

# 1440 MICHIGAN AVENUE Qriar Rental Michigan LLC

City of Miami Beach  
HPB Meeting  
November 18, 2025  
File No. HPB24-0640



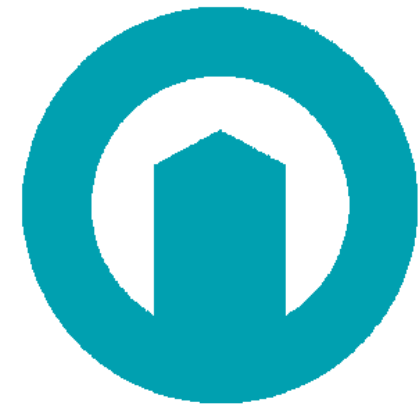
# The Team



All **Landscape** Data



**LANGAN**

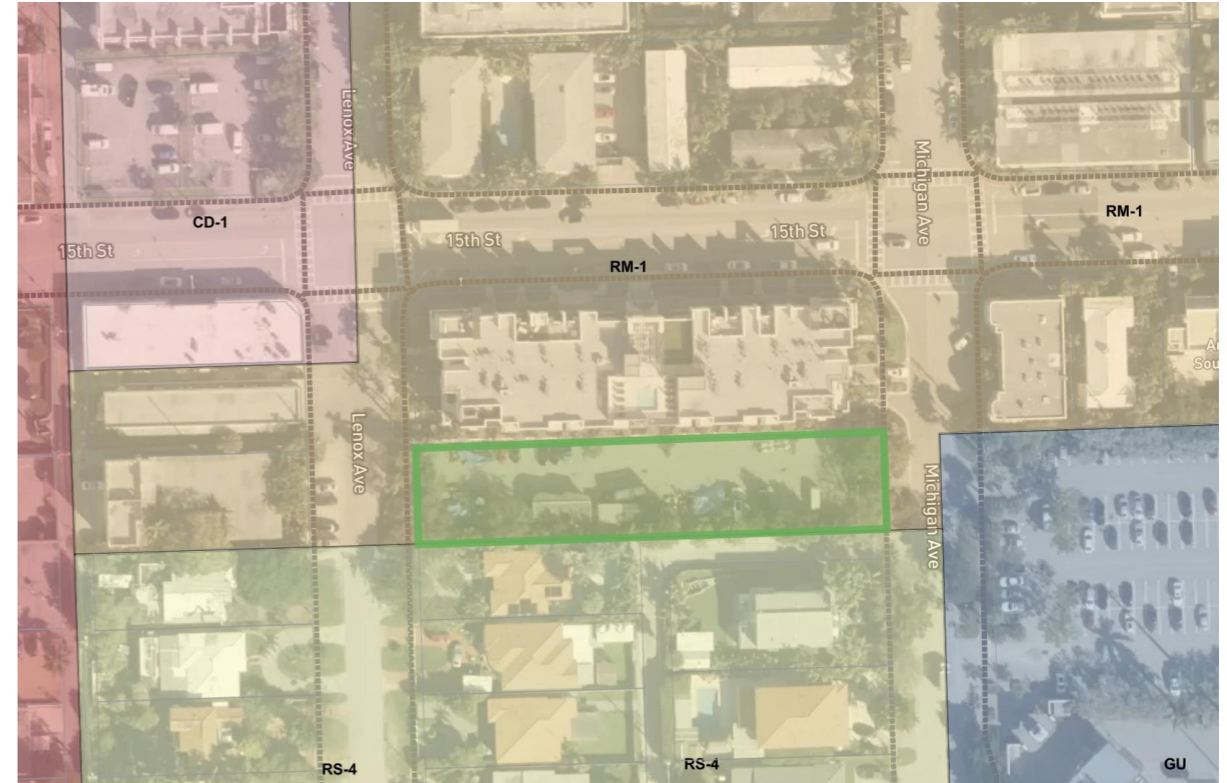


**QRIARCITY**  
DEVELOPING COMMUNITIES

## Prior Conditions



## Zoning Districts

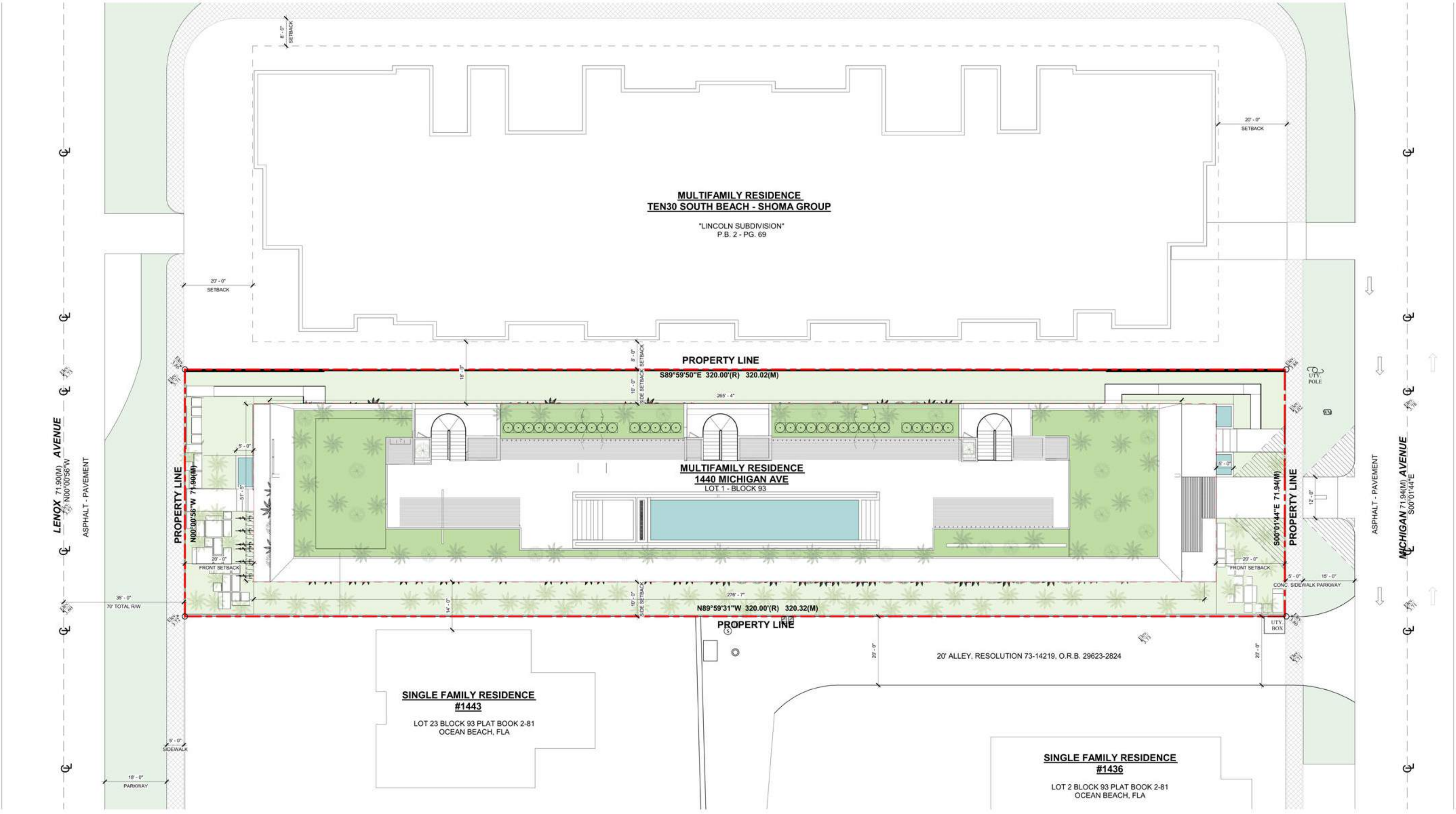


- Two properties previously owned and used by BellSouth Telecommunications d/b/a AT&T for its service operations.
- February 24, 2015 – Planning Board approved Lot Split PB Order No. 2223.
- North parcel developed with the Ten30 South Beach project, completed in 2022.

# The Location



# Site Context - Site Plan



SITE PLAN  
1/16" = 1'-0"



# Site Context - Michigan Avenue

EXISTING



PROPOSED



# Site Context - Lenox Avenue

EXISTING



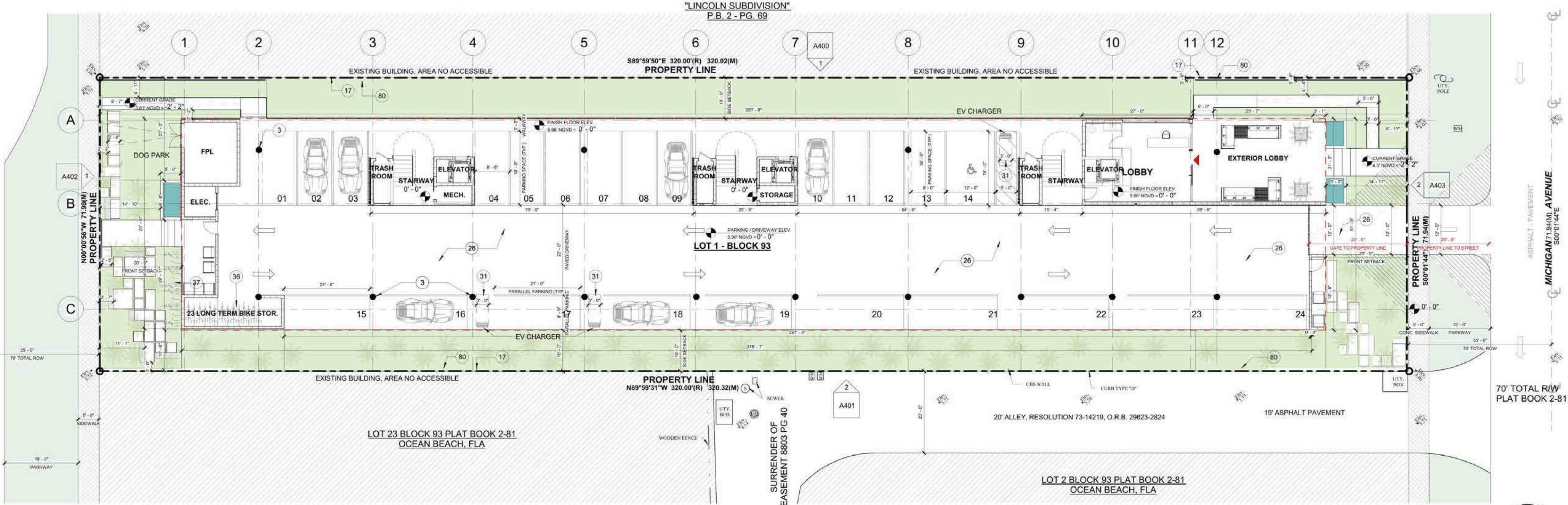
PROPOSED





# Site Context - Site Plan

- Narrow infill site
- First floor engages pedestrians with
  - Landscape & seating
  - Green walls and planters at human scale
- 39 bike racks promote active mobility
- Visual openness & privacy balance
- Resilient, community-oriented frontage

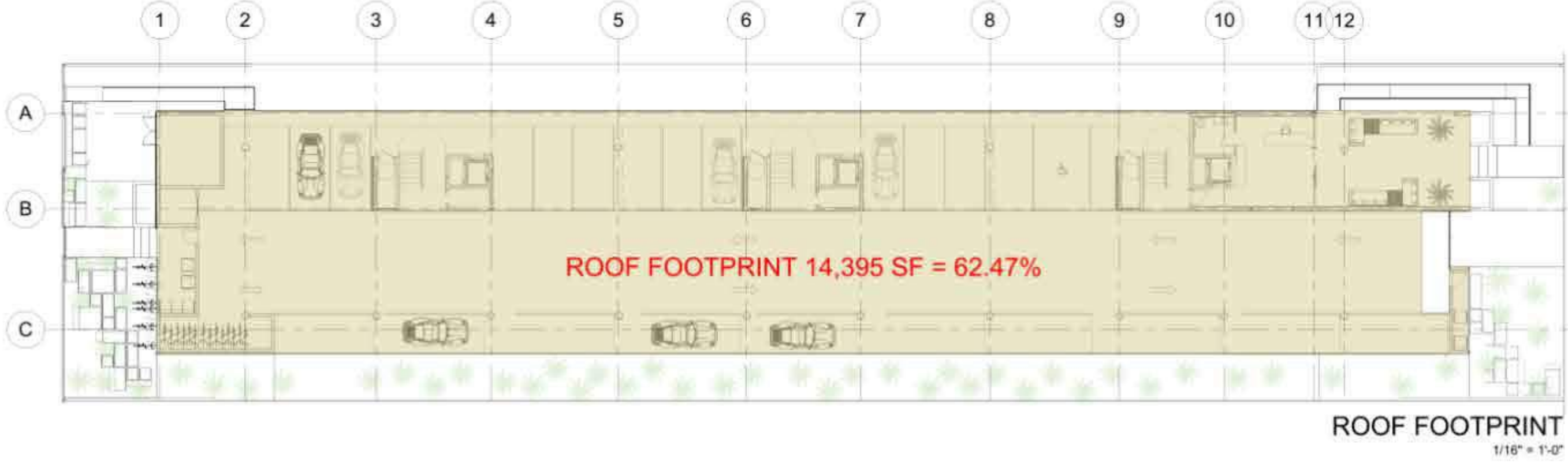
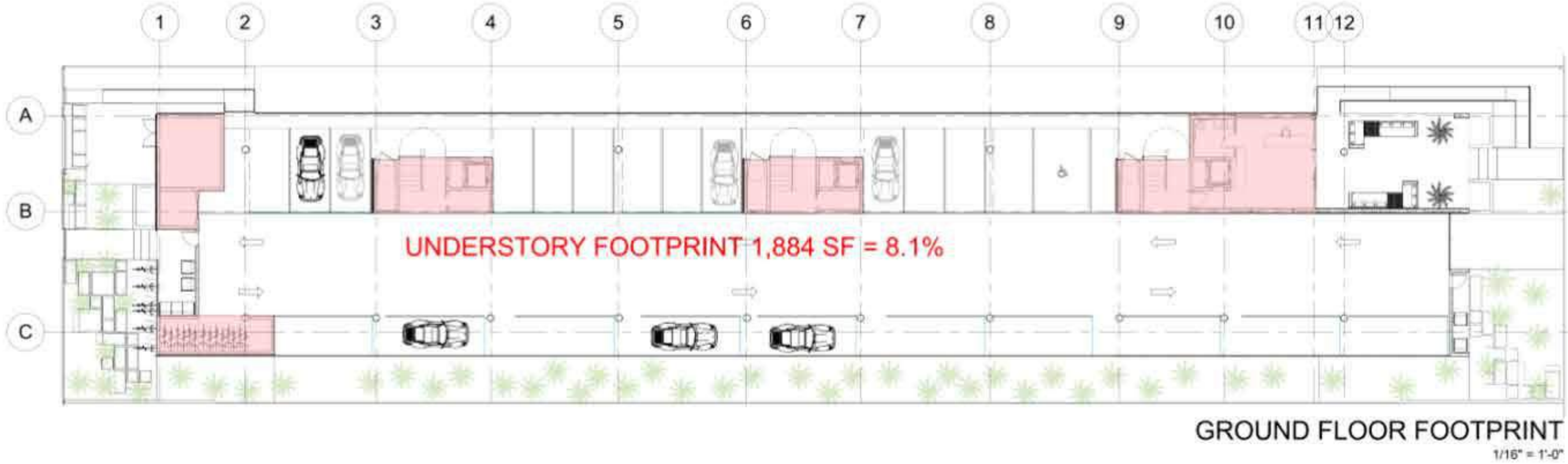


ENLARGED SITE PLAN  
1 : 150

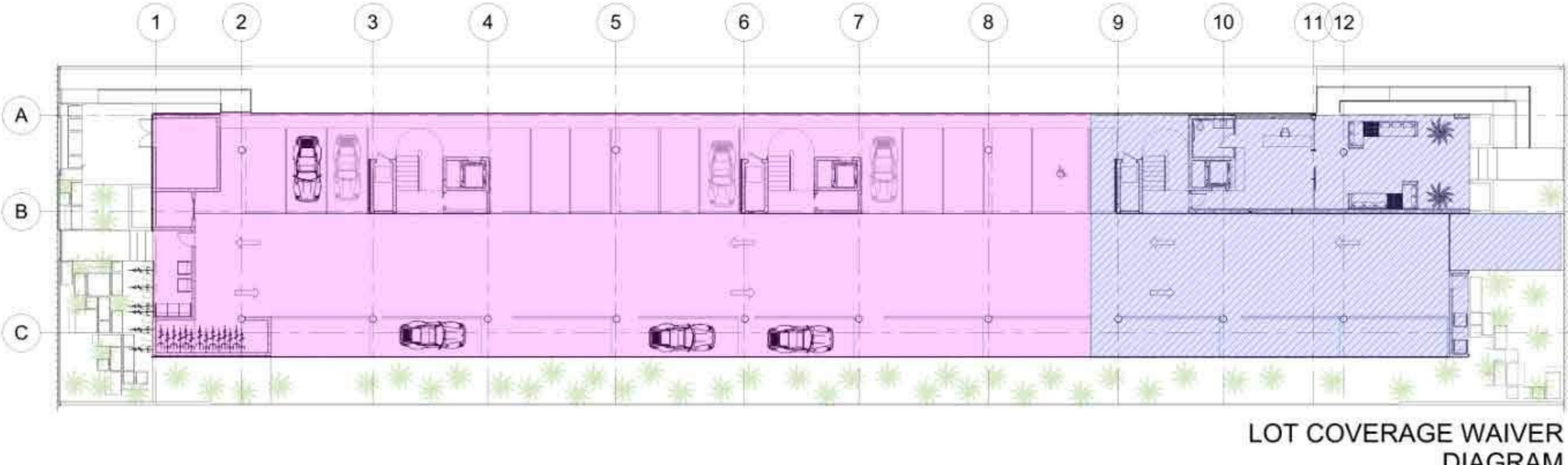


# Site Diagram - Waiver Request

AREAS DIAGRAM		
NAME	AREA	%
UNDERSTORY FOOTPRINT (UNDER ROOF)	1,884 SF	8.1%
TOTAL ROOF FOOTPRINT	14,395 SF	62.47%






WAIVER DIAGRAM		
NAME	AREA	%
LOT COVERAGE REQUIRED (BLDG FOOTPRINT+DRIVEWAY)	10,368 SF (45%)	
LOT COVERAGE DEFICIENCY	4,379 SF (19%)	

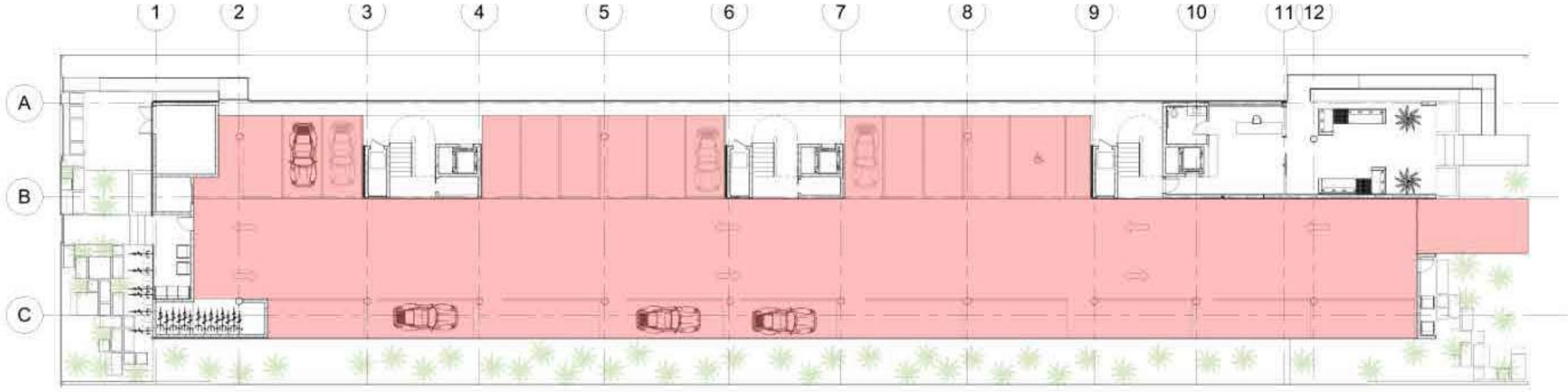
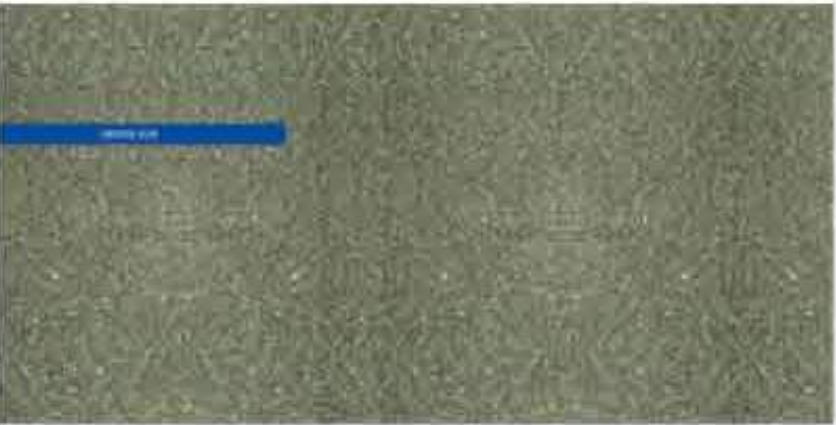


# Site Diagrams - Pervious Areas

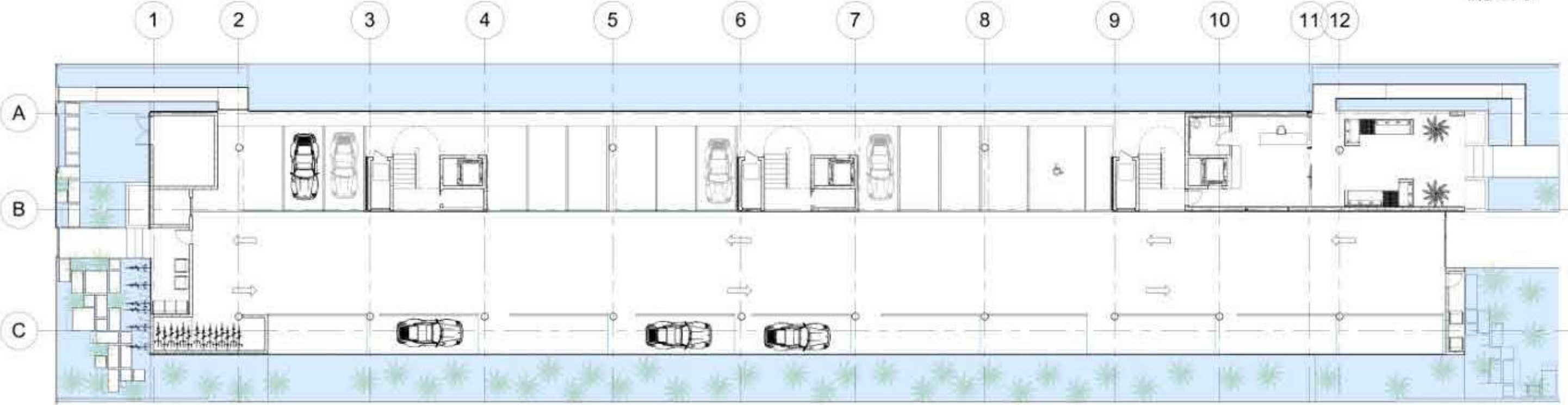
- To support city's resiliency and stormwater goals:
- Fully landscaped setbacks
- 100% pervious / permeable hydroPAVERS
- Vertical planting
- Green roof

PERVIOUS AREAS DIAGRAM		
NAME	AREA	PERCENTAGE
 HYDROPAVERS® PERMEABLE PAVING SYSTEM: COLOR GREEN 018 IN 5.91" x 11.81" x 2.17"	10,847 SF	47.0%
 GREEN AREA (GROUND FLOOR)	7,224 SF	31.35%
 GREEN AREA (ROOF TOP)	4,413 SF	19.2%

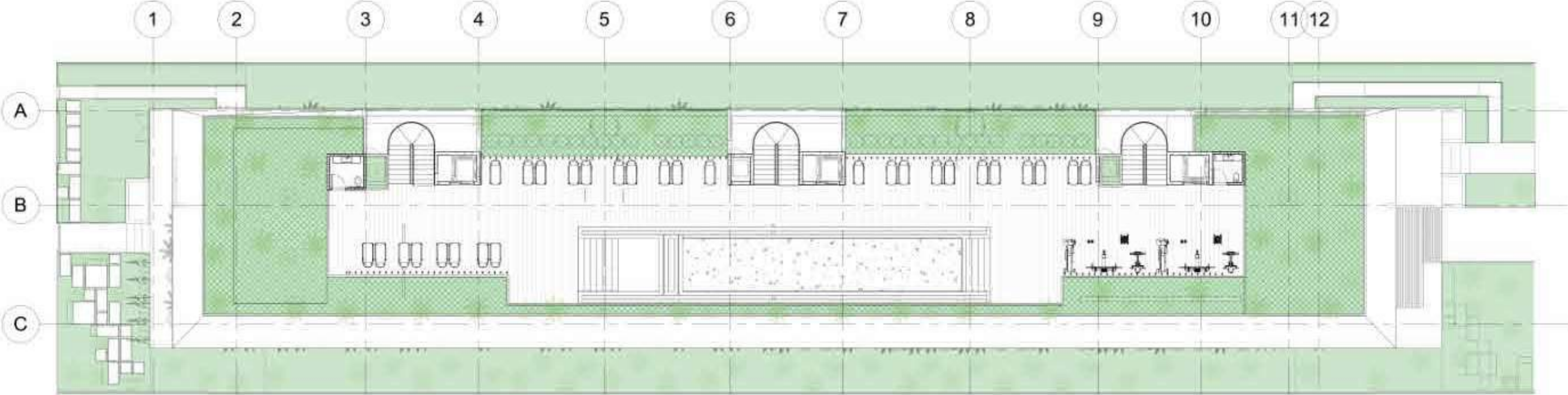
HYDROPAVERS® PERMEABLE PAVING SYSTEM: COLOR GREEN 018 --- IN 5.91" x 11.81" x 2.17"



PERVIOUS DRIVEWAY  
1/16" = 1'-0"



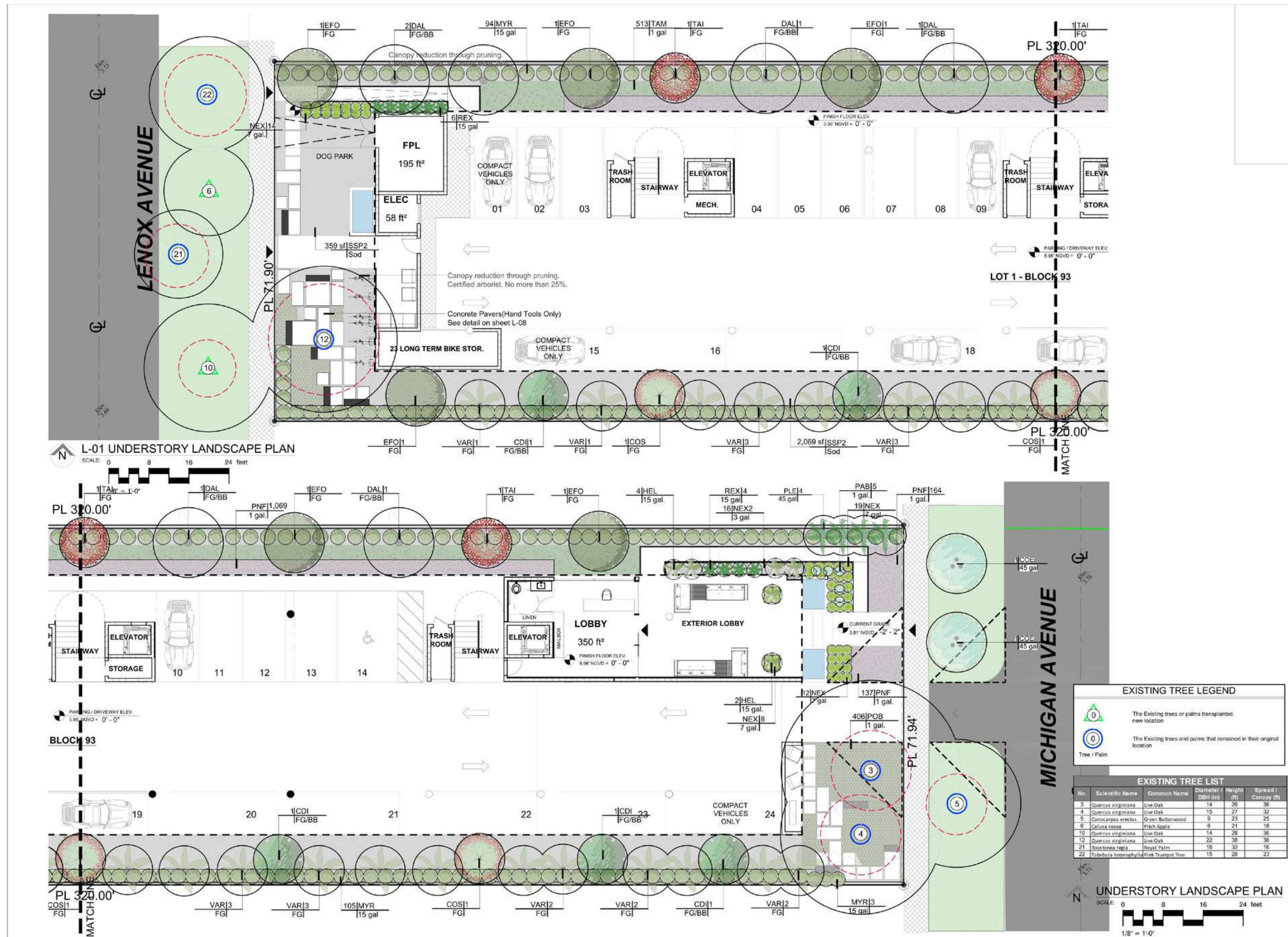
GREEN SPACE (GROUND FLOOR)  
1/16" = 1'-0"



