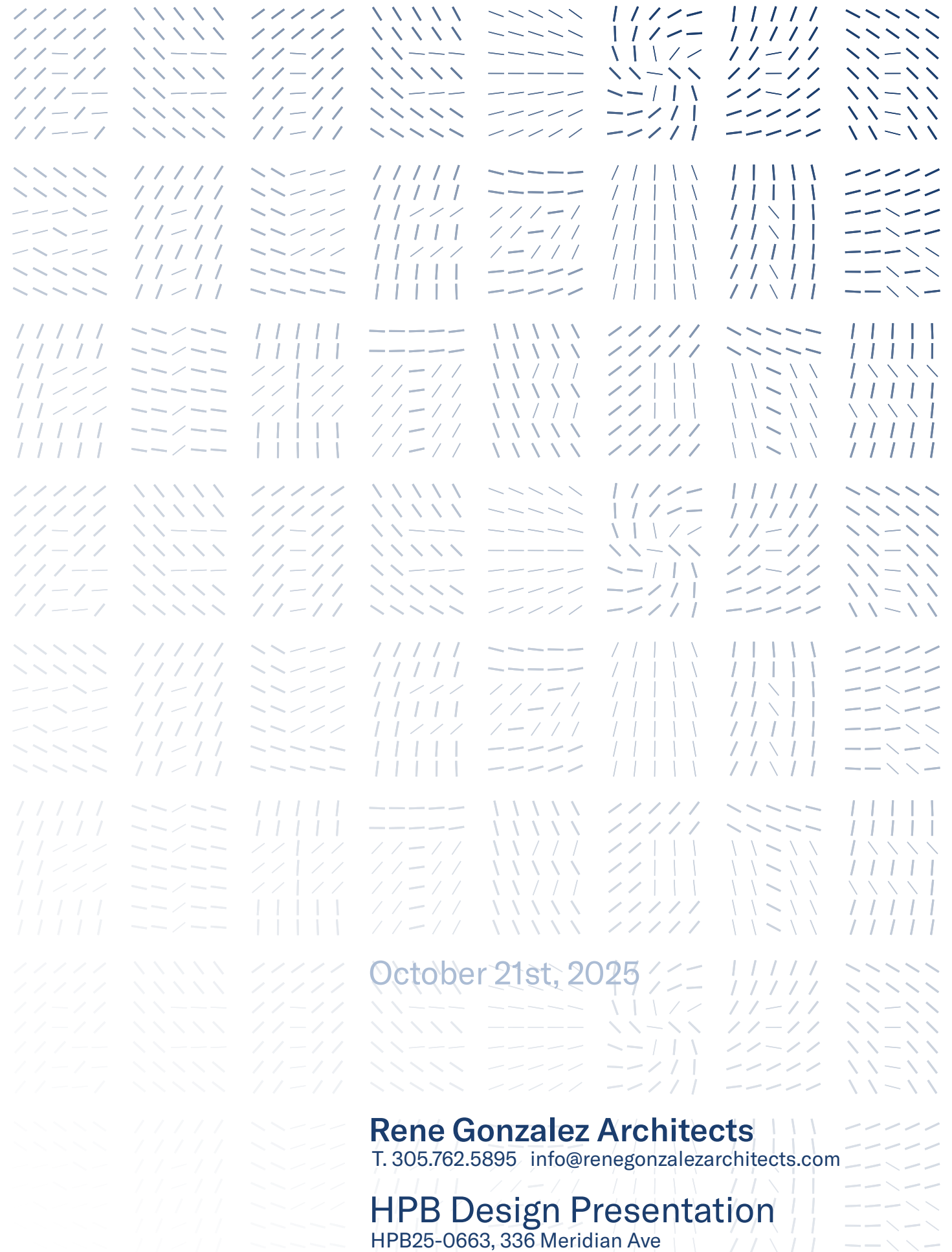




Roden Crater by James Turrell



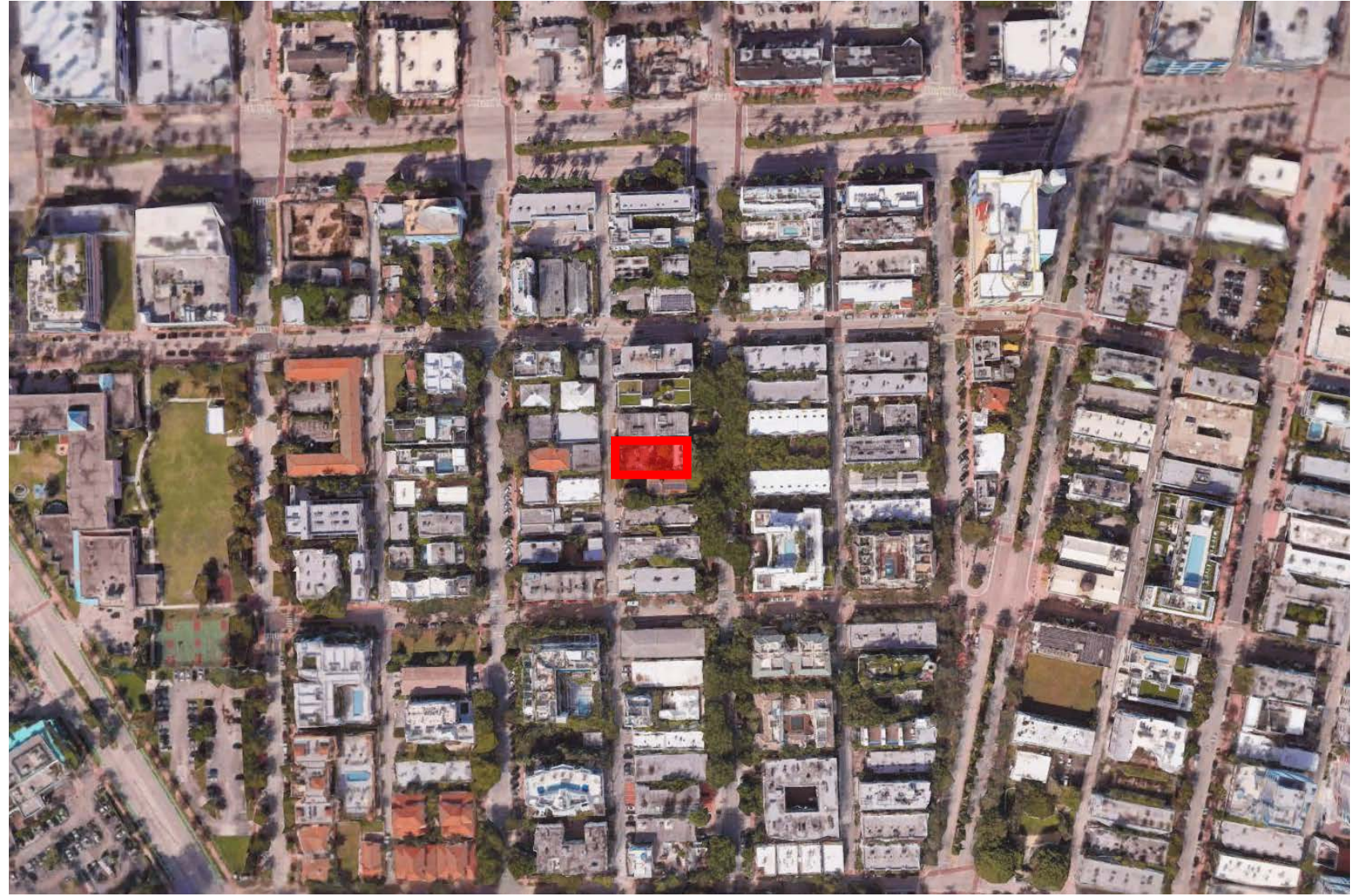
October 21st, 2025

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HPB Design Presentation
HPB25-0663, 336 Meridian Ave



Aerial view of site and context



Close-up aerial view of site

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Optimus Structural Design
Structural Engineer
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AERIAL IMAGES

SD-1



Aerial view of site and context

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AERIAL IMAGES

SD-3



Existing Front (East) Façade

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336 Meridian Avenue by Architect B. Kingston Hall



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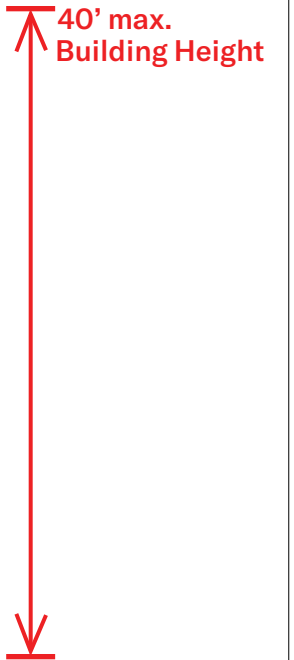
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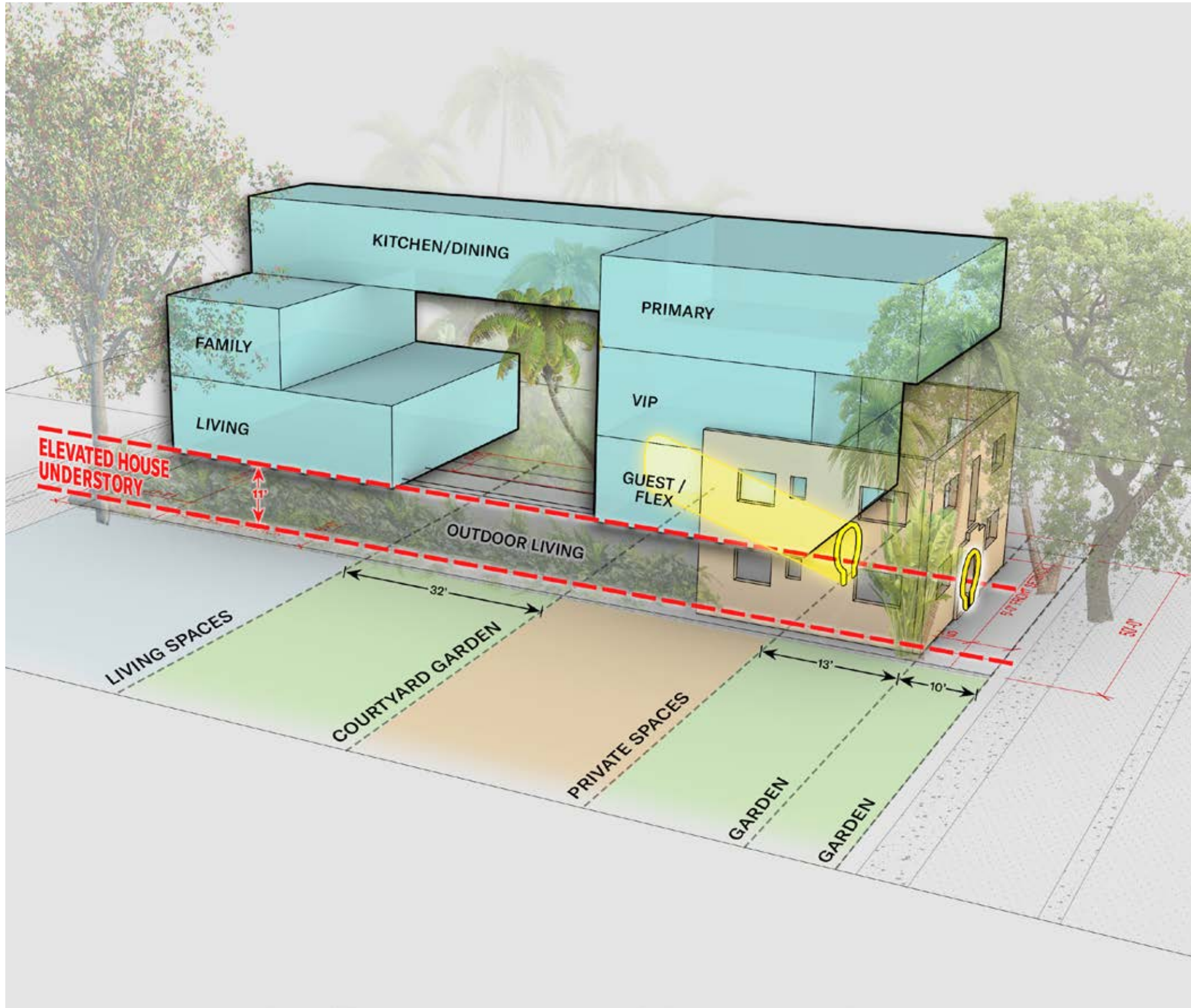
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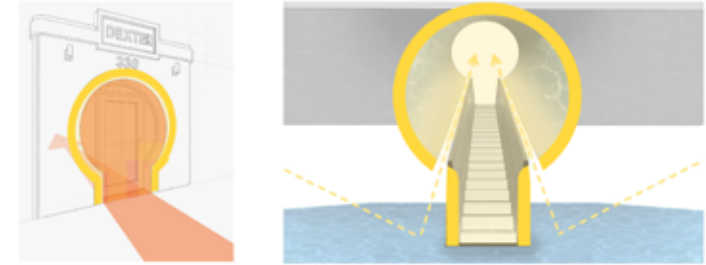
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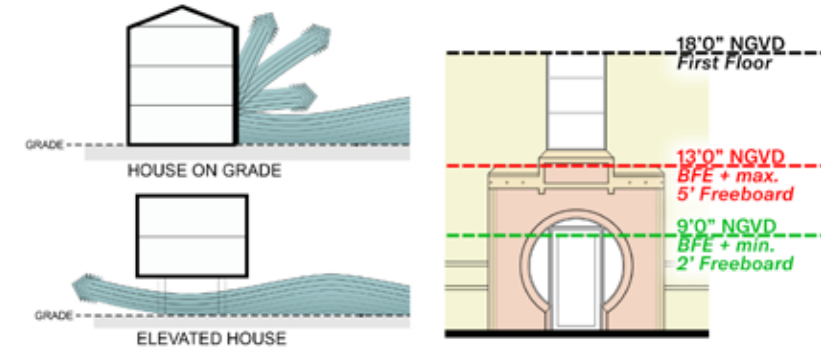
1. **SINGLE FAMILY HOME PROPOSED**
 VS.
SIXTEEN (16) 950 SQFT APARTMENTS +
TWENTY FOUR (24) PARKING ALLOWED



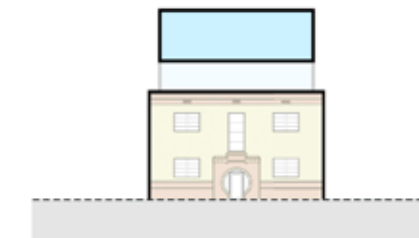
2. **HISTORIC ART DECO PORTAL AS A DESIGN GENERATOR**



3. **RESILIENT ELEVATED HOUSE / UNDERSTORY**



4. **NEW HOME SENSITIVELY ADDRESSES HISTORIC ART DECO FACADES BY LEAVING THEM UNTOUCHED**



5. **GARDEN COURTYARD / SOUTH BEACH TYPOLOGY**



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DESIGN
 STRATEGY

A-1



Original Design | 17ft Glass Block Wall

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RENDER



Revised Design | 13.5ft Glass Block Wall

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Historic Entry Portal

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Entry Garden

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RENDER



1 EAST ELEVATION
 scale: 3/32" = 1'-0"

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ELEVATIONS -
 EAST ELEVATION

A-5



Existing View of Meridian Ave

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SITE IMAGE



BUILDING AREA

PROPOSED

1 SOUTH ELEVATION
scale: 3/32" = 1'-0"

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ELEVATIONS -
SOUTH
ELEVATION

A-7



Interior Courtyard

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RENDER



1 WEST ELEVATION
 scale: 3/32" = 1'-0"

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1 COURTYARD SECTION FACING WEST
 scale: 3/32" = 1'-0"

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SECTIONS -
 COURTYARD
 SECTION

A-15



1

COURTYARD SECTION FACING EAST
 scale: 3/32" = 1'-0"

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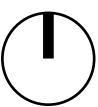
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SECTIONS-
 COURTYARD
 SECTION

A-13



1 GROUND FLOOR PLAN
 scale: 3/32" = 1'-0"



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PLANS -
 GROUND FLOOR

A-23



Understory Patio

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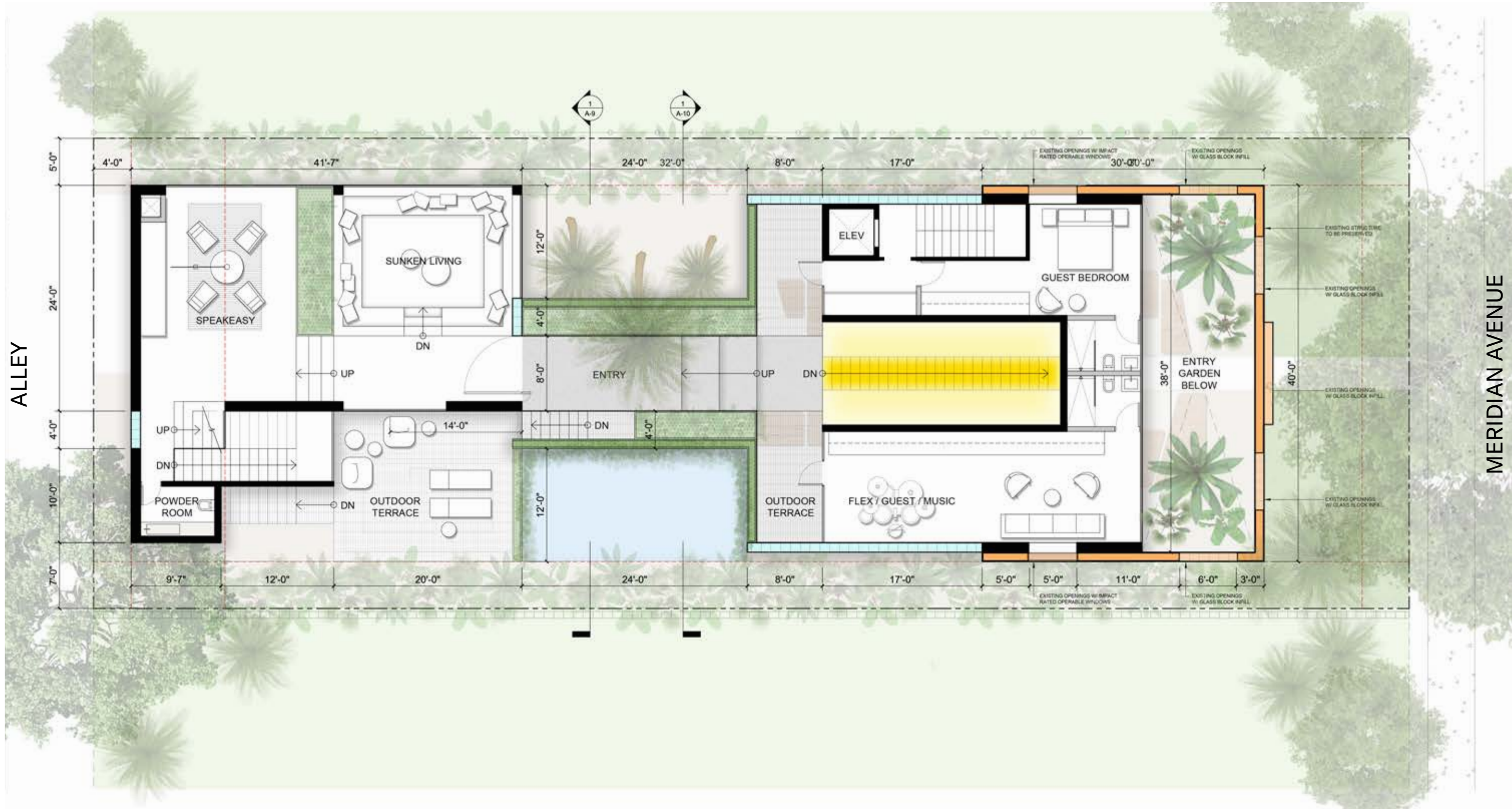
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1 FIRST FLOOR PLAN
scale: 3/32" = 1'-0"

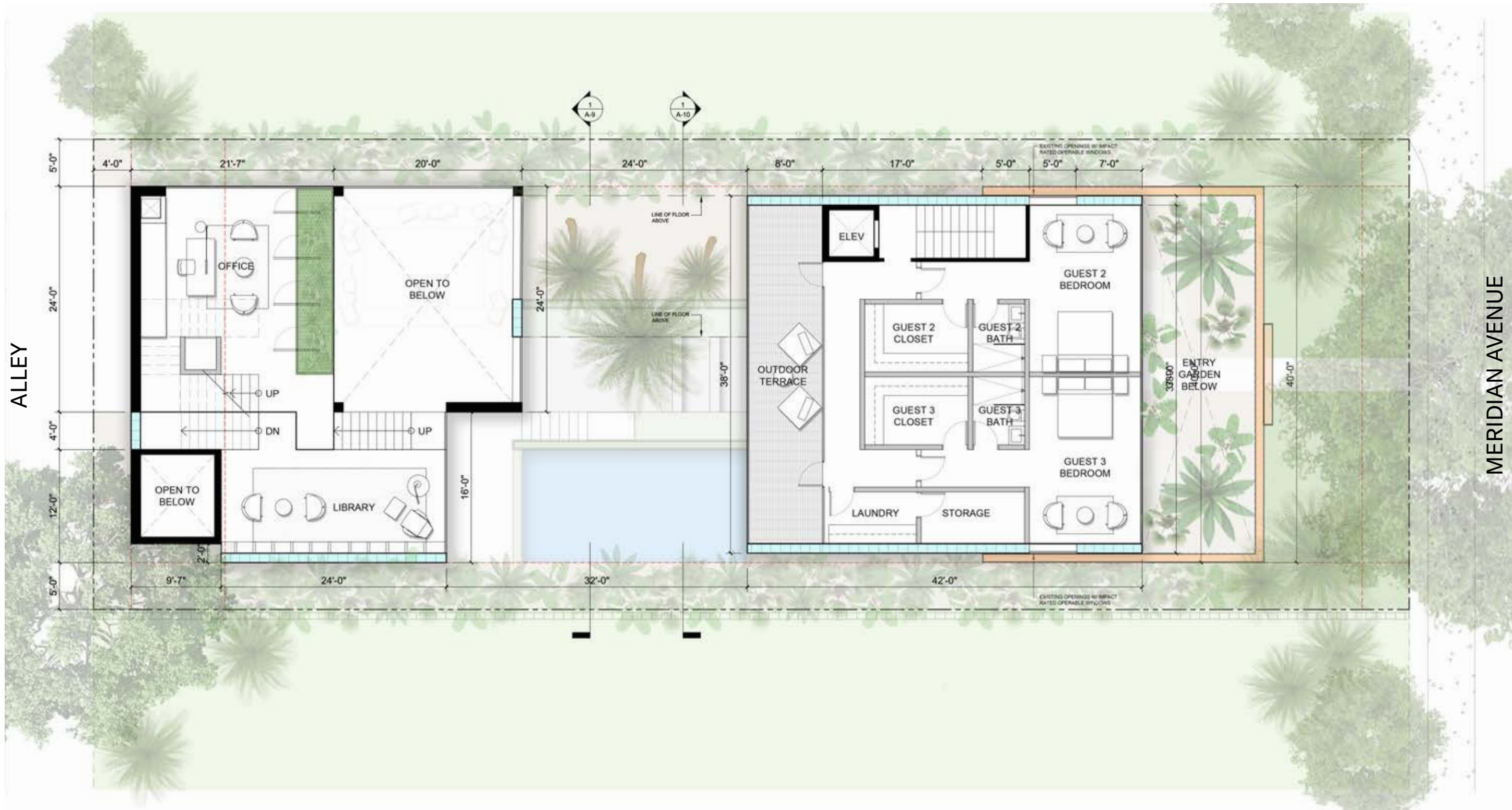
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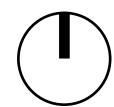
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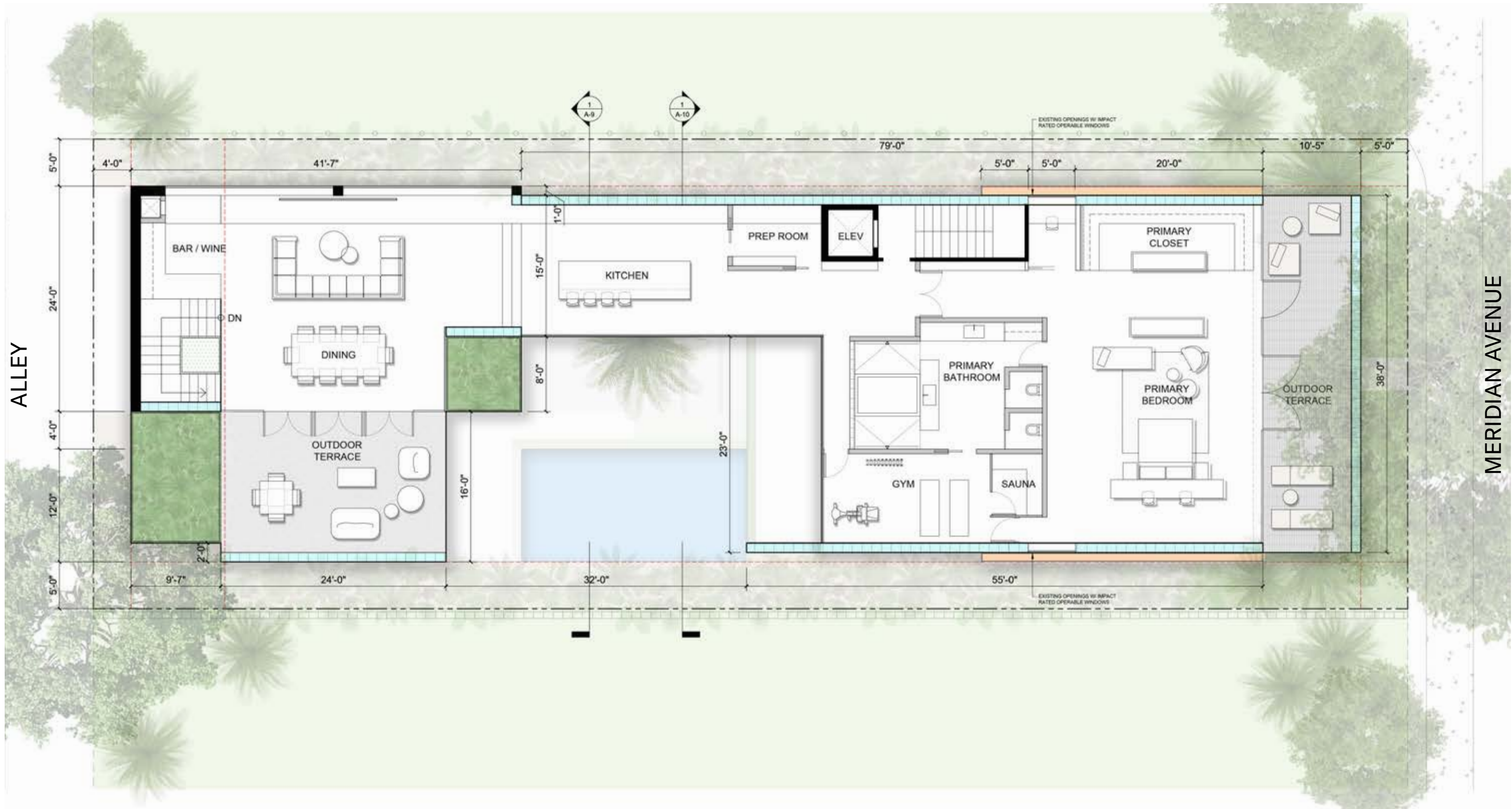
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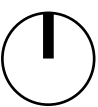


1 SECOND FLOOR PLAN
scale: 3/32" = 1'-0"





1 THIRD FLOOR PLAN
 scale: 3/32" = 1'-0"



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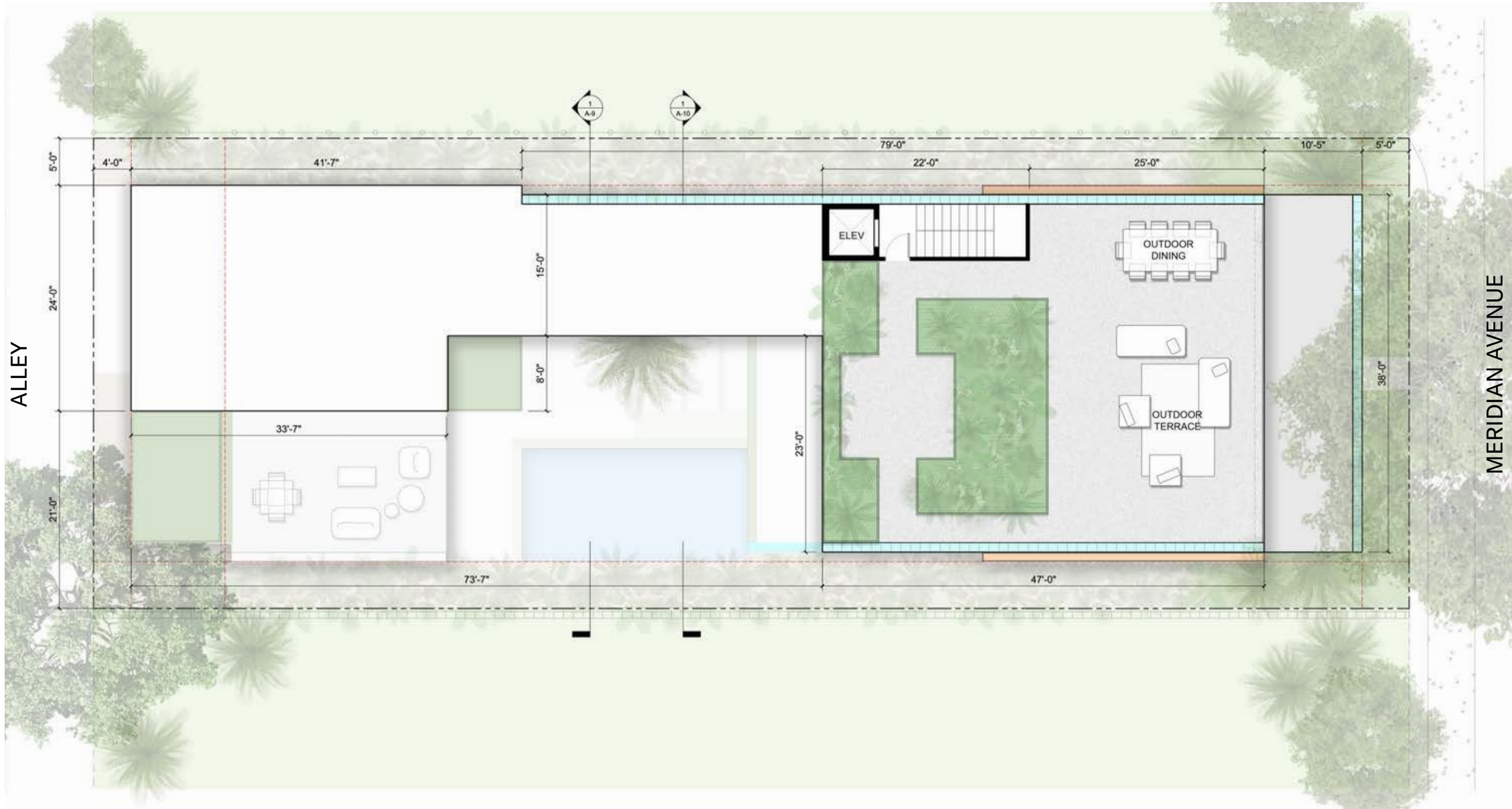
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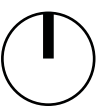
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PLANS -
 THIRD FLOOR

A-29



1 ROOF FLOOR PLAN
 scale: 3/32" = 1'-0"



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PLANS -
 ROOFTOP
 A-31



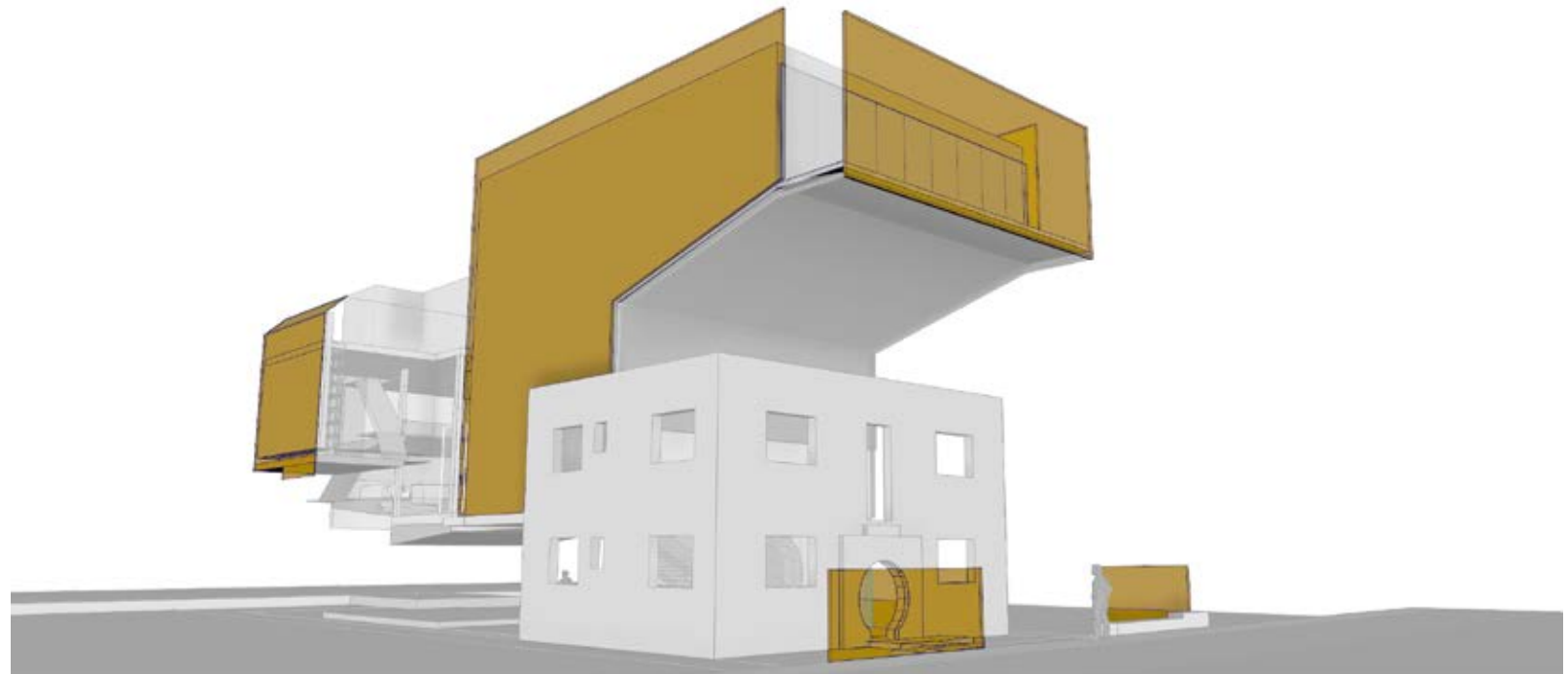
GLASS BLOCK

GBA Architectural Products

Hurricane-Resistant Glass Block Windows

Endura Block

or similar



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MATERIALITY -
GLASS BLOCK



Original Design | 17ft Glass Block Wall

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RENDER

ART DECO AND GLASS BLOCK



The Owens-Illinois Glass Block Building
1933 Chicago, Illinois



Coulter's Department Store by Stiles O. Clements
1938 Los Angeles, California



Benson & Dixon Department Store by Alfred S. Alschuler
1937 Chicago, Illinois



The Glass Center by Shreve, Lamb & Harmon
1939 New York



Direct Oil Service Station by Arthur Brammer
1937 Minneapolis, Minnesota



Shell Oil Company Gas Station
1934 New York City, New York

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ART DECO AND
GLASS BLOCK

GLASS BLOCK IN MIAMI BEACH



Sterling Building
1925 Miami Beach, Florida



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GLASS BLOCK IN MIAMI BEACH



United States Post Office by Howard Lovewell Cheney
1937 Miami Beach, Florida

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336 Meridian Ave

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Scale:
Revisions:

