters (Puerto Rico only)
f) Lowest adjacent (finished) grade (LAG)	4.63	☒ feet	☐ meters (Puerto Rico only)
g) Highest adjacent (finished) grade (HAG)	4.76	☒ feet	☐ meters (Puerto Rico only)

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

☒ Check here if comments are provided on back of form.

Certifier's Name Dale Haywood		License Number 6571	
Title Professional Surveyor and Mapper		Company Name Exacta Land Surveyors, Inc.	
Address 9200 S. DADELAND BLVD., STE. 110		City MIAMI	
State FL		ZIP Code 33156	
Signature <i>Dale Haywood</i>		Date 3/10/2008	
		Telephone P: 305.668.6169	



IMPORTANT: In these spaces, copy the corresponding information from Section A.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.

8 CENTURY LANE

City

MIAMI BEACH

State

FL

ZIP Code

33139

For Insurance Company Use

Policy Number

Company NAIC Number

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

CEMENT CONDITIONER

Centerline Road Elevation: 4.57

Signature

John H. Hargrave

Date

3/10/2008

☐ Check here if attachments

SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).

a) Top of bottom floor (including basement, crawl space, or enclosure) is n/a ☒ feet ☐ meters ☐ above or ☐ below the HAG.

b) Top of bottom floor (including basement, crawl space, or enclosure) is n/a ☒ feet ☐ meters ☐ above or ☐ below the LAG.

E2. For Building Diagrams 6-8 with permanent flood openings provided in Section A Items 8 and/or 9 (see page 8 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is n/a ☒ feet ☐ meters ☐ above or ☐ below the HAG.

E3. Attached garage (top of slab) is n/a ☒ feet ☐ meters ☐ above or ☐ below the HAG.

E4. Top of platform of machinery and/or equipment servicing the building is n/a ☒ feet ☐ meters ☐ above or ☐ below the HAG.

E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner's or Owner's Authorized Representative's Name

Address

City

State

ZIP Code

Signature

Date

Telephone

Comments

☐ Check here if attachments

SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8, and G9.

G1. ☐ The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)

G2. ☐ A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.

G3. ☐ The following information (Items G4.-G9.) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate Of Compliance/Occupancy Issued
-------------------	------------------------	---

G7. This permit has been issued for: ☐ New Construction ☐ Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: _____ ☐ feet ☐ meters (PR) Datum _____

G9. BFE or (in Zone AO) depth of flooding at the building site: _____ ☐ feet ☐ meters (PR) Datum _____

Local Official's Name

Title

Community Name

Telephone

Signature

Date

Comments

☐ Check here if attachments

SPECIAL SURVEYOR'S NOTES

SURVEYOR'S NOTES

1. THIS SURVEY HAS A "SHA-1" SECURE HASH MESSAGE DIGEST AUTHENTICATION CODE WITHIN ITS SIGNATURE FILE. A MANUALLY SIGNED AND SEALED LOG OF THIS SURVEY'S SIGNATURE FILE IS KEPT ON FILE AT EXACTA LAND SURVEYORS; THEREFORE, IN ACCORDANCE WITH FLORIDA STATUTE 61617-7.0025, THIS SURVEY IS ELECTRONICALLY SIGNED AND SEALED AND CAN BE DEEMED AN ORIGINAL DOCUMENT.
2. ANY ATTEMPT TO CHANGE ANYTHING ON THIS SURVEY WILL RESULT IN A CHANGE IN ITS AUTHENTICATION CODE THEREBY REMOVING THE ELECTRONIC SIGNATURE AND VOIDING THE VALIDITY OF THIS SURVEY.
3. THE LEGAL DESCRIPTION USED TO PERFORM THIS SURVEY WAS PROVIDED BY OTHERS. THIS SURVEY DOES NOT DETERMINE OR IMPLY OWNERSHIP.
4. AN EXAMINATION OF THE ABSTRACT OF TITLE WAS NOT MADE BY THE SURVEYOR TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THIS PROPERTY.
5. BOUNDARY DISTANCES AND DIRECTIONS ARE PLATTED AND MEASURED UNLESS OTHERWISE NOTED.
6. ELEVATIONS AND VERTICAL DATA, IF SHOWN, REFER TO NGVD 1929, UNLESS OTHERWISE NOTED.
7. THIS SURVEY ONLY SHOWS IMPROVEMENTS FOUND ABOVE GROUND. UNDERGROUND UTILITIES, FOOTINGS AND ENCROACHMENTS ARE NOT LOCATED ON THIS SURVEY MAP.
8. IF A SEPTIC TANK OR DRAINAGE FIELD IS SHOWN ON THIS SURVEY, THE LOCATION WAS SHOWN TO US BY OTHERS.
9. FENCE OWNERSHIP IS NOT DETERMINED, APPARENT CLEARANCES AND / OR ENCROACHMENTS ARE NOTED BY VISUAL MEANS ONLY.
10. NO IDENTIFICATION CAPS FOUND ON RECOVERED MONUMENTS UNLESS OTHERWISE NOTED.
11. THIS SURVEY IS EXCLUSIVELY FOR THE USE OF THE PARTIES TO WHOM IT IS CERTIFIED.
12. ADDITIONS OR DELETIONS TO SURVEY MAPS AND / OR NOTES ARE PROHIBITED. THIS SURVEY IS ONLY VALID WITH ALL OF THE PAGES CONTAINED HEREIN.
13. IF THIS SURVEY WAS RECEIVED ELECTRONICALLY, THIS SURVEY MAP IS NOT VALID WITHOUT A SIGNATURE AND AN AUTHENTICATED INK SEAL OF A FLORIDA REGISTERED PROFESSIONAL LICENSED SURVEYOR AND MAPPER, AND IT IS ONLY VALID IF ITS SHA-1 HASH MATCHES THE AUTHENTICATION CODE ON FILE AT EXACTA LAND SURVEYORS.
14. IF THIS SURVEY WAS RECEIVED BY MAIL, THIS SURVEY IS NOT VALID WITHOUT A SIGNATURE AND A RAISED SEAL OF A FLORIDA REGISTERED PROFESSIONAL LICENSED SURVEYOR AND MAPPER.
15. BASIS OF BEARINGS ARE ASSUMED OR BASED ON THE LINE MARKED AS B.R. OR AS OTHERWISE SPECIFIED.
16. DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
17. EXACTA LAND SURVEYORS IS NOT REGISTERED WITH FEMA TO PROVIDE FLOOD CERTIFICATES. THE FEMA FLOOD ZONE DATA ON THIS SURVEY IS FOR INFORMATIONAL PURPOSES ONLY.

PRINTING PROCEDURES

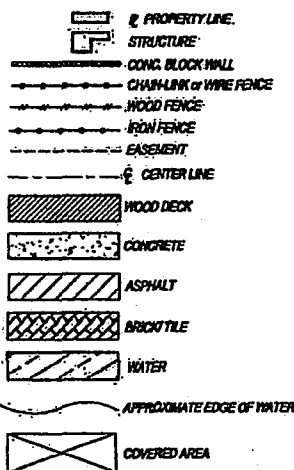
***BECAUSE THIS FILE HAS BEEN SENT ELECTRONICALLY, IT IS IMPERATIVE THAT THE PRINT SETTINGS BE CORRECT IN ORDER TO DEPICT AN ACCURATE REPRESENTATION OF THIS DOCUMENT ON PAPER.

1. INSERT LEGAL SIZED PAPER INTO YOUR PRINTER.
2. WHILE VIEWING THE SURVEY IN THE ADOBE READER, SELECT PRINT UNDER THE FILE TAB.

THE FOLLOWING COMMANDS ARE INSIDE THE ADOBE READER PRINT BOX:

3. SELECT COLOR PRINTER (IF AVAILABLE.)
4. UNDER PRINT RANGE, SELECT ALL.
5. UNDER PAGE HANDLING, SELECT NUMBER OF COPIES.
6. UNDER PAGE HANDLING, SELECT "NONE" FOR PAGE SCALING.
7. UNDER PAGE HANDLING, UNCHECK AUTO. ROTATE AND CENTER.
8. UNDER PAGE HANDLING, CHECK CHOOSE PAPER SOURCE BY PDF SIZE.
9. CLICK PRINT.

SURVEYOR'S LEGEND



C.U.E. COUNTY UTILITY ESMT.
 I.E./E.E. INGRESS/EGRESS ESMT.

F. FOUND
 N.F. NOT FOUND
 S. SET
 C.P. CONTROL POINT
 C.M. CONCRETE MONUMENT
 T. TREE
 P.P. POWER POLE
 C.B. CATCH BASIN
 B.M. BENCH MARK
 ELEV. ELEVATION
 P.T. POINT OF TANGENCY
 P.C. POINT OF CURVATURE
 P.R.M. PERMANENT REFERENCE MONUMENT
 P.C.C. POINT OF COMPOUND CURVATURE
 P.R.C. POINT OF REVERSE CURVATURE
 P.O.B. POINT OF BEGINNING
 P.O.C. POINT OF COMMENCEMENT
 P.C.P. PERMANENT CONTROL POINT
 M. FIELD MEASURED
 P. PLATTED MEASUREMENT
 L.A.E. LIMITED ACCESS EASEMENT
 L.L.E. LANDSCAPE MAINT. ESMT.

C. CALCULATED
 B.R. BEARING REFERENCE
 A. CENTRAL ANGLE or DELTA
 R. RADIUS or RADIAL
 RAD. RADIAL TIE
 N.R. NON RADIAL
 TYP. TYPICAL
 I.R. IRON ROD
 I.P. IRON PIPE
 N.B.D. NAIL & DISK
 P.K. NAIL PARKER-KALON NAIL
 D.H. DRILL HOLE
 W. WELL
 E.F.H. EXISTING FIRE HYDRANT
 M.H. MAN HOLE
 O.H.L. OVERHEAD LINE
 P.P. POWER POLE
 TX. TRANSFORMER
 CATV. CABLE TV. RISER
 W.M. WATER METER
 ESMT. EASEMENT
 ENCR. ENCROACHMENT
 D.E. DRAINAGE EASEMENT
 L.B.E. LANDSCAPE BUFFER ESMT.

TEL. TELEPHONE FACILITIES
 U.P. UTILITY POLE
 E.U.B. ELECTRIC UTILITY BOX
 SEP. SEPTIC TANK
 D.F. DRAIN FIELD
 A/C. AIR CONDITIONING
 S.W. SIDEWALK
 D.W. DRIVEWAY
 S.C.R. SCREEN
 GAR. GARAGE
 ENCL. ENCLOSURE
 N.T.S. NOT TO SCALE
 F.F. FINISHED FLOOR
 T.O.B. TOP OF BANK
 E.O.W. EDGE OF WATER
 E.O.P. EDGE OF PAVEMENT
 C.V.G. CONCRETE VALLEY GUTTER
 B.S.L. BUILDING SETBACK LINE
 S.T.L. SURVEY TIE LINE
 CL. CENTER LINE
 R.W. RIGHT OF WAY
 U.E. UTILITY EASEMENT
 R.O.E. ROOF OVERHANG EASEMENT
 L.A.E. LIMITED ACCESS EASEMENT

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE INDEX* = 77

The lower the EnergyPerformance Index, the more efficient the home.

8 Century Lane, MIAMI, FL, 33139-

1. New construction or existing	Existing (Project)	9. Wall Types	Insulation	Area
2. Single family or multiple family	Single-family	a. Concrete Block - Int Insul, Exterior	R=7.0	448.00 ft ²
3. Number of units, if multiple family	1	b. N/A	R=	ft ²
4. Number of Bedrooms	0	c. N/A	R=	ft ²
5. Is this a worst case?	No	d. N/A	R=	ft ²
6. Conditioned floor area (ft ²)	180	10. Ceiling Types	Insulation	Area
7. Windows**	Description	a. Roof Deck (Vented)	R=0.0	180.00 ft ²
a. U-Factor:	Sgl, U=1.09	b. N/A	R=	ft ²
SHGC:	SHGC=0.30	c. N/A	R=	ft ²
b. U-Factor:	N/A	11. Ducts	R	ft ²
SHGC:		a. Sup: RoomsInBlock1, Ret: RoomsInBlock1, AH:	6.7	5
c. U-Factor:	N/A			
SHGC:		12. Cooling systems	kBtu/hr	Efficiency
d. U-Factor:	N/A	a. Central Unit	12.0	SEER:15.00
SHGC:				
Area Weighted Average Overhang Depth:	0.250 ft.	13. Heating systems	kBtu/hr	Efficiency
Area Weighted Average SHGC:	0.300	a. Electric Strip Heat	12.0	COP:1.00
8. Floor Types	Insulation	Area		
a. Raised Floor	R=11.0	180.00 ft ²		
b. N/A	R=	ft ²		
c. N/A	R=	ft ²		
		14. Hot water systems	Cap: 1 gallons	EF: 0.86
		a. Electric		
		b. Conservation features		
		None		
		15. Credits		None

I certify that this home has complied with the Florida Energy Efficiency Code for Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features. *as design*

Builder Signature: _____

Date: 9/30/13

Address of New Home: _____

City/FL Zip: _____



*Note: This is not a Building Energy Rating. If your Index is below 70, your home may qualify for energy efficient mortgage (EEM) incentives if you obtain a Florida EnergyGauge Rating. Contact the EnergyGauge Hotline at (321) 638-1492 or see the EnergyGauge web site at energygauge.com for information and a list of certified Raters. For information about the Florida Building Code, Energy Conservation, contact the Florida Building Commission's support staff.

**Label required by Section 303.1.3 of the Florida Building Code, Energy Conservation, if not DEFAULT.

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Business and Professional Regulation - Residential Performance Method

Project Name: Brian Clark Street: 8 Century Lane City, State, Zip: MIAMI, FL, 33139 Owner: Brian Clark Design Location: FL, Miami	Builder Name: Jeff White Permit Office: MIAMI Permit Number: Jurisdiction: 232500
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Glass/Floor Area: 0.070	Total Proposed Modified Loads: 12.24	PASS
	Total Standard Reference Loads: 15.80	

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code. PREPARED BY: <u>Edgar Munoz PE</u> DATE: <u>9/30/12</u> I hereby certify that this building, as designed, is in compliance with the Florida Energy Code. OWNER/AGENT: _____ DATE: _____	Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes. BUILDING OFFICIAL: _____ DATE: _____
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- Compliance requires completion of a Florida Air Barrier and Insulation Inspection Checklist

PROJECT

Title: Brian Clark	Bedrooms: 0	Address Type: Street Address
Building Type: FLProp2010	Conditioned Area: 180	Lot #
Owner: Brian Clark	Total Stories: 1	Block/SubDivision:
# of Units: 1	Worst Case: No	PlatBook:
Builder Name: Jeff White	Rotate Angle: 45	Street: 8 Century Lane
Permit Office: MIAMI	Cross Ventilation: No	County: Dade
Jurisdiction: 232500	Whole House Fan: No	City, State, Zip: MIAMI, FL, 33139-
Family Type: Single-family		
New/Existing: Existing (Projected)		
Comment:		

CLIMATE

✓	Design Location	TMY Site	IECC Zone	Design Temp 97.5 %	Design Temp 2.5 %	Int Design Temp Winter	Int Design Temp Summer	Heating Degree Days	Design Moisture	Daily Temp Range
✓	FL, Miami	FL_MIAMI_INTL_AP	1	51	90	70	75	149.5	56	Low

BLOCKS

Number	Name	Area	Volume
1	Block1	180	1440

SPACES

Number	Name	Area	Volume	Kitchen	Occupants	Bedrooms	Infil ID	Finished	Cooled	Heated
1	RoomsInBlock1	180	1440	No	0	0	1	Yes	Yes	Yes

FLOORS

✓	#	Floor Type	Space	R-Value	Area	Tile	Wood	Carpet
✓	1	Raised Floor	RoomsInBlock1	—	180 ft²	11	0	0.13 0.87

ROOF

✓	#	Type	Materials	Roof Area	Gable Area	Roof Color	Solar Absor.	SA Tested	Emitt	Emitt Tested	Deck Insul.	Pitch (deg)
✓	1	Hip	Barrel tile	190 ft²	0 ft²	Medium	0.96	No	0.89	No	0	18.4

ATTIC

✓	#	Type	Ventilation	Vent Ratio (1 in)	Area	RBS	IRCC
✓	1	Full attic	Vented	0	180 ft²	Y	N

CEILING

✓	#	Ceiling Type	Space	R-Value	Area	Framing Frac	Truss Type
✓	1	Under Attic (Vented)	RoomsInBlock1	30	180 ft²	0.1	Wood

WALLS

✓	#	Omt	Adjacent To	Wall Type	Space	Cavity R-Value	Width Ft	In	Height Ft	In	Area	Sheathing R-Value	Framing Fraction	Solar Absor.	Below Grade%
	1	NE	Exterior	Concrete Block - Int Ins	RoomsInBloc	7	10	0	8	0	80 ft²	0	0	0.8	0
	2	SE	Exterior	Concrete Block - Int Ins	RoomsInBloc	7	18		8	0	144 ft²		0	0.75	0
	3	SW	Exterior	Concrete Block - Int Ins	RoomsInBloc	7	10	0	8	0	80 ft²		0	0.75	0
	4	NW	Exterior	Concrete Block - Int Ins	RoomsInBloc	7	18	0	8	0	144 ft²		0	0.75	0

DOORS

✓	#	Omt	Door Type	Space	Storms	U-Value	Width Ft	In	Height Ft	In	Area
	1	NE=>SW	Insulated	RoomsInBloc	Metal	0.46	3	0	6	8	20 ft²

WINDOWS

Orientation shown is the entered, Proposed orientation.