GREEN SPACE (TOTAL)

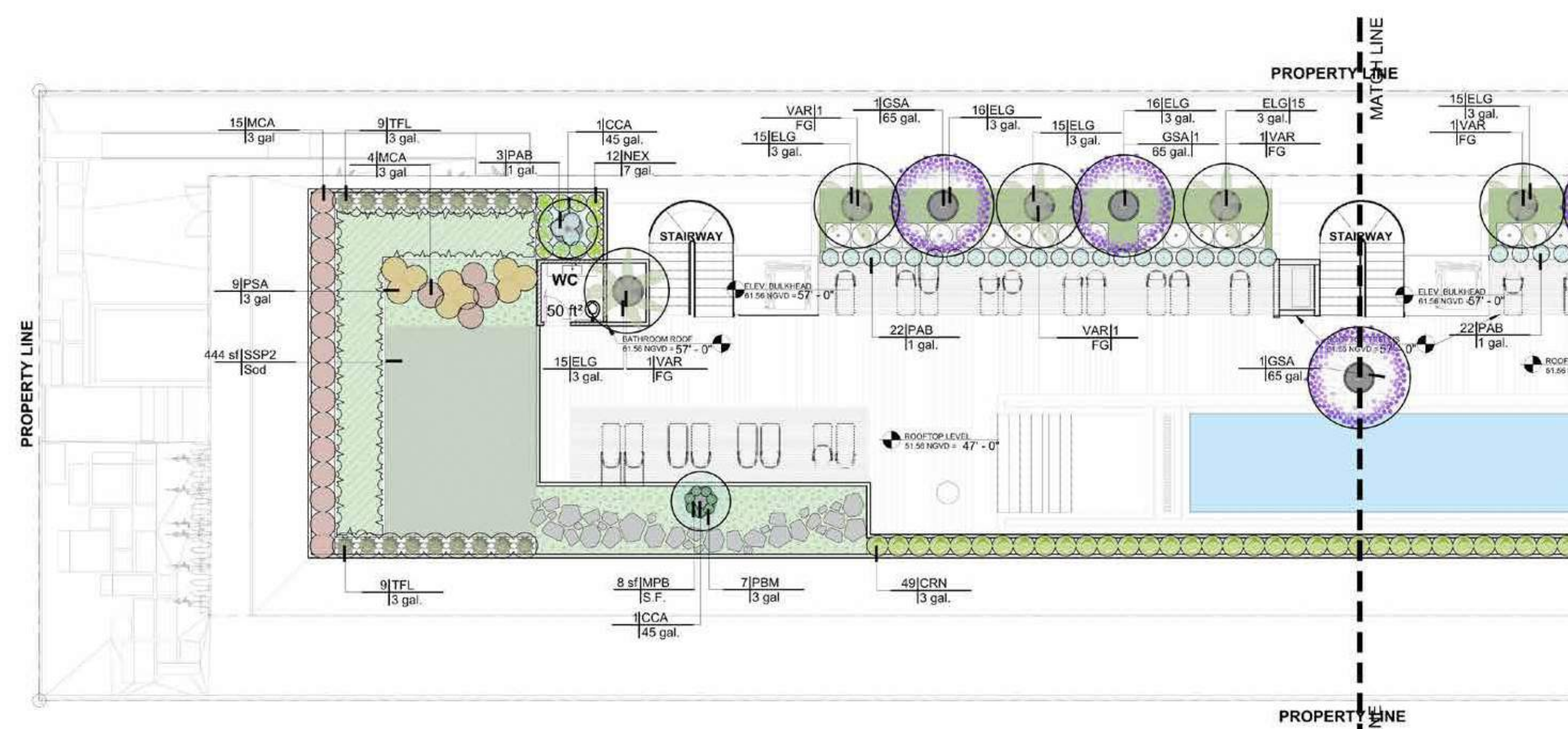
# Landscape Plan - Understory

- Native species
- Stormwater management
- Pedestrian approach
- Shading for seating areas
- Residential feel
- Subtle transition from multifamily to Single Family

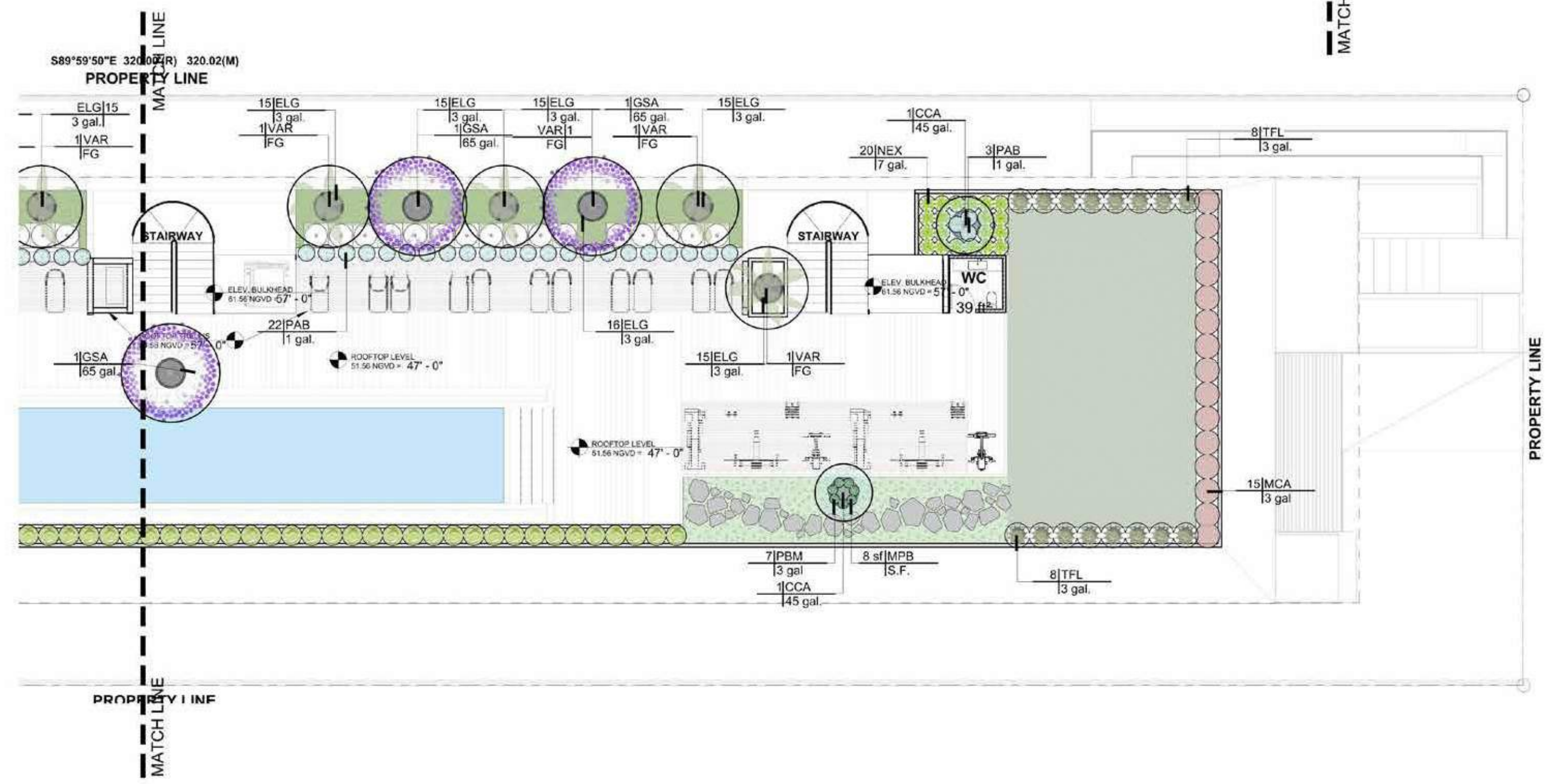


# Landscape Plan - Roof

- Green Roof
- Stormwater management
- Urban Heat Island Reduction
- Native species
- Recessed HVAC equipment
- Green equipment screening
- Green buffer



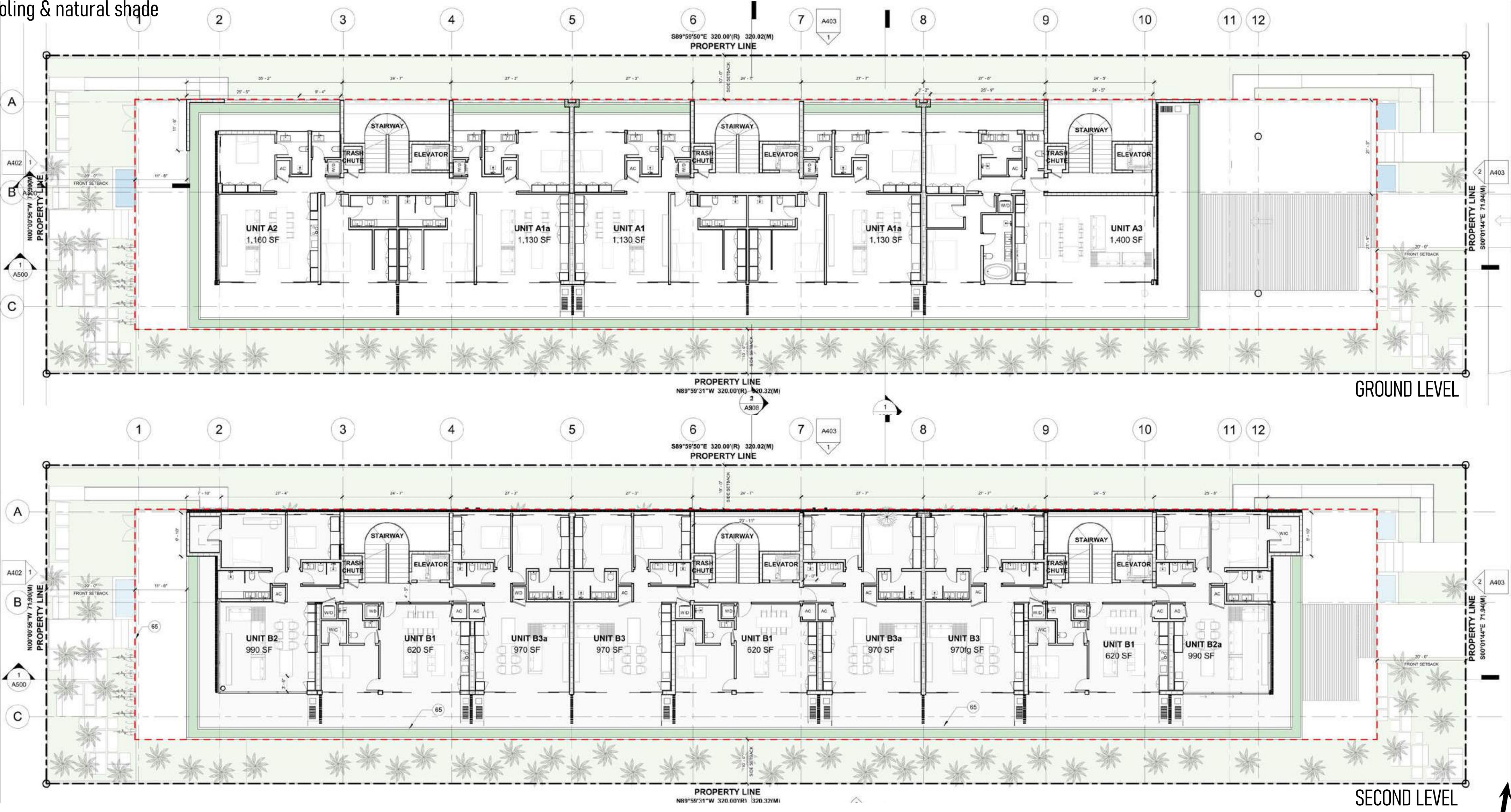
L-03 ROOFTOP LANDSCAPE PLAN  
SCALE: 0 8 16 24 feet  
1/8" = 1'-0"



L-04 ROOFTOP LANDSCAPE PLAN  
SCALE: 0 8 16 24 feet  
1/8" = 1'-0"

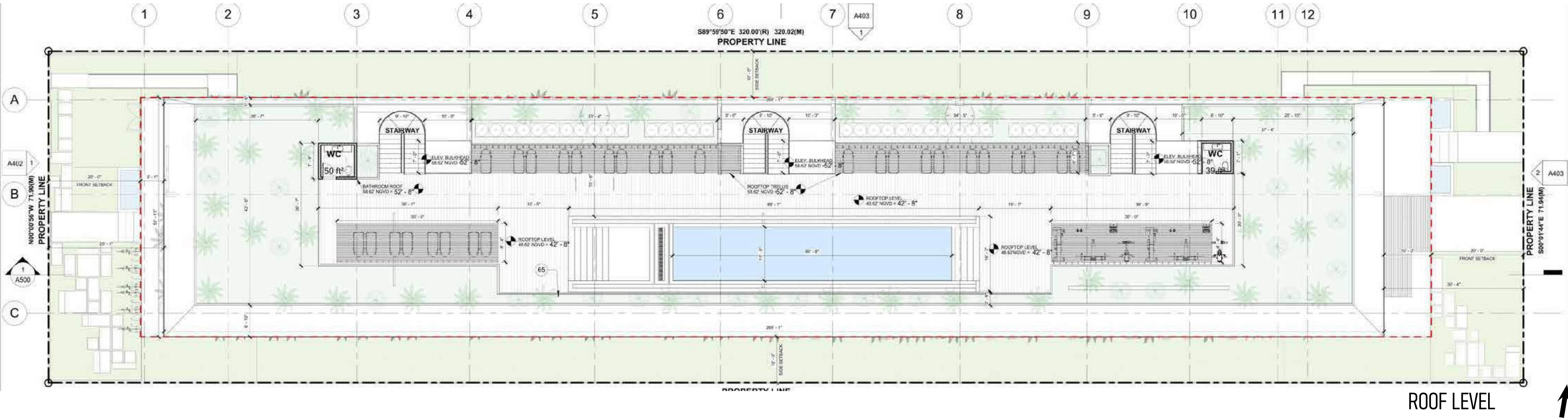
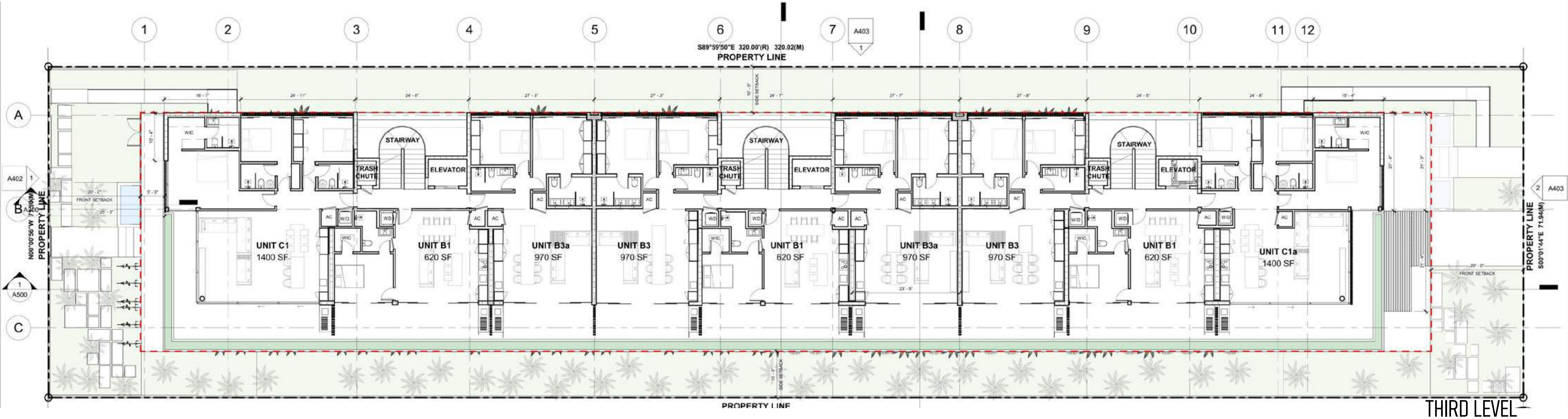
# Floor Plans

- Recessed balconies: depth, shading, privacy
- All levels Layered landscaping & green buffers
- Passive cooling & natural shade



# Floor Plans

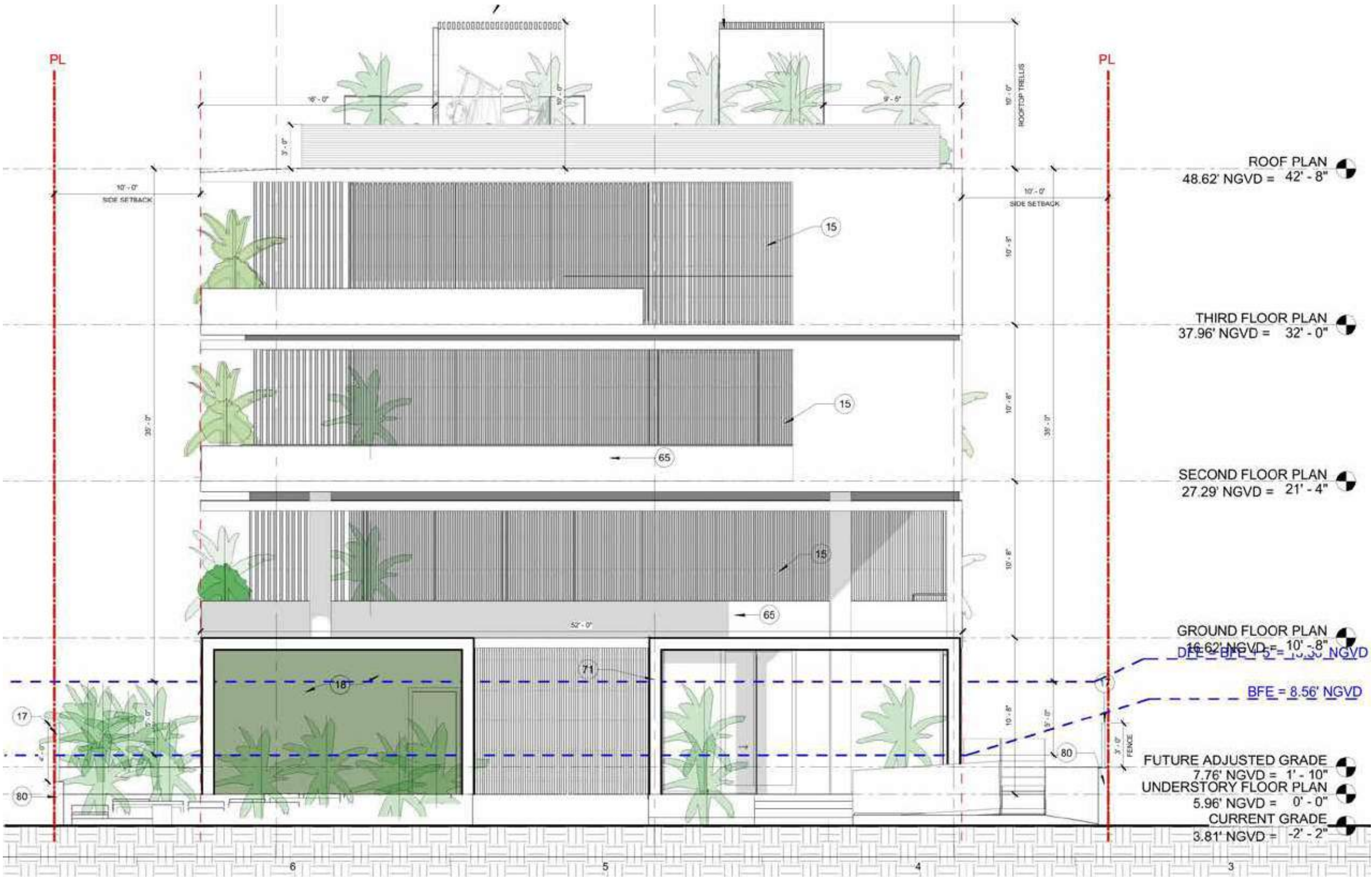
- Louvered partitions & Open ended structure : breaks up mass; lighter volume
- Increased south setback: respects adjacent single-family properties



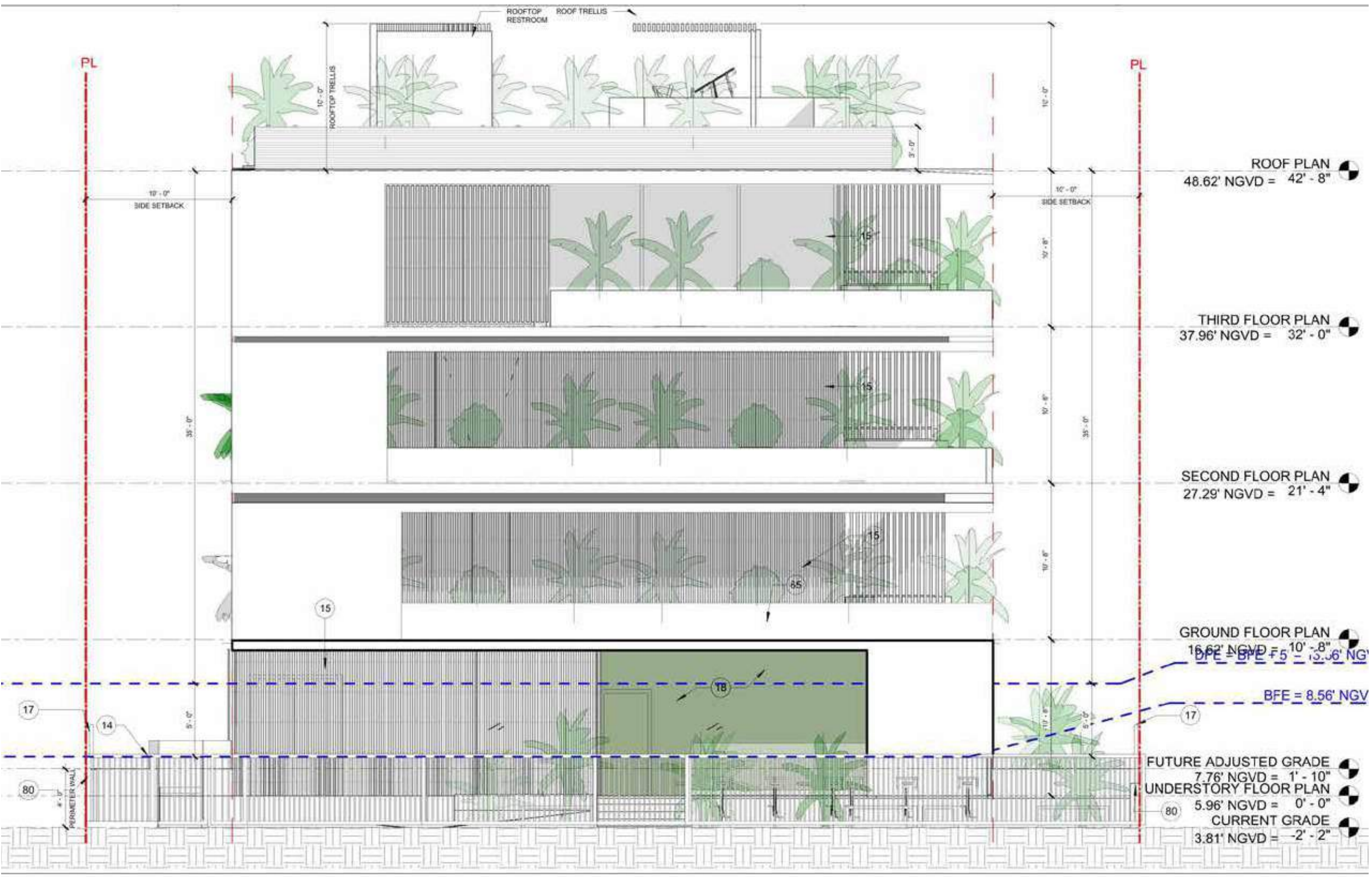
# Elevations - East & West

- Dynamic Facades
- Green Walls
- Wood-Like aluminum slats
- Glass Elements
- Woodlike planters
- Vertical greenery
- Water features

- Balanced transparency & Privacy
- Filtered & passive lighting
- Natural material approach
- Disguised parking
- Nature integrate landscape architecture
- Pedestrian opportunities: lighting, seating, natural shade



EAST ELEVATION - MICHIGAN AVENUE



WEST ELEVATION - LENOX AVENUE



DO NOT  
ENTER

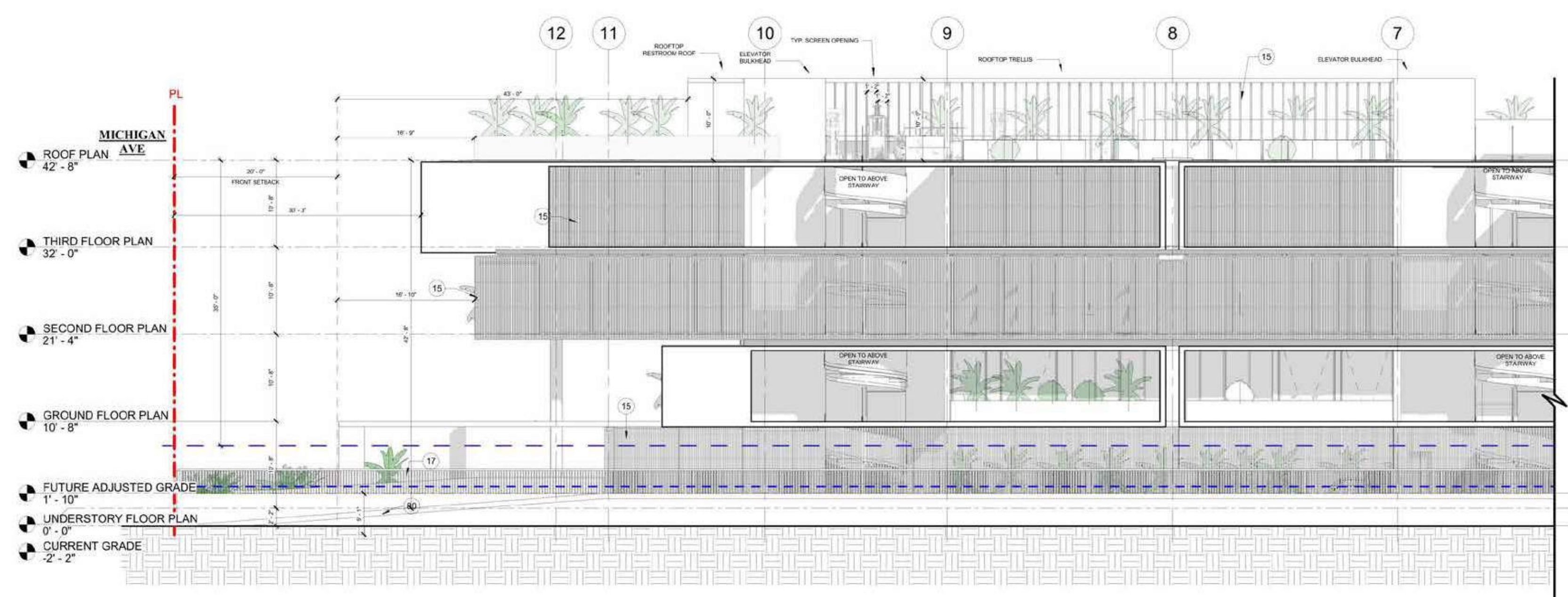
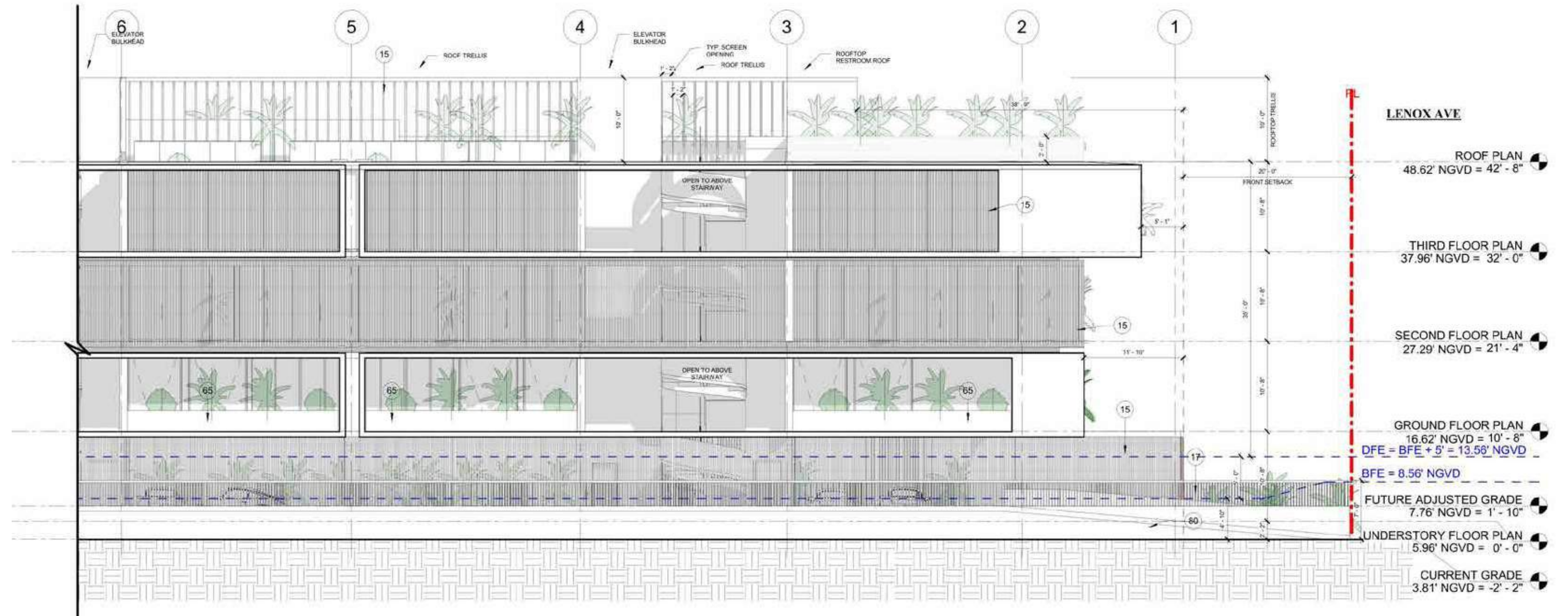