GLASS BLOCK IN
SOUTH FLORIDA

GLASS BLOCK IN MIAMI BEACH



Thomas Kramer Building by Arquitectonica
1982 Miami Beach, Florida

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 Structural Engineer
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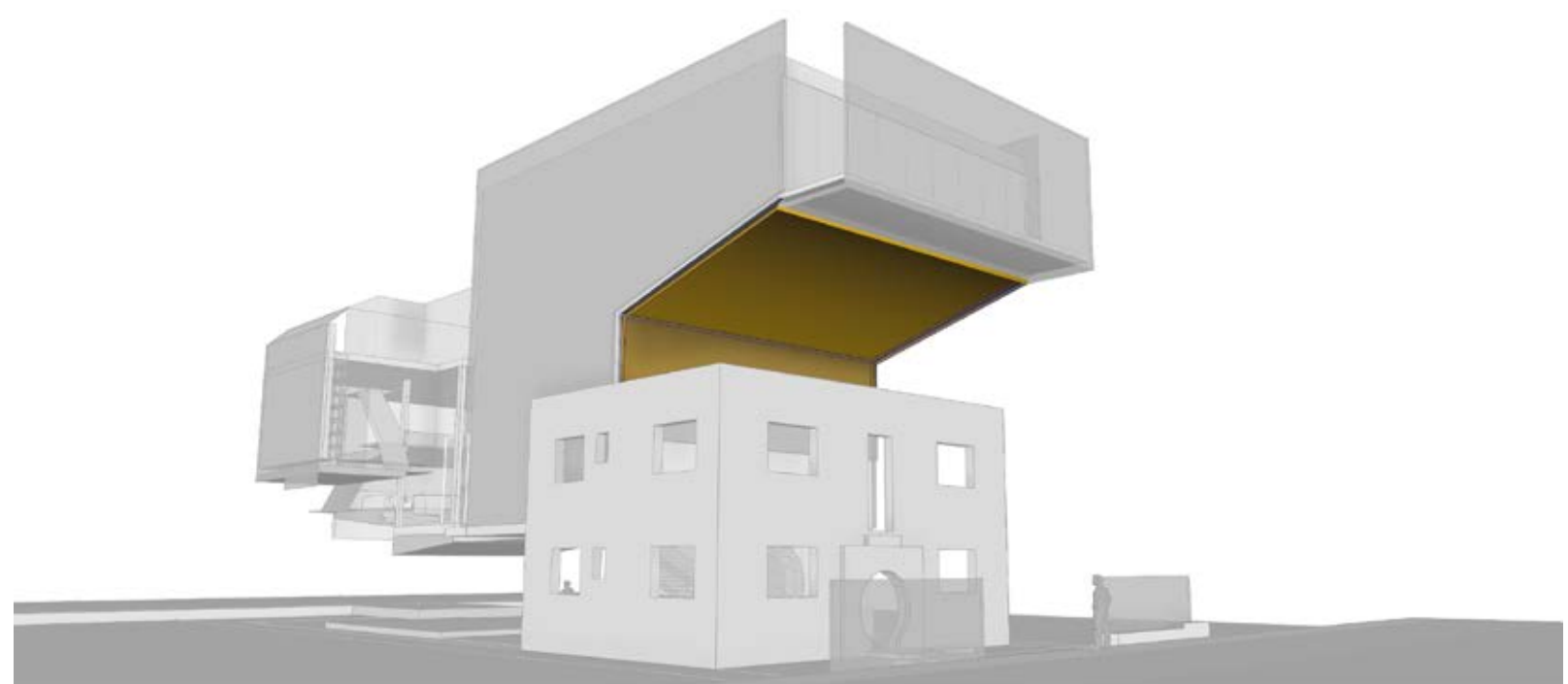
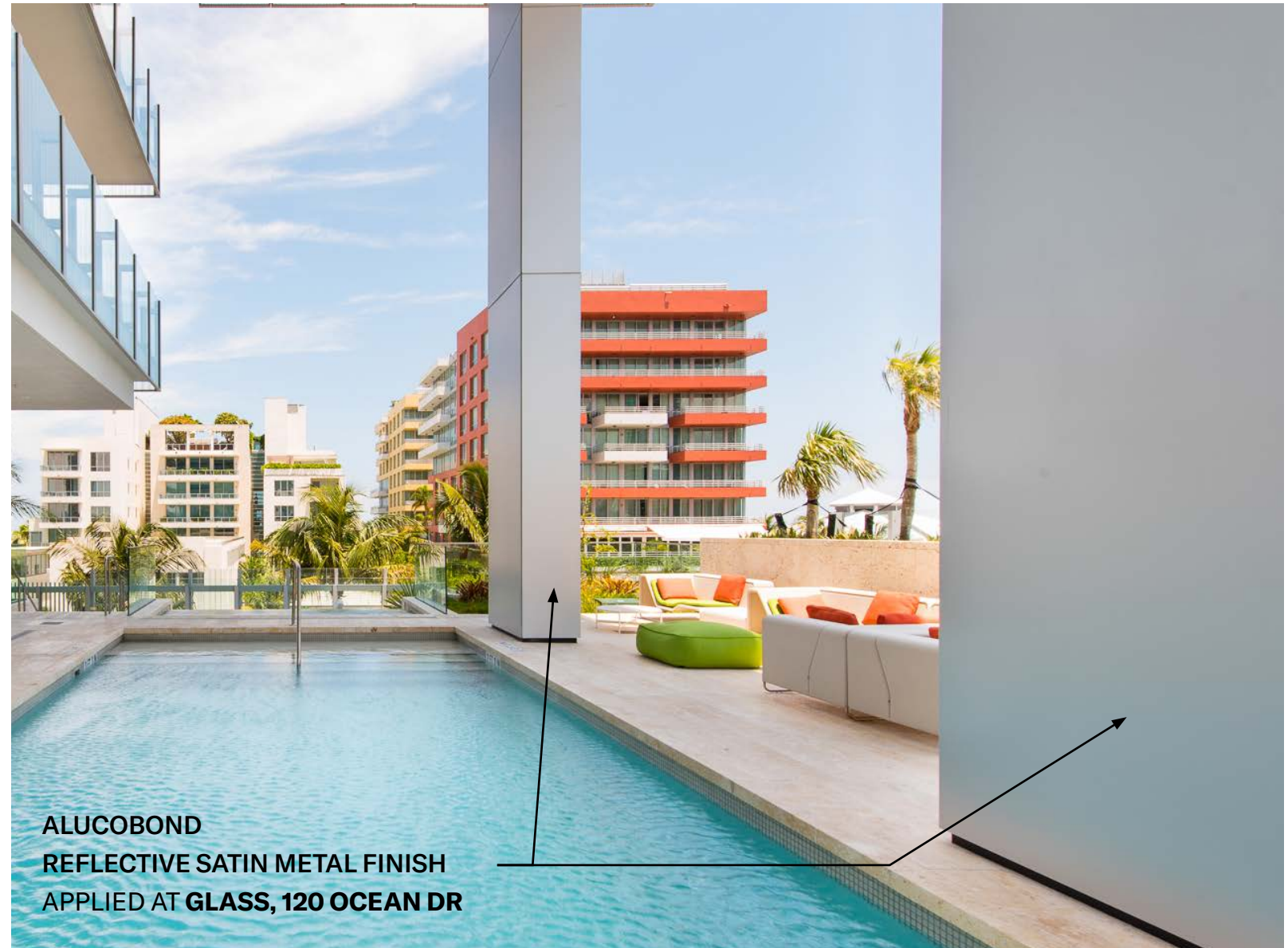
GLASS BLOCK IN
 SOUTH FLORIDA



REFLECTIVE SURFACE

Alucobond
 Reflect Mirror Finish

or similar



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**MATERIALITY -
 REFLECTIVE
 ALUCABOND**

A-43

VARIANCE DRAWINGS

VARIANCE

V-0

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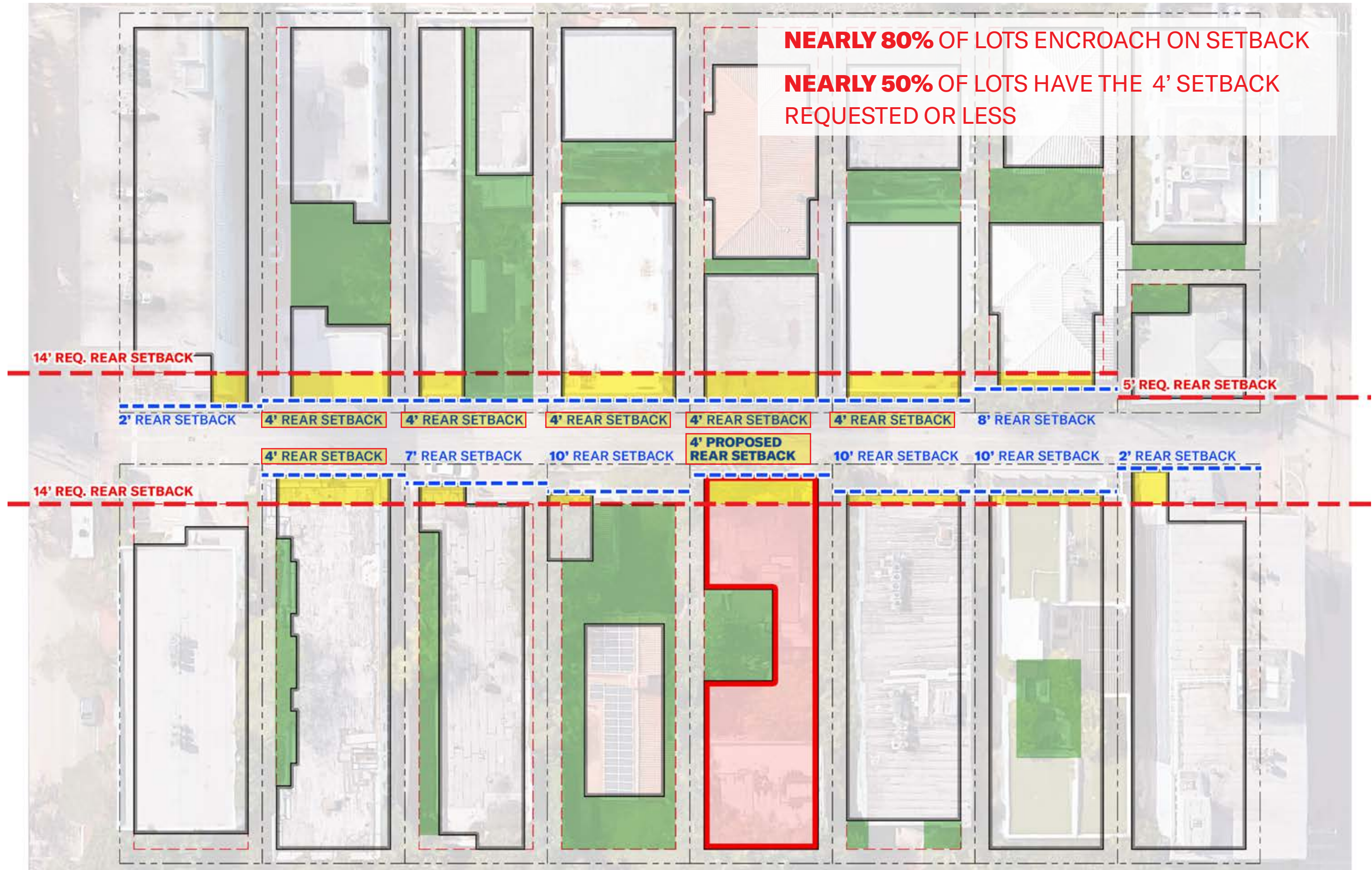
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Checked by: [Name] Date: [Date] Scale: [Scale] Project: [Project Name]
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NEARLY 80% OF LOTS ENCROACH ON SETBACK
NEARLY 50% OF LOTS HAVE THE 4' SETBACK REQUESTED OR LESS



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1 PRECEDENTS
 scale: N.T.S.

ALLEY

PROPERTY LINE

4' PROPOSED REAR SETBACK

14' REAR SETBACK

10'-0"

23'-5" PROPOSED SETBACK

EXISTING WALL LOCATION

5' FRONT SETBACK

PROPERTY LINE

23'-5"
ADDITIONAL TO 5' SETBACK

13'-0"
GARDEN BELOW

10'-5"

1 PLAN SHOWING HARDSHIP - MOVING BUILDING BACK FROM PROPERTY LINE
scale: N.T.S.

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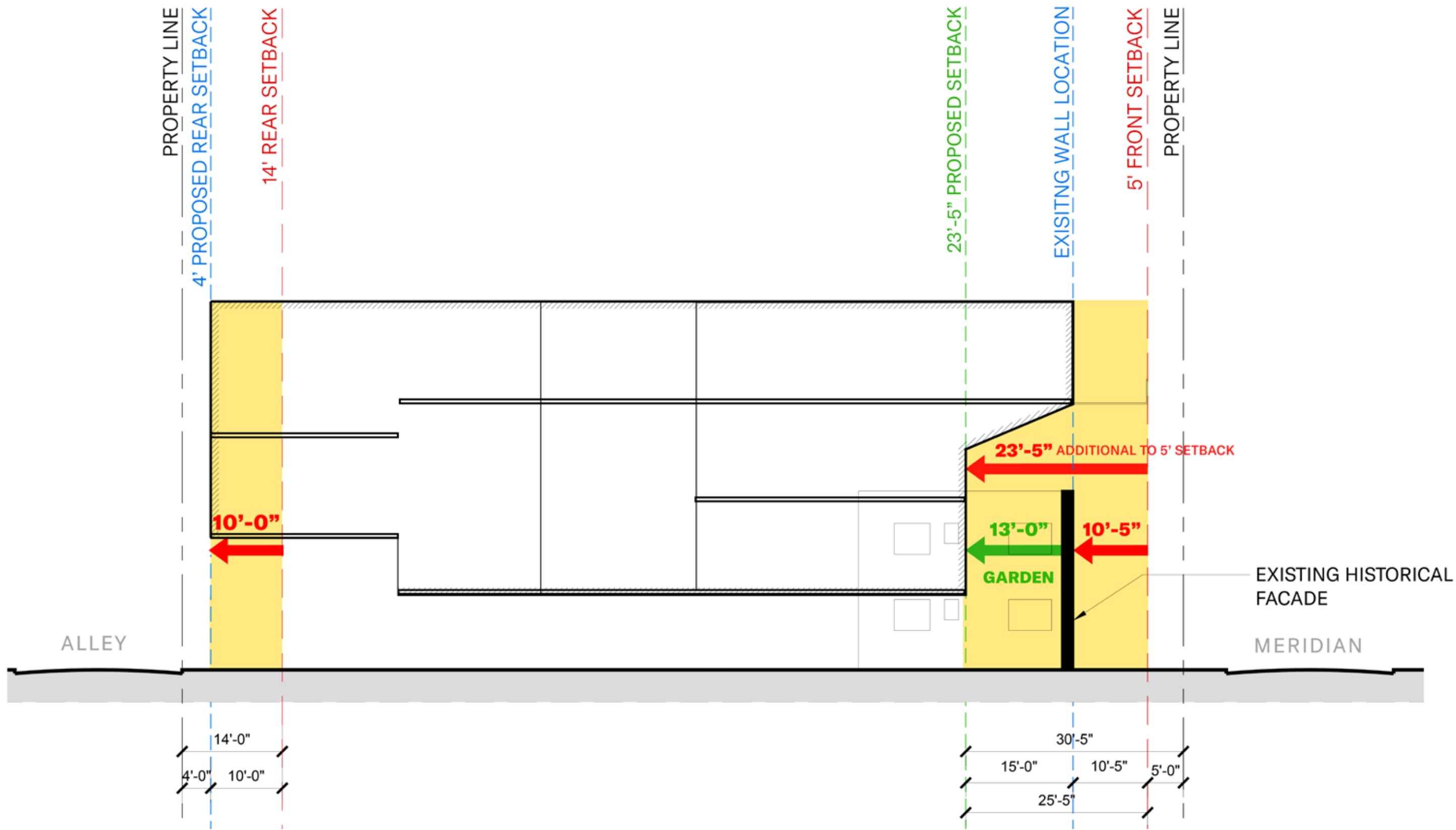
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VARIANCE
PLAN

V-2



1 SECTION SHOWING HARDSHIP - MOVING BUILDING BACK FROM PROPERTY LINE
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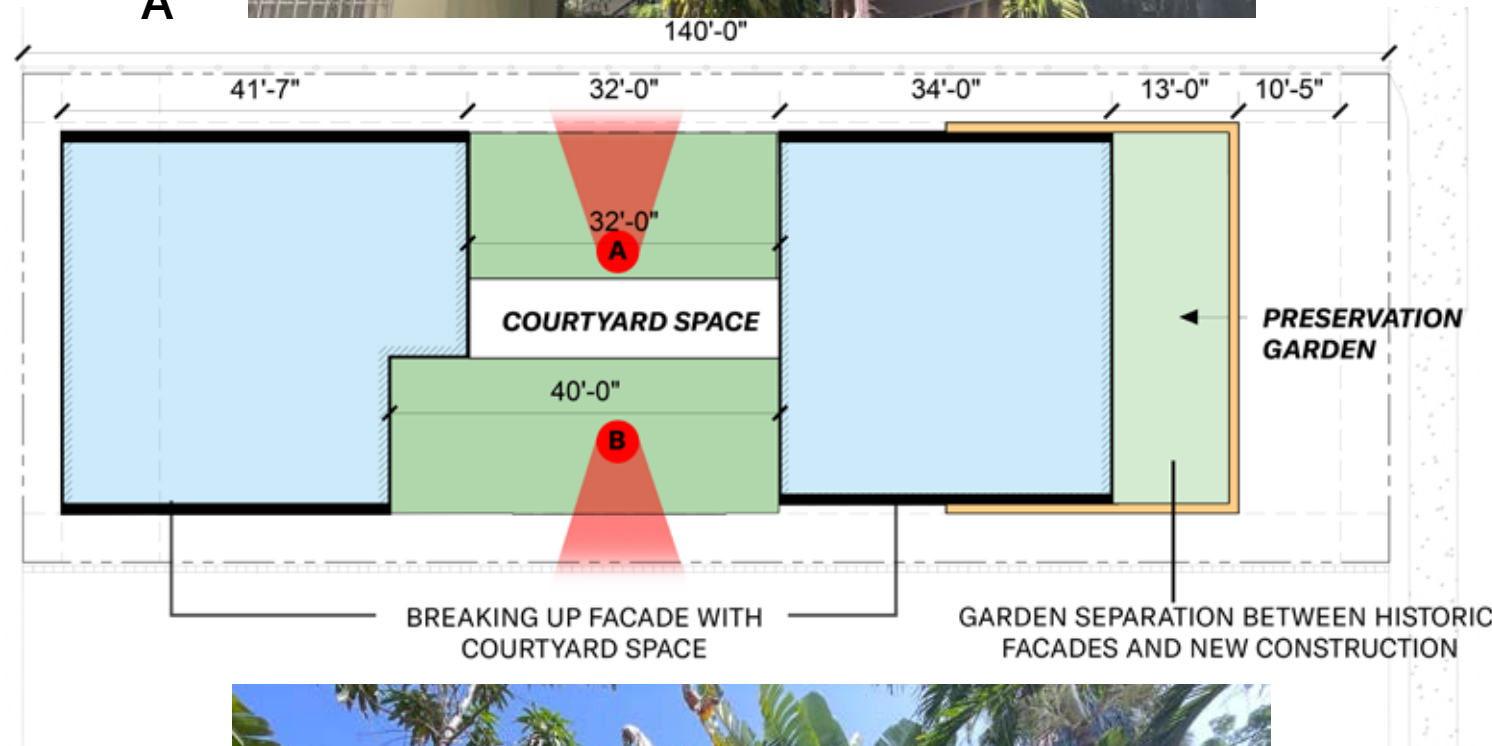
Date: 07.15.2025
 Scale:
 Revisions:

VARIANCE
 SECTION

V-1



A



B

RESPECTING THE CITY'S INTENTION OF REQUIRING SIDE YARDS FOR EVERY 60' OF SIDE ELEVATIONS

7.2.2.3.b - The development regulations for the RS-1, RS-2, RS-3, RS-4 single-family residential districts are as follows:

2. Two Story Houses Standards.

Two-story side elevations located parallel to a side property line shall not exceed 50 percent (50%) of the lot depth, or 60 feet, whichever is less, without incorporating additional open space, in excess of the minimum required side yard, directly adjacent to the required side yard. The additional open space shall be regular in shape, open to the sky from grade, and at least 8 feet in depth, measured perpendicular from the minimum required side setback line. The square footage of the additional open space shall not be less than one percent (1%) of the lot area. The elevation (height) of the open space provided shall not exceed the elevation of the first habitable floor, and at least 50 percent (50%) of the required interior open space area shall be sodded or landscaped previous open space. The additional open space may contain mechanical equipment. The intent of this regulation shall be to break up long expanses of uninterrupted two-story volume at or near the required side yard setback line and exception from the minimum requirements of this provision may be granted only through historic preservation board, or design review board approval, as may be applicable, in accordance with the applicable design review or appropriateness criteria.

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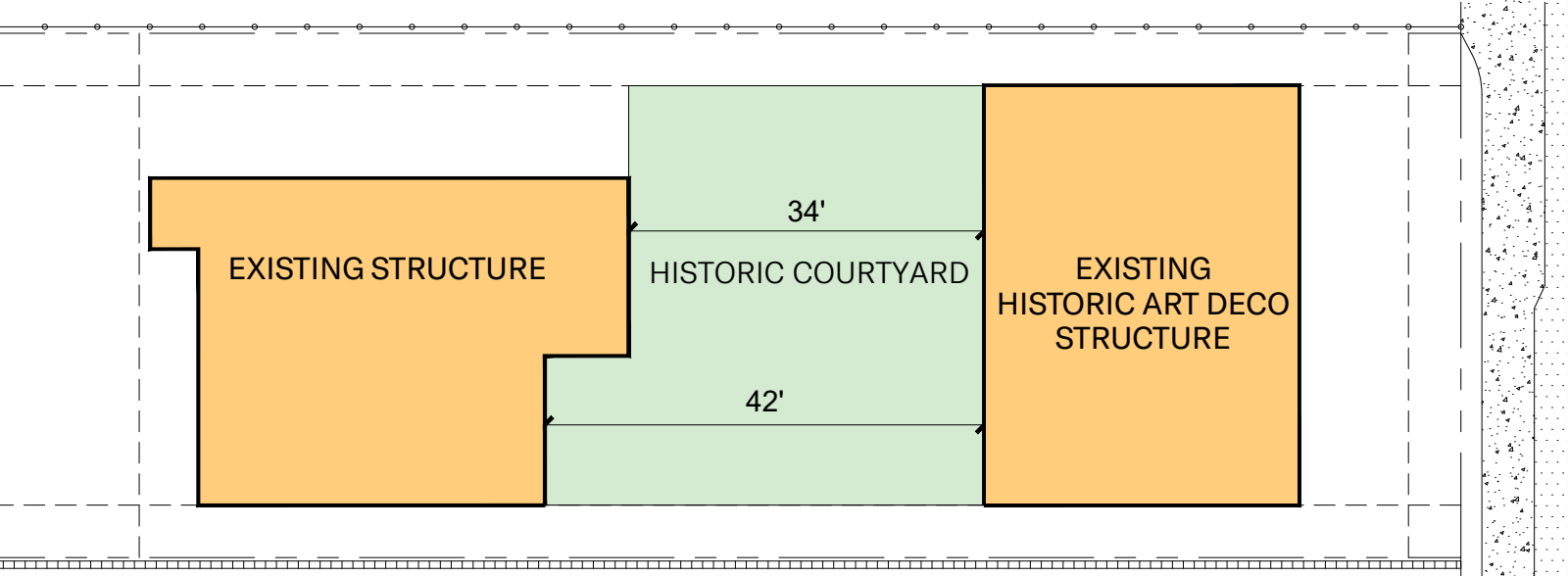
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Scale:
Revisions:

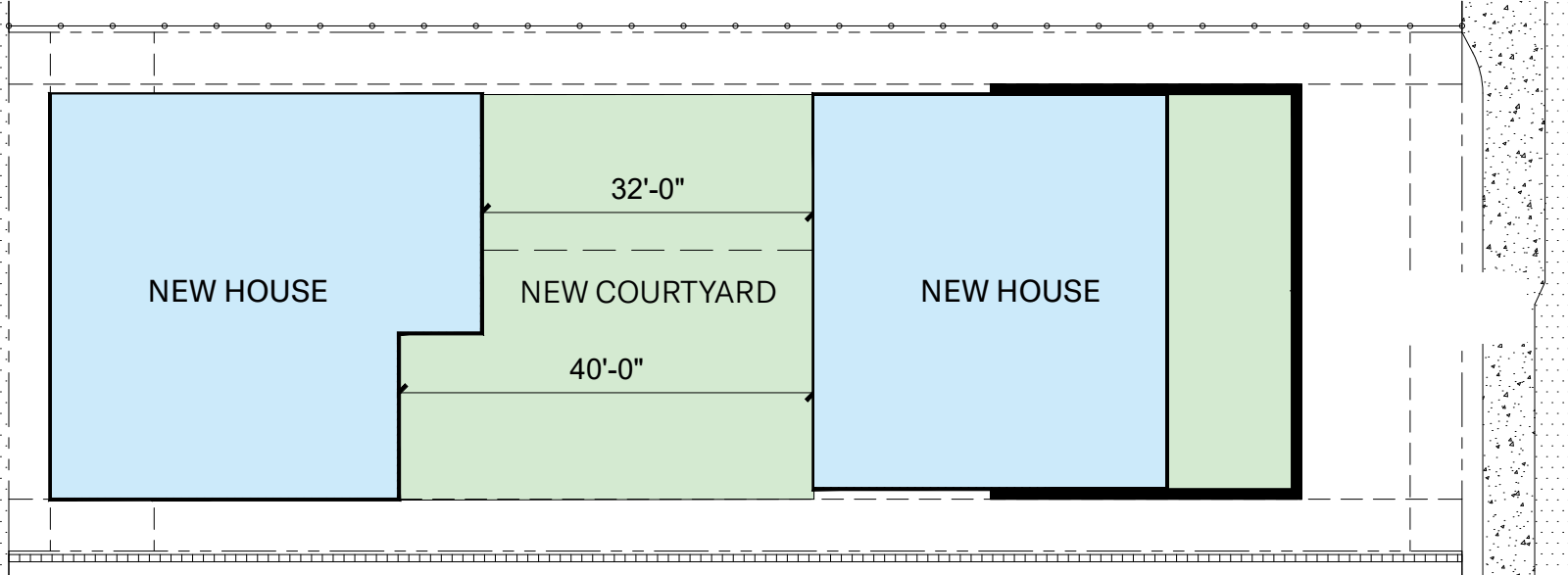
COURTYARD SIDE YARD

V-6

HISTORICAL COURTYARD PRESERVING A SOUTH BEACH TYPOLOGY



EXISTING HISTORIC COURTYARD



PROPOSED COURTYARD

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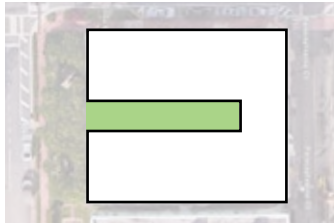
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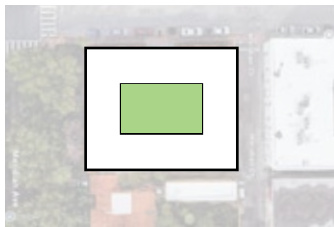
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HISTORIC
COURTYARD



Henderson Condo - 1051 Euclid Ave
built in 1940



Parc Vendome Condo - 736 13th Street
built in 1936



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**SOUTH BEACH
HISTORIC
COURTYARD
TYPOLOGY**



Historic Entry Portal

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RENDER

10.13.25 SUPPLEMENTAL DOCUMENTATION

FRONT ELEVATION OPTIONS

Date: 07.15.2025
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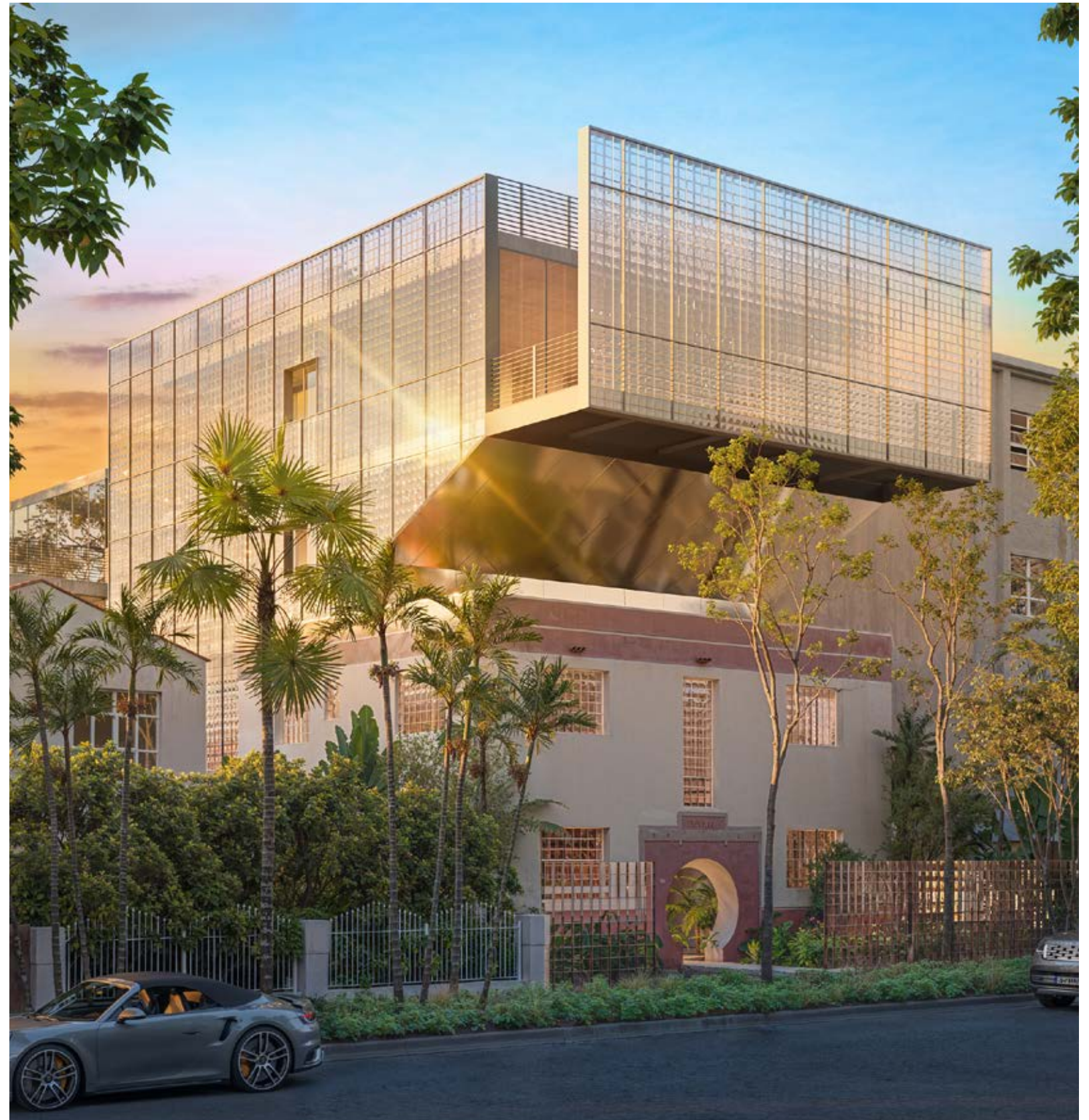
SUPPLEMENTAL
DOCUMENTATION



1 EAST ELEVATION
not to scale



2 SOUTH ELEVATION
not to scale



3 3D RENDER
not to scale

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Original Design | 17ft Glass Block Wall



1 3D RENDER
not to scale

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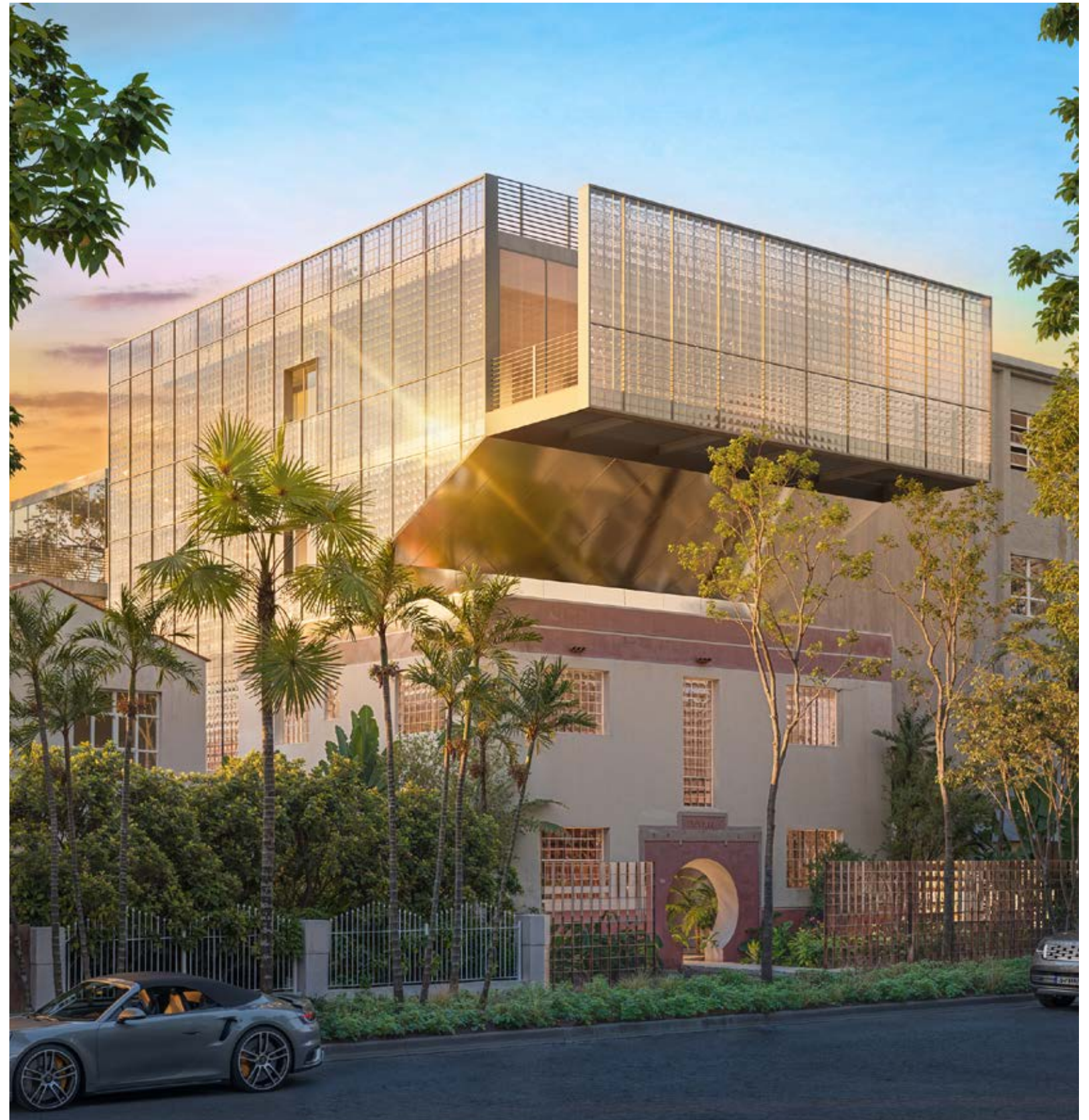
Original Design | 17ft Glass Block Wall



