



336 MERIDIAN AVENUE RESIDENCE

336 MERIDIAN AVENUE
 MIAMI BEACH, FL 33139

FINAL SUBMITTAL - August 24, 2025
 HPB25-0663

SCOPE OF WORK

- PRESERVATION OF FRONT AND SIDE FACADES OF EAST BUILDING
- PARTIAL DEMOLITION OF EAST BUILDING
- FULL DEMOLITION OF WEST BUILDING
- NEW CONSTRUCTION OF SINGLE FAMILY HOME

INDEX OF DRAWINGS:

SURVEY

- SV-1 SURVEY
- SV-2 SURVEY

SITE DOCUMENTATION

- SD-1 AERIAL IMAGES
- SD-2 AERIAL IMAGES
- SD-3 AERIAL IMAGES
- SD-4 CONTEXT IMAGES
- SD-5 CONTEXT IMAGES
- SD-6 CONTEXT IMAGES
- SD-7 CONTEXT IMAGES
- SD-8 CONTEXT IMAGES
- SD-9 CONTEXT IMAGES
- SD-10 CONTEXT IMAGES
- SD-11 CONTEXT IMAGES
- SD-12 SITE IMAGES
- SD-13 SITE IMAGES
- SD-14 SITE IMAGES
- SD-15 SITE IMAGES
- SD-16 SITE IMAGES
- SD-17 SITE IMAGES
- SD-18 SITE IMAGES
- SD-19 SITE IMAGES

ZONING

- Z-1 ZONING INFORMATION
- Z-2 EXISTING FAR DIAGRAM
- Z-3 PROPOSED FAR DIAGRAM
- Z-4 PROPOSED FAR DIAGRAM
- Z-5 PROPOSED FAR DIAGRAM
- Z-6 PROPOSED FAR DIAGRAM
- Z-7 PROPOSED FAR DIAGRAM
- Z-8 REQUIRED OPEN SPACE DIAGRAM
- Z-9 PROPOSED OPEN SPACE DIAGRAM
- Z-10 BUILDABLE AREA SECTION DIAGRAM
- Z-11 PROPOSED SECTION DIAGRAM
- Z-12 NGVD REQUIREMENTS

EXISTING CONDITIONS

- EC-1 PLANS
- EC-2 DEMOLITION PLAN
- EC-3 DEMOLITION ELEVATION
- EC-4 DEMOLITION ELEVATION
- EC-5 DEMOLITION ELEVATION
- EC-6 DEMOLITION ELEVATION

PROPOSED DESIGN

- A-1 DESIGN STRATEGY
- A-2 HISTORIC PORTAL
- A-3 CONTEXT ELEVATION
- A-4 CONTEXT ELEVATION
- A-5 ELEVATIONS
- A-6 ELEVATIONS
- A-7 ELEVATIONS
- A-8 ELEVATIONS
- A-9 ELEVATIONS
- A-10 ELEVATIONS
- A-11 ELEVATIONS
- A-12 ELEVATIONS
- A-13 SECTIONS
- A-14 SECTIONS
- A-15 SECTIONS
- A-16 SECTIONS
- A-17 3D
- A-18 3D
- A-19 3D
- A-20 3D
- A-21 3D
- A-22 PLANS
- A-23 PLANS
- A-24 PLANS
- A-25 PLANS
- A-26 PLANS
- A-27 PLANS
- A-28 PLANS
- A-29 PLANS
- A-30 PLANS
- A-31 PLANS
- A-32 PLANS

- A-33 MATERIALITY
- A-34 ART DECO AND GLASS BLOCK
- A-35 ART DECO AND GLASS BLOCK
- A-36 ART DECO AND GLASS BLOCK
- A-37 GLASS BLOCK IN SOUTH FLORIDA
- A-38 GLASS BLOCK IN SOUTH FLORIDA
- A-39 GLASS BLOCK IN SOUTH FLORIDA
- A-40 MATERIALITY
- A-41 MATERIALITY
- A-42 MATERIALITY
- A-43 MATERIALITY
- A-44 MATERIALITY