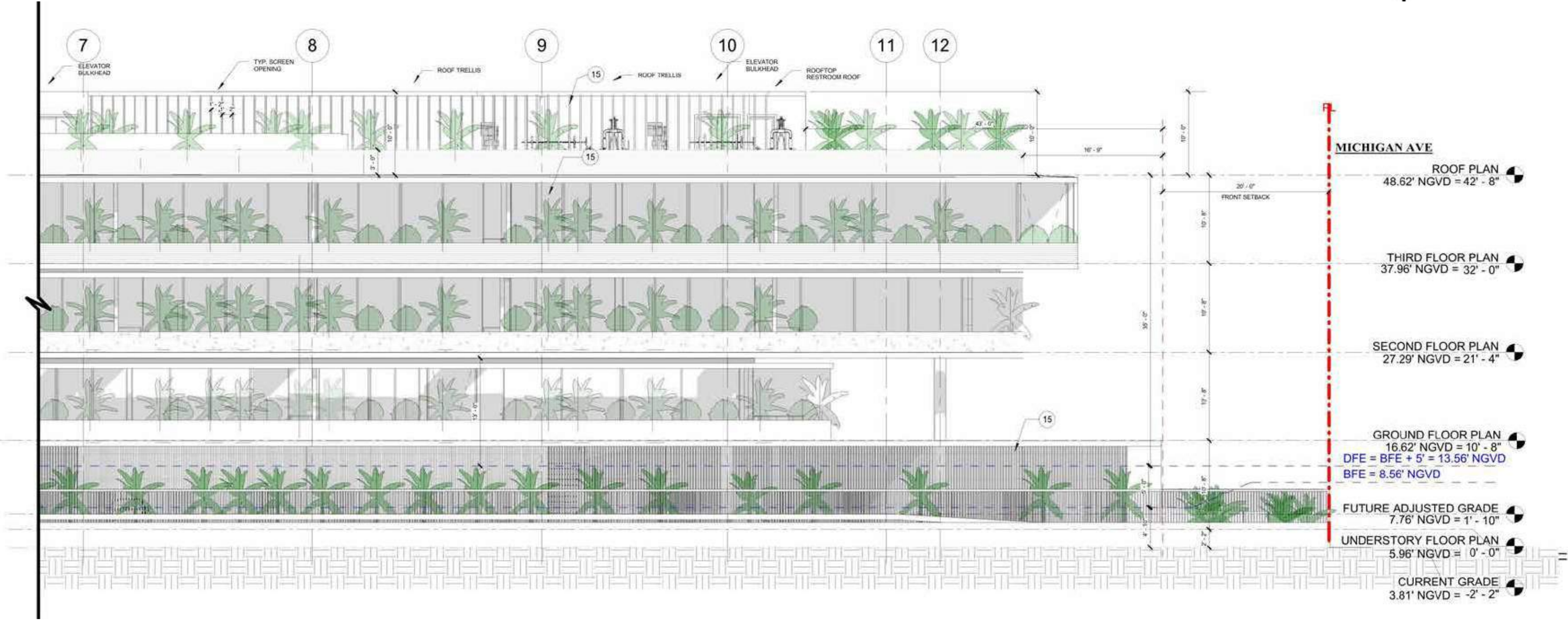
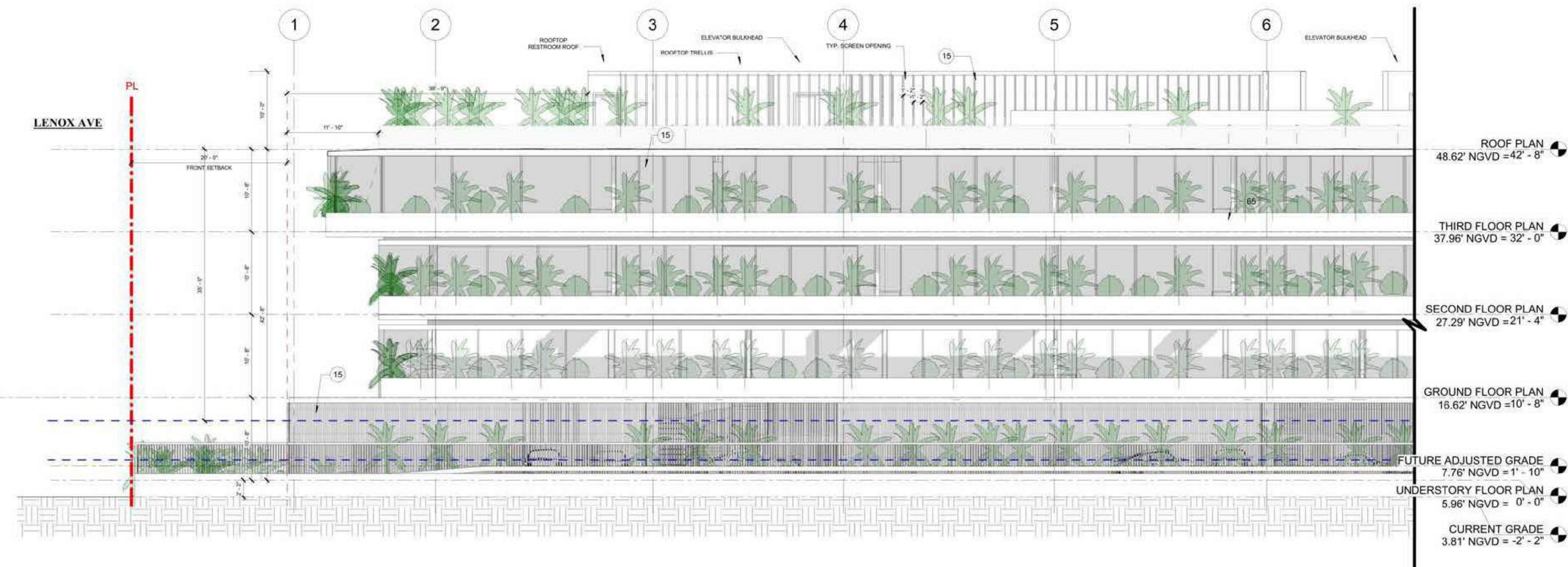
# Elevation - North

- Dynamic Facades
- Recessed balconies
- Wood-Like aluminum slats
- Glass Elements
- Woodlike planters
- Vertical greenery
- Balanced transparency & Privacy
- Filtered & passive lighting
- Natural material approach
- Nature integrate landscape architecture



# Elevation - South

- Dynamic Facades
- Recessed balconies
- Wood-Like aluminum slats
- Glass Elements
- Woodlike planters
- Vertical greenery
- Balanced transparency & Privacy
- Filtered & passive lighting
- Natural material approach
- Nature integrate landscape architecture



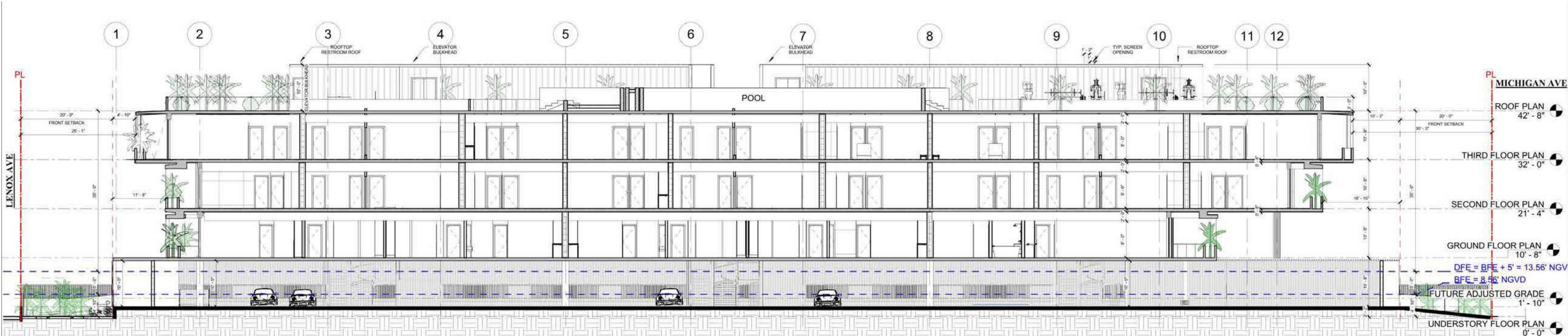
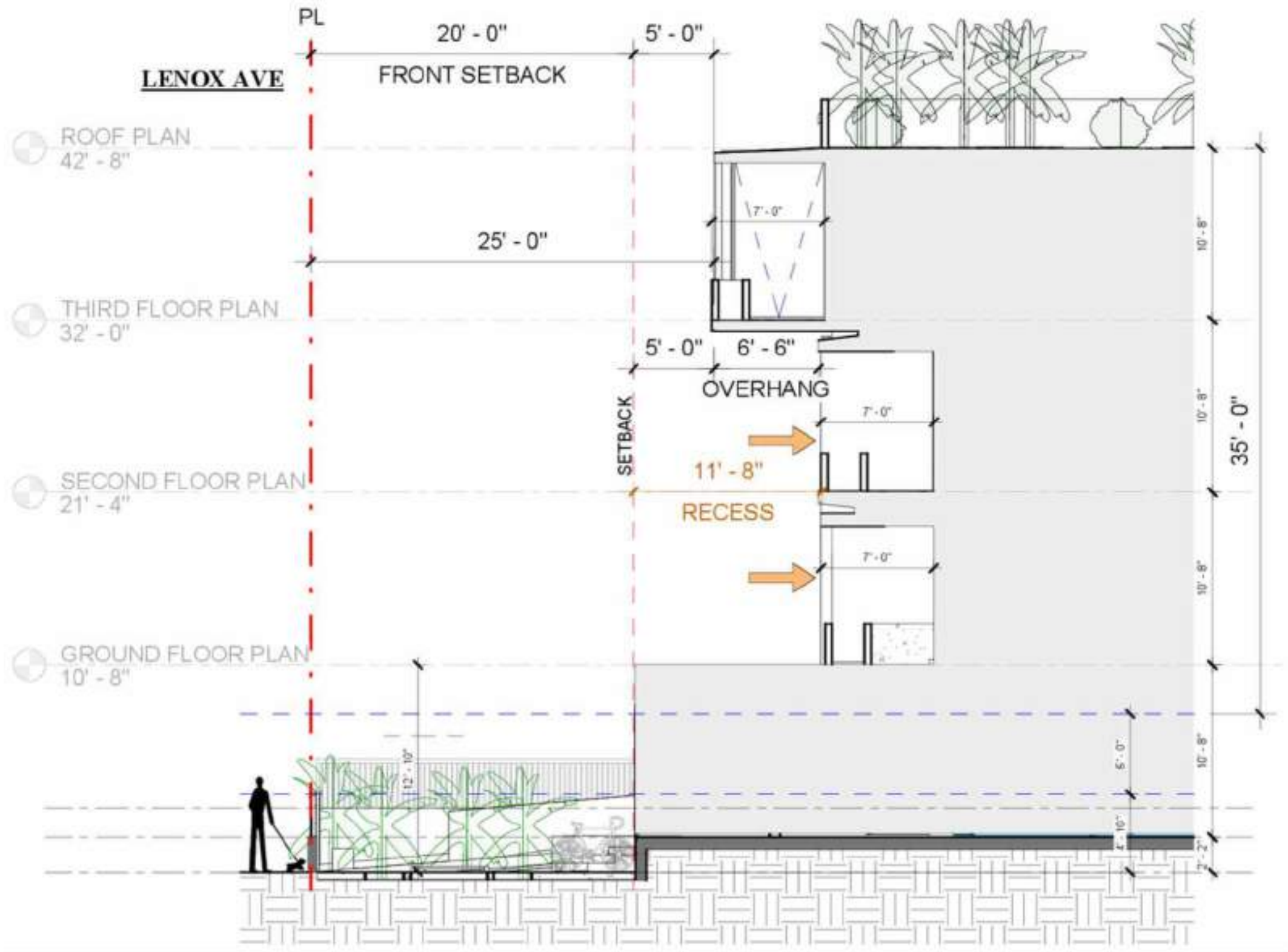




# Section

Recessed 2nd and 3rd floors:  
 - Create human-scale residential transition

Overhangs:  
 - Dynamic Facade  
 - Structural sophistication  
 - Layered structure  
 - Vertical greenery  
 - Exceeds minimum required setbacks



# Section

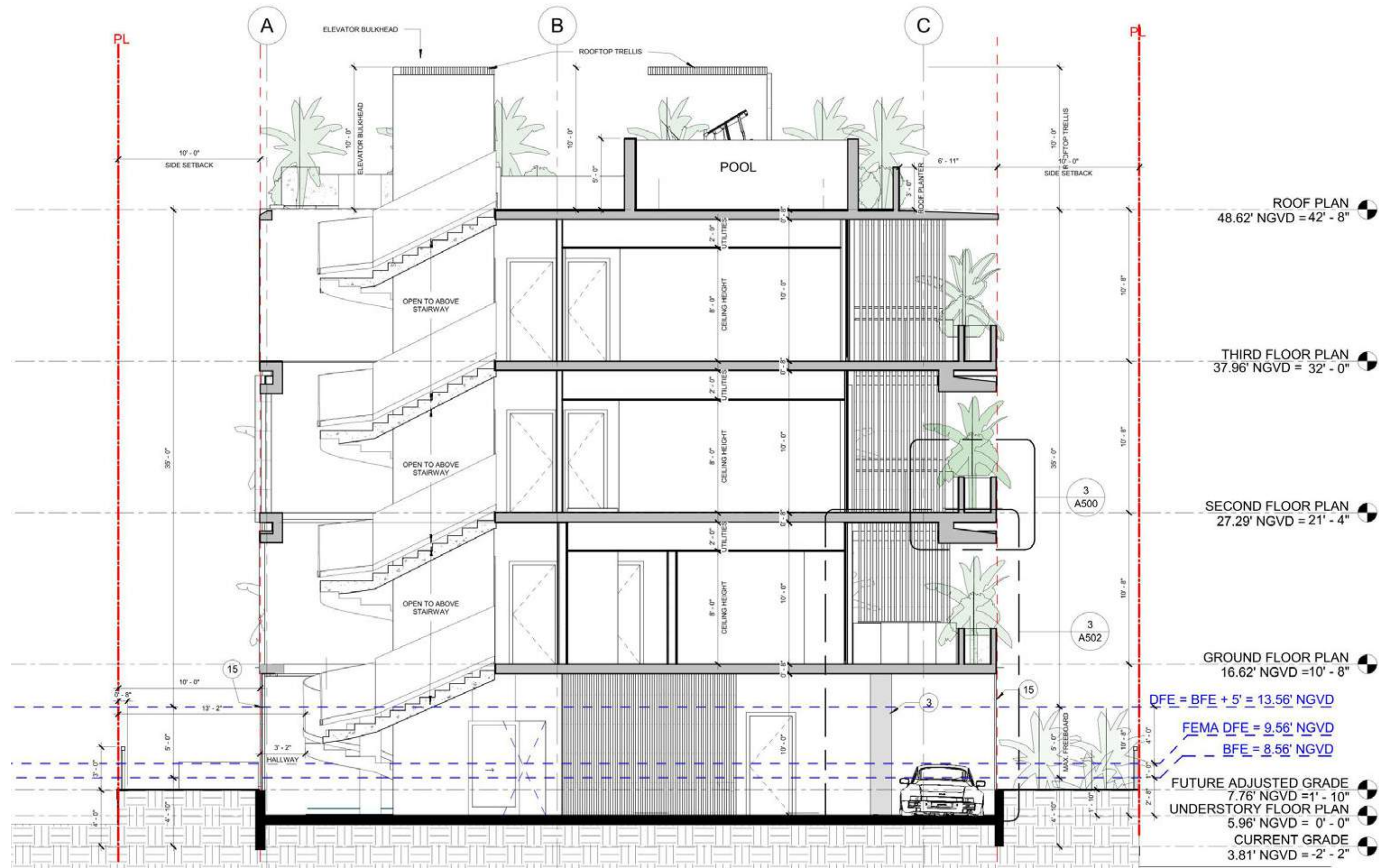
North:

- Mostly circulation spaces (Approx. 30' Setback)

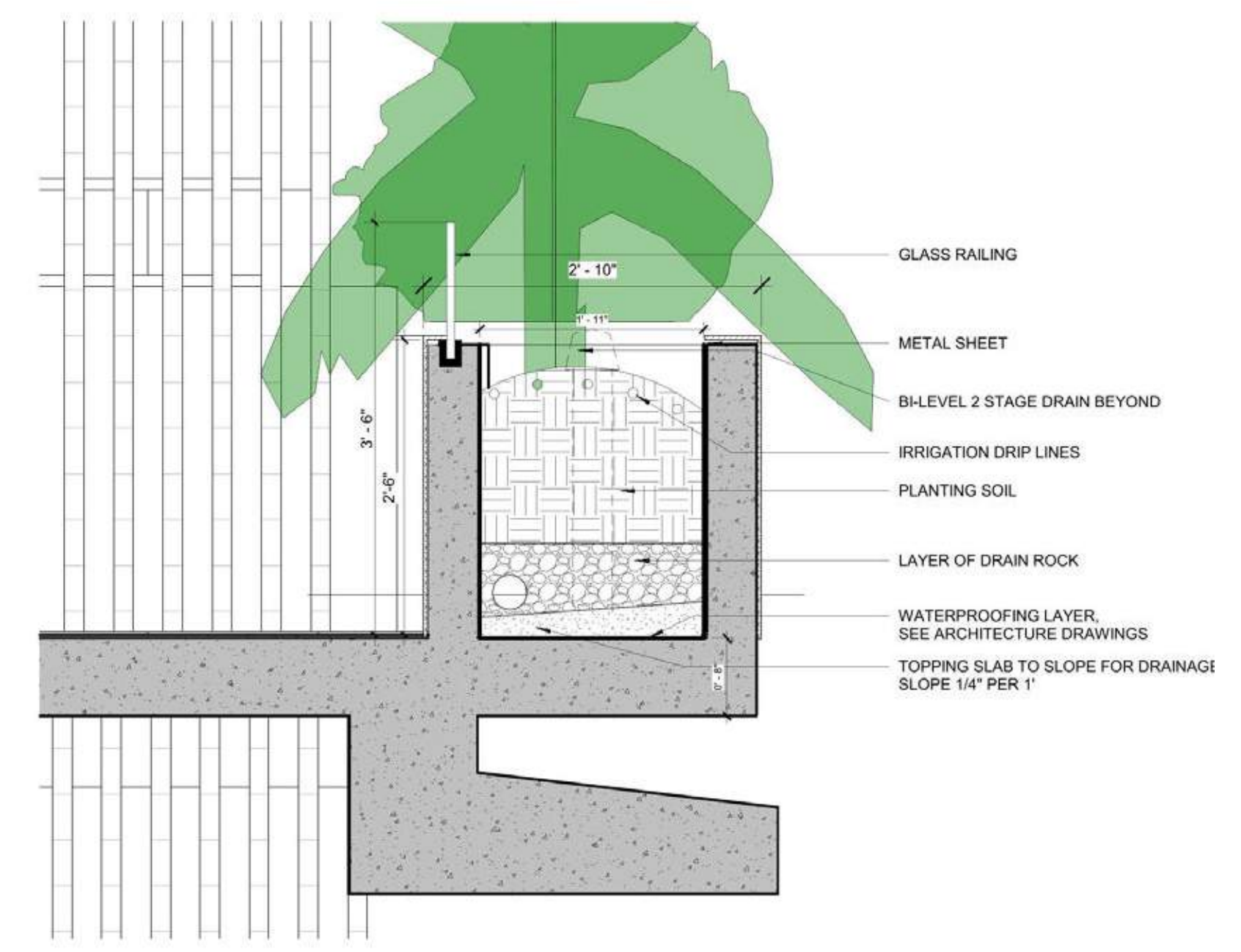
South:

- Recessed units (Approx. 20' Setback)

- Natural Green Planters Buffer



#	DESCRIPTION
3	STRUCTURAL COLUMN
15	CUSTOM WOODLIKE ALUMINUM SLAT SCREEN. SEE DETAILS ON SHEET A600.



PLANTER DETAIL  
1" = 1'-0"

Interiors



**THANK YOU!**



**GENERAL NOTES**

1. CONTRACTOR SHALL COMPLY WITH ALL CURRENT APPLICABLE LOCAL, STATE AND FEDERAL BUILDING CODES, INCLUDING BUT NOT LIMITED TO: F.B.C. (FLORIDA BUILDING CODE), N.F.P.A. (NATIONAL FIRE PROTECTION ADMINISTRATION), F.A.C.B.C. (FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION), A.D.A. (AMERICANS WITH DISABILITIES ACT), & N.E.C. (NATIONAL ELECTRICAL CODE). PERMIT SHALL BE POSTED ON A VISIBLE PLACE AT ALL TIMES.

2. CONTRACTOR MUST COORDINATE WITH THE BUILDING OWNER & TENANTS TO REMOVE, RELOCATE OR REROUTE AS NECESSARY ELECTRICAL, WATER, GAS OR ANY OTHER UTILITY LINES ENCOUNTERED DURING CONSTRUCTION / DEMOLITION.

3. ALL WORK, MATERIALS AND EQUIPMENT UTILIZED IN THIS PROJECT SHALL BE SUPPLIED & INSTALLED BY THE CONTRACTOR, SUBCONTRACTORS & SUB-SUBCONTRACTORS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.

4. ALL WORK FOR THIS PROJECT SHALL CONFORM TO STANDARDS PUBLISHED BY RECOGNIZED PROFESSIONAL AND INDUSTRY ORGANIZATIONS.

5. CONTRACTOR TO OBTAIN WRITTEN APPROVAL FROM OWNER OR ARCHITECT PRIOR TO ANY CHANGES OR DEVIATION FROM CONTRACT DOCUMENTS.

6. UNDER NO CIRCUMSTANCES WILL ASSUMPTIONS MADE BY THE CONTRACTOR BE CONSIDERED FOR THE DESIGN INTENT OR APPROVAL OF THE ARCHITECT OR ENGINEER UNLESS THERE IS WRITTEN APPROVAL BY THEM.

7. CONTRACTOR IS BEING PROVIDED WITH COMPLETE SETS OF DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR PROVIDING HIS SUBCONTRACTORS WITH COMPLETE SETS OF DRAWINGS, INTENT IS FOR ALL SYSTEMS AND EQUIPMENT TO BE PROVIDED WITH UTILITY CONNECTIONS AS REQUIRED FOR OPERATION. FOR EXAMPLE = IF A SINK IS SHOWN IN THE ARCHITECTURAL PLANS THE PLUMBING PLANS DO NOT SHOW A WATER OR DRAIN CONNECTION, THE ENGINEER WILL PROVIDE THE DESIGN DETAILS IN ACCORDANCE WITH THE DESIGN CRITERIA FOR THE REST OF THE INSTALLATIONS. CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE CONNECTION AT NO ADDITIONAL COST TO THE OWNER.

8. CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE DURING THE BIDDING PERIOD AND VERIFY THAT THE CONDITIONS ARE AS DESCRIBED IN THE DOCUMENTS. DISCREPANCIES ARE TO BE NOTED IN WRITING, AND NOTIFY ARCHITECT / ENGINEER. CONTRACTOR ACCEPTS CONDITIONS AS THEY ARE ON THE SITE, AND MUST PROVIDE SYSTEMS AND WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS AT NO ADDITIONAL COST TO THE OWNER.

9. CONTRACTOR IS RESPONSIBLE FOR INCLUDING IN HIS BID, LABOR AND MATERIAL COSTS FOR ANY CHANGE OR ALTERATION OF ADJACENT AREAS TO BE DISTURBED DURING CONSTRUCTION SUCH AS, BUT NOT LIMITED TO LIGHTING, MECHANICAL, ELECTRICAL, PLUMBING, FIRE ALARMS / SPRINKLERS, PAVEMENT, SIDEWALKS, STREETS, EXISTING TREES AND LANDSCAPING AND TO INSURE THEIR PROPER USE / OPERATION AND RETURN THEM TO THEIR ORIGINAL FINISHED CONDITION.

10. CONTRACTOR TO SUBMIT A MINIMUM OF FIVE (5) SETS OF COMPLETE SHOP DRAWINGS OR SUBMITTALS FOR APPROVAL BEFORE COMMENCING FABRICATION AND/OR INSTALLATION OF ALL APPLICABLE ITEMS OF CONSTRUCTION. ALL SHOP DRAWING DIMENSIONS SHALL BE FIELD VERIFIED, REVIEWED AND APPROVED BY THE CONTRACTOR BEFORE SUBMITTAL, AND SO NOTED. INCOMPLETE SHOP DRAWINGS OR SHOP DRAWINGS LACKING SUFFICIENT INFORMATION WILL BE RETURNED WITHOUT REVIEW. ADDITIONAL REVIEW BY ARCHITECT OR ENGINEER REQUIRED BY SUBMITTAL NOT EVALUATED AND APPROVED BY CONTRACTOR SHALL BE PAID FOR BY THE CONTRACTOR ON HOURLY RATES ESTABLISHED IN ARCHITECTS CONTRACT FOR SERVICES FOR THIS PROJECT.

11. DIMENSIONS PROVIDED ARE NOMINAL NOT ACTUAL. THEY TAKE AS A BASIS EXISTING WALLS. IF DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT IMMEDIATELY FOR COORDINATION. IF CONTRACTOR PROCEEDS, HE DOES SO AT HIS OWN RISK AND IS RESPONSIBLE FOR ALL EXPENSES INCURRED IF AT THE DISCRETION OF THE ARCHITECT THE WORK HAS TO BE RE-DONE.

12. SHUTDOWN OF UTILITIES: IF A SHUTDOWN OR ANY TYPE OF INTERFERENCE WITH EXISTING SYSTEMS IS ANTICIPATED THE CONTRACTOR MUST NOTIFY THE OWNER 72 HOURS IN ADVANCE AND OBTAIN APPROVAL IN WRITING PRIOR TO PROCEEDING.

13. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS AND USE ALL APPROPRIATE CONSTRUCTION METHODS / TECHNIQUES TO PROTECT EXISTING UTILITIES AND OTHER PROPERTY NOT NOTED FOR REMOVAL. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES INCURRED DURING CONSTRUCTION AND SHALL REPAIR ANY DAMAGES TO THE OWNER.

14. THE GENERAL CONTRACTOR SHALL OBTAIN CLARIFICATION IF A DISCREPANCY BETWEEN THE ARCHITECTS & ENGINEER'S DRAWINGS IS FOUND DURING THE BIDDING PERIOD. IF THE DISCREPANCY IS NOT BROUGHT TO THE ARCHITECTS ATTENTION IT SHALL BE ASSUMED THE GENERAL CONTRACTOR BID TO THE MOST EXPENSIVE WAY AND WILL DO THE WORK AS PER THE DIRECTION OF THE OWNER / ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.

15. GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN THE ARCHITECTS & CONSULTING ENGINEER'S DRAWINGS DURING CONSTRUCTION AND SHALL NOT PROCEED WITH THE WORK UNTIL CLARIFICATION BY THE ARCHITECT HAS BEEN MADE. IF THE CONTRACTOR PROCEEDS, HE DOES SO AT HIS OWN RISK AND IS RESPONSIBLE FOR ALL EXPENSES INCURRED IF THE OWNER / ARCHITECT DETERMINES ANY WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS / PERMIT DRAWINGS AND THE WORK HAS TO BE RE-DONE.

16. IT IS UNDERSTOOD THAT ACTUAL FIELD CONDITIONS CAN BE DIFFERENT OR VARY FROM THAT AS SHOWN ON THE FOLLOWING PLANS. G.C. SHALL BE RESPONSIBLE TO NOTIFY THE OWNER ARCHITECT OF DISCREPANCIES FOUND IN THE FIELD THAT WILL CONFLICT WITH THE INSTALLATION OF ALL NEW CONSTRUCTION MATERIALS, SYSTEMS & COMPONENTS REQUIRED TO COMPLETE THIS PROJECT.

17. ABBREVIATIONS THROUGHOUT THE PLANS ARE THOSE IN COMMON USE. ARCHITECT WILL DEFINE INTENT OF ANY IN QUESTION.

18. CONSTRUCTION PERSONNEL SHALL BE CONFINED TO THE LIMITS OF THE CONSTRUCTION AREA. ALL OSHA REGULATIONS FOR CONSTRUCTION AREAS SHALL BE STRICTLY FOLLOWED.

19. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY DEMOLITION WORK, DEMOLITION MATERIAL TESTING FOR HAZARDOUS MATERIALS & EXERCISE CARE DURING DEMOLITION AND REMOVAL TO ASSURE THAT ITEMS SCHEDULED FOR DEMOLITION ARE PROPERLY REMOVED AND ITEMS TO REMAIN ARE PROTECTED FROM DAMAGE.

20. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BARRIERS, LIGHTING, COVERINGS, FIRE PREVENTION AND OTHER EQUIPMENT TO PROTECT THE SAFETY OF ALL PERSONS AND THE PROPERTY THROUGHOUT THE ENTIRE PERIOD OF THE CONSTRUCTION CONTRACT.

21. GENERAL CONTRACTOR IS TO PROTECT EXISTING ADJACENT AREAS TO WHERE WORK IS TO BE PERFORMED. ANY EXISTING WALLS, DOORS, MILLWORK, CARPETING, BASE BOARDS AND EQUIPMENT DAMAGED DUE TO WORK PERFORMED SHALL BE REPAIRED / REPLACED AT NO ADDITIONAL COST TO THE OWNER AND TO MATCH EXISTING.