✓	#	Omt	Wall ID	Frame	Panes	NFRC	U-Factor	SHGC	Storms	Area	Overhang Depth	Separation	Int Shade	Screening
	1	SE=>NW	2	Metal	Single (Clear)	Yes	1.09	0.3	Y	12.59027	0 ft 3 in	1 ft 2 in	HERS 2006	None

INFILTRATION

#	Scope	Method	SLA	CFM 50	ELA	EqLA	ACH	ACH 50
1	BySpaces	Proposed SLA	0.000360	169.97	9.3312	17.548	0.2484	7.0821

HEATING SYSTEM

✓	#	System Type	Subtype	Efficiency	Capacity	Block	Ducts
	1	Electric Strip Heat	None	HSPF: 1	12 kBtu/hr	1	sys#1

COOLING SYSTEM

✓	#	System Type	Subtype	Efficiency	Capacity	Air Flow	SHR	Block	Ducts
	1	Central Unit	None	SEER: 15	12 kBtu/hr	360 cfm	0.7	1	sys#1

HOT WATER SYSTEM

✓	#	System Type	SubType	Location	EF	Cap	Use	SetPnt	Conservation
	1	Electric	Tankless	RoomsInBloc	0.18648	1 gal	30 gal	120 deg	None

SOLAR HOT WATER SYSTEM

✓	FSEC Cert #	Company Name	System Model #	Collector Model #	Collector Area	Storage Volume	FEF
	None	None			ft²		

DUCTS

✓ #	— Supply —			— Return —			Leakage Type	Air Handler CFM 25	Percent Leakage		QN	RLF	HVAC #	
	Location	R-Value	Area	Location	Area								Heat	Cool
1	RoomslnBloc	6.7	5 ft²	RoomslnBloc	5 ft²	DSE=0.88	RoomslnBI 0.0 cfm	0.00 %	0.00	0.60	1	1		

TEMPERATURES

Programable Thermostat: N

Ceiling Fans: N

Cooling	☒ Jan	☒ Feb	☒ Mar	☒ Apr	☒ May	☒ Jun	☒ Jul	☒ Aug	☒ Sep	☒ Oct	☒ Nov	☒ Dec
Heating	☒ Jan	☒ Feb	☒ Mar	☒ Apr	☒ May	☒ Jun	☒ Jul	☒ Aug	☒ Sep	☒ Oct	☒ Nov	☒ Dec
Venting	☒ Jan	☒ Feb	☒ Mar	☒ Apr	☒ May	☒ Jun	☒ Jul	☒ Aug	☒ Sep	☒ Oct	☒ Nov	☒ Dec

Thermostat Schedule: HERS 2006 Reference

Schedule Type		1	2	3	4	5	6	7	8	9	10	11	12
Cooling (WD)	AM	78	78	78	78	78	78	78	78	78	78	78	78
	PM	78	78	78	78	78	78	78	78	78	78	78	78
Cooling (WEH)	AM	78	78	78	78	78	78	78	78	78	78	78	78
	PM	78	78	78	78	78	78	78	78	78	78	78	78
Heating (WD)	AM	68	68	68	68	68	68	68	68	68	68	68	68
	PM	68	68	68	68	68	68	68	68	68	68	68	68
Heating (WEH)	AM	68	68	68	68	68	68	68	68	68	68	68	68
	PM	68	68	68	68	68	68	68	68	68	68	68	68

MECHANICAL VENTILATION

Type	Supply CFM	Exhaust CFM	Fan Watts	HRV	Heating System	Run Time	Cooling System
None	0	0	0	0	1 - Electric Strip Heat	0%	1 - Central Unit

Florida Code Compliance Checklist

Florida Department of Business and Professional Regulations
Residential Whole Building Performance Method

ADDRESS: 8 Century Lane
MIAMI, FI, 33139-

PERMIT #: B1300745

MANDATORY REQUIREMENTS SUMMARY - See individual code sections for full details.

COMPONENT	SECTION	SUMMARY OF REQUIREMENT(S)	CHECK
Air leakage	402.4	To be caulked, gasketed, weatherstripped or otherwise sealed. Recessed lighting IC-rated as meeting ASTM E 283. Windows and doors = 0.30 cfm/sq.ft. Testing or visual inspection required. Fireplaces: gasketed doors & outdoor combustion air. Must complete envelope leakage report or visually verify Table 402.4.2.	✓
Thermostat & controls	403.1	At least one thermostat shall be provided for each separate heating and cooling system. Where forced-air furnace is primary system, programmable thermostat is required. Heat pumps with supplemental electric heat must prevent supplemental heat when compressor can meet the load.	✓
Ducts	403.2.2	All ducts, air handlers, filter boxes and building cavities which form the primary air containment passageways for air distribution systems shall be considered ducts or plenum chambers, shall be constructed and sealed in accordance with Section 503.2.7.2 of this code.	✓
	403.3.3	Building framing cavities shall not be used as supply ducts.	✓
Water heaters	403.4	Heat trap required for vertical pipe risers. Comply with efficiencies in Table 403.4.3.2. Provide switch or clearly marked circuit breaker (electric) or shutoff (gas). Circulating system pipes insulated to = R-2 + accessible manual OFF switch.	✓
Mechanical ventilation	403.5	Homes designed to operate at positive pressure or with mechanical ventilation systems shall not exceed the minimum ASHRAE 62 level. No make-up air from attics, crawlspaces, garages or outdoors adjacent to pools or spas.	✓
Swimming Pools & Spas	403.9	Pool pumps and pool pump motors with a total horsepower (HP) of = 1 HP shall have the capability of operating at two or more speeds. Spas and heated pools must have vapor-retardant covers or a liquid cover or other means proven to reduce heat loss except if 70% of heat from site-recovered energy. Off/timer switch required. Gas heaters minimum thermal efficiency=78% (82% after 4/16/13). Heat pump pool heaters minimum COP= 4.0.	N/A
Cooling/heating equipment	403.6	Sizing calculation performed & attached. Minimum efficiencies per Tables 503.2.3. Equipment efficiency verification required. Special occasion cooling or heating capacity requires separate system or variable capacity system. Electric heat >10kW must be divided into two or more stages.	✓
Ceilings/knee walls	405.2.1	R-19 space permitting.	✓



NEWDOC

251 \$/L

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE BEFORE STARTING WORK. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK. CORRECTIONS OF THESE CONFLICTS ARE TO BE INCLUDED IN THE WORK AND IN THE PROPOSAL.
2. CONTRACTOR SHALL OBTAIN LATEST SET OF DRAWINGS, INCLUDING ANY REVISIONS, BEFORE STARTING CONSTRUCTION.
3. NO CHANGES OR SUBSTITUTIONS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
4. DRAWINGS ARE TO BE ISSUED TO THE SUBCONTRACTORS IN COMPLETE SETS SO THAT ALL ARCHITECTURAL DETAILS AFFECTING THEIR WORK ARE INCLUDED.
5. ALL DIMENSIONS MUST BE VERIFIED BY THE CONTRACTOR IN THE FIELD. ANY MAJOR DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
6. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS UNLESS AUTHORIZED BY THE ARCHITECT.
7. THE ARCHITECT RESERVES THE RIGHT TO REJECT ALL WORK THAT IS DEFECTIVE AND/OR OF POOR WORKMANSHIP OR WORK THAT DEVIATES FROM THE SPECIFICATIONS OF THESE DOCUMENTS.
8. THIS OFFICE DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE INTERPRETATION OF THESE PLANS BY OTHERS, UNLESS REQUESTED IN WRITING, AND IT IS GIVEN THE AUTHORITY TO CHECK AND APPROVE SHOP DRAWINGS.
9. ALL SECTIONS AND DETAILS SHALL BE CONSIDERED TYPICAL AND APPLY FOR SIMILAR SITUATIONS THROUGHOUT THE PROJECT, UNLESS OTHERWISE SPECIFICALLY NOTED.
10. REFER TO FINISH SCHEDULE, AT THE TIME OF BIDDING, FOR SPECIFICATIONS OF FINISHES, MATERIALS, COLOR, TREATMENTS, ETC. ALL OF THE ABOVE SHALL BE SPECIFIED BY THE ARCHITECT IF NOT NOTED THEREIN.

FINAL CLEANING

FLOORING:

- A. CLEAN SUBSTRATE, FILL CRACKS, HOLES, AND DEPRESSIONS, AND LEVEL FLOOR WITHIN 1/8" IN 10 FEET BEFORE THE LAYING OF THE WOOD FLOORING
- B. IN AREAS WHERE THE FLOORS WILL BE FINISHED BY OTHERS, THE CONTRACTOR IS TO BROOM CLEAN THE FLOOR ONE DAY BEFORE THE INSTALLATION OF FINISH FLOORING.
- C. GENERAL CONTRACTOR SHALL REMOVE FROM SITE ALL DEBRIS LEFT BY SUBCONTRACTORS PRIOR TO TENANT'S OCCUPANCY.

OTHER:

- A. REMOVE GREASE, MASTIC, ADHESIVE, DUST, DIRT, STAINS, FINGERPRINTS, LABELS, AND OTHER FOREIGN MATERIALS FROM THE SITE, AND FROM ANY OTHER EXPOSED FINISHED INTERIOR OR EXTERIOR SURFACES.
- B. WASH GLASS, AND MIRRORS AS PER MANUFACTURER'S SPECIFIC INSTRUCTIONS.
- C. POLISH GLOSSY SURFACES.
- D. CLEAN PERMANENT FILTERS, AND REPLACE FILTERS IN VENTILATING SYSTEMS, IF UNITS ARE OPERATED DURING CONSTRUCTION.
- E. CLEAN DUCTS, BLOWERS, AND COILS, IF UNITS OPERATED WITHOUT FILTERS DURING CONSTRUCTION.
- F. PRIOR TO OWNER OCCUPANCY, CONTRACTOR SHALL INSPECT THE SITE, AND EXPOSED INTERIOR AND EXTERIOR SURFACES, TO VERIFY THAT THE ENTIRE WORK IS CLEAN AND SATISFACTORY TO THE ARCHITECT.

PERMIT AND APPLICABLE RESOLUTIONS

APPLICANT WILL COMPLY WITH ALL ORDINANCES OF THE COUNTY AND CITY BUILDING CODE PRIOR TO ANY CONSTRUCTION.

NOTICE: In accordance with the requirements of the Florida Building Code, the City of Miami Beach assumes no responsibility for accuracy of or results from these plans which are approved subject to compliance with all Federal, State, and Local Laws, Rules, and Regulations.

NEW CONCRETE BLOCK WALL

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

- NOTES
- 2010 FLORIDA BUILDING CODE WITH EFFECT
- ALTERATION LEVEL: BUILDING: ZONING: PLUMBING: MECHANICAL: ELECTRICAL: FIRE PREVENTION: FLOOD WATER: PUBLIC WORKS: STRUCTURAL: ELEVATOR:
1. GARAGE ENCLOSURE AFTER THE FACT
2. NEW TANKLESS WATER HEATER
3. NEW WOOD FENCE

WINDOW SCHEDULE				
SYM.	TYPE	ROUGH OPENING (W X H)	MATERIAL	REMARKS
A	SINGLE HUNG	37" X 36"	ALUM/GLASS	NOA. 11-0426.03
E	EXISTING	VARIES	VARIES	

DOOR SCHEDULE				
SYM.	TYPE	DOOR SIZE (W X H)	MATERIAL	REMARKS
1	SWING	36" X 80"	WOOD/GLASS	
2	DOUBLE	28" X 80"	WOOD/GLASS	
3	SWING	32" X 80"	METAL EXT.	NOA. 12-1115.09
E	EXISTING	VARIES	VARIES	

