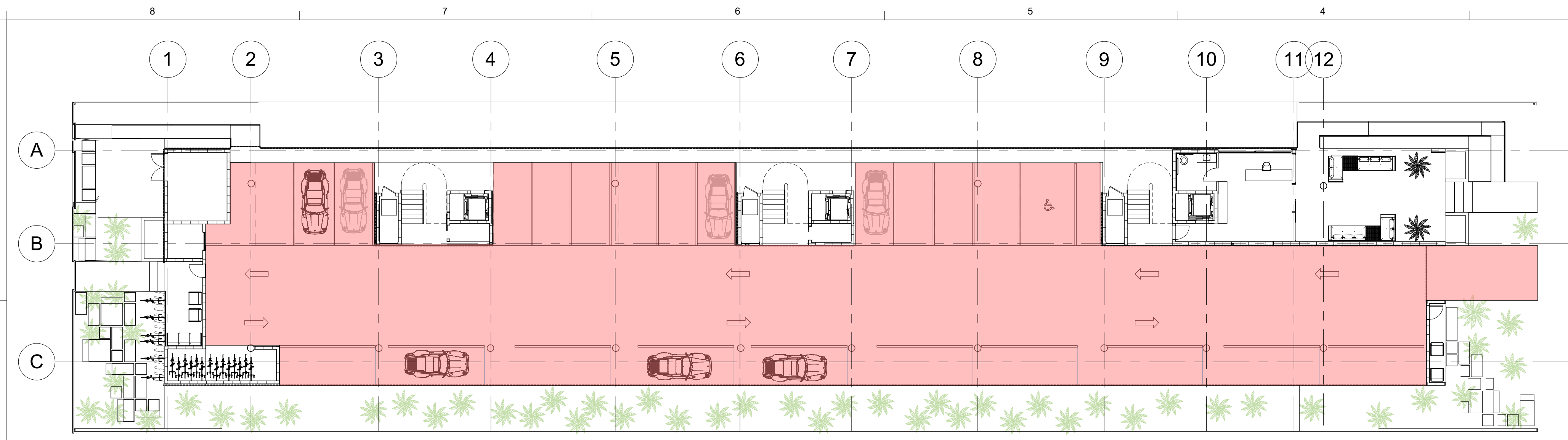
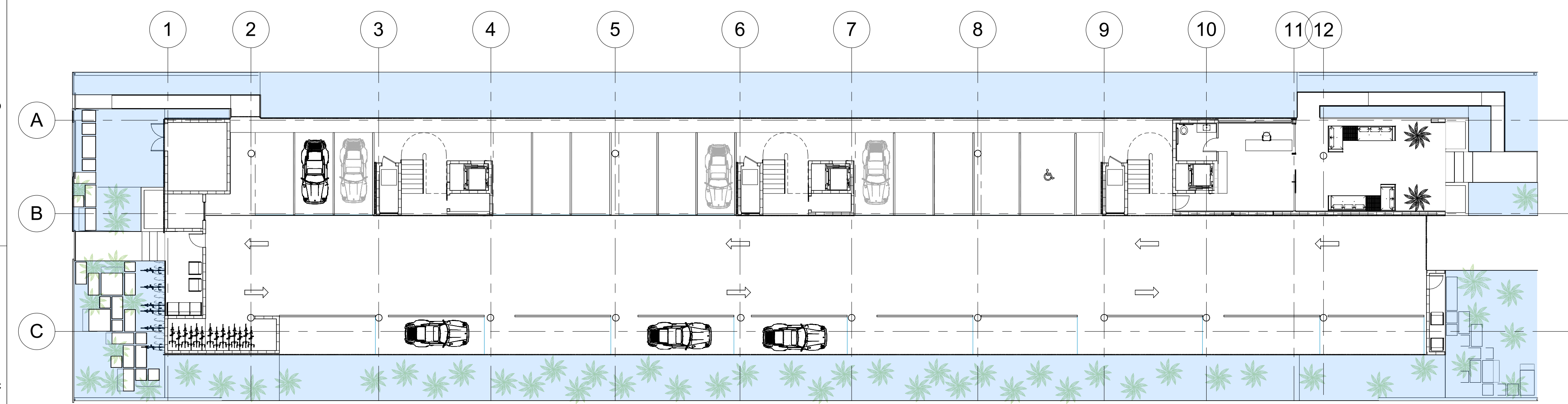


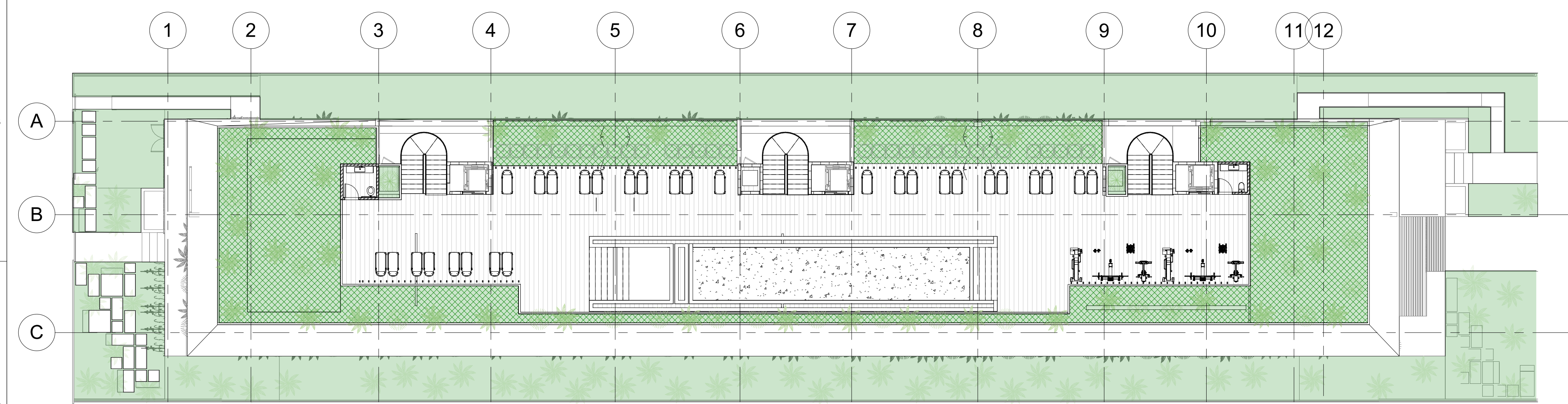
ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ARCHITECT ARE PROPERTY OF ARCHITECT AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY WERE EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THIS ARCHITECT, THE PERSON SO DOING WILL BE INDEBTED TO THE ARCHITECT FOR ITS FULL COMMISSION.



**PERVIOUS DRIVEWAY**  
1/16" = 1'-0"



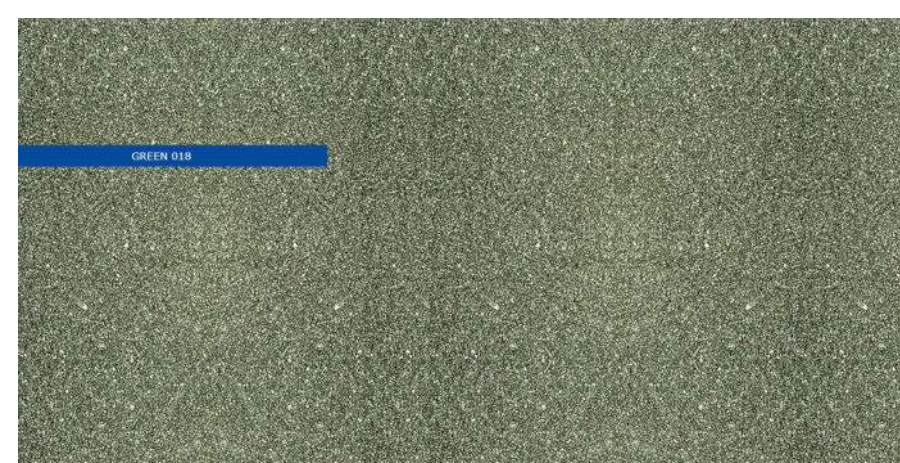
**GREEN SPACE (GROUND FLOOR)**  
1/16" = 1'-0"



**GREEN SPACE (TOTAL)**  
1/16" = 1'-0"

PERVIOUS AREAS DIAGRAM		
NAME	AREA	PERCENTAGE
HYDROPAVERS® PERMEABLE PAVING SYSTEM: COLOR GREEN 018 IN 5.91" x 11.81" x 2.17"	10,847 SF	47.0%
GREEN AREA (GROUND FLOOR)	7,224 SF	31.35%
GREEN AREA (ROOF TOP)	4,413 SF	19.2%

**HYDROPAVERS® PERMEABLE PAVING SYSTEM:  
COLOR GREEN 018 --- IN 5.91" x 11.81" x 2.17"**



**TECHNICAL DATA**  
**TEST CERTIFICATES**

**Compressive Strength**  
mean: 9,690 psi // 66.8 MPa  
Complies with and satisfies both: CSA A231.2-14 and ASTM C936

**H20-The American Association of State Highway Transportation Officials (AASHTO)**  
Based on these tested results, the hydroPAVERS® satisfy and exceed the requirements of H20 Standards for heavy vehicles.

**Dimensional Checks**  
In accordance with Section 7.4 of CSA 231.2-14, mean: 55.1mm x 299.7mm x 299.2mm

**Density and Absorption**  
In accordance with CSA A23.2-11C, mean: Absorption % 6.9, SSD Density (kg/m3) 2,034

**Infiltration Rate**  
In accordance to ASTM C1781, average: 2,240 mm/hr (88.2 inches /hr) or (1.47 inches/min)

**Freeze/Thaw and De-icing Durability**  
In accordance with Section 7.3 of CSA A231.2-14. The material loss from the specimens after 49 freeze/thaw cycles was negligible and meets the requirements. Visually, there was no change in the condition of the specimens and the test specimens are in very good condition.

**ADA—Americans with Disabilities Act**  
After reviewing the ADA Standards for ground surfaces, the hydroPAVERS® meet the ADA requirements.

**Water Retention**  
6L/m2 or 0.15 US Gallons /square foot. The hydroPAVERS® will absorb a 1/4" rain event.  
DAVROC TESTING LABORATORIES FILE: L16-0591MT

SIZE	PAVER SURFACE AREA	WEIGHT
100mm x 200mm x 55mm / 3.94" x 7.78" x 2.17"	0.215 sq. ft / .02m <sup>2</sup>	1.9 kg / 4.2 lbs
200mm x 200mm x 55mm / 7.78" x 7.78" x 2.17"	0.431 sq. ft / .04m <sup>2</sup>	3.8 kg / 8.38 lbs
150mm x 300mm x 55mm / 5.91" x 11.81" x 2.17"	0.484 sq. ft / .045m <sup>2</sup>	4.6 kg / 10.05 lbs
300mm x 300mm x 55mm / 11.81" x 11.81" x 2.17"	0.969 sq. ft / .09m <sup>2</sup>	8.9 kg / 19.62 lbs
300mm x 600mm x 55mm / 11.81" x 23.62" x 2.17"	1.938 sq. ft / .18m <sup>2</sup>	19 kg / 39.68 lbs

hydroPAVERS®  
USA/Canada: 888 599 6444  
International: +1 416 725 7524  
hydroPAVERS@hydroPAVERS.ca

hydroPAVERS® is a registered trademark of Green Innovations Ltd., Canada

**ORIARCITY**  
DEVELOPING COMMUNITIES

JASON SHILANSKY,  
B.A.R.C.H., C.C.C., O.W.N.E.R.  
JASON@SKYWERKDEV.COM

CGC # 1521802  
954.703.9340  
6950 CYPRESS RD  
PLANTATION FL 33317

MIAMI BEACH APARTMENTS

1440 MICHIGAN AVE  
MIAMI BEACH, FL 33139

STATE OF FLORIDA  
ERIC CHANCELLOR  
REGISTERED ARCHITECT  
AR98770

SIGNATURE  
Eric G Chancellor

DATE

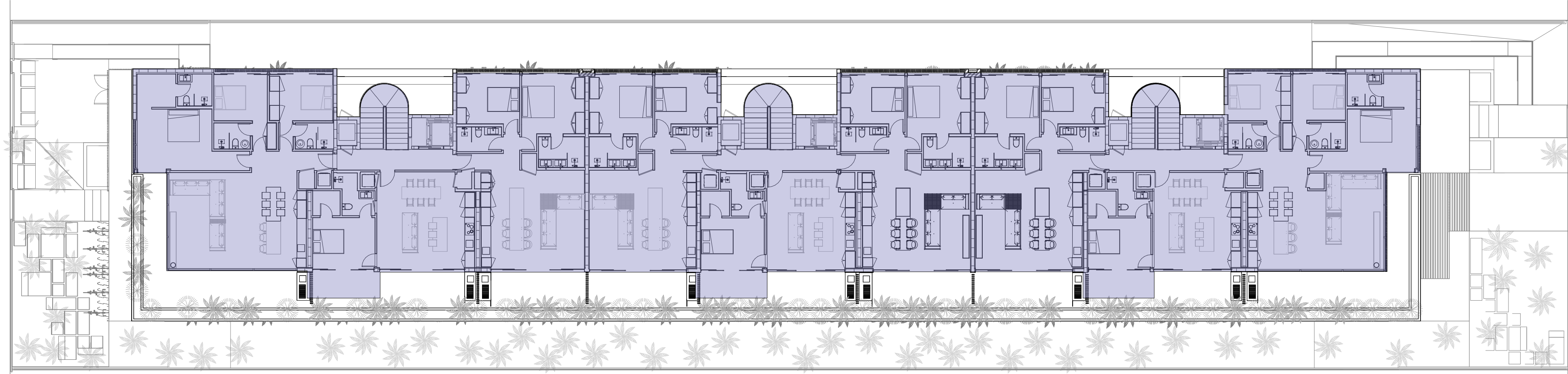
REVISIONS		
NO.	BY	DATE

DRAWN BY Author  
CHECKED BY Checker  
DATE 09/07/2025

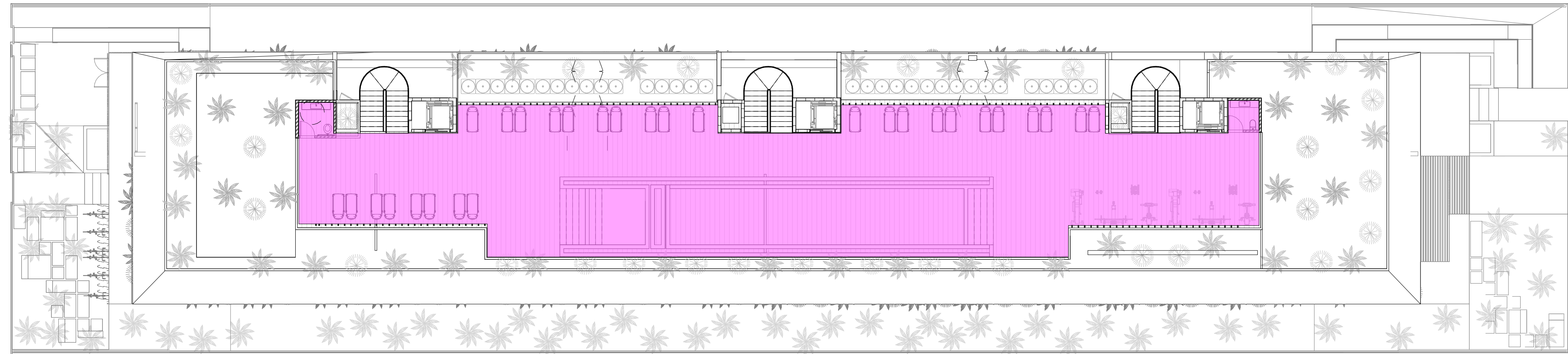
SCALE AS NOTED IN DRAWING  
SHEET SIZE 11" X 17"

SITE DIAGRAMS - PERVIOUS  
A205

ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ARCHITECT ARE PROPERTY OF ARCHITECT AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY WERE EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THIS ARCHITECT, THE PERSON SO DOING WILL BE INDEBTED TO THE ARCHITECT FOR ITS FULL COMMISSION.