22. GENERAL CONTRACTOR SHALL PREPARE AND MAINTAIN ALL CONSTRUCTION AREAS, AS WELL AS SURROUNDING AREAS FREE OF DEBRIS OR HAZARDOUS EQUIPMENT.

23. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS AND CONSTRUCTION MATERIAL FROM THE SITE. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROPERLY CLEANING ALL AREAS PRIOR TO FINAL ACCEPTANCE BY THE OWNER INCLUDING BUT NOT LIMITED TO WINDOWS, STOREFRONT, FLOORS CARPETS, WALLS, DOORS, ETC.

24. THE GENERAL CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL OPENINGS FOR MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT WITH SUBCONTRACTORS, AS WELL AS SHOP DRAWINGS AS APPROVED BY ARCHITECT/ ENGINEER BEFORE PROCEEDING WITH THE WORK.

25. ALL ITEMS USED IN CONSTRUCTION, BUT NOT SPECIFICALLY MENTIONED HEREIN, SHALL CONFORM TO ALL LOCAL CODES AND STATE ORDINANCES AS TO APPLICATION AND USE.

26. GENERAL CONTRACTOR TO PROVIDE INSULATION OR ISOLATION BARRIERS BETWEEN ALL DISSIMILAR METAL INCLUDING BUT NOT LIMITED TO MATERIALS CONTAINING CEMENTS OR CONCRETE AND METAL.

27. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS TO COMPLETE THE PROJECT.

28. GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING BUILDING SYSTEMS AS TO THEIR COMPLIANCE WITH ALL LOCAL GOVERNING AGENCY REQUIREMENTS AND NON-CONFORMING ITEMS TO ARCHITECTS AND ENGINEERS ATTENTION.

29. DRAWINGS ARE SCHEMATIC SHOWING RELATIVE LOCATIONS AND CONNECTIONS AND SHALL NOT BE SCALED AT ANY TIME.

30. ALL DIMENSIONS ARE BASED ON NOMINAL SIZES OF MEMBERS AND ARE GIVEN TO THE OUTER FACE OF SUCH MEMBERS, NOT TO FACE OF FINISH MATERIAL UNLESS OTHERWISE NOTED ON DRAWINGS. DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS SHALL BE FOLLOWED.

31. ALL WOOD BLOCKING WITHIN BUILDING STRUCTURES, SHALL BE FIRE-RETARDANT TREATED AS PER CURRENT FBC CODE REQUIREMENTS.

32. ELEVATION AND ALL NUMERICAL ELEVATIONS ARE TO TOP OF CONCRETE SLAB UNLESS NOTED OTHERWISE. FIRE RATED CONSTRUCTION OR ASSEMBLY.

33. THE GENERAL CONTRACTOR SHALL BE AWARE THAT SPECIFIC FIRE RATED SEPARATIONS WITHIN THE BUILDING'S CONSTRUCTION ARE REQUIRED BY CODE. THE USE OF SPECIFIC MATERIALS AND COMBINATIONS OF MATERIALS WITHIN FIRE RATED ASSEMBLIES AS CALLED FOR ON THE DRAWINGS ARE FOR THE PURPOSE OF ACHIEVING THOSE REQUIRED FIRE SEPARATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT CHANGE IN MATERIALS THAT ARE REQUESTED BY OR MADE BY THE CONTRACTOR AND/OR ITS SUBCONTRACTORS, FROM THOSE MATERIALS DRAWN SPECIFICALLY, DOES NOT IN ANY WAY AFFECT OR LESSEN THE REQUIRED FIRE RATED CONSTRUCTION OR ASSEMBLY.

34. ALL INTERIOR GYPSUM WALL BOARD SHALL BE 1/2" OR 5/8" TYPE "X" FASTENED TO WOOD OR METAL STUDS AND FURRING CHANNELS UNLESS OTHERWISE NOTED. SIZES AS DIMENSIONED ON FLOOR PLANS & SHALL MATCH AT EXISTING CONDITIONS AS APPLICABLE. GENERAL CONTRACTOR SHALL PROVIDE WATER RESISTANT GLASS MAT CEMENT BOARD WITH JOINT SEALANTS AT ALL LOCATIONS WHERE THERE IS WATER, WATER VAPOR AND MOISTURE WITH NO EXCEPTIONS.

35. BEFORE PATCHING ANY C.M.U. WALLS, FILL ANY EXPOSED CELLS SOLID WITH GROUT. WHERE IT IS INDICATED ON THE CONSTRUCTION SET TO HAVE A SPECIFIC HOURLY RATING, THIS SHALL BE TAKEN AS THE MINIMUM ALLOWED.

36. ALL VOIDS AND INCONSISTENCIES FOUND ON THE EXTERIOR BLOCK FACES (CMU WALLS) MUST BE FILLED IN (COVERED) WITH A CEMENTITIOUS MATERIAL PRIOR TO ANY STUCCO APPLICATION. THIS INCLUDES BUT IS NOT LIMITED TO ALL SURFACE AREAS BEHIND STUCCO, STUCCO BANDS AND EIFS MOLDINGS.

37. GENERAL CONTRACTOR IS RESPONSIBLE TO PROVIDE IN THEIR BID ALL LOCATIONS AND SIZES OF CEILING AND WALL ACCESS PANELS AS DETERMINED BY THE POSITION OF VALVES AND OTHER MECHANICAL AND ELECTRICAL ITEMS WHICH REQUIRE ACCESS. THE CONTRACTOR SHALL COORDINATE WITH ALL TRADES THE LOCATION OF ALL ACCESS PANELS SO AS TO ALLOW FOR PROPER EQUIPMENT ACCESSIBILITY, MAINTENANCE AND/OR OPERATION OF THE BUILDING SYSTEMS. IF THE ACCESS PANEL IS NOT SHOWN ON PLAN AND ANY BUILDING SYSTEM EQUIPMENT REQUIRES AN ACCESS PANEL, IT SHALL BE ASSUMED THE GENERAL CONTRACTOR INCLUDED ALL ACCESS PANELS IN THEIR BID AND SHALL PROVIDE ACCESS PANELS AT NO ADDITIONAL COST TO THE OWNER.

38. THERE SHALL BE NO BACK-TO-BACK ELECTRICAL TELEPHONE OR OTHER OUTLETS. OUTLETS MUST BE STAGGERED.

39. CONTRACTOR SHALL PROVIDE UL LISTED THROUGH - PENETRATION FIRE STOP SYSTEMS AT ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND PRODUCT DATA FOR ALL FIRE STOP SYSTEMS TO BE USED ON THIS PROJECT FOR ARCHITECT'S REVIEW & APPROVAL.

40. GENERAL CONTRACTOR SHALL PROVIDE FIRE STOPS AT ALL INTERIOR WALLS AS REQUIRED BY THE CURRENT FLORIDA BUILDING CODE.

41. GENERAL CONTRACTOR SHALL INCLUDE IN THEIR BID THE COST OF AND SHALL COORDINATE WITH THE FIRE PROTECTION CONTRACTOR PRIOR TO DRILLING OR PENETRATING ALL BUILDING STRUCTURES, TO INCLUDE BUT NOT LIMITED TO: EXISTING SLABS, BEAMS, LOAD BEARING WALLS & COLUMNS, TYP. G.C. SHALL OBTAIN WRITTEN APPROVAL FROM STRUCTURAL ENGINEER BEFORE PROCEEDING WITH WORK.

42. FOR ALL SLAB / WALL PENETRATIONS, MODIFICATIONS OR CUTTING, GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING OR IMMEDIATELY RESTORING / MATCHING EXISTING / NEW FIRE/SMOKE RATED CONSTRUCTION, FIRE RATINGS, WATERPROOFING & VAPOR BARRIER CONDITIONS.

43. WHERE FINISH FLOOR & FLOOR COATINGS ARE SPECIFIED AT INTERIOR SPACES, MOBILE EQUIPMENT SHOULD INCORPORATE RUBBER WHEELS TO MINIMIZE ABRASION TO FLOORS.

44. ALL VERTICAL PIPING AND COLUMNS, EXPOSED IN ROOMS SHALL BE FURRED WITH METAL STUDS AND TYPE X GYPSUM PLASTER VENEER BOARD AND FINISHED TO MATCH ADJACENT WALLS. UNLESS NOTED OTHERWISE, EXCEPTIONS: A. ELECTRIC CLOSETS B. TELEPHONE CLOSETS C. MECHANICAL ROOMS.

45. WHERE HVAC OR OTHER MECHANICAL, ELECTRICAL AND PLUMBING ITEMS PENETRATE PARTITIONS, STUDS SHALL BE BRACED AND FRAMED TO STRUCTURE AS REQUIRED TO PROVIDE ADEQUATE SUPPORTS. ALL PENETRATIONS THROUGH RATED WALLS SHALL BE SEALED TO PROVIDE FIRE, SMOKE AND / OR ACOUSTICAL ISOLATION OF SPACES WITH APPROPRIATE FIRE & S.T.C MATERIAL.

46. STEEL STUDS SUPPORTING WALL HUNG ITEMS SHALL BE NOT LESS THAN 20 GAUGE WITH A MINIMUM EFFECTIVE MOMENT OF INERTIA EQUAL TO 0.864 IN.

47. IN ADDITION TO WALL TYPES SHOWN ON PLANS, THE GENERAL CONTRACTOR SHALL REPAIR / REPLACE & MATCH ALL EXISTING FINISHES ON BOTH SIDES OF EXISTING & NEW WALLS TO INCLUDE AREAS DISTURBED DURING CONSTRUCTION ACTIVITIES. TYP. SEE ENGINEERING PLANS FOR LOCATION OF APPLICABLE CEILING MOUNTED MECHANICAL, FIRE SPRINKLERS, ELECTRICAL & REQUIRED EMERGENCY LIGHT FIXTURES.

48. STAGGER JOINTS VERTICALLY AND HORIZONTALLY IN ALL G.W.B. PARTITIONS EA. SIDE OF PARTITION, JOINTS STAGGERED MINIMUM 2'-0". UNLESS OTHERWISE NOTED.

49. GENERAL CONTRACTOR SHALL PAINT ALL VISIBLE SURFACES OF FACTORY PRIMED OR FACTORY PAINT FINISHED EQUIPMENT, A/C GRILLS OR REGISTERS, COVERS, ETC. AND UNLESS SPECIFICALLY NOTED OTHERWISE, VERIFY AND COORDINATE COLORS WITH OWNER AND ARCHITECT.

50. ALL INTERIOR AND EXTERIOR JOINTS BETWEEN DISSIMILAR MATERIALS OR FINISHES SHALL RECEIVE A BEAD OF CAULKING TO MATCH COLOR OF ADJACENT SURFACE. G.C. TO COORDINATE COLORS WITH ARCHITECT/OWNER.

51. GENERAL CONTRACTOR OWNER SHALL INCLUDE IN THEIR BID AND IS RESPONSIBLE FOR ALL BUILDING SIGNS AS REQUIRED PER ALL APPLICABLE CODE REQUIREMENTS TO INCLUDE OWNERS SIGN REQUIREMENTS. MATCH EXISTING BUILDING SIGN STANDARDS IF STANDARDS EXIST. OWNER CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM THE AUTHORITIES HAVING JURISDICTION FOR ALL APPLICABLE CODE RELATED SIGNS REQUIRED BEFORE FABRICATION & POSTING.

52. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AN ACTIVE FIRE ALARM SYSTEM AT ALL TIMES DURING CONSTRUCTION. THIS SYSTEM MAY BE THE EXISTING ONE OR TEMPORARY ONE APPROVED BY THE CITY FIRE DEPARTMENT.

53. A SEPARATE PERMIT AND PRODUCT CONTROL APPROVAL WHEN APPLICABLE, IS REQUIRED TO INCLUDE BUT NOT LIMITED TO THE FOLLOWING: STRUCTURAL GLAZING - CURTAIN WALLS - SIGNS/ BUILDING SIGNS - FENCES - AWNINGS - WINDOWS - STOREFRONTS - VENTILATION - DOORS - DEMOLITION - STEEL JOISTS - WOOD TRUSSES - RECAST SYSTEMS - ROOFING - HURRICANE - SHUTTERS - RAILINGS - MULLIONS - HAND RAILS - PAVERS

54. ALL WORK SHALL BE PERFORMED DURING REGULAR WORKING HOURS ON REGULAR WORKING DAYS, OR AS REQUIRED BY OWNER.

55. UPON COMPLETION OF THIS PROJECT, THE GENERAL CONTRACTOR SHALL GIVE THE OWNER A COMPLETE SET OF "AS-BUILT" ARCHITECTURAL, MECHANICAL, ELECTRICAL AND FIRE PROTECTION DRAWINGS ALONG WITH THE WRITTEN GUARANTEES, OPERATION AND MAINTENANCE MANUALS OF ALL EQUIPMENT AND FINISHES INSTALLED. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT SET OF "AS-BUILT" DRAWINGS DURING CONSTRUCTION. INFORMATION SHALL BE RECORDED BY THE GENERAL CONTRACTOR AS CONSTRUCTION PROGRESSES. UPON FINAL COMPLETION OF THE PROJECT THE GENERAL CONTRACTOR SHALL ISSUE AN "AS-BUILT" SET OF DRAWINGS AND DOCUMENTS TO THE OWNER, ALONG WITH AN AFFIDAVIT CERTIFYING THAT TO THE BEST OF HIS KNOWLEDGE AND BELIEVE THAT THE "AS-BUILT" DRAWINGS AND DOCUMENTS WERE USED IN THE CONSTRUCTION OF THIS PROJECT AND REFLECT THE "AS-BUILT" CONDITIONS.

56. G.C. SHALL PROVIDE BUILDING ENVELOPE INSULATION TO MEET OR EXCEED THE MIN. REQUIREMENTS OF THE FBC, ENERGY CONSERVATION, 6TH

**MATERIAL LEGEND**

	EARTH SOIL / CLEAN FILL
	GRAVEL FILL
	CONCRETE
	SAND, PLASTER OR GROUT
	CONCRETE MASONRY UNIT
	BATT INSULATION
	RIGID INSULATION
	PLYWOOD
	WOOD, FINISHED
	WOOD, ROUGH FRAMING
	STEEL
	GYPSUM BOARD PARTITION
	CERAMIC/PORCELAIN TILE ON MUD BED

**TYPICAL SYMBOLS**

	EXISTING CONCRETE BLOCK WALL
	EXISTING DRY WALL
	NEW CONCRETE BLOCK WALL
	NEW DRY WALL
	1HR FIRE RATED WALL
	2HR FIRE RATED WALL
	BATT INSULATION
	REINFORCED CONCRETE COLUMN. SEE STRUCTURAL DRAWINGS FOR DETAIL
	CEILING ABOVE
	3/12 → DENOTES ROOF OR FLOOR SLOPE
	1.2 → DENOTES GRADE ELEVATION
	↕ DENOTES ELEVATION
	SECTION MARK DRAWING SHEET # #
	ENLARGED DRAWING SHEET # #
	EXISTING TO BE REMOVED
	WALL TYPE
	WINDOW TAG
	DOOR TAG
	KEYNOTE
	EXTERIOR ELEV. TAG
	INTERIOR ELEV. TAG

**PROJECT LOCATION**



**ABBREVIATIONS**

AB - ANCHOR BELT	LG - LONG
AGGR - AGGREGATE	MAX - MAXIMUM
AL / ALUM - ALUMINUM	MECH - MECHANICAL
AP - ACCESS PANEL	MEMB - MEMBRANE
APVD - APPROVED	MET - METAL
APPROX - APPROXIMATE	MFR - MANUFACTURER
ARCH - ARCHITECT (URAL)	MANHOLE
ASPH - ASPHALT	MIN - MINIMUM
AUTO - AUTOMATIC	MISC - MISCELLANEOUS
AVE - AVENUE	MO - MASONRY OPENING
AVG - AVERAGE	MOD - MODULE / MODULAR
AL CD WD - ALUMINUM CLAD WINDOW	MATL - MATERIAL
BD - BOARD	N - NORTH
BITUM - BITUMINOUS	NIC - NOT IN CONTRACT
BULD - BUILDING	NO - NUMBER
BLK - BLOCK	NOM - NOMINAL
BM - BENCH MARK	NTS - NOT TO SCALE
BOT - BOTTOM	OA - OVERALL
BRG - BEARING	OB - OBSCURE
BULD - BOULEVARD	OC - ON CENTER
CAB - CABINET	OD - OUTER DIAMETER
CEM - CEMENT	OPNG - OPENING
CER - CERAMIC	OPP - OPPOSITE
CFLS - COUNTER FLASHING	OZ - OVERHEAD
CFM - CUBIC FEET PER MINUTE	OZ - OUNCE
CI - CAST IRON	PSF - POUND PER SQUARE FOOT
CIRC - CIRCULAR / CIRCUMFERENCE	PSI - POUNDS PER SQUARE INCH
CJT - CONTROL JOINT	PVC - POLY VINYL CHLORIDE
CLG - CEILING	PC - PIECE
CLO - CLOSET	PERP - PERPENDICULAR
CMU - CONCRETE MASONRY UNIT	PL - PLATE
CO - CLEAN OUT	PL - PROPERTY LINE
COL - COLUMN	PLT - PLASTER
CONC - CONCRETE	PLWD - PLY WOOD
CONT - CONTINUOUS	PROP - PROPERTY
CO - CENTER TO CENTER	PRCST - PRECAST
CCTV - CLOSED CIRCUIT TELEVISION	PRFAB - PREFABRICATED
DET - DETAIL	PTN - PARTITION
DIAG - DIAGONAL	PTQ - QUANTITY
DIAM - DIAMETER	RA - RETURN AIR
DM - DIMENSION	RD - RADIUS
DN - DEAD LOAD	RCP - REFLECTED CEILING PLAN
DN - DOWN	RD - ROOF DRAIN
DR - DOOR	REQD - REQUIRED
DBL - DOUBLE	REV - REVISION
DM - DUMP WAITOR CAR	RGD - RIGID
DWG - DRAWING / DRAWING FILE	RHT - RIGHT HAND
DWR - DRAWER	RM - ROOM
E - EAST	RO - ROUGH OPENING
EA - EACH	RR - RAILROAD
ELEC - ELECTRICAL	ROW - RIGHT OF WAY
ELC - ELECTRICAL	RECT - RECTANGULAR
ELEV - ELEVATOR	REIN - REINFORCED
EMER - EMERGENCY	S - SOUTH
EQPT - EQUIPMENT	SA - SUPPLY AIR
EQUIV - EQUIVALENT	SECT - SECTION
EXH - EXHAUST	SIM - SIMILAR
EXT JT - EXPANSION JOINT	SHT - SHEET
EX - EXTERNAL	SPEC - SPECIFICATION
EW - EACH WAY	SPKR - SPEAKER
EW - ELECTRIC WATER HEATER	SQ - SQUARE
FAB - FABRICATED	SST - STAINLESS STEEL
FD - FLOOR DRAIN	ST - STREET
FDC - FIRE DEPARTMENT CONNECTION	STA - STATION
FIN - FINISH	STD - STANDARD
FF - FINISH FLOOR	STL - STEEL
FXR - FIXTURE	STR - STRUCTURAL
FL - FLOOR	SURF - SURFACE
FLOUR - FLOURECENT	SUSP - SUSPEND
FDN - FOUNDATION	SYS - SYSTEM
FT - FOOT / FEET	UL - UNDERWRITERS LIBRARY
FTG - FOOTING	TNG - TONGUE AND GROVE
FUT - FUTURE	THK - THICKNESS
FEXT - FIRE EXTINGUISHER	TR - TOP OF RAIL
FH - FIRE HYDRANT	TSTL - TOP OF STEEL
FEC - FIRE EXTINGUISHER CABINET	TV - TELEVISION
FHC - FIRE HOSE CABINET	TW - TOP OF WALL
GA - GAUGE	TYP - TYPICAL
GAL - GALLON	TOS - TOP OF SLAB
GALV - GALVANIZED	UGND - UNDERGROUND
GEN CONT - GENERAL CONTRACTOR	UNF - UNFINISHED
GL - GLASS	UNF - UNFINISHED
GYP BD - GYPSUM WALL BOARD	XTRA - EXTRA HEAVY CAST IRON
HC - HOLLOW CORE	VERT - VERTICAL
HDW - HARDWARE	VJ - VEE JOINT
HDWD - HARD WOOD	VOL - VOLUME
HR - HOUR	W - WEST
HM - HOLLOW METAL	W - WITH
HORIZ - HORIZONTAL	WC - WATER CLOSET
HP - HIGH POINT	WD - WOOD
HGT - HEIGHT	W/O - WITHOUT
HVAC - HEATING VENTILATING AIR CONDITIONING	TEMP - TEMPERATURE
AC - AIR CONDITIONING	TRF - WATERPROOF
HWY - HIGHWAY	WT - WEIGHT
ID - INNER DIAMETER	WWF - WELDED WIRE FABRIC
IN - INCH	WWM - WELDED WIRE MESH
INCAND - INCANDESCENT	
INSUL - INSULATION	
INT - INTERIOR	
INVT - INVERT	

Zoning Information/ Calculations				Maximum	Existing	Proposed	Deficiencies
10	Height		35'-0"	N/A	35'-0"		
11	Number of Stories		3	N/A	3	Understory	
12	FAR		1.25 - 28,800 SF	N/A	1.25 = 28,797 SF		
13	Gross Square Footage		N/A	N/A	28,798 SF		
14	Square Footage by Use		N/A	N/A	N/A		
15	Number of Units, Residential		N/A	N/A	23		
16	Number of Units, Hotel		N/A	N/A	N/A		
17	Number of Seats		N/A	N/A	N/A		
18	Occupancy Load		N/A	N/A	N/A		

Setbacks (Parking/Residential)				Required	Existing	Proposed	Deficiencies
19	Front Setback - Michigan Ave		20'-0" MIN.	N/A	20'-0"		
20	Front Setback - Lenox Ave		20'-0" MIN.	N/A	20'-0"		
21	Side Setback - North		10'-0" MIN.	N/A	10'-0"		
22	Side Setback - South		10'-0" MIN.	N/A	10'-0"		

Parking				Required	Existing	Proposed	Deficiencies
27	Parking						
28	Total # of Parking Spaces		1 space/unit + 23 spaces = 107 guest spaces + 3 Grand Total = 26 P.S.	N/A	24 p.s. + 2 alternative spaces*	Alternative* parking incentives: 23 Long term term parking provided - 16 Short term bike parking provided	
29	# of Parking Spaces Required Per Use		same as above	N/A	same as above	same as above	
30	Parking Space Dimensions		8.5 FT x 18 FT	N/A	8'-0" x 18'-0"		
31	Parking Space Configurations (45', 60', 50', parallel)		N/A	N/A	60' & Parallel		
32	ADA Spaces		1	N/A	1		
33	Tandem Spaces		N/A	N/A	N/A		
34	Drive Aisle Width		18'-0"	N/A	22'-0"		
35	Load Drop Off and Pick Up		N/A	N/A	No Valet		
36	Loading Zones and Trash Collection Areas		3	N/A	3 trash collection		
37	Bicycle Racks (Reference Bike Rack Schedule)		3	N/A	3		

Use (Not in List but included in 1333)				Required	Existing	Proposed	Deficiencies
36	Type of Use				1713 Office Building	Low Density Multi Family Residential (RM-1)	

Table 1- Future Edge of Pavement Elevation (in feet NAVD) per Adopted Road Elevation Strategy

Project Start Date	2020	2025	2030	2035	2040
State Roads	4.8	5.2	5.7	6.2	6.7
Non-state Roads	3.9	4.2	4.5	4.9	5.3

Per email coordination with Aaron Osborne, Project Engineer:

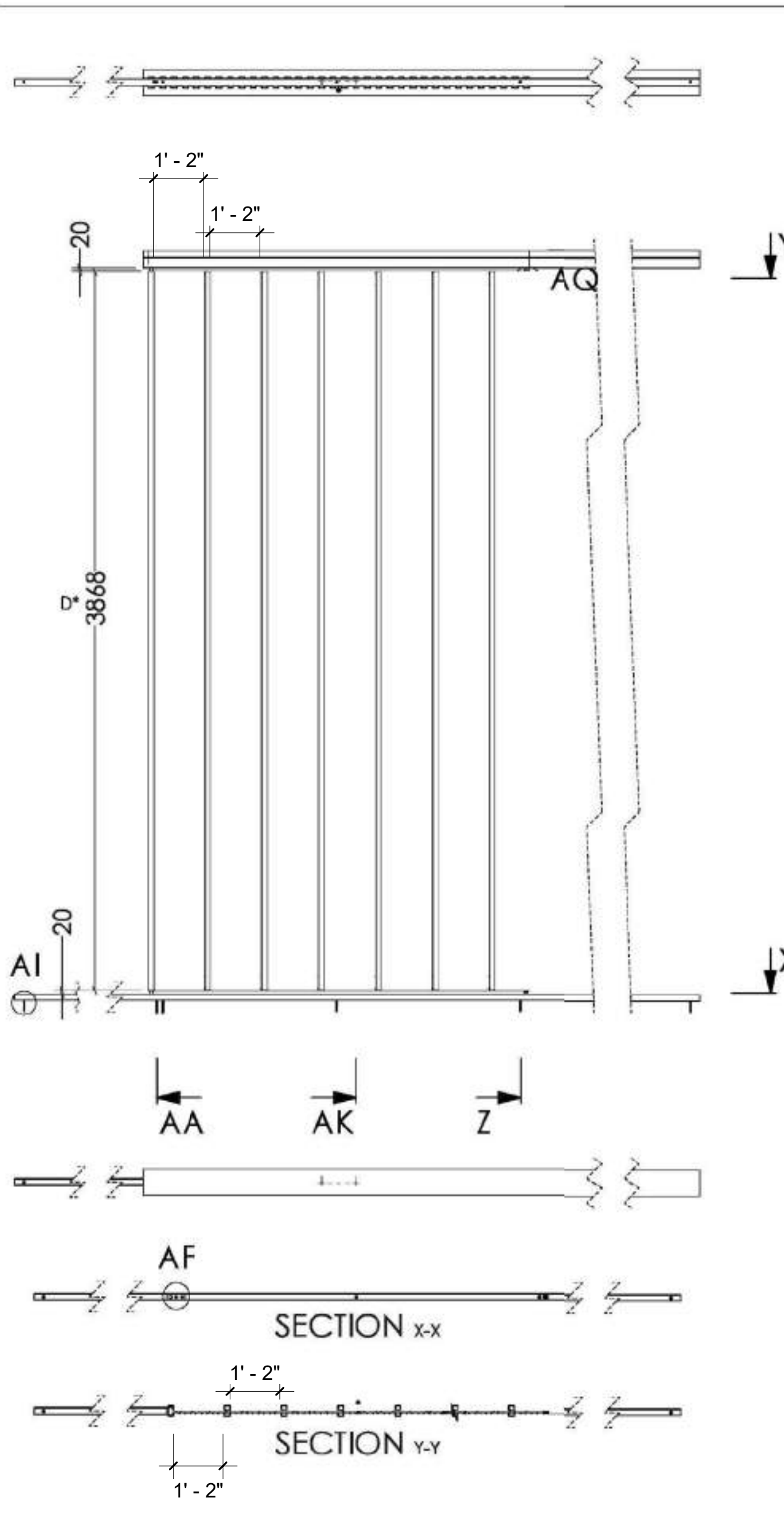
- The future Crown of the Road elevation adjacent to 1440 Michigan Ave, Miami Beach, along Michigan Ave is projected at 4.4 feet NAVD
- The future Crown of the Road elevation adjacent to 1440 Michigan Ave, Miami Beach, along Lenox Ave is projected at 4.4 feet NAVD
- 4.4' NAVD88 + 1.56' = 5.96' NGVD29

**PROJECT DATA**

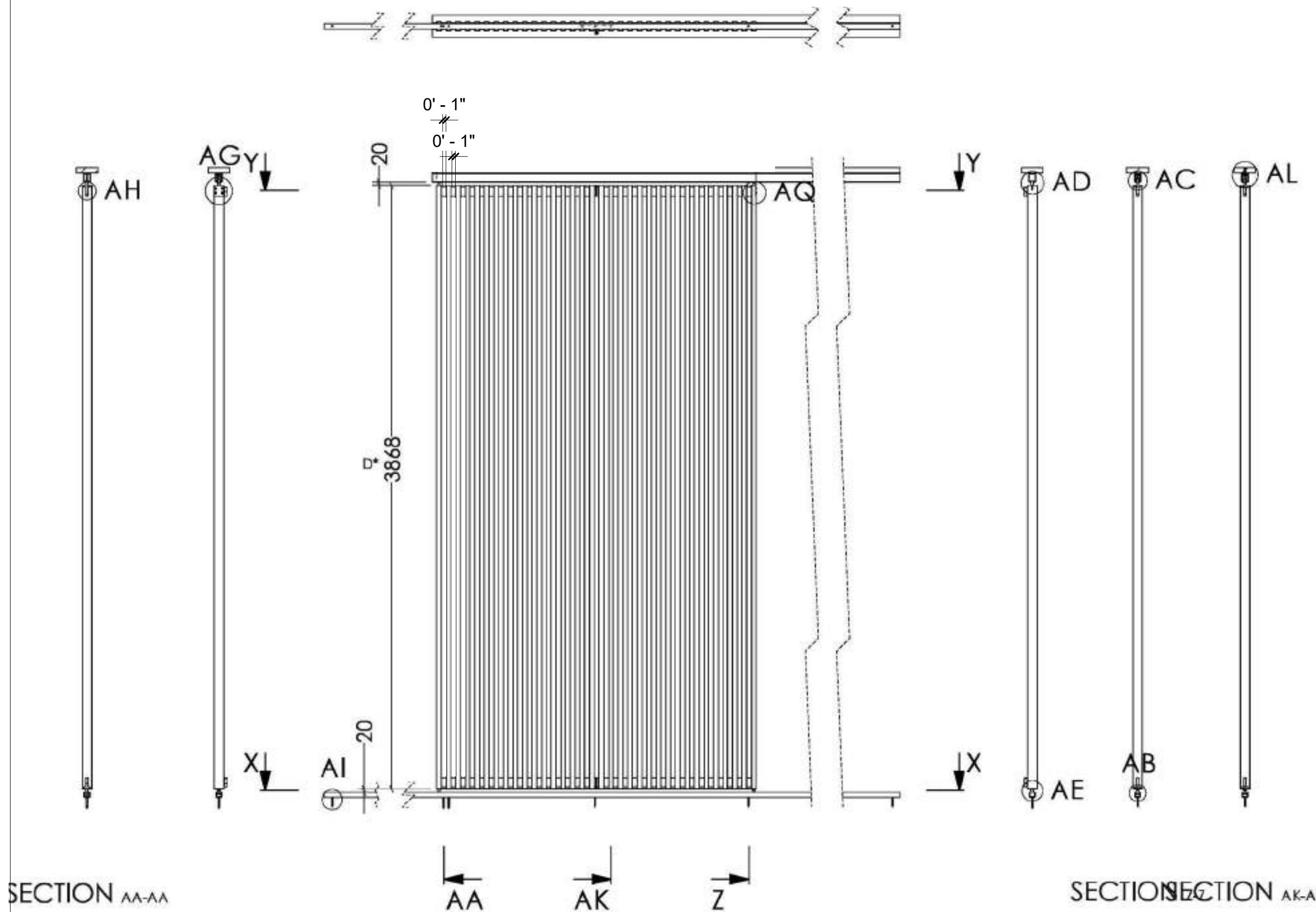
ZONING DATA	
<b>GOVERNING CODE</b>	FBC 2023, 8TH EDITION FLORIDA FIRE PREVENTION CODE 2020, 7TH EDITION NFPA FIRE CODE 1 AND LIFE SAFETY CODE 101, 2018 EDITION
<b>NUMBER OF BUILDINGS (EXISTING)</b>	2
<b>BUILDING TOTAL SQ.FT. (EXISTING)</b>	456 SF
<b>URBAN DEVELOPMENT</b>	INSIDE U.D. BOUNDARY
<b>FLOOD ZONE</b>	AE
<b>DESIGN FLOOD ELEVATION</b>	9.56' NGVD
<b>PROPOSED BUILDING FLOOR AREAS</b>	
<b>UNDER AC</b>	<b>AREA</b>
UNDERSTORY	630 SF
GROUND FLOOR	6,000 SF
SECOND FLOOR	8,150 SF
THIRD FLOOR	8,820 SF
ROOF PLAN	90 SF
<b>TOTAL UNDER AC</b>	<b>23,690 SF</b>
<b>TOTAL UNDER ROOF (BLDG FOOTPRINT)</b>	
	14,355 SF