THIS SHEET HAS BEEN
REVISED/REPLACED
ORIGINAL SIGNATURE STAMP
REMAINS VALID

ENGINEER:
EDGAR MUNOZ
FL LIC. NO. 50051
6623 NW 173 LANE
MIAMI, FL 33015
Phone: (305) 219-9791

PROJECT NAME AND ADDRESS
BRIAN CLARK
8 CENTURY LANE
MIAMI BEACH, FL 33139

NO.	REVISION / ISSUE	DATE
1	BLDG COMMENTS	06.22.2013
2	BLDG COMMENTS	12.12.2013

TITLE: FLOOR PLAN & GENERAL NOTES

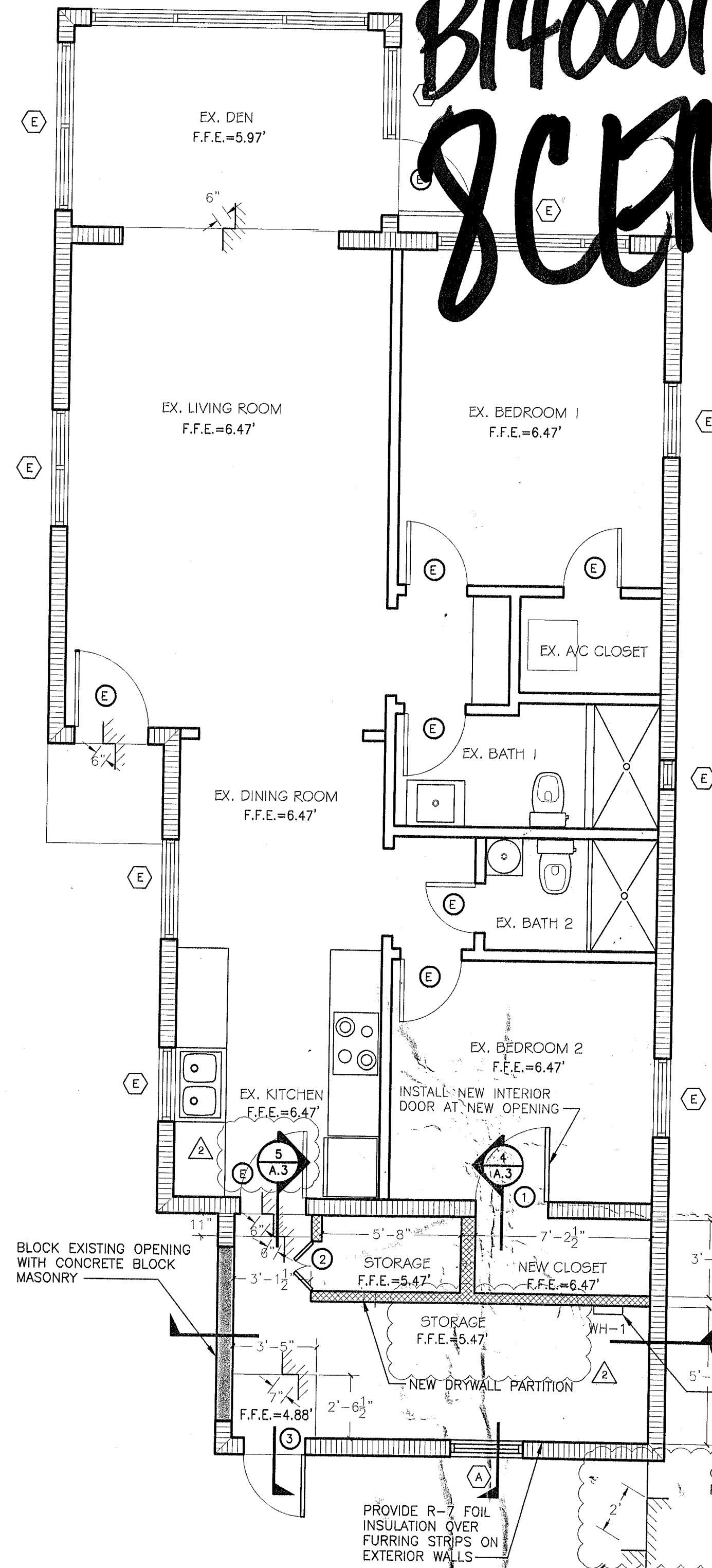
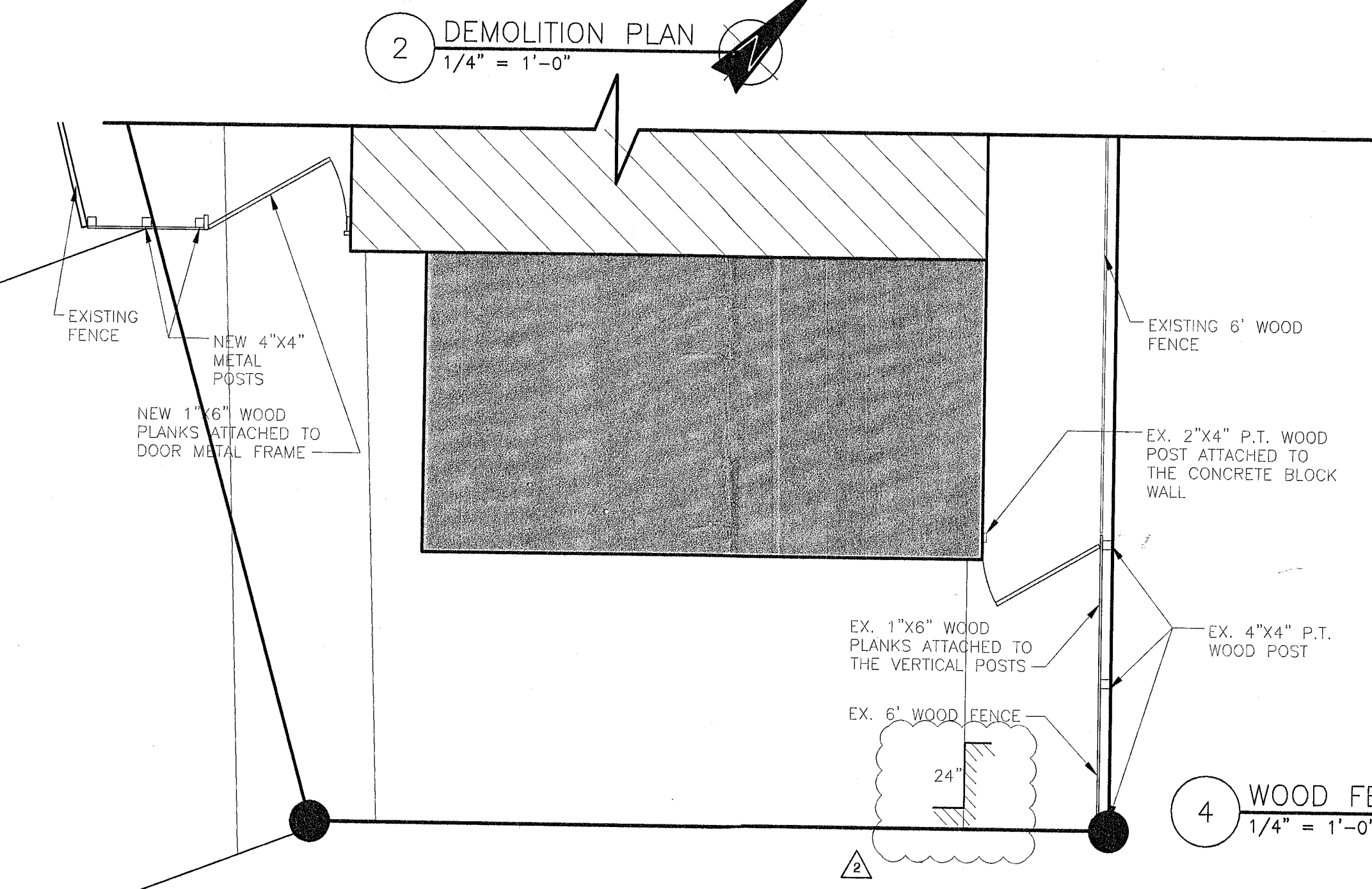
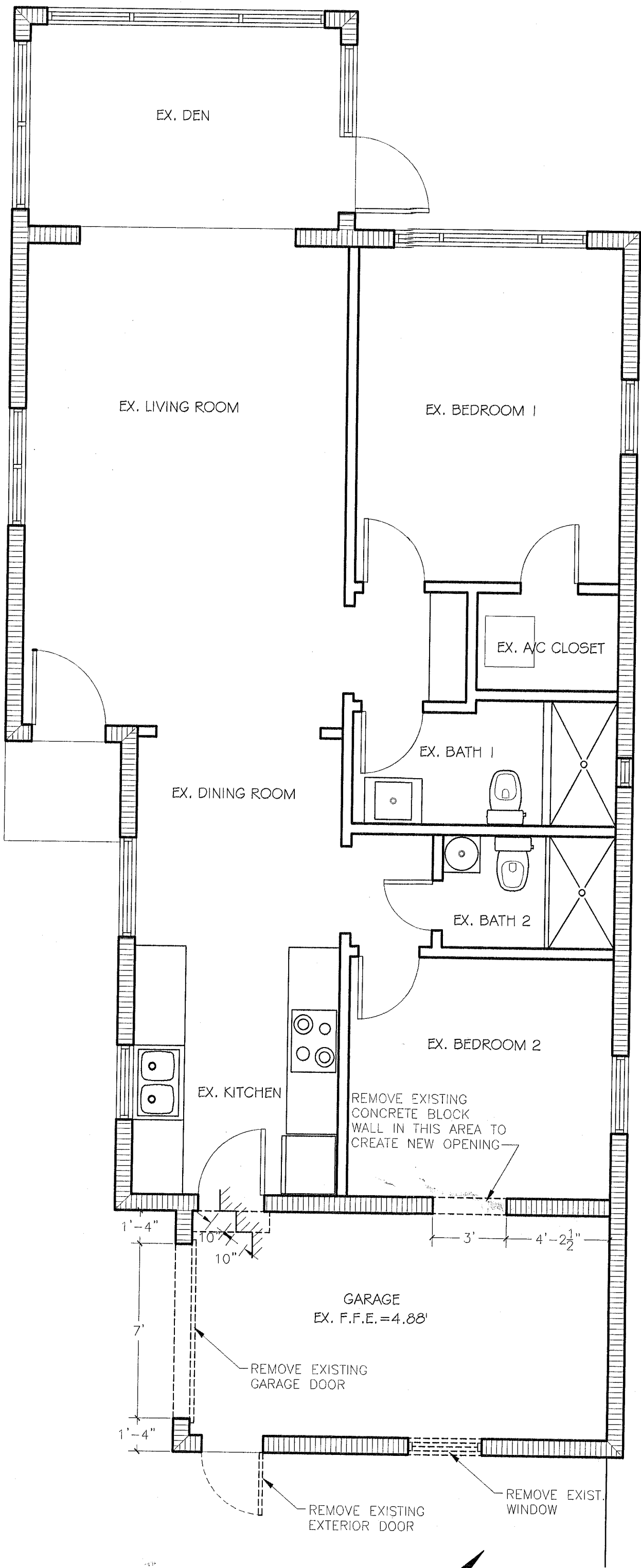
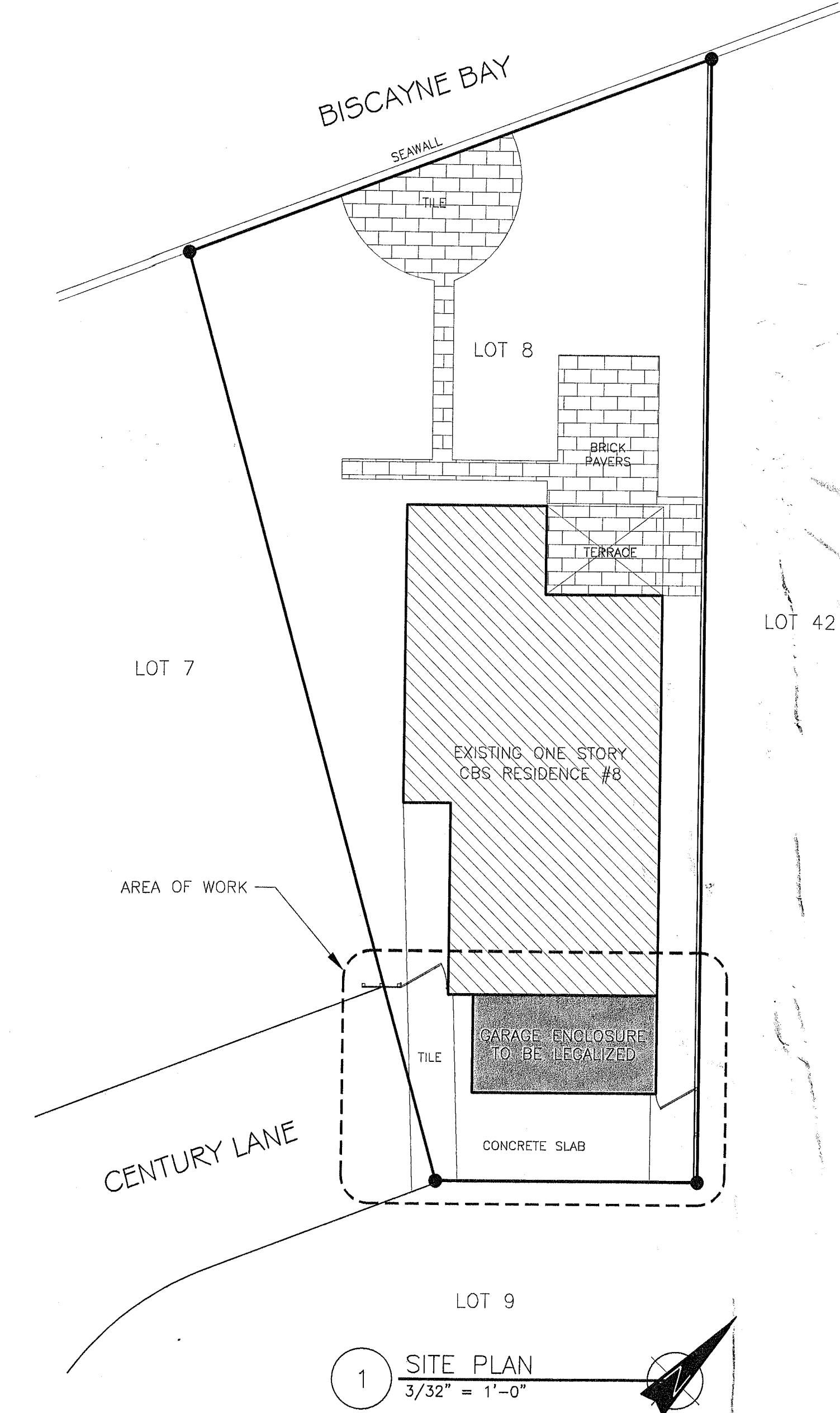
DATE: 01-08-2013 DWG NO. [REDACTED]

SCALE: AS SHOWN

AREAS	sq.ft.
LOT AREA	4,599
HOUSE AREA	1,214
AREA OF WORK	177

OCCUPANCY GROUP:

1. OCCUPANCY GROUP CLASSIFICATION IS RESIDENTIAL R-2 AS PER FBC 310.1 WHERE IT CONTAINS SLEEPING UNITS AND THE OCCUPANTS ARE PRIMARILY PERMANENT.



NOTES:

1. ALL UTILITIES AND EQUIPMENT AND ACCESSORIES (ELECTRICAL, MECHANICAL, AND PLUMBING) SERVING THE BUILDING IS RECOMMENDED TO BE INSTALLED ABOVE F.F.E. OF THE ADJACENT HABITABLE SPACE OF THE EXISTING STRUCTURE.
2. EQUIPMENT AND ACCESSORIES INSIDE NEW STORAGE ROOM MUST BE ELEVATED TO THE F.F.E. OF THE EXISTING HOUSE.
3. ALL NEW CONSTRUCTION MATERIAL BELOW BASE FLOOD ELEVATION SHALL BE FLOOD-DAMAGE-RESISTANCE.

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE BEFORE STARTING WORK. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK. CORRECTIONS OF THESE CONFLICTS ARE TO BE INCLUDED IN THE WORK AND IN THE PROPOSAL.
2. CONTRACTOR SHALL OBTAIN LATEST SET OF DRAWINGS, INCLUDING ANY REVISIONS, BEFORE STARTING CONSTRUCTION.
3. NO CHANGES OR SUBSTITUTIONS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
4. DRAWINGS ARE TO BE ISSUED TO THE SUBCONTRACTORS IN COMPLETE SETS SO THAT ALL ARCHITECTURAL DETAILS AFFECTING THEIR WORK ARE INCLUDED.
5. ALL DIMENSIONS MUST BE VERIFIED BY THE CONTRACTOR IN THE FIELD. ANY MAJOR DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
6. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS UNLESS AUTHORIZED BY THE ARCHITECT.
7. THE ARCHITECT RESERVES THE RIGHT TO REJECT ALL WORK THAT IS DEFECTIVE AND/OR OF POOR WORKMANSHIP OR WORK THAT DEVIATES FROM THE SPECIFICATIONS OF THESE DOCUMENTS.
8. THIS OFFICE DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE INTERPRETATION OF THESE PLANS BY OTHERS, UNLESS REQUESTED IN WRITING, AND IT IS GIVEN THE AUTHORITY TO CHECK AND APPROVE SHOP DRAWINGS.
9. ALL SECTIONS AND DETAILS SHALL BE CONSIDERED TYPICAL AND APPLY FOR SIMILAR SITUATIONS THROUGHOUT THE PROJECT, UNLESS OTHERWISE SPECIFICALLY NOTED.
10. REFER TO FINISH SCHEDULE, AT THE TIME OF BIDDING, FOR SPECIFICATIONS OF FINISHES, MATERIALS, COLOR, TREATMENTS, ETC. ALL OF THE ABOVE SHALL BE SPECIFIED BY THE ARCHITECT IF NOT NOTED THEREIN.