VARIANCE

- V-1 VARIANCE SECTION
- V-2 VARIANCE PLAN
- V-3 HISTORIC COURTYARD
- V-4 SOUTH BEACH HISTORIC COURTYARD TYPOLOGY
- V-5 SOUTH BEACH HISTORIC COURTYARD TYPOLOGY
- V-6 COURTYARD SIDE YARD
- V-7 PRECEDENTS

LANDSCAPE

- L-100 EXISTING TREE DISPOSITION PLAN
- L-101 EXISTING TREE DISPOSITION TABLE
- L-200 GROUND FLOOR PLANTING PLAN
- L-201 LANDSCAPE LEGEND & PLANT LIST
- L-202 FIRST FLOOR PLANTING PLAN
- L-203 SECOND FLOOR PLANTING PLAN
- L-204 THIRD FLOOR AND ROOF PLANTING PLAN

Mauricio Del Valle Design Inc
 Landscape Designer
 1573 Pennsylvania Avenue
 Miami Beach, FL 33139
 305.607.8168

Optimus Structural Design
 Structural Engineer
 7850 NW 146 St, Suite 305
 Miami Lakes, FL 33016
 305.512.9860

Rene Gonzalez Architects
 Miami, Florida
 renegonzalezarchitect.com
 T 305.762.5895
 AA #00035E1



Date: 07.15.2025
 Scale:
 Revisions:

COVER SHEET

A-0

MERIDIAN AVENUE

NOTE:
 - ELEVATIONS SHOWN ARE NGVD29
 - BENCHMARK USED: D-116
 - ELEVATION: 5.03' NGVD29

LOT 5
 BLOCK 76
 "OCEAN BEACH ADDITION NO.3"
 P.B.2-PG.81

140.00' (P)(M)

140.00' (P)(M)

140.00' (P)(M)