APARTMENT UNITS			
TOTAL UNITS = 23	UNIT TYPE	PROPOSED AREA	# UNITS LOCATION
1 BED	B1	620 SF	

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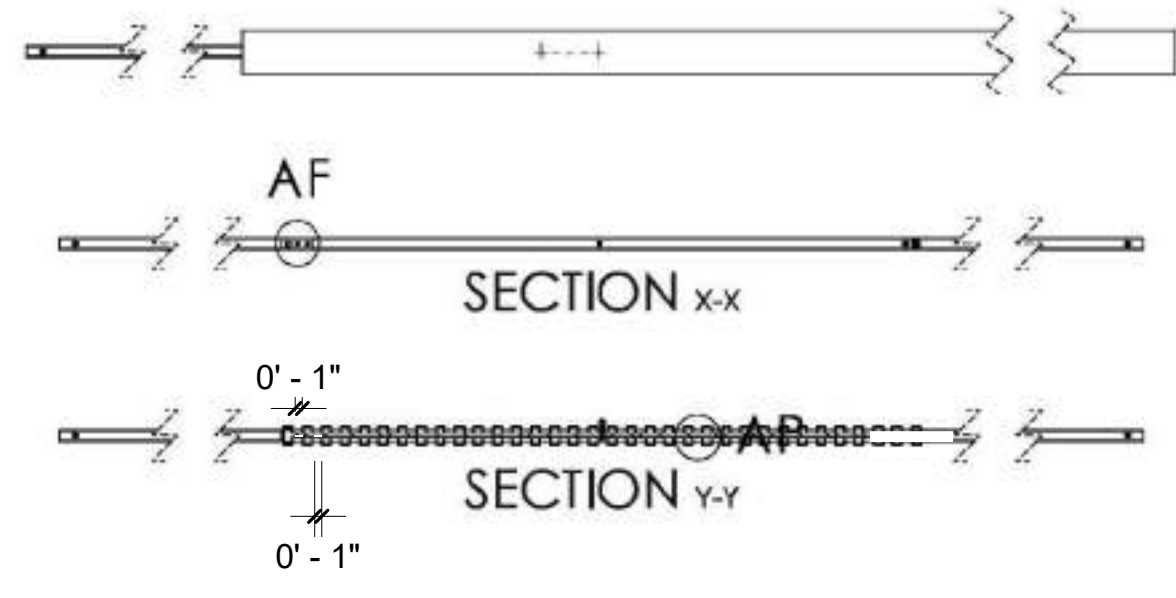


**ROOF SCREEN DETAIL**  
3/8" = 1'-0"



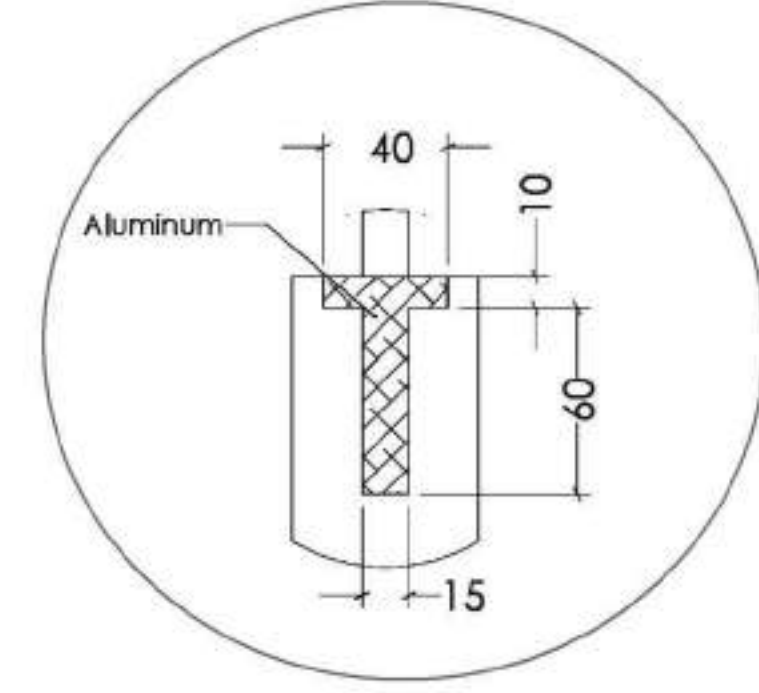
SECTION AA-AA

SECTION AK-AK

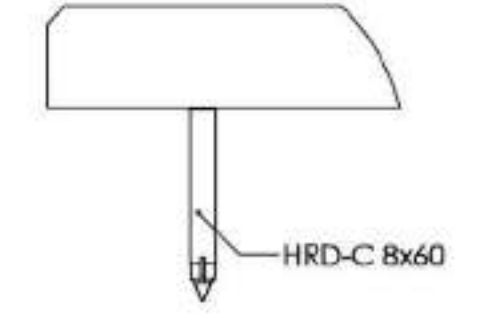


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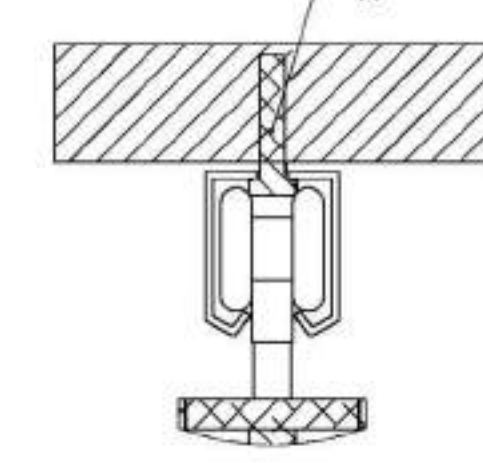
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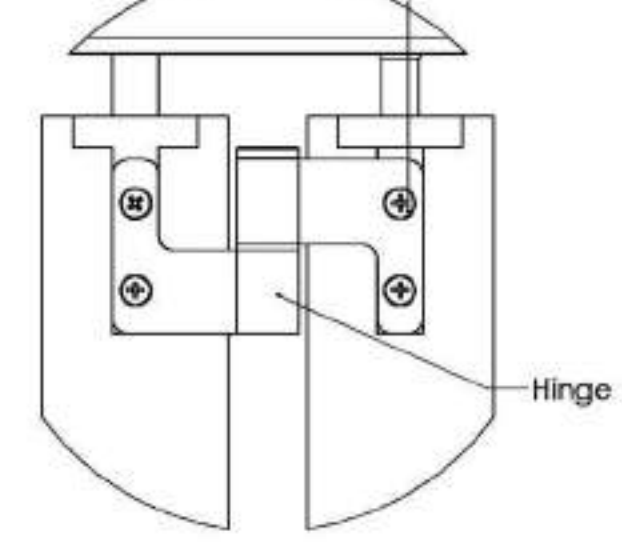
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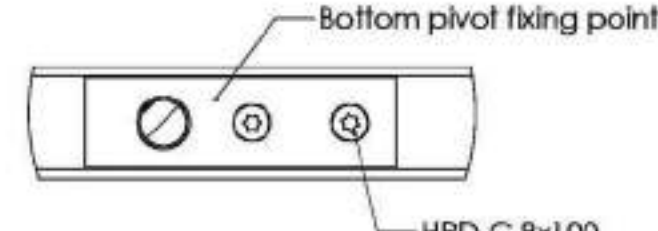
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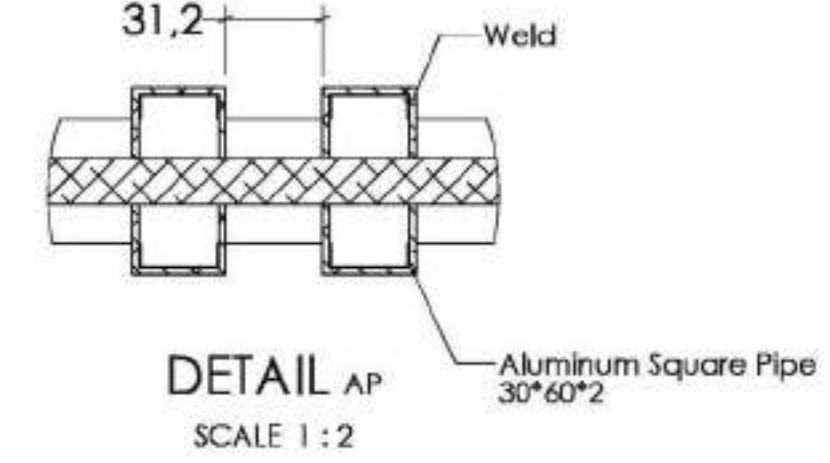
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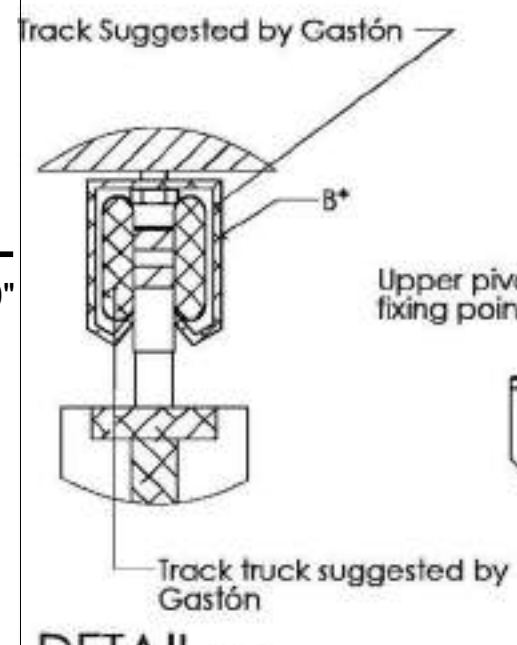
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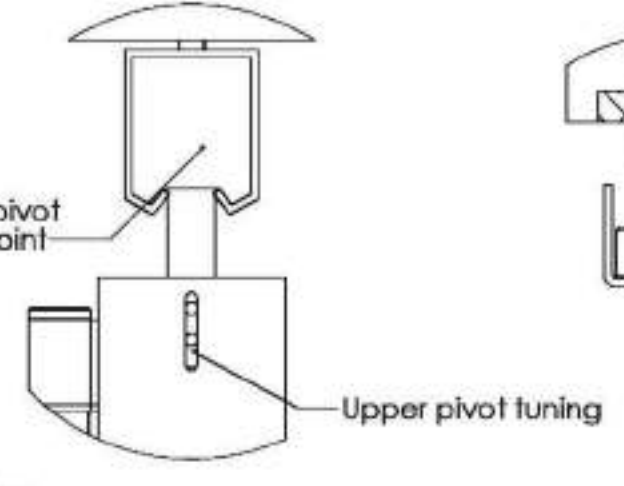
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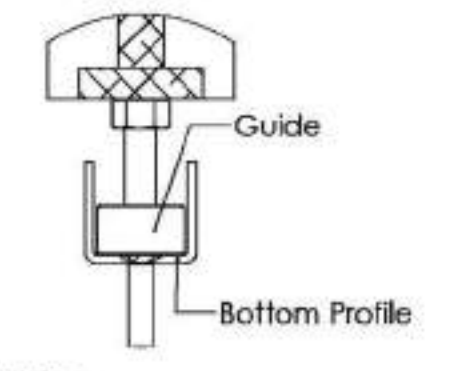
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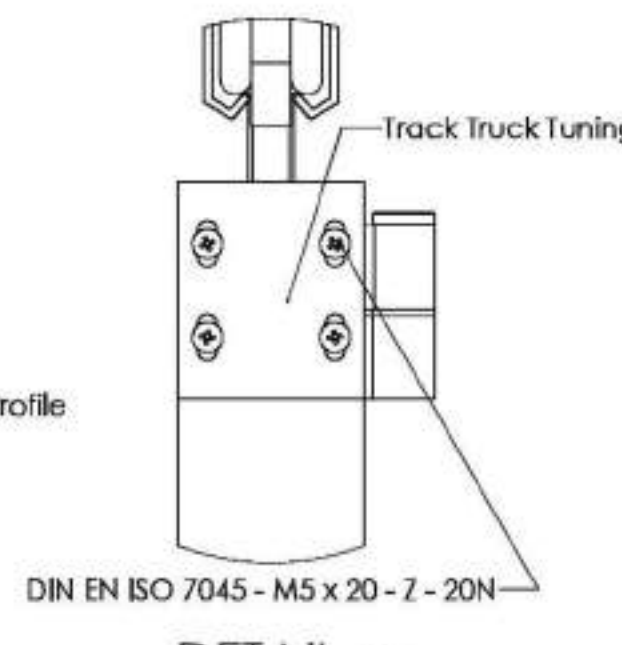
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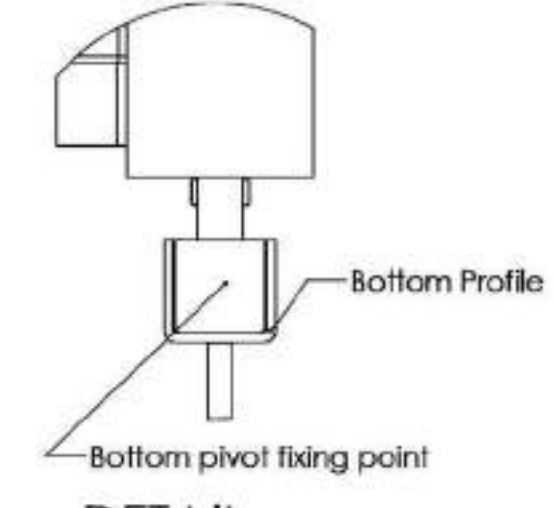
DETAIL AD  
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DETAIL AB  
SCALE 1:2



DETAIL AG  
SCALE 1:2



DETAIL AE  
SCALE 1:2

**SCREEN DETAIL**  
3/8" = 1'-0"



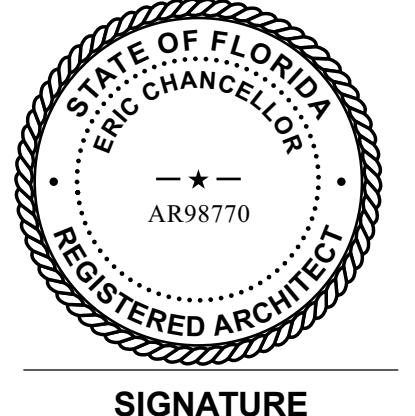
**ORARCITY**  
DEVELOPING COMMUNITIES

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**MIAMI BEACH APARTMENTS**

1440 MICHIGAN AVE  
MIAMI BEACH, FL 33139



SIGNATURE

DATE

REVISIONS		
NO.	BY	DATE

DRAWN BY Author

CHECKED BY Checker

DATE 09/07/2025

SCALE AS NOTED IN DRAWING

SHEET SIZE 11" X 17"

FACADE TREATMENT  
DETAIL

**A600**

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SITE VIEW 1



STREET VIEW 4 (MICHIGAN AVE)



SITE VIEW 2



STREET VIEW 5 (MICHIGAN AVE)



SITE VIEW 3



STREET VIEW 6 (MICHIGAN AVE)



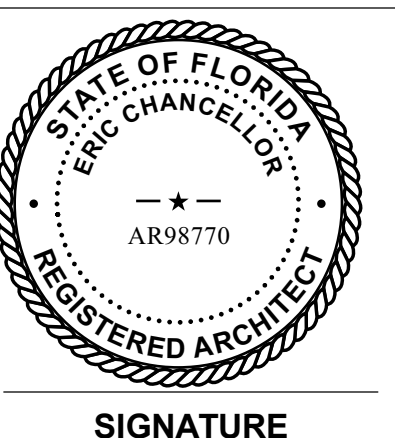
PHOTOS KEY PLAN

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DATE \_\_\_\_\_

REVISIONS		
NO.	BY	DATE

DRAWN BY Author  
CHECKED BY Checker  
DATE 09/07/2025  
SCALE AS NOTED IN DRAWING  
SHEET SIZE 11" X 17"  
EXISTING SITE PHOTOS

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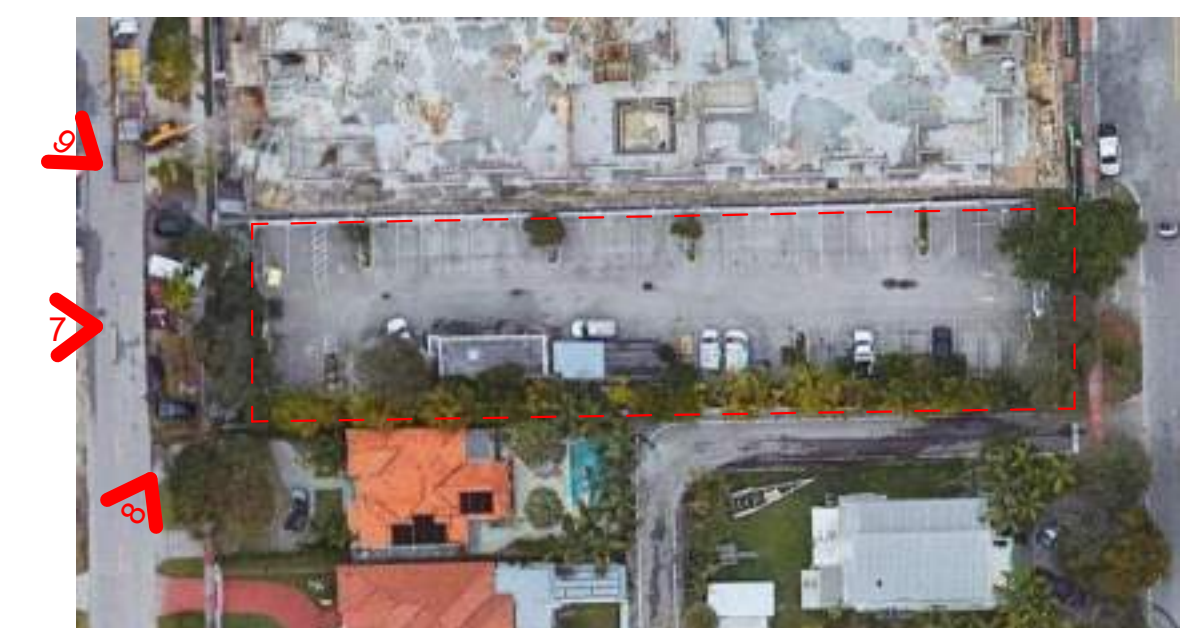
STREET VIEW 7 (LENOX AVE)



STREET VIEW 9 (LENOX AVE)



STREET VIEW 8 (LENOX AVE)



PHOTOS KEY PLAN

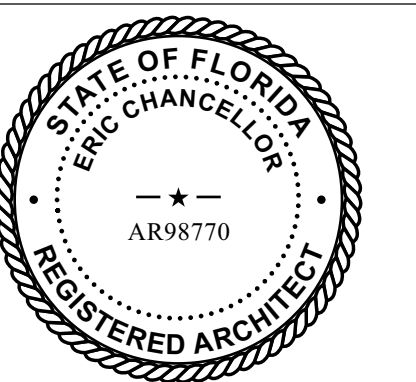
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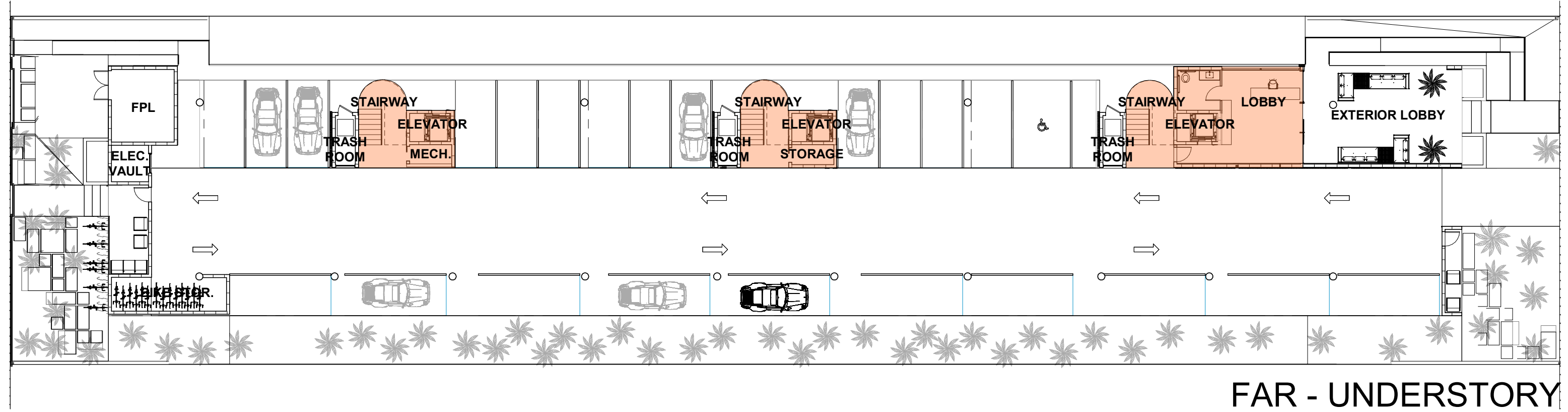
SCALE AS NOTED IN DRAWING

SHEET SIZE 11" X 17"

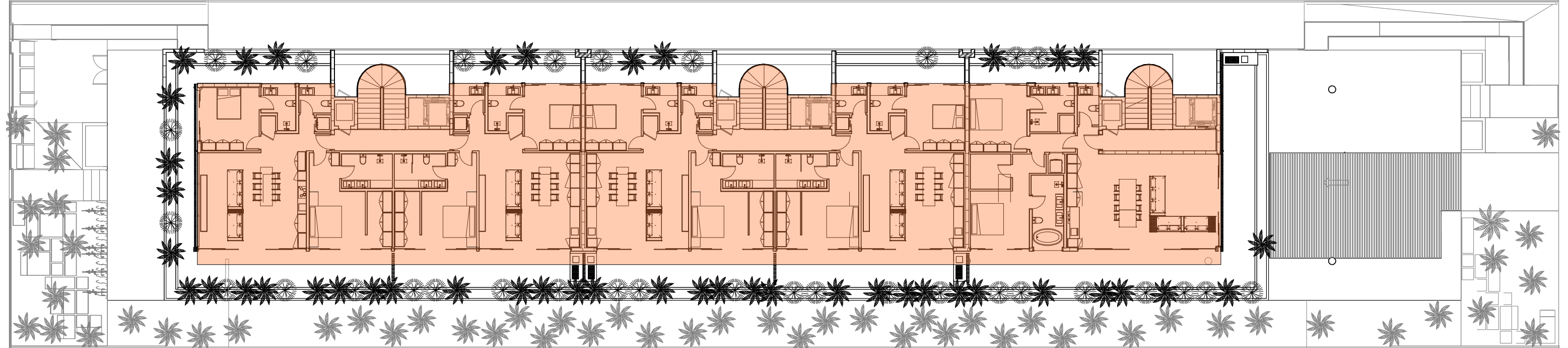
EXISTING STREET PHOTOS

A103

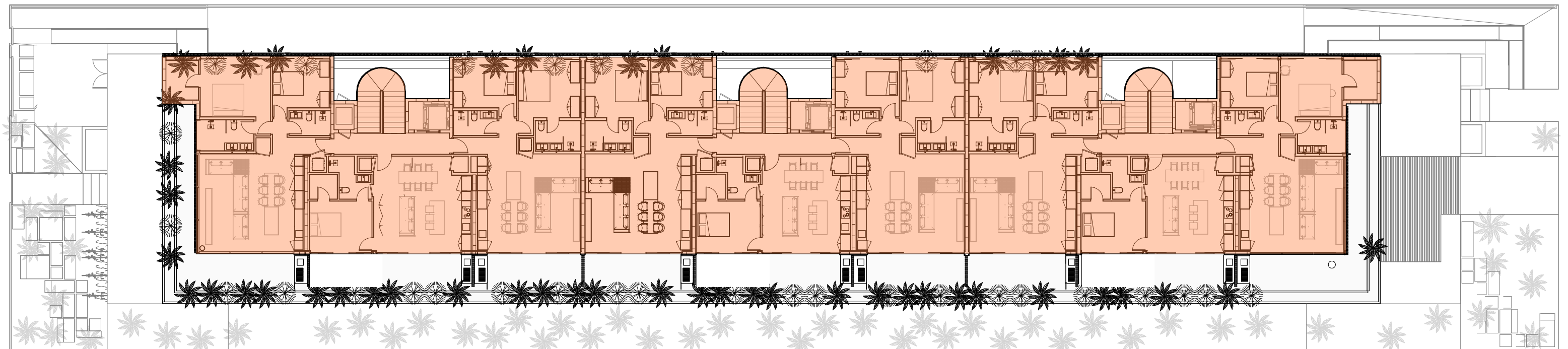
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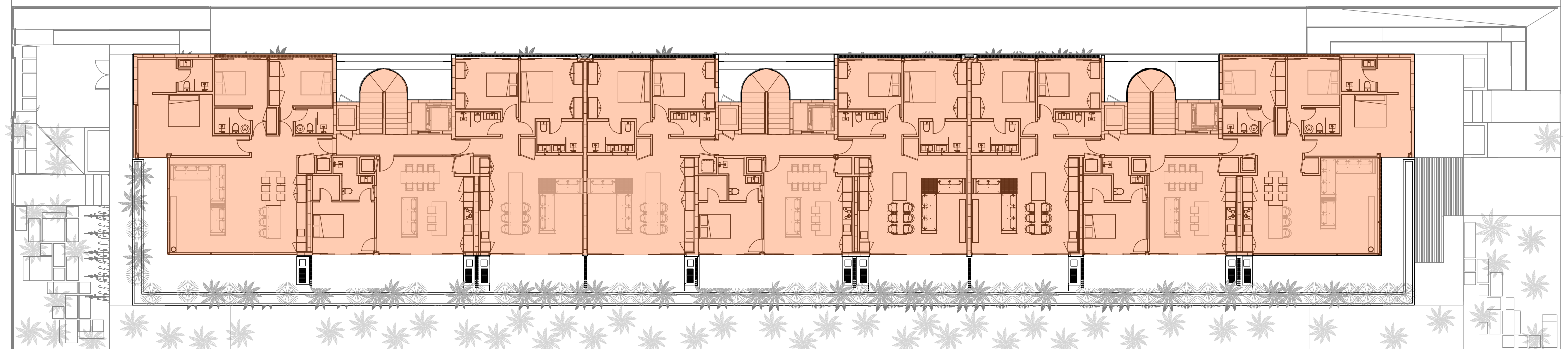
FAR - UNDERSTORY  
1" = 20'-0"



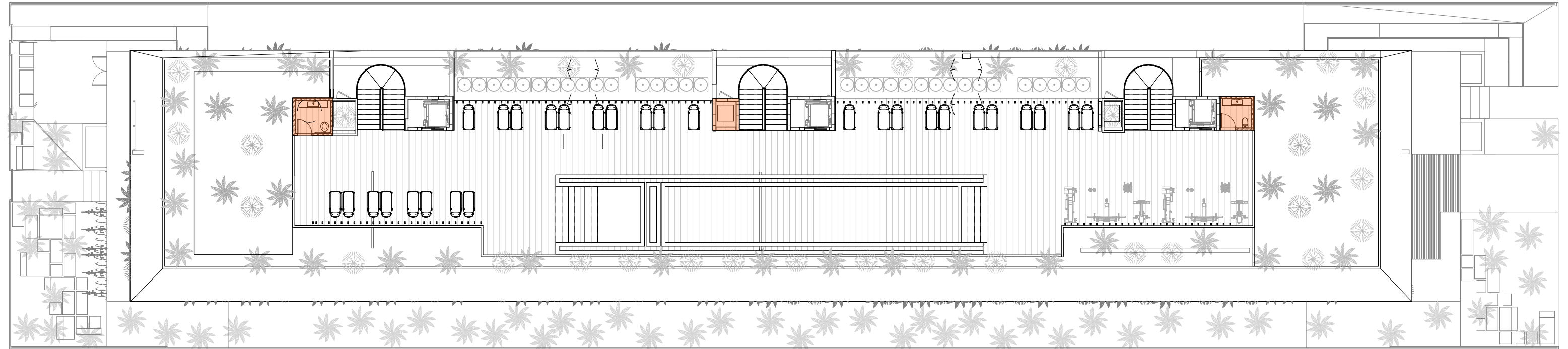
FAR - GROUND FLOOR  
1" = 20'-0"