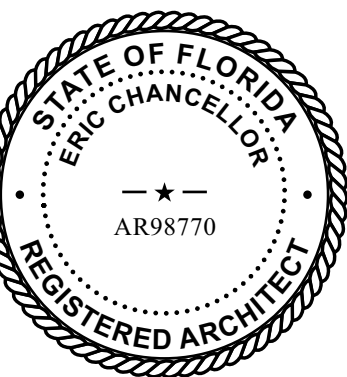


THIRD FLOOR AREA DIAGRAM  
1/16" = 1'-0"



ROOF AREA DIAGRAM  
1/16" = 1'-0"

AREAS DIAGRAM		
NAME	AREA	PERCENTAGE
THIRD FLOOR AREA	10,410 SF	100%
ROOF DECK AREA	5,200 SF	50%



SIGNATURE

DATE

REVISIONS

NO.	BY	DATE

DRAWN BY Author

CHECKED BY Checker

DATE 09/07/2025

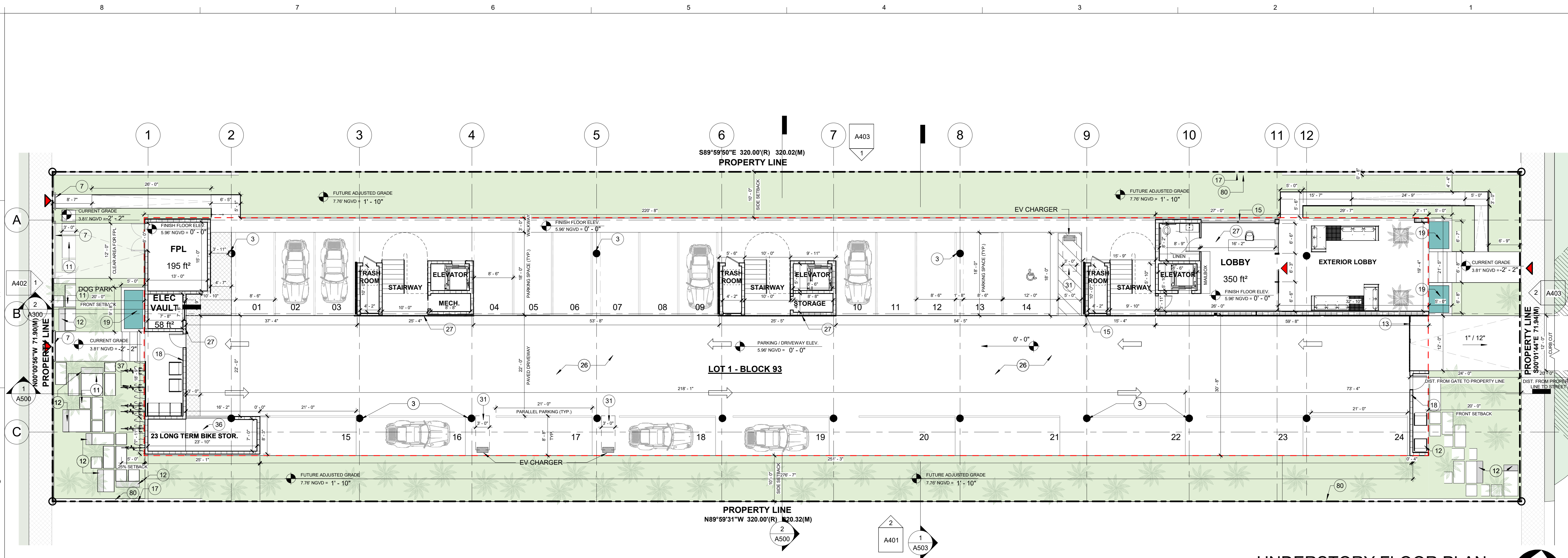
SCALE AS NOTED IN DRAWING

SHEET SIZE 11" X 17"

SITE DIAGRAMS - ROOF AREA

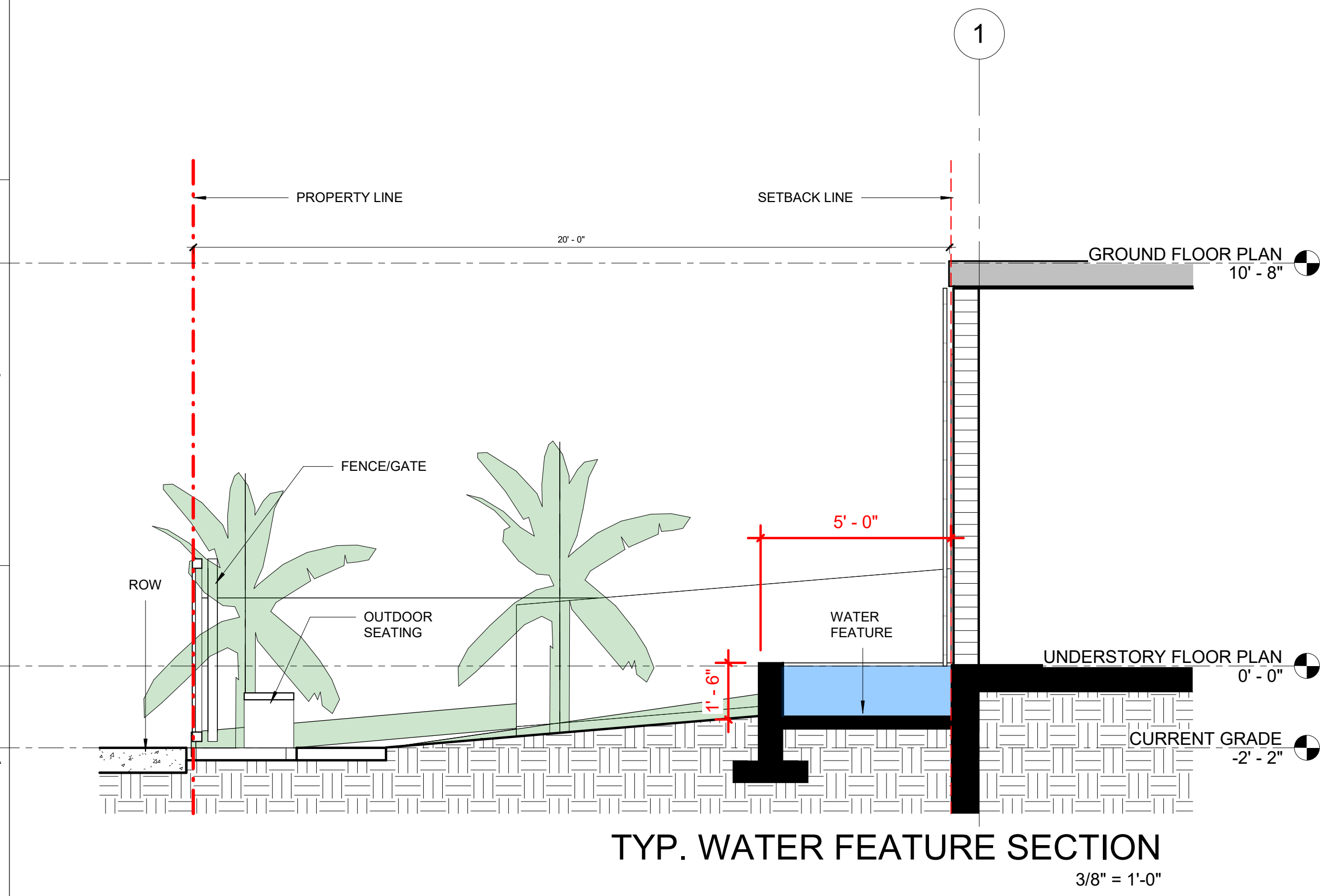
A206

ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ARCHITECT ARE PROPERTY OF ARCHITECT AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY WERE EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THIS ARCHITECT, THE PERSON SO DOING WILL BE INDEBTED TO THE ARCHITECT FOR ITS FULL COMMISSION.



"OCEAN BEACH FLA. ADDITION No. 3"  
P.B. 2 - PG. 81

**UNDERSTORY FLOOR PLAN**  
3/32" = 1'-0"



KEYNOTES	
#	DESCRIPTION
3	STRUCTURAL COLUMN
7	ACCESS GATE
11	LANDSCAPE STEPPING STONES
12	EXTERIOR SEATING
13	NEW CUSTOM GARAGE DOOR W/ WOOD SLAT FINISH
15	CUSTOM WOODLIKE ALUMINUM SLAT SCREEN. SEE DETAILS ON SHEET A600.
17	4' FENCE ON TOP OF CMU PERIMETER WALL
18	GREEN WALL
19	WATER BASIN FEATURE
26	HYDROPAVERS <sup>®</sup> PERMEABLE PAVING SYSTEM: COLOR GREEN 018 IN 5.91" x 11.81" x 2.17"
27	STRUCTURES BELOW THE FEMA BFE WILL BE WET FLOODPROOFED. PLEASE REFER TO SHEET A312 FOR DETAILS.
31	ACCESSIBLE ROUTE. CLEAR FLOOR SPACE TO EV CHARGER.
36	23 LONG TERM BIKE SPACES - WALL MOUNTED
37	16 SHORT TERM BIKE SPACES
80	3'-0" TALL 8" CMU PERIMETER WALL

FLOOR PLAN LEGEND	
	EXISTING CONCRETE BLOCK WALL
	EXISTING DRY WALL
	NEW CONCRETE BLOCK WALL
	NEW DRY WALL
	1HR FIRE RATED WALL
	2HR FIRE RATED WALL
	BATT INSULATION
	REINFORCED CONCRETE COLUMN - SEE STRUCTURAL DRWGS FOR DETAIL
	CEILING ABOVE
	3/12 DENOTES ROOF OR FLOOR SLOPE
	1.2 DENOTES GRADE ELEVATION
	DENOTES ELEVATION
	SECTION MARK DRAWING SHEET #
	ENLARGED MARK DRAWING SHEET #
	EXISTING TO BE REMOVED
	WALL TYPE
	WINDOW TAG
	DOOR TAG
	KEYNOTE
	EXTERIOR ELEVATION TAG
	INTERIOR ELEVATION TAG

**FLOOR PLAN GENERAL NOTES**

SLAB:  
1. ALL CONCRETE BLOCK WALLS SHALL BE RECESSED 3/4" IN CONCRETE SLAB  
2. ALL EXTERIOR DOOR THRESHOLDS SHALL BE RECESSED 3/4" DEEP IN CONCRETE SLAB

PARTITION INSULATION:  
3. ALL INTERIOR WALLS SHALL BE PROVIDED WITH SOUND ATTENUATING BLANKETS INSULATION.

POOL SAFETY:  
4. ALL DOOR AND WINDOW SHALL BE ALARMED FOR POOL SAFETY ACCORDING TO FBC SECTION 424.2.17.1.9  
5. POOL ALARM SHUNT BYPASS SWITCH

METAL FRAMING:  
6. CONTRACTOR TO PROVIDE 1 5/8" CHASE WALL WHERE NECESSARY IN CASE STRUCTURE IS NOT LEVELED OR PLUMBED (FIELD CONDITION)

\* WINDOWS MARKED WITH EGRESS SHALL COMPLY WITH THE REQUIREMENTS OF THE FBC SECTION 1005.4.4 FOR SECOND MEANS OF ESCAPE. PER SECTION 1005.4.4 CLEAR OPENING OF EGRESS WINDOW SHALL NOT BE LESS THAN 20" IN WIDTH, NOR LESS THAN 24" IN HEIGHT, AND SHALL BE A MIN TOTAL OF 5.7 SQUARE FEET IN CLEAR AREA, 5.0 SQUARE FEET ON GROUND FLOOR ONLY.

SP #2: ALL LUMBER TO BE SOUTHERN PINE #2. IF IN CONTACT WITH CONCRETE, LUMBER TO BE PRESSURE TREATED

**ORIANCITY**  
DEVELOPING COMMUNITIES

JASON SHLANSKY,  
B.A.R.C.H., C.C.C., OWNER.  
JASON@SKYWERKDEV.COM

COC # 1521802  
954.703.9340  
6950 CYPRESS RD  
PLANTATION FL 33317

**MIAMI BEACH APARTMENTS**

1440 MICHIGAN AVE  
MIAMI BEACH, FL 33139

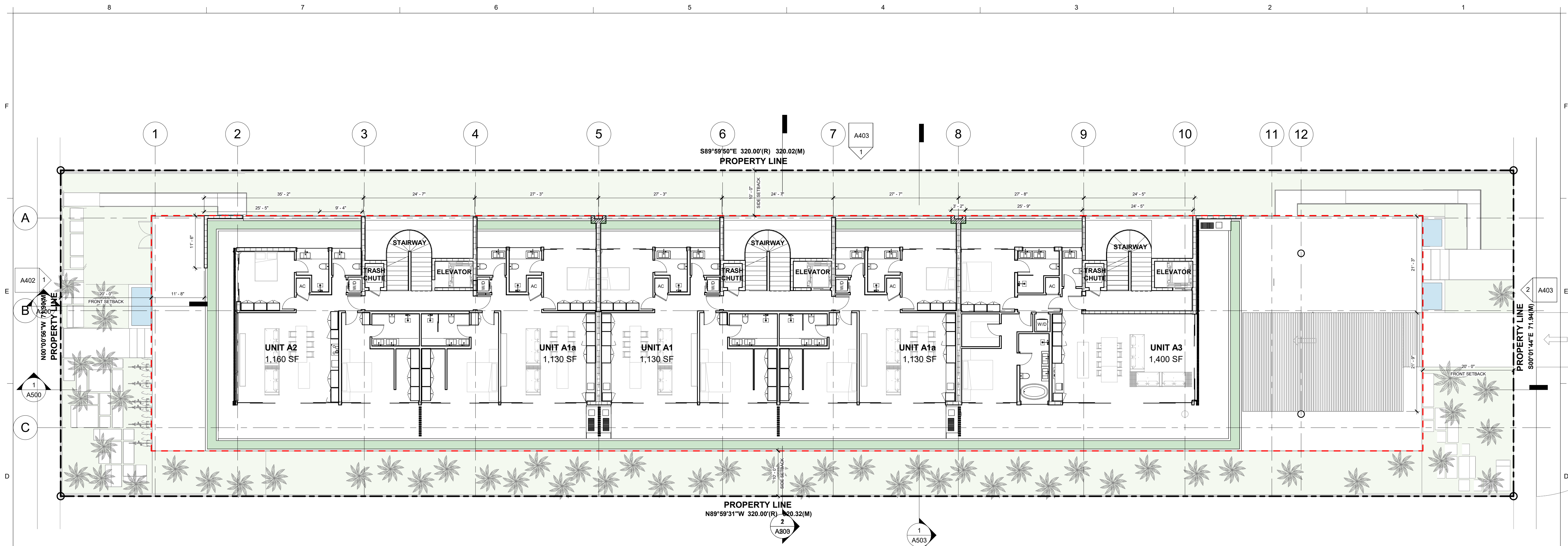
STATE OF FLORIDA  
ERIC CHANCELLOR  
REGISTERED ARCHITECT  
AR98770

SIGNATURE  
DATE

REVISIONS		
NO.	BY	DATE

DRAWN BY Author  
CHECKED BY Checker  
DATE 09/07/2025  
SCALE AS NOTED IN DRAWING  
SHEET SIZE 11" X 17"  
UNDERSTORY FLOOR PLAN  
A300

ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ARCHITECT ARE PROPERTY OF ARCHITECT AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY WERE EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THIS ARCHITECT, THE PERSON SO DOING WILL BE INDEBTED TO THE ARCHITECT FOR ITS FULL COMMISSION.



**GROUND FLOOR PLAN**  
3/32" = 1'-0"

KEYNOTES	
#	DESCRIPTION
1	A500
2	A900
1	A503
1	A403
2	A403

FLOOR PLAN LEGEND	
	EXISTING CONCRETE BLOCK WALL
	EXISTING DRY WALL
	NEW CONCRETE BLOCK WALL
	NEW DRY WALL
	1HR FIRE RATED WALL
	2HR FIRE RATED WALL
	BATT INSULATION
	REINFORCED CONCRETE COLUMN: SEE STRUCTURAL DRWGS FOR DETAIL
	CEILING ABOVE
	3/12 DENOTES ROOF OR FLOOR SLOPE
	1.2 DENOTES GRADE ELEVATION
	DENOTES ELEVATION
	SECTION MARK DRAWING SHEET #
	ENLARGED MARK DRAWING SHEET #
	EXISTING TO BE REMOVED
	WALL TYPE
	WINDOW TAG
	DOOR TAG
	KEYNOTE
	EXTERIOR ELEVATION TAG
	INTERIOR ELEVATION TAG

**FLOOR PLAN GENERAL NOTES**

**SLAB:**  
1. ALL CONCRETE BLOCK WALLS SHALL BE RECESSED 3/4" IN CONCRETE SLAB  
2. ALL EXTERIOR DOOR THRESHOLDS SHALL BE RECESSED 3/4" DEEP IN CONCRETE SLAB

**PARTITION INSULATION:**  
3. ALL INTERIOR WALLS SHALL BE PROVIDED WITH SOUND ATTENUATING BLANKETS INSULATION.

**POOL SAFETY:**  
4. ALL DOOR AND WINDOW SHALL BE ALARMED FOR POOL SAFETY ACCORDING TO FBC SECTION 424.2.17.1.9  
5. POOL ALARM SHUNT BYPASS SWITCH

**METAL FRAMING:**  
6. CONTRACTOR TO PROVIDE 1 5/8" CHASE WALL WHERE NECESSARY IN CASE STRUCTURE IS NOT LEVELED OR PLUMBED (FIELD CONDITION)

7. SOIL SHALL BE TREATED WITH TERMITES PROTECTION IN ACCORDANCE WITH FBCR 318.

\* WINDOWS MARKED WITH EGRESS SHALL COMPLY WITH THE REQUIREMENTS OF THE FBC SECTION 1005.4.4 FOR SECOND MEANS OF ESCAPE. PER SECTION 1005.4.4 CLEAR OPENING OF EGRESS WINDOW SHALL NOT BE LESS THAN 20" IN WIDTH, NOR LESS THAN 24" IN HEIGHT, AND SHALL BE A MIN TOTAL OF 5.7 SQUARE FEET IN CLEAR AREA, 5.0 SQUARE FEET ON GROUND FLOOR ONLY.