LOT 3
 BLOCK 76
 "OCEAN BEACH ADDITION NO.3"
 P.B.2-PG.81

LOT 4
 BLOCK 76
 "OCEAN BEACH
 ADDITION NO.3"
 P.B.2-PG.81

ONE STORY
 RESIDENCE
 No. 336

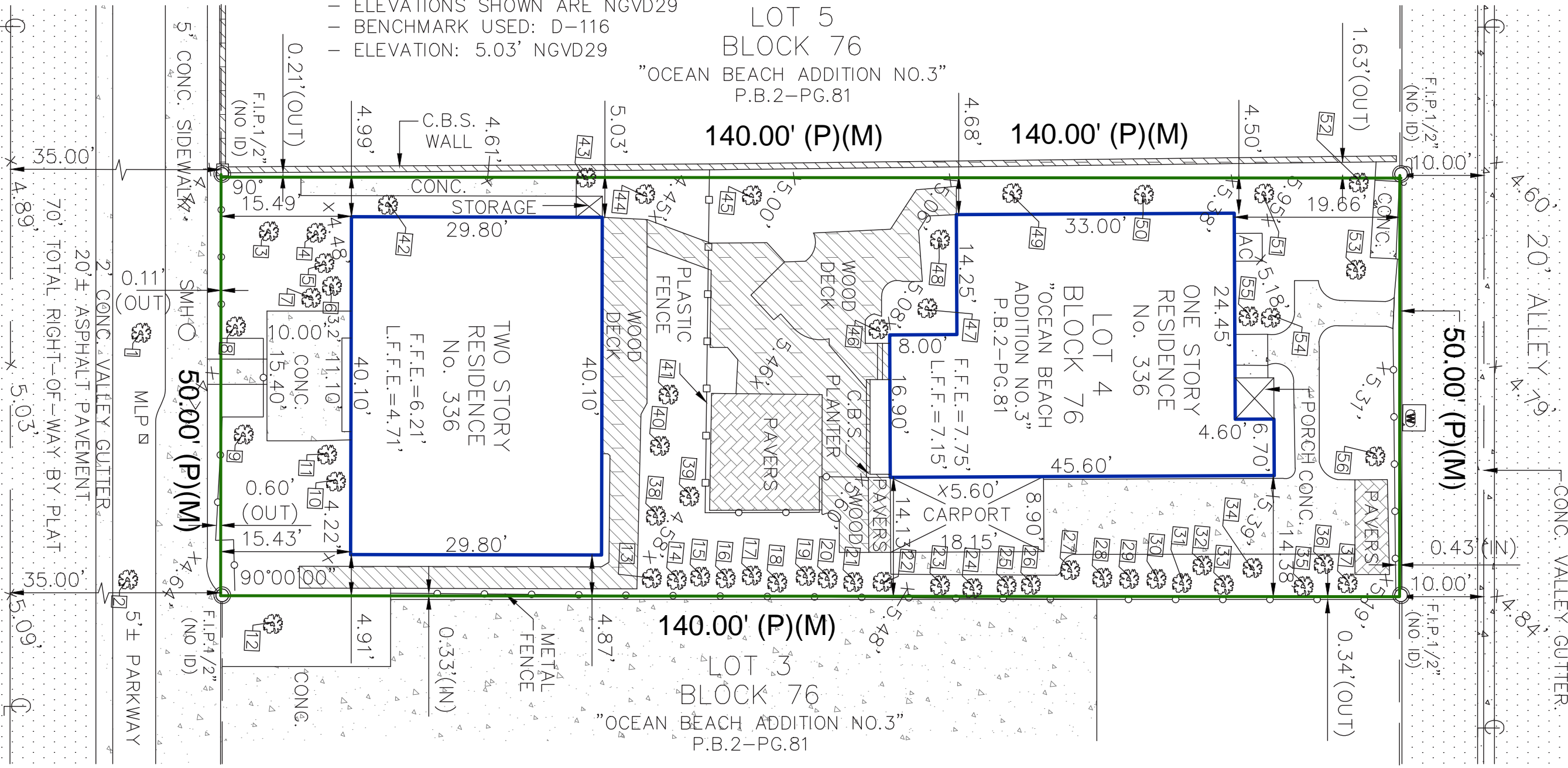
TWO STORY
 RESIDENCE
 No. 336
 F.F.E.=6.21'
 L.F.F.E.=4.71'

F.F.E.=7.75'
 L.F.F.E.=7.15'

50.00' (P)(M)

60' 20" ALLEY

CONC. VALLEY GUTTER



1 SURVEY
 scale: N.T.S.

Mauricio Valle Design Inc
 Landscape Designer
 1973 Pennsylvania Avenue
 Miami Beach, FL 33139
 305.512.8168

Optimus Structural Design
 Structural Engineer
 7850 NW 146 St, Suite 305
 Miami Lakes, FL 33016
 305.512.8960

Rene Gonzalez Architects
 Miami, Florida
 renegonzalezarchitects.com
 T 305.762.5965
 AA #0003351

336 Meridian Ave
 336 Meridian Ave
 Miami Beach, FL 33139

Digitally signed
 by rene
 gonzalez
 Date:
 2025.08.22
 11:36:07 -04'00'

Date: 07.15.2025
 Scale:
 Revisions:

SURVEY

SV-1

PROPERTY ADDRESS:
336 MERIDIAN AVENUE
MIAMI BEACH, FLORIDA 33139

BOUNDARY SURVEY



LEGAL DESCRIPTION:

LOT 4, OF BLOCK 76, OF OCEAN BEACH ADDITION NO. 3, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

CERTIFIED TO:

KINDREDFRUIT PROPERTIES, LLC.

SELF

ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTEREST MAY APPEAR.