1 EAST ELEVATION
not to scale



2 SOUTH ELEVATION
not to scale



3 3D RENDER
not to scale

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Revised Design | 13.5ft Glass Block Wall



1 3D RENDER
not to scale

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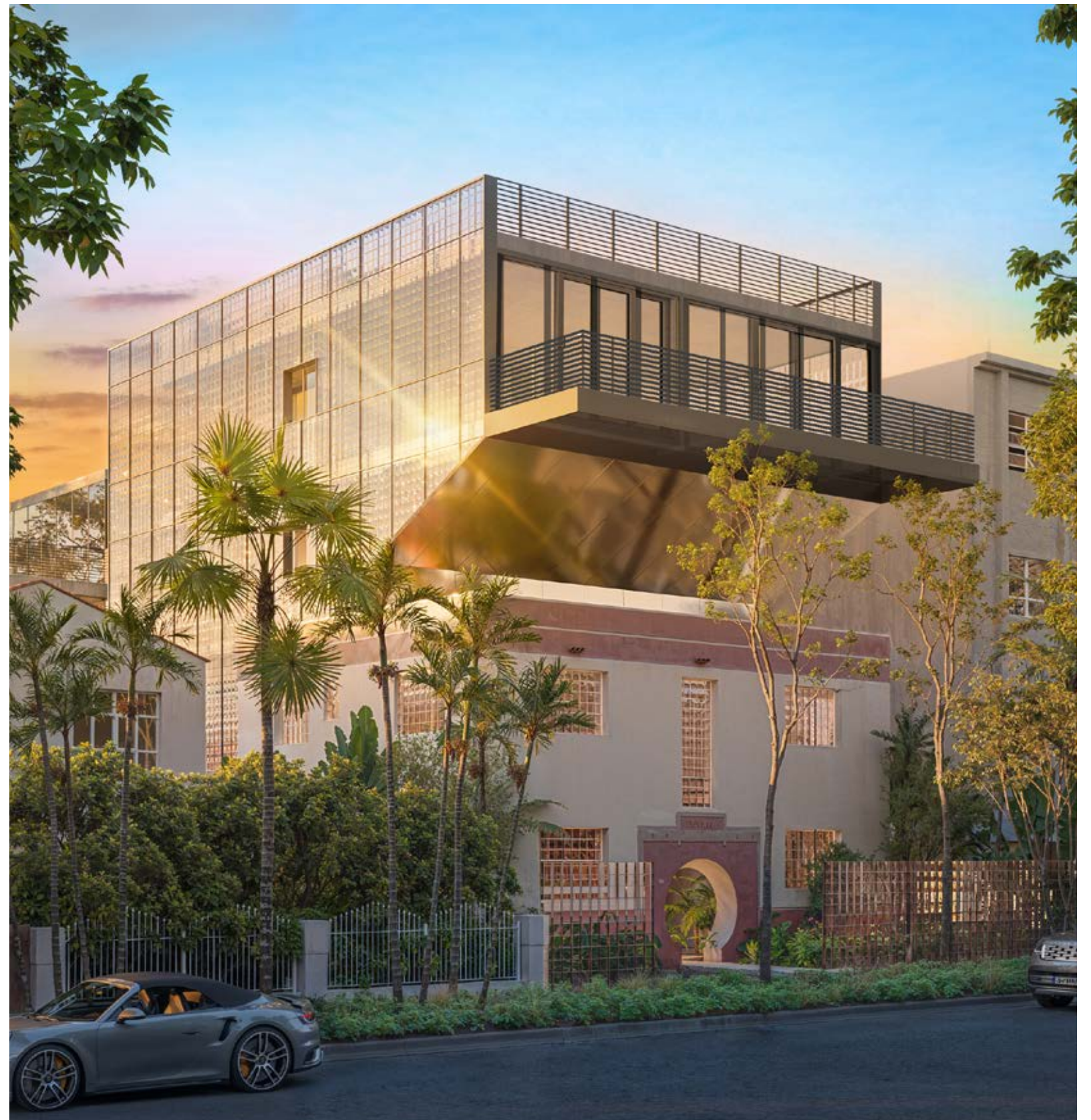
Revised Design | 13.5ft Glass Block Wall



1 EAST ELEVATION
not to scale



2 SOUTH ELEVATION
not to scale



3 3D RENDER
not to scale

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Exposed Facade | No Glass Block Wall



1 3D RENDER
not to scale

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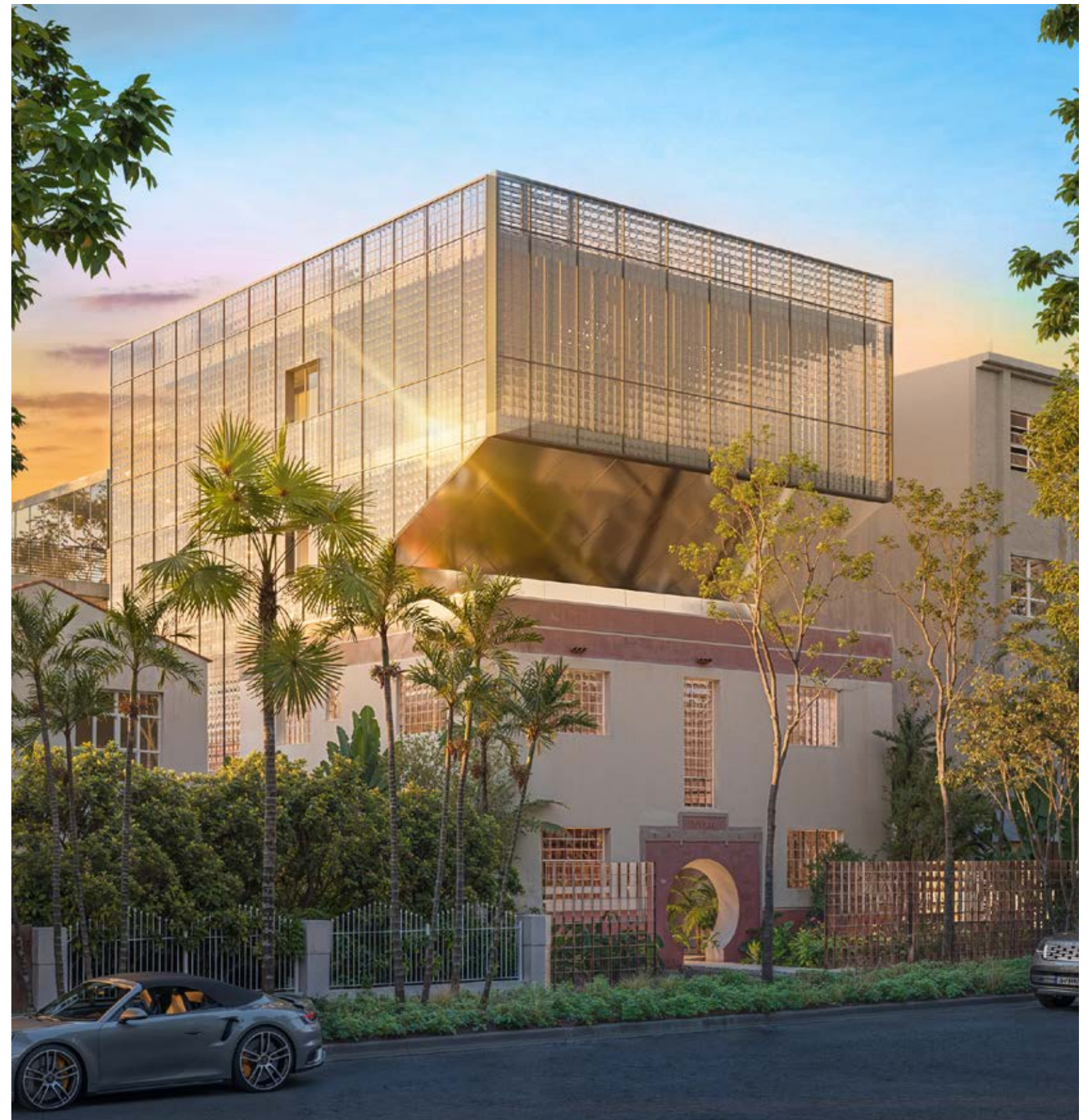
Exposed Facade | No Glass Block Wall



1 EAST ELEVATION
not to scale



2 SOUTH ELEVATION
not to scale



3 3D RENDER
not to scale

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No Overhang | No Outdoor Terrace



1 3D RENDER
not to scale

Rene Gonzalez Architects
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No Overhang | No Outdoor Terrace



336 MERIDIAN AVENUE RESIDENCE

336 MERIDIAN AVENUE
 MIAMI BEACH, FL 33139

FINAL SUBMITTAL - August 24, 2025
 HPB25-0663

SCOPE OF WORK

- PRESERVATION OF FRONT AND SIDE FACADES OF EAST BUILDING
- PARTIAL DEMOLITION OF EAST BUILDING
- FULL DEMOLITION OF WEST BUILDING
- NEW CONSTRUCTION OF SINGLE FAMILY HOME

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- L-204 THIRD FLOOR AND ROOF PLANTING PLAN

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COVER SHEET

A-0

MERIDIAN AVENUE

NOTE:
 - ELEVATIONS SHOWN ARE NGVD29
 - BENCHMARK USED: D-116
 - ELEVATION: 5.03' NGVD29

LOT 5
 BLOCK 76
 "OCEAN BEACH ADDITION NO.3"
 P.B.2-PG.81

140.00' (P)(M)

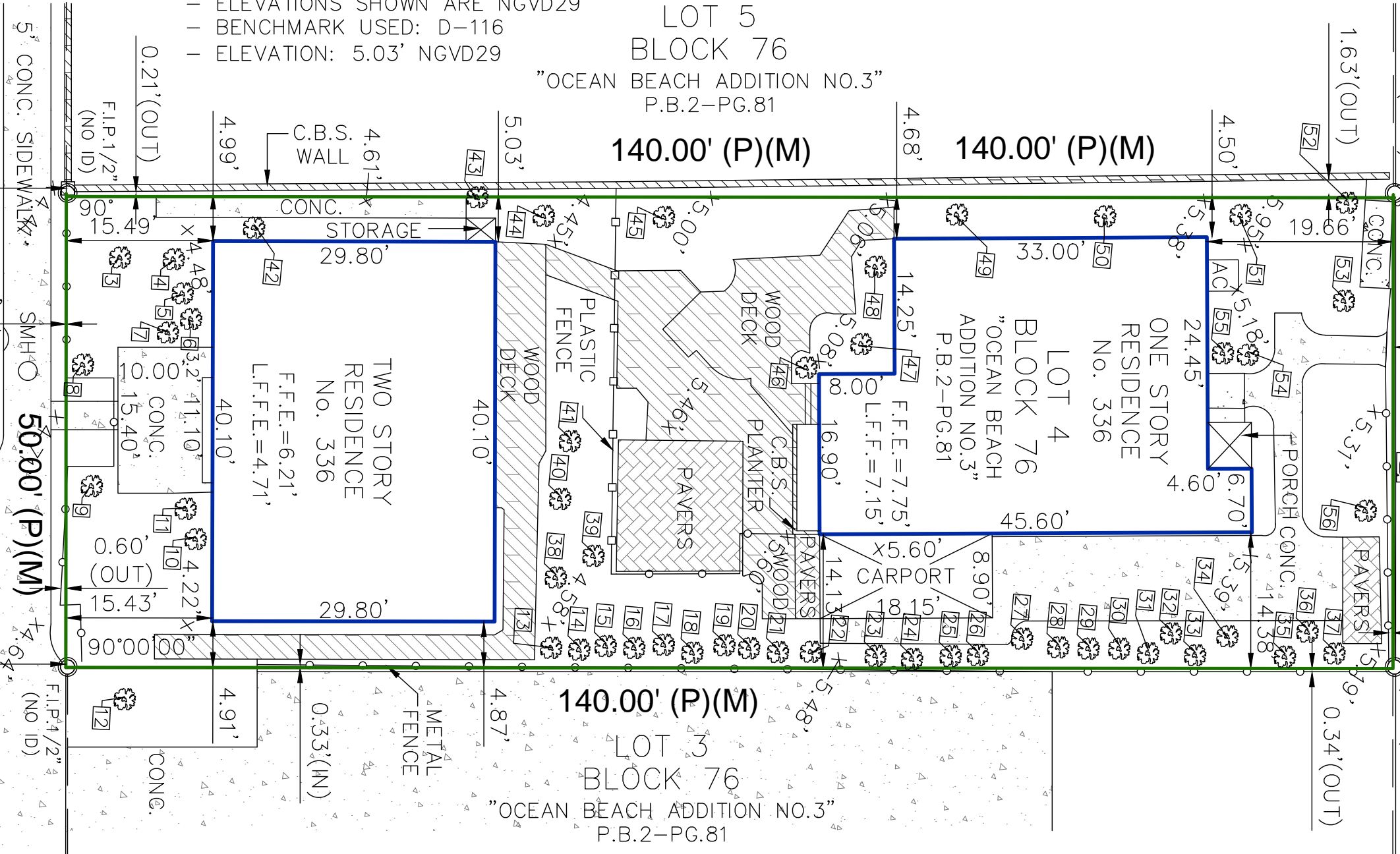
140.00' (P)(M)

50.00' (P)(M)

140.00' (P)(M)

LOT 3
 BLOCK 76
 "OCEAN BEACH ADDITION NO.3"
 P.B.2-PG.81

LOT 4
 BLOCK 76
 "OCEAN BEACH
 ADDITION NO.3"
 P.B.2-PG.81



1 SURVEY
 scale: N.T.S.

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SURVEY

SV-1

PROPERTY ADDRESS:
336 MERIDIAN AVENUE
MIAMI BEACH, FLORIDA 33139

BOUNDARY SURVEY



LEGAL DESCRIPTION:

LOT 4, OF BLOCK 76, OF OCEAN BEACH ADDITION NO. 3, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

CERTIFIED TO:

KINDREDFRUIT PROPERTIES, LLC.
SELF
ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTEREST MAY APPEAR.

GENERAL NOTES:

- LEGAL DESCRIPTION USED TO PERFORM THIS SURVEY WAS SUPPLIED BY OTHERS. THIS SURVEY DOES NOT DETERMINE OR IS NOT TO IMPLY OWNERSHIP.
- THIS SURVEY ONLY SHOWS ABOVE GROUND IMPROVEMENTS. UNDERGROUND UTILITIES, FOOTINGS, OR ENCROACHMENTS ARE NOT LOCATED ON THIS SURVEY MAP.
- IF THERE IS A SEPTIC TANK, WELL OR DRAIN FIELD ON THIS SURVEY, THE LOCATION OF SUCH ITEMS WAS SHOWN TO US BY OTHERS AND THE INFORMATION WAS NOT VERIFIED.
- EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECT THIS PROPERTY.
- THE LANDS SHOWN HEREIN WERE NOT ABSTRACTED FOR EASEMENT OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PLAT.
- WALL TIES ARE TO THE FACE OF THE WALL.
- FENCE OWNERSHIP NOT DETERMINED.
- BEARINGS REFERENCED TO LINE NOTED AS B.R.
- DIMENSIONS SHOWN ARE PLATTED AND MEASURED UNLESS OTHERWISE SHOWN.
- NO IDENTIFICATION FOUND ON PROPERTY CORNERS UNLESS NOTED.
- NOT VALID UNLESS SEALED WITH THE SIGNING SURVEYOR'S EMBOSSED SEAL.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE.
- ELEVATIONS IF SHOWN ARE BASED UPON N.G.V.D. 1929 UNLESS OTHERWISE NOTED.
- THIS IS A BOUNDARY SURVEY UNLESS OTHERWISE NOTED.
- THIS BOUNDARY SURVEY IS EXCLUSIVE FOR THE USE PARTIES TO WHOM IT IS CERTIFIED. THE CERTIFICATIONS DO NOT EXTEND TO ANY UNNAMED PARTIES.
- THIS SURVEY SHALL NOT BE USED FOR CONSTRUCTION/PERMITTING PURPOSES WITHOUT WRITTEN CONSENT FROM THE LAND SURVEYOR WHO HAS SIGNED AND SEAL THIS SURVEY.

SURVEYOR'S CERTIFICATION: I HEREBY CERTIFY THAT THIS "BOUNDARY SURVEY" IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. THIS COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS, AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPER IN CHAPTER 5J-17.051, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.007, FLORIDA STATUTES.

SIGNED **Digitally signed by Miguel Espinosa** FOR THE FIRM
Date: 2025.06.04
MIGUEL ESPINOSA P.S.M. No. 5101-STATE OF FLORIDA
10:48:15 -04'00'

NOT VALID WITHOUT AN AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL AND/OR THIS MAP IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A LICENSE SURVEYOR AND MAPPER.

ABBREVIATIONS AND LEGENDS:

A	ARC	E.M.H.	ELECTRIC MAN HOLE	N.G.V.D.	NATIONAL GEODETIC VERTICAL DATUM	TYP.	TYPICAL		CATCH BASIN
A/C	AIR CONDITIONER	E.T.	ELECTRIC TRANSFORMER	N.&D.	FOUND NAIL & DISC	U.E.	UTILITY EASEMENT		CENTER LINE
B.M.	BENCH MARK	ENC.	ENCROACHMENT	OS	OFFSET	U.P.	UTILITY POLE		MONUMENT LINE
B.O.B.	BASES OF BEARINGS	E.BOX	ELECTRIC BOX	O.R.B.	OFFICIAL RECORD BOOK	W	WEST		CENTRAL ANGLE
BR.	BEARING REFERENCE	F.F. ELEV.	FINISHED FLOOR ELEVATION	OUL	OVERHEAD UTILITY LINES	WM	WATER METER		LIGHT POLE
B.C.	BLOCK CORNER	F.N.	FOUND NAIL	(P)	PLAT	WV	WATER VALVE		WATER METER
CATV	CABLE TELEVISION RISER	F.I.P.	FOUND IRON PIPE	P.E.	POOL EQUIPMENT	ASPH.	ASPHALT		CONCRETE POLE
C.M.E.	CANAL MAINTENANCE EASEMENT	F.I.R.	FOUND IRON ROD	P.C.	POINT OF CURVATURE		LINE		VALVE
(C)	CALCULATED	F.P.K.	FOUND PK NAIL	P.C.C.	POINT OF COMPOUND CURVATURE		PROPERTY LINE		ELECTRIC BOX
C.B.S.	CONCRETE BLOCK STRUCTURE	F.D.	FOUND DISC	PL	PLANTER		BOUNDARY LINE		ANCHOR
CH.	CHORD	F.P.L.	FLORIDA POWER LIGHT	P.O.B.	POINT OF BEGINNING		C.B.S. WALL		WELL
C.M.E.	CANAL MAINTENANCE EASEMENT	G.M.	GAS METER	P.O.C.	POINT OF COMMENCEMENT		METAL FENCE		HANDICAP SPACE
CH. BR.	CHORD BEARING	I.E. & E.E.	INGRESS AND EGRESS EASEMENT	P.R.C.	POINT OF REVERSE CURVATURE		WOOD FENCE		POWER POLE
CONC.	CONCRETE SLAB	L.A.E.	LIMITED ACCESS EASEMENT	P.R.M.	POINT OF REVERSE CURVATURE		PLASTIC FENCE		FIRE HYDRANT
(D)	DEED	L.B.#	LICENSE BUSINESS NUMBER	P.C.P.	PERMANENT CONTROL POINT		CHAIN LINK FENCE		DEGREE
D.E.	DRAINAGE EASEMENT	(M)	MEASURED	R	RADIUS		CENTER LINE		MINUTES OR FEET
D.M.E.	DRAINAGE AND MAINTENANCE EASEMENT	M.E.	MAINTENANCE EASEMENT	(R)	RECORDED		MONUMENT LINE		SECONDS
D.H.	DRILL HOLE	MH	MAN HOLE	S	SOUTH		OVERHEAD CABLE		ELEVATION
E	EAST	N	NORTH	T	TANGENT		UTILITY EASEMENT		
ELEV.	ELEVATION	N.R.	NON RADIAL						

TREE TABULATION				
#	COMMON NAME	TRUNK (Diameter)	CANOPY (Diameter)	HEIGHT
1	QUERCUS AGROFILIN TREE	3.00'	45.00'	50.00'
2	QUERCUS AGROFILIN TREE	0.90'	25.00'	45.00'
3	PALM TREE	0.80'	6.00'	12.00'
4	THREE PALMS TREE	3.00'	11.00'	45.00'
5	THREE PALMS TREE	3.00'	11.00'	45.00'
6	PALM TREE	0.60'	8.00'	50.00'
7	PALM TREE	0.60'	8.00'	50.00'
8	TWO PALMS TREE	1.80'	10.00'	35.00'
9	TWO PALMS TREE	1.80'	10.00'	35.00'
10	PALM TREE	0.50'	10.00'	30.00'
11	TWO PALMS TREE	2.80'	12.00'	35.00'
12	PALM TREE	1.10'	20.00'	30.00'
13	THREE PALMS TREE	1.70'	15.00'	30.00'
14	PALM TREE	0.50'	6.00'	30.00'
15	PALM TREE	0.50'	6.00'	30.00'
16	PALM TREE	0.50'	6.00'	30.00'
17	PALM TREE	0.50'	6.00'	30.00'
18	PALM TREE	0.50'	6.00'	30.00'
19	PALM TREE	0.50'	6.00'	30.00'
20	PALM TREE	0.50'	6.00'	30.00'
21	PALM TREE	0.50'	6.00'	30.00'
22	PALM TREE	0.50'	6.00'	30.00'
23	PALM TREE	0.50'	6.00'	30.00'
24	PALM TREE	0.50'	6.00'	30.00'
25	PALM TREE	0.50'	6.00'	30.00'
26	PALM TREE	0.50'	6.00'	30.00'
27	PALM TREE	0.50'	6.00'	30.00'
28	THREE PALMS TREE	2.30'	10.00'	30.00'
29	THREE PALMS TREE	2.30'	10.00'	30.00'
30	THREE PALMS TREE	1.80'	10.00'	30.00'
31	PALM TREE	0.50'	6.00'	28.00'
32	PALM TREE	0.50'	6.00'	28.00'
33	PALM TREE	0.50'	6.00'	28.00'
34	PALM TREE	0.50'	6.00'	28.00'
35	PALM TREE	0.50'	6.00'	28.00'
36	PALM TREE	0.50'	6.00'	28.00'
37	THREE PALMS TREE	1.80'	10.00'	22.00'
38	THREE PALMS TREE	4.00'	15.00'	30.00'
39	TREE	0.80'	20.00'	35.00'
40	SEVEN PALMS TREE	4.50'	15.00'	30.00'
41	FOUR PALMS TREE	3.00'	12.00'	30.00'
42	THREE PALMS TREE	3.00'	20.00'	30.00'
43	TREE	0.80'	18.00'	27.00'
44	PALM TREE	0.60'	12.00'	30.00'
45	EIGHT PALMS TREE	6.00'	22.00'	28.00'
46	PALM TREE	2.30'	4.00'	7.00'
47	THREE PALMS TREE	0.80'	18.00'	23.00'
48	PALM TREE	1.20'	10.00'	30.00'
49	PRUNUS TREE	0.50'	8.00'	15.00'
50	PRUNUS TREE	0.50'	8.00'	15.00'
51	EIGHT PALMS TREE	3.00'	20.00'	30.00'
52	TREE	6.00'	40.00'	45.00'
53	PALM TREE	0.60'	10.00'	35.00'
54	PALM TREE	0.60'	8.00'	15.00'
55	PALM TREE	0.40'	6.00'	7.00'
56	PALM TREE	1.50'	12.00'	18.00'

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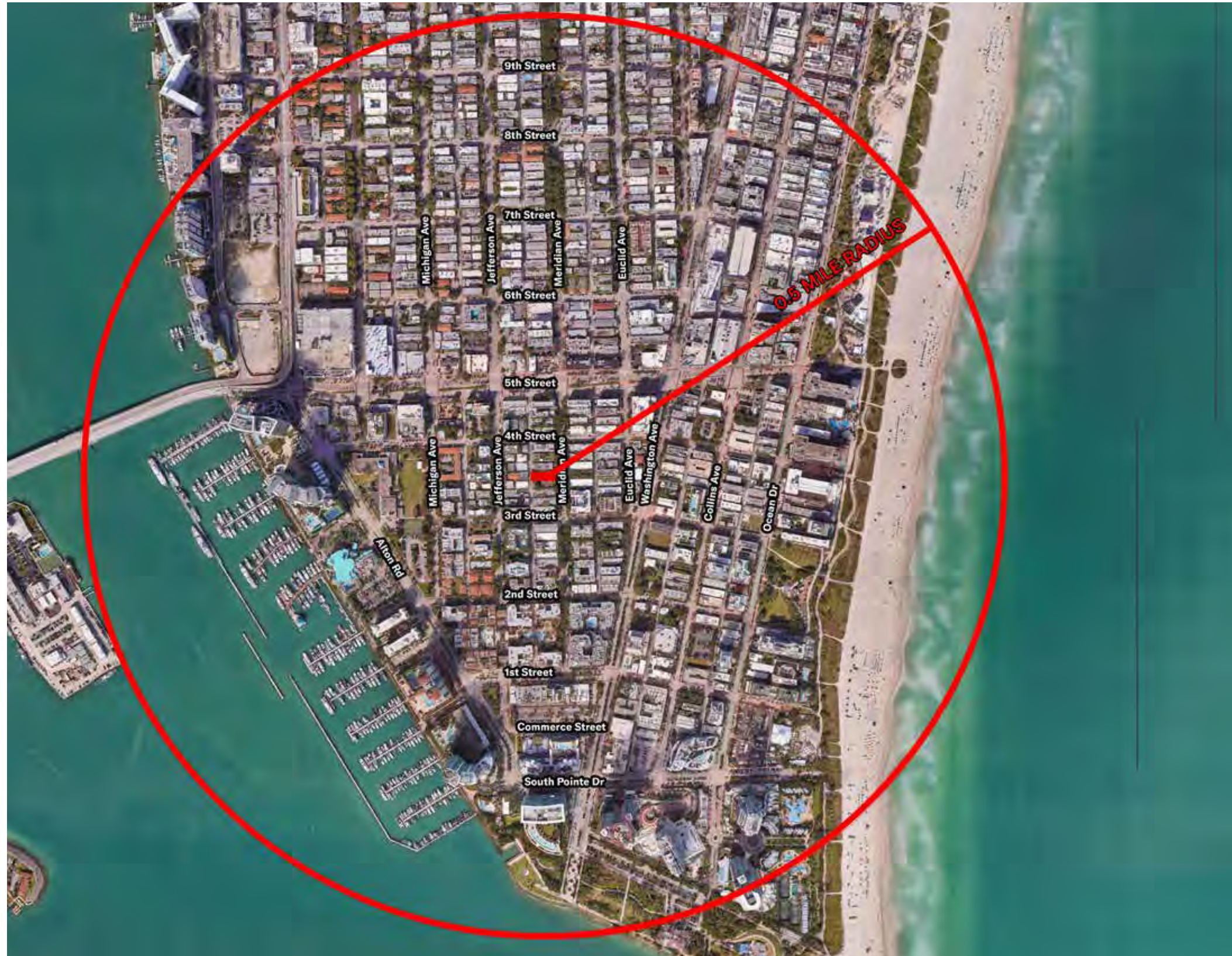
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336 Meridian Ave
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SURVEY

SV-2



Aerial view of surrounding 1/2 mile radius

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AERIAL IMAGES

SD-2



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336 Meridian Ave
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CONTEXT IMAGES

SD-4



300 Meridian Ave



310 Meridian Ave



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CONTEXT IMAGES

SD-5



320 Meridian Ave



326 Meridian Ave



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CONTEXT IMAGES

SD-6



336 Meridian Ave



344 Meridian Ave



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CONTEXT IMAGES

SD-7



350 Meridian Ave



360 Meridian Ave



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CONTEXT IMAGES

SD-8



359 Meridian Ave



349 Meridian Ave

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STATE OF FLORIDA DEPARTMENT OF REVENUE
I hereby certify that Rene Gonzalez Architects, Inc. is a duly licensed professional corporation under the laws of the State of Florida, and is qualified to practice architecture in the State of Florida. License No. AA #0003351. Rene Gonzalez Architects, Inc. is a professional corporation organized under the laws of the State of Florida. The undersigned is a duly licensed professional architect in the State of Florida. License No. AA #0003351. Rene Gonzalez Architects, Inc. is a professional corporation organized under the laws of the State of Florida. The undersigned is a duly licensed professional architect in the State of Florida. License No. AA #0003351.

336 Meridian Ave

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325 Meridian Ave



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CONTEXT IMAGES

SD-10



321 Meridian Ave | Louver House

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Aerial view from Meridian Avenue



Aerial view from Alley (Meridian Ct)



Existing Facade from Meridian Avenue



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SITE IMAGES

SD-12



Existing Front (East) Façade



Existing Front (East) Façade Portal Detail

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SITE IMAGES

SD-13



Existing Side (North) Façade



Existing Side (North) Façade Detail

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SITE IMAGES

SD-15



Existing Rear (West) Façade



Existing Rear (West) Façade Detail

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336 Meridian Ave

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Existing Rear (West) Façade Details

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336 Meridian Ave

336 Meridian Ave
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Date: 07.15.2025
Scale:
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SITE IMAGES

SD-17



Existing Side (South) Façade Details

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336 Meridian Ave

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SITE IMAGES

SD-18



Additional Rear Building

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336 Meridian Ave

336 Meridian Ave
Miami Beach, FL 33139

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SITE IMAGES

SD-19

Planning Department
 1700 Convention Center Drive, 2nd Floor
 Miami Beach, Florida 33139, www.miamibeachfl.gov
 305.673.7550

COMMERCIAL - ZONING DATA SHEET

ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY RESULT IN A FAILED REVIEW

ITEM #	Project Information				
1	Address: 336 Meridian Ave, Miami Beach, FL 33139	Folio number(s):	0242030095160	Year built:	1936
2	Board file number(s), Determination of Architectural Significance:	HPB25-0663		Lot Area:	7,000 SF
3	Located within a Local Historic District (Yes or No): Yes	Zoning District:	RPS-2	Lot width:	50 FT
4	Individual Historic Site (Yes or No):	No		Lot Depth:	140 FT
5	Base Flood Elevation:	8'-0" NGVD	Grade value in NGVD:	4'-6" NGVD	
6	Future Adjusted Grade (BFE+Grade / 2):	6'-3" NGVD	Free board:	5'-0"	
7	Proposed Use:	Single Family Home			
8	Proposed Accessory Use:	N/A			
9	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan):	Yes, provided			
	ZONING INFORMATION / CALCULATION	Required	Existing	Proposed	Deficiencies
13	Floor Area Ratio (FAR)	10,500 SF	3,593 SF	8,955 SF	
14	Building Height	40 FT	25 FT	40 FT	
15	At grade parking lot on the same lot	N/A	N/A	N/A	
a	Front setbacks	5'-0"	15'-5"	5'-0"	
b	Side interior setback	5'-0"	5'-0"	5'-0"	
c	Side facing street setback	N/A	N/A	N/A	
d	Rear setback	14'-0"	15'-0"	4'-0"	Variance Requested
16	Subterranean, Pedestal & Tower (non-Oceanfront)	Required	Existing	Proposed	Deficiencies
a	Front setbacks	5'-0"	N/A	N/A	
b	Side interior setback	5'-0"	N/A	N/A	
c	Side facing street setback	N/A	N/A	N/A	
d	Rear setback	14'-0"	N/A	N/A	
17	Subterranean, Pedestal & Tower (non-Oceanfront)	Required	Existing	Proposed	Deficiencies
a	Front setbacks	N/A	N/A	N/A	
b	Side interior setback	N/A	N/A	N/A	
c	Side facing street setback	N/A	N/A	N/A	
d	Rear setback	N/A	N/A	N/A	
18	Minimum Apartment Unit Size	Required	Existing	Proposed	Deficiencies
a	New Construction	650 SF	648 SF	N/A	
b	Rehabilitated Buildings	400 SF	N/A	N/A	
c	Hotel Unit	N/A	N/A	N/A	
19	Average Apartment Unit Size	Required	Existing	Proposed	Deficiencies
a	New Construction	N/A	N/A	N/A	
b	Rehabilitated Buildings	N/A	N/A	N/A	
c	Hotel Unit	N/A	N/A	N/A	
20	Required Open-space ratio (RPS, CPS)	4,550 SF (65%)	4,607 SF (66%)	4,679 SF (68%)	
21	Parking	2	2	2	
22	Loading	N/A	N/A	N/A	

Notes: Indicate N/A if not applicable.