SP #2: ALL LUMBER TO BE SOUTHERN PINE #2. IF IN CONTACT WITH CONCRETE, LUMBER TO BE PRESSURE TREATED

**ORARCITY**  
DEVELOPING COMMUNITIES

**MIAMI BEACH APARTMENTS**

1440 MICHIGAN AVE  
MIAMI BEACH, FL 33139

ASPHALT  
JASON SHILANSKY,  
B.ARCH, C.C.C., OWNER.  
JASON@SKYWERKDEV.COM  
S00'01'44"E

CGC # 1521802  
954.703.9340  
6950 CYPRESS RD  
PLANTATION FL 33317

**STATE OF FLORIDA**  
ERIC CHANCELLOR  
REGISTERED ARCHITECT  
AR98770

**SIGNATURE**  
Eric G Chancellor

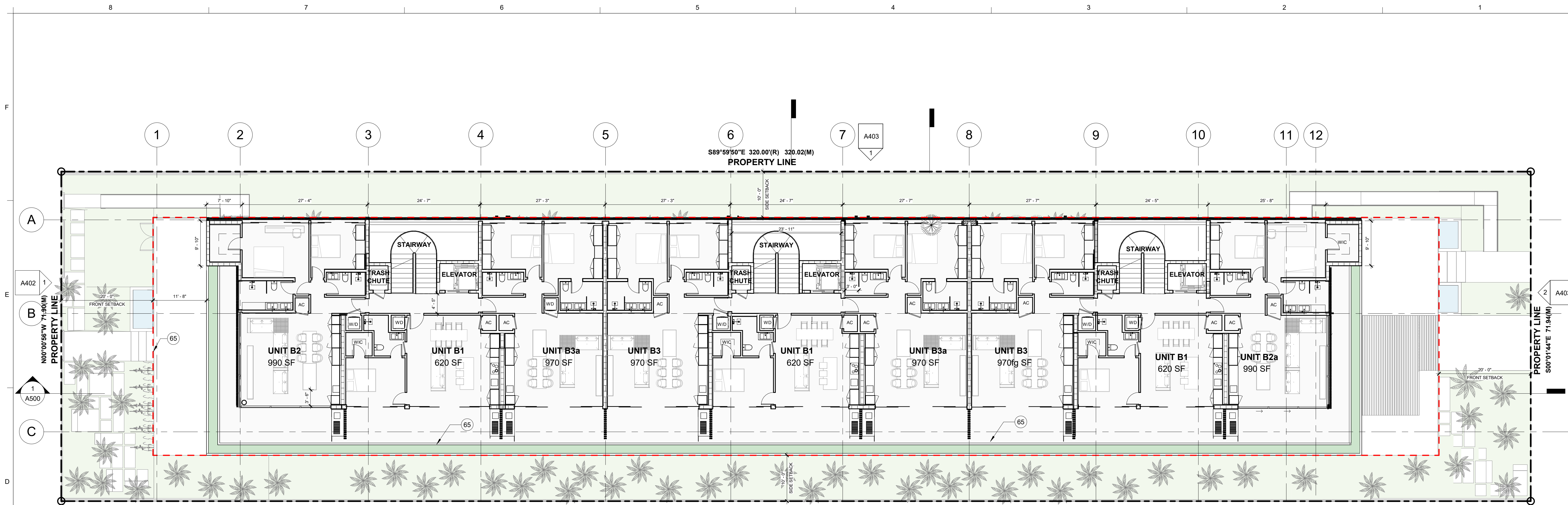
**DATE**

REVISIONS		
NO.	BY	DATE

**DRAWN BY** Author  
**CHECKED BY** Checker  
**DATE** 09/07/2025  
**SCALE** AS NOTED IN DRAWING  
**SHEET SIZE** 11" X 17"  
GROUND FLOOR PLAN

**A301**

ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ARCHITECT ARE PROPERTY OF ARCHITECT AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY WERE EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THIS ARCHITECT, THE PERSON SO DOING WILL BE INDEBTED TO THE ARCHITECT FOR ITS FULL COMMISSION.



**SECOND FLOOR PLAN**  
3/32" = 1'-0"

**KEYNOTES**

#	DESCRIPTION
65	CAST-IN-PLACE CONCRETE PLANTER CLADDED WITH METAL SHEET

**FLOOR PLAN LEGEND**

- EXISTING CONCRETE BLOCK WALL
- EXISTING DRY WALL
- NEW CONCRETE BLOCK WALL
- NEW DRY WALL
- 1HR FIRE RATED WALL
- 2HR FIRE RATED WALL
- BATT INSULATION
- REINFORCED CONCRETE COLUMN: SEE STRUCTURAL DRWGS FOR DETAIL
- CEILING ABOVE
- 3/12 DENOTES ROOF OR FLOOR SLOPE
- 1.2 DENOTES GRADE ELEVATION
- DENOTES ELEVATION
- SECTION MARK DRAWING SHEET #
- ENLARGED MARK DRAWING SHEET #
- EXISTING TO BE REMOVED
- WALL TYPE
- WINDOW TAG
- DOOR TAG
- KEYNOTE
- EXTERIOR ELEVATION TAG
- INTERIOR ELEVATION TAG

**FLOOR PLAN GENERAL NOTES**

- SLAB:**  
1. ALL CONCRETE BLOCK WALLS SHALL BE RECESSED 3/4" IN CONCRETE SLAB  
2. ALL EXTERIOR DOOR THRESHOLDS SHALL BE RECESSED 3/4" DEEP IN CONCRETE SLAB
- PARTITION INSULATION:**  
3. ALL INTERIOR WALLS SHALL BE PROVIDED WITH SOUND ATTENUATING BLANKETS INSULATION.
- POOL SAFETY:**  
4. ALL DOOR AND WINDOW SHALL BE ALARMED FOR POOL SAFETY ACCORDING TO FBC SECTION 424.2.17.1.9  
5. POOL ALARM SHUNT BYPASS SWITCH
- METAL FRAMING:**  
6. CONTRACTOR TO PROVIDE 1 5/8" CHASE WALL WHERE NECESSARY IN CASE STRUCTURE IS NOT LEVELED OR PLUMBED (FIELD CONDITION)
7. SOIL SHALL BE TREATED WITH TERMITES PROTECTION IN ACCORDANCE WITH FBCR 318.
- \* WINDOWS MARKED WITH EGRESS SHALL COMPLY WITH THE REQUIREMENTS OF THE FBC SECTION 1005.4.4 FOR SECOND MEANS OF ESCAPE. PER SECTION 1005.4.4 CLEAR OPENING OF EGRESS WINDOW SHALL NOT BE LESS THAN 20" IN WIDTH, NOR LESS THAN 24" IN HEIGHT, AND SHALL BE A MIN TOTAL OF 5.7 SQUARE FEET IN CLEAR AREA, 5.0 SQUARE FEET ON GROUND FLOOR ONLY.
- SP #2: ALL LUMBER TO BE SOUTHERN PINE #2. IF IN CONTACT WITH CONCRETE, LUMBER TO BE PRESSURE TREATED

MIAMI BEACH APARTMENTS

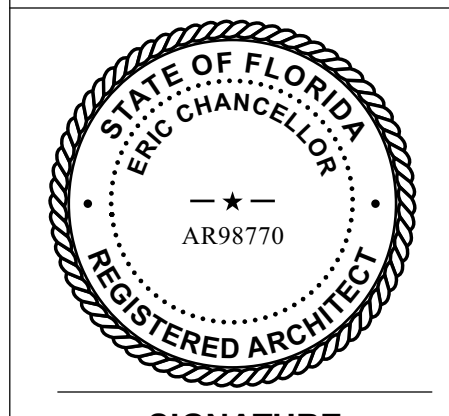
1440 MICHIGAN AVE  
MIAMI BEACH, FL 33139



**ORARCITY**  
DEVELOPING COMMUNITIES

JASON SHLANSKY,  
B.A.R.C.H., C.C.C., O.W.N.E.R.  
JASON@SKYWERKDEV.COM

CGC # 1521802  
954.703.9340  
6950 CYPRESS RD  
PLANTATION FL 33317



SIGNATURE  
DATE

**REVISIONS**

NO.	BY	DATE

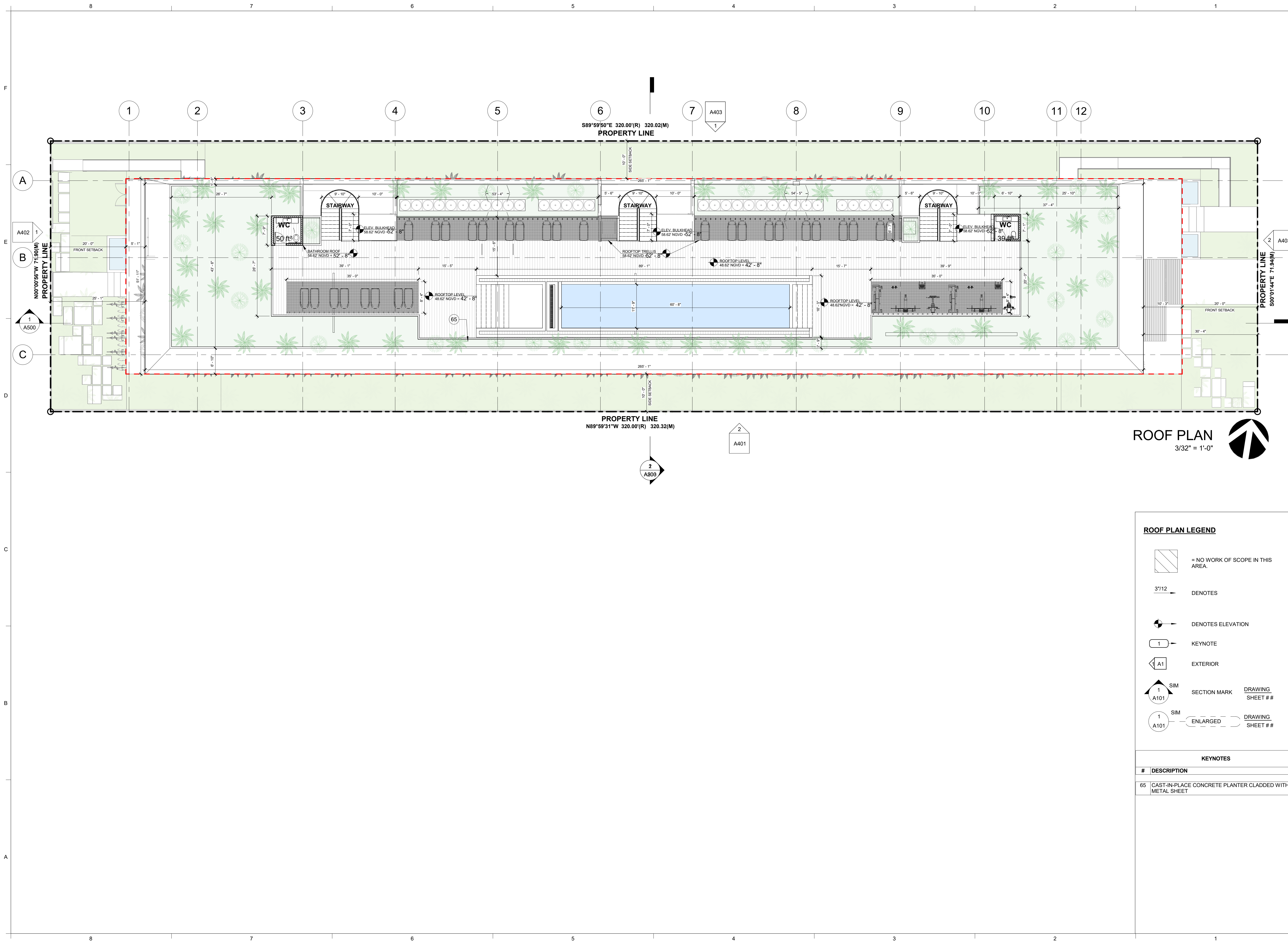
**DRAWN BY** Author  
**CHECKED BY** Checker  
**DATE** 09/07/2025  
**SCALE** AS NOTED IN DRAWING  
**SHEET SIZE** 11" X 17"

SECOND FLOOR PLAN

A302



ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ARCHITECT ARE PROPERTY OF ARCHITECT AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY WERE EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THIS ARCHITECT, THE PERSON SO DOING WILL BE INDEBTED TO THE ARCHITECT FOR ITS FULL COMMISSION.



**ROOF PLAN**  
3/32" = 1'-0"

- ROOF PLAN LEGEND**
- = NO WORK OF SCOPE IN THIS AREA.
  - DENOTES
  - DENOTES ELEVATION
  - KEYNOTE
  - EXTERIOR
  - SECTION MARK DRAWING SHEET # #
  - ENLARGED DRAWING SHEET # #

**KEYNOTES**

#	DESCRIPTION
65	CAST-IN-PLACE CONCRETE PLANTER CLADDED WITH METAL SHEET

**ORARCITY**  
DEVELOPING COMMUNITIES

JASON SHILANSKY,  
B.A.R.C.H., C.C.C., OWNER.  
JASON@SKYWERKDEV.COM

CGC # 1521802  
954.703.9340  
6950 CYPRESS RD  
PLANTATION FL 33317

**MIAMI BEACH APARTMENTS**

1440 MICHIGAN AVE  
MIAMI BEACH, FL 33139

STATE OF FLORIDA  
ERIC CHANCELLOR  
AR98770  
REGISTERED ARCHITECT

SIGNATURE  
Eric G Chancellor

DATE

**REVISIONS**

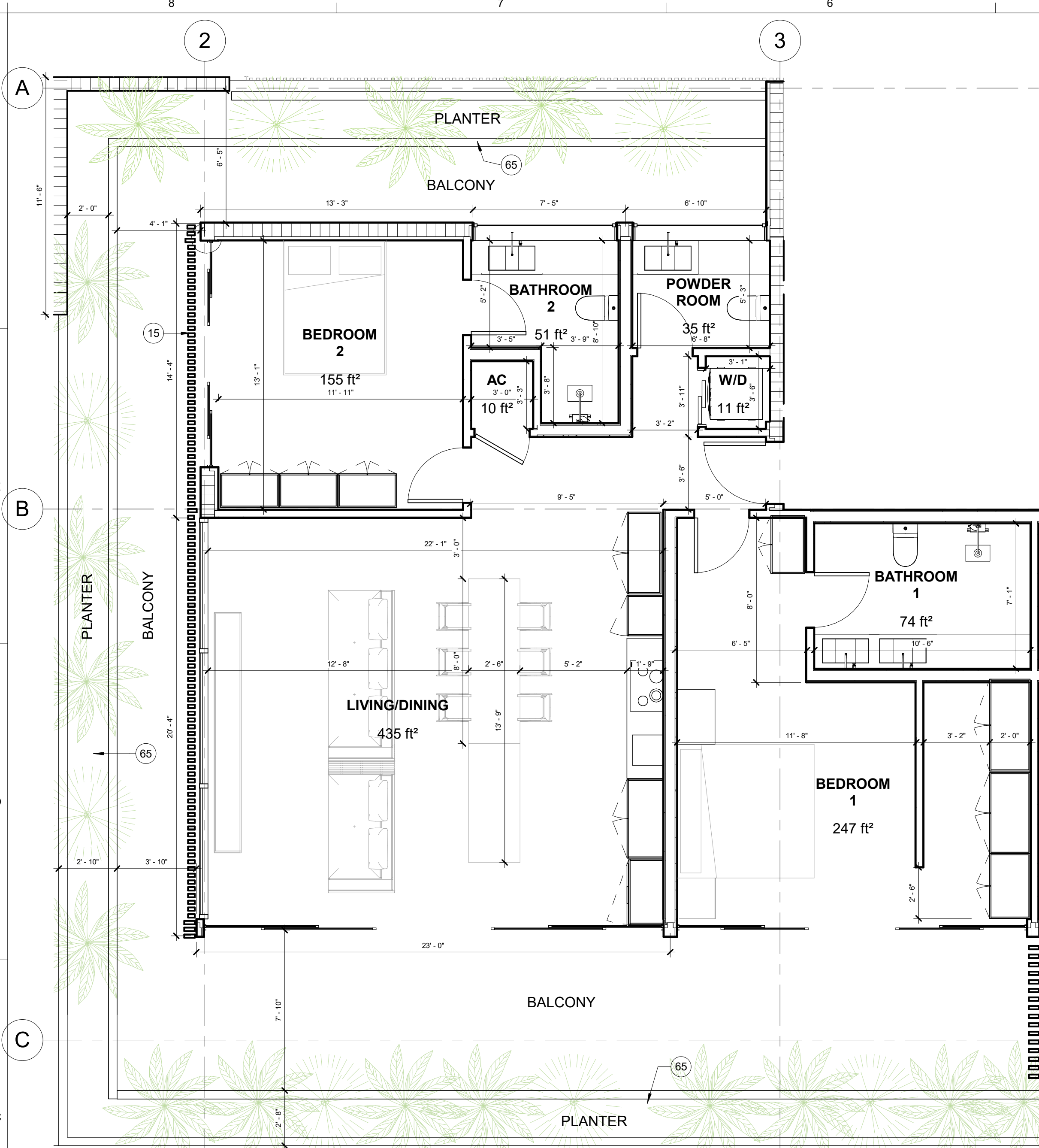
NO.	BY	DATE

DRAWN BY Author  
CHECKED BY Checker  
DATE 09/07/2025  
SCALE AS NOTED IN DRAWING  
SHEET SIZE 11" X 17"