FINAL CLEANING

FLOORING:

A. CLEAN SUBSTRATE, FILL CRACKS, HOLES, AND DEPRESSIONS, AND LEVEL FLOOR WITHIN 1/8" IN 10 FEET BEFORE THE LAYING OF THE WOOD FLOORING

B. IN AREAS WHERE THE FLOORS WILL BE FINISHED BY OTHERS, THE CONTRACTOR IS TO BROOM CLEAN THE FLOOR ONE DAY BEFORE THE INSTALLATION OF FINISH FLOORING.

C. GENERAL CONTRACTOR SHALL REMOVE FROM SITE ALL DEBRIS LEFT BY SUBCONTRACTORS PRIOR TO TENANT'S OCCUPANCY.

OTHER:

A. REMOVE GREASE, MASTIC, ADHESIVE, DUST, DIRT, STAINS, FINGERPRINTS, LABELS, AND OTHER FOREIGN MATERIALS FROM THE SITE, AND FROM ANY OTHER EXPOSED FINISHED INTERIOR OR EXTERIOR SURFACES.

B. WASH GLASS, AND MIRRORS AS PER MANUFACTURER'S SPECIFIC INSTRUCTIONS.

C. POLISH GLOSSY SURFACES.

D. CLEAN PERMANENT FILTERS, AND REPLACE FILTERS IN VENTILATING SYSTEMS, IF UNITS ARE OPERATED DURING CONSTRUCTION.

E. CLEAN DUCTS, BLOWERS, AND COILS, IF UNITS OPERATED WITHOUT FILTERS DURING CONSTRUCTION.

F. PRIOR TO OWNER OCCUPANCY, CONTRACTOR SHALL INSPECT THE SITE, AND EXPOSED INTERIOR AND EXTERIOR SURFACES, TO VERIFY THAT THE ENTIRE WORK IS CLEAN AND SATISFACTORY TO THE ARCHITECT.

PERMIT AND APPLICABLE RESOLUTIONS

APPLICANT WILL COMPLY WITH ALL ORDINANCES OF THE DADE COUNTY AND CITY BUILDING CODE PRIOR TO STARTING CONSTRUCTION.

IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAYBE FOUND IN THE PUBLIC RECORDS OF DADE COUNTY.

WALL TYPES LEGEND

- EXISTING CONCRETE BLOCK WALL
- EXISTING INTERIOR AND EXTERIOR WALLS TO BE DEMOLISHED
- NEW DRYWALL PARTITION
- NEW CONCRETE BLOCK WALL

NOTES

2010 FLORIDA BUILDING CODE EXISTING IN EFFECT

ALTERATION LEVEL II

SCOPE OF WORK:

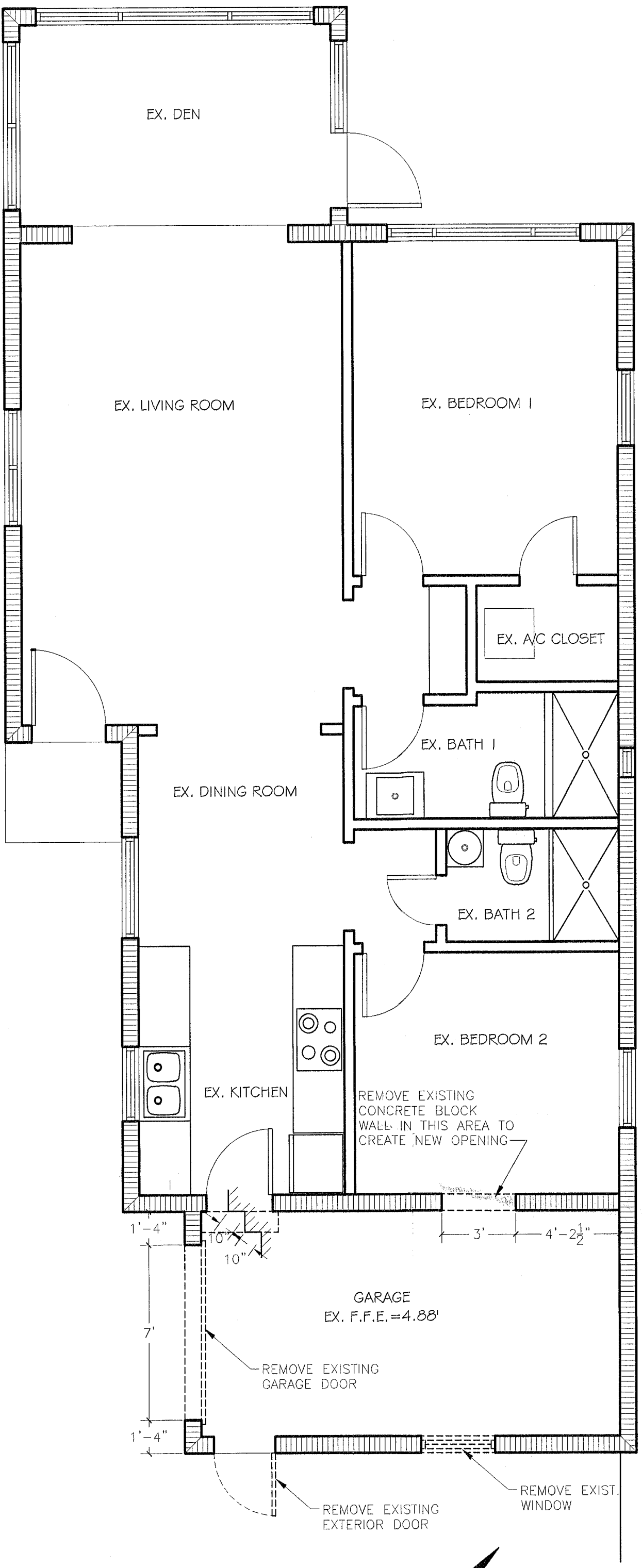
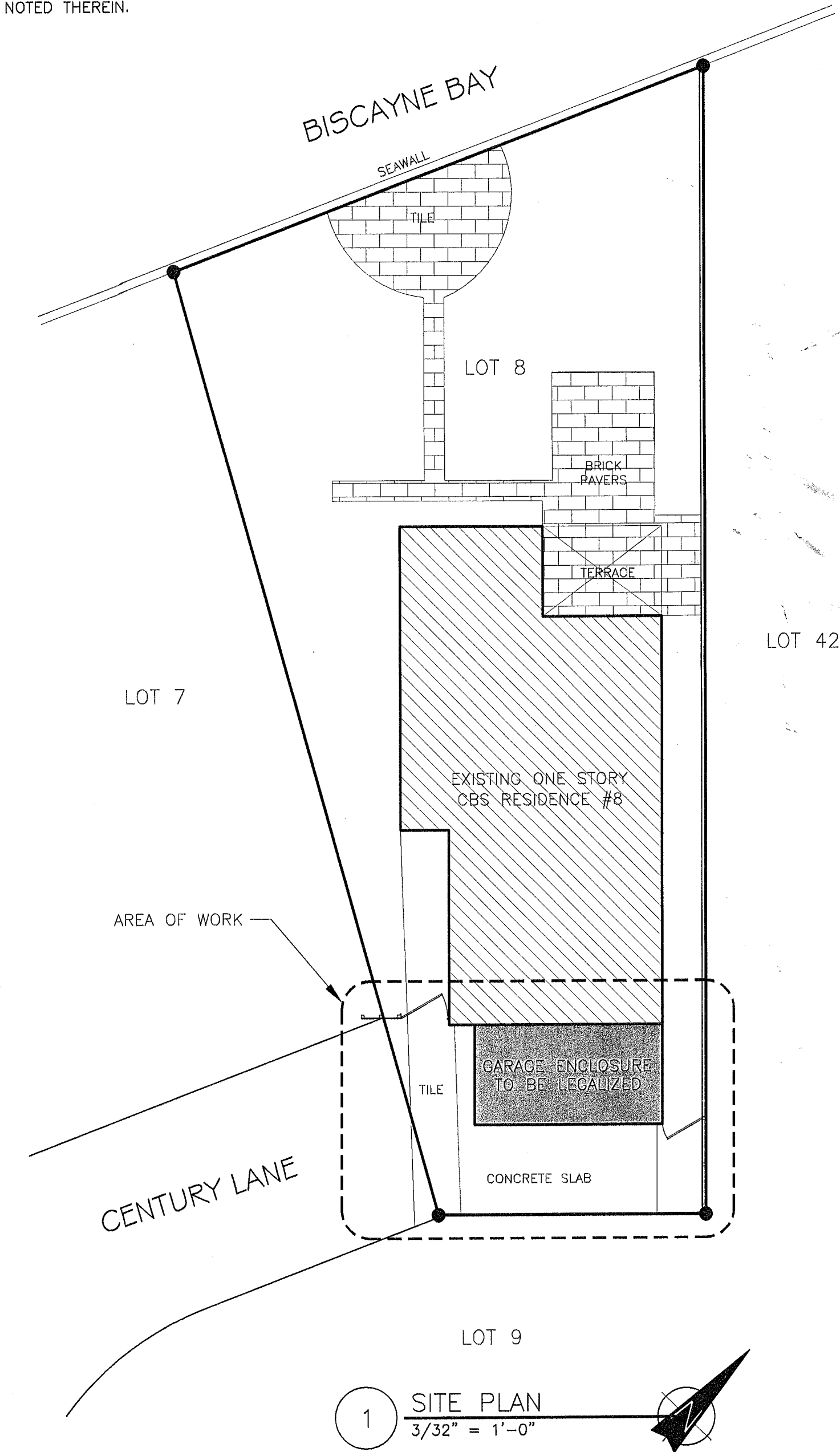
1. GARAGE ENCLOSURE "AFTER THE FACT"
2. NEW TANKLESS WATER HEATER
3. NEW WOOD FENCE UNDER SEPARATE PERMIT
4. EXTERIOR DOOR AND WINDOW REPLACEMENT
5. CONVERSION OF GARAGE TO STORAGE SPACE AND W.I.C.

WINDOW SCHEDULE

SYM.	TYPE	ROUGH OPENING (W X H)	MATERIAL	REMARKS
A	SINGLE HUNG	37" X 36"	ALUM/GLASS	NOA. 11-0428.03
E	EXISTING	VARIES	VARIES	

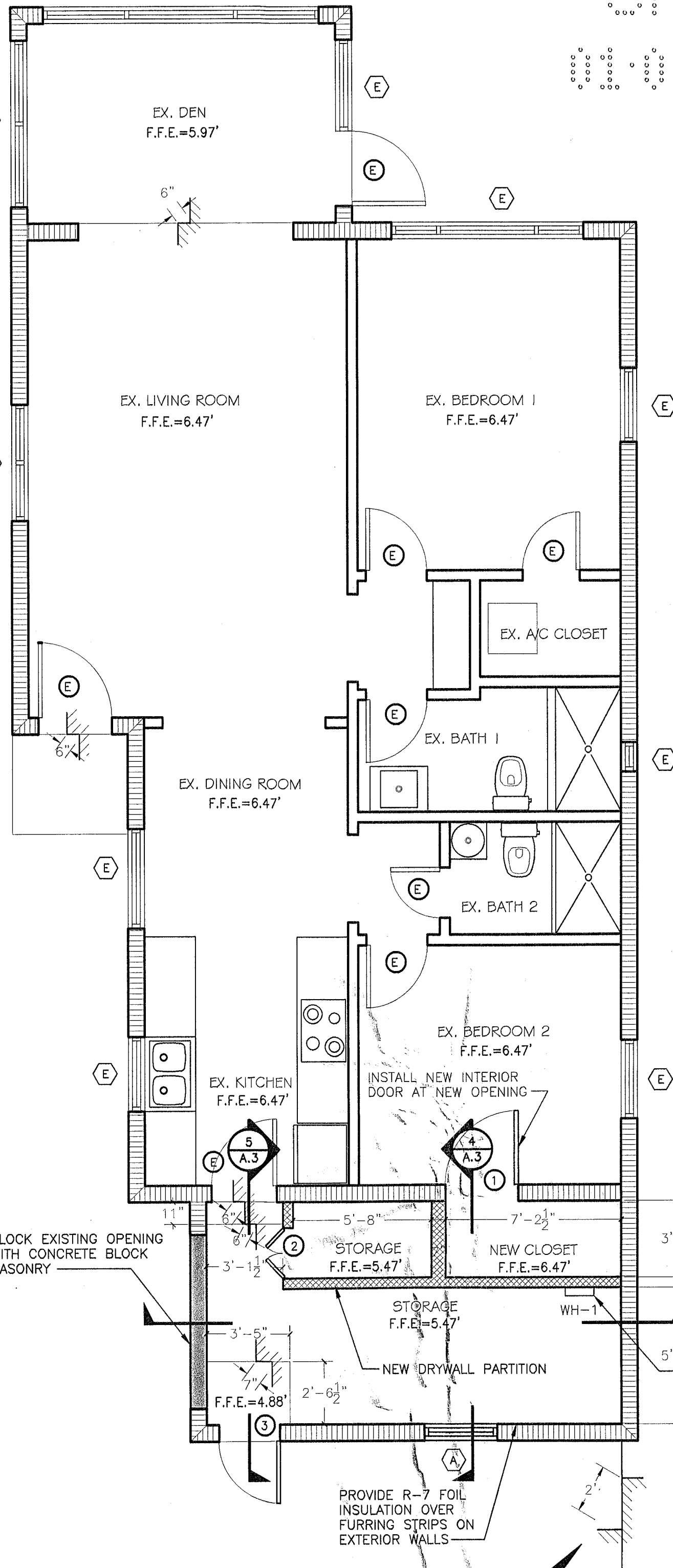
DOOR SCHEDULE

SYM.	TYPE	DOOR SIZE (W X H)	MATERIAL	REMARKS
1	SWING	36" X 80"	WOOD/GLASS	
2	DOUBLE	28" X 80"	WOOD/GLASS	
3	SWING	32" X 80"	METAL EXT.	NOA. 12-1115-09 12-0320-2.1
E	EXISTING	VARIES	VARIES	



2 DEMOLITION PLAN

1/4" = 1'-0"



3 PROPOSED FLOOR PLAN

1/4" = 1'-0"