FAR - SECOND FLOOR  
1" = 20'-0"



FAR - THIRD FLOOR  
1" = 20'-0"



FAR - ROOF  
1" = 20'-0"

FAR CHART	
LEVEL	AREA
UNDERSTORY	1,300 SF
GROUND	7,902 SF
SECOND	9,336 SF
THIRD	10,106 SF
ROOF	153 SF
<b>TOTAL</b>	<b>1.25 FAR = 28,797 SF</b>
	<b>MAX 1.25 = 28,800 SF</b>

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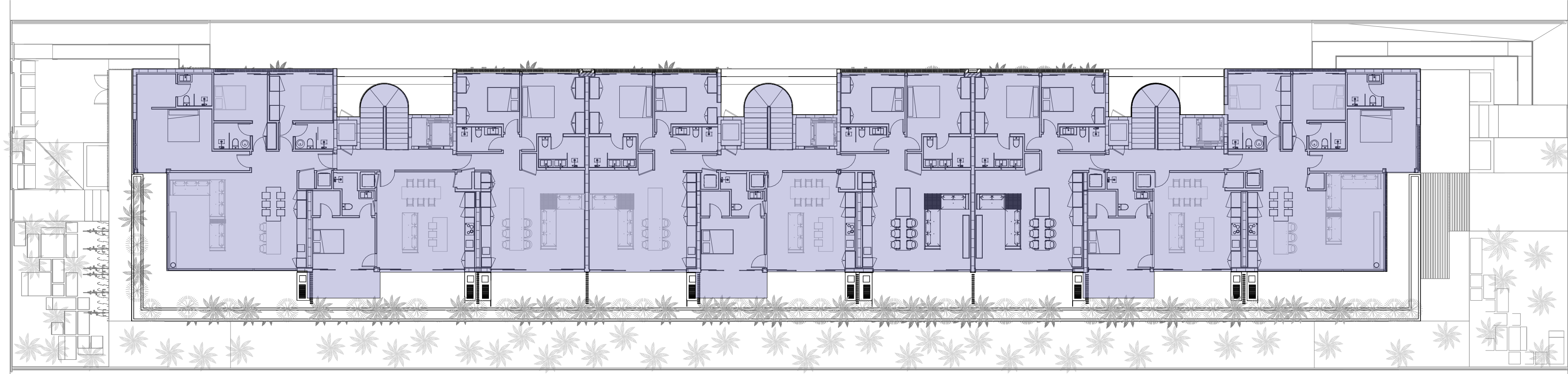
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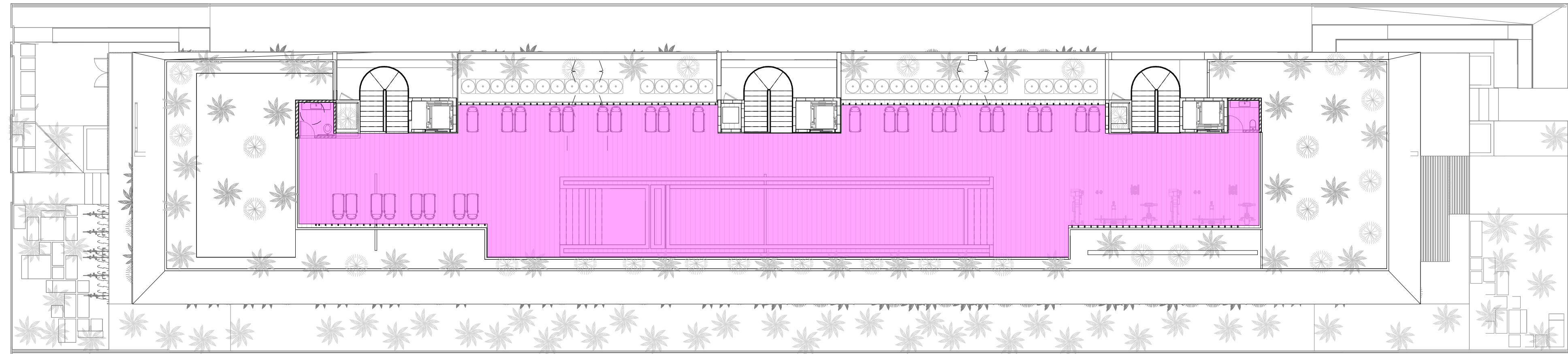
SITE DIAGRAMS - FAR

A204

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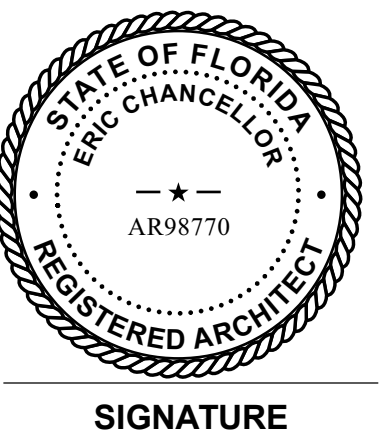


**THIRD FLOOR AREA DIAGRAM**  
1/16" = 1'-0"



**ROOF AREA DIAGRAM**  
1/16" = 1'-0"

AREAS DIAGRAM		
NAME	AREA	PERCENTAGE
THIRD FLOOR AREA	10,410 SF	100%
ROOF DECK AREA	5,200 SF	50%



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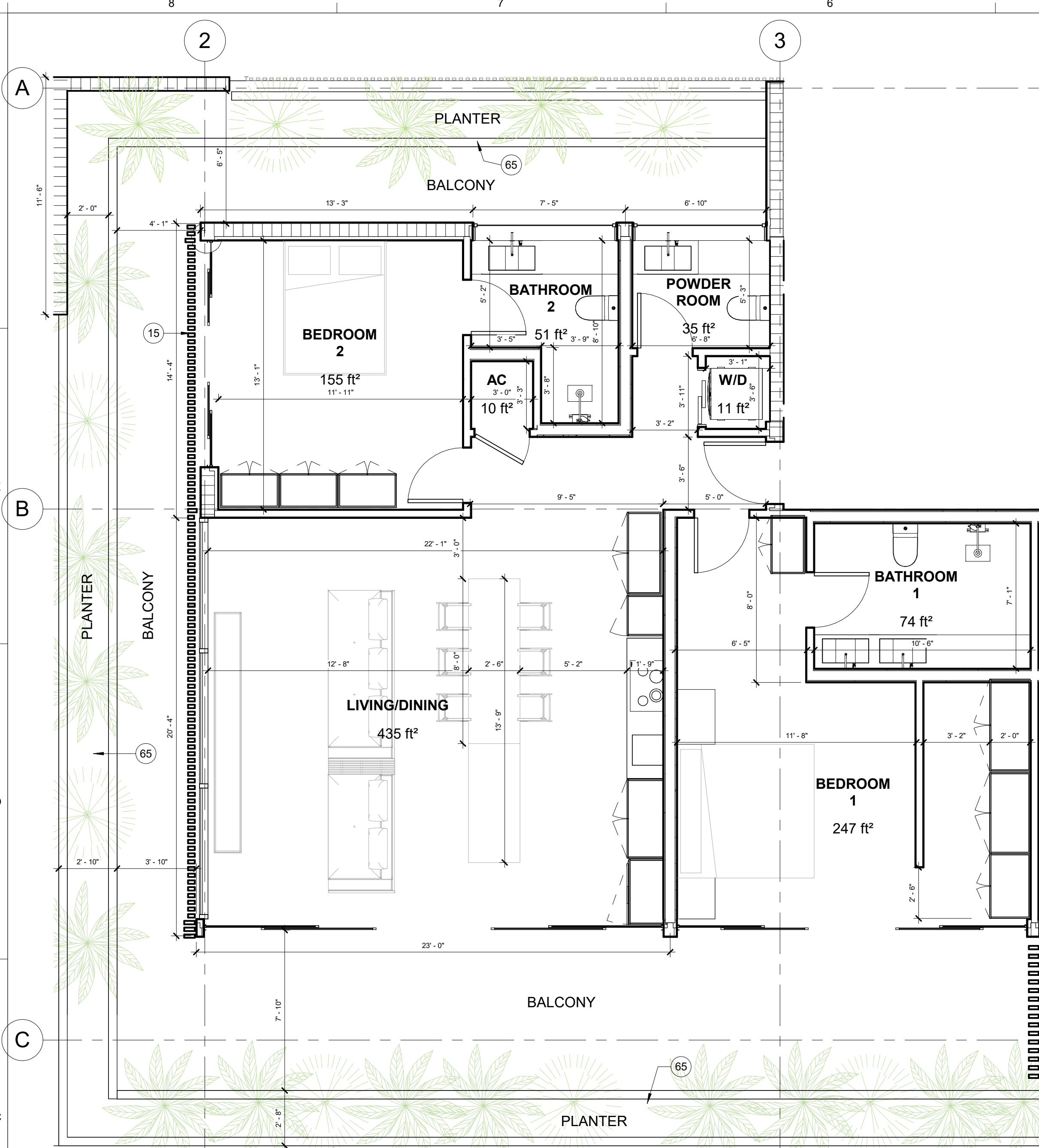
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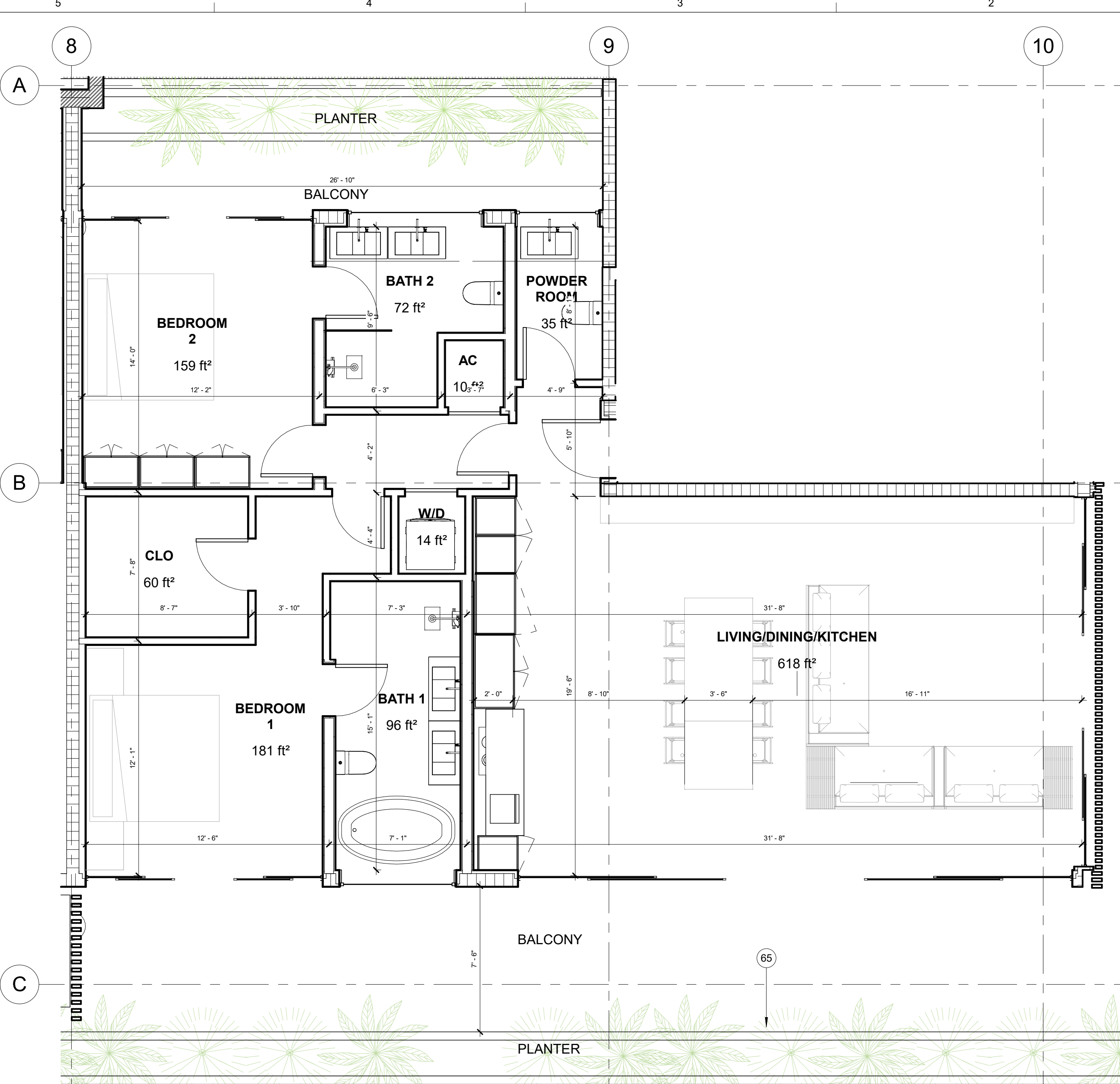
SITE DIAGRAMS - ROOF AREA



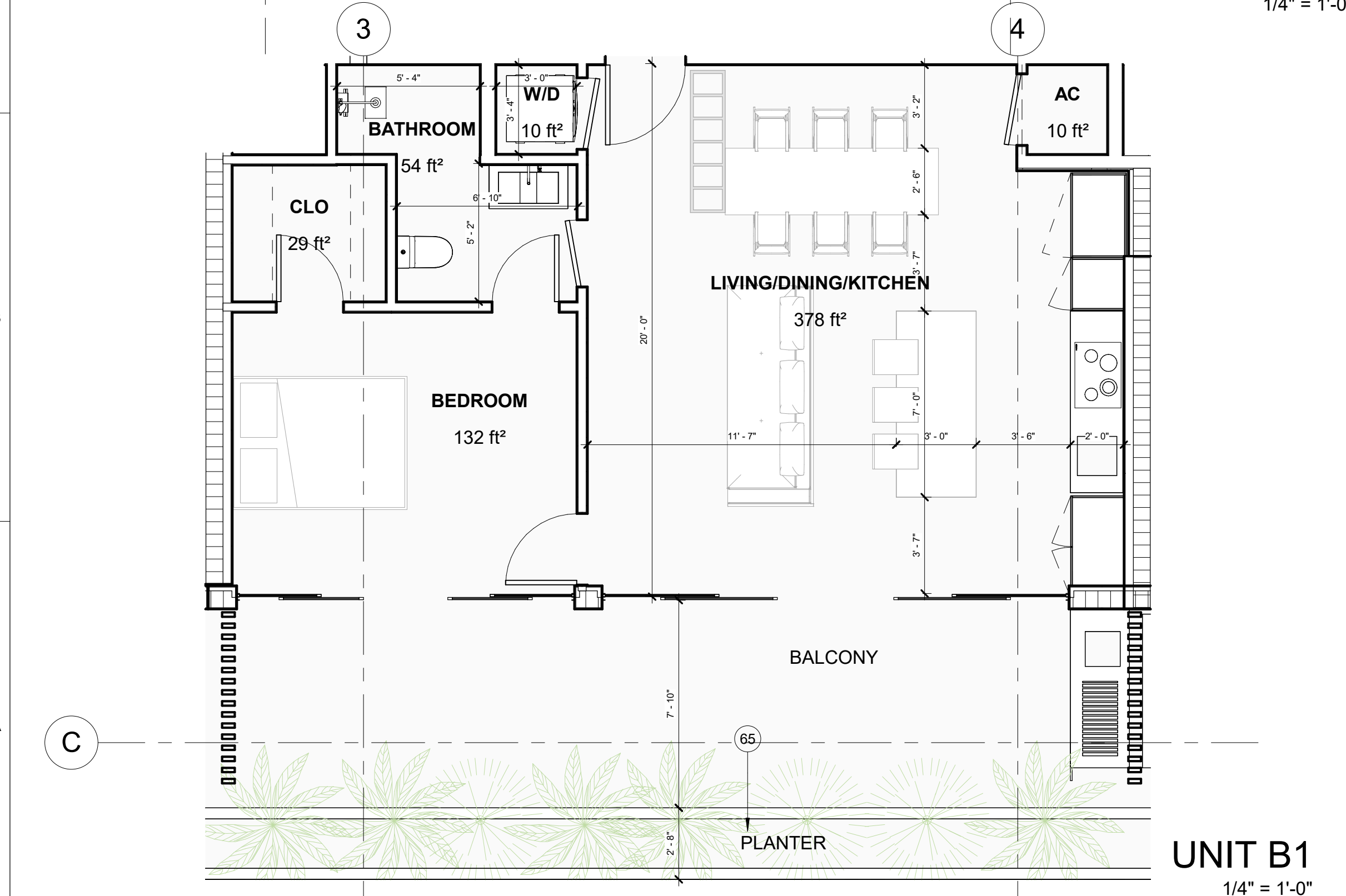
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**UNIT A2**  
1/4" = 1'-0"



**UNIT A3**  
1/4" = 1'-0"



**UNIT B1**  
1/4" = 1'-0"

### FLOOR PLAN LEGEND

- EXISTING CONCRETE BLOCK WALL
- EXISTING DRY WALL
- NEW CONCRETE BLOCK WALL
- NEW DRY WALL
- 1HR FIRE RATED WALL
- 2HR FIRE RATED WALL
- BATT INSULATION
- REINFORCED CONCRETE COLUMN: SEE STRUCTURAL DRWGS FOR DETAIL
- CEILING ABOVE
- 3/12 DENOTES ROOF OR FLOOR SLOPE
- 1.2 DENOTES GRADE ELEVATION
- DENOTES ELEVATION
- SECTION MARK DRAWING SHEET ##
- ENLARGED MARK DRAWING SHEET ##
- EXISTING TO BE REMOVED
- WALL TYPE
- WINDOW TAG
- DOOR TAG
- KEYNOTE
- EXTERIOR ELEVATION TAG
- INTERIOR ELEVATION TAG

### FLOOR PLAN GENERAL NOTES

**SLAB:**  
 1. ALL CONCRETE BLOCK WALLS SHALL BE RECESSED 3/4" IN CONCRETE SLAB  
 2. ALL EXTERIOR DOOR THRESHOLDS SHALL BE RECESSED 3/4" DEEP IN CONCRETE SLAB

**PARTITION INSULATION:**  
 3. ALL INTERIOR WALLS SHALL BE PROVIDED WITH SOUND ATTENUATING BLANKETS INSULATION.

**POOL SAFETY:**  
 4. ALL DOOR AND WINDOW SHALL BE ALARMED FOR POOL SAFETY ACCORDING TO FBC SECTION 424.2.17.1.9  
 5. POOL ALARM SHUNT BYPASS SWITCH

**METAL FRAMING:**  
 6. CONTRACTOR TO PROVIDE 1 5/8" CHASE WALL WHERE NECESSARY IN CASE STRUCTURE IS NOT LEVELED OR PLUMBED (FIELD CONDITION)

7. SOIL SHALL BE TREATED WITH TERMITE PROTECTION IN ACCORDANCE WITH FBCR 318.

\* WINDOWS MARKED WITH EGRESS SHALL COMPLY WITH THE REQUIREMENTS OF THE FBC SECTION 1005.4.4 FOR SECOND MEANS OF ESCAPE. PER SECTION 1005.4.4 CLEAR OPENING OF EGRESS WINDOW SHALL NOT BE LESS THAN 20" IN WIDTH, NOR LESS THAN 24" IN HEIGHT, AND SHALL BE A MIN TOTAL OF 5.7 SQUARE FEET IN CLEAR AREA. 5.0 SQUARE FEET ON GROUND FLOOR ONLY.

SP #2: ALL LUMBER TO BE SOUTHERN PINE #2. IF IN CONTACT WITH CONCRETE, LUMBER TO BE PRESSURE TREATED

### KEYNOTES

#	DESCRIPTION
15	CUSTOM WOODLIKE ALUMINUM SLAT SCREEN. SEE DETAILS ON SHEET A600.
65	CAST-IN-PLACE CONCRETE PLANTER CLADDED WITH METAL SHEET

**ORARCITY**  
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**MIAMI BEACH APARTMENTS**

**1440 MICHIGAN AVE**  
**MIAMI BEACH, FL 33139**

STATE OF FLORIDA  
ERIC CHANCELLOR  
REGISTERED ARCHITECT  
AR98770

SIGNATURE

DATE

### REVISIONS

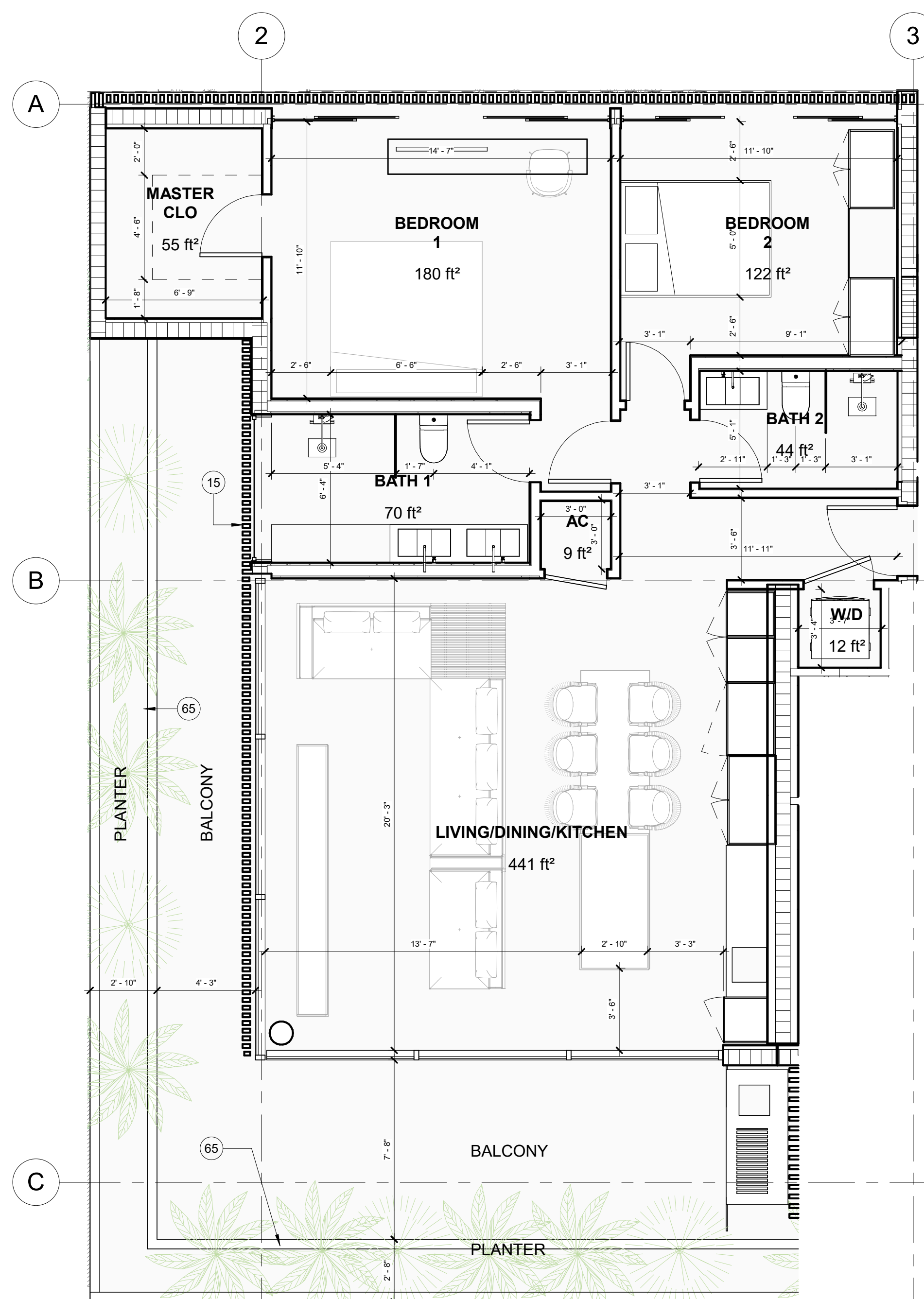
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**DATE** 09/07/2025  
**SCALE** AS NOTED IN DRAWING  
**SHEET SIZE** 11" X 17"

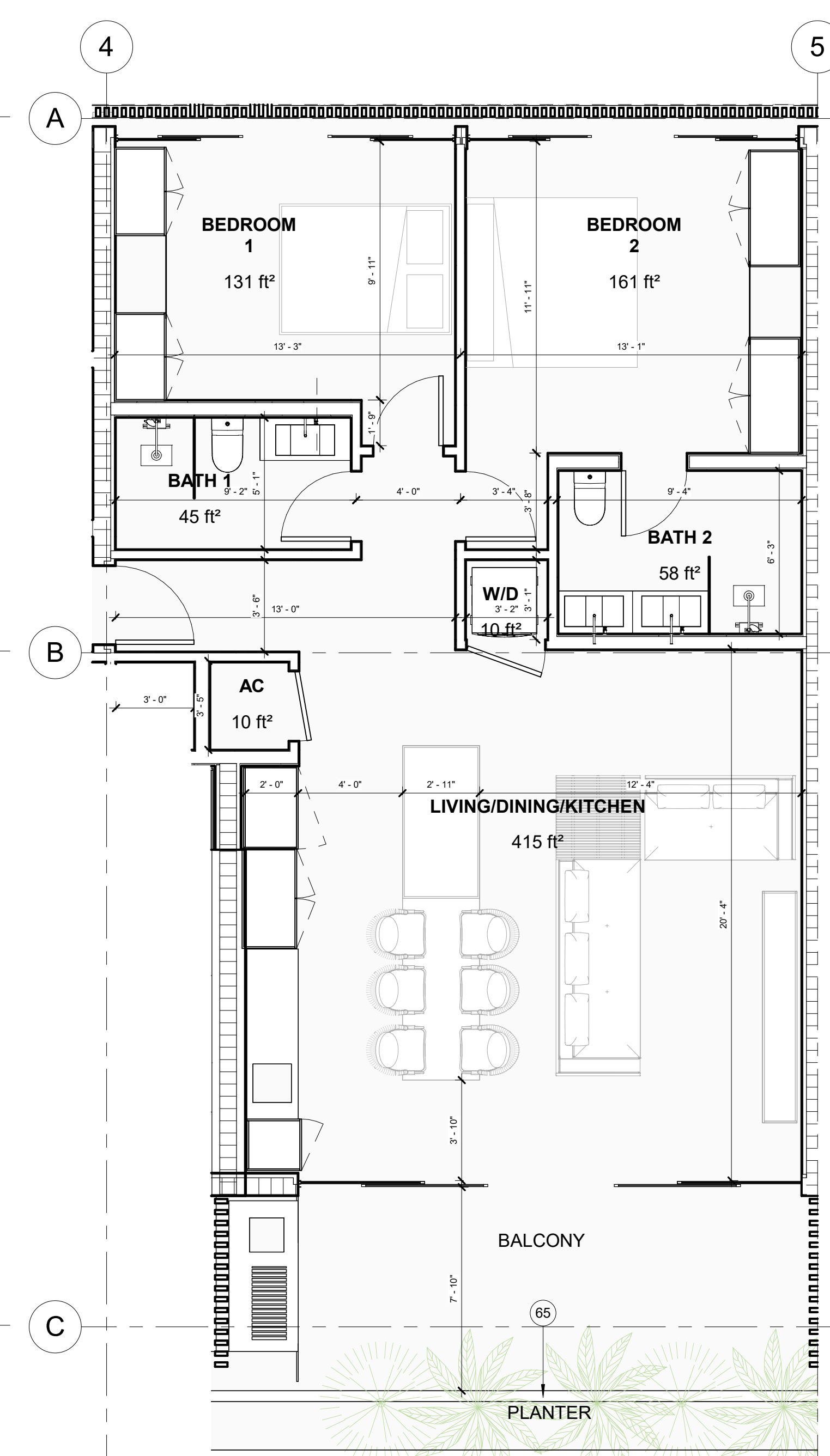
UNIT PLANS

**A309**

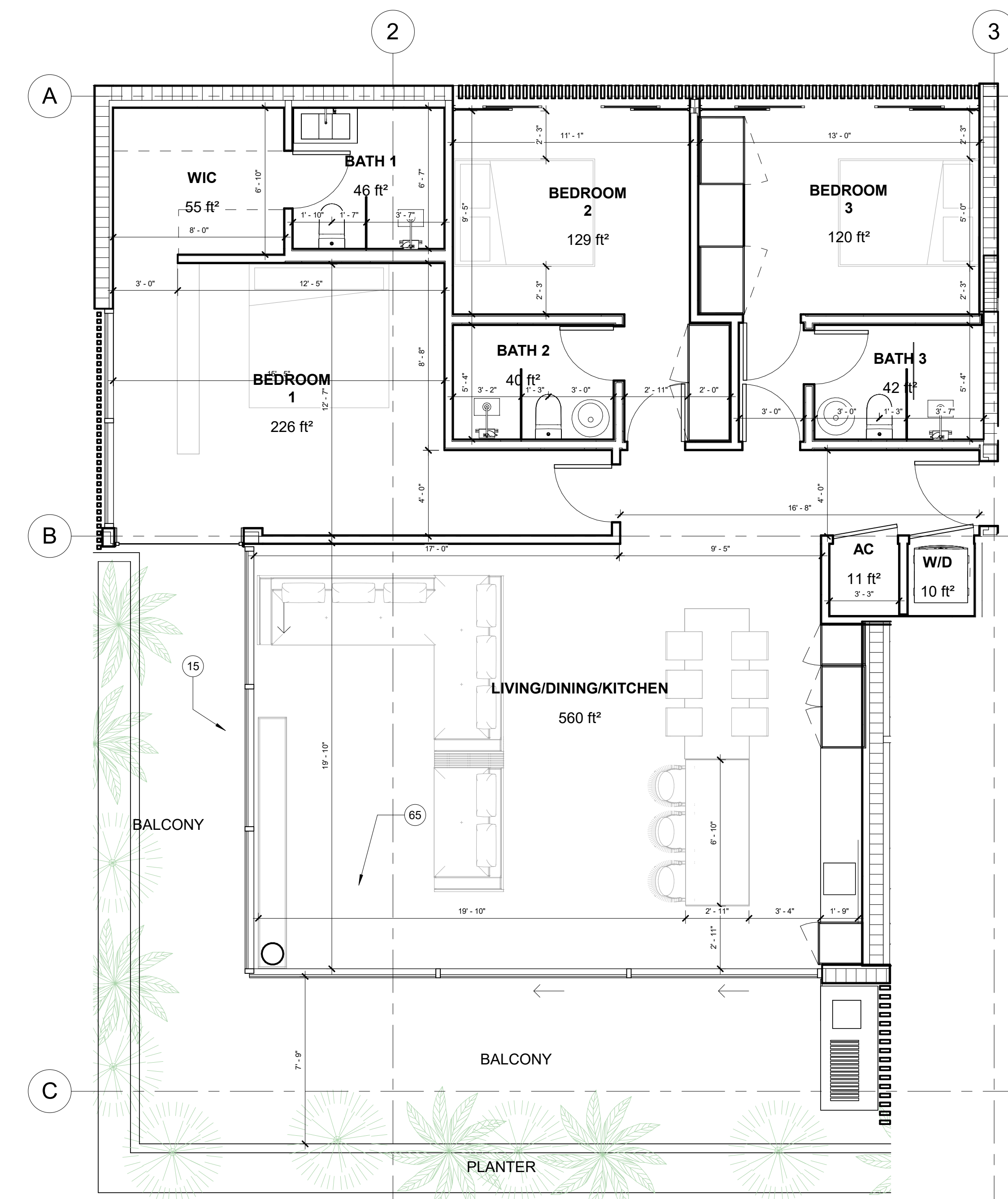
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**UNIT B2**  
1/4" = 1'-0"