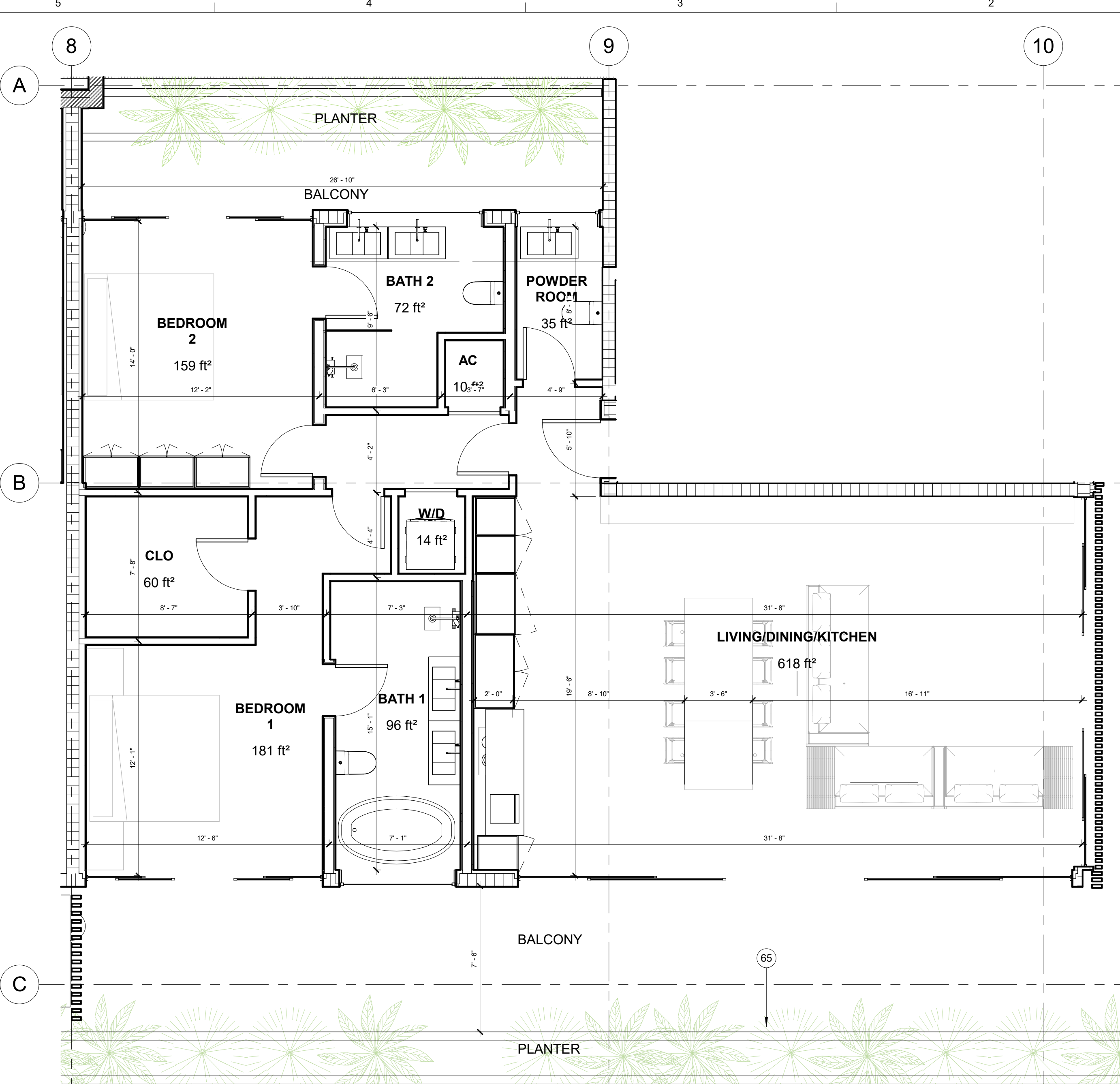
ROOF PLAN

**A304**

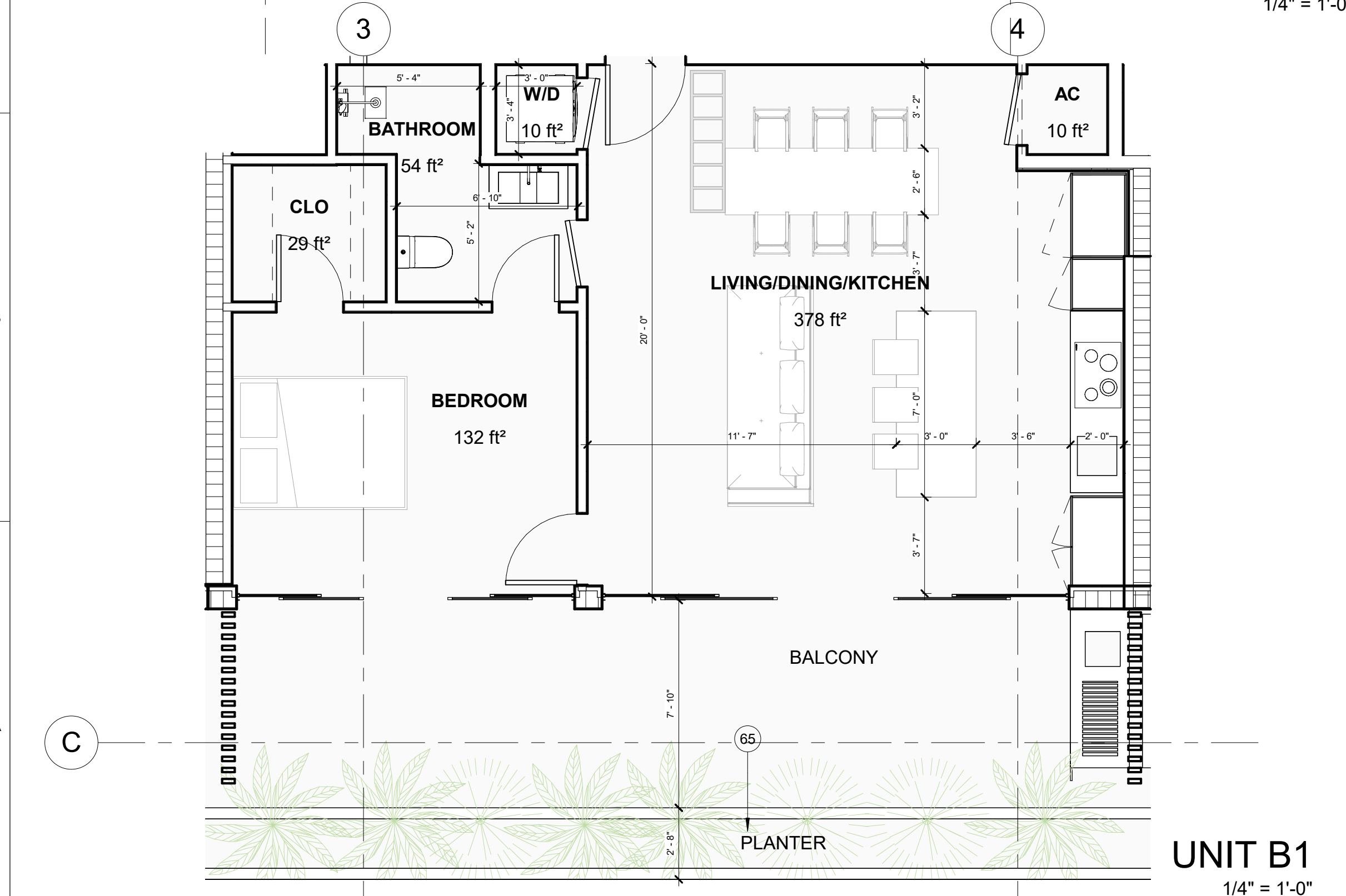
ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ARCHITECT ARE PROPERTY OF ARCHITECT AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY WERE EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THIS ARCHITECT, THE PERSON SO DOING WILL BE INDEBTED TO THE ARCHITECT FOR ITS FULL COMMISSION.



**UNIT A2**  
1/4" = 1'-0"



**UNIT A3**  
1/4" = 1'-0"



**UNIT B1**  
1/4" = 1'-0"

**FLOOR PLAN LEGEND**

- EXISTING CONCRETE BLOCK WALL
- EXISTING DRY WALL
- NEW CONCRETE BLOCK WALL
- NEW DRY WALL
- 1HR FIRE RATED WALL
- 2HR FIRE RATED WALL
- BATT INSULATION
- REINFORCED CONCRETE COLUMN: SEE STRUCTURAL DRWGS FOR DETAIL
- CEILING ABOVE
- 3/12 DENOTES ROOF OR FLOOR SLOPE
- 1.2 DENOTES GRADE ELEVATION
- DENOTES ELEVATION
- SECTION MARK DRAWING SHEET ##
- ENLARGED MARK DRAWING SHEET ##
- EXISTING TO BE REMOVED
- WALL TYPE
- WINDOW TAG
- DOOR TAG
- KEYNOTE
- EXTERIOR ELEVATION TAG
- INTERIOR ELEVATION TAG

**FLOOR PLAN GENERAL NOTES**

**SLAB:**  
 1. ALL CONCRETE BLOCK WALLS SHALL BE RECESSED 3/4" IN CONCRETE SLAB  
 2. ALL EXTERIOR DOOR THRESHOLDS SHALL BE RECESSED 3/4" DEEP IN CONCRETE SLAB

**PARTITION INSULATION:**  
 3. ALL INTERIOR WALLS SHALL BE PROVIDED WITH SOUND ATTENUATING BLANKETS INSULATION.

**POOL SAFETY:**  
 4. ALL DOOR AND WINDOW SHALL BE ALARMED FOR POOL SAFETY ACCORDING TO FBC SECTION 424.2.17.1.9  
 5. POOL ALARM SHUNT BYPASS SWITCH

**METAL FRAMING:**  
 6. CONTRACTOR TO PROVIDE 1 5/8" CHASE WALL WHERE NECESSARY IN CASE STRUCTURE IS NOT LEVELED OR PLUMBED (FIELD CONDITION)

7. SOIL SHALL BE TREATED WITH TERMITE PROTECTION IN ACCORDANCE WITH FBCR 318.

\* WINDOWS MARKED WITH EGRESS SHALL COMPLY WITH THE REQUIREMENTS OF THE FBC SECTION 1005.4.4 FOR SECOND MEANS OF ESCAPE. PER SECTION 1005.4.4 CLEAR OPENING OF EGRESS WINDOW SHALL NOT BE LESS THAN 20" IN WIDTH, NOR LESS THAN 24" IN HEIGHT, AND SHALL BE A MIN TOTAL OF 5.7 SQUARE FEET IN CLEAR AREA. 5.0 SQUARE FEET ON GROUND FLOOR ONLY.

SP #2: ALL LUMBER TO BE SOUTHERN PINE #2. IF IN CONTACT WITH CONCRETE, LUMBER TO BE PRESSURE TREATED

**KEYNOTES**

#	DESCRIPTION
15	CUSTOM WOODLIKE ALUMINUM SLAT SCREEN. SEE DETAILS ON SHEET A600.
65	CAST-IN-PLACE CONCRETE PLANTER CLADDED WITH METAL SHEET

**ORARCITY**  
DEVELOPING COMMUNITIES

JASON SHLANSKY,  
B.A.R.C.H., C.C.C., O.W.N.E.R.  
JASON@SKYWERKDEY.COM

CGC # 1521802  
954.703.9340  
6950 CYPRESS RD  
PLANTATION FL 33317

**MIAMI BEACH APARTMENTS**

**1440 MICHIGAN AVE**  
**MIAMI BEACH, FL 33139**

STATE OF FLORIDA  
ERIC CHANCELLOR  
REGISTERED ARCHITECT  
AR98770

**SIGNATURE**

**DATE**

**REVISIONS**

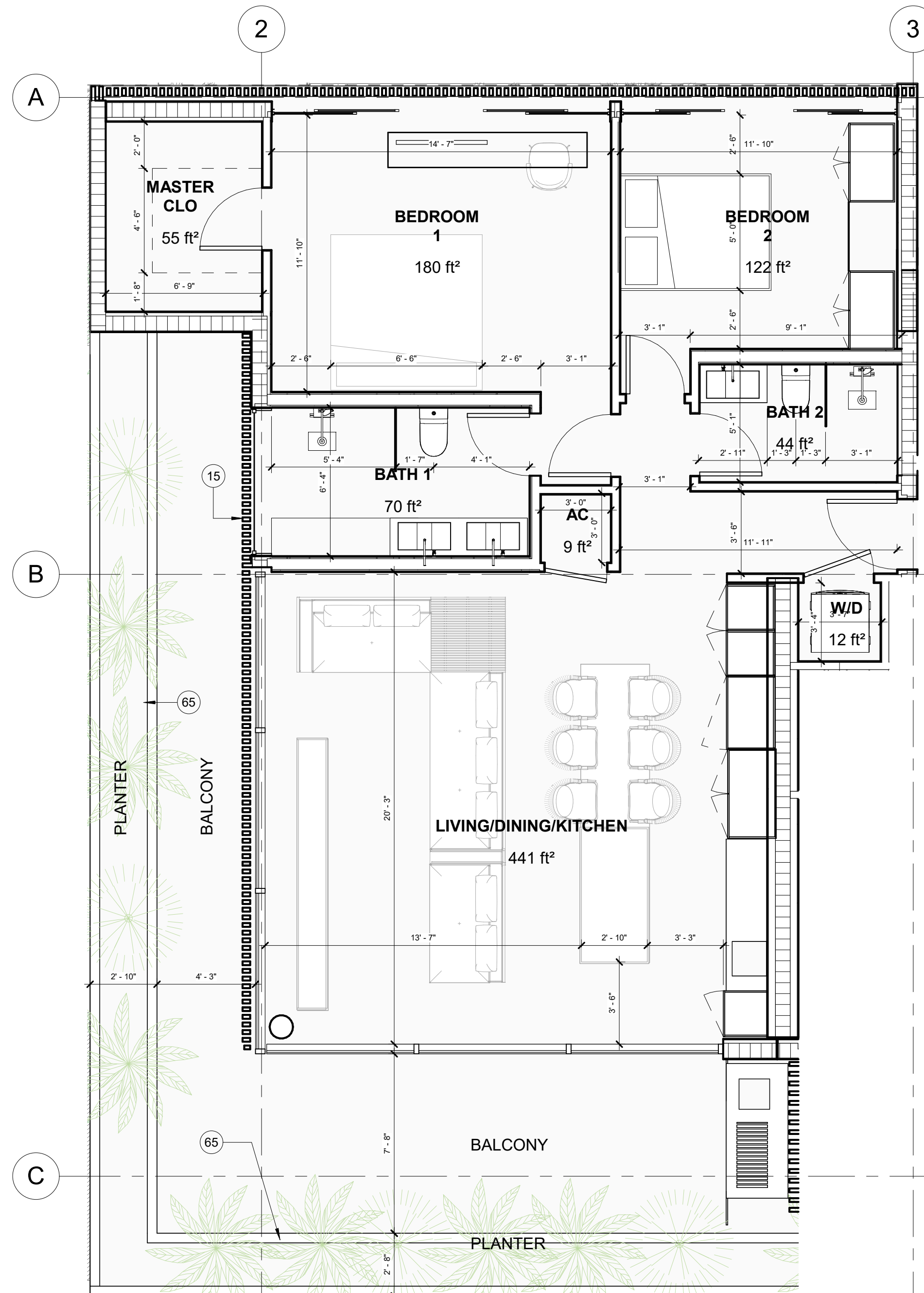
NO.	BY	DATE

**DRAWN BY** Author  
**CHECKED BY** Checker  
**DATE** 09/07/2025  
**SCALE** AS NOTED IN DRAWING  
**SHEET SIZE** 11" X 17"