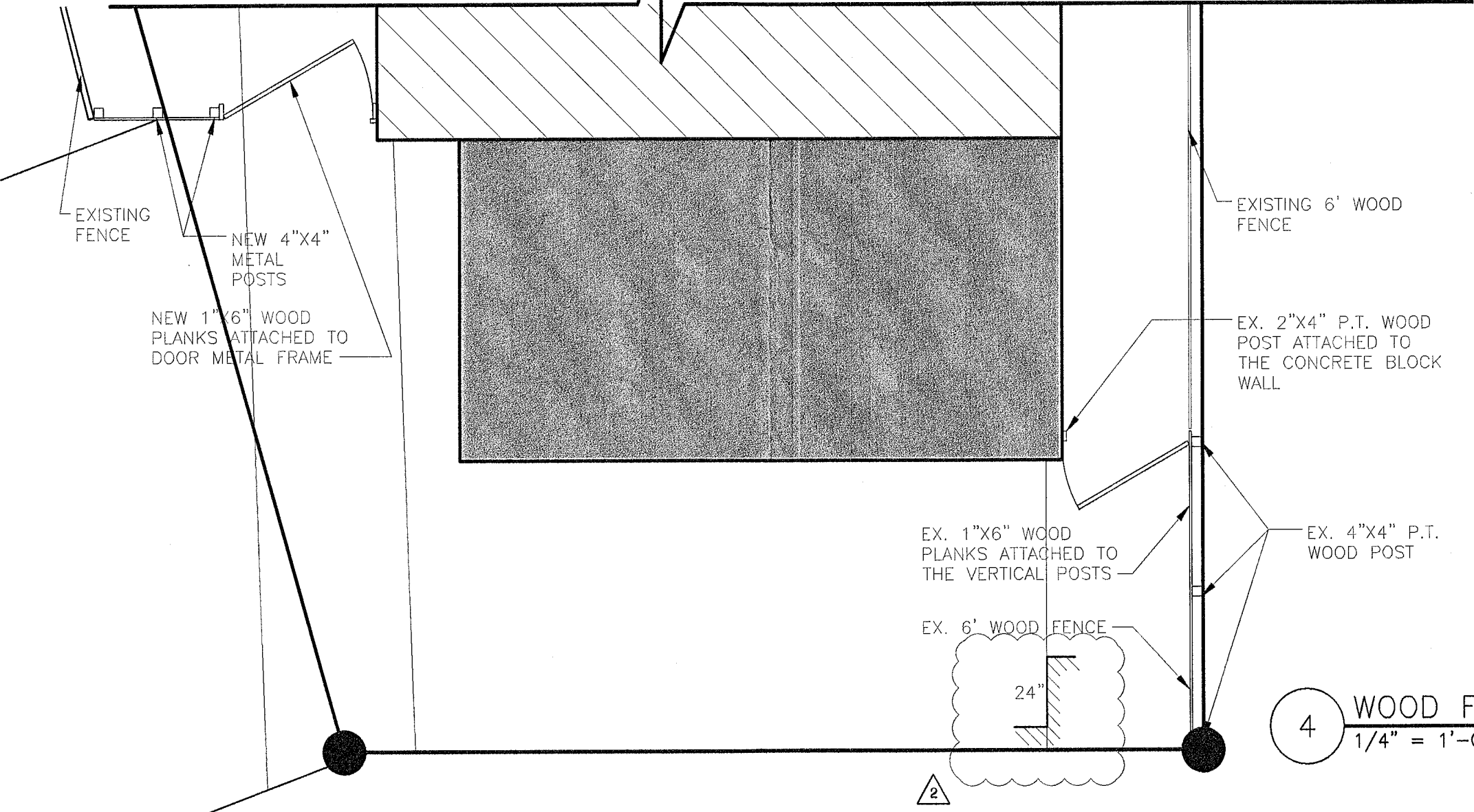
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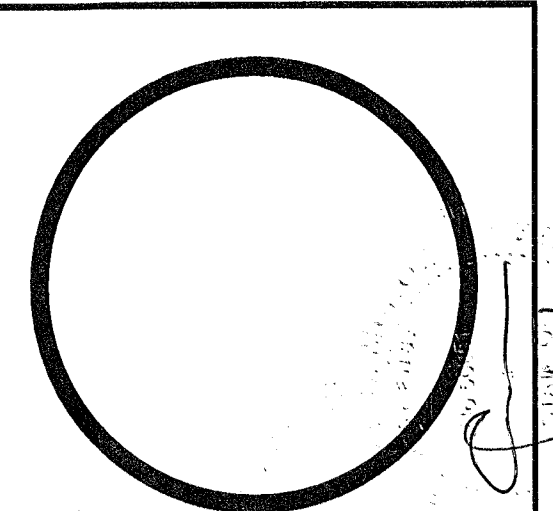
OCCUPANCY GROUP:

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4 WOOD FENCE

1/4" = 1'-0"



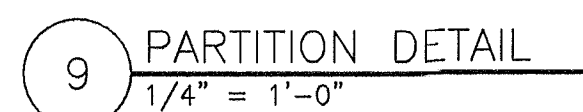
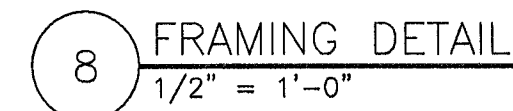
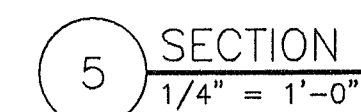
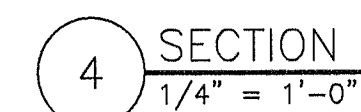
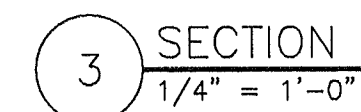
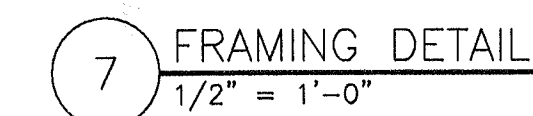
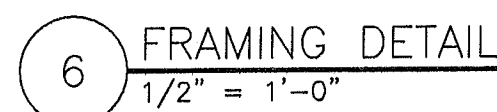
ENGINEER:
EDGAR MUNOZ
FL LIC. NO. 50051
6623 NW 173 LANE
MIAMI, FL 33015
Phone: (305) 219-9791

PROJECT NAME AND ADDRESS
BRIAN CLARK
8 CENTURY LANE
MIAMI BEACH, FL 33139

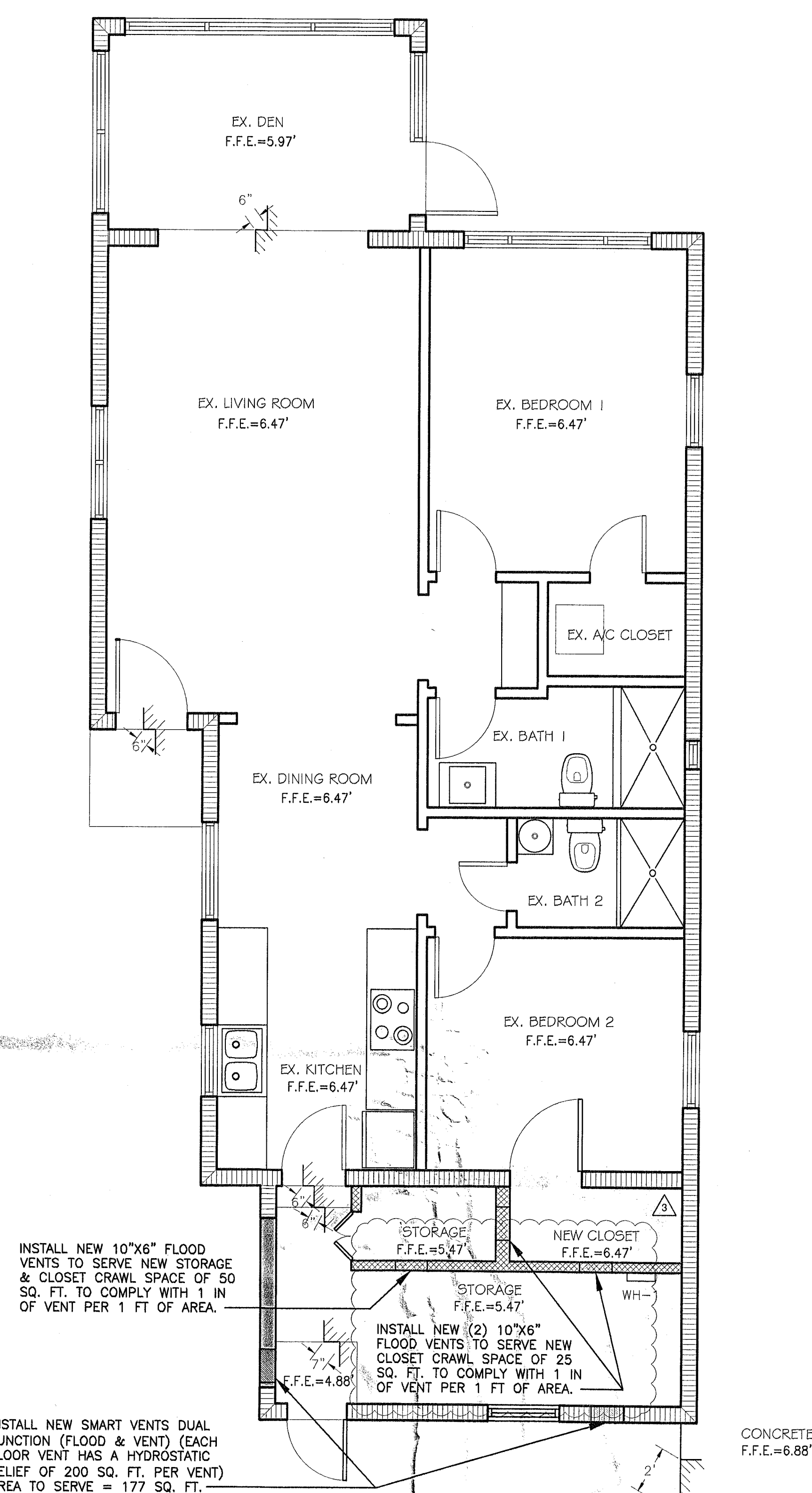
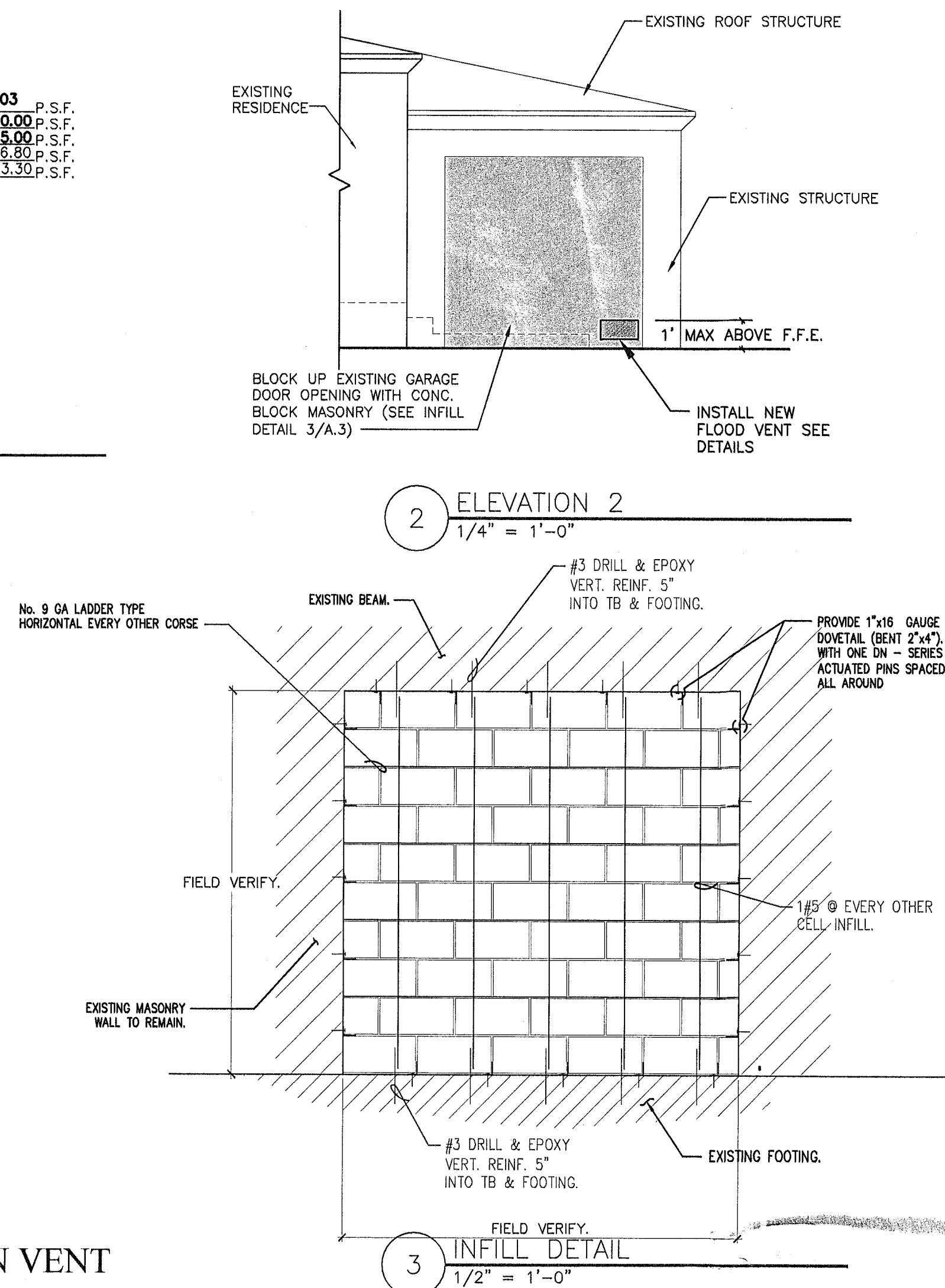
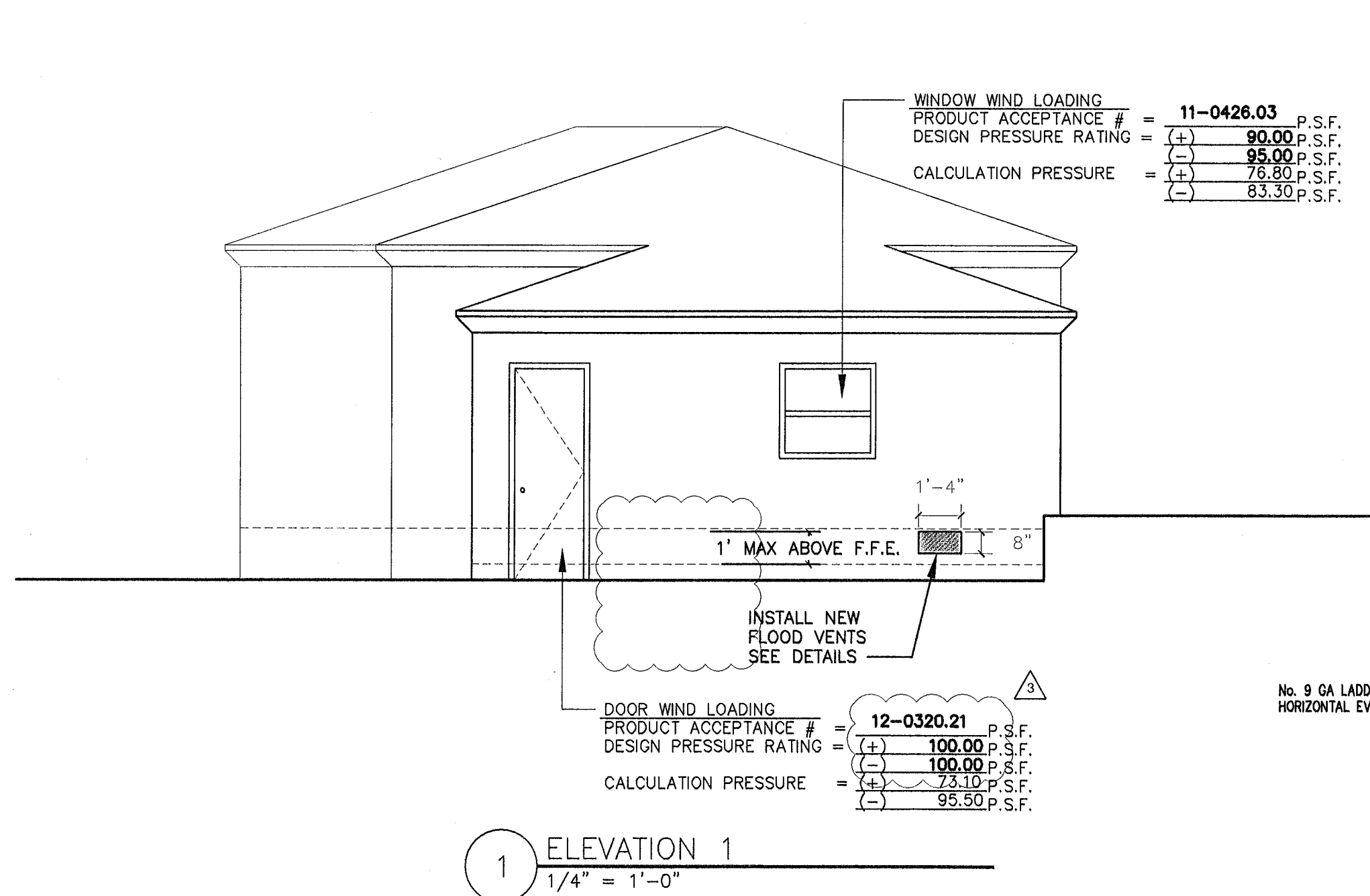
NO.	REVISION / ISSUE	DATE
1	BLOG COMMENTS	08.22.2013
2	BLOG COMMENTS	12.12.2013
3	BLOG COMMENTS	01/08/2013