**UNIT B3a**  
1/4" = 1'-0"



**UNIT C1**  
1/4" = 1'-0"

**FLOOR PLAN GENERAL NOTES**

- SLAB:**  
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 2. ALL EXTERIOR DOOR THRESHOLDS SHALL BE RECESSED 3/4" DEEP IN CONCRETE SLAB
- PARTITION INSULATION:**  
 3. ALL INTERIOR WALLS SHALL BE PROVIDED WITH SOUND ATTENUATING BLANKETS INSULATION.
- POOL SAFETY:**  
 4. ALL DOOR AND WINDOW SHALL BE ALARMED FOR POOL SAFETY ACCORDING TO FBC SECTION 424.2.17.1.9  
 5. POOL ALARM SHUNT BYPASS SWITCH
- METAL FRAMING:**  
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**KEYNOTES**

#	DESCRIPTION
15	CUSTOM WOODLIKE ALUMINUM SLAT SCREEN. SEE DETAILS ON SHEET A600.
65	CAST-IN-PLACE CONCRETE PLANTER CLADDED WITH METAL SHEET



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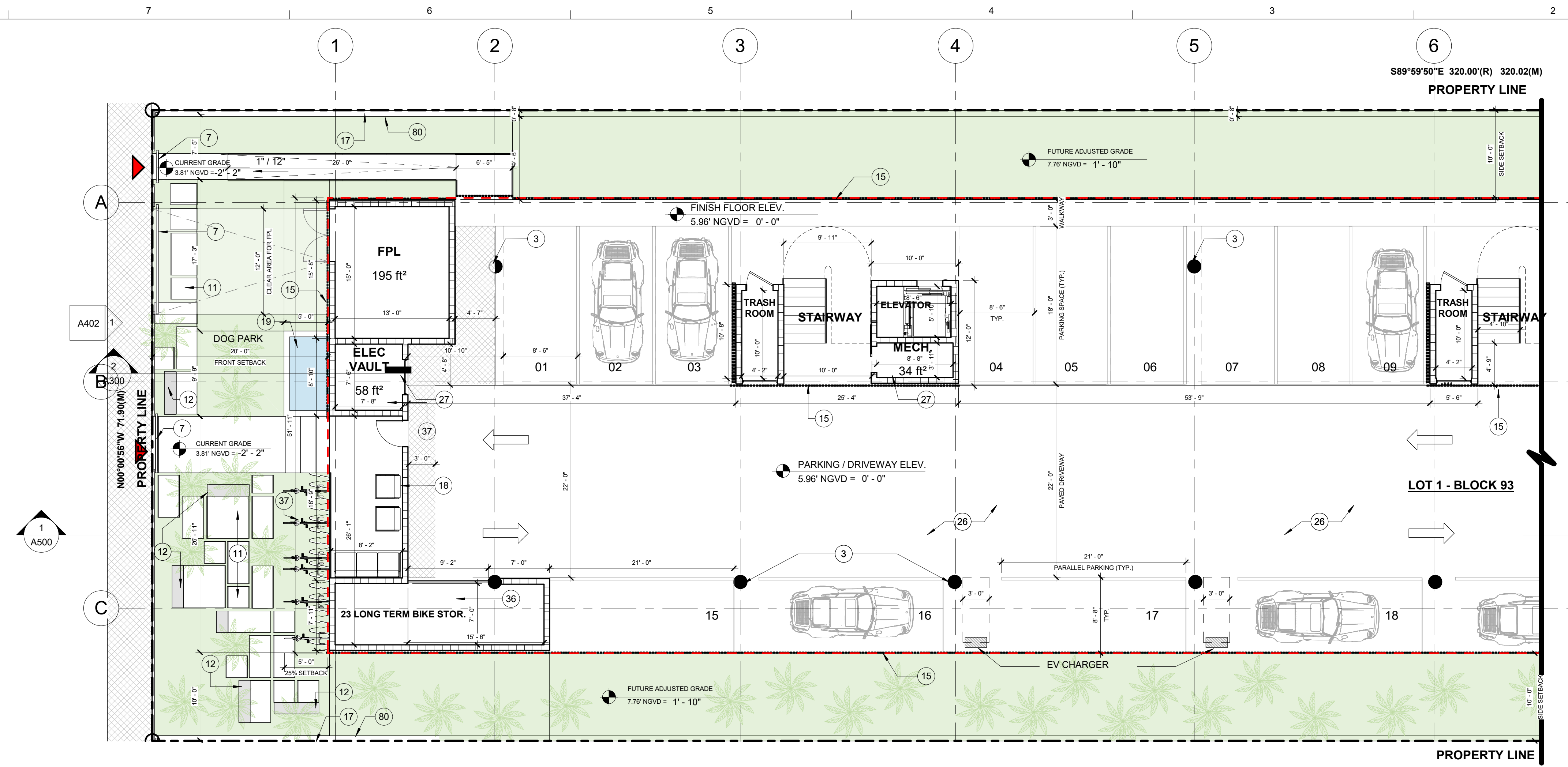
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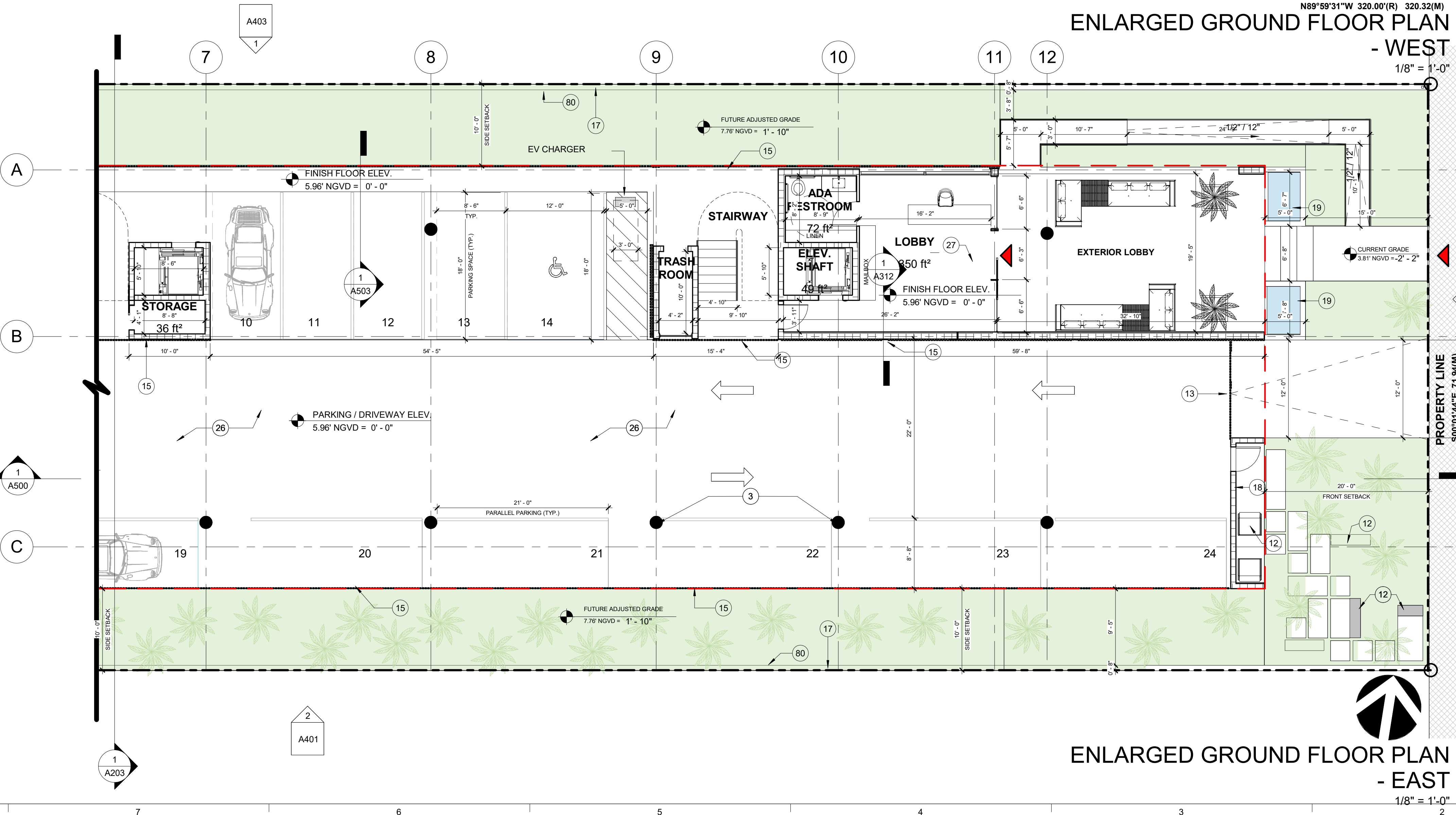
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**SHEET SIZE** 11" X 17"

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**ENLARGED GROUND FLOOR PLAN - WEST**  
1/8" = 1'-0"



**ENLARGED GROUND FLOOR PLAN - EAST**  
1/8" = 1'-0"

KEYNOTES	
#	DESCRIPTION
3	STRUCTURAL COLUMN
7	ACCESS GATE
11	LANDSCAPE STEPPING STONES
12	EXTERIOR SEATING
13	NEW CUSTOM GARAGE DOOR W/ WOOD SLAT FINISH
15	CUSTOM WOODLIKE ALUMINUM SLAT SCREEN. SEE DETAILS ON SHEET A600.
17	4' FENCE ON TOP OF CMU PERIMETER WALL
18	GREEN WALL
19	WATER BASIN FEATURE
26	HYDROPAVERSA® PERMEABLE PAVING SYSTEM: COLOR GREEN 018 IN 5.91" X 11.81" X 2.17"
27	STRUCTURES BELOW THE FEMA BFE WILL BE WET FLOODPROOFED. PLEASE REFER TO SHEET A312 FOR DETAILS.
36	23 LONG TERM BIKE SPACES - WALL MOUNTED
37	16 SHORT TERM BIKE SPACES
80	3'-0" TALL 8" CMU PERIMETER WALL

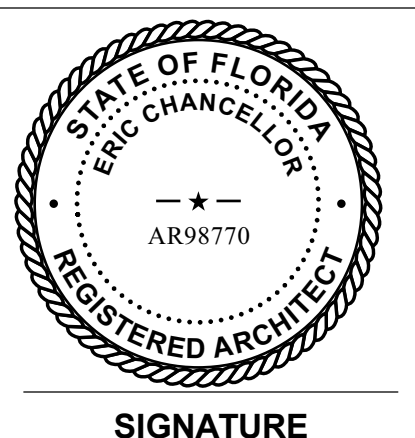
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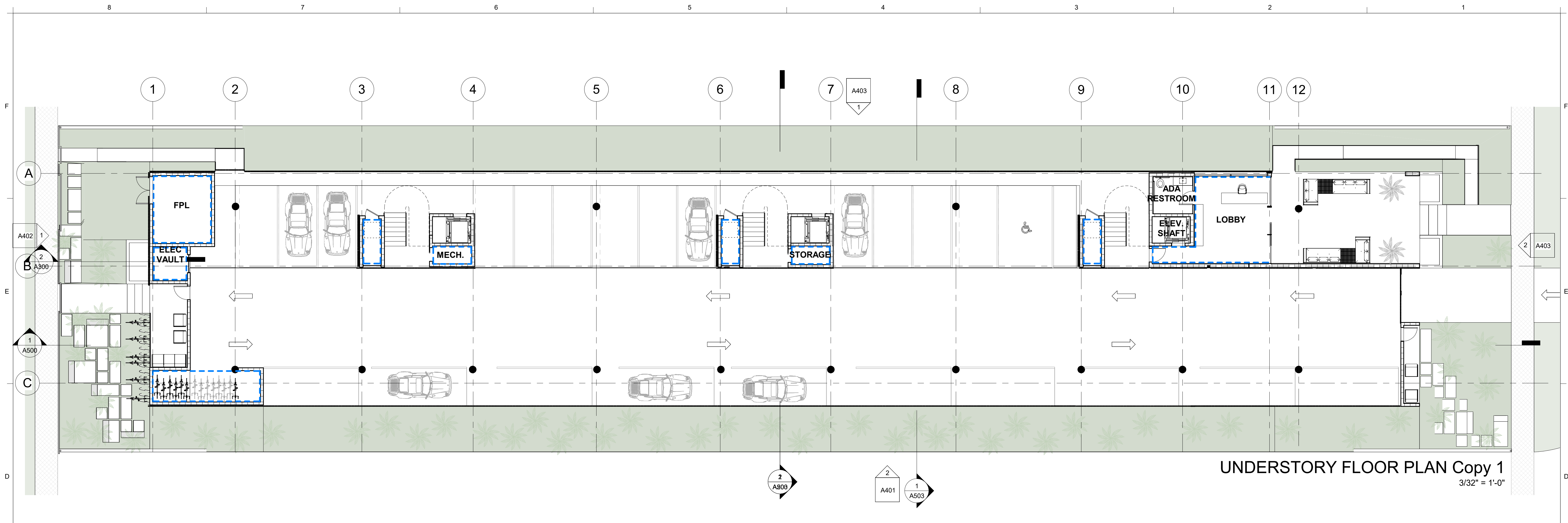
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**SHEET SIZE** 11" X 17"

ELANRGRD UNDERSTORY FLOOR PLAN

**A311**

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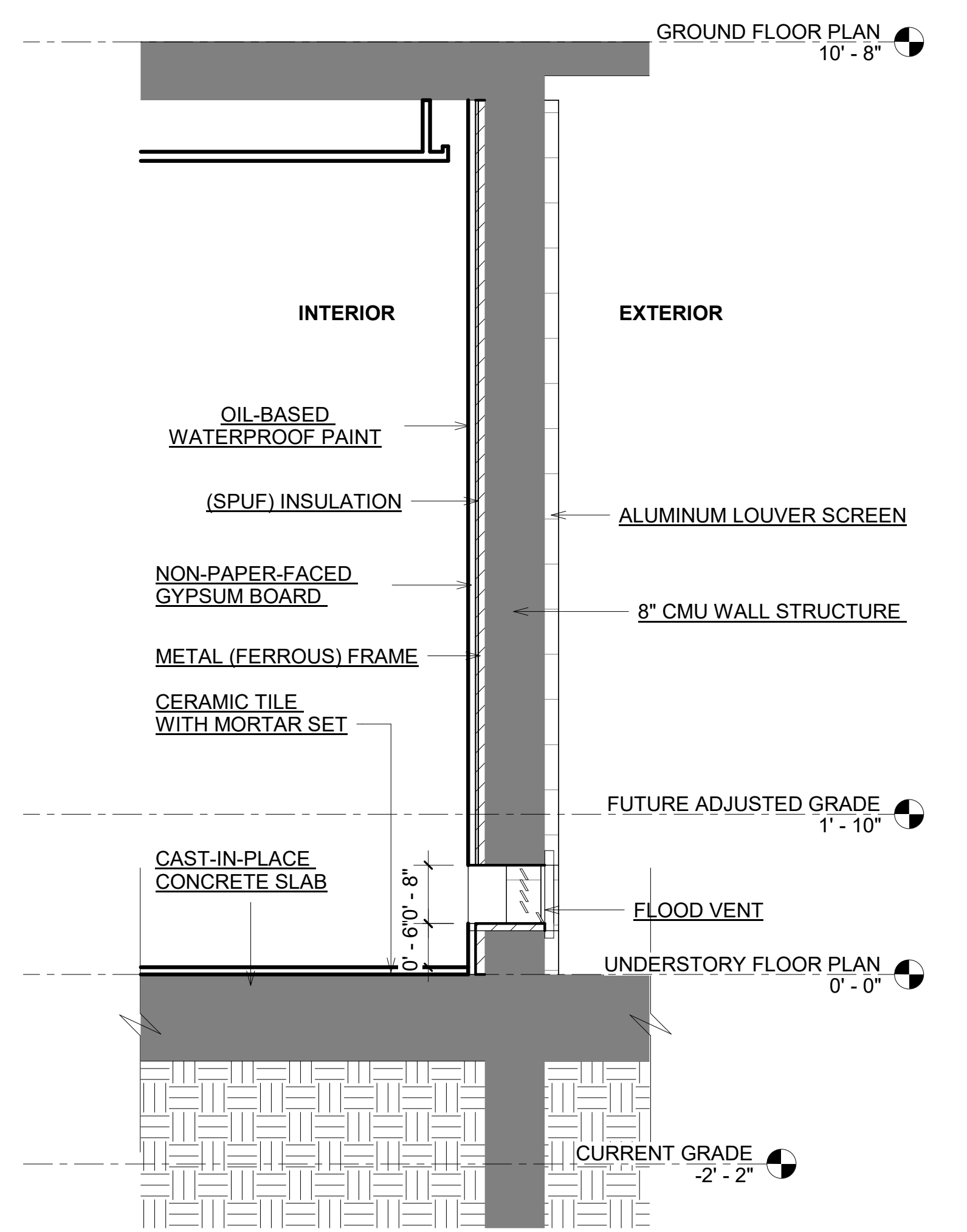
UNDERSTORY FLOOR PLAN Copy 1  
3/32" = 1'-0"

**LEGEND**

**WET FLOODPROOFING - FLOOD RESISTANT MATERIALS, REFER TO NOTES BELOW**  
FLOOD VENTS PER FEMA AND NFIP: SECTION 44CFR60.3 AND ASCE 24-14 SECTION 2.7.

**NOTES**

- ALL CONSTRUCTION AND FINISH MATERIAL LOCATED BELOW THE DESIGN FLOOD ELEVATION (DFE)(BFE + 4'-0") AS APPROVED BY DRB SHALL BE FLOOD-DAMAGE-RESISTANT MATERIAL EXTENDING 36 INCHES ABOVE DFE ACCORDING TO TABLE 5-1 AND TABLE 1-1 OF ASCE 24-14.
- ALL CONSTRUCTION AND FINISH MATERIAL LOCATED BELOW THE DESIGN FLOOD ELEVATION (DFE)(BFE + 4'-0") AS APPROVED BY DRB SHALL BE FLOOD-DAMAGE-RESISTANT MATERIAL EXTENDING 36 INCHES ABOVE DFE ACCORDING TO TABLE 5-1 AND TABLE 1-1 OF ASCE 24-14.
- ALL MATERIALS SHALL BE CAPABLE OF RESISTING DAMAGE ASSOCIATED WITH A BASE FLOOD EVENT. DOOR SYSTEMS INCLUDE FRAME, HINGES, THRESHOLD, AND PANELS. SINCE SOLID WOOD, WOOD LAMINATE, OR HOLLOW CORE WOOD DOOR PANELS MAY WARP, SWELL AND/OR ROT, SEALED METALS ARE PREFERABLE. WINDOWS ARE SUSCEPTIBLE TO DAMAGE FROM DEBRIS CARRIED BY FLOODWATER. THE USE OF GLASS BLOCKS, SEALED UNBREAKABLE PANES, AND WIRE-REINFORCED GLASS WILL RESIST FLOOD DAMAGE. PROTECTIVE SCREENS MAY ALSO BE SUCCESSFUL IN PREVENTING DEBRIS IMPACT. THE USE OF TEMPERED GLASS OR IMPACT-RESISTANT PLASTIC (ACRYLIC OR POLYCARBONATE) IS RECOMMENDED FOR LARGE WINDOW AREAS OF 20 SQUARE FEET OR MORE.
- WALL FINISHES: THE EXTERIOR CLADDING OF A STRUCTURE SUBJECT TO FLOODING SHOULD BE NONPOROUS, RESISTANT TO CHEMICAL CORROSION OR DEBRIS DEPOSITS, AND CONDUCTIVE TO EASY CLEANING. RELATIVELY IMPERVIOUS CLADDING SUCH AS HARD BRICK, PRESSURE-TREATED WOOD, METAL, AND CONCRETE ARE SOME OF THE ACCEPTABLE MATERIALS. AS WITH EXTERIOR SURFACES, INTERIOR CLADDING SHOULD BE EASY TO CLEAN AND NOT SUSCEPTIBLE TO DAMAGE FROM INUNDATION. MATERIALS THAT ARE SOLID AND RELATIVELY IMPERVIOUS SUCH AS CONCRETE, HARD BRICK, PLASTIC, AND PRESSURE-TREATED WOOD, ARE MOST SUITABLE. FRAMING AND CLADDING MUST MEET THE SAME FLOOD-RESISTANT REQUIREMENTS AS ALL OTHER MATERIALS. METAL FASTENERS USED WITH METAL PANEL CLADDING SYSTEMS ARE SUSCEPTIBLE TO CORROSION AND SHOULD BE A CORROSION RESISTANT TYPE, SUCH AS HOT DIPPED GALVANIZED OR STAINLESS STEEL. WHERE INTERIOR WALL FINISHES ARE PRESENT, THEY SHALL MEET THE SAME FLOOD RESISTANT STANDARDS AS ALL OTHER MATERIALS LOCATED BELOW THE BFE.
- DECORATIVE ALUMINUM LOUVERS SHALL NOT BLOCK OR IMPEDE THE AUTOMATIC FLOW OF FLOOD WATERS INTO OR OUT OF THE ENCLOSED AREA
- DRY FLOODPROOFED PANEL TO HAVE A MINIMUM HEIGHT AS THE DFE (12.56 NGVD) OR HIGHER.



FLOOD PROOFING DETAIL SECTION  
3/4" = 1'-0"

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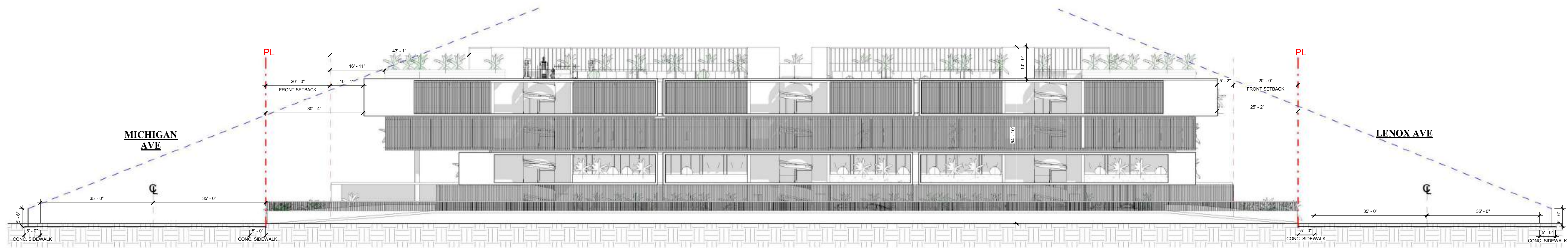


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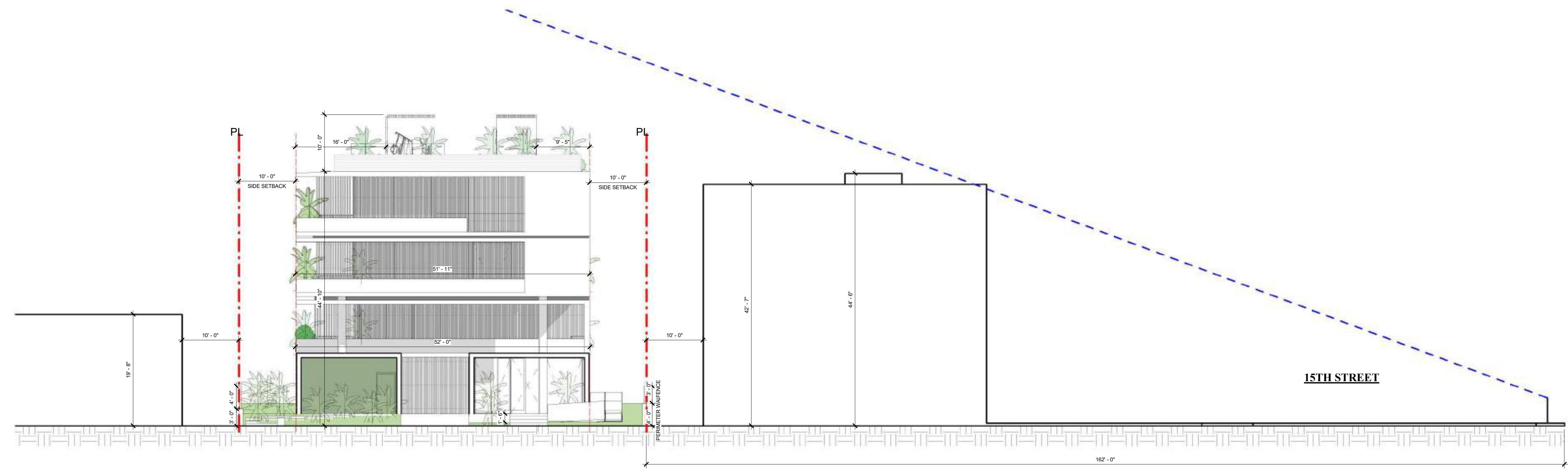
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SCALE AS NOTED IN DRAWING  
SHEET SIZE 11" X 17"  
WET FLOOD PROOFING PLAN

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**NORTH ELEVATION - LINE OF SIGHT**  
1/16" = 1'-0"



**EAST ELEVATION - LINE OF SIGHT**  
3/32" = 1'-0"

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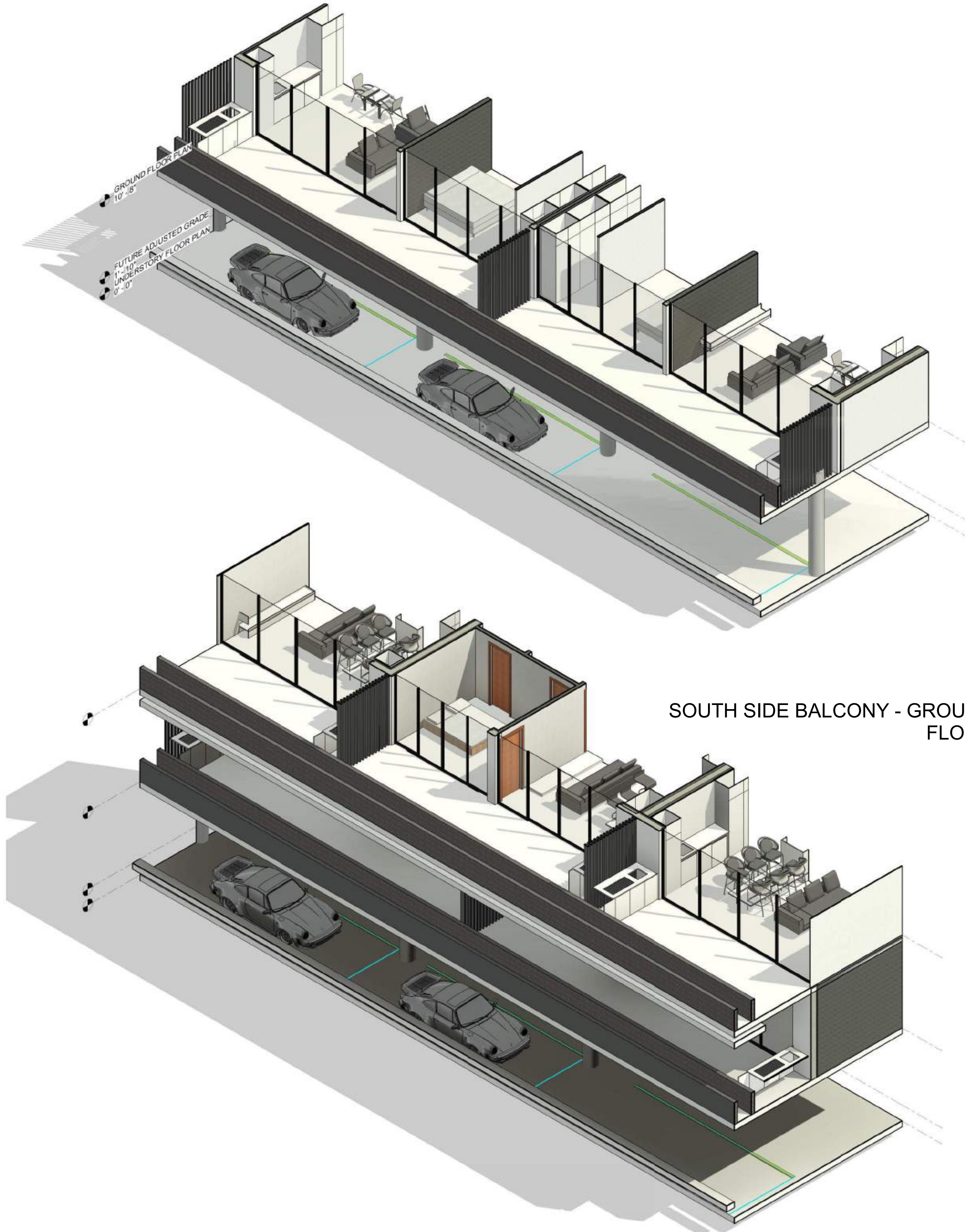
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**SHEET SIZE** 11" X 17"