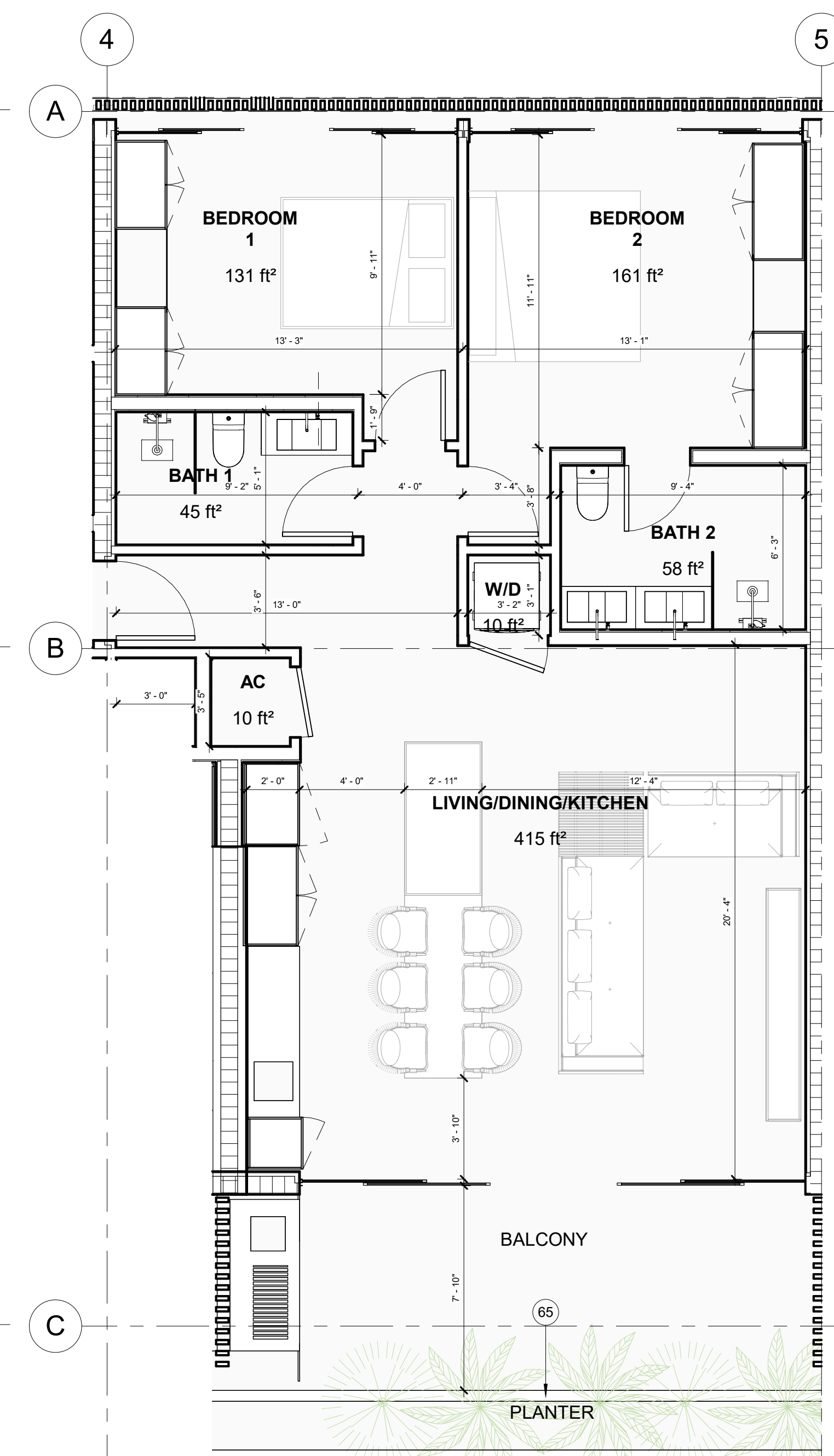
UNIT PLANS

**A309**

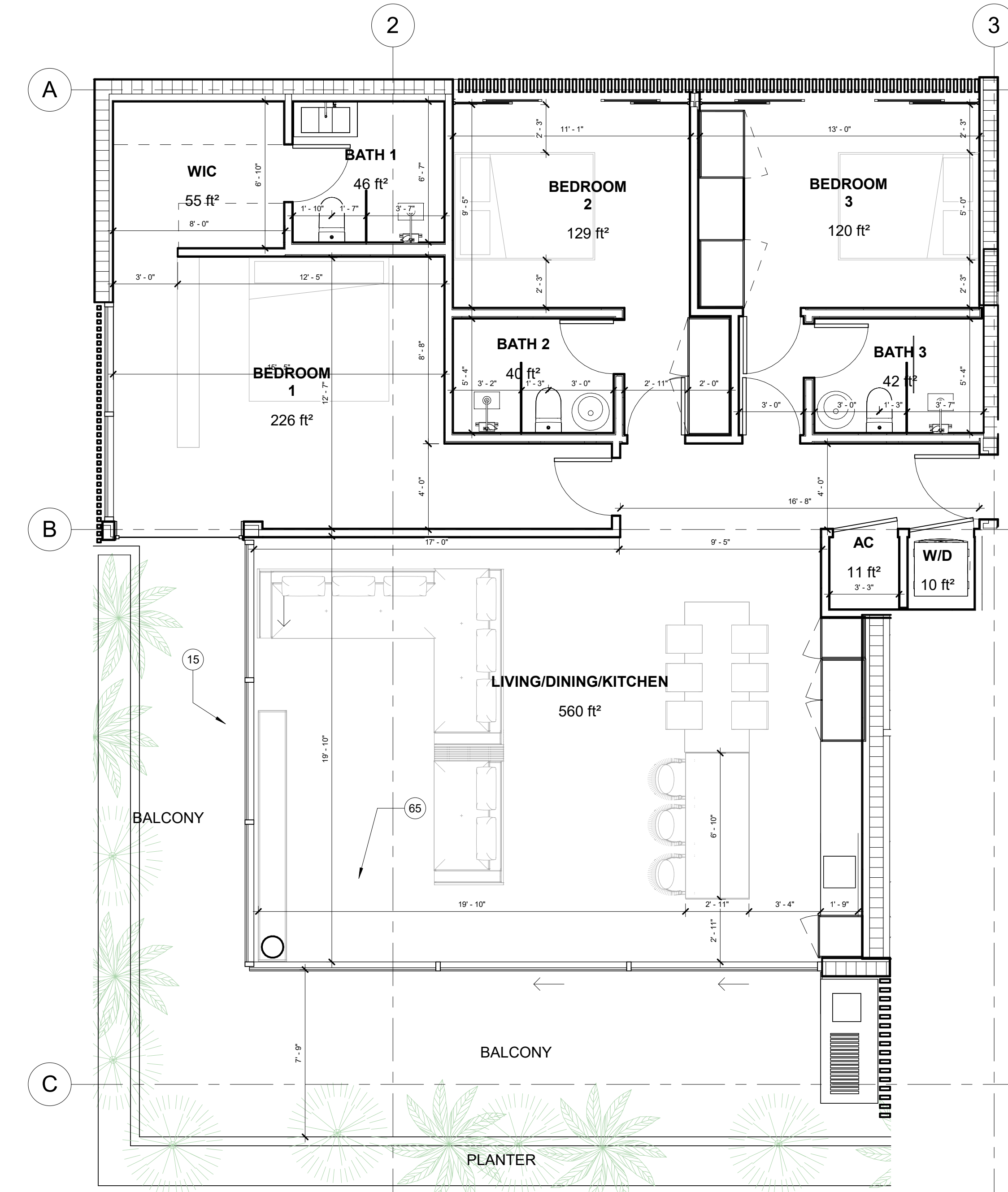
ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ARCHITECT ARE PROPERTY OF ARCHITECT AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY WERE EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THIS ARCHITECT, THE PERSON SO DOING WILL BE INDEBTED TO THE ARCHITECT FOR ITS FULL COMMISSION.



**UNIT B2**  
1/4" = 1'-0"



**UNIT B3a**  
1/4" = 1'-0"



**UNIT C1**  
1/4" = 1'-0"

**FLOOR PLAN GENERAL NOTES**

- SLAB:**  
 1. ALL CONCRETE BLOCK WALLS SHALL BE RECESSED 3/4" IN CONCRETE SLAB  
 2. ALL EXTERIOR DOOR THRESHOLDS SHALL BE RECESSED 3/4" DEEP IN CONCRETE SLAB
- PARTITION INSULATION:**  
 3. ALL INTERIOR WALLS SHALL BE PROVIDED WITH SOUND ATTENUATING BLANKETS INSULATION.
- POOL SAFETY:**  
 4. ALL DOOR AND WINDOW SHALL BE ALARMED FOR POOL SAFETY ACCORDING TO FBC SECTION 424.2.17.1.9  
 5. POOL ALARM SHUNT BYPASS SWITCH
- METAL FRAMING:**  
 6. CONTRACTOR TO PROVIDE 1 5/8" CHASE WALL WHERE NECESSARY IN CASE STRUCTURE IS NOT LEVELED OR PLUMBED (FIELD CONDITION)
7. SOIL SHALL BE TREATED WITH TERMITES PROTECTION IN ACCORDANCE WITH FBCR 318.
- \* WINDOWS MARKED WITH EGRESS SHALL COMPLY WITH THE REQUIREMENTS OF THE FBC SECTION 1005.4.4 FOR SECOND MEANS OF ESCAPE. PER SECTION 1005.4.4 CLEAR OPENING OF EGRESS WINDOW SHALL NOT BE LESS THAN 20" IN WIDTH, NOR LESS THAN 24" IN HEIGHT, AND SHALL BE A MIN TOTAL OF 5.7 SQUARE FEET IN CLEAR AREA. 5.0 SQUARE FEET ON GROUND FLOOR ONLY.
- SP #2: ALL LUMBER TO BE SOUTHERN PINE #2. IF IN CONTACT WITH CONCRETE, LUMBER TO BE PRESSURE TREATED

**KEYNOTES**

#	DESCRIPTION
15	CUSTOM WOODLIKE ALUMINUM SLAT SCREEN. SEE DETAILS ON SHEET A600.
65	CAST-IN-PLACE CONCRETE PLANTER CLADDED WITH METAL SHEET



**SIGNATURE**  
Eric G Chancelor

**DATE**

**REVISIONS**

NO.	BY	DATE

**DRAWN BY** Author

**CHECKED BY** Checker

**DATE** 09/07/2025

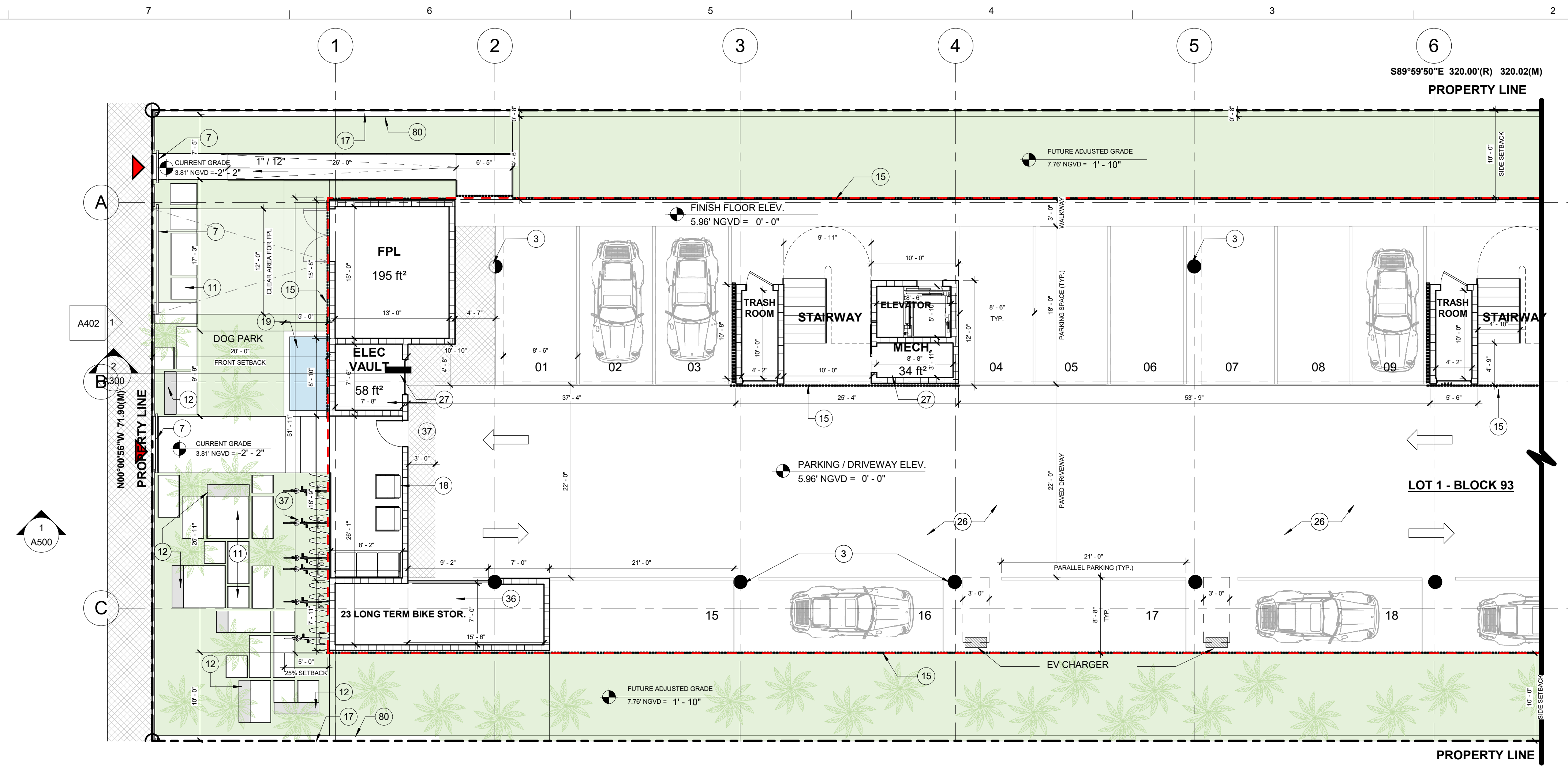
**SCALE** AS NOTED IN DRAWING

**SHEET SIZE** 11" X 17"

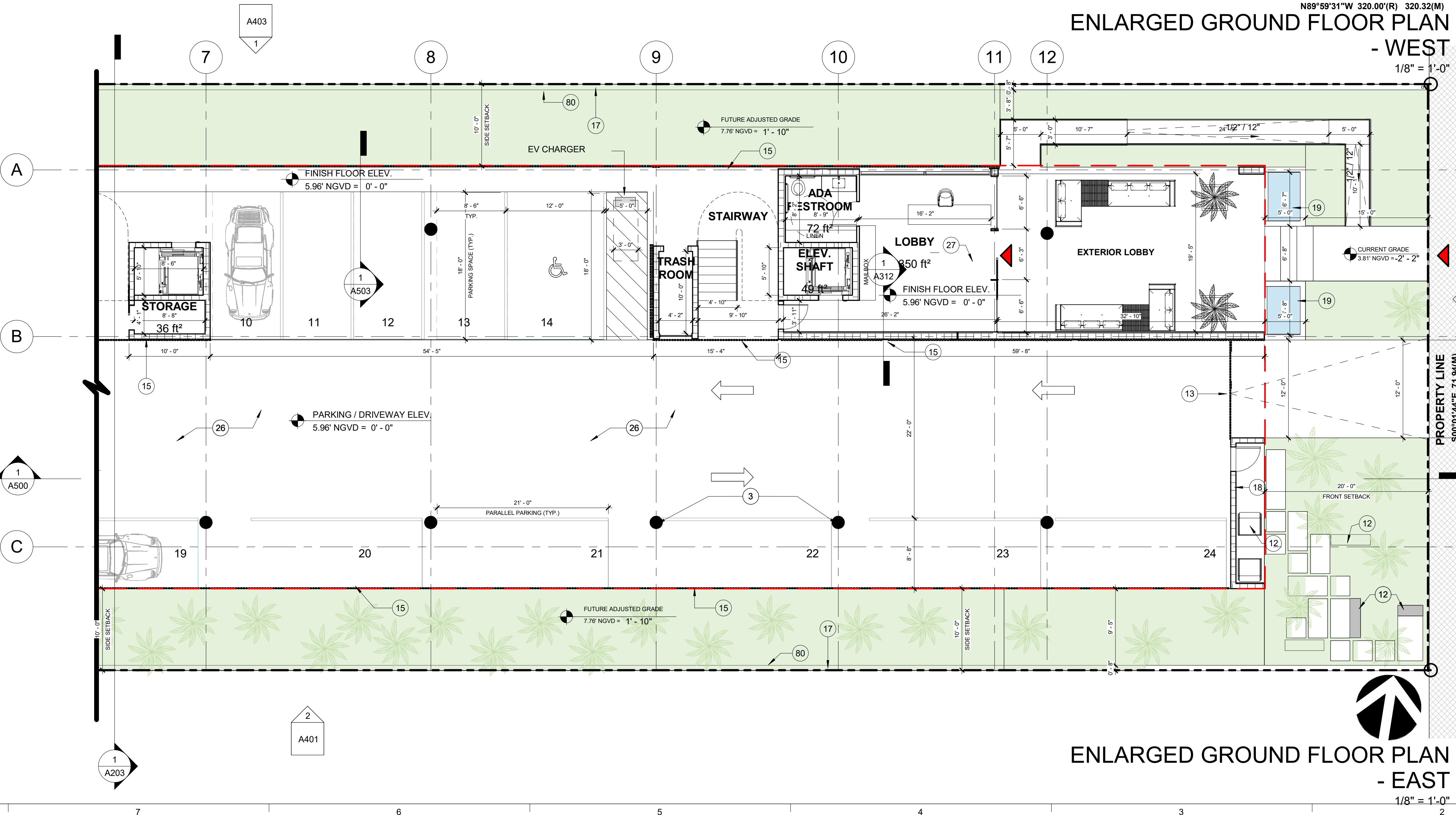
UNIT PLANS

**A310**

ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ARCHITECT ARE PROPERTY OF ARCHITECT AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY WERE EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THIS ARCHITECT, THE PERSON SO DOING WILL BE INDEBTED TO THE ARCHITECT FOR ITS FULL COMMISSION.