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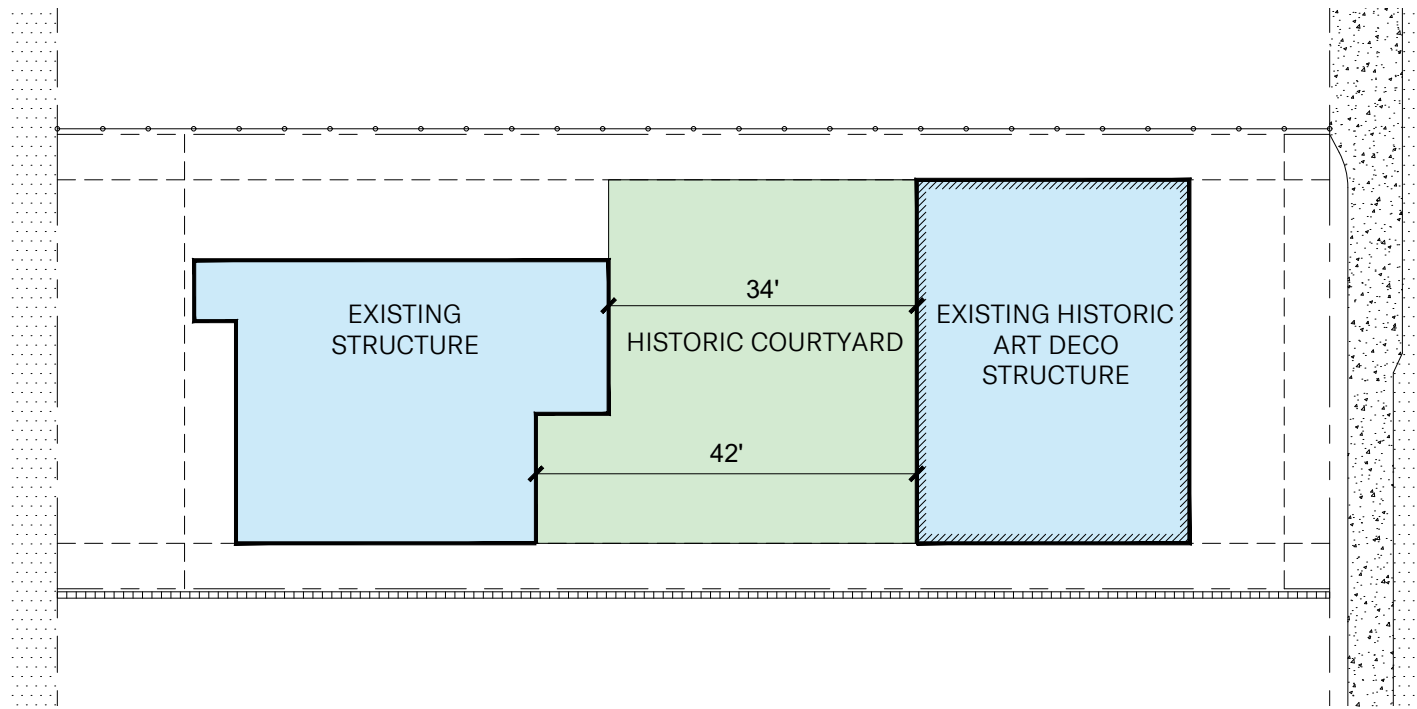
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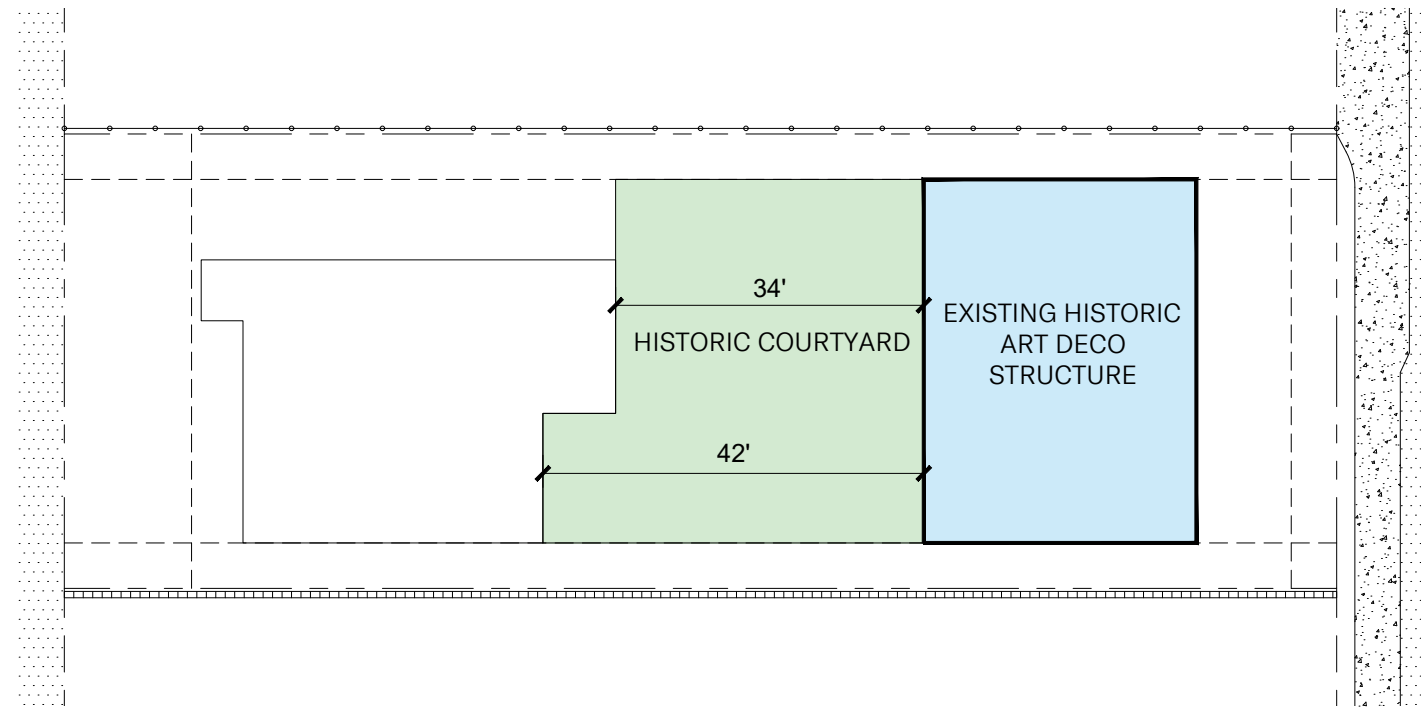
ZONING INFORMATION

Z-1



2,393 SQ.FT. FAR

1 GROUND FLOOR EXISTING FAR
scale: N.T.S.



1,200 SQ.FT. FAR

2 FIRST FLOOR EXISTING FAR
scale: N.T.S.

FAR CALCULATIONS:

FAR GROUND FLOOR: 2,393 SQ.FT.

FAR FIRST FLOOR: 1,200 SQ.FT.

FAR TOTAL: 3,593 SQ.FT.

FAR ALLOWABLE: 10,500 SQ.FT.

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EXISTING FAR
DIAGRAM



634 SQ.FT. FAR

FAR CALCULATIONS:

FAR GROUND FLOOR:	634 SQ.FT.
FAR FIRST FLOOR:	2,522 SQ.FT.
FAR SECOND FLOOR:	2,227 SQ.FT.
FAR THIRD FLOOR:	3,200 SQ.FT.
FAR TOTAL:	8,583 SQ.FT.
FAR ALLOWABLE:	10,500 SQ.FT.

1 GROUND FLOOR PLAN
scale: 3/32" = 1'-0"

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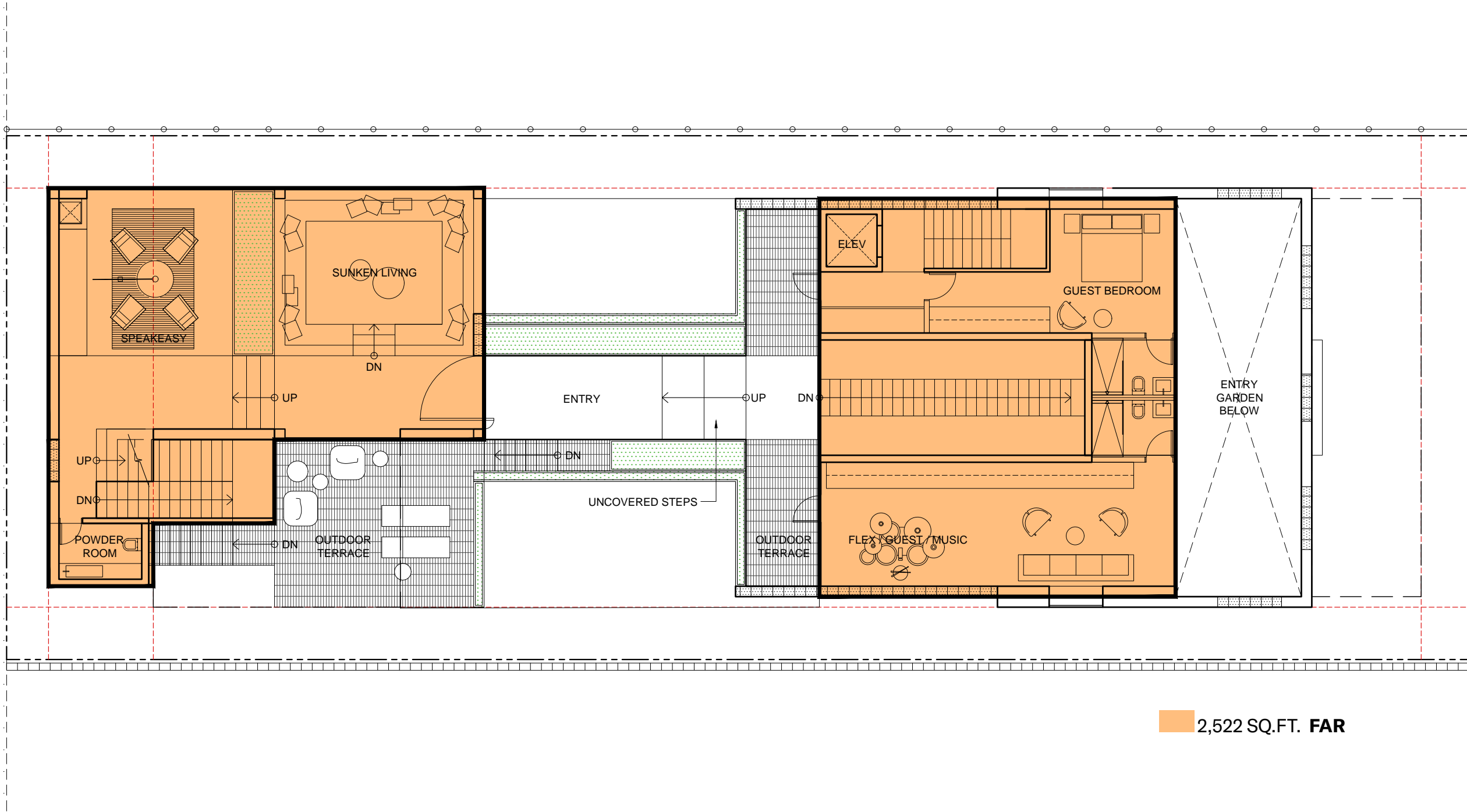
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336 Meridian Ave
Miami Beach, FL 33139

Date: 07.15.2025
Scale:
Revisions:

PROPOSED FAR
DIAGRAM



FAR CALCULATIONS:

FAR GROUND FLOOR:	634 SQ.FT.
FAR FIRST FLOOR:	2,522 SQ.FT.
FAR SECOND FLOOR:	2,227 SQ.FT.
FAR THIRD FLOOR:	3,200 SQ.FT.
FAR TOTAL:	8,583 SQ.FT.
FAR ALLOWABLE:	10,500 SQ.FT.

2,522 SQ.FT. FAR

1 FIRST FLOOR PLAN
scale: 3/32" = 1'-0"

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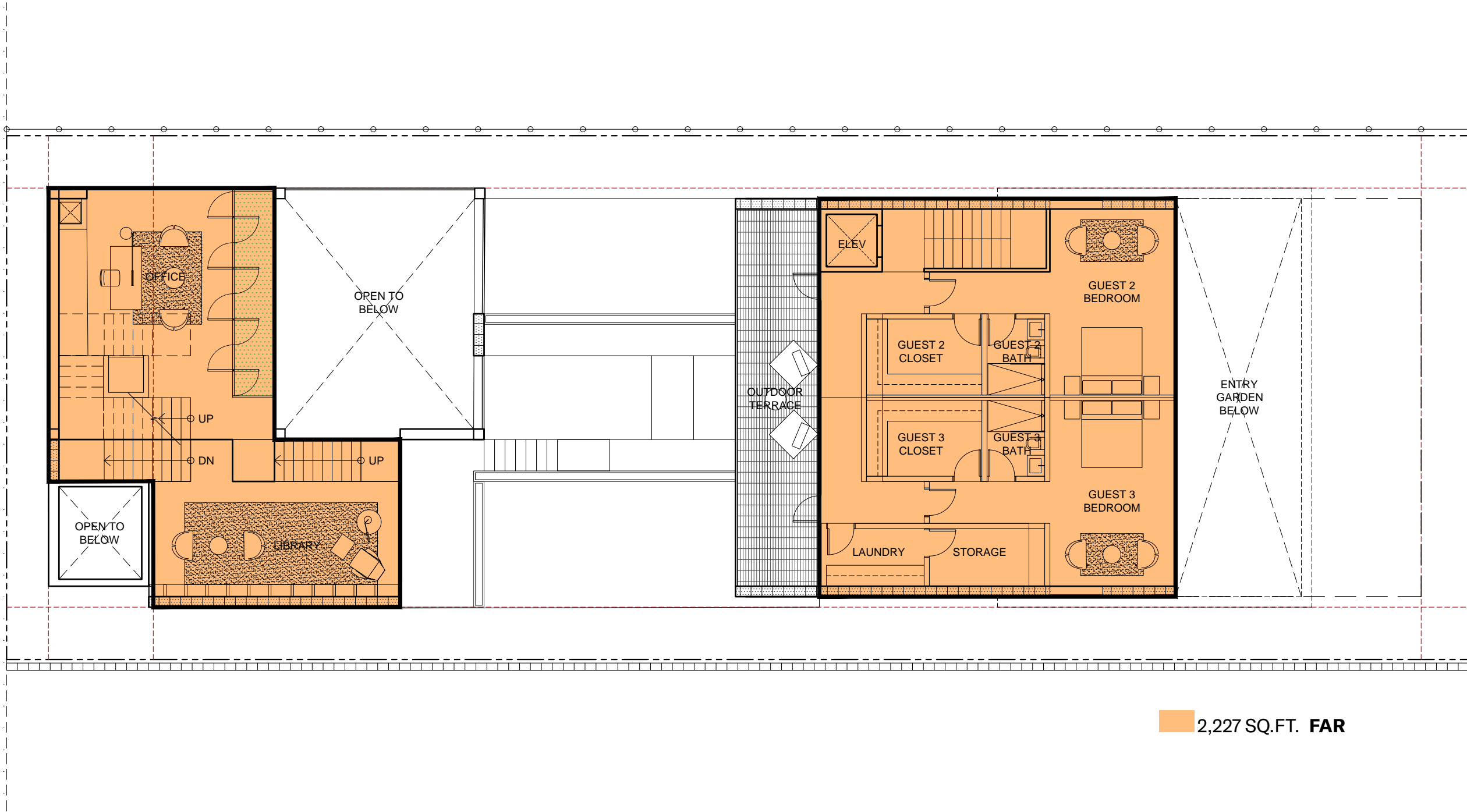
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Revisions:

PROPOSED FAR
DIAGRAM



2,227 SQ.FT. FAR

FAR CALCULATIONS:

- FAR GROUND FLOOR: 634 SQ.FT.
- FAR FIRST FLOOR: 2,522 SQ.FT.
- FAR SECOND FLOOR: 2,227 SQ.FT.
- FAR THIRD FLOOR: 3,200 SQ.FT.
- FAR TOTAL: 8,583 SQ.FT.**
- FAR ALLOWABLE: 10,500 SQ.FT.

1 SECOND FLOOR PLAN
scale: 3/32" = 1'-0"

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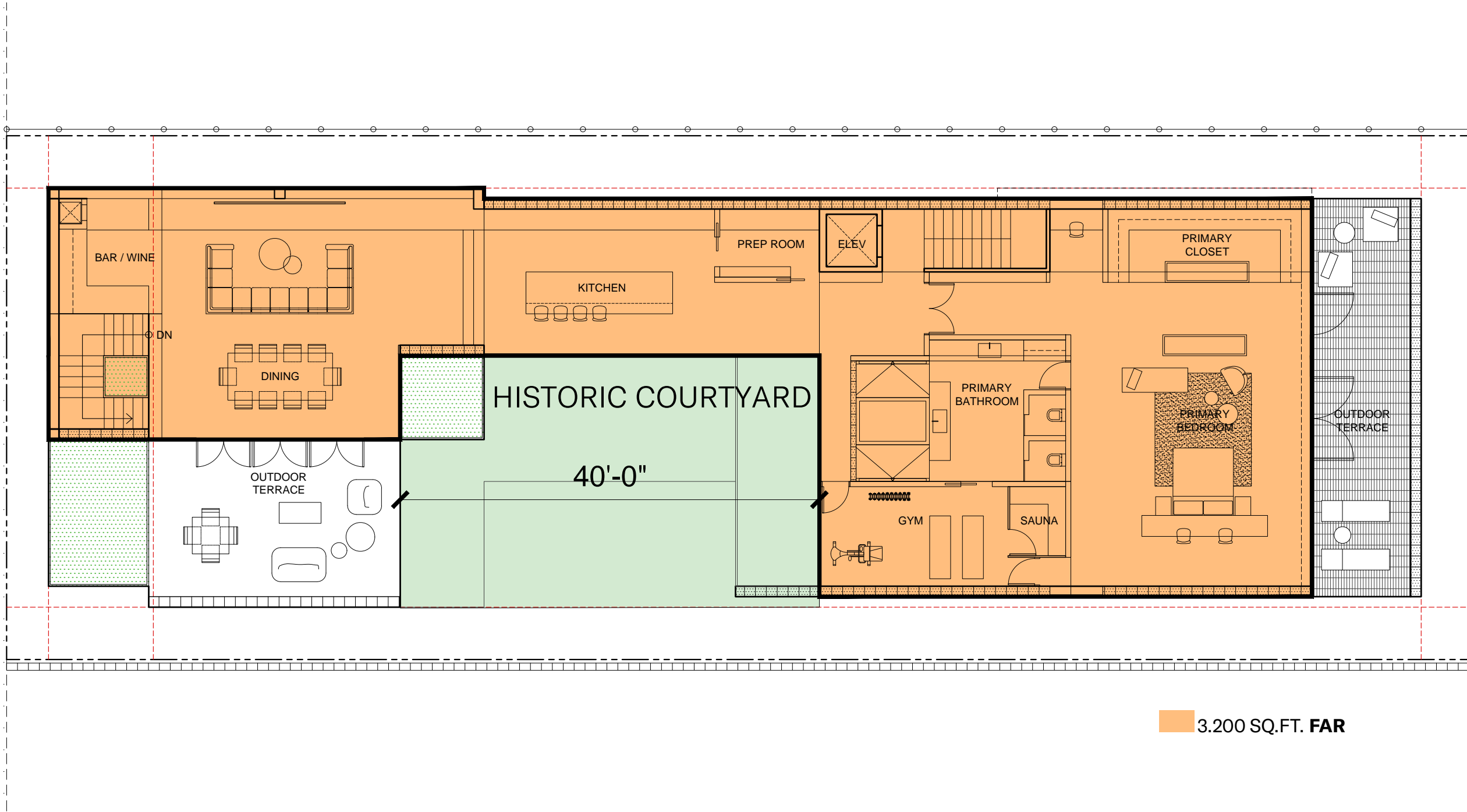
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PROPOSED FAR
DIAGRAM



FAR CALCULATIONS:

FAR GROUND FLOOR:	634 SQ.FT.
FAR FIRST FLOOR:	2,522 SQ.FT.
FAR SECOND FLOOR:	2,227 SQ.FT.
FAR THIRD FLOOR:	3,200 SQ.FT.
FAR TOTAL:	8,583 SQ.FT.
FAR ALLOWABLE:	10,500 SQ.FT.

1 THIRD FLOOR PLAN
scale: 3/32" = 1'-0"

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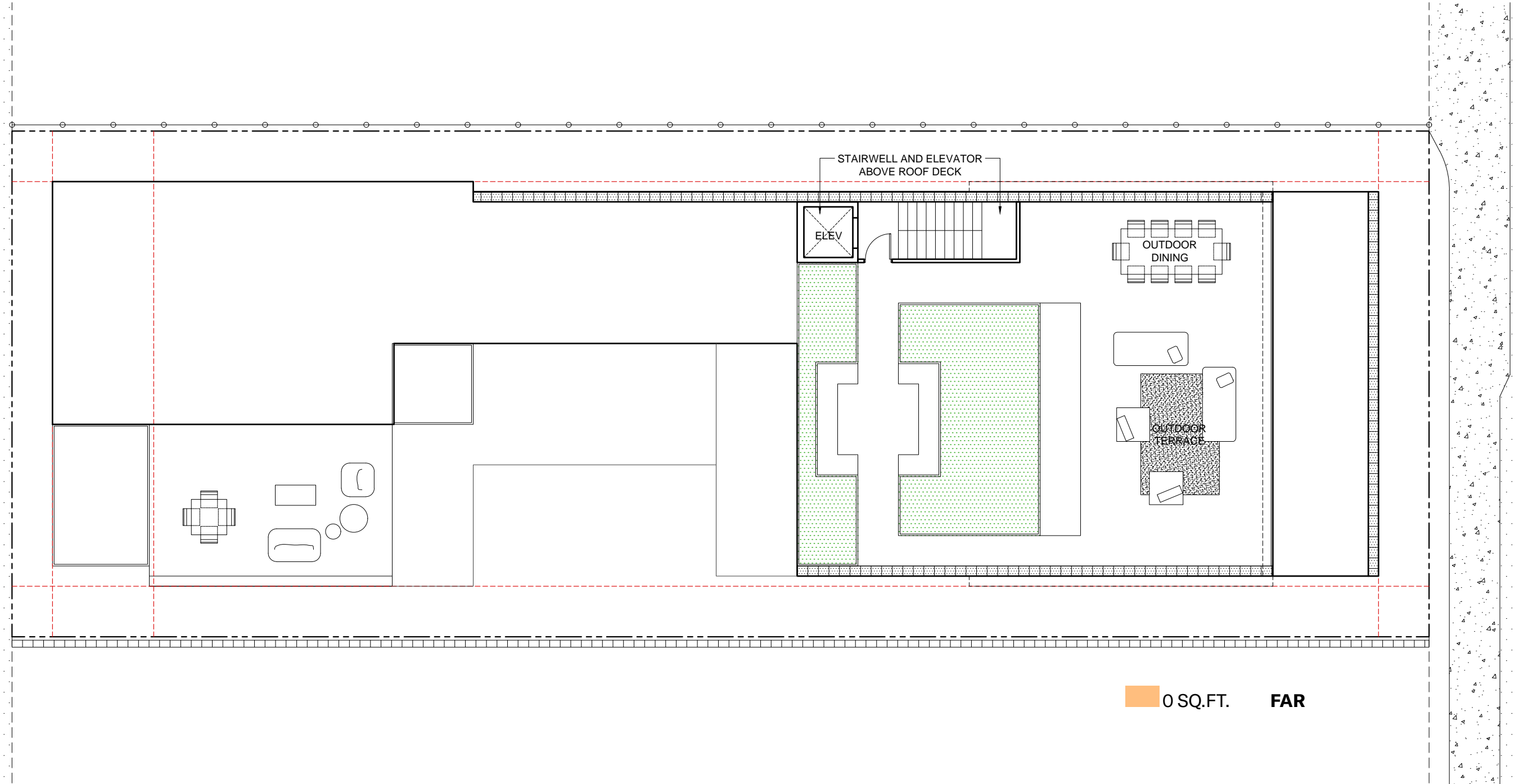
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Scale:
Revisions:

PROPOSED FAR
DIAGRAM

FAR CALCULATIONS:

FAR GROUND FLOOR:	634 SQ.FT.
FAR FIRST FLOOR:	2,522 SQ.FT.
FAR SECOND FLOOR:	2,227 SQ.FT.
FAR THIRD FLOOR:	3,200 SQ.FT.
FAR TOTAL:	8,583 SQ.FT.
FAR ALLOWABLE:	10,500 SQ.FT.



0 SQ.FT. FAR

1 ROOF FLOOR PLAN
scale: 3/32" = 1'-0"

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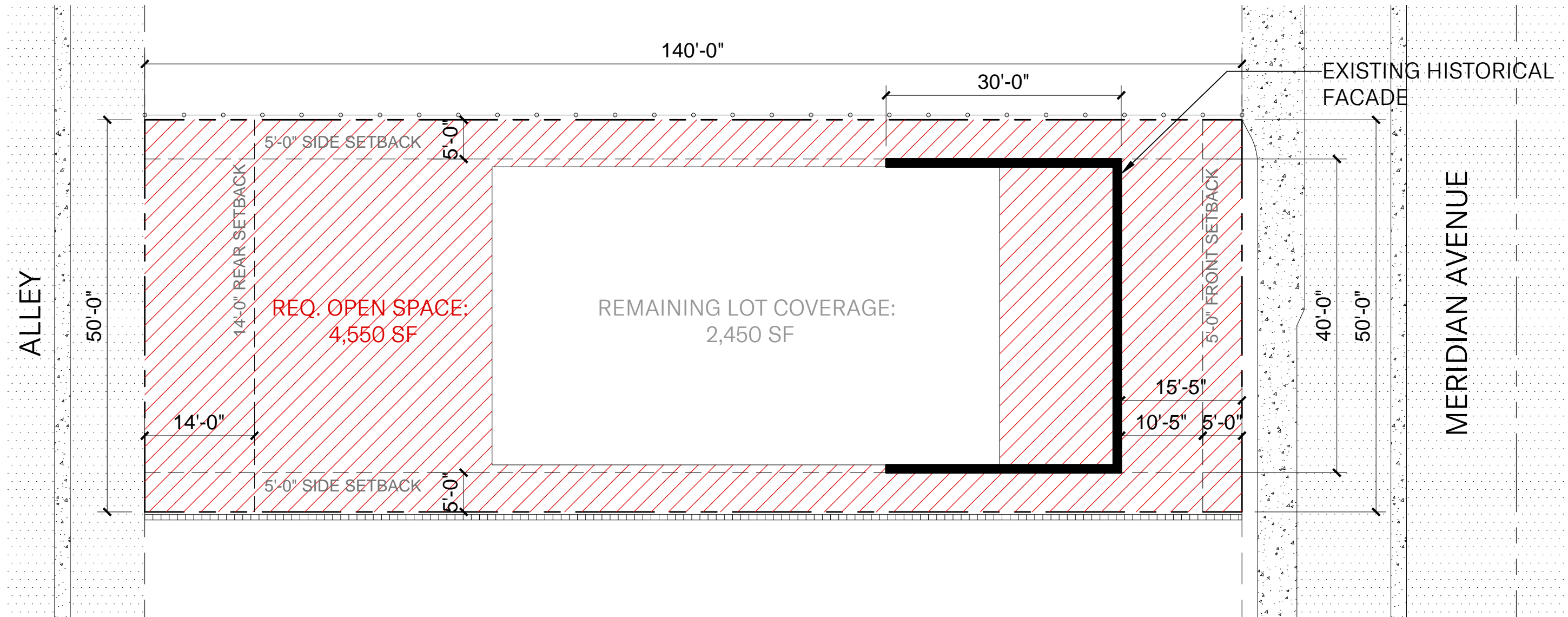
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PROPOSED FAR
DIAGRAM



1 REQUIRED OPEN SPACE DIAGRAM
scale: N.T.S.

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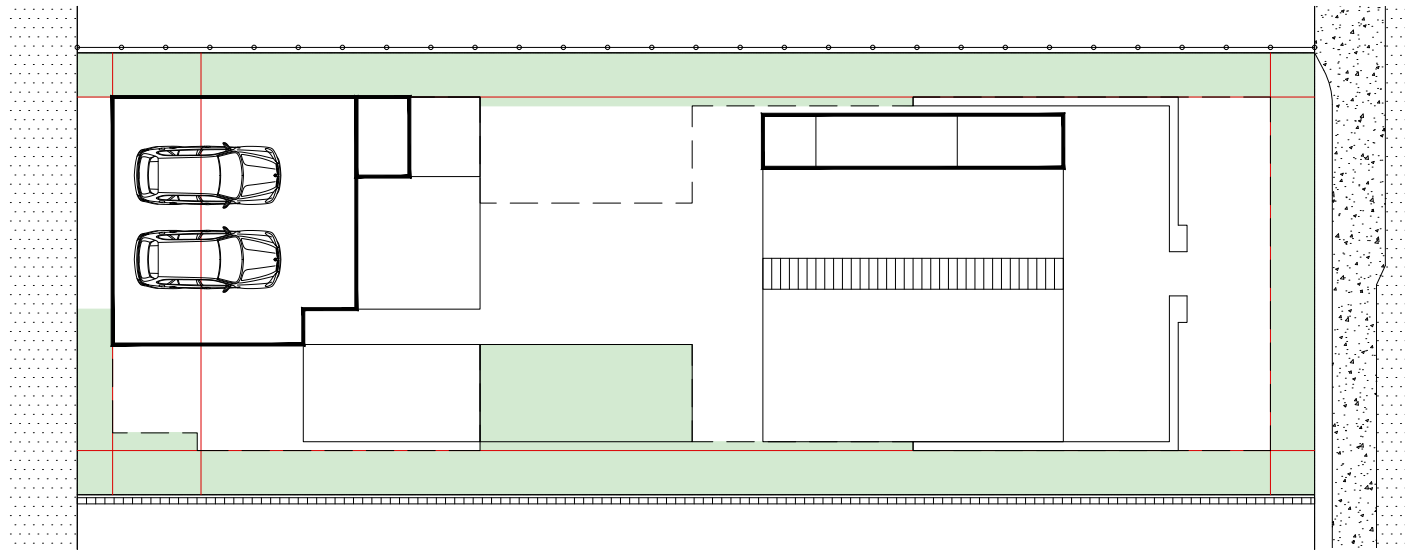
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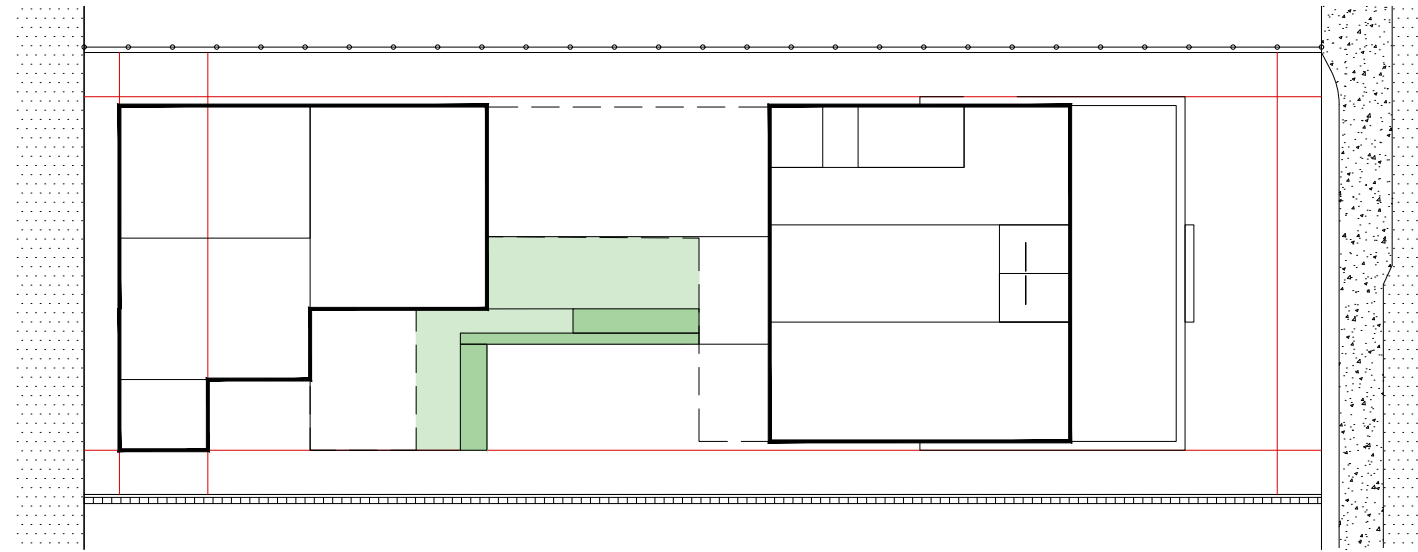
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Scale:
Revisions:

REQUIRED OPEN SPACE



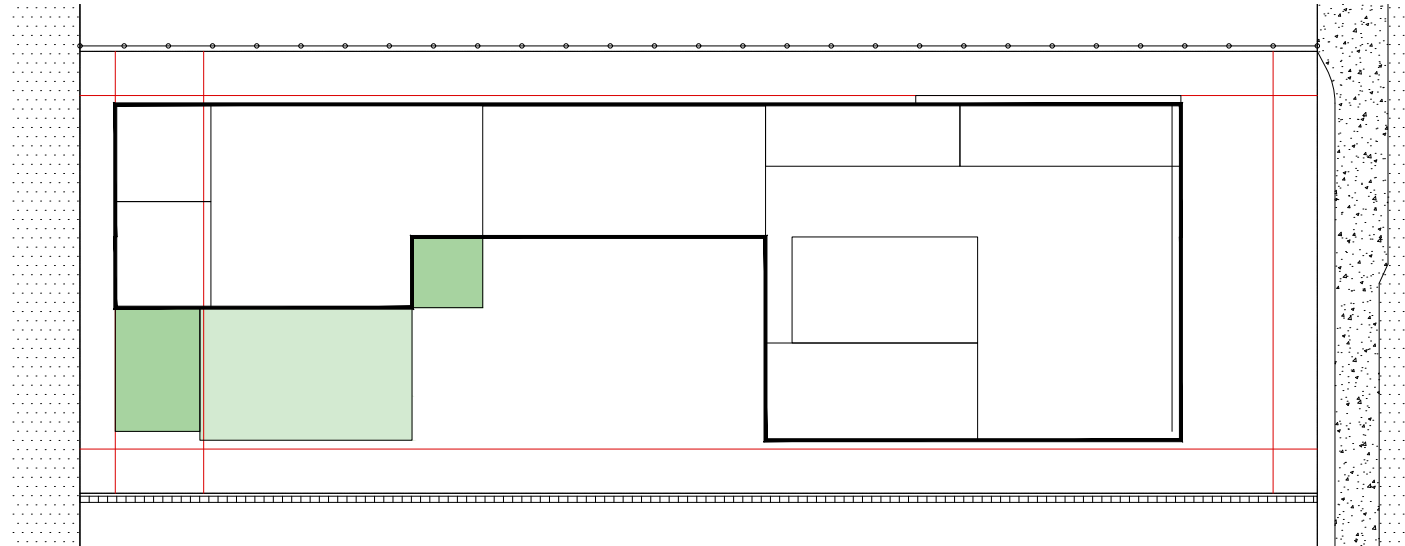
518 SQ.FT. **Open Space**

1 **GROUND FLOOR PLAN**
scale: N.T.S.



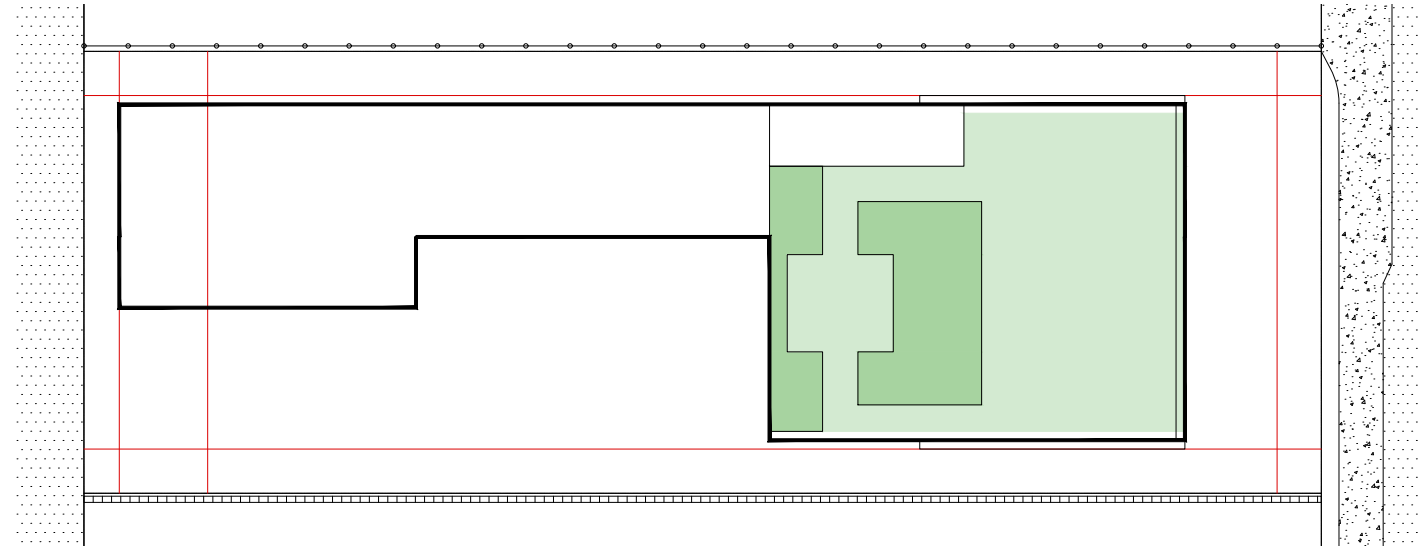
420 SQ.FT. **Open Space**
109 SQ.FT. **26% Living Landscape (25% REQ.)**

2 **FIRST FLOOR PLAN**
scale: N.T.S.



582 SQ.FT. **Open Space**
198 SQ.FT. **35% Living Landscape (25% REQ.)**

3 **THIRD FLOOR PLAN**
scale: N.T.S.



1,632 SQ.FT. **Open Space**
420 SQ.FT. **26% Living Landscape (25% REQ.)**

4 **ROOF PLAN**
scale: N.T.S.