TITLE
FLOOR PLAN
& GENERAL NOTES

DATE 01-08-2013	DWG NO. A.1
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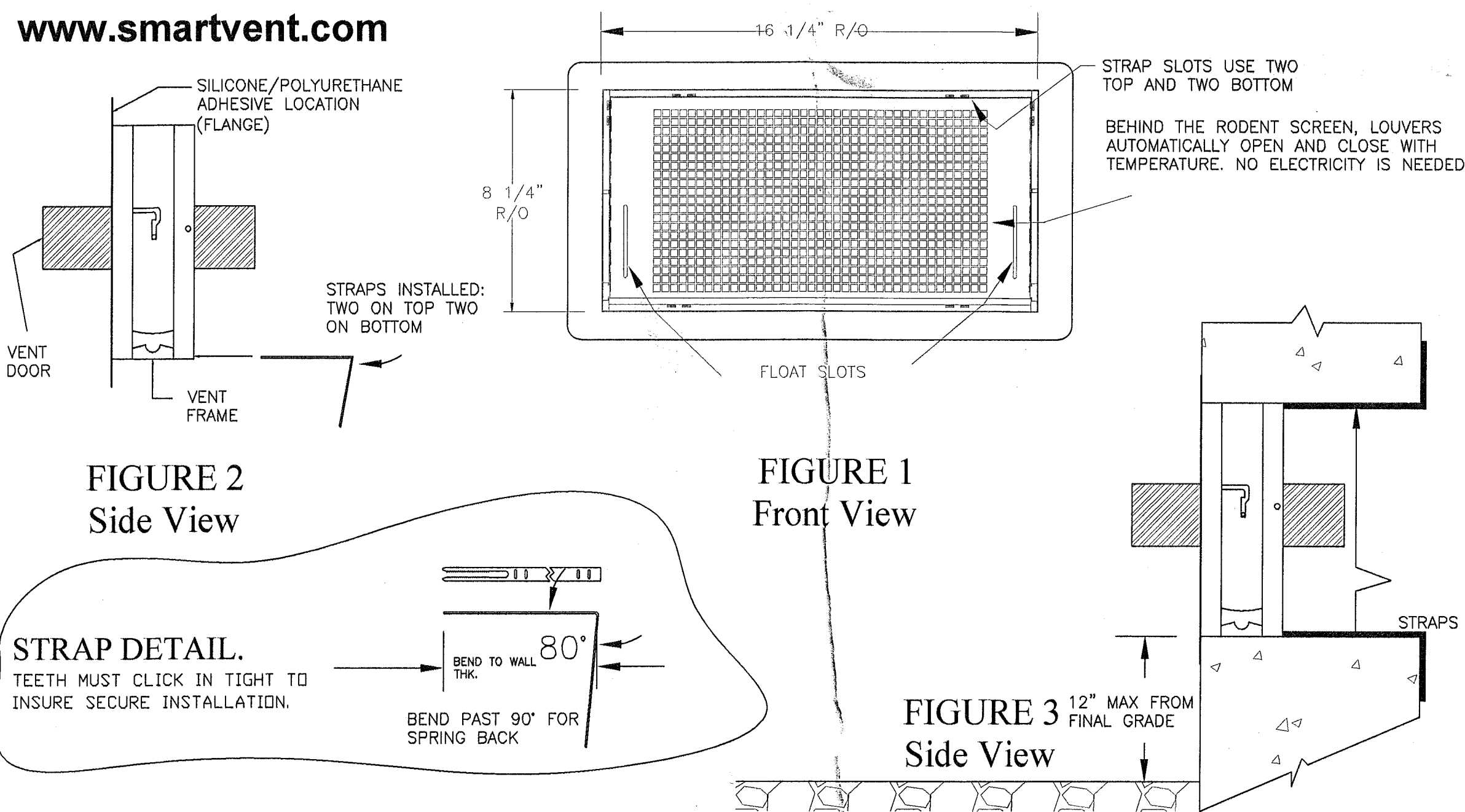


A.2



Smart VENT
877- 441- 8368
www.smartvent.com

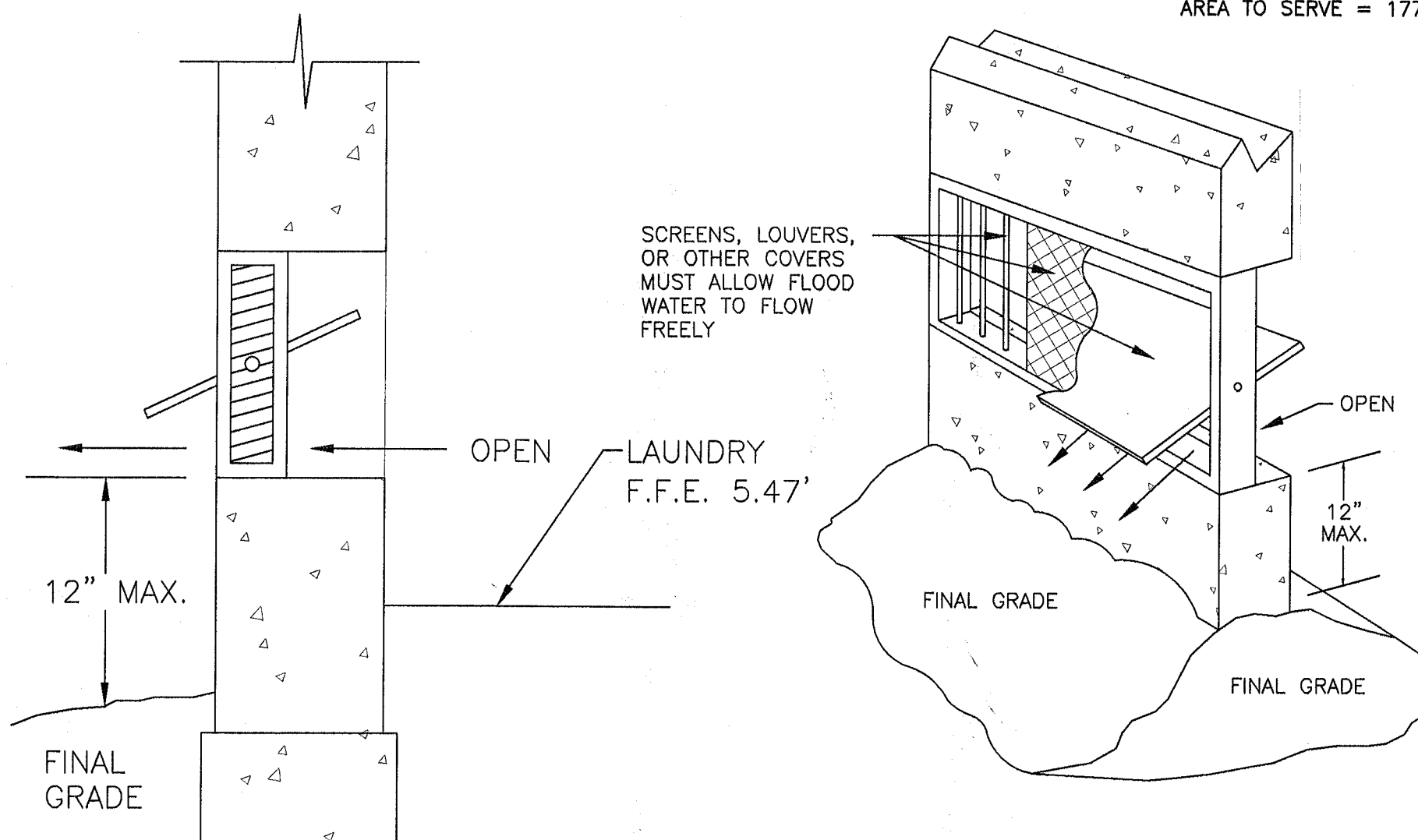
DETAIL DIAGRAM MODEL 1540-510 DUAL FUNCTION FLOOD AND VENTILATION VENT



DETAILED SPECIFICATIONS:
MATERIAL: STAINLESS STEEL
OPERATION FLOOD: AUTOMATIC NON-POWERED ACTIVATION AND OPERATION VENT REMAINS CLOSED AND LOCKED UNTIL ACTIVATED
OPERATION AIR: AUTOMATIC LOUVERS FULLY OPEN AT 75 DEG. FULLY CLOSED AT 35 DEG. NO POWER REQUIRED
INSTALLATION: SECURED W/ 4 STAINLESS STEEL STRAPS SUPPLIED
HYDROSTATIC RELIEF: 200 Sq. Ft. per Vent
VENTILATION: 51 Sq. In. per Vent NOTE: VAPOR BARRIER ALLOWS FOR REDUCED VENTILATION
REQUIREMENTS FLOOD: MINIMUM OF 2 VENTS PER ENCLOSED AREA MOUNTED ON AT LEAST TWO DIFFERENT WALLS
COLORS: STAINLESS (STANDARD)
EXTERIOR POWDER COATED WHITE, WHEAT, GRAY, AND BLACK (AVAILABLE)

INSTALLATION INSTRUCTIONS

1. Remove vent door from vent frame. (Turn upside down, rotate bottom of door outward and slide out)
2. Prepare a CLEAN 16.25" wide by 8.25" high rough opening (approx. 1 block wide X 1 block high) for each vent. Ensure the bottom of the rough opening is no more than 12" above the finished grade.
3. Apply a bead of silicone or polyurethane adhesive around the back of the flange on the vent frame. (FIG. 2)
4. Bend the 4 steel straps to the thickness of the wall measuring from the end with the teeth (see STRAP DETAIL)
5. Insert the top straps into the top two strap slots about two clicks.
6. Insert the vent frame in the cut opening. The bent strap ends go in then up behind the inside of the wall. Push the frame tight against the face of the wall. Ensure the frame is flush and square in the opening. (FIG. 3)
7. Reach through the vent opening and click the two straps in while holding the front of the vent against the wall face. The sharp point of the straps should not extend past the front of the vent face. Install the two remaining bottom straps.
8. Re-check that frame is square and slots are clear of debris, and caulk.
9. Install the door into frame by grasping the bottom of door (with float pins down) and front (small screen in front). Slide door into frame and rotate until it is latched.
10. To open the door insert two credit cards into the float slots as shown in the diagram. This will unlatch the door for removal and cleaning.



MEETS THE REQUIREMENTS FOR ENGINEERED OPENINGS AS SET FORTH BY:
FEMA, NFIP, ICC, & ASCE
SUPPORTIVE DOCUMENTS, TB 1-08, 44CFR 60.3(C)(5), ASCE 24-05
ICC EVALUATION # ESR-2074

TOLERANCES UNLESS OTHERWISE SPECIFIED X.X +/- .005 X.XXX +/- .003 X.XXX +/- .005		 SMART VENT® 877-441-8368 WWW.SMARTVENT.COM		SMART VENT Foundation Flood Vents 450 AndBro Dr. Suite 2B Pittman NJ 08071	
				DUAL FUNTION FLOOD AND VENTILATION VENT MODEL 1540-510	
THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF SMART VENT, INC. IF USED IN PROJECT, CHANGES TO DRAWING ARE PROHIBITED WITHOUT THE WRITTEN PERMISSION OF SMART VENT, INC.		SIZE A	DWG NO. 1540-510	REV B	
		DATE 5-15-09			

ENGINEER:
EDGAR MUNOZ
FL.LIC. NO. 50051
8623 NW 173 LANE
MIAMI, FL 33015
Phone: (305) 219-9791

PROJECT NAME AND ADDRESS
BRIAN CLARK
8 CENTURY LANE
MIAMI BEACH, FL 33139

NO.	REVISION / ISSUE	DATE
△	BLDG COMMENTS	07.24.2013
△	BLDG COMMENTS	12.12.2013
△	BLDG COMMENTS	01/09/2013

TITLE
ELEVATIONS, DETAILS, &
FLOOD VENT SPECS

DATE
01-08-2013

SCALE
AS SHOWN

DWG NO.
A.3

ELECTRICAL NOTES

- WORK SHALL BE PERFORMED TO MEET THE REQUIREMENTS OF THE GOVERNING EDITION OF THE NATIONAL ELECTRICAL CODE (N.E.C.), LOCAL AND STATE CODES AND STANDARDS.
- ALL NEW WIRING SHALL BE COPPER (CU) THWN INSULATION. IF ALUMINUM WIRES ARE USED:
A. TO PREVENT OVERHEATING AT CONNECTION POINTS USE OXIDE INHIBITING COMPOUND FOR STRIPPED PORTION OF CONDUCTORS INSIDE CONNECTORS.
B. A PREVENTIVE MAINTENANCE PLAN IS NECESSARY TO ENSURE A RELIABLE SERVICE INCLUDING VISUAL INSPECTIONS AND TESTS FOR SPICES AND CONNECTION POINTS. (CORROSION AND TIGHTNESS PRINCIPALLY). INSPECTION INTERVALS OF 2 YEARS MAXIMUM ARE STRONGLY RECOMMENDED.
- ALL NEW CIRCUIT BREAKERS SHALL BE RATED AT MINIMUM OF 10,000 AIC.
- PRIOR TO INSTALLATION OF ROUGH ELECTRICAL WIRING, CHECK NAMEPLATE DATA OF ALL EQUIPMENT FOR REQUIRED VOLTAGES, MINIMUM CIRCUIT AMPACITY, AND OVERCURRENT PROTECTION.
- ALL BRANCH CIRCUITS SHALL BE PROPERLY PHASE BALANCED.
- ALL NEW CONDUCTORS SHALL BE RUN IN CONDUIT (METALLIC TYPE) UNLESS THAT NONMETALLIC SHEATHED CABLE CAN BE USED IN DRY LOCATIONS AS PER NEC 336-6.
- IF PVC CONDUITS ARE USED FOR UNDERGROUND FEEDERS, A GROUNDING CONDUCTOR SIZED IN ACCORDANCE WITH N.E.C. 250-122 MUST BE INSTALLED AND CONDUIT SIZE INCREASED AS REQUIRED.
- TYPEWRITTEN PANEL TALLY SHALL BE FURNISHED AFTER JOB IS COMPLETED REFLECTING ALL CHANGES AND ADDITIONS FOR NEW CIRCUITS.
- RISERS ARE DIAGRAMMATIC ONLY. THEY DO NOT SHOW EVERY EXISTING BEND.
- THIS DRAWING IS REFLECTING THE EXISTING SERVICE CONDITIONS AND A GUIDE FOR THE INSTALLATION OF NEW ELECTRICAL EQUIPMENT. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO PROVIDE A FUNCTIONING SYSTEM.
- ALL NEW OUTLETS TO BE PROTECTED BY AFCI BREAKERS.
- ELECTRICAL CONTRACTOR SHALL COORDINATE WITH ARCHITECT/OWNER TO FIELD VERIFY INSTALLATION FOR NEW OUTLETS AND NEW LIGHTING FIXTURES.

NOTES

- ALL NEW OUTLETS MUST BE TAMPER RESISTANCE DEVICES AS PER NEC 2008 406.11.
- ALL SMOKE DETECTORS SHALL BE 120V WITH BATTERY BACKUP, HARDWIRED AND INTERCONNECTED AND LOCATED 36" MIN. FROM ANY A/C SUPPLY.
- ALL ELECTRICAL FIXTURES ARE EXISTING UNLESS OTHERWISE NOTED.
- SHALL COMPLY WITH FLORIDA FIRE PREVENTION CODE 2010.
- ALL NEW ELECTRICAL EQUIPMENT SHALL BE ABOVE FLOOD LEVELS.