GENERAL NOTES:

- LEGAL DESCRIPTION USED TO PERFORM THIS SURVEY WAS SUPPLIED BY OTHERS. THIS SURVEY DOES NOT DETERMINE OR IS NOT TO IMPLY OWNERSHIP.
- THIS SURVEY ONLY SHOWS ABOVE GROUND IMPROVEMENTS. UNDERGROUND UTILITIES, FOOTINGS, OR ENCROACHMENTS ARE NOT LOCATED ON THIS SURVEY MAP.
- IF THERE IS A SEPTIC TANK, WELL OR DRAIN FIELD ON THIS SURVEY, THE LOCATION OF SUCH ITEMS WAS SHOWN TO US BY OTHERS AND THE INFORMATION WAS NOT VERIFIED.
- EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECT THIS PROPERTY.
- THE LANDS SHOWN HEREIN WERE NOT ABSTRACTED FOR EASEMENT OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PLAT.
- WALL TIES ARE TO THE FACE OF THE WALL.
- FENCE OWNERSHIP NOT DETERMINED.
- BEARINGS REFERENCED TO LINE NOTED AS B.R.
- DIMENSIONS SHOWN ARE PLATTED AND MEASURED UNLESS OTHERWISE SHOWN.
- NO IDENTIFICATION FOUND ON PROPERTY CORNERS UNLESS NOTED.
- NOT VALID UNLESS SEALED WITH THE SIGNING SURVEYOR'S EMBOSSED SEAL.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE.
- ELEVATIONS IF SHOWN ARE BASED UPON N.G.V.D. 1929 UNLESS OTHERWISE NOTED.
- THIS IS A BOUNDARY SURVEY UNLESS OTHERWISE NOTED.
- THIS BOUNDARY SURVEY IS EXCLUSIVE FOR THE USE PARTIES TO WHOM IT IS CERTIFIED. THE CERTIFICATIONS DO NOT EXTEND TO ANY UNNAMED PARTIES.
- THIS SURVEY SHALL NOT BE USED FOR CONSTRUCTION/PERMITTING PURPOSES WITHOUT WRITTEN CONSENT FROM THE LAND SURVEYOR WHO HAS SIGNED AND SEAL THIS SURVEY.

SURVEYOR'S CERTIFICATION: I HEREBY CERTIFY THAT THIS "BOUNDARY SURVEY" IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. THIS COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS, AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPER IN CHAPTER 5J-17.051, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.01, FLORIDA STATUTES.

SIGNED **Digitally signed by Miguel Espinosa** FOR THE FIRM
Date: 2025.06.04
MIGUEL ESPINOSA P.S.M. No. 5101-STATE OF FLORIDA
10:48:15 -04'00'

NOT VALID WITHOUT AN AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL AND/OR THIS MAP IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A LICENSE SURVEYOR AND MAPPER.

ABBREVIATIONS AND LEGENDS:

A	ARC	E.M.H.	ELECTRIC MAN HOLE	N.G.V.D.	NATIONAL GEODETIC VERTICAL DATUM	TYP.	TYPICAL		CATCH BASIN
A/C	AIR CONDITIONER	E.T.	ELECTRIC TRANSFORMER	N.&D.	FOUND NAIL & DISC	U.E.	UTILITY EASEMENT		CENTER LINE
B.M.	BENCH MARK	ENC.	ENCROACHMENT	OS	OFFSET	U.P.	UTILITY POLE		MONUMENT LINE
B.O.B.	BASES OF BEARINGS	E.BOX	ELECTRIC BOX	O.R.B.	OFFICIAL RECORD BOOK	W	WEST		CENTRAL ANGLE
BR.	BEARING REFERENCE	F.F. ELEV.	FINISHED FLOOR ELEVATION	OUL	OVERHEAD UTILITY LINES	WM	WATER METER		LIGHT POLE
B.C.	BLOCK CORNER	F.N.	FOUND NAIL	(P)	PLAT	WV	WATER VALVE		WATER METER
CATV	CABLE TELEVISION RISER	F.I.P.	FOUND IRON PIPE	P.E.	POOL EQUIPMENT	ASPH.	ASPHALT		CONCRETE POLE
C.M.E.	CANAL MAINTENANCE EASEMENT	F.I.R.	FOUND IRON ROD	P.C.	POINT OF CURVATURE	—	LINE		VALVE
(C)	CALCULATED	F.P.K.	FOUND PK NAIL	P.C.C.	POINT OF COMPOUND CURVATURE		PROPERTY LINE		ELECTRIC BOX
C.B.S.	CONCRETE BLOCK STRUCTURE	F.D.	FOUND DISC	PL	PLANTER		BOUNDARY LINE		ANCHOR
CH.	CHORD	F.P.L.	FLORIDA POWER LIGHT	P.O.B.	POINT OF BEGINNING		C.B.S. WALL		WELL
C.M.E.	CANAL MAINTENANCE EASEMENT	G.M.	GAS METER	P.O.C.	POINT OF COMMENCEMENT		METAL FENCE		HANDICAP SPACE
CH. BR.	CHORD BEARING	I.E. & E.E.	INGRESS AND EGRESS EASEMENT	P.R.C.	POINT OF REVERSE CURVATURE		WOOD FENCE		POWER POLE
CONC.	CONCRETE SLAB	L.A.E.	LIMITED ACCESS EASEMENT	P.R.M.	POINT OF REVERSE CURVATURE		PLASTIC FENCE		FIRE HYDRANT
(D)	DEED	L.B.#	LICENSE BUSINESS NUMBER	P.C.P.	PERMANENT CONTROL POINT		CHAIN LINK FENCE		DEGREE
D.E.	DRAINAGE EASEMENT	(M)	MEASURED	R	RADIUS		CENTER LINE		MINUTES OR FEET
D.M.E.	DRAINAGE AND MAINTENANCE EASEMENT	M.E.	MAINTENANCE EASEMENT	(R)	RECORDED		MONUMENT LINE		SECONDS
D.H.	DRILL HOLE	MH	MAN HOLE	S	SOUTH		OVERHEAD CABLE		ELEVATION
E	EAST	N	NORTH	T	TANGENT		UTILITY EASEMENT		
ELEV.	ELEVATION	N.R.	NON RADIAL						

TREE TABULATION				
#	COMMON NAME	TRUNK (Diameter)	CANOPY (Diameter)	HEIGHT
1	QUERCUS AGROFILIN TREE	3.00'	45.00'	50.00'
2	QUERCUS AGROFILIN TREE	0.90'	25.00'	45.00'
3	PALM TREE	0.80'	6.00'	12.00'
4	THREE PALMS TREE	3.00'	11.00'	45.00'
5	THREE PALMS TREE	3.00'	11.00'	45.00'
6	PALM TREE	0.60'	8.00'	50.00'
7	PALM TREE	0.60'	8.00'	50.00'
8	TWO PALMS TREE	1.80'	10.00'	35.00'
9	TWO PALMS TREE	1.80'	10.00'	35.00'
10	PALM TREE	0.50'	10.00'	30.00'
11	TWO PALMS TREE	2.80'	12.00'	35.00'
12	PALM TREE	1.10'	20.00'	30.00'
13	THREE PALMS TREE	1.70'	15.00'	30.00'
14	PALM TREE	0.50'	6.00'	30.00'
15	PALM TREE	0.50'	6.00'	30.00'
16	PALM TREE	0.50'	6.00'	30.00'
17	PALM TREE	0.50'	6.00'	30.00'
18	PALM TREE	0.50'	6.00'	30.00'
19	PALM TREE	0.50'	6.00'	30.00'
20	PALM TREE	0.50'	6.00'	30.00'
21	PALM TREE	0.50'	6.00'	30.00'
22	PALM TREE	0