OPEN SPACE CALCULATIONS:

OPEN SPACE GROUND FLOOR:	2,045 SQ.FT.
OPEN SPACE FIRST FLOOR:	420 SQ.FT.
OPEN SPACE THIRD FLOOR:	582 SQ.FT. *
OPEN SPACE ROOFTOP FLOOR:	1,632 SQ.FT. *

OPEN SPACE TOTAL: 4,679 SQ.FT. (67% of Lot Area)

OPEN SPACE REQUIRED: 4,550 SQ.FT. (65% of Lot Area)

* Accessible terrace with 25% live plants

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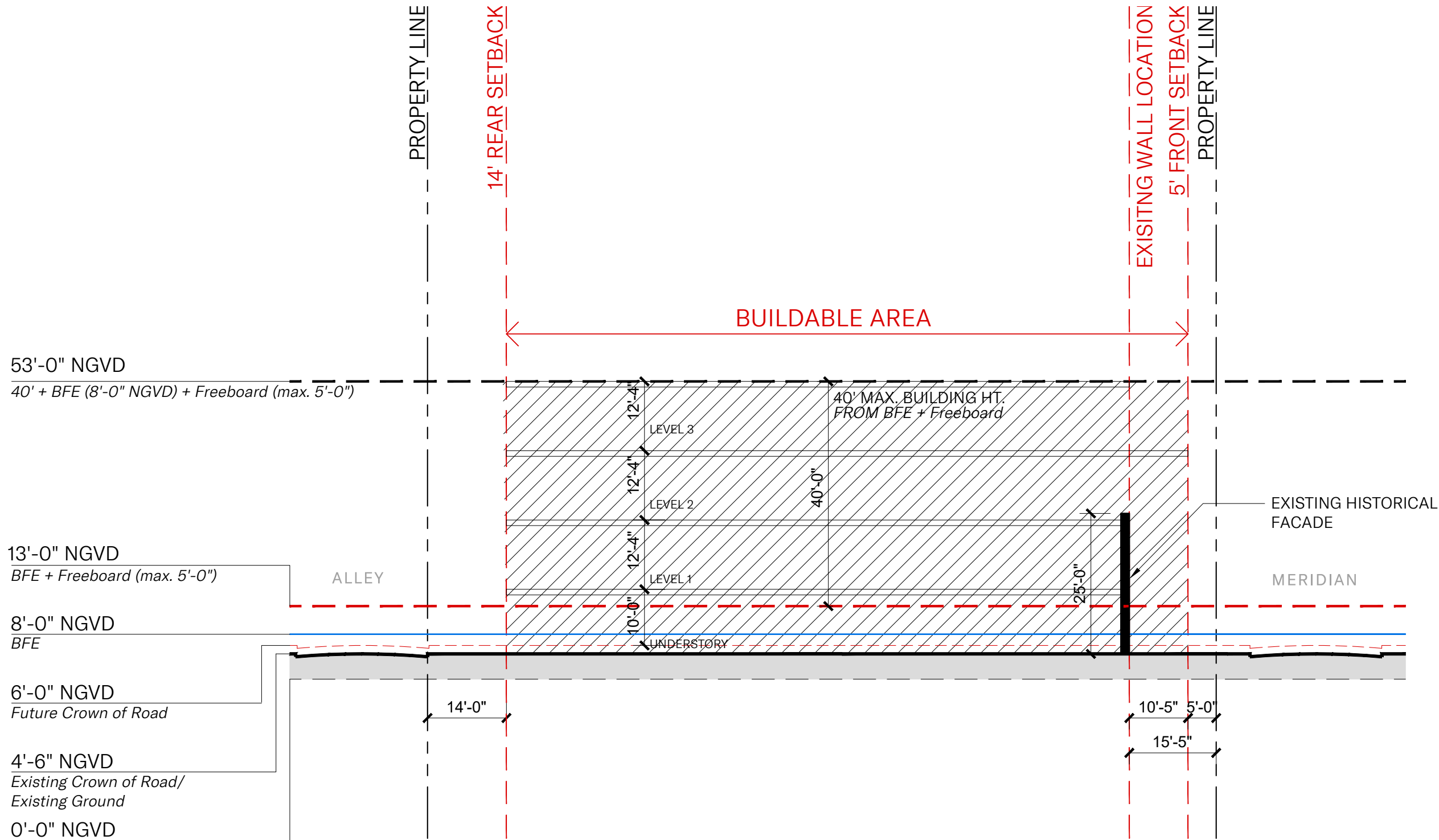
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Checked by: [unreadable] 07/15/2025
Reviewed by: [unreadable] 07/15/2025
Approved by: [unreadable] 07/15/2025
Project: [unreadable] 07/15/2025
Sheet: [unreadable] 07/15/2025

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PROPOSED OPEN SPACE DIAGRAM



1 BUILDABLE AREA SECTION DIAGRAM
scale: N.T.S.

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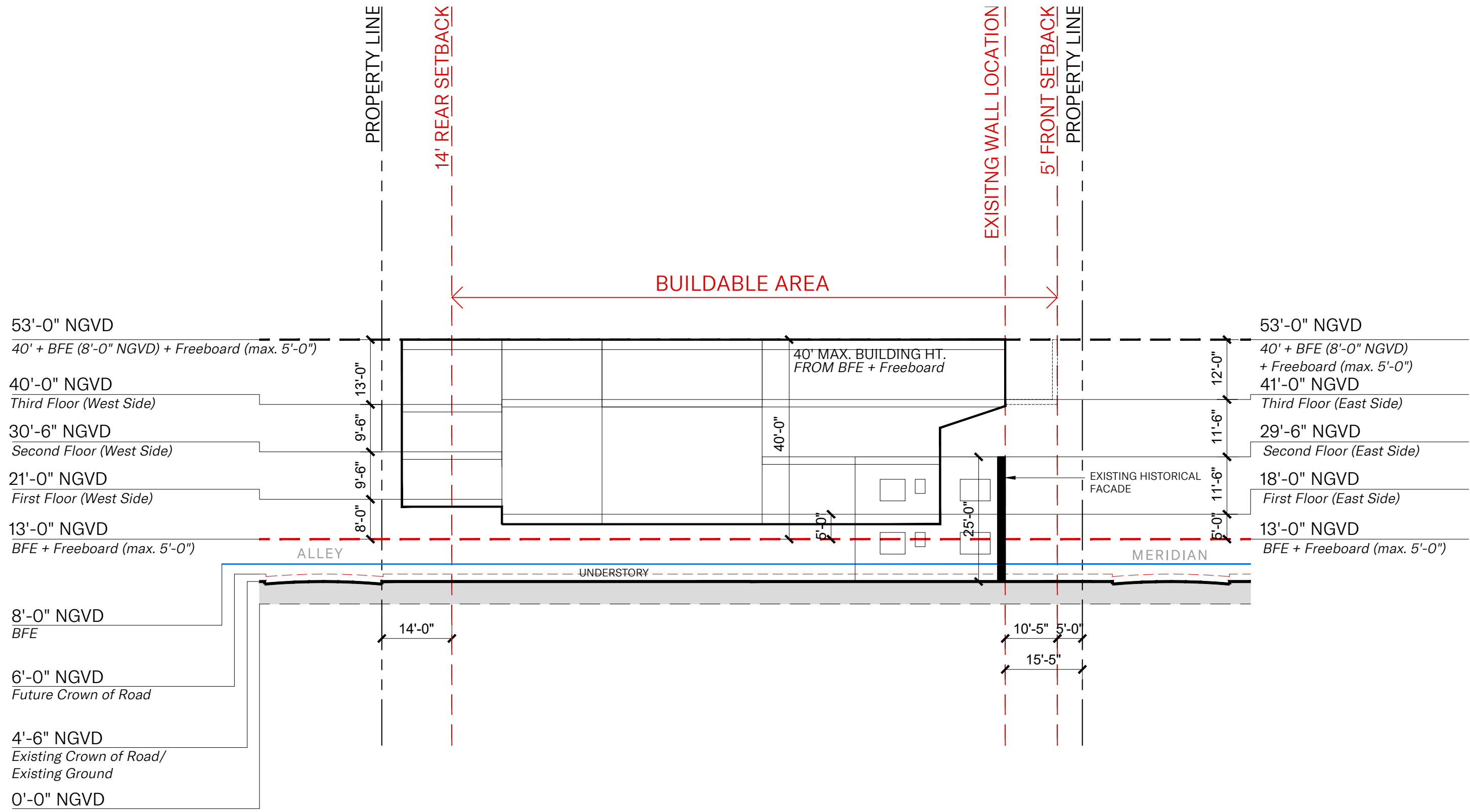
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BUILDABLE
AREA SECTION
DIAGRAM

Z-10



1 PROPOSED SECTION DIAGRAM
scale: N.T.S.

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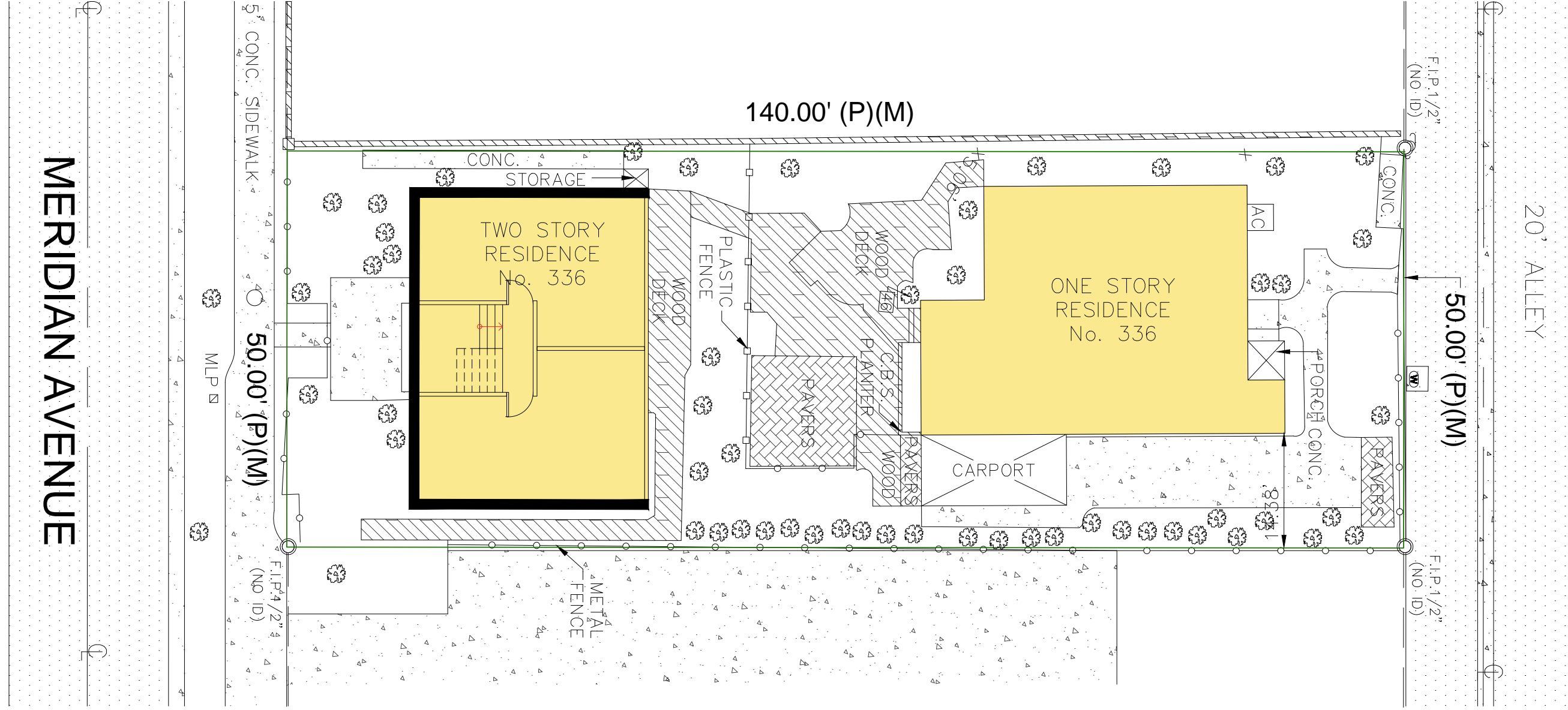
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Date: 07.15.2025
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PROPOSED SECTION DIAGRAM

Z-11



1 EXISTING CONDITIONS PLAN
scale: N.T.S.

MERIDIAN AVENUE

20' ALLEY

336 Meridian Ave
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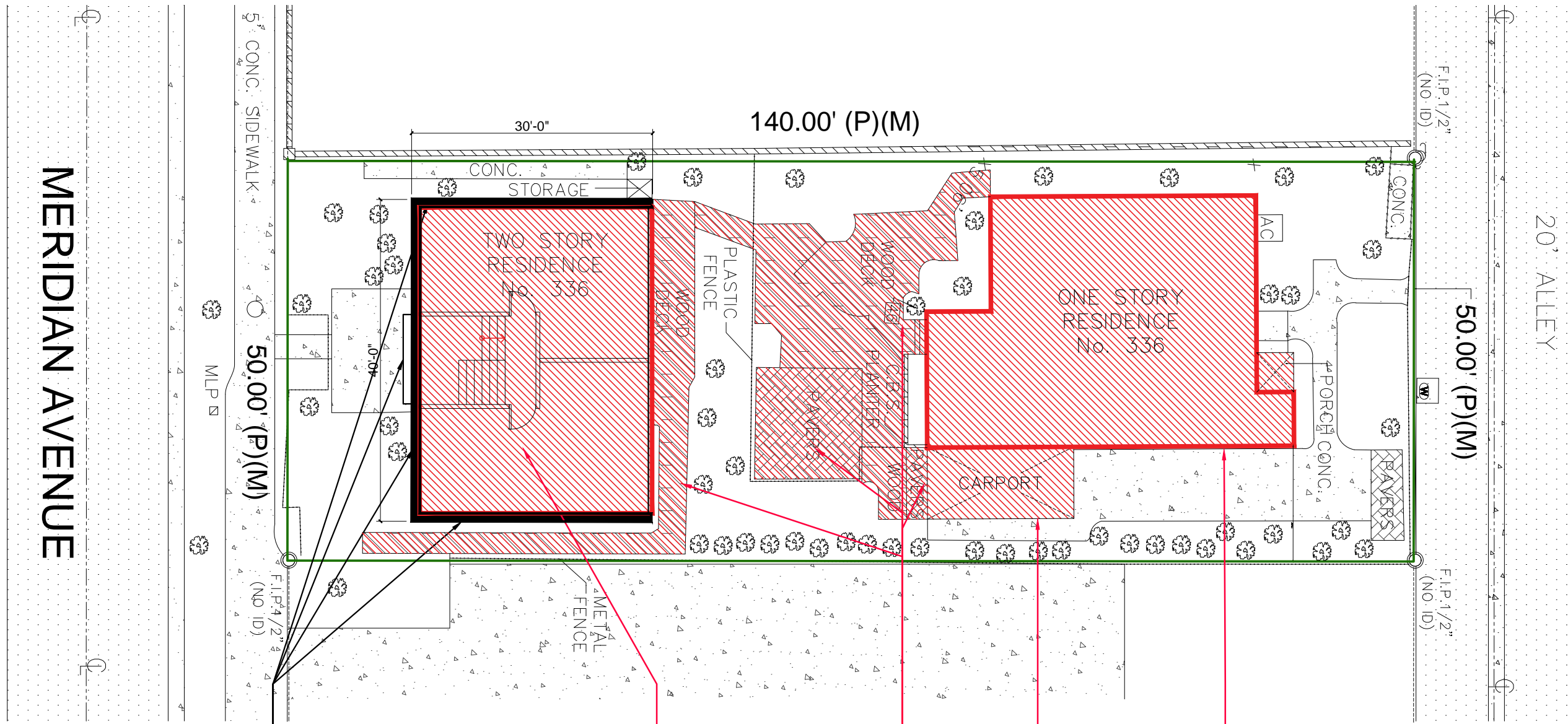
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PLAN

EC-1

Date: 07.15.2025
Scale:
Revisions:

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EXISTING WALLS TO REMAIN. STABILIZE AND SHORE AS REQUIRED DURING DEMOLITION PROCESS. REFER TO STRUCTURAL ENGINEER PLANS FOR REINFORCEMENT DETAILS AS PART OF PRESERVATION PROCESS.

ALL ELEMENTS OF EXISTING STRUCTURE TO BE DEMOLISHED EXCEPT FOR MAIN FAÇADE AND TWO SIDE WALLS.

DEMO ALL FLOORING MATERIALS

DEMO CARPORT

NOT CLASSIFIED STRUCTURE AT REAR OF PROPERTY TO BE DEMOLISHED.

1 DEMOLITION PLAN
scale: N.T.S.

Structural Assessment Notes –Façade and Side Wall Preservation

The main façade and both side (north and south) exterior walls are to be preserved in place throughout the demolition process. These walls will be stabilized with appropriate structural reinforcement as required. Reinforcement may include temporary bracing and shoring during demolition, followed by permanent restoration of existing tie beams and tie columns.

Cracks and previously patched areas were observed and will be fully repaired during the restoration phase in accordance with appropriate concrete repair details.

All spalled concrete and deteriorated conditions will be properly addressed to restore the structural integrity of the preserved walls.

Full assessment by structural engineer with full plan, strategy, and methodology forthcoming.

GENERAL NOTES:

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO STARTING DEMOLITION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES.

PROTECT ALL EXISTING ELEMENTS NOTED TO REMAIN.

PROVIDE DUST, NOISE, AND VIBRATION CONTROL THROUGHOUT DEMOLITION AS REQUIRED BY LOCAL ORDINANCES.

DISCONNECT, CAP, AND/OR REROUTE ALL UTILITIES SERVING AREAS TO BE DEMOLISHED. COORDINATE WITH MEP DISCIPLINES AND UTILITY PROVIDERS.

REMOVE AND DISPOSE OF ALL DEBRIS AND DEMOLISHED MATERIALS LEGALLY AND IN ACCORDANCE WITH ENVIRONMENTAL REGULATIONS.

MAINTAIN STRUCTURAL STABILITY OF ALL ADJACENT ELEMENTS AND PROVIDE SHORING AND BRACING AS REQUIRED.

COORDINATE DEMOLITION WORK WITH ALL TRADES, INCLUDING STRUCTURAL, MEP, AND CIVIL DISCIPLINES.

CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND ABATING HAZARDOUS MATERIALS SUCH AS ASBESTOS OR LEAD PAINT PER CODE.

DO NOT REMOVE ANY STRUCTURAL COMPONENTS UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.

EXISTING FAÇADE AND SIDE WALLS (AS NOTED) SHALL BE PRESERVED IN PLACE. PROVIDE ALL REQUIRED TEMPORARY BRACING AND PROTECTION.

PRESERVE EXISTING SURVEY CONTROL POINTS AND BENCHMARKS.

CONTRACTOR SHALL REVIEW ALL DEMOLITION PLANS AND DETAILS AND COORDINATE WITH STRUCTURAL DRAWINGS FOR WALL AND SLAB REMOVALS.

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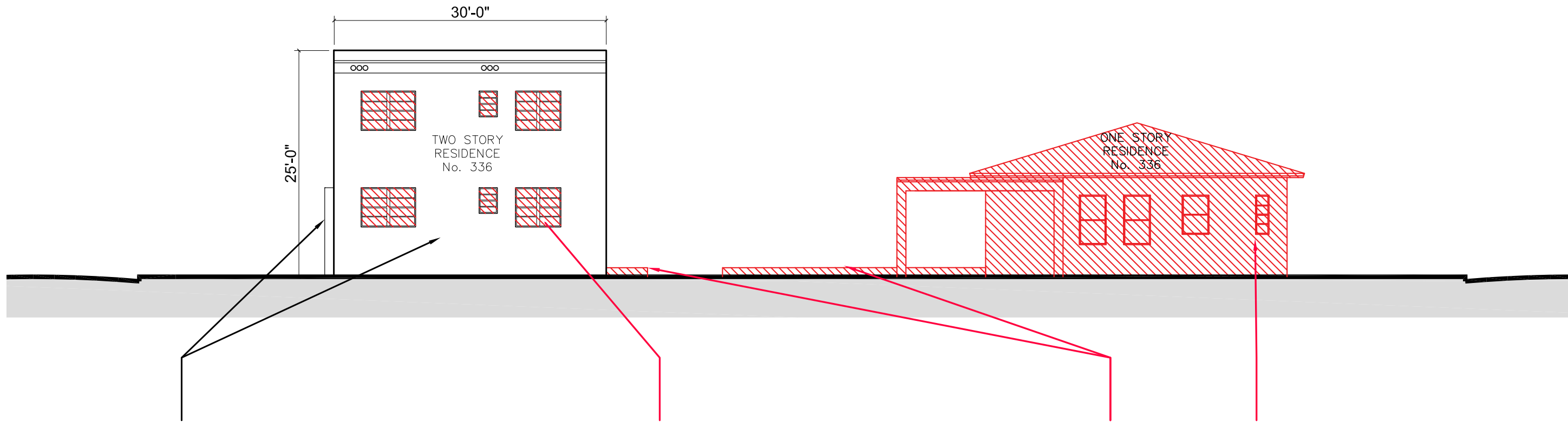
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Revisions:

DEMOLITION PLAN

EC-2



EXISTING WALLS TO REMAIN. STABILIZE AND SHORE AS REQUIRED DURING DEMOLITION PROCESS. REFER TO STRUCTURAL ENGINEER PLANS FOR REINFORCEMENT DETAILS AS PART OF PRESERVATION PROCESS.

REMOVE WINDOWS. OPENING TO REMAIN.

DEMO ALL FLOORING MATERIALS

NOT CLASSIFIED STRUCTURE AT REAR OF PROPERTY TO BE DEMOLISHED.

1 DEMOLITION NORTH SITE ELEVATION
scale: N.T.S.

Structural Assessment Notes –Façade and Side Wall Preservation

The main façade and both side (north and south) exterior walls are to be preserved in place throughout the demolition process. These walls will be stabilized with appropriate structural reinforcement as required. Reinforcement may include temporary bracing and shoring during demolition, followed by permanent restoration of existing tie beams and tie columns.

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All spalled concrete and deteriorated conditions will be properly addressed to restore the structural integrity of the preserved walls.

Full assessment by structural engineer with full plan, strategy, and methodology forthcoming.

GENERAL NOTES:

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO STARTING DEMOLITION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES.

PROTECT ALL EXISTING ELEMENTS NOTED TO REMAIN.

PROVIDE DUST, NOISE, AND VIBRATION CONTROL THROUGHOUT DEMOLITION AS REQUIRED BY LOCAL ORDINANCES.

DISCONNECT, CAP, AND/OR REROUTE ALL UTILITIES SERVING AREAS TO BE DEMOLISHED. COORDINATE WITH MEP DISCIPLINES AND UTILITY PROVIDERS.

REMOVE AND DISPOSE OF ALL DEBRIS AND DEMOLISHED MATERIALS LEGALLY AND IN ACCORDANCE WITH ENVIRONMENTAL REGULATIONS.

MAINTAIN STRUCTURAL STABILITY OF ALL ADJACENT ELEMENTS AND PROVIDE SHORING AND BRACING AS REQUIRED.

COORDINATE DEMOLITION WORK WITH ALL TRADES, INCLUDING STRUCTURAL, MEP, AND CIVIL DISCIPLINES.

CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND ABATING HAZARDOUS MATERIALS SUCH AS ASBESTOS OR LEAD PAINT PER CODE.

DO NOT REMOVE ANY STRUCTURAL COMPONENTS UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.

EXISTING FAÇADE AND SIDE WALLS (AS NOTED) SHALL BE PRESERVED IN PLACE. PROVIDE ALL REQUIRED TEMPORARY BRACING AND PROTECTION.

PRESERVE EXISTING SURVEY CONTROL POINTS AND BENCHMARKS.

CONTRACTOR SHALL REVIEW ALL DEMOLITION PLANS AND DETAILS AND COORDINATE WITH STRUCTURAL DRAWINGS FOR WALL AND SLAB REMOVALS.

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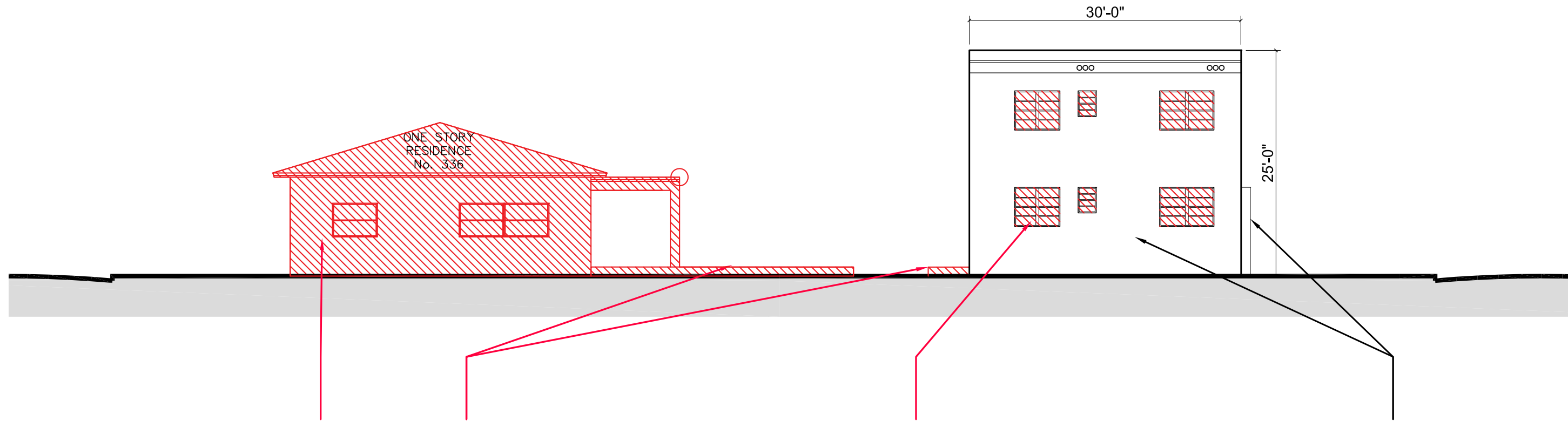
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DEMOLITION
ELEVATION

EC-3



NOT CLASSIFIED
STRUCTURE AT REAR
OF PROPERTY TO BE
DEMOLISHED.

DEMO ALL
FLOORING
MATERIALS

REMOVE WINDOWS.
OPENING TO REMAIN.

EXISTING WALLS TO REMAIN. STABILIZE
AND SHORE AS REQUIRED DURING
DEMOLITION PROCESS. REFER TO
STRUCTURAL ENGINEER PLANS FOR
REINFORCEMENT DETAILS AS PART OF
PRESERVATION PROCESS.

1 DEMOLITION SOUTH SITE ELEVATION
scale: N.T.S.

Structural Assessment Notes –Façade and Side Wall Preservation

The main façade and both side (north and south) exterior walls are to be preserved in place throughout the demolition process. These walls will be stabilized with appropriate structural reinforcement as required. Reinforcement may include temporary bracing and shoring during demolition, followed by permanent restoration of existing tie beams and tie columns.

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All spalled concrete and deteriorated conditions will be properly addressed to restore the structural integrity of the preserved walls.

Full assessment by structural engineer with full plan, strategy, and methodology forthcoming.

GENERAL NOTES:

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO STARTING DEMOLITION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES.

PROTECT ALL EXISTING ELEMENTS NOTED TO REMAIN.

PROVIDE DUST, NOISE, AND VIBRATION CONTROL THROUGHOUT DEMOLITION AS REQUIRED BY LOCAL ORDINANCES.

DISCONNECT, CAP, AND/OR REROUTE ALL UTILITIES SERVING AREAS TO BE DEMOLISHED. COORDINATE WITH MEP DISCIPLINES AND UTILITY PROVIDERS.

REMOVE AND DISPOSE OF ALL DEBRIS AND DEMOLISHED MATERIALS LEGALLY AND IN ACCORDANCE WITH ENVIRONMENTAL REGULATIONS.

MAINTAIN STRUCTURAL STABILITY OF ALL ADJACENT ELEMENTS AND PROVIDE SHORING AND BRACING AS REQUIRED.

COORDINATE DEMOLITION WORK WITH ALL TRADES, INCLUDING STRUCTURAL, MEP, AND CIVIL DISCIPLINES.

CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND ABATING HAZARDOUS MATERIALS SUCH AS ASBESTOS OR LEAD PAINT PER CODE.

DO NOT REMOVE ANY STRUCTURAL COMPONENTS UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.

EXISTING FAÇADE AND SIDE WALLS (AS NOTED) SHALL BE PRESERVED IN PLACE. PROVIDE ALL REQUIRED TEMPORARY BRACING AND PROTECTION.

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CONTRACTOR SHALL REVIEW ALL DEMOLITION PLANS AND DETAILS AND COORDINATE WITH STRUCTURAL DRAWINGS FOR WALL AND SLAB REMOVALS.

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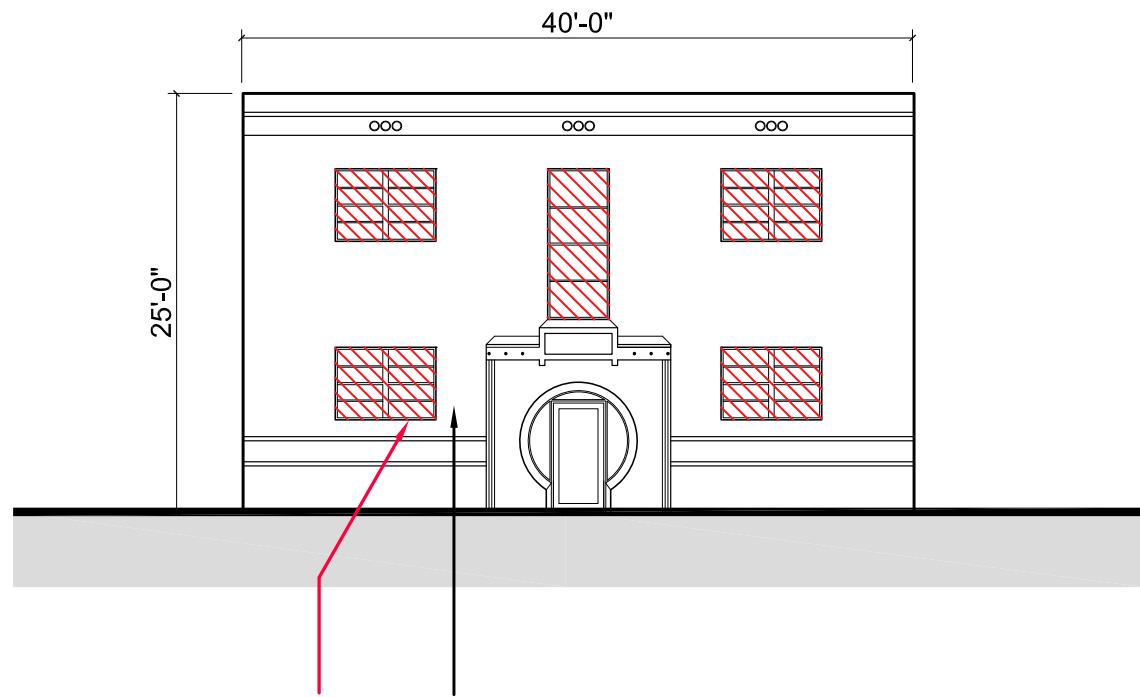
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DEMOLITION
ELEVATION

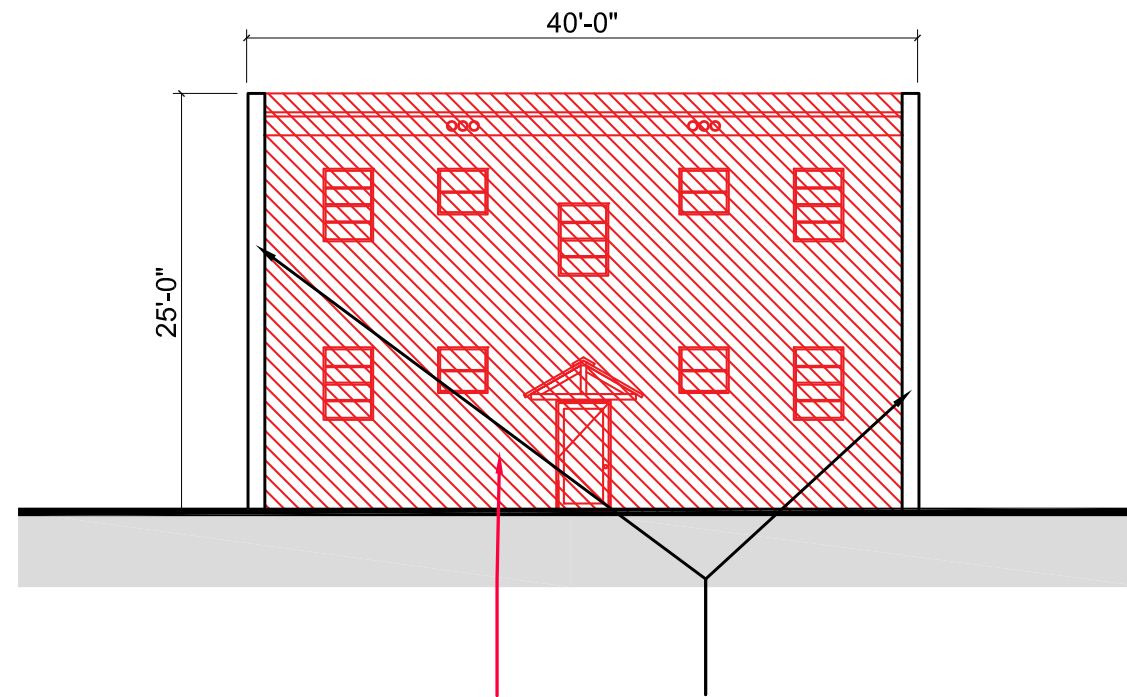
EC-4



REMOVE WINDOWS.
OPENING TO REMAIN.

EXISTING WALLS TO REMAIN. STABILIZE AND SHORE AS REQUIRED DURING DEMOLITION PROCESS. REFER TO STRUCTURAL ENGINEER PLANS FOR REINFORCEMENT DETAILS AS PART OF PRESERVATION PROCESS.

1 DEMOLITION EAST ELEVATION - HISTORIC CONTRIBUTING BUILDING
scale: N.T.S.



DEMO WEST WALL. CUT JOINT WHERE WEST WALL MEETS NORTH & SOUTH WALLS WHICH ARE TO REMAIN TO ENSURE PROTECTION OF REMAINING WALLS.

EXISTING WALLS TO REMAIN. STABILIZE AND SHORE AS REQUIRED DURING DEMOLITION PROCESS. REFER TO STRUCTURAL ENGINEER PLANS FOR REINFORCEMENT DETAILS AS PART OF PRESERVATION PROCESS.

2 DEMOLITION WEST ELEVATION - HISTORIC CONTRIBUTING BUILDING
scale: N.T.S.

Structural Assessment Notes –Façade and Side Wall Preservation

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Full assessment by structural engineer with full plan, strategy, and methodology forthcoming.

GENERAL NOTES:

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DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES.

PROTECT ALL EXISTING ELEMENTS NOTED TO REMAIN.

PROVIDE DUST, NOISE, AND VIBRATION CONTROL THROUGHOUT DEMOLITION AS REQUIRED BY LOCAL ORDINANCES.

DISCONNECT, CAP, AND/OR REROUTE ALL UTILITIES SERVING AREAS TO BE DEMOLISHED. COORDINATE WITH MEP DISCIPLINES AND UTILITY PROVIDERS.

REMOVE AND DISPOSE OF ALL DEBRIS AND DEMOLISHED MATERIALS LEGALLY AND IN ACCORDANCE WITH ENVIRONMENTAL REGULATIONS.