KEYNOTES	
#	DESCRIPTION
3	STRUCTURAL COLUMN
7	ACCESS GATE
11	LANDSCAPE STEPPING STONES
12	EXTERIOR SEATING
13	NEW CUSTOM GARAGE DOOR W/ WOOD SLAT FINISH
15	CUSTOM WOODLIKE ALUMINUM SLAT SCREEN. SEE DETAILS ON SHEET A600.
17	4' FENCE ON TOP OF CMU PERIMETER WALL
18	GREEN WALL
19	WATER BASIN FEATURE
26	HYDROPAVERSA® PERMEABLE PAVING SYSTEM: COLOR GREEN 018 IN 5.91\" x 11.81\" x 2.17\"
27	STRUCTURES BELOW THE FEMA BFE WILL BE WET FLOODPROOFED. PLEASE REFER TO SHEET A312 FOR DETAILS.
36	23 LONG TERM BIKE SPACES - WALL MOUNTED
37	16 SHORT TERM BIKE SPACES
80	3'-0\" TALL 8\" CMU PERIMETER WALL



**ORARCITY**  
DEVELOPING COMMUNITIES

JASON SHILANSKY,  
B.A.R.C.H., C.C.C., OWNER.  
JASON@SKYWERKDEV.COM

CGC # 1521802  
954.703.9340  
6950 CYPRESS RD  
PLANTATION FL 33317

MIAMI BEACH APARTMENTS

1440 MICHIGAN AVE  
MIAMI BEACH, FL 33139

STATE OF FLORIDA  
ERIC CHANCELLOR  
REGISTERED ARCHITECT  
AR98770

SIGNATURE

DATE

REVISIONS		
NO.	BY	DATE

DRAWN BY LG

CHECKED BY

DATE 09/07/2025

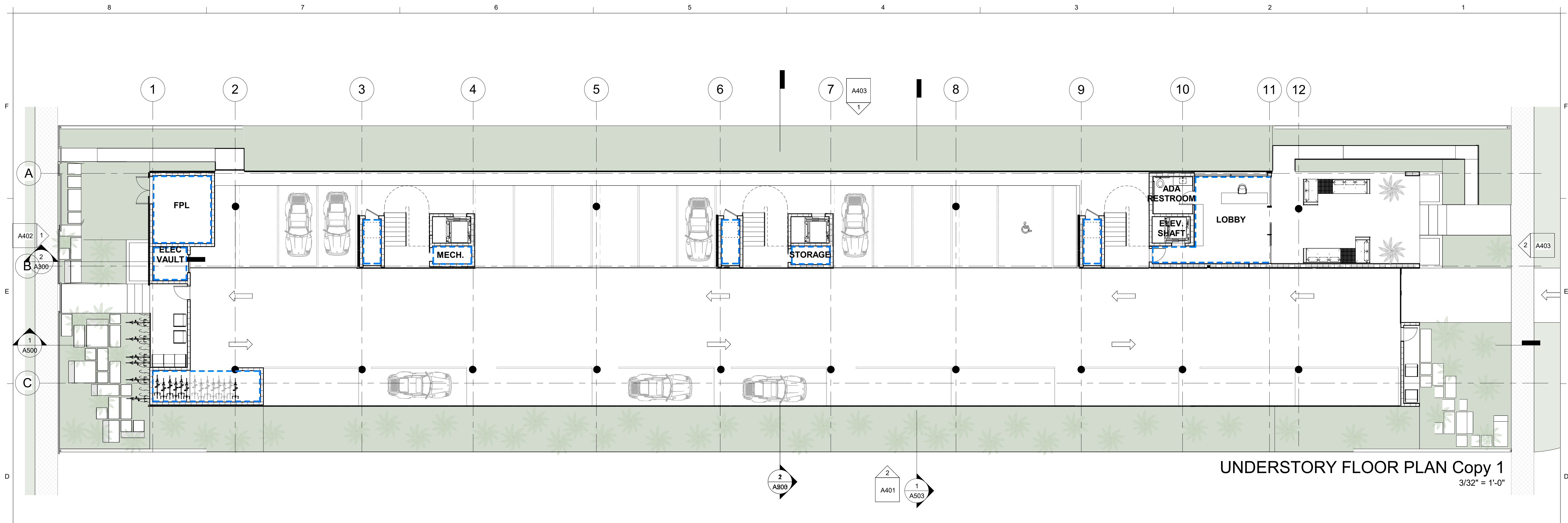
SCALE AS NOTED IN DRAWING

SHEET SIZE 11\" x 17\"

ELANRGRD UNDERSTORY FLOOR PLAN

A311

ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ARCHITECT ARE PROPERTY OF ARCHITECT AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY WERE EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THIS ARCHITECT, THE PERSON SO DOING WILL BE INDEBTED TO THE ARCHITECT FOR ITS FULL COMMISSION.



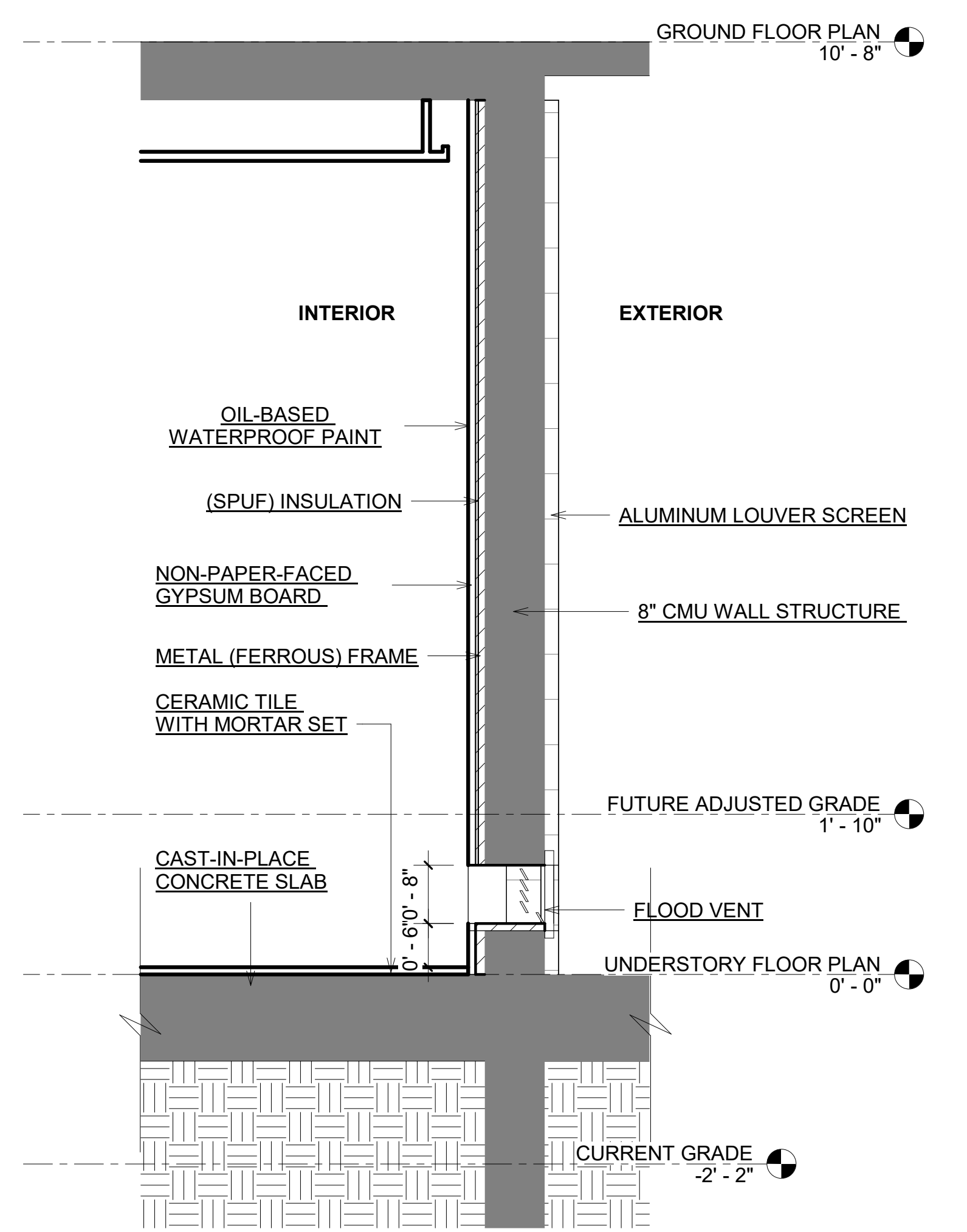
UNDERSTORY FLOOR PLAN Copy 1  
3/32" = 1'-0"

**LEGEND**

**WET FLOODPROOFING - FLOOD RESISTANT MATERIALS, REFER TO NOTES BELOW**  
FLOOD VENTS PER FEMA AND NFIP: SECTION 44CFR60.3 AND ASCE 24-14 SECTION 2.7.

**NOTES**

- ALL CONSTRUCTION AND FINISH MATERIAL LOCATED BELOW THE DESIGN FLOOD ELEVATION (DFE)(BFE + 4'-0") AS APPROVED BY DRB SHALL BE FLOOD-DAMAGE-RESISTANT MATERIAL EXTENDING 36 INCHES ABOVE DFE ACCORDING TO TABLE 5-1 AND TABLE 1-1 OF ASCE 24-14.
- ALL CONSTRUCTION AND FINISH MATERIAL LOCATED BELOW THE DESIGN FLOOD ELEVATION (DFE)(BFE + 4'-0") AS APPROVED BY DRB SHALL BE FLOOD-DAMAGE-RESISTANT MATERIAL EXTENDING 36 INCHES ABOVE DFE ACCORDING TO TABLE 5-1 AND TABLE 1-1 OF ASCE 24-14.
- ALL MATERIALS SHALL BE CAPABLE OF RESISTING DAMAGE ASSOCIATED WITH A BASE FLOOD EVENT. DOOR SYSTEMS INCLUDE FRAME, HINGES, THRESHOLD, AND PANELS. SINCE SOLID WOOD, WOOD LAMINATE, OR HOLLOW CORE WOOD DOOR PANELS MAY WARP, SWELL AND/OR ROT, SEALED METALS ARE PREFERABLE. WINDOWS ARE SUSCEPTIBLE TO DAMAGE FROM DEBRIS CARRIED BY FLOODWATER. THE USE OF GLASS BLOCKS, SEALED UNBREAKABLE PANES, AND WIRE-REINFORCED GLASS WILL RESIST FLOOD DAMAGE. PROTECTIVE SCREENS MAY ALSO BE SUCCESSFUL IN PREVENTING DEBRIS IMPACT. THE USE OF TEMPERED GLASS OR IMPACT-RESISTANT PLASTIC (ACRYLIC OR POLYCARBONATE) IS RECOMMENDED FOR LARGE WINDOW AREAS OF 20 SQUARE FEET OR MORE.
- WALL FINISHES: THE EXTERIOR CLADDING OF A STRUCTURE SUBJECT TO FLOODING SHOULD BE NONPOROUS, RESISTANT TO CHEMICAL CORROSION OR DEBRIS DEPOSITS, AND CONDUCTIVE TO EASY CLEANING. RELATIVELY IMPERVIOUS CLADDING SUCH AS HARD BRICK, PRESSURE-TREATED WOOD, METAL, AND CONCRETE ARE SOME OF THE ACCEPTABLE MATERIALS. AS WITH EXTERIOR SURFACES, INTERIOR CLADDING SHOULD BE EASY TO CLEAN AND NOT SUSCEPTIBLE TO DAMAGE FROM INUNDATION. MATERIALS THAT ARE SOLID AND RELATIVELY IMPERVIOUS SUCH AS CONCRETE, HARD BRICK, PLASTIC, AND PRESSURE-TREATED WOOD, ARE MOST SUITABLE. FRAMING AND CLADDING MUST MEET THE SAME FLOOD-RESISTANT REQUIREMENTS AS ALL OTHER MATERIALS. METAL FASTENERS USED WITH METAL PANEL CLADDING SYSTEMS ARE SUSCEPTIBLE TO CORROSION AND SHOULD BE A CORROSION RESISTANT TYPE, SUCH AS HOT DIPPED GALVANIZED OR STAINLESS STEEL. WHERE INTERIOR WALL FINISHES ARE PRESENT, THEY SHALL MEET THE SAME FLOOD RESISTANT STANDARDS AS ALL OTHER MATERIALS LOCATED BELOW THE BFE.
- DECORATIVE ALUMINUM LOUVERS SHALL NOT BLOCK OR IMPEDE THE AUTOMATIC FLOW OF FLOOD WATERS INTO OR OUT OF THE ENCLOSED AREA
- DRY FLOODPROOFED PANEL TO HAVE A MINIMUM HEIGHT AS THE DFE (12.56 NGVD) OR HIGHER.



FLOOD PROOFING DETAIL SECTION  
3/4" = 1'-0"

**ORARCITY**  
DEVELOPING COMMUNITIES

JASON SHILANSKY,  
B.Arch, C.C.C., OWNER.  
JASON@SKYWERKDEV.COM

CGC # 1521802  
954.703.9340  
6950 CYPRESS RD  
PLANTATION FL 33317

MIAMI BEACH APARTMENTS  
1440 MICHIGAN AVE  
MIAMI BEACH, FL 33139

STATE OF FLORIDA  
ERIC CHANCELLOR  
AR98770  
REGISTERED ARCHITECT

SIGNATURE  
DATE

**REVISIONS**

NO.	BY	DATE

DRAWN BY	Author
CHECKED BY	Checker
DATE	09/07/2025
SCALE	AS NOTED IN DRAWING
SHEET SIZE	11" X 17"
WET FLOOD PROOFING PLAN	

A312

ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ARCHITECT ARE PROPERTY OF ARCHITECT AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY WERE EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THIS ARCHITECT, THE PERSON SO DOING WILL BE INDEBTED TO THE ARCHITECT FOR ITS FULL COMMISSION.