ARC FAULT PROTECTION NOTES

- ALL NEW 15 AMP 1 POLE AND 20 AMP 1 POLE BRANCH CIRCUITS SHALL HAVE AFCI (ARC FAULT CIRCUIT INTERRUPTER) PROTECTION IN ACCORDANCE WITH 2008 EDITION OF THE N.E.C. 210.12
- REFER TO ELECTRICAL PANEL SCHEDULE FOR AFCI CIRCUITS(*).

SCOPE OF WORK

- INSTALL NEW TANKLESS WATER HEATER
- NEW LIGHTFIXTURE AND SWITCH FOR NEW CLOSET, NEW PANTRY AND FOR NEW STORAGE AREA
- NEW WALL OUTLETS IN NEW STORAGE
- NEW INTERCONNECTED SMOKE DETECTORS

ELECTRICAL CALCULATIONS

I. LOADCENTER A

- RESIDENCE @ 3WATTS/ SF (1,214 S.F. X 3W) = 3.60 KVA
- 2 SMALL APPLIANCE CKT @ 1.5 KVA EA. = 3.00 KVA
- APPLIANCES = 12.84 KVA

4. SUBTOTAL 19.44 KVA

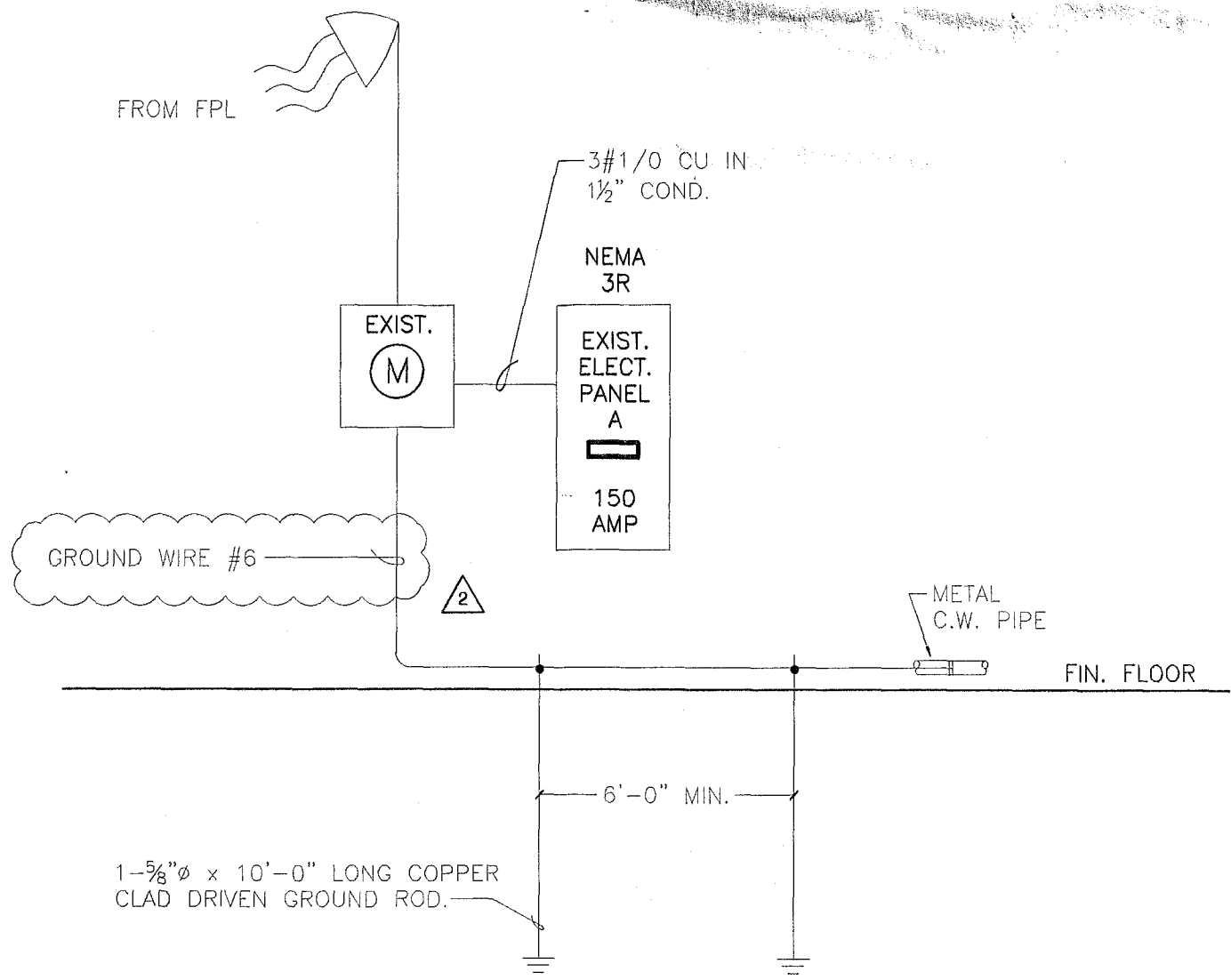
- FIRST 10 KW @ 100% = 10.00 KVA
- REMAINDER @ 40% : 9.44 x .40 = 3.78 KVA
- WATER HEATER = 11.80 KVA
- AHU-1 9.25 KW (0.65)= 6.01 > 3.34 = 6.01 KVA

9. TOTAL 31.59 KVA

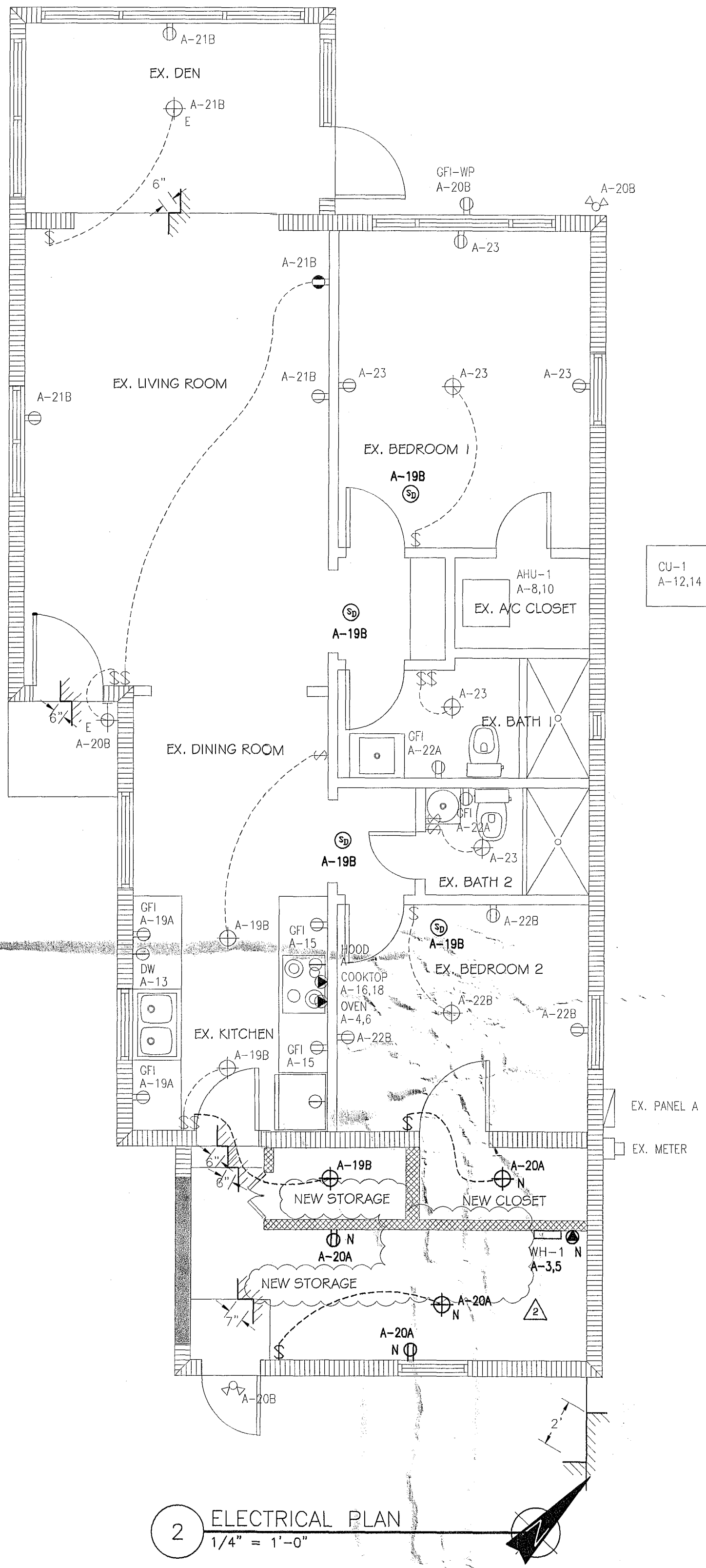
$$\frac{31.59 \text{ KVA (1000)}}{240\text{V}} = 131.62 \text{ AMPS}$$

EXISTING PANEL A									
120/240/1/60 150 AMP 10,000 AIC									
NEMA 3R 3W									
KVA	TRIP POLE	CON DUT	WIRE	DESCRIPTION	CKT		CKT	DESCRIPTION	
-	20/1	1/2	12	SPARE	1	X	2	PROVISION	
11.8	60/2	3/4	6	TANKLESS WATER HEATER	3	X	4	OVEN	8
-	30/2	3/4	8	SPARE	7	X	8	AHU-1	8
				PROVISIONS	9	X	10		10
1.20	20/1	1/2	12	DISHWASHER	11	X	12	CU-1	10
1.50	20/1	1/2	12	SMALL APPLIANCES CKT.	13	X	14		12
-	20/1	1/2	12	SPARE	15	X	16	COOKTOP	8
1.20	20/1	1/2	12	SMALL APPLIANCES CKT.	17	X	18		10
-	20/1	1/2	12	KITCHEN LIGHTING	19A	X	20A	NEW STORAGE LGT. & RECEP.	12
-	20/1	1/2	12	SPARE	19B	X	20B	OUTDOOR LIGHTING	12
-	20/1	1/2	12	LYNG RM & DEN LGT. & RECP.	21A	X	22A	BATHROOM GFI'S	12
-	20/1	1/2	12	BATHROOMS LIGHTING	21B	X	22B	BEDROOM 2 LGT. & RECP.	12
-	20/1	1/2	12		23	X	24	PROVISION	12
E = EXISTING (LIGHT FONT)									
N = NEW (BOLD FONT)									

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	DUPLEX RECEPTACLE
	GFI RECEPTACLE
	APPLIANCE RECEPTACLE
	ELECTRICAL PANEL
	SMOKE DETECTOR
	SWITCH
N	(BOLD) DENOTES NEW
E	(LIGHT) DENOTES EXISTING
R	DENOTES RELOCATED



1 ELECTRICAL RISER DIAGRAM
N.T.S.



LUMINAIRES IN CLOSETS

- LUMINAIRES IN CLOSETS SHALL COMPLY WITH N.E.C. 410.8

ENGINEER: EDGAR MUNOZ FL LIC. NO. 50051 6623 NW 173 LANE MIAMI, FL 33015 Phone: (305) 219-9791		
PROJECT NAME AND ADDRESS BRIAN CLARK 8 CENTURY LANE MIAMI BEACH, FL 33139		
NO.	REVISION / ISSUE	DATE
1	BLDG COMMENTS	07.24.2013
2	BLDG COMMENTS	12.12.2013
TITLES ELECTRICAL FLOOR PLAN		
DATE 01-08-2013	DWG NO. E.1	
SCALE AS SHOWN		

PLUMBING GENERAL NOTES:

1. THE ABBREVIATION "P.C." USED HENCEFORTH IN THIS GENERAL PLUMBING SPECIFICATION SHALL BE CONSTRUED TO MEAN PLUMBING CONTRACTOR ON THE MECHANICAL, ELECTRICAL AND FIRE PROTECTION DRAWINGS.
2. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE FLORIDA BUILDING CODE 2007, OSHA, AND ALL STATE AND LOCAL CODES THAT APPLY.
3. THE P.C. SHALL PAY PARTICULAR ATTENTION TO THE STATE OF FLORIDA "ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION". ALL WORK SHALL BE IN ACCORDANCE WITH THIS CODE, CHAPTER 5, SECTIONS 504.1, 504.2, 504.3, 504.4 AND 504.5.
4. THE P.C. SHALL TAKE OUT ALL PERMITS, PROCURE CERTIFICATES, AND PAY ALL FEES ASSOCIATED WITH HIS WORK.
5. THE DRAWINGS ARE DIAGRAMMATIC AND INTENDED TO SHOW APPROXIMATE LOCATIONS. THE P.C. SHALL NOT SCALE THE DRAWINGS.
6. THE BIDDERS SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL CONDITIONS ASSOCIATED WITH THE WORK.
7. IT SHALL BE THE RESPONSIBILITY OF THE P.C. FOR THE ADVANCE ORDERING OF LONG LEAD ITEMS SO AS NOT TO DELAY OTHER TRADES RESULTING IN ANY DOWN OR LAG TIME.
8. THE P.C. SHALL FURNISH ALL EQUIPMENT, LABOR, MATERIALS, AND SUPERVISION TO INSTALL A COMPLETE AND PROPERLY OPERATING PLUMBING SYSTEM AS DESCRIBED HEREIN AND AS SHOWN AND/OR NOTED ON THE DRAWINGS.
9. THE P.C. SHALL FURNISH AND INSTALL ALL MINOR ITEMS WHICH ARE OBVIOUSLY AND REASONABLY NECESSARY TO COMPLETE THE INSTALLATION WHETHER OR NOT SPECIFIED OR SHOWN ON THE PLANS.
10. THE P.C. SHALL BE A LICENSED MASTER PLUMBER.
11. WORKMANSHIP SHALL BE FIRST CLASS AS NORMALLY PERFORMED BY JOURNEYMAN PLUMBERS.
12. THE P.C. IS REFERRED TO THE ARCHITECTURAL, ELECTRICAL, AND MECHANICAL PLANS AND SPECIFICATIONS. SUCH PLANS AND SPECIFICATIONS ARE CONTRACT DOCUMENTS. VERIFY ALL REQUIREMENTS PRIOR TO INSTALLATION. ANY DISCREPANCIES IN THE DRAWINGS OR FIELD COORDINATION PROBLEMS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO COMMENCEMENT OF WORK.
13. THE P.C. SHALL EXAMINE THE SPECIFICATIONS AND THE WHOLE CONTRACT BY SECURING A COMPLETE SET OF DRAWINGS AND SPECIFICATIONS, OF THE WHOLE CONTRACT.
14. THE P.C. SHALL BE RESPONSIBLE FOR THE FULL COORDINATION OF HIS WORK WITH THAT OF THE GENERAL CONTRACTOR AND OTHER SUBCONTRACTORS TO MUTUALLY AVOID CONFLICT.
15. ALL PLUMBING WORK SHALL NOT INTERFERE WITH CLEARANCES REQUIRED FOR GENERAL AND MECHANICAL CONSTRUCTION. SHOULD PLUMBING WORK BE INSTALLED WHICH INTERFERES WITH THE WORK OF THE OTHER CONTRACTORS, SUCH WORK SHALL BE CHANGED AT NO ADDITIONAL COST TO THE OWNER.
16. THE P.C. SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO PROCEEDING WITH BID. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
17. THE P.C. SHALL PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO PURCHASE OR INSTALLATION OF ALL EQUIPMENT CALLED FOR IN THE PLANS OR SPECIFICATIONS.
18. THE P.C. SHALL SUBMIT REQUESTS FOR SUBSTITUTIONS IN WRITING.
19. THE P.C. SHALL PROVIDE AS-BUILT DRAWINGS.
20. THE PLUMBING INSTALLATION SHALL MEET THE APPROVAL OF THE ARCHITECT BEFORE ACCEPTANCE BY THE OWNER.
21. ALL WORK SHALL BE GUARANTEED FREE FROM DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF CERTIFICATE OF OCCUPANCY.
22. THE P.C. SHALL TOUCH UP OR REFINISH THE FACTORY FINISH TO ORIGINAL CONDITION OF EQUIPMENT MARRED DURING SHIPMENT OR INSTALLATION. HE IS RESPONSIBLE TO REPAIR TO ORIGINAL CONDITION FURNISHINGS CAUSED DURING PERFORMANCE OF WORK.
23. THE P.C. SHALL KEEP ALL AREAS IN WHICH WORK IS BEING PERFORMED FREE FROM DEBRIS AT ALL TIMES, AND SAID AREA SHALL BE LEFT BROOM CLEAN AT THE END OF EACH WORKING DAY.
24. AT THE COMPLETION OF THE WORK, THE P.C. SHALL REMOVE ALL RUBBISH CAUSED BY HIS WORK, AND SHALL THOROUGHLY CLEAN ALL PLUMBING EQUIPMENT.
25. THE P.C. SHALL VERIFY ALL EXISTING CONDITIONS ASSOCIATED WITH WORK AND REPORT ANY DISCREPANCIES TO ARCHITECT/ENGINEER PRIOR TO BID.
 - A. WORKING DRAWINGS
 - B. SPECIFICATIONS
 - C. ALL APPROVED SHOP DRAWINGS
 - D. ALL ADDENDA, CHANGE ORDERS AND CORRESPONDENCE. IF A LADDER AND CONTRACT DOCUMENTS ARE NOT AVAILABLE AT THE TIME OF INSPECTION, THE P.C. SHALL PAY THE ARCHITECT OR ENGINEER FOR THE VISIT TO THE SITE AND A NEW INSPECTION TIME SHALL BE AGREED UPON.