MAINTAIN STRUCTURAL STABILITY OF ALL ADJACENT ELEMENTS AND PROVIDE SHORING AND BRACING AS REQUIRED.

COORDINATE DEMOLITION WORK WITH ALL TRADES, INCLUDING STRUCTURAL, MEP, AND CIVIL DISCIPLINES.

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EXISTING FAÇADE AND SIDE WALLS (AS NOTED) SHALL BE PRESERVED IN PLACE. PROVIDE ALL REQUIRED TEMPORARY BRACING AND PROTECTION.

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CONTRACTOR SHALL REVIEW ALL DEMOLITION PLANS AND DETAILS AND COORDINATE WITH STRUCTURAL DRAWINGS FOR WALL AND SLAB REMOVALS.

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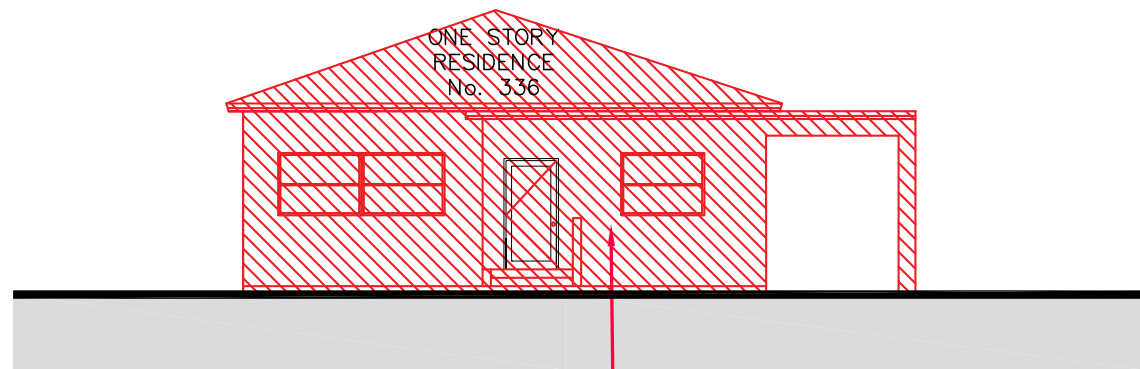
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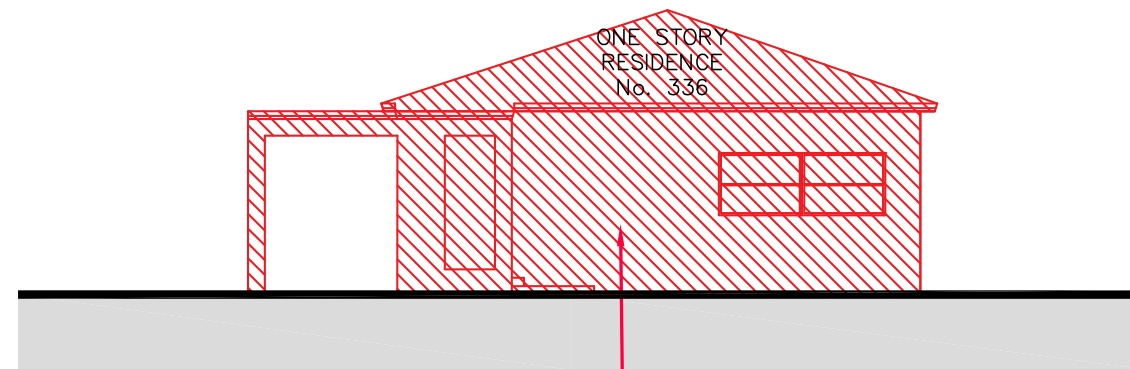
DEMOLITION
ELEVATION

EC-5



NOT CLASSIFIED
STRUCTURE AT REAR
OF PROPERTY TO BE
DEMOLISHED.

1 DEMOLITION EAST ELEVATION - NOT CLASSIFIED BUILDING
scale: N.T.S.



NOT CLASSIFIED
STRUCTURE AT REAR
OF PROPERTY TO BE
DEMOLISHED.

2 DEMOLITION WEST ELEVATION - NOT CLASSIFIED BUILDING
scale: N.T.S.

Structural Assessment Notes –Façade and Side Wall Preservation

The main façade and both side (north and south) exterior walls are to be preserved in place throughout the demolition process. These walls will be stabilized with appropriate structural reinforcement as required. Reinforcement may include temporary bracing and shoring during demolition, followed by permanent restoration of existing tie beams and tie columns.

Cracks and previously patched areas were observed and will be fully repaired during the restoration phase in accordance with appropriate concrete repair details.

All spalled concrete and deteriorated conditions will be properly addressed to restore the structural integrity of the preserved walls.

Full assessment by structural engineer with full plan, strategy, and methodology forthcoming.

GENERAL NOTES:

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO STARTING DEMOLITION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES.

PROTECT ALL EXISTING ELEMENTS NOTED TO REMAIN.

PROVIDE DUST, NOISE, AND VIBRATION CONTROL THROUGHOUT DEMOLITION AS REQUIRED BY LOCAL ORDINANCES.

DISCONNECT, CAP, AND/OR REROUTE ALL UTILITIES SERVING AREAS TO BE DEMOLISHED. COORDINATE WITH MEP DISCIPLINES AND UTILITY PROVIDERS.

REMOVE AND DISPOSE OF ALL DEBRIS AND DEMOLISHED MATERIALS LEGALLY AND IN ACCORDANCE WITH ENVIRONMENTAL REGULATIONS.

MAINTAIN STRUCTURAL STABILITY OF ALL ADJACENT ELEMENTS AND PROVIDE SHORING AND BRACING AS REQUIRED.

COORDINATE DEMOLITION WORK WITH ALL TRADES, INCLUDING STRUCTURAL, MEP, AND CIVIL DISCIPLINES.

CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND ABATING HAZARDOUS MATERIALS SUCH AS ASBESTOS OR LEAD PAINT PER CODE.

DO NOT REMOVE ANY STRUCTURAL COMPONENTS UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.

EXISTING FAÇADE AND SIDE WALLS (AS NOTED) SHALL BE PRESERVED IN PLACE. PROVIDE ALL REQUIRED TEMPORARY BRACING AND PROTECTION.

PRESERVE EXISTING SURVEY CONTROL POINTS AND BENCHMARKS.

CONTRACTOR SHALL REVIEW ALL DEMOLITION PLANS AND DETAILS AND COORDINATE WITH STRUCTURAL DRAWINGS FOR WALL AND SLAB REMOVALS.

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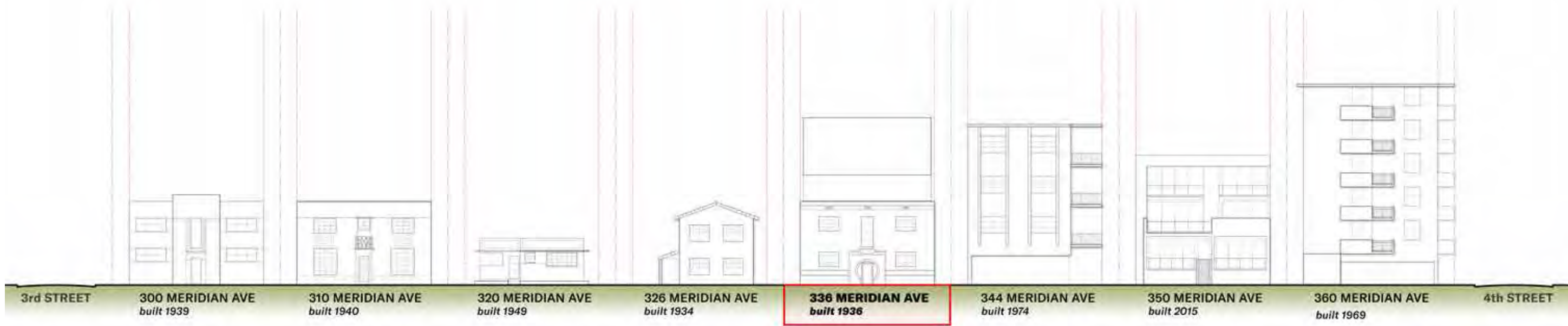
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DEMOLITION
ELEVATION

EC-6



1 CONTEXT ELEVATION WITH VEGETATION
scale: N.T.S.



2 CONTEXT ELEVATION
scale: N.T.S.

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CONTEXT
ELEVATION



320 MERIDIAN AVE
built 1949

326 MERIDIAN AVE
built 1934

336 MERIDIAN AVE
built 1936

344 MERIDIAN AVE
built 1974

350 MERIDIAN AVE
built 2015

1 CONTEXT ELEVATION WITH VEGETATION
scale: N.T.S.



320 MERIDIAN AVE
built 1949

326 MERIDIAN AVE
built 1934

336 MERIDIAN AVE
built 1936

344 MERIDIAN AVE
built 1974

350 MERIDIAN AVE
built 2015

2 CONTEXT ELEVATION
scale: N.T.S.

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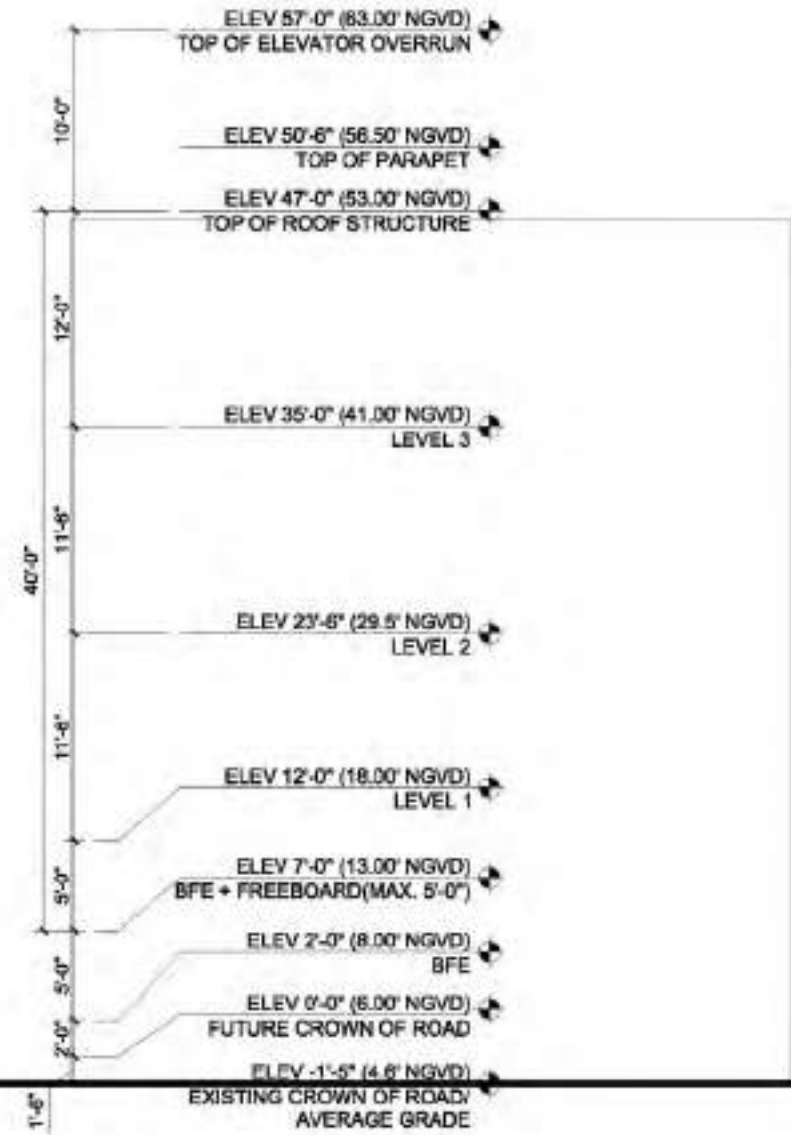
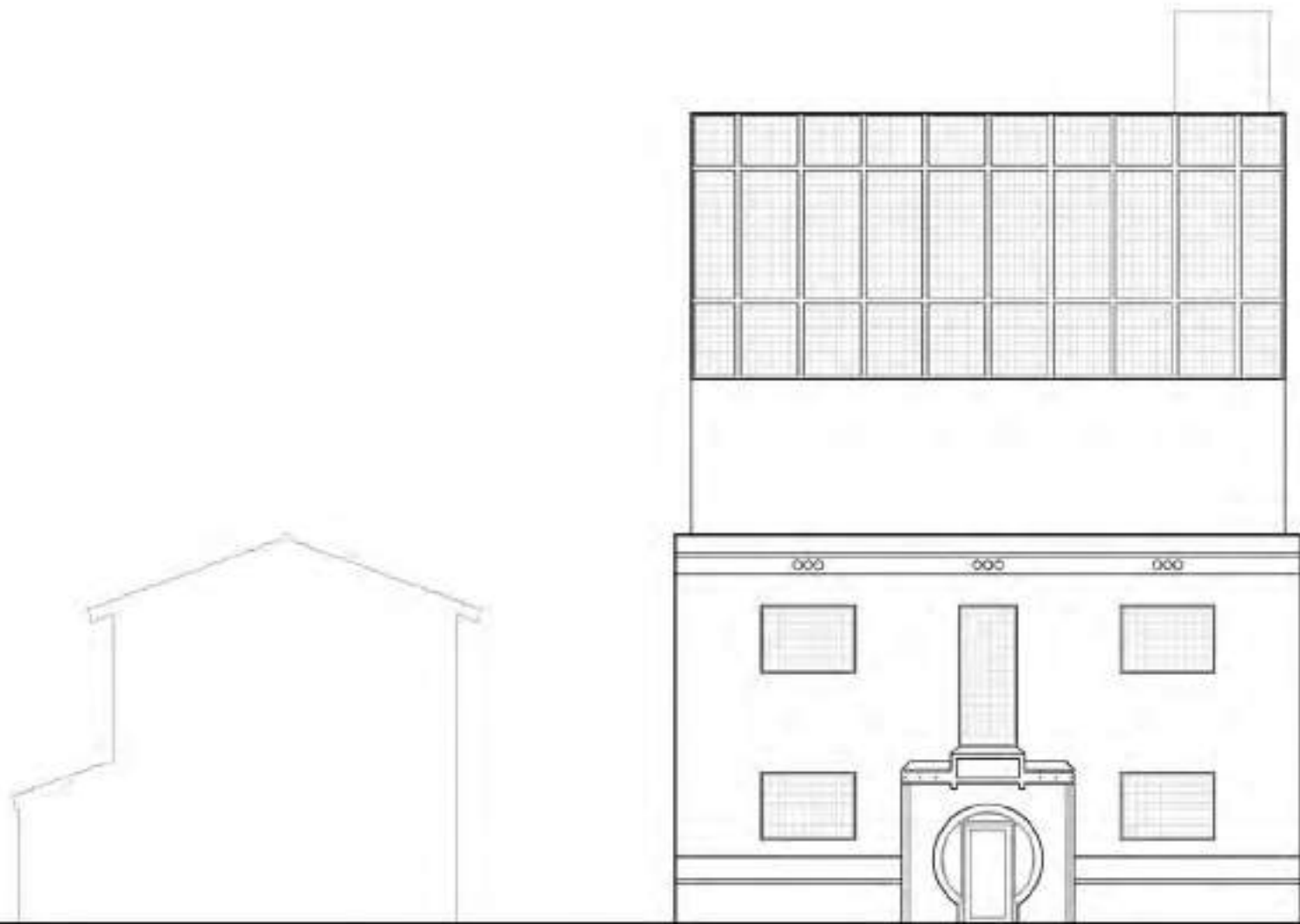
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CONTEXT
ELEVATION



1 EAST ELEVATION
scale: 3/32" = 1'-0"

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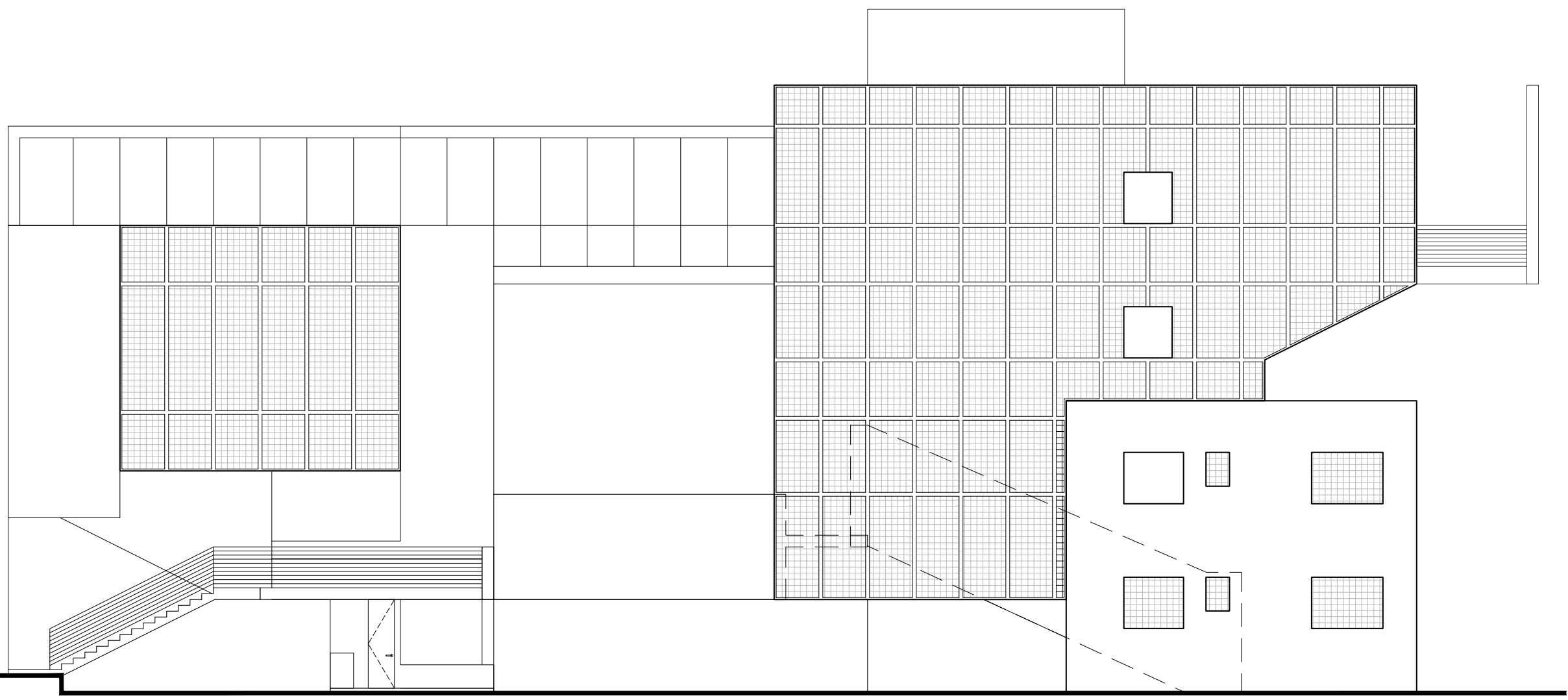
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- ELEV 57'-0" (63.00' NGVD)
TOP OF ELEVATOR OVERRUN
- ELEV 50'-6" (56.50' NGVD)
TOP OF PARAPET
- ELEV 47'-0" (53.00' NGVD)
TOP OF ROOF STRUCTURE
- ELEV 35'-0" (41.00' NGVD)
LEVEL 3
- ELEV 23'-6" (29.5' NGVD)
LEVEL 2
- ELEV 12'-0" (18.00' NGVD)
LEVEL 1
- ELEV 7'-0" (13.00' NGVD)
BFE + FREEBOARD (MAX. 5'-0")
- ELEV 2'-0" (8.00' NGVD)
BFE
- ELEV 0'-0" (6.00' NGVD)
FUTURE CROWN OF ROAD
- ELEV -1'-5" (4.6' NGVD)
EXISTING CROWN OF ROAD/
AVERAGE GRADE



10'-0"
 12'-0"
 11'-6"
 40'-0"
 11'-6"
 5'-0"
 5'-0"
 2'-0"
 1'-6"

1 SOUTH ELEVATION
 scale: 3/32" = 1'-0"

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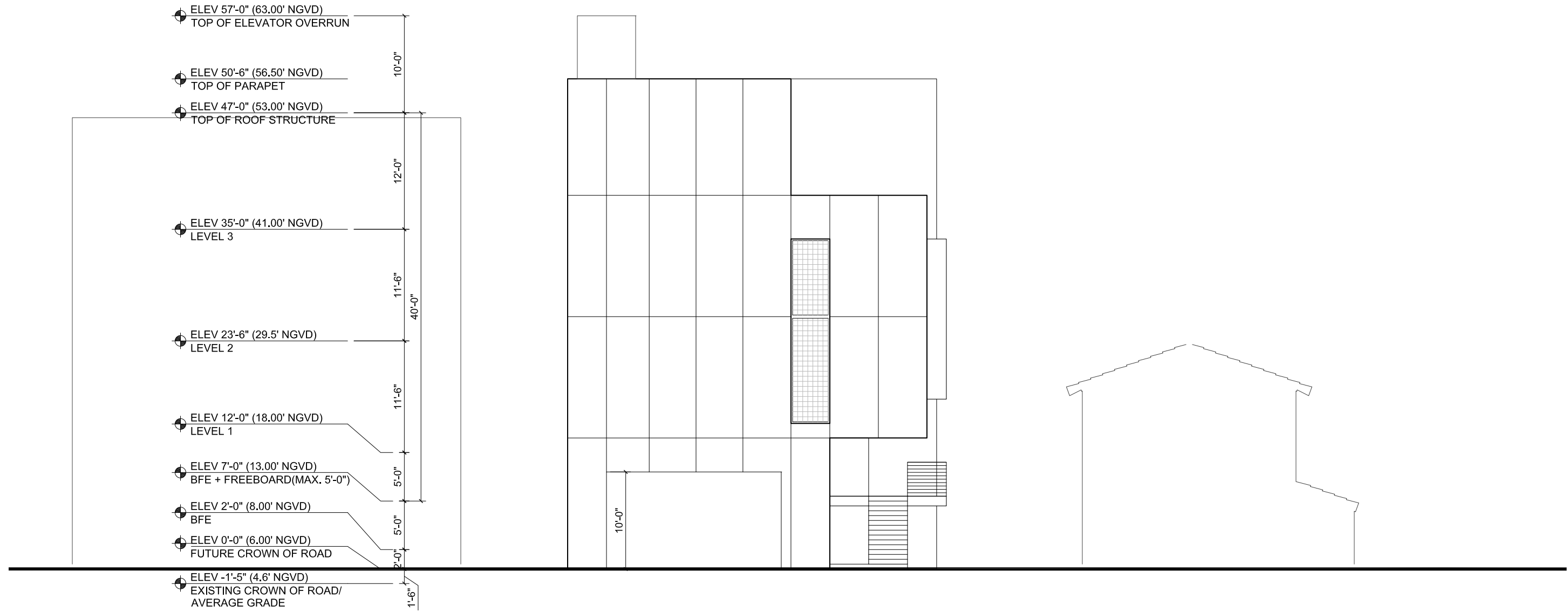
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ELEVATIONS -
 SOUTH
 ELEVATION

A-8



1 WEST ELEVATION
scale: 3/32" = 1'-0"

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ELEVATIONS -
WEST ELEVATION

A-10



1 NORTH ELEVATION
 scale: 3/32" = 1'-0"

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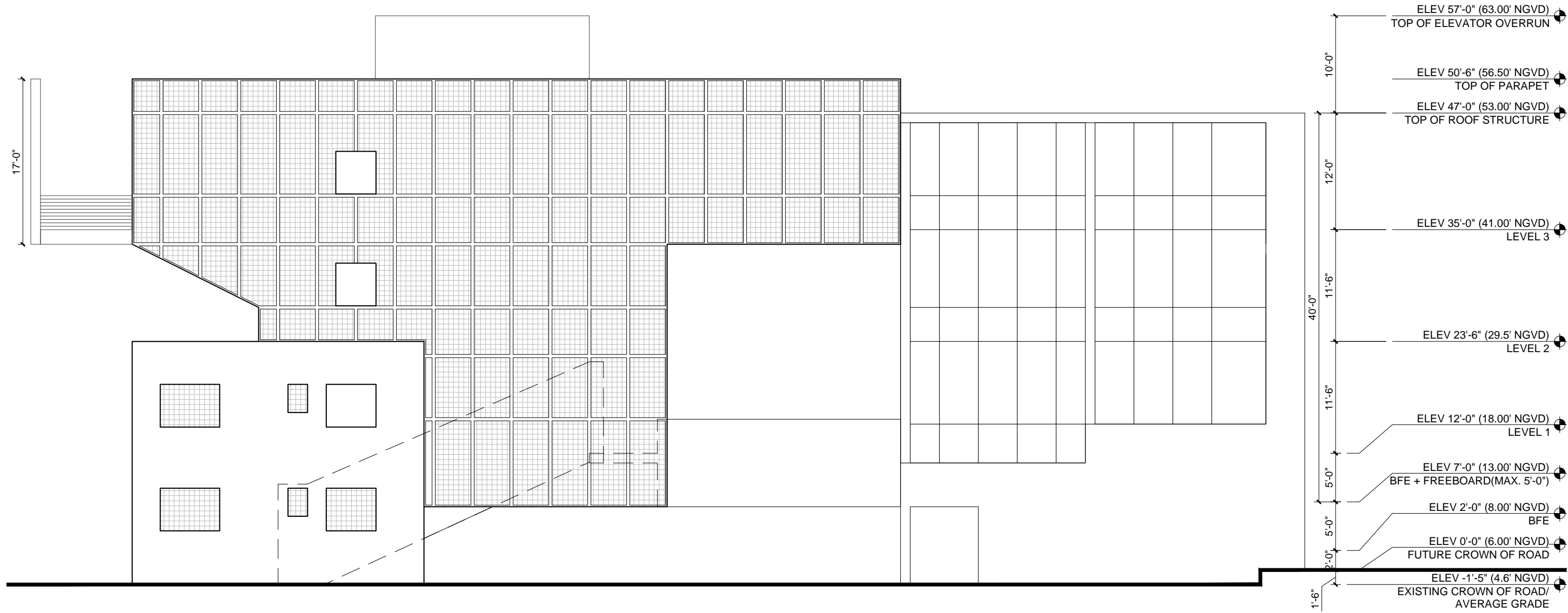
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ELEVATIONS -
 NORTH
 ELEVATION

A-11



1 NORTH ELEVATION
 scale: 3/32" = 1'-0"

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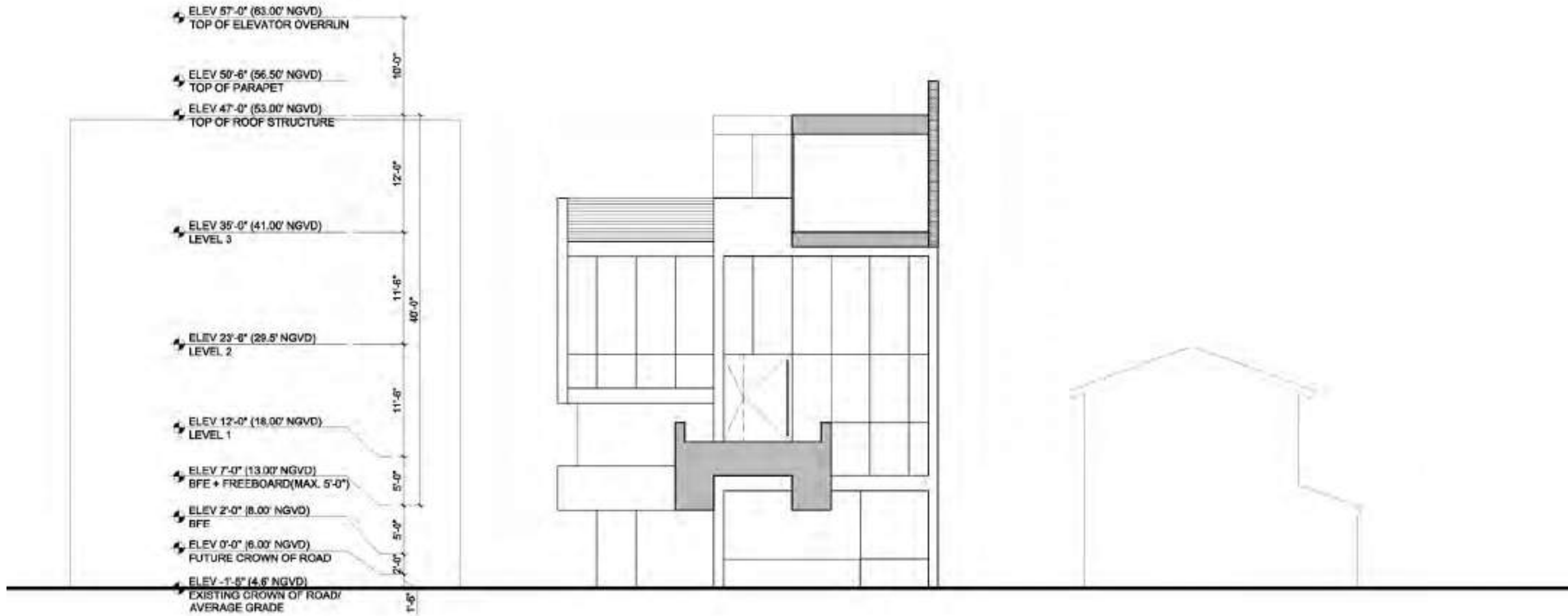
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ELEVATIONS -
 NORTH
 ELEVATION

A-12



1 COURTYARD SECTION FACING EAST
 scale: 3/32" = 1'-0"

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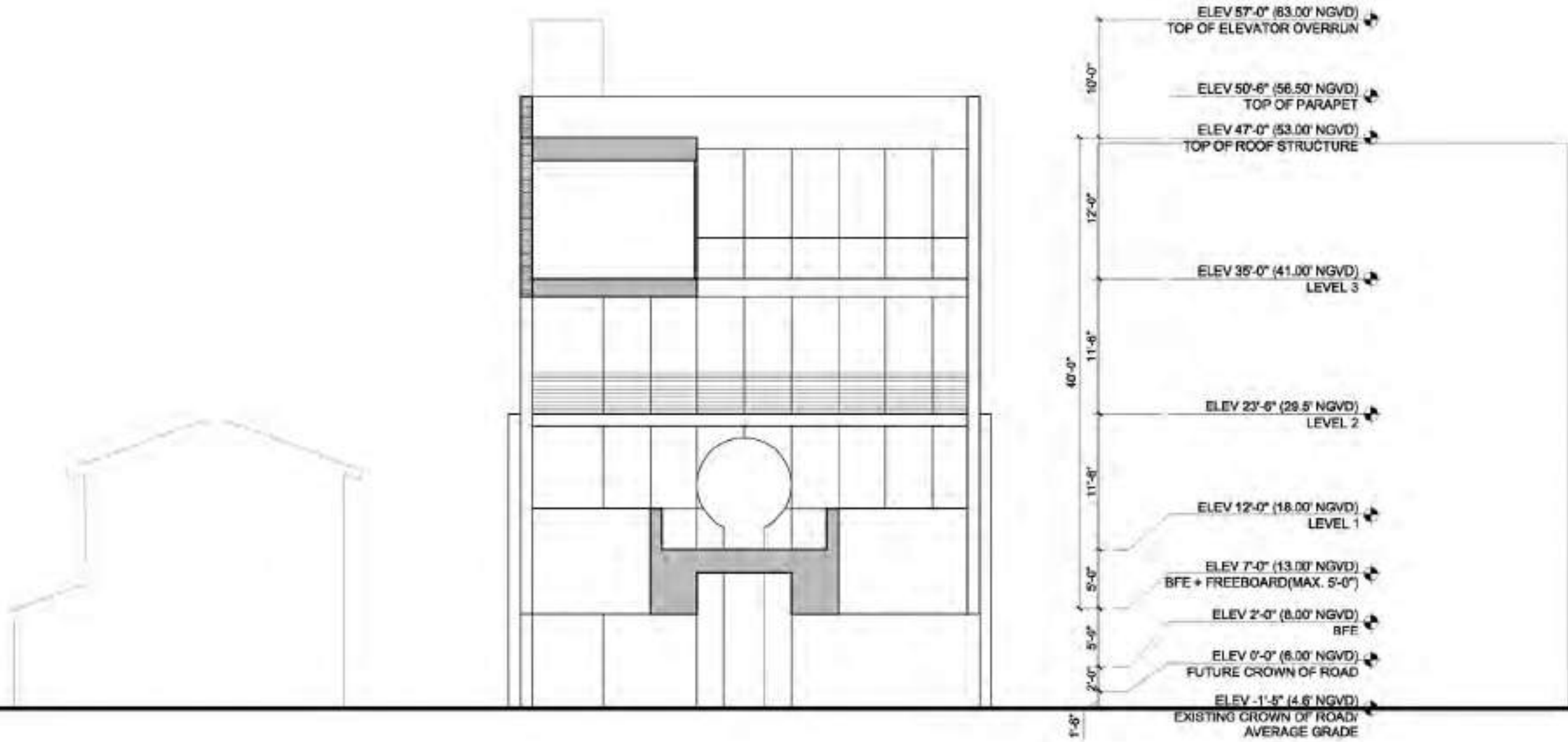
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SECTIONS-
 COURTYARD
 SECTION

A-14



1 COURTYARD SECTION FACING WEST
scale: 3/32" = 1'-0"

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3D View of South East Corner and Preservation of Existing Historical Façade

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3D

A-17



3D View of North East Corner and Preservation of Existing Historical Façade

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3D View of North Façade and Preservation of Existing Historical Façade

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3D



3D View of South Façade

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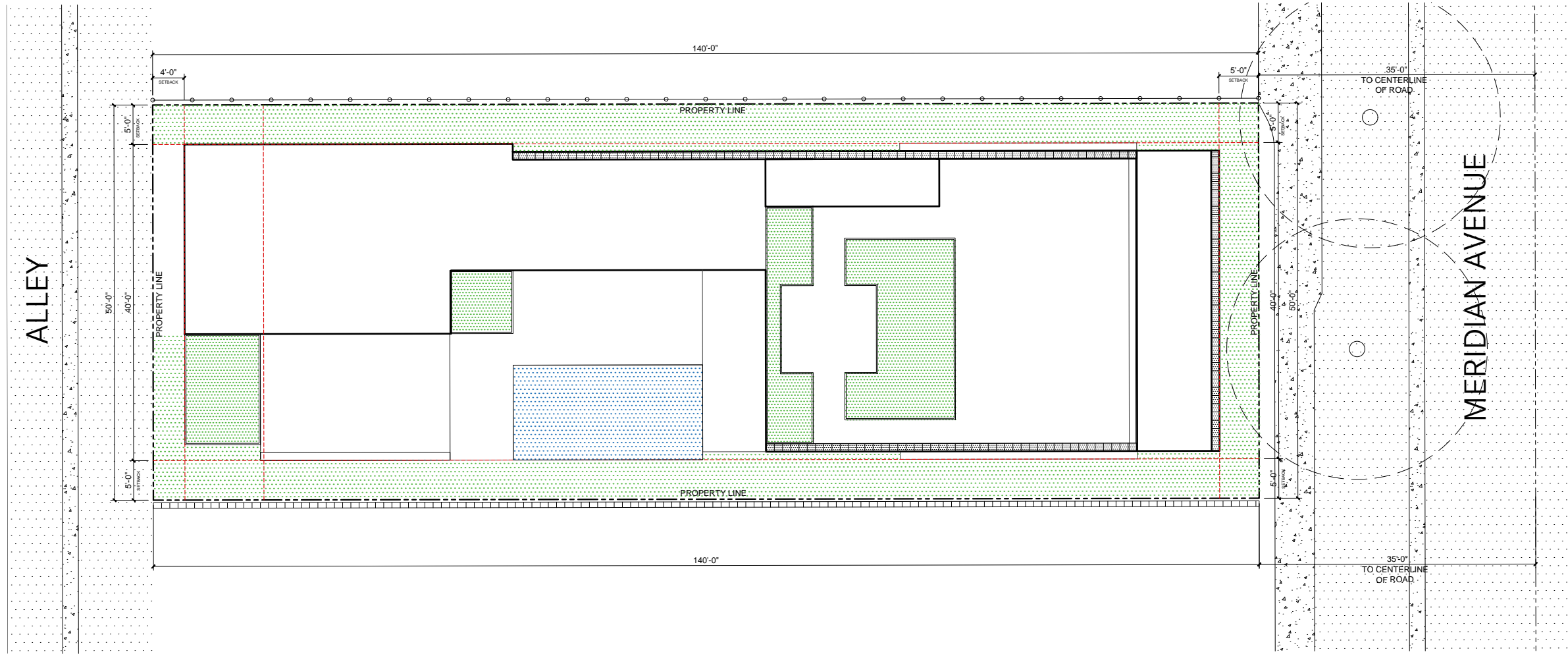
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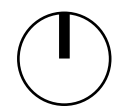
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Revisions:

3D

A-21



1 SITE PLAN
scale: 1/16" = 1'-0"



PLANS -
SITE PLAN

A-22

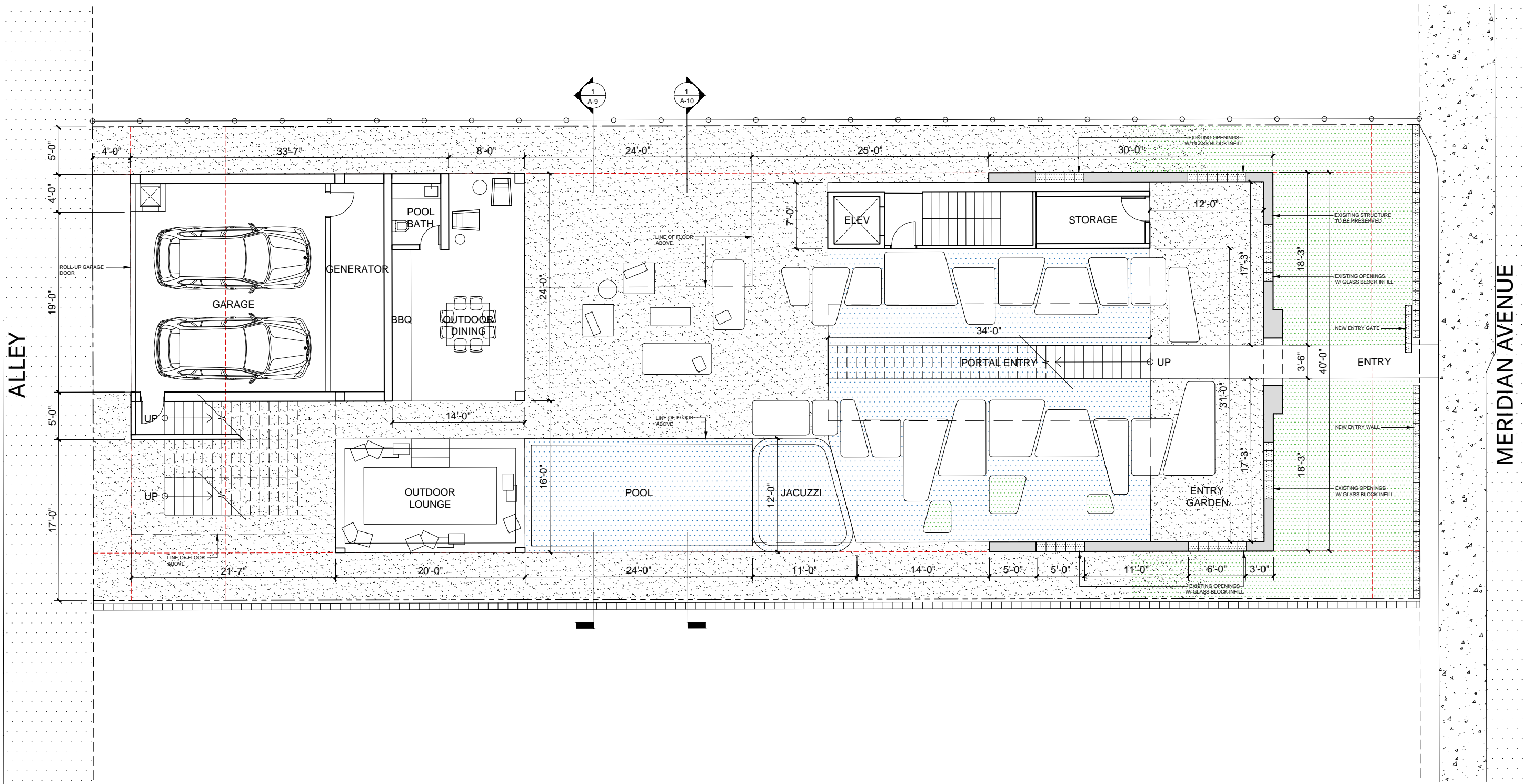
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Drawn by: Rene Gonzalez
Checked by: Rene Gonzalez
Reviewed by: Rene Gonzalez
Approved by: Rene Gonzalez
Date: 07/15/2025
Scale: 1/16" = 1'-0"
Revisions:
1. Initial Design
2. Final Design
3. Construction Documents
4. Final Construction Documents
5. Final Construction Documents
6. Final Construction Documents
7. Final Construction Documents
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100. Final Construction Documents



1 GROUND FLOOR PLAN
 scale: 3/32" = 1'-0"

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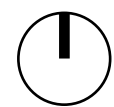
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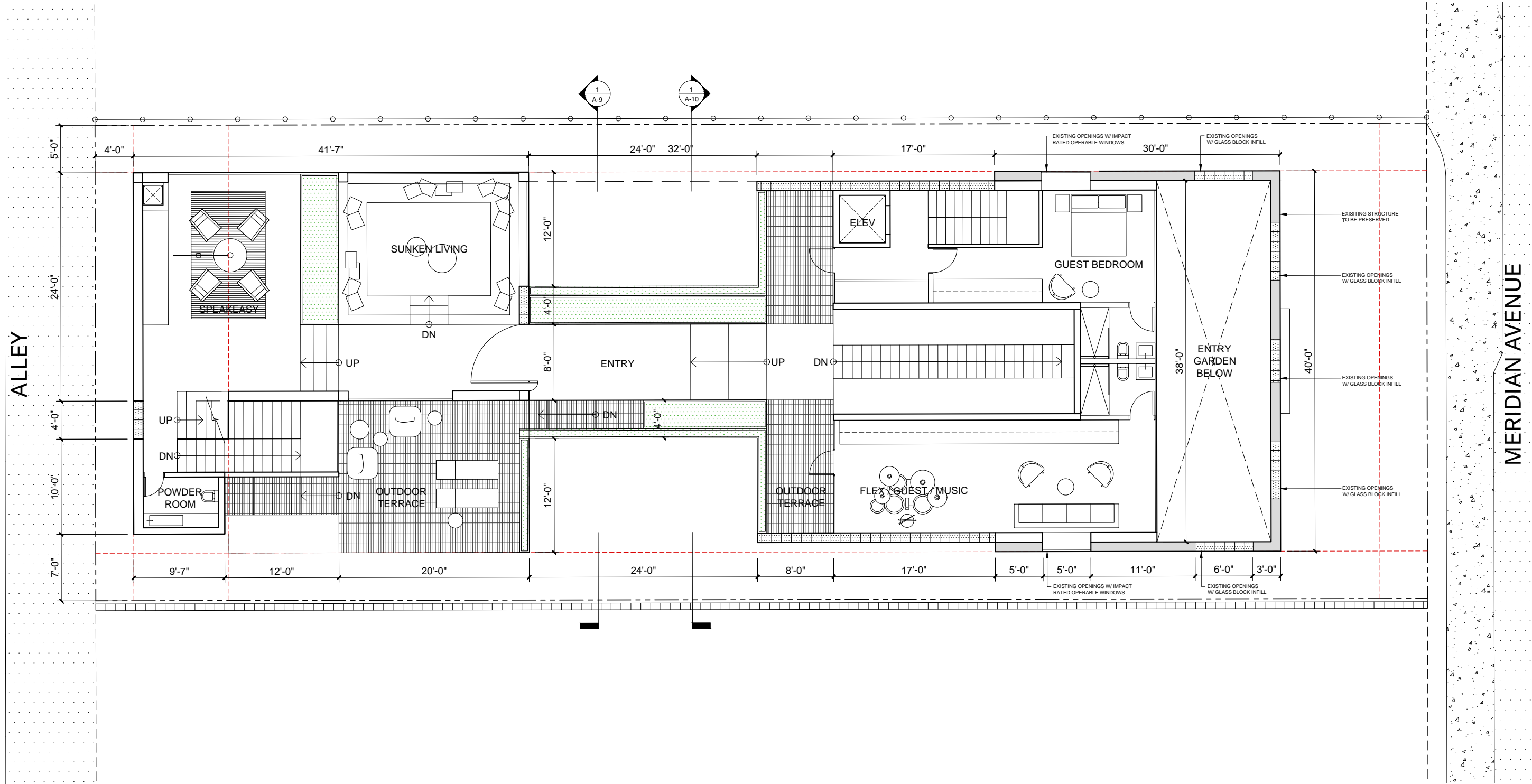
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PLANS -
 GROUND FLOOR

A-24





1 FIRST FLOOR PLAN
 scale: 3/32" = 1'-0"

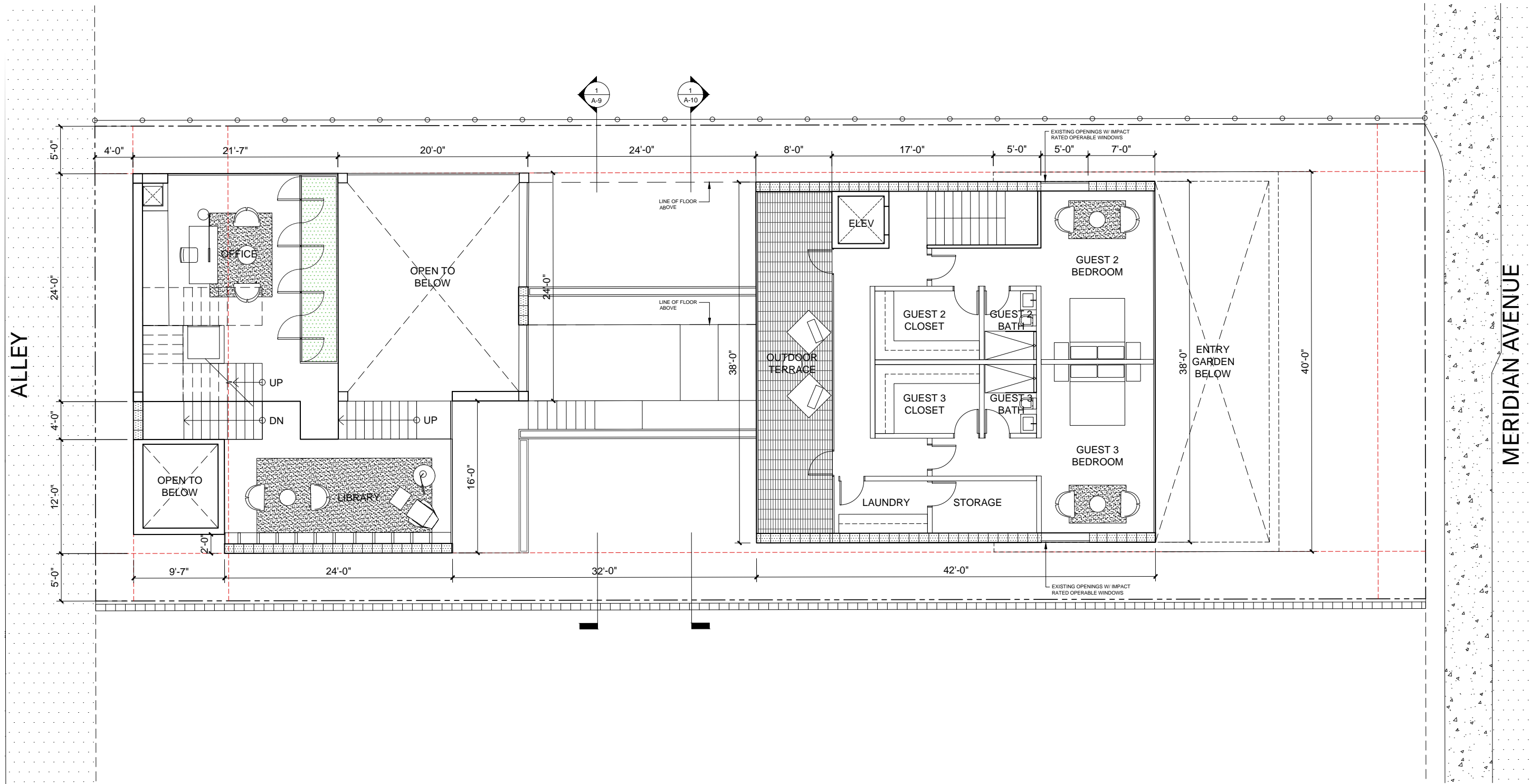
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1 SECOND FLOOR PLAN
 scale: 3/32" = 1'-0"

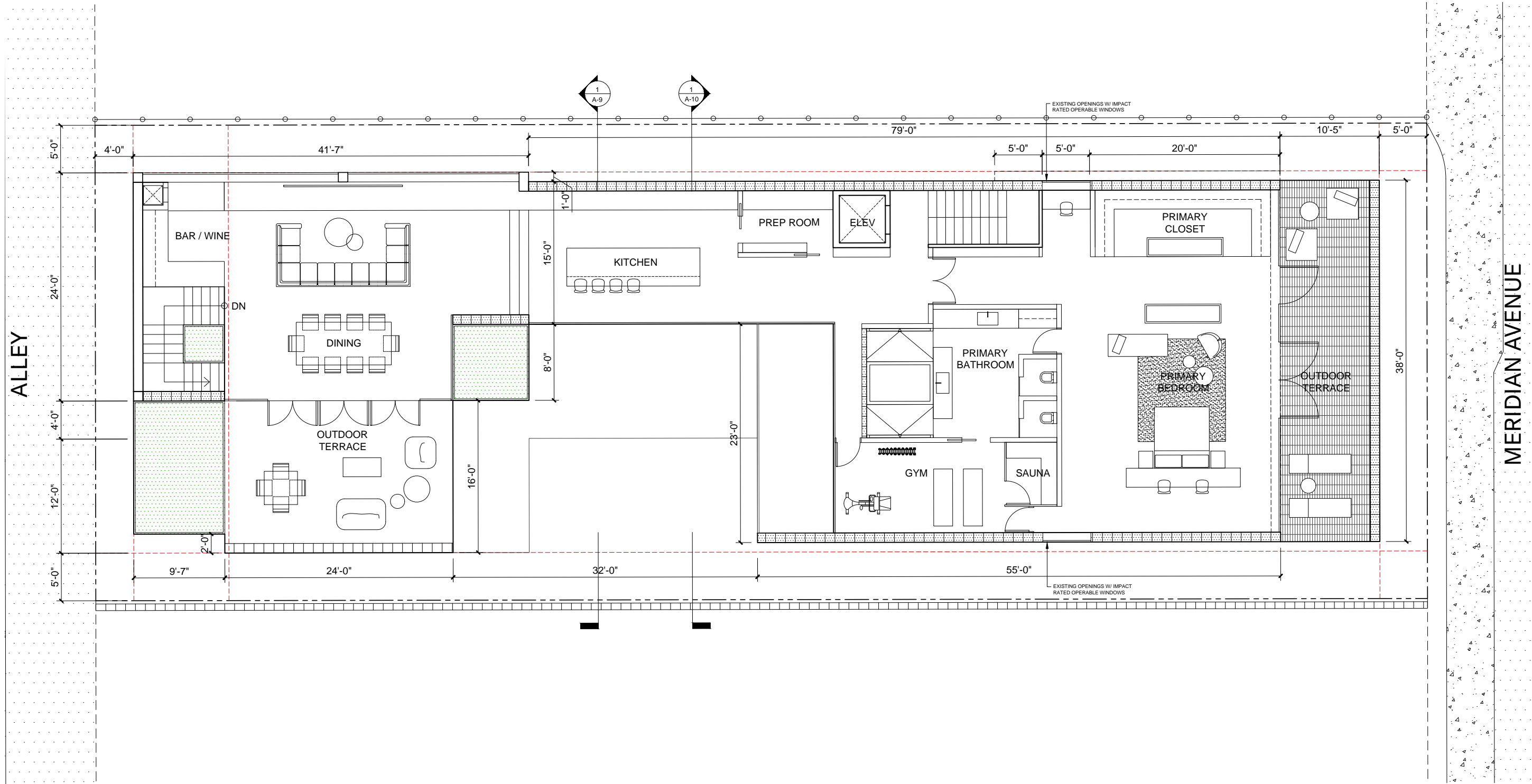
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1 THIRD FLOOR PLAN
 scale: 3/32" = 1'-0"

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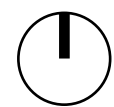
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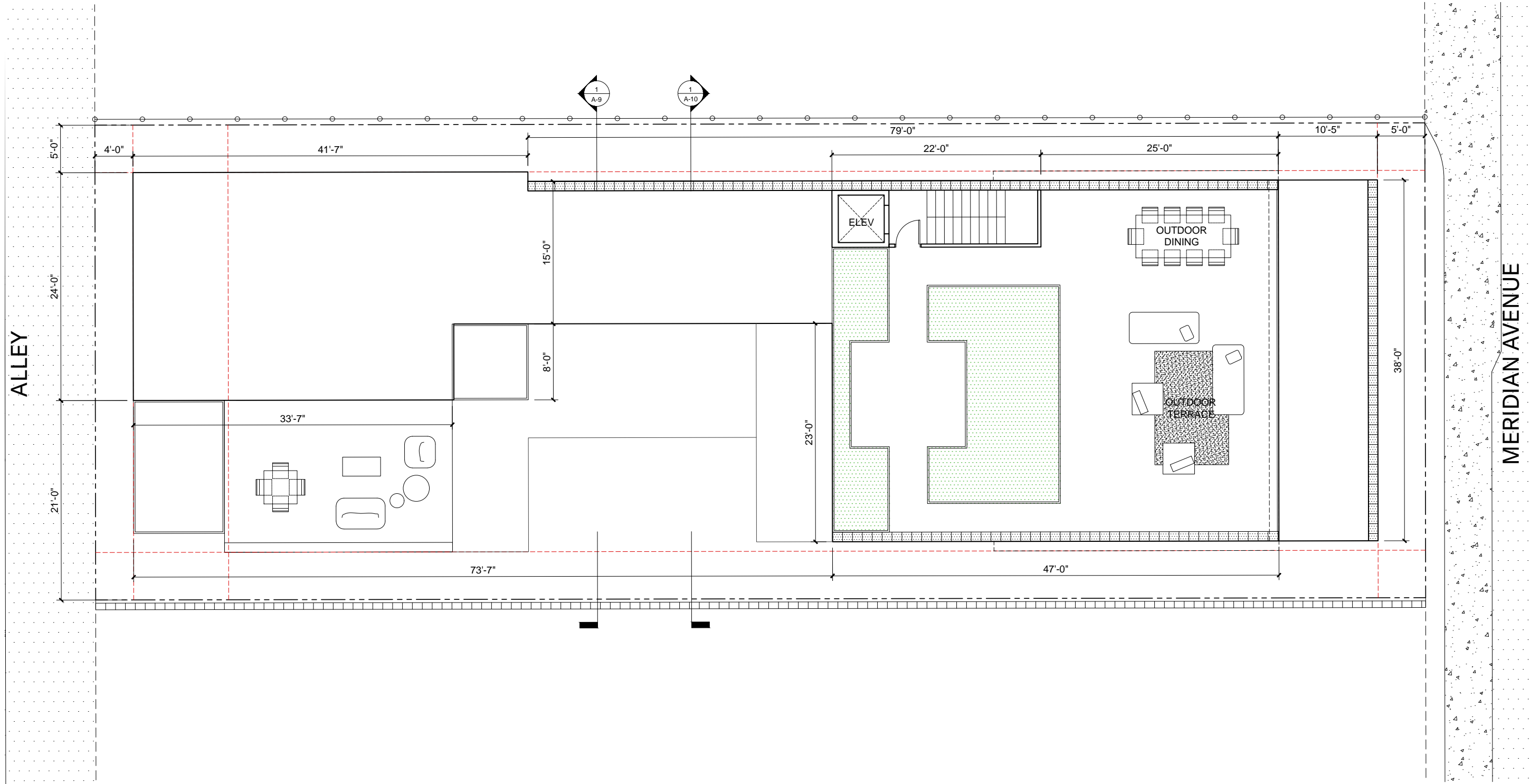
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PLANS -
 THIRD FLOOR

A-30





1 ROOF FLOOR PLAN
 scale: 3/32" = 1'-0"

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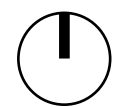
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PLANS -
 ROOFTOP

A-32



ART DECO AND GLASS BLOCK



Maison de Verre by Pierre Chareau
1932 Paris, France



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336 Meridian Ave
Miami Beach, FL 33139

Date: 07.15.2025
Scale:
Revisions:

ART DECO AND GLASS BLOCK



Lescaze House by William Lescaze
1933 New York City, New York

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ART DECO AND
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GLASS BLOCK IN MIAMI BEACH



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GLASS BLOCK IN
SOUTH FLORIDA

A-40

GBA Architectural Products

Hurricane-Resistant Glass Block Windows

Endura Block: 8 x 8 x 4 in

- Meets large missile impact tests referenced in the International Building Code (IBC), in accordance with
- ASTM E-1886 and ASTM E-1996
- Tested to Florida and Dade county Approval protocols
- TAS 201, 202, 203
- Window size and Design pressure Rating: 4' x 8' = 80 PSF Design pressure

or similar



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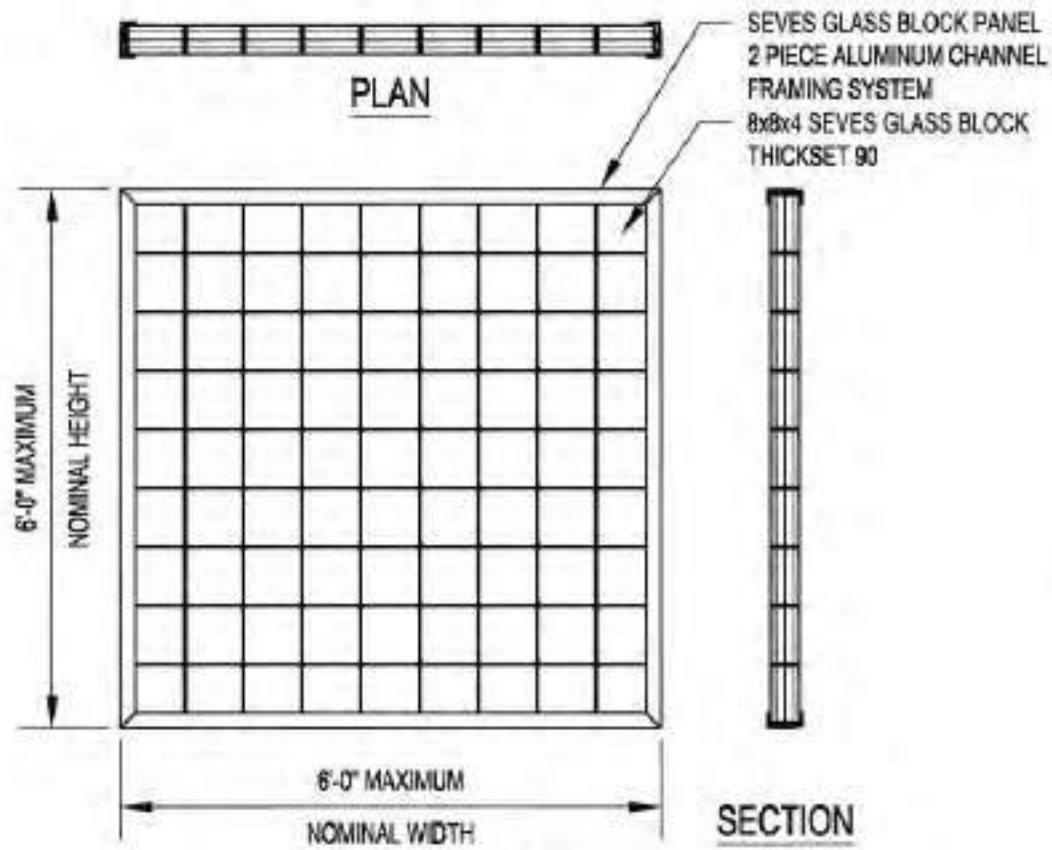
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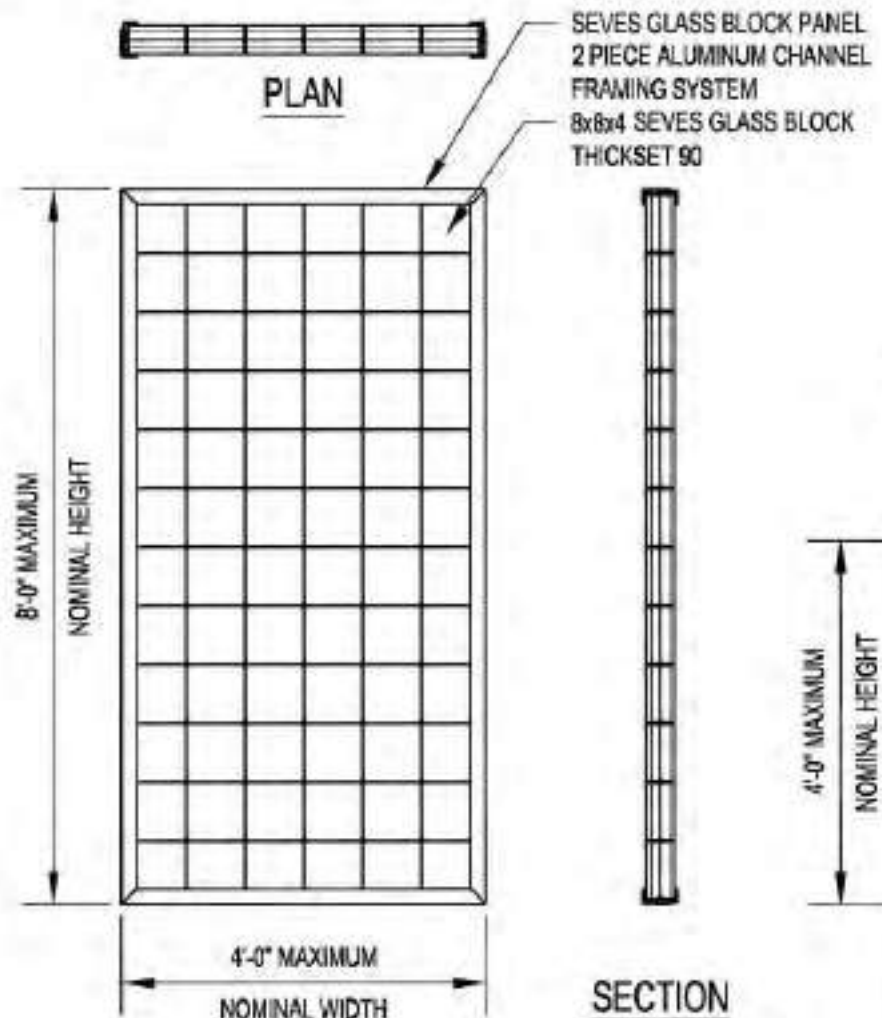
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336 Meridian Ave
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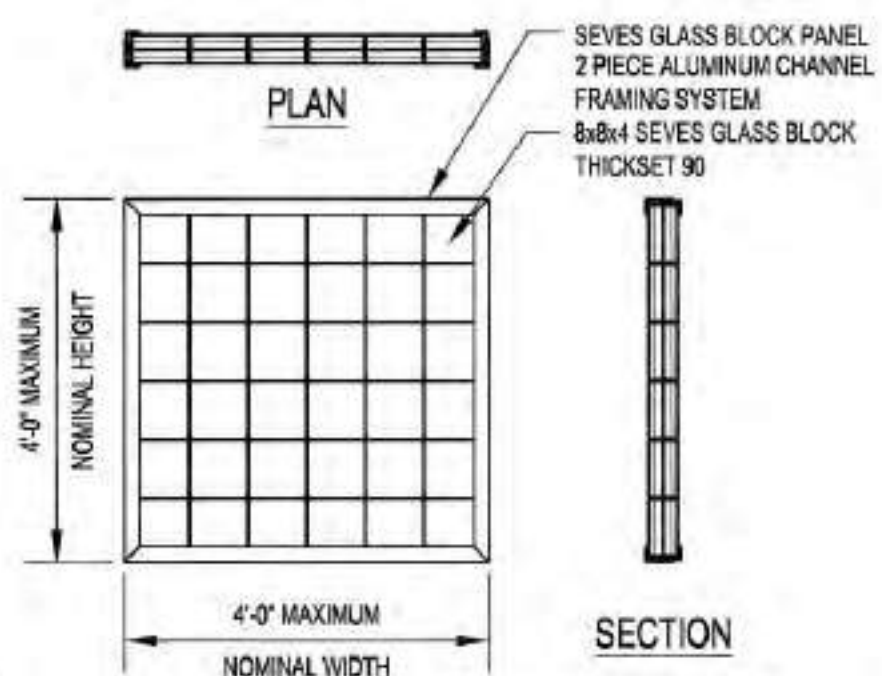
REVISIONS		
REV	DESCRIPTION	DATE
1	ADDED DLO (DAYLIGHT OPENING) TO ELEVATIONS	04/01/2014
2	FBC 2020 NOTE ADDED	06/12/2020
3	FBC 2023 NOTE ADDED	09/12/2023



ELEVATION	IMPACT RESISTANT
9 BLOCKS x 9 BLOCKS D.L.O.: 67 1/8" X 67 1/8"	DESIGN PRESSURE RATING
	± 68.0 PSF

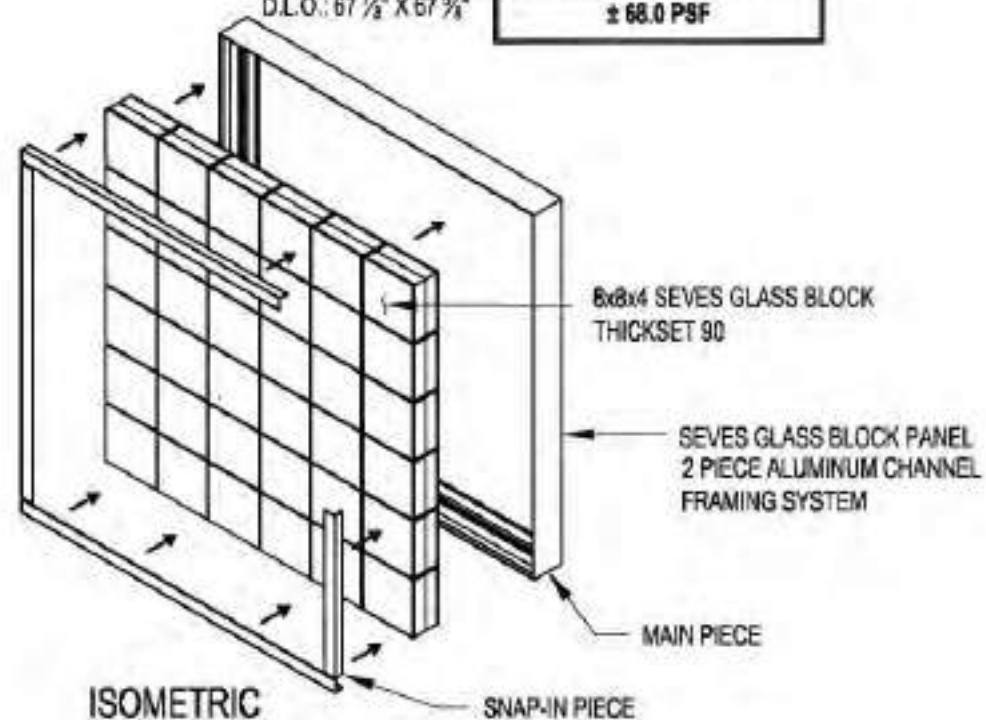


ELEVATION	IMPACT RESISTANT
6 BLOCKS x 12 BLOCKS D.L.O.: 44 3/8" X 91 1/8"	DESIGN PRESSURE RATING
	± 80.0 PSF



ELEVATION	IMPACT RESISTANT
6 BLOCKS x 6 BLOCKS D.L.O.: 44 3/8" X 44 1/8"	DESIGN PRESSURE RATING
	± 100.0 PSF

GENERAL NOTES:
 1. THESE PRODUCTS HAVE BEEN TESTED TO HVHZ PROTOCOLS TAS 201, 202, & 203-94 AND COMPLY WITH THE 2020 (7TH EDITION) & 2023 (8TH EDITION) FLORIDA BUILDING CODE.



PRODUCT REVISED as complying with the Florida Building Code NOA-No. 23-1012.14 Expiration Date 10/16/2028 By <i>[Signature]</i> Miami-Dade Product Control		TITLE HIGH PERFORMANCE SYSTEMS HURRICANE-RESISTANT GLASS BLOCK PANELS		
		SEVES GLASS BLOCK, INC. 10576 BROADVIEW ROAD BROADVIEW HEIGHTS, OH 44147		
SCALE 1/2" = 1'-0"		DWG. NO. HRGBP-001	REV 3	
BY LBA		DATE 01/10/2014	SHEET 1 OF 3	

1 GLASS BLOCK NOA AND SPECIFICATIONS
 scale: N.T.S.

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MATERIALITY -
 GLASS BLOCK
 SPECIFICATIONS



STEEL AND GLASS WINDOW SYSTEM

Cantera Luxury Metal Windows and Doors

Florida Hurricane Impact Rated Steel Doors & Windows

CS77 - Hurricane Solutions

or similar



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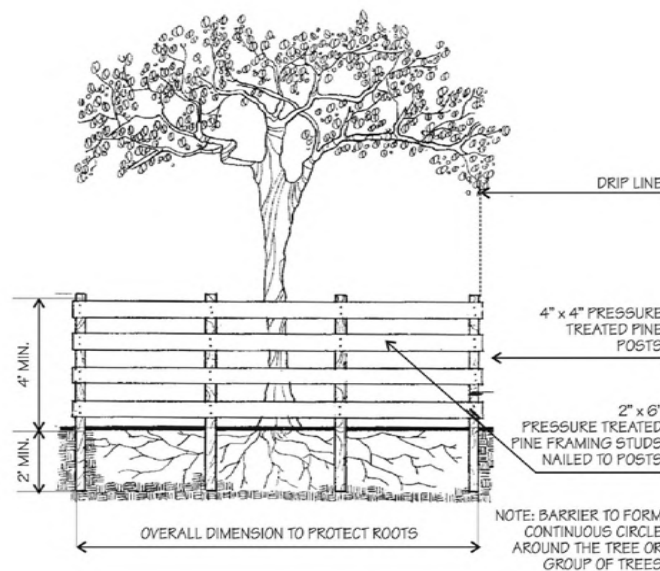
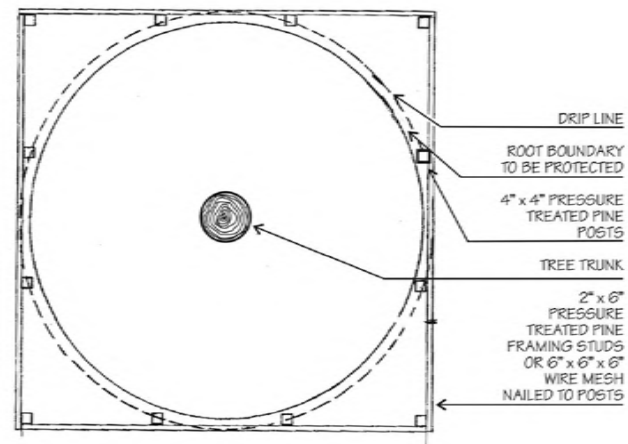
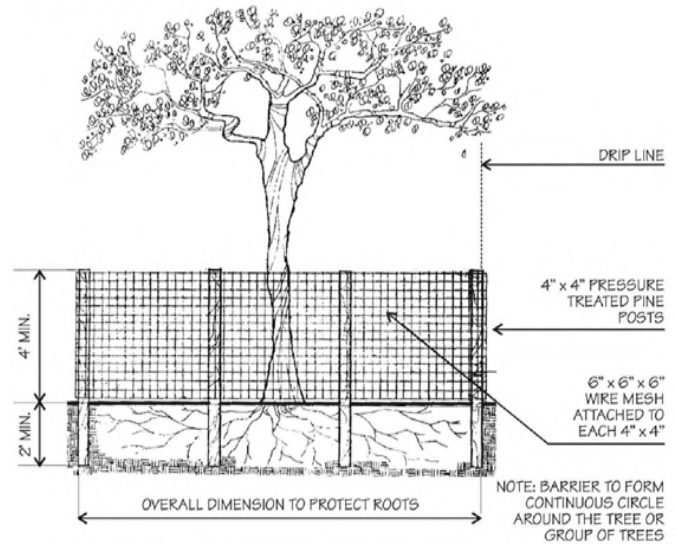
Date: 07.15.2025
Scale:
Revisions:

MATERIALITY -
STEEL AND
GLASS WINDOWS

A-44

EXISTING-TREE PROTECTION BARRIER DETAILS

IT IS CRITICAL TO EXISTING TREE SURVIVAL TO PROVIDE PROTECTION DURING CONSTRUCTION. THIS DETAIL CAN BE USED AROUND ONE OR MORE TREES AND WILL PROVIDE PROTECTION FROM CONSTRUCTION EQUIPMENT.