**NORTH ELEVATION**  
1/8" = 1'-0"

KEYNOTES	
#	DESCRIPTION
15	CUSTOM WOODLIKE ALUMINUM SLAT SCREEN. SEE DETAILS ON SHEET A600.
17	4' FENCE ON TOP OF CMU PERIMETER WALL
65	CAST-IN-PLACE CONCRETE PLANTER CLADDED WITH METAL SHEET
80	3'-0" TALL 8" CMU PERIMETER WALL

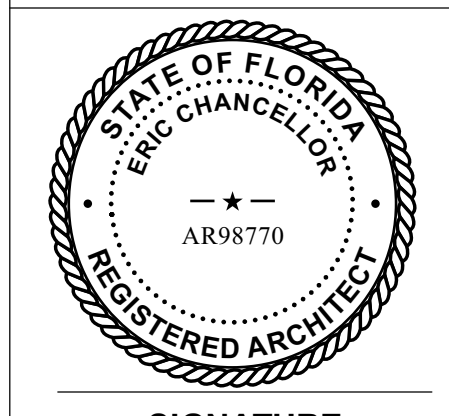
**ORARCITY**  
DEVELOPING COMMUNITIES

JASON SHILANSKY,  
B.Arch, C.G.C., OWNER.  
JASON@SKYWERKDEV.COM

CGC # 1521802  
954.703.9340  
6950 CYPRESS RD  
PLANTATION FL 33317

**MIAMI BEACH APARTMENTS**

**1440 MICHIGAN AVE**  
**MIAMI BEACH, FL 33139**



**SIGNATURE**  
Eric G Chancelor

**DATE**

REVISIONS		
NO.	BY	DATE

**DRAWN BY** LG

**CHECKED BY** Checker

**DATE** 09/07/2025

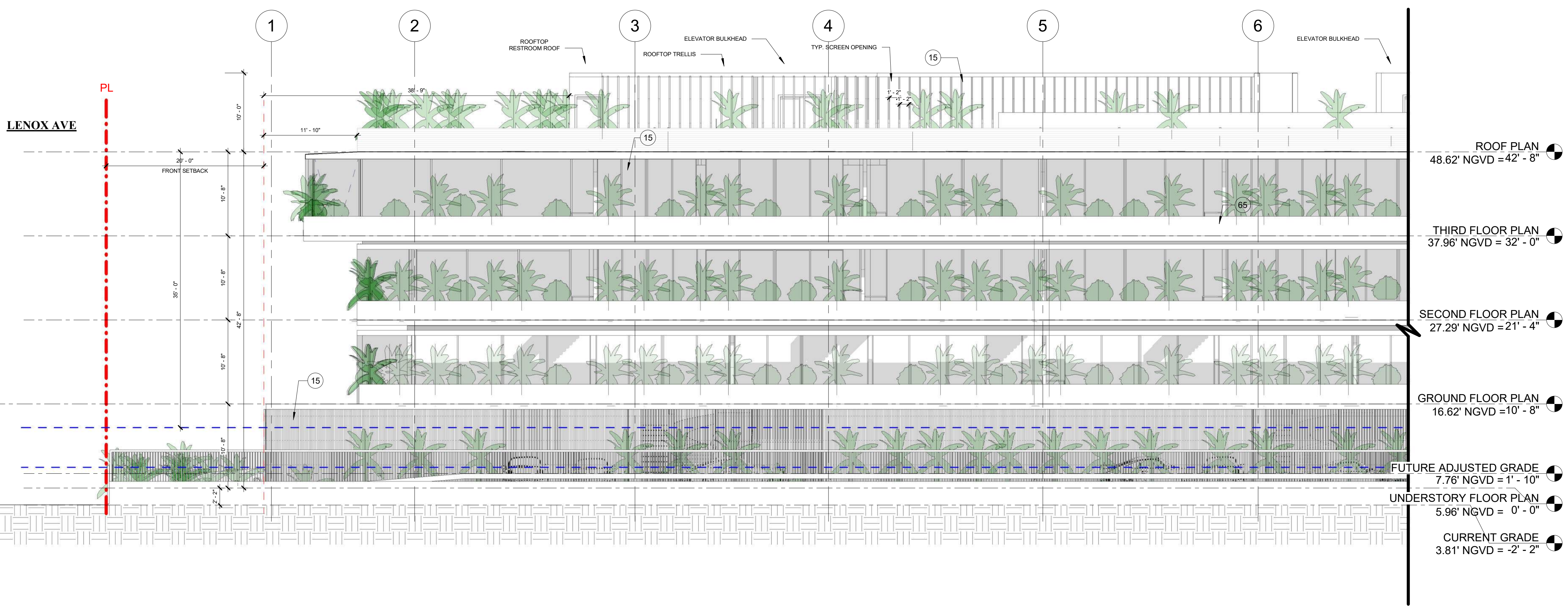
**SCALE** AS NOTED IN DRAWING

**SHEET SIZE** 11" X 17"

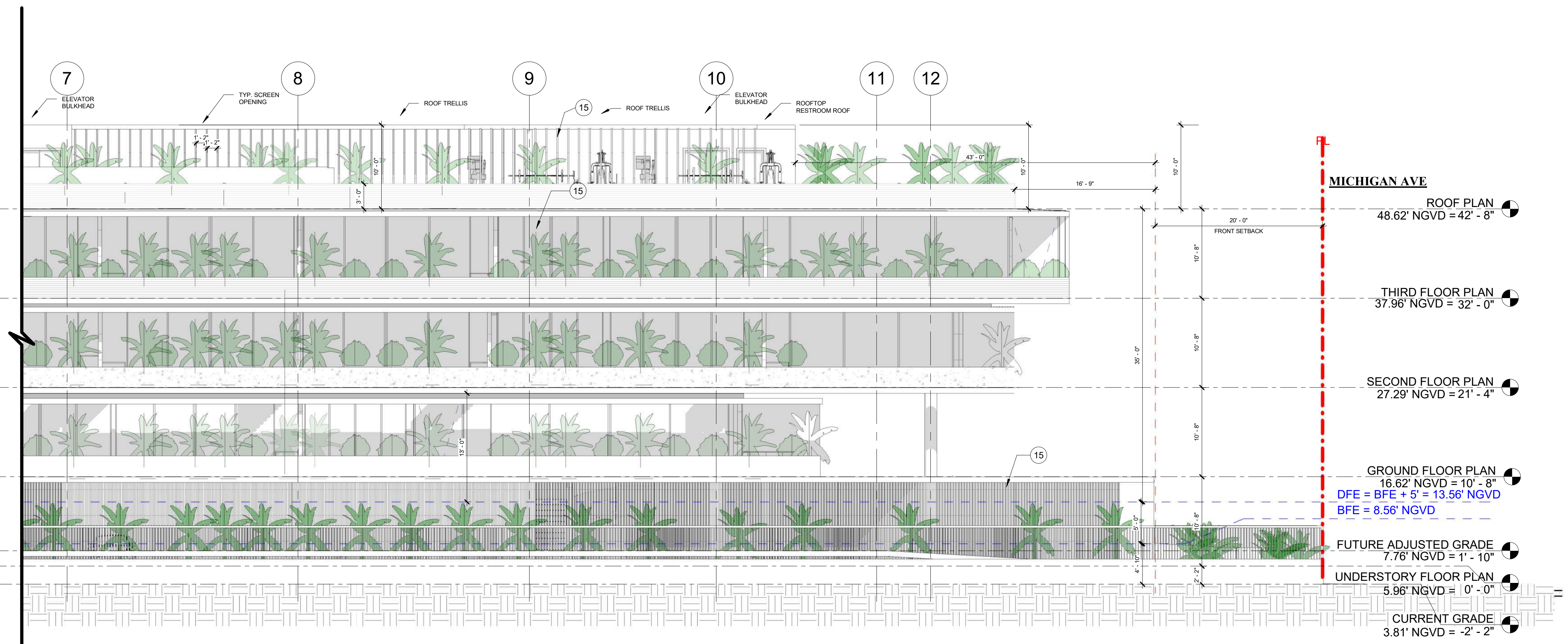
NORTH ELEVATION

**A400**

ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ARCHITECT ARE PROPERTY OF ARCHITECT AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY WERE EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THIS ARCHITECT, THE PERSON SO DOING WILL BE INDEBTED TO THE ARCHITECT FOR ITS FULL COMMISSION.



**SOUTH ELEVATION**  
1/8" = 1'-0"



**KEYNOTES**

#	DESCRIPTION
15	CUSTOM WOODLIKE ALUMINUM SLAT SCREEN. SEE DETAILS ON SHEET A600.
65	CAST-IN-PLACE CONCRETE PLANTER CLADDED WITH METAL SHEET

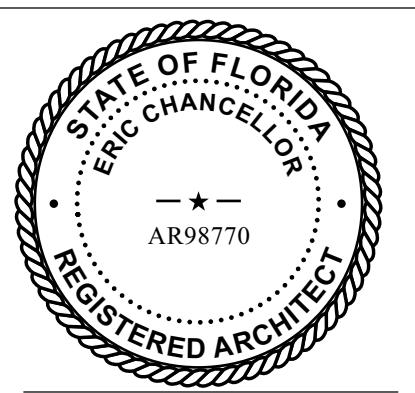
**ORARCITY**  
DEVELOPING COMMUNITIES

JASON SHILANSKY,  
B.A.R.C.H., C.C.C., OWNER.  
JASON@SKYWERKDEV.COM

CGC # 1521802  
954.703.9340  
6950 CYPRESS RD  
PLANTATION FL 33317

**MIAMI BEACH APARTMENTS**

**1440 MICHIGAN AVE**  
**MIAMI BEACH, FL 33139**



**SIGNATURE**  
Eric G Chancelor

**DATE**

**REVISIONS**

NO.	BY	DATE

**DRAWN BY** LG

**CHECKED BY** Checker

**DATE** 09/07/2025

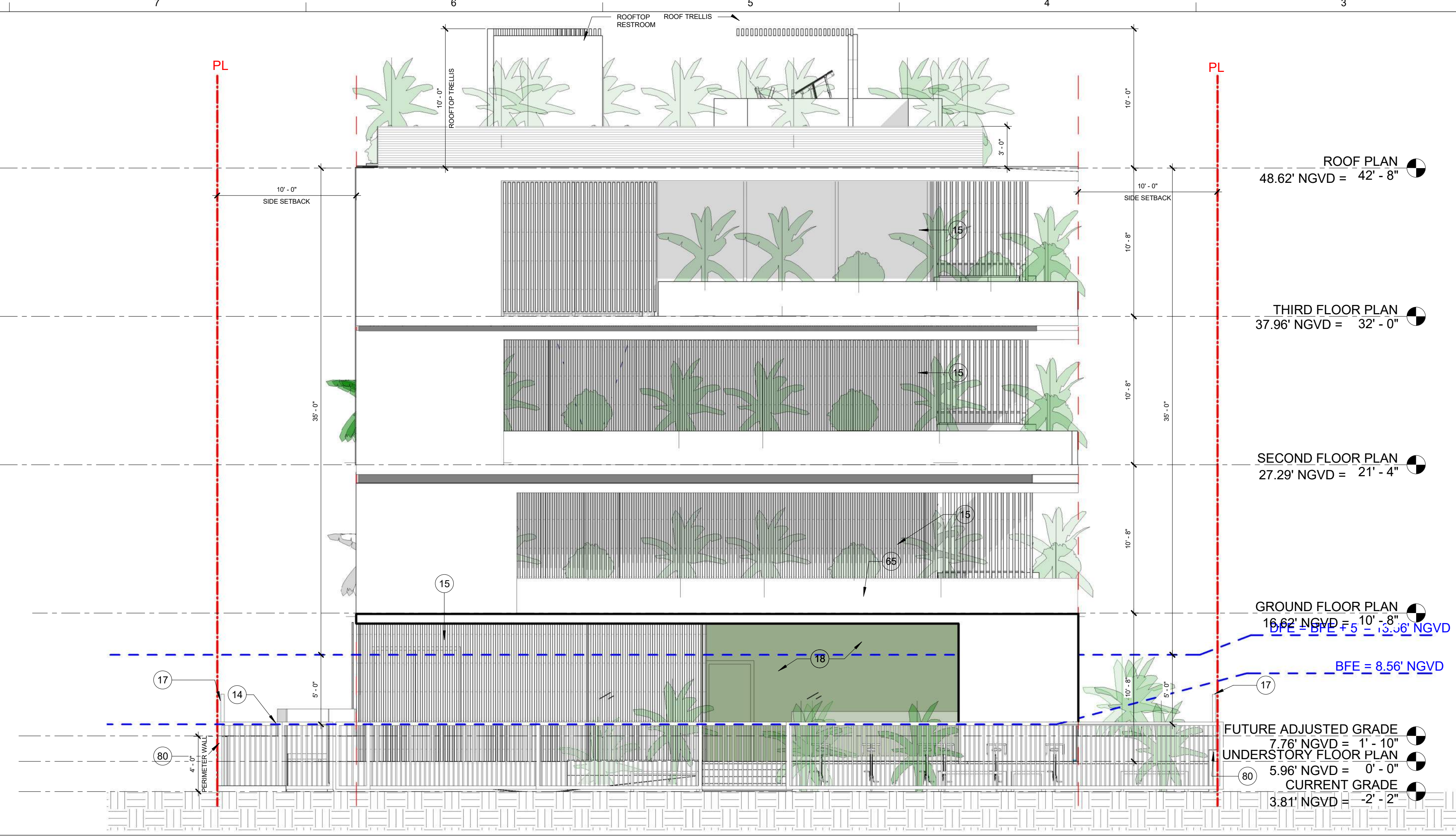
**SCALE** AS NOTED IN DRAWING

**SHEET SIZE** 11" X 17"

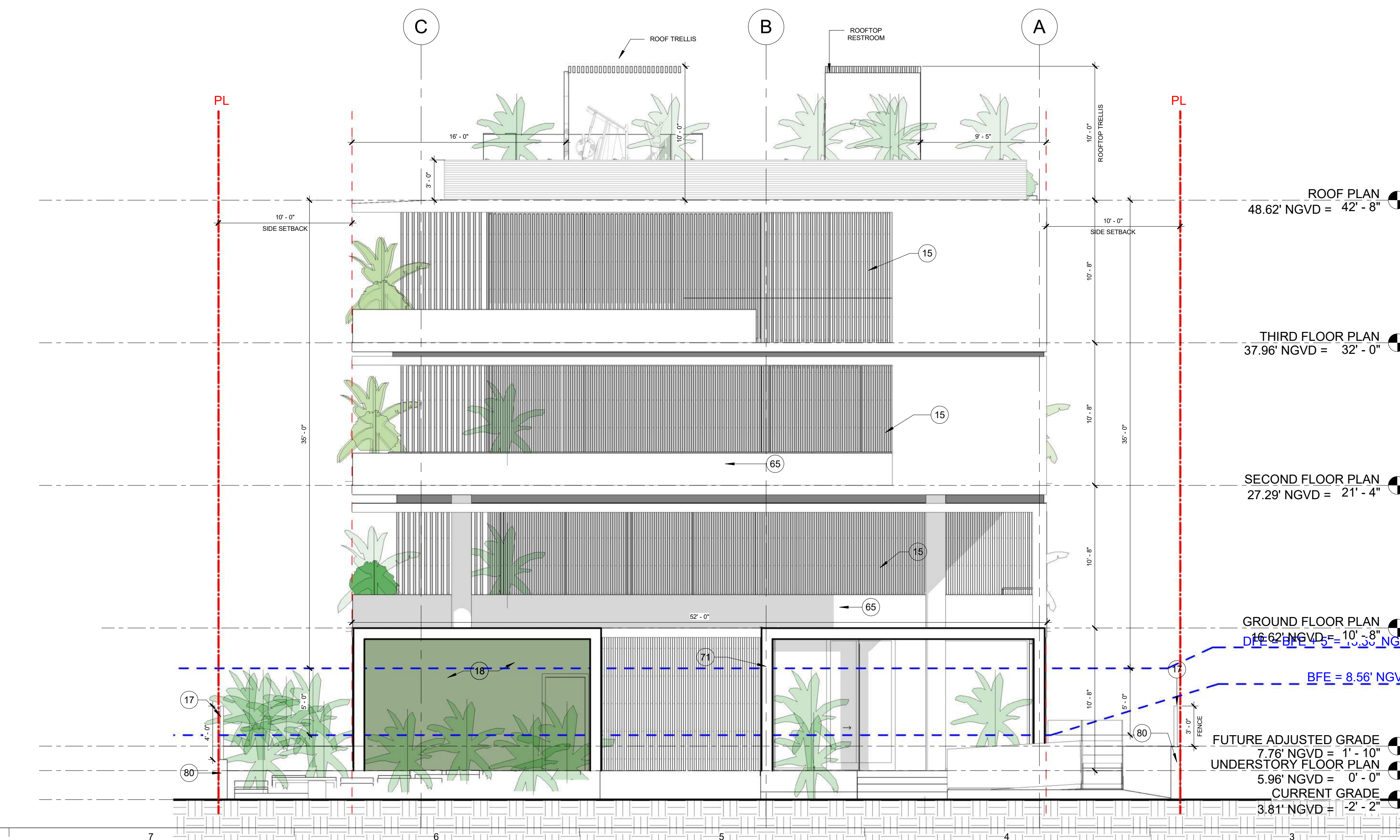
**SOUTH ELEVATION**

**A401**

ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ARCHITECT ARE PROPERTY OF ARCHITECT AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY WERE EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THIS ARCHITECT, THE PERSON SO DOING WILL BE INDEBTED TO THE ARCHITECT FOR ITS FULL COMMISSION.