NORTH & EAST  
ELEVATIONS - LINE OF SIGHT

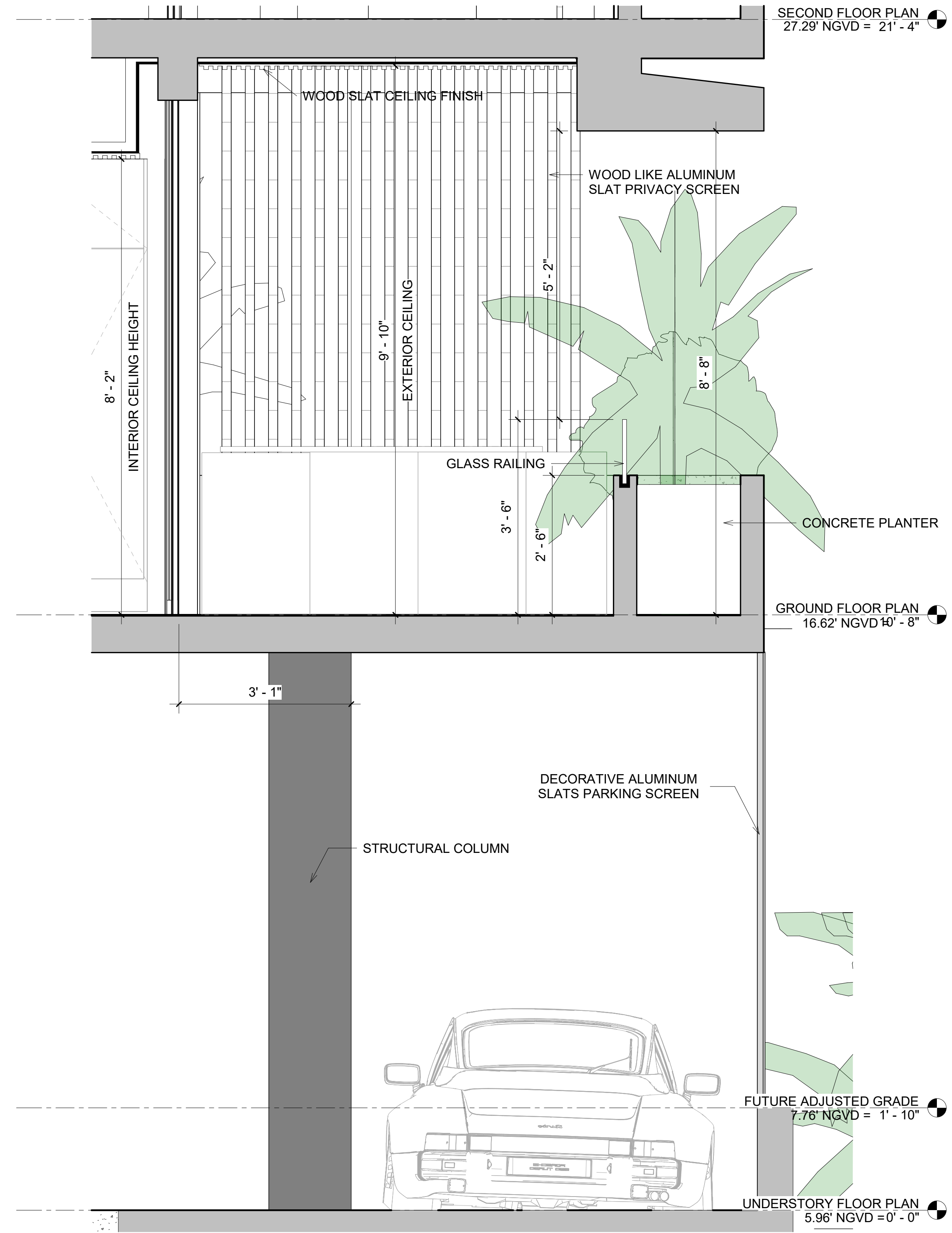
**A403**

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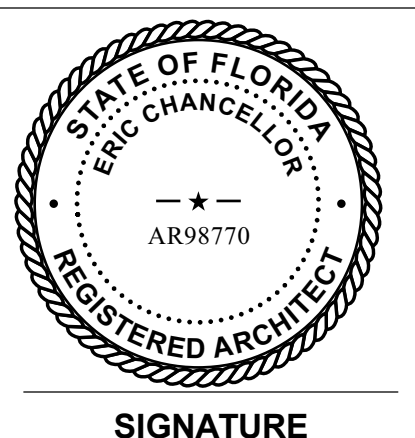


SOUTH SIDE BALCONY - GROUND FLOOR

SOUTH SIDE BALCONY - SECOND FLOOR



ENLARGED SECTION - SOUTH BALCONY  
3/4" = 1'-0"



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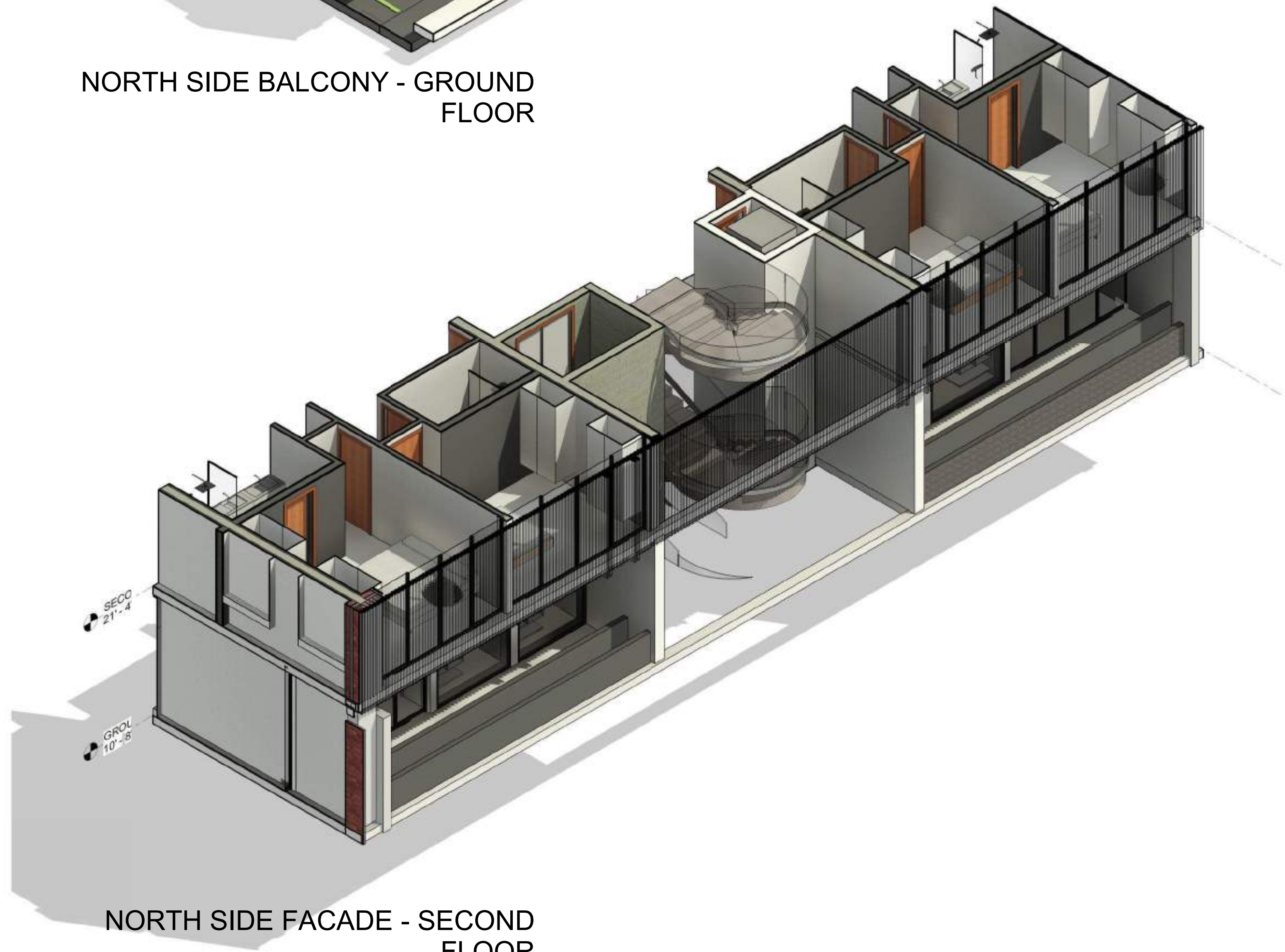
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SOUTH SIDE BALCONY DIAGRAM

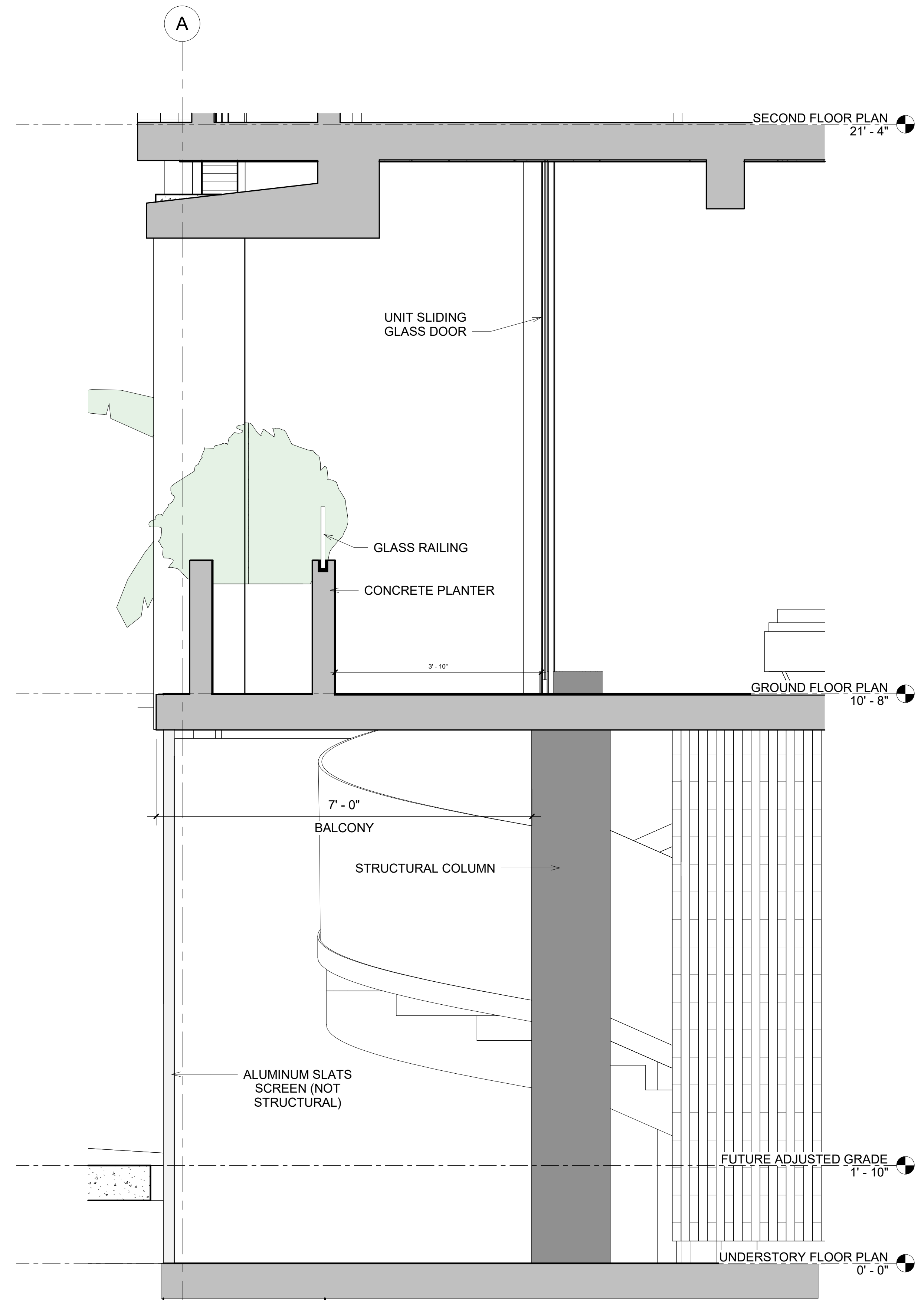
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**NORTH SIDE BALCONY - GROUND FLOOR**



**NORTH SIDE FACADE - SECOND FLOOR**



**ENLARGED SECTION - NORTH BALCONY**  
3/4" = 1'-0"



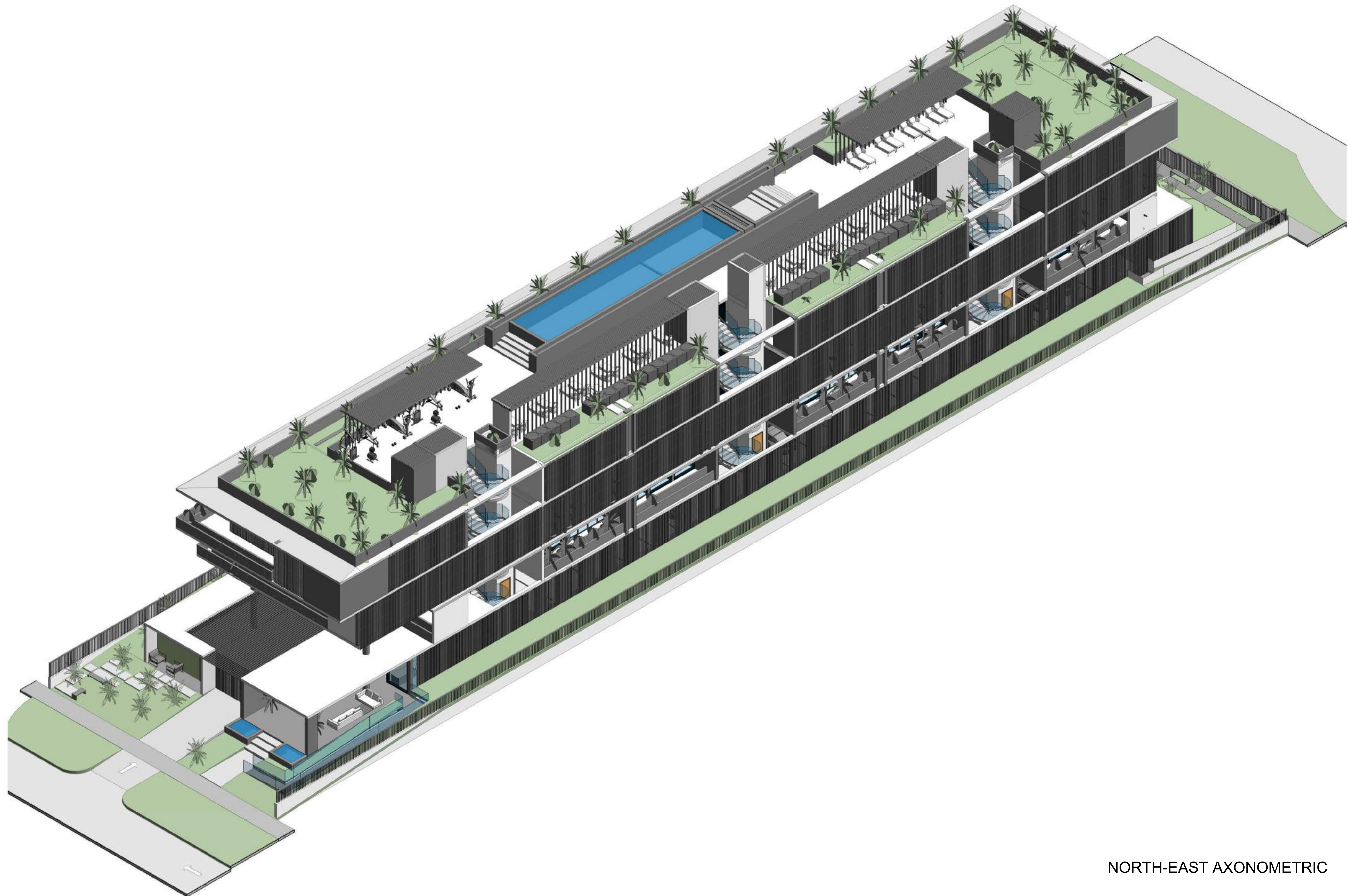
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NORTH SIDE BALCONY DIAGRAM

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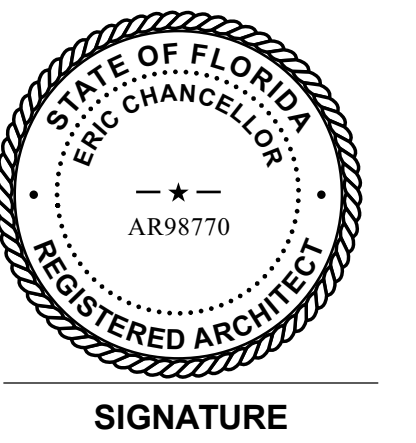
NORTH-EAST AXONOMETRIC

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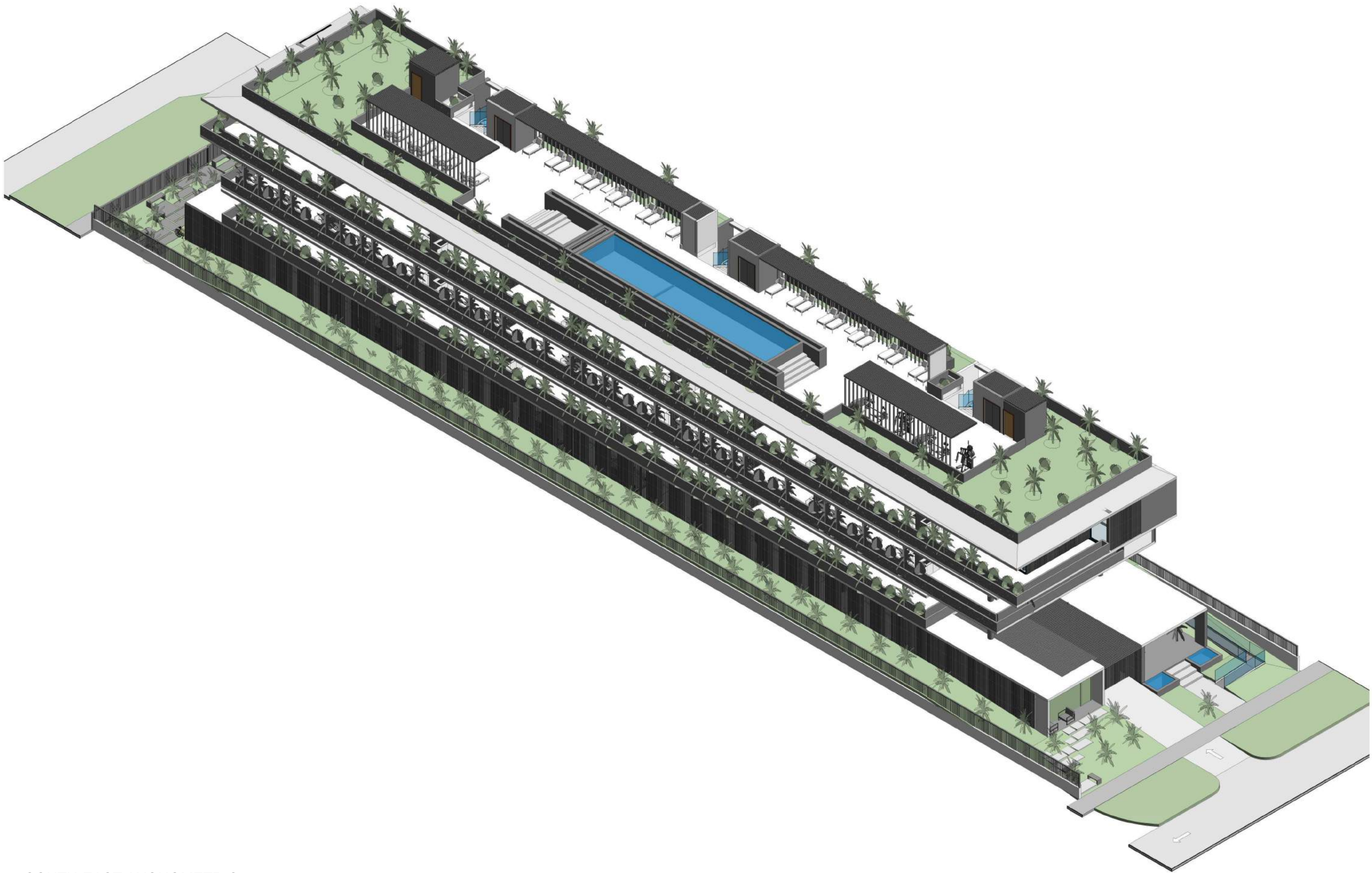
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**SCALE** AS NOTED IN DRAWING  
**SHEET SIZE** 11" X 17"  
AXONOMETRIC VIEW NE

A700

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SOUTH-EAST AXONOMETRIC

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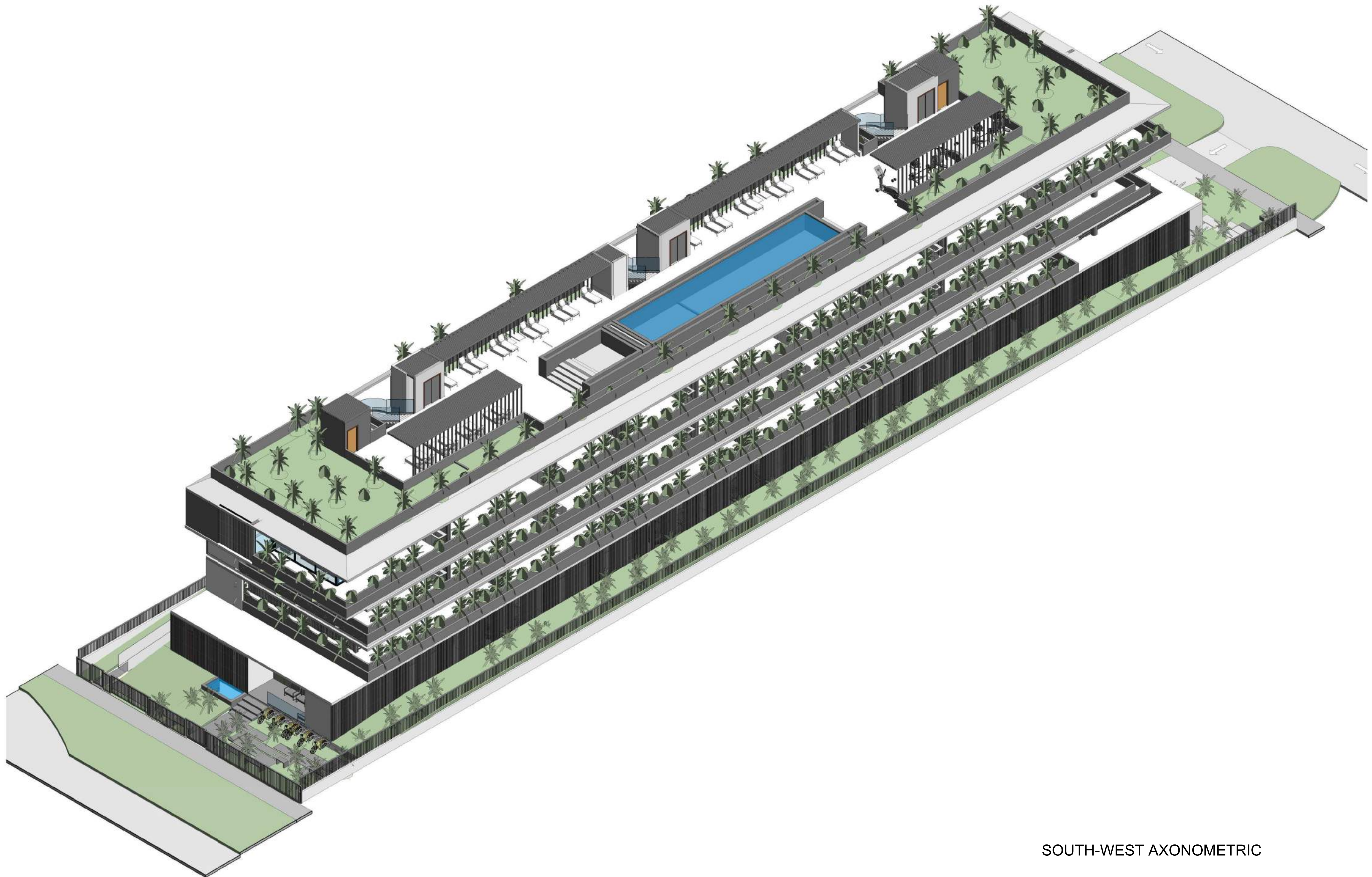
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SCALE AS NOTED IN DRAWING  
SHEET SIZE 11" X 17"  
AXONOMETRIC VIEW SE

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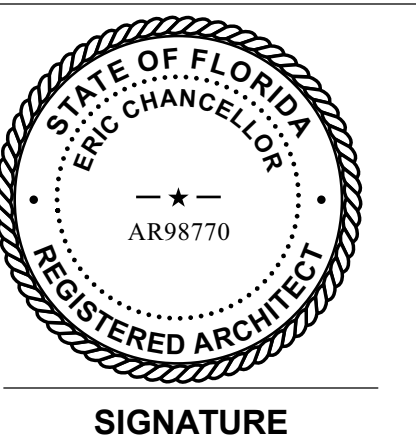
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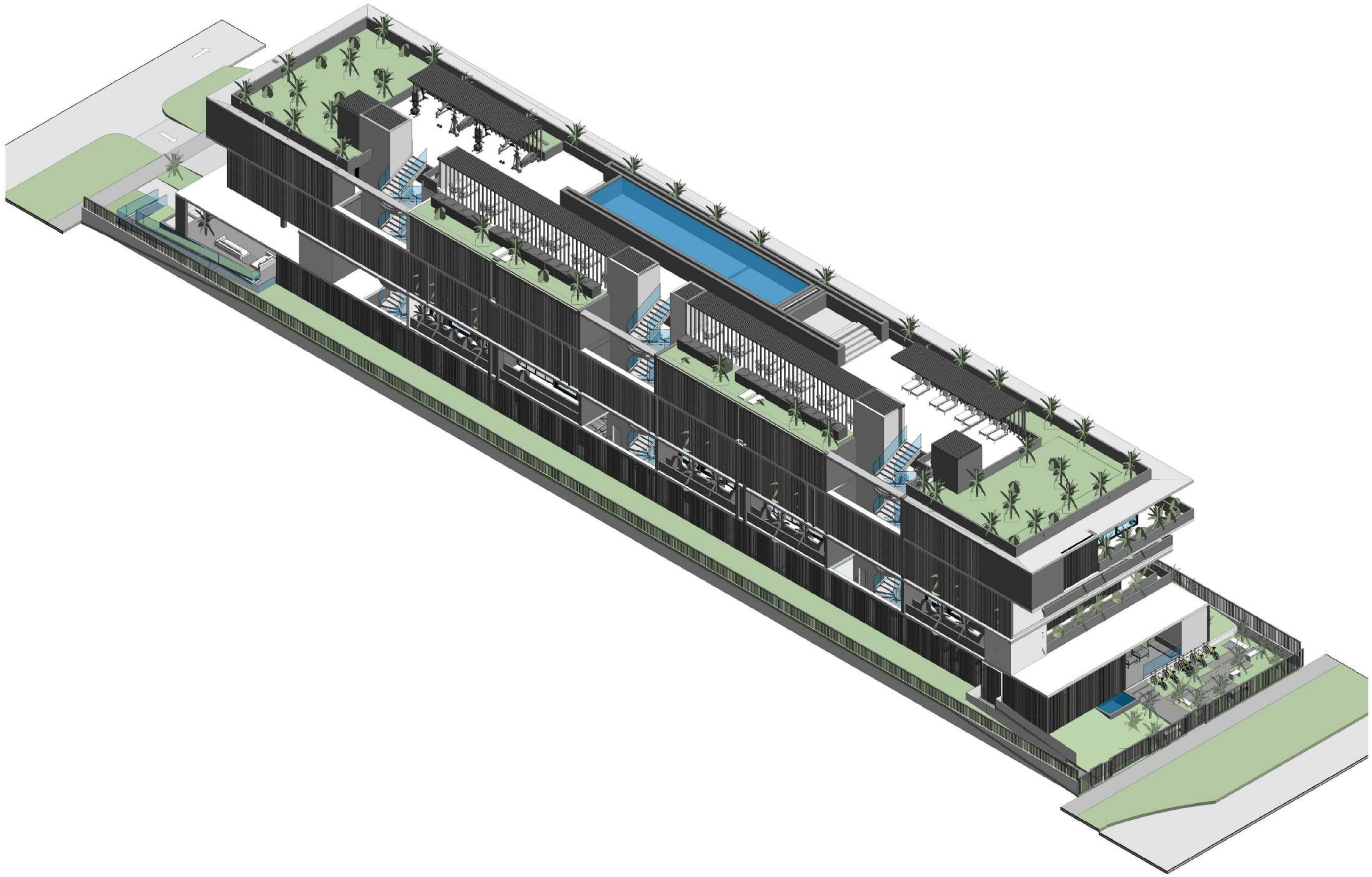
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