EXISTING - TREE DISPOSITION TABLE

#	COMMON NAME	BOTANICAL NAME	DBH	SP	HT	DISPOSITION
1	Brazilian Beauty Leaf	<i>Calophyllum brasiliense</i>	3'	45'	50'	To Remain In-Place
2	Brazilian Beauty Leaf	<i>Calophyllum brasiliense</i>	0.90'	6'	30'	To Remain In-Place
3	Spindle Palm	<i>Hyophorbe verschaffeltii</i>	0.80'	6'	30'	To Be Removed
4	Traveler's Tree (8)	<i>Ravenala madagascariensis</i>	6'	11'	45'	To Be Relocated
5	Montgomery palm	<i>Veitchia montgomeryana</i>	.6'	8'	50"	To Remain In-Place
6	Montgomery palm	<i>Veitchia montgomeryana</i>	.6'	8'	50"	To Remain In-Place
7	Montgomery palm	<i>Veitchia montgomeryana</i>	.6'	10'	50"	To Remain In-Place
8	Montgomery palm (Double)	<i>Veitchia montgomeryana</i>	1.8'	10'	35'	To Remain In-Place
9	Montgomery palm (Double)	<i>Veitchia montgomeryana</i>	1.8'	10'	35'	To Remain In-Place
10	Montgomery palm (Triple)	<i>Veitchia montgomeryana</i>	2.3'	22'	35'	To Remain In-Place
11	Sylvester Palm (Offsite)	<i>Phoenix sylvestris</i>	1.1'	20'	30'	To Remain In-Place
12	Christmas Palm (Triple)	<i>Adonidia merrillii</i>	1.7'	15'	30'	To Be Removed
13	Christmas Palm	<i>Adonidia merrillii</i>	.5'	6'	30'	To Be Removed
14	Christmas Palm (Double)	<i>Adonidia merrillii</i>	1.8'	10'	35'	To Be Removed
15	Christmas Palm (Double)	<i>Adonidia merrillii</i>	1.8'	10'	35'	To Be Removed
16	Christmas Palm (Double)	<i>Adonidia merrillii</i>	1.8'	10'	35'	To Be Removed
17	Christmas Palm (Double)	<i>Adonidia merrillii</i>	1.8'	10'	35'	To Be Removed
18	Christmas Palm (Double)	<i>Adonidia merrillii</i>	1.8'	10'	35'	To Be Removed
19	Christmas Palm (Double)	<i>Adonidia merrillii</i>	1.8'	10'	35'	To Be Removed
20	Christmas Palm (Double)	<i>Adonidia merrillii</i>	1.8'	10'	35'	To Be Removed
21	Christmas Palm (Triple)	<i>Adonidia merrillii</i>	1.7'	15'	30'	To Be Removed
22	Christmas Palm (Triple)	<i>Adonidia merrillii</i>	1.7'	15'	30'	To Be Removed
23	Christmas Palm (Triple)	<i>Adonidia merrillii</i>	1.7'	15'	30'	To Be Removed
24	Christmas Palm (Double)	<i>Adonidia merrillii</i>	1.8'	10'	35'	To Be Removed
25	Christmas Palm (Double)	<i>Adonidia merrillii</i>	1.8'	10'	35'	To Be Removed
26	Christmas Palm (Double)	<i>Adonidia merrillii</i>	1.8'	10'	35'	To Be Removed
27	Christmas Palm (Triple)	<i>Adonidia merrillii</i>	1.7'	15'	30'	To Be Removed
28	Traveler's Tree (5)	<i>Ravenala madagascariensis</i>	4'	15'	30'	To Be Relocated
29	Apple Blossom Cassia	<i>Cassia javanica</i>	0.8'	20'	35'	To Be Removed
30	Traveler's Tree (13)	<i>Ravenala madagascariensis</i>	4.5'	15'	30'	To Be Relocated
31	Traveler's Tree (8)	<i>Ravenala madagascariensis</i>	3'	20'	30'	To Remain In-Place
32	Pencil Stick Cactus	<i>Euphorbia tirucalli</i>	0.8'	18'	27'	To Remain In-Place
33	Montgomery palm (Triple)	<i>Veitchia montgomeryana</i>	1.8'	12'	30'	To Be Relocated
34	Montgomery palm	<i>Veitchia montgomeryana</i>	0.6'	12'	30'	To Be Relocated
35	Montgomery palm	<i>Veitchia montgomeryana</i>	0.6'	12'	30'	To Be Relocated
36	Montgomery palm	<i>Veitchia montgomeryana</i>	0.6'	12'	30'	To Be Relocated
37	Traveler's Tree (13)	<i>Ravenala madagascariensis</i>	6'	22'	28'	To Remain In-Place
38	Spindle Palm	<i>Hyophorbe verschaffeltii</i>	2.3'	4'	7'	To Be Removed
39	Christmas Palm (Triple)	<i>Adonidia merrillii</i>	0.8'	18'	23'	To Be Removed
40	Washingtonia	<i>Washingtonia filifera</i>	1.2'	10'	30'	To Be Removed
41	Starburst Clerdendron	<i>Clerodendrum quadriloculare</i>	0.33'	8'	15'	To Be Removed
42	Starburst Clerdendron	<i>Clerodendrum quadriloculare</i>	0.33'	8'	15'	To Be Removed
43	Fishtail Palm	<i>Caryota mitis</i>	3'	20'	30'	To Remain In-Place
44	Kapok Tree	<i>Ceiba pentandra</i>	6'	40'	45'	To Remain In-Place
45	Coconut Palm	<i>Cocos nuciferas</i>	.6'	10'	35'	To Be Removed
46	Bucaneer Palm	<i>Pseudophoenix sargentii</i>	0.6'	8'	15'	To Be Relocated
47	Thatch Palm	<i>Thrinax radiata</i>	0.4'	6'	7'	To Be Relocated
48	Madagascar Plumeria	<i>Pachypodium lamerei</i>	1.5'	12'	18'	To Be Relocated

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336 Meridian Ave
Miami Beach, FL 33139

Date: 08/22/2025
Scale: 3/32" = 1'-0"
Revisions:

EXISTING-TREE
DISPOSITION
TABLE

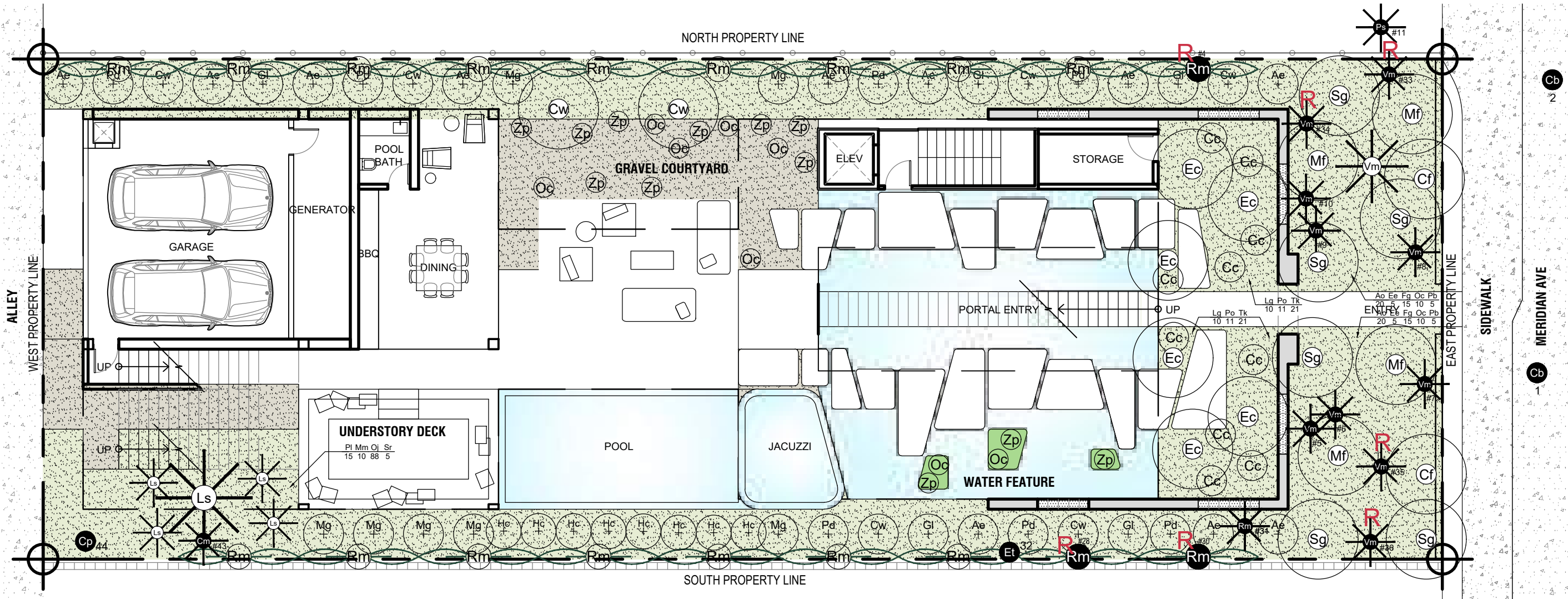
L-101



PETAR STRACENSKI
 LA 6667526

PLAN KEY

- | | | | | | | | | | | | | | |
|--|---------------|--|----------|--|---|--|---|--|--------------------------------------|--|--|--|--|
| | HARDSCAPE | | PLANTING | | EXISTING TREE IN SITU
Showing tree number per survey | | EXISTING PALM IN SITU
Showing tree number per survey | | PROPOSED TREE
Refer to plant list | | RELOCATED TRAVELLER'S TREE
Showing tree number per survey | | PROPOSED LARGE SHRUB / SMALL TREE
Refer to plant list |
| | WATER FEATURE | | GRAVEL | | RELOCATED TREE
Showing tree number per survey | | RELOCATED PALM
Showing tree number per survey | | PROPOSED PALM
Refer to plant list | | PROPOSED TRAVELLER'S TREE
Refer to plant list | | PROPOSED SMALL SHRUBS
Refer to plant list |



GROUND FLOOR PLANTING PLAN
 SCALE: 3/32" = 1'-0"

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Date: 08/22/2025
 Scale: 3/32" = 1'-0"
 Revisions:

GROUND FLOOR PLANTING PLAN

L-200

NOTE: ALL LANDSCAPE AREAS TO BE PROVIDED WITH AN AUTOMATICALLY OPERATED, UNDERGROUND, IRRIGATION SYSTEM TO HAVE 100% COVERAGE AS REQUIRED BY CODE.

LANDSCAPE LEGEND

MUNICIPALITY: City of Miami Beach

ZONING CLASS: R-PS2 LOT AREA Sq. Ft.: 7,000

ACRES: 0.1607

ORDINANCE/CODE SECTION: CITY OF MIAMI BEACH SECTION 126

OPEN SPACE		REQUIRED/ ALLOWED	PROVIDED
A.	Sq. Ft. of required Open Space Lot area: <u>7,000</u> Multiplier: <u>65%</u>	<u>4,550</u>	<u>4,550</u>
B.	Sq. Ft. of parking lot open space Parking Spaces: <u>2</u> Multiplier: <u>NA</u> sf/space	<u>NA</u>	<u>NA</u>
C.	Total Sq. Ft. of landscaped Open Space required	<u>4,550</u>	<u>4,550</u>

LAWN AREA

A.	Total Sq. Ft. of landscaped Open Space	<u>4,550</u>	<u>4,550</u>
B.	Maximum Lawn Area (sod) permitted- Open space required: <u>4,550</u> Multiplier: <u>20%</u>	<u>910</u>	<u>0</u>

TREES

A.	Number of trees required per lot, less existing trees Required Trees/Lot: <u>2</u> Net lot acres: <u>0.1607</u> Existing trees: <u>1</u>	<u>3</u>	<u>21</u>
B.	% Palms allowed Palms allowed 1:1 for mitigation only.	<u>NA</u>	<u>NA</u>
C.	% Native required Trees provided: <u>21</u> Multiplier: <u>30%</u>	<u>6</u>	<u>18</u>
D.	% Drought tolerant and low maintenance species required Trees provided: <u>21</u> Multiplier: <u>50%</u>	<u>11</u>	<u>21</u>

STREET TREES

A.	Street trees (maximum average spacing of 20' o.c.) Linear ft of street frontage: <u>50</u> Multiplier: <u>20</u> Required: <u>2</u> Existing Street trees: <u>2</u>	<u>0</u>	<u>0</u>
B.	Street trees directly below power lines Linear ft of street frontage: <u>0</u> Multiplier: <u>20</u>	<u>0</u>	<u>0</u>

SHRUBS

A.	Number of shrubs required Lot and street trees required: <u>3</u> Multiplier: <u>12</u>	<u>36</u>	<u>243</u>
B.	% Native species required Shrubs provided: <u>243</u> Multiplier: <u>50%</u>	<u>122</u>	<u>123</u>

LARGE SHRUBS OR SMALL TREES

A.	Number of large shrubs or small tree required Shrubs required: <u>36</u> Multiplier: <u>10%</u>	<u>4</u>	<u>46</u>
B.	% Native species required Large Shrubs/Small Trees provided: <u>46</u> Multiplier: <u>50%</u>	<u>23</u>	<u>29</u>

PROPOSED PLANT LIST

Symb. Quant. Botanical Name

Symb.	Quant.	Botanical Name	Common Name	Description
TREES				
Cf	2	<i>Caesalpinia ferrea</i>	Brazilian Ironwood Tree	4" DBH, 4' Ct, 12' HT, 6' Spr, Ch, Full
Cw	2	<i>Canella winterana</i>	Cinnamon Bark	2" DBH, 12' HT, 6' Spr, Ch, Multi, Full
Ec	6	<i>Eugenia confusa</i>	Redberry Stopper	3" DBH, 12' HT, 6' Spr, Ch, Multi, Full
Mf	6	<i>Myrcianthes fragans</i>	Simpson Stopper	3" DBH, 10' HT, 6' Spr, Ch, Multi, Full
Sg	4	<i>Simaruba glauca</i>	Paradise Tree	4" DBH, 4' Ct, 16' HT, 8' Spr, Ch, Full

PALMS

Ls	5	<i>Licuala spinosa</i>	Mangrove Fan Palm	(1) 20' HT, (4) 5'-12' STG HTs OA, Full
Vm	1	<i>Veitchia montgomeryana</i>	Montgomery Palm	15' HT OA, Curved, Full

LARGE SHRUBS/SMALL TREES

Ae	11	<i>Ardisia escallonioides</i>	Marlberry	2" DBH, 8' HT, 4' Spr, Bh, Full
Mg	7	<i>Macaranga grandifolia</i>	Parasol Tree	2" DBH, 8' HT, 4' Spr, Bh, Full
Cc	10	<i>Cyathea cooperii</i>	Australian Tree Fern	(4) 12' HT, (4) 8' HT, (2) 4' HT, 4' Spr, Bh, Full
Cw	6	<i>Canella winterana</i>	Cinnamon Bark	2" DBH, 8' HT, 4' Spr, Bh, Full
Pd	7	<i>Pimenta dioica</i>	Allspice	2" DBH, 10' HT, 4' Spr, Bh, Full
Gl	5	<i>Gymnanthes lucida</i>	Crabwood	2" DBH, 10' HT, 4' Spr, Bh, Full
Hc	8	<i>Heliconia caribaea</i>	Heliconia	8' HT, 4' Spr, Bh, Full
Rm	19	<i>Ravenala madagascariensis</i>	Traveller's Tree	(4) Relocated, (17) 12' HT, Multi, Full

SHRUBS

Ao	40	<i>Alocasia odorax x reginula</i>	Regal Shield Alocasia	36" x 36", Full
Ee	10	<i>Etlingera elatior</i>	Torch Ginger	36" x 36", Full
Fg	30	<i>Farugium gigantea</i>	Farugium	24" x 24", Full
Lg	20	<i>Licuala grandis</i>	Ruffle Fan Palm	2-4' HT OA, Full
Mm	10	<i>Medinilla magnifica</i>	Malaysian Orchid	18" x 18", Full, Lb
Oc	28	<i>Osmundastrum cinnamomeum</i>	Cinnamon Fern	18" x 18", Full, Lb
Pb	10	<i>Philodendron 'Bob Cee'</i>	Philodendron 'Bob Cee'	48" x 48", Full
Pl	15	<i>Psychotria ligustrifolia</i>	Bahama Wild Coffee (Dwarf)	24" x 24", Full
Po	22	<i>Peperomia obtusifolia</i>	Baby Rubber Plant	24" x 24", Full
Sr	3	<i>Serenoa repens</i>	Green Saw Palmetto	48" x 48", Full
Sr	2	<i>Serenoa repens 'cinera'</i>	Silver Saw Palmetto	48" x 48", Full
Tk	42	<i>Thelypteris kunthii</i>	Southern Shield Fern	24"x24", Full
Zp	11	<i>Zamia pumila</i>	Coontie	24"x24", Full

GROUNDCOVERS

Oj	88	<i>Ophiopogon japonicus</i>	Mondo Grass	24" x 24", Full
----	----	-----------------------------	-------------	-----------------

EPIPHYTES

Et	25	<i>Encyclia tampensis</i>	Crown Staghorn Fern	1G, Hb, Gu
Pe	7	<i>Platynerium elephantotis</i>	Elephant Ear Staghorn Fern	1G, Hb, Gu
Ps	3	<i>Platynerium superbum</i>	Superbum Staghorn Fern	1G, Hb, Gu
Pwa	2	<i>Platynerium wandae</i>	Queen Staghorn Fern	1G, Hb, Gu

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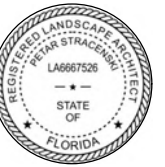


336 Meridian Ave
Miami Beach, FL 33139

Date: 08/22/2025
Scale: N/A
Revisions:

LANDSCAPE
LEGEND
& PLANT LIST

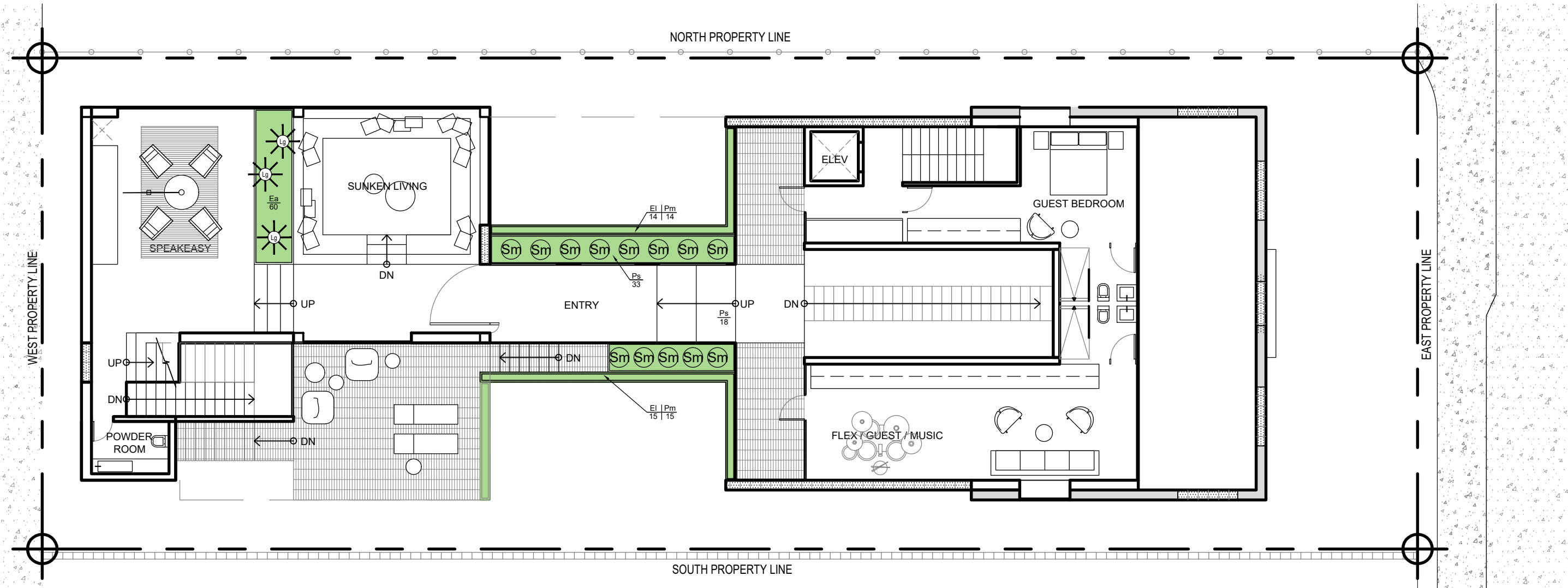
L-201



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PLAN KEY

	HARDSCAPE		PLANTER		EXISTING TREE IN SITU Showing tree number per survey		EXISTING PALM IN SITU Showing tree number per survey		PROPOSED TREE Refer to plant list		RELOCATED TRAVELLER'S TREE Showing tree number per survey		PROPOSED LARGE SHRUB / SMALL TREE Refer to plant list
	WATER FEATURE		GRAVEL		RELOCATED TREE Showing tree number per survey		RELOCATED PALM Showing tree number per survey		PROPOSED PALM Refer to plant list		PROPOSED TRAVELLER'S TREE Refer to plant list		PROPOSED SMALL SHRUBS Refer to plant list



FIRST FLOOR PLANTING PLAN
 SCALE: 3/32" = 1'-0"

PROPOSED PLANT LIST

Symb.	Quant.	Botanical Name	Common Name	Description
PALMS				
Lg	3	<i>Licuala grandis</i>	Ruffle Fan Palm	(1) 3' Ht, (1) 5' Ht, (1) 9'Ht , Full
SHRUBS				
Sm	13	<i>Sansevieria masoniana</i>	Whale Fin Snake Plant	7G, 30" x 30", Full
GROUND-COVERS				
Ea	69	<i>Epipremnum aureum 'Neon'</i>	Neon Lime Pothos	18" x 18", Full, 12' O.C.
El	29	<i>Ernodea littoralis</i>	Golden Beach Creeper	24" x 24", Full, 12' O.C.
Pm	29	<i>Phyllanthus myrtilloious</i>	Mousetail 'Cascade'	18" x 18", Full, 12' O.C.
Ps	51	<i>Pilea serpyllacea</i>	Artillery Fern	12" x 12", Full, 2' O.C.

NOTE: ALL LANDSCAPE AREAS TO BE PROVIDED WITH AN AUTOMATICALLY OPERATED, UNDERGROUND, IRRIGATION SYSTEM TO HAVE 100% COVERAGE AS REQUIRED BY CODE.

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Date: 08/22/2025
 Scale: 3/32" = 1'-0"
 Revisions:

FIRST FLOOR PLANTING PLAN

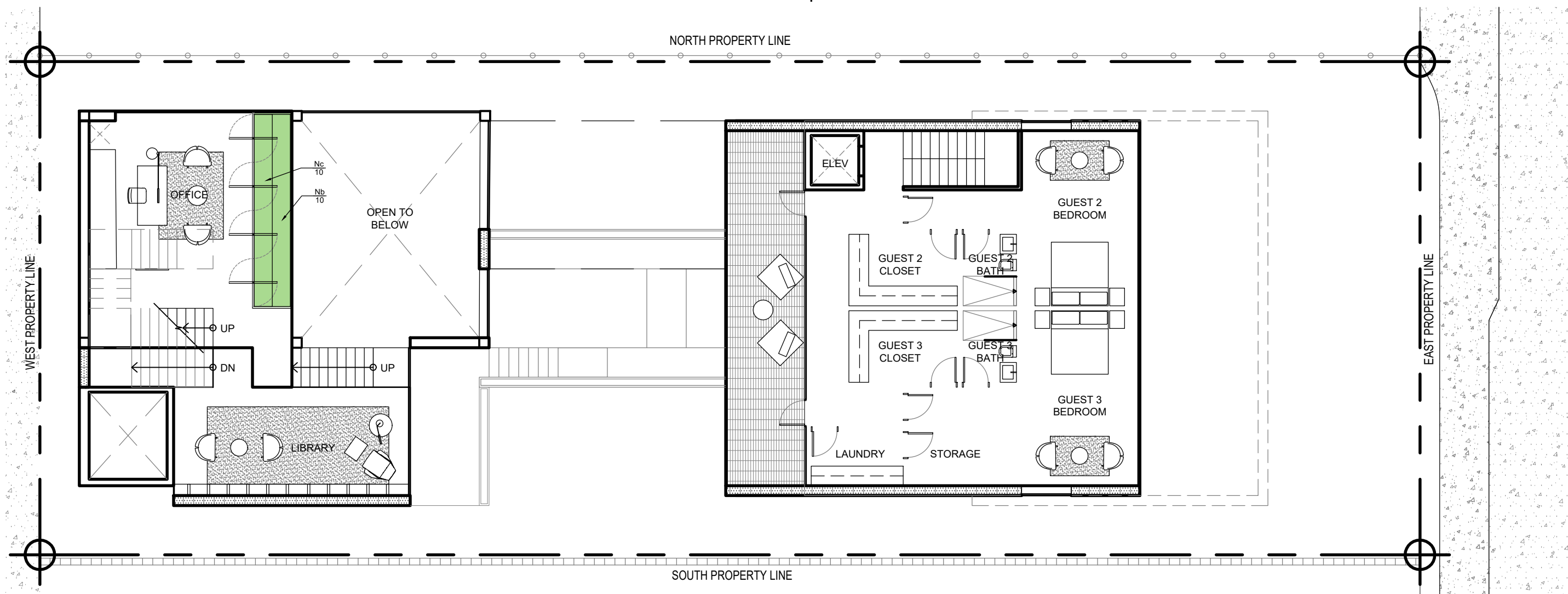
L-202



PETAR STRACENSKI
 LA 6667526

PLAN KEY

- | | | | | | | | | | | | | | |
|--|---------------|--|----------|--|---|--|---|--|--------------------------------------|--|--|--|--|
| | HARDSCAPE | | PLANTING | | EXISTING TREE IN SITU
Showing tree number per survey | | EXISTING PALM IN SITU
Showing tree number per survey | | PROPOSED TREE
Refer to plant list | | RELOCATED TRAVELLER'S TREE
Showing tree number per survey | | PROPOSED LARGE SHRUB / SMALL TREE
Refer to plant list |
| | WATER FEATURE | | GRAVEL | | RELOCATED TREE
Showing tree number per survey | | RELOCATED PALM
Showing tree number per survey | | PROPOSED PALM
Refer to plant list | | PROPOSED TRAVELLER'S TREE
Refer to plant list | | PROPOSED SMALL SHRUBS
Refer to plant list |



SECOND FLOOR PLANTING PLAN
 SCALE: 3/32" = 1'-0"

PROPOSED PLANT LIST

Symb.	Quant.	Botanical Name	Common Name	Description
GROUND-COVERS				
Nc	17	<i>Nephrolepis codifolia 'duffii'</i>	Lemon Butter Fern	18" x 18", Full, 18" O.C.
Ne	17	<i>Nephrolepis exaltata</i>	Boston Fern	18" x 18", Full, Hb, 18' O.C.

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 Scale: 3/32" = 1'-0"
 Revisions:

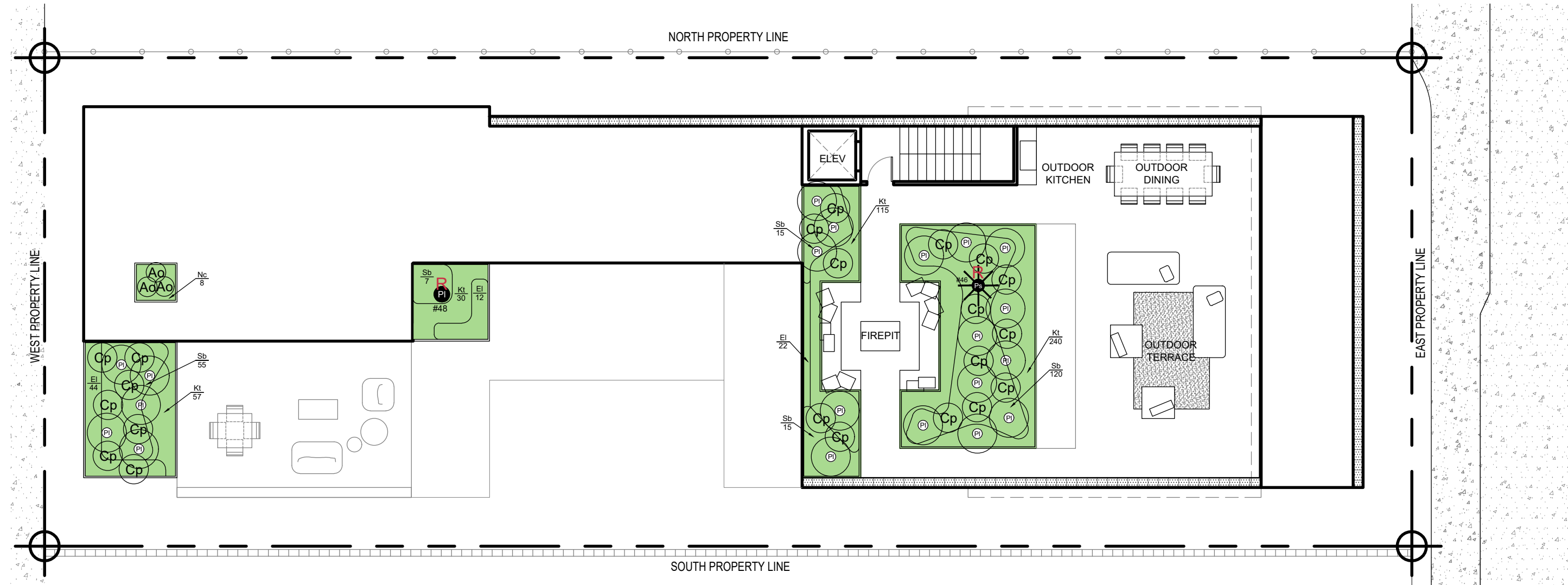
NOTE: ALL LANDSCAPE AREAS TO BE PROVIDED WITH AN AUTOMATICALLY OPERATED, UNDERGROUND, IRRIGATION SYSTEM TO HAVE 100% COVERAGE AS REQUIRED BY CODE.



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PLAN KEY

	HARDSCAPE		PLANTING		EXISTING TREE IN SITU Showing tree number per survey		EXISTING PALM IN SITU Showing tree number per survey		PROPOSED TREE Refer to plant list		RELOCATED TRAVELLER'S TREE Showing tree number per survey		PROPOSED LARGE SHRUB / SMALL TREE Refer to plant list
	WATER FEATURE		GRAVEL		RELOCATED TREE Showing tree number per survey		RELOCATED PALM Showing tree number per survey		PROPOSED PALM Refer to plant list		PROPOSED TRAVELLER'S TREE Refer to plant list		PROPOSED SMALL SHRUBS Refer to plant list



THIRD FLOOR AND ROOF PLANTING PLAN
 SCALE: 3/32" = 1'-0"

PROPOSED PLANT LIST

Symb.	Quant.	Botanical Name	Common Name	Description	Symb.	Quant.	Botanical Name	Common Name	Description
TREES									
PI	21	<i>Pachypodium lamerei</i>	Madagascar Plumeria	(1) Relocated, (13) 6' Ht, Full, (7) 6' Ht, Multi, Full					
PALMS									
Ps	1	<i>Pseudophoenix sargentii</i>	Bucaneer Palm	Relocated From Ground Level					
SHRUBS									
Ao	3	<i>Alocasia odorax x reginula</i>	Alocasia 'Regal Shields'	7G, 36" x 36", Full					
Cp	21	<i>Cereus peruvianus 'Monstrosus'</i>	Cereus montrosus	36" x 36", Full					
GRASSES									
Sb	212	<i>Spartina bakeri</i>	Sandcord Grass	18" x 18", Full					
GROUND-COVERS									
EI	78	<i>Ernodea littoralis</i>	Golden Beach Creeper	24" x 24", Full					
Kt	442	<i>Kalanchoe tomentosa</i>	Panda Plant	12" x 12", Full					
Nc	8	<i>Nephrolepis codifolia 'duffii'</i>	Lemon Butter Fern	18" x 18", Full					

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 Revisions:

THIRD FLOOR AND ROOF PLANTING PLAN

NOTE: ALL LANDSCAPE AREAS TO BE PROVIDED WITH AN AUTOMATICALLY OPERATED, UNDERGROUND, IRRIGATION SYSTEM TO HAVE 100% COVERAGE AS REQUIRED BY CODE.

No “Right to a View”

- Under Florida law, there is **no** right to a view over or through a neighbor’s property.
- “A claim of ‘obstructed view’ does not constitute a ‘legally recognizable interest.’”

Messett v. Cohen, 741 So. 2d 619, 622 (Fla. 5th DCA 1999)

COA Criteria Do Not Apply to Views from One Private Property Through Another Private Property to a Desired Vista

In Case SM 2021-002, involving an appeal of the HPB's approval of an addition to the Seagull Hotel, the Special Master upheld City staff's long-held policy that the protections provided to view corridors in the COA criteria are only those visible to the public at the pedestrian level.

No “Right to Free Flow of Light and Air”

“No American decision has been cited, and independent research has revealed none, in which it has been held that—in the absence of some contractual or statutory obligation—a landowner has a legal right to the free flow of light and air across the adjoining land of his neighbor.”

Fontainebleau Hotel Corp. v. Forty-Five Twenty-Five, Inc., 114 So. 2d 357, 359 (Fla. 3d DCA 1959)

**City Has No Regulation Prohibiting Shading of
Neighboring Properties**

**Resiliency Code Instead Sets Specific Height and
Setbacks for Each District**