**WEST ELEVATION**  
3/16" = 1'-0"



**EAST ELEVATION**  
3/16" = 1'-0"

KEYNOTES	
#	DESCRIPTION
14	CUSTOM WOODLIKE ALUMINUM SLAT SLIDING GATE
15	CUSTOM WOODLIKE ALUMINUM SLAT SCREEN. SEE DETAILS ON SHEET A600.
17	4" FENCE ON TOP OF CMU PERIMETER WALL
18	GREEN WALL
65	CAST-IN-PLACE CONCRETE PLANTER CLADDED WITH METAL SHEET
71	CUSTOM ALUMINUM ANODIZED LOUVERED ACCESS GATE
80	3'-0" TALL 8" CMU PERIMETER WALL

**ORARCITY**  
DEVELOPING COMMUNITIES

JASON SHLANSKY,  
B.A.R.C.H., C.C.C., O.W.N.E.R.  
JASON@SKYWERKDEV.COM

CGC # 1521802  
954.703.9340  
6950 CYPRESS RD  
PLANTATION FL 33317

**MIAMI BEACH APARTMENTS**

**1440 MICHIGAN AVE**  
**MIAMI BEACH, FL 33139**

STATE OF FLORIDA  
ERIC CHANCELLOR  
AR98770  
REGISTERED ARCHITECT

SIGNATURE  
Eric G Chancellor

DATE

REVISIONS		
NO.	BY	DATE

**DRAWN BY** LG

**CHECKED BY** Checker

**DATE** 09/07/2025

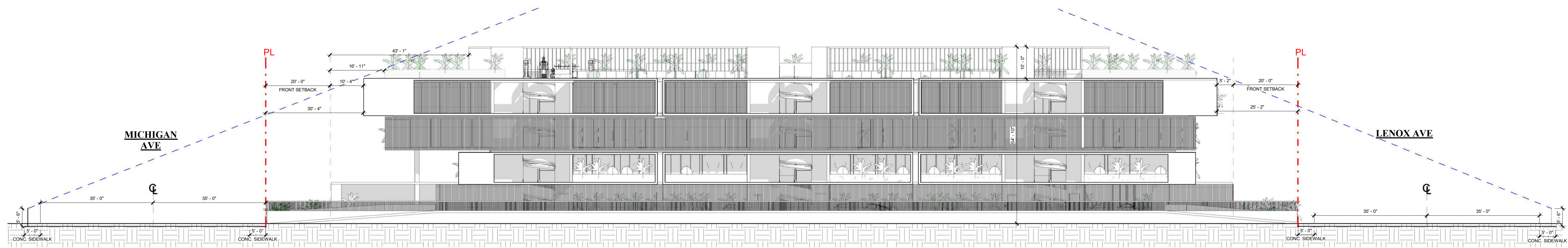
**SCALE** AS NOTED IN DRAWING

**SHEET SIZE** 11" X 17"

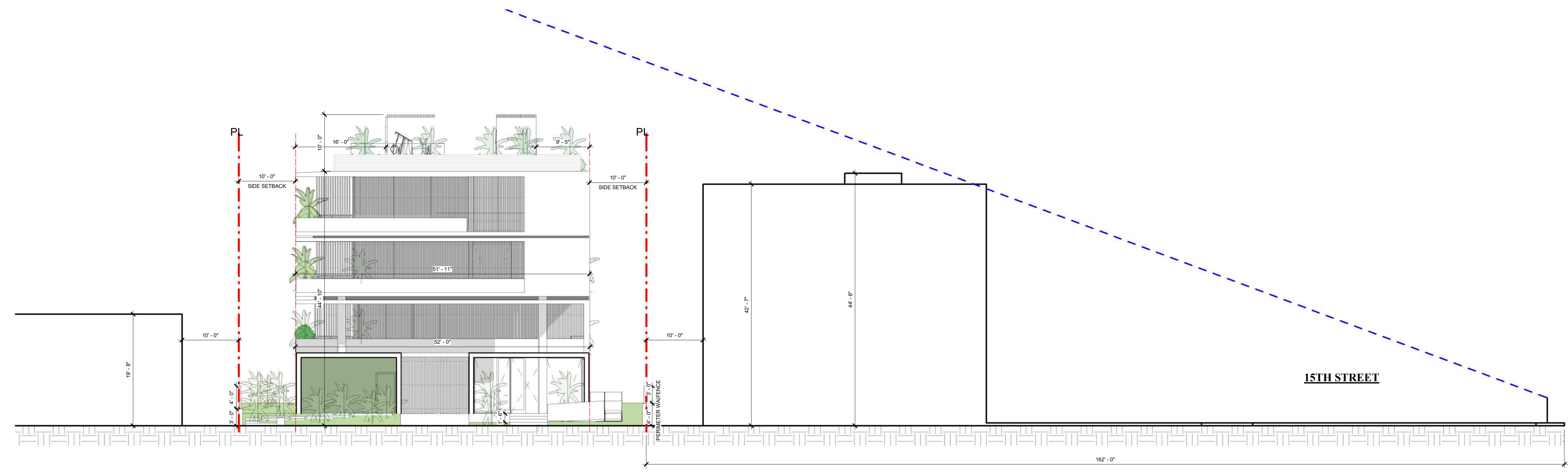
EAST & WEST ELEVATIONS

**A402**

ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ARCHITECT ARE PROPERTY OF ARCHITECT AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY WERE EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THIS ARCHITECT, THE PERSON SO DOING WILL BE INDEBTED TO THE ARCHITECT FOR ITS FULL COMMISSION.



**NORTH ELEVATION - LINE OF SIGHT**  
1/16" = 1'-0"



**EAST ELEVATION - LINE OF SIGHT**  
3/32" = 1'-0"

**ORARCITY**  
DEVELOPING COMMUNITIES

JASON SHILANSKY,  
B.Arch, C.G.C., OWNER.  
JASON@SKYWERKDEV.COM

CGC # 1521802  
954.703.9340  
6950 CYPRESS RD  
PLANTATION FL 33317

**MIAMI BEACH APARTMENTS**

**1440 MICHIGAN AVE**  
**MIAMI BEACH, FL 33139**

STATE OF FLORIDA  
ERIC CHANCELLOR  
AR98770  
REGISTERED ARCHITECT

SIGNATURE  
Eric G Chancellor

DATE

REVISIONS		
NO.	BY	DATE

**DRAWN BY** Author

**CHECKED BY** Checker

**DATE** 09/07/2025

**SCALE** AS NOTED IN DRAWING

**SHEET SIZE** 11" X 17"

NORTH & EAST  
ELEVATIONS - LINE OF SIGHT

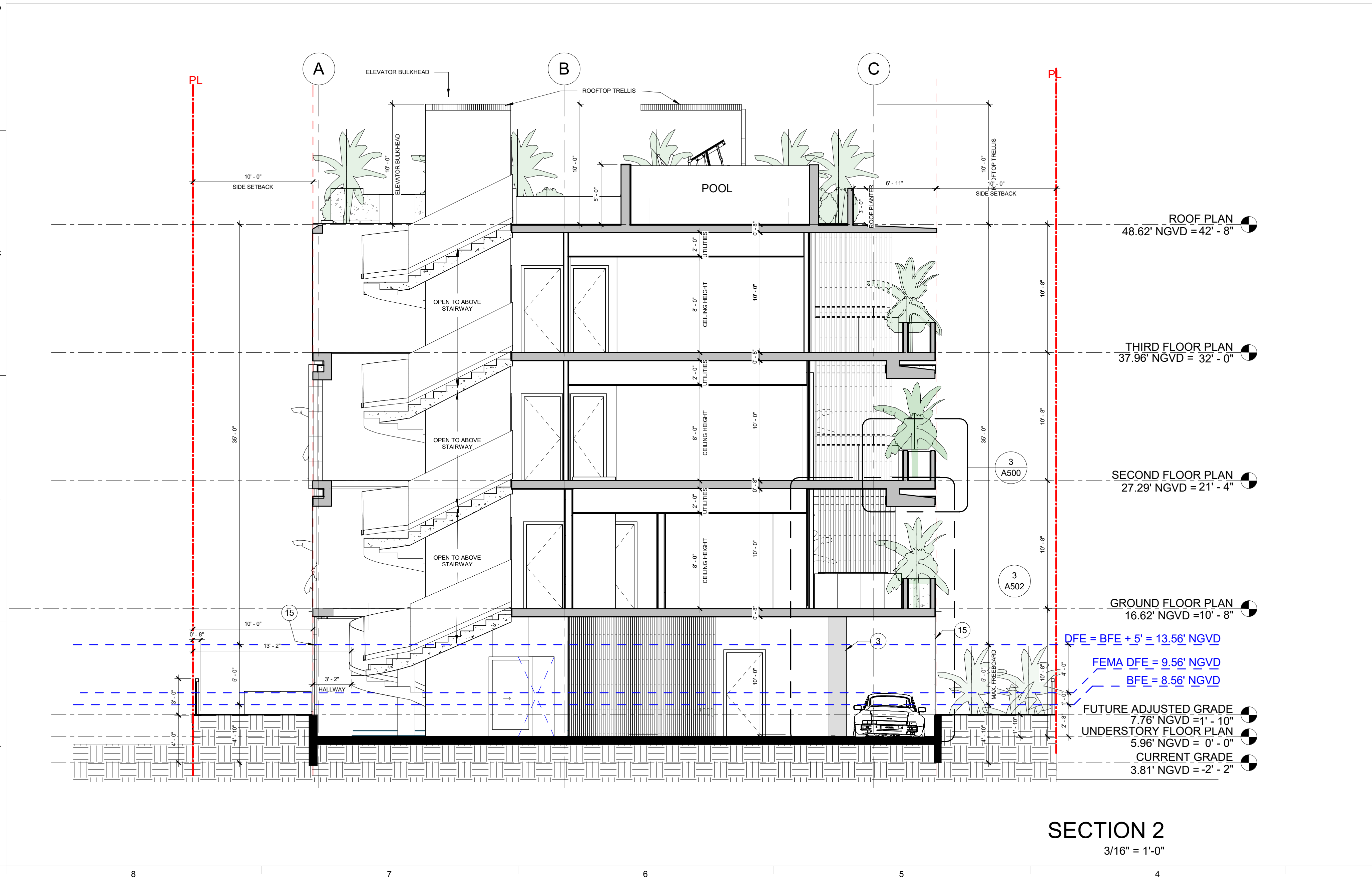
**A403**

ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ARCHITECT ARE PROPERTY OF ARCHITECT AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY WERE EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THIS ARCHITECT, THE PERSON SO DOING WILL BE INDEBTED TO THE ARCHITECT FOR ITS FULL COMMISSION.



**SECTION 1**  
3/32" = 1'-0"

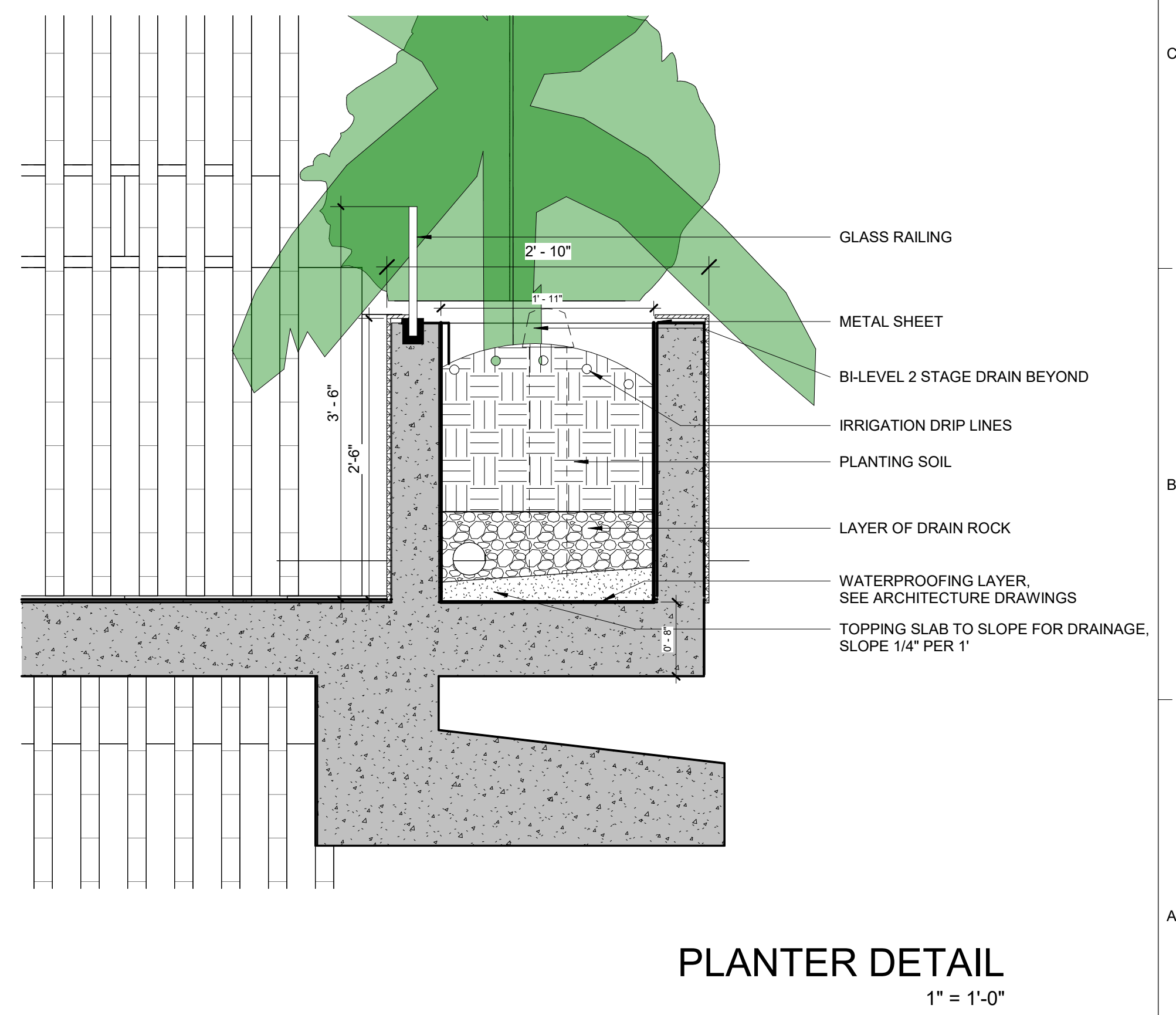
- ROOF PLAN 42' - 8"
- THIRD FLOOR PLAN 32' - 0"
- SECOND FLOOR PLAN 21' - 4"
- GROUND FLOOR PLAN 10' - 8"
- DFE = BFE + 5' = 13.56' NGVD
- BFE = 8.56' NGVD
- FUTURE ADJUSTED GRADE 1' - 10"
- UNDERSTORY FLOOR PLAN 0' - 0"
- CURRENT GRADE -2' - 2"



**SECTION 2**  
3/16" = 1'-0"

- ROOF PLAN 48.62' NGVD = 42' - 8"
- THIRD FLOOR PLAN 37.96' NGVD = 32' - 0"
- SECOND FLOOR PLAN 27.29' NGVD = 21' - 4"
- GROUND FLOOR PLAN 16.62' NGVD = 10' - 8"
- DFE = BFE + 5' = 13.56' NGVD
- FEMA DFE = 9.56' NGVD
- BFE = 8.56' NGVD
- FUTURE ADJUSTED GRADE 7.76' NGVD = 1' - 10"
- UNDERSTORY FLOOR PLAN 5.96' NGVD = 0' - 0"
- CURRENT GRADE 3.81' NGVD = -2' - 2"

KEYNOTES	
#	DESCRIPTION
3	STRUCTURAL COLUMN
15	CUSTOM WOODLIKE ALUMINUM SLAT SCREEN. SEE DETAILS ON SHEET A600.



**PLANTER DETAIL**  
1" = 1'-0"

**QRIARCITY**  
DEVELOPING COMMUNITIES

JASON SHILANSKY,  
B.A.R.C.H., C.C.C., O.W.N.E.R.  
JASON@SKYWERKDEV.COM

CGC # 1521802  
954.703.9340  
6950 CYPRESS RD  
PLANTATION FL 33317

**MIAMI BEACH APARTMENTS**

**1440 MICHIGAN AVE**  
**MIAMI BEACH, FL 33139**

STATE OF FLORIDA  
ERIC CHANCELLOR  
REGISTERED ARCHITECT  
AR98770

SIGNATURE  
Eric G Chancellor

DATE

REVISIONS		
NO.	BY	DATE

**DRAWN BY** Author

**CHECKED BY** Checker

**DATE** 09/07/2025

**SCALE** AS NOTED IN DRAWING

**SHEET SIZE** 11" X 17"

SECTIONS

**A500**