TABLE 604.4 MAXIMUM FLOW CONSUMPTION FOR PLUMBING FIXTURES	
PLUMBING FIXTURE OR FIXTURE FITTING	MAXIMUM FLOW RATE OR QUANTITY
Lavatory (hand wash)	1.5 gpm at 60 psi
Water closet	1.28 gallons per flushing cycle
Shower head	1.5 gpm at 80 psi
Kitchen sink	1.5 gpm at 60 psi

ANTI SCALD VALVE REQUIRED FOR TUB/SHOWER

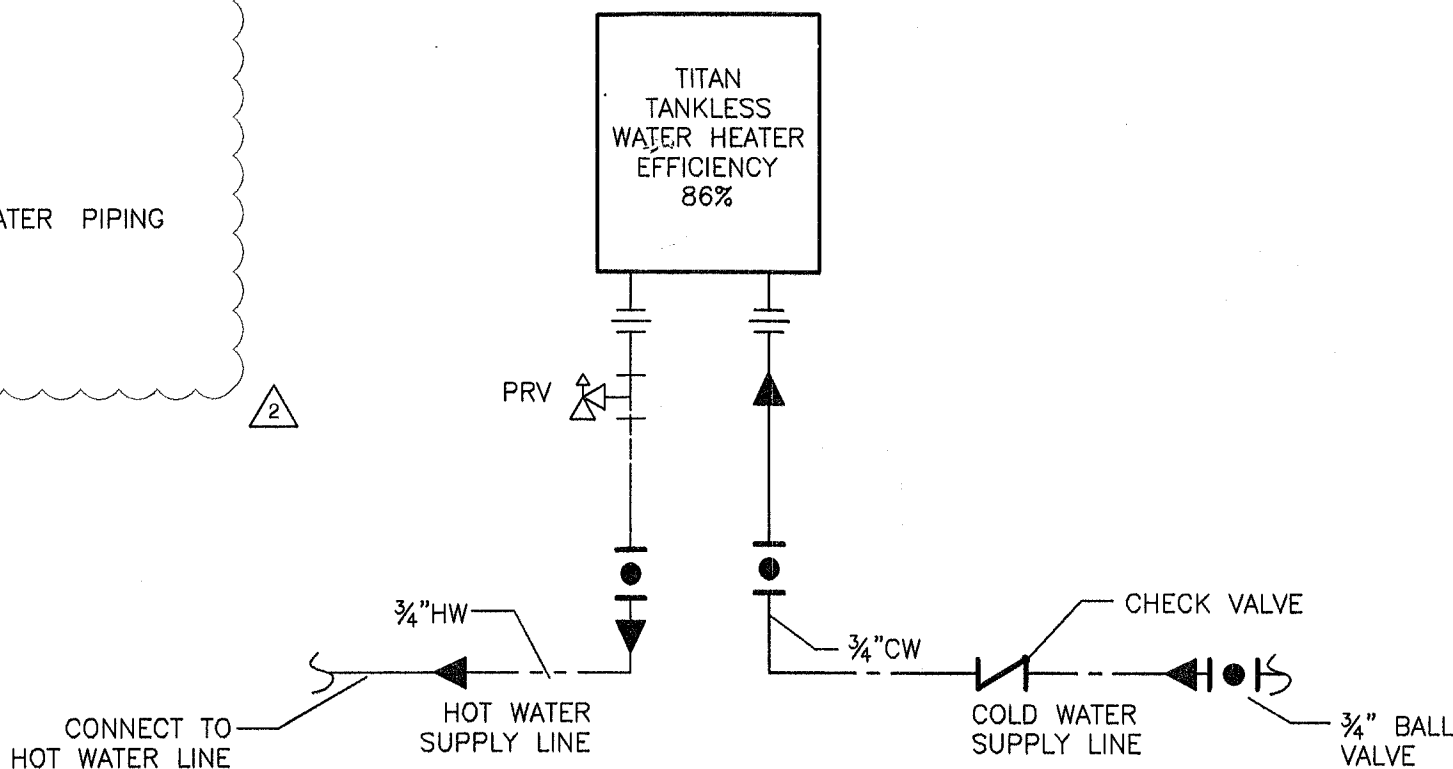
PLUMBING FIXTURES SHALL COMPLY WITH THE NEW WATER CONSUMPTION RATES IN ORDINANCE 08-14 (TABLE 604.4) & FBC, PLUMBING CHAPTER 4 REFERENCE STANDARDS.

PLUMBING PRODUCTS

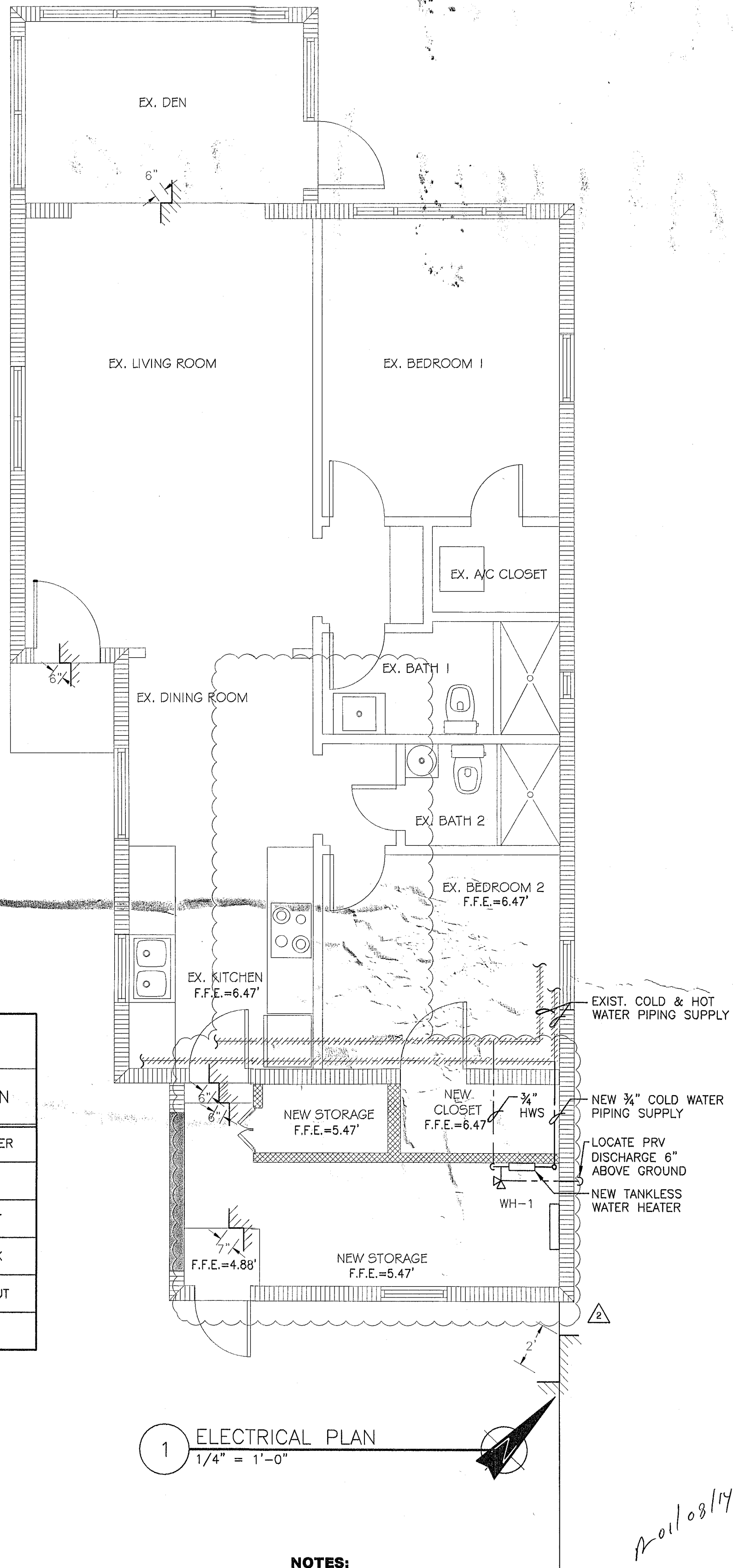
1. SANITARY SEWER: PVC SCH.40
2. FIXTURE DRAINAGE ARMS: DWV COPPER.
3. WATER PIPE:
PVC & CPVC SCHEDULE 40.
4. ALL BALL VALVES ASSOCIATED WITH WATER PIPING SHALL BE FULL PORT.
5. VENT LINES SHALL BE PVC.

PLUMBING LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
---	NEW COLD WATER LINE	W/H	WASHER & DRYER
---	NEW HOT WATER LINE	SHO	SHOWER
---	SANITARY LINE	WC	WATER CLOSET
---	SANITARY VENT	LAV	LAVATORY SINK
GCO ●	FLOOR CLEAN OUT	CO	WALL CLEAN OUT
--- ---	BALL VALVE		



2 TANKLESS WATER HEATER DETAIL
1/4" = 1'-0"



1 ELECTRICAL PLAN
1/4" = 1'-0"

NOTES:

1. ALL UTILITIES AND EQUIPMENT AND ACCESSORIES (ELECTRICAL, MECHANICAL, AND PLUMBING) SERVICING THE BUILDING IS RECOMMENDED TO BE INSTALLED ABOVE F.F.E. OF THE ADJACENT HABITABLE SPACE OF THE EXISTING STRUCTURE.
2. EQUIPMENT AND ACCESSORIES INSIDE LAUNDRY ROOM MUST BE ELEVATED TO THE F.F.E. OF THE EXISTING HOUSE

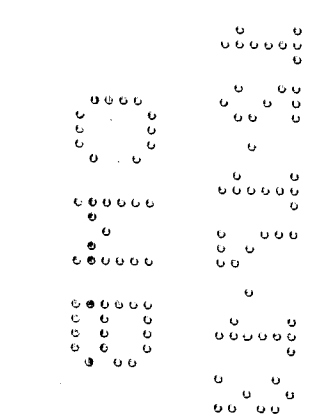
NOTES:

- EXISTING RESIDENCE WAS NOT PROVIDED IT WITH AUTOMATIC CLOTHES WASHER CONNECTION.
- TOTAL IMPROVEMENTS IN THE LAST 5 YEARS INCLUDING THIS PROJECT IS UNDER 50% OF TOTAL VALUE OF THE BUILDING.
- UNDER GRANDFATHER CLAUSE LAW, CLOTHES WASHER IS NOT REQUIRED.

ENGINEER: EDGAR MUNOZ FL LIC. NO. 50051 6623 NW 173 LANE MIAMI, FL 33015 Phone: (305) 219-9791		
PROJECT NAME AND ADDRESS BRIAN CLARK 8 CENTURY LANE MIAMI BEACH, FL 33139		
NO.	REVISION / ISSUE	DATE
△	BLDG COMMENTS	07.24.2013
△	BLDG COMMENTS	12.12.2013
TITLES PLUMBING PLAN		
DATE 01-08-2013	DWG NO. P.1	
SCALE AS SHOWN		

B1400014

8 Century Lane



CITY OF MIAMI BEACH
Building Department
1700 Convention Ctr Drive, 2nd Floor
Miami Beach, Florida 33139
Inspections: (305) 673-7370
Office: (305) 673-7610

B1503842 BCO15302 CO

Certificate of Occupancy
Certificate Number: BCO15302

Status: APPROVED

Issued By: BUILD00B

Site Address: 8 CENTURY LA MBCH
Parcel #: 32330020080

Applied: 07/02/2015
Issued: 07/07/2015
Extended:
To Expire:

Tenant:

Property Owner: JOAN S BAKER & H LAWRENCE S &
BRIAN CLARK JTRS
2550 LA CONDESA DV 90049

Class Code: R3
Issued For: Renewal of B1400014/Bv12000414//Legalization garage
enclosure turned into a storage, new water heater and fence.

Temporary Expiration Date:

Current Use: Storage
Previous Use: Garage

OCCUPANCY INFORMATION

Building Permit #: B1503842	Zoning Use District:
Occupancy Group: R3	Construction Type:
Maximum Occupant Content	Minimum Number of Exits:
Zoning Ordinance Number: 89-2665	SS # or Taxpayer ID#:

This is to certify that the above tenant, whose address is noted above, has filed for premission to use the property located at the address noted above, and said proposed use or uses being in comformity with the provisions of the zoning ordinance 89-2665 and the Building Code of the City of Miami Beach, a Certificate of Occupancy is hereby granted to use said building for the purpose described below, subject to any special condition(s) detailed in this document.

NOTE: Any unauthorized additions, alterations or change in use of this property will void this Certificate of Occupancy.



7/7/15

Building Official Signature and Date
MARIANO V. FERNANDEZ, PE

This Certificate of Occupancy is valid only if there is an APPROVED Status and a Building Official Signature.
[CERTOCCP14]

MIAMI BEACH

BUILDING DEPARTMENT

2015 JUN 30 PM 4:06

CITY OF MIAMI BEACH

Building Department
1700 Convention Center Drive, 2nd FL
Miami Beach, Florida 33139
Tel: 305.673.7610 ext. 6868
Fax: 786.394.4705

Request for Certificate of Occupancy or Completion



Certificate of Occupancy



Certificate of Completion

4

Date 6-30-15	Permit Number B 150 3842 / BCO15302
Job Address 8 CENTURY LANE	Tax Folio #
Unit/Suite # N/A	Occupancy/Use STORAGE
Total square feet for this CO/CC request	Number of Residential Units for this CO/CC request —
Contractor MENYAL ELECTRIC, INC	Mailing address
Telephone Number	E-Mail Address TON LM FEATHERSTON EGMAR.COM
Owner	Mailing address Featherston.
Telephone Number	E-Mail Address
Contact Name LAWOOD FEATHERSTON	Contact Telephone Number 305-606-4022

Office Use Only

Approved:

Mariano Fernandez, P.E.
Building Official/Director

- Pending long ✓
- Pending payment ✓
- Not under 7/10
- Not under 7/7

Revised August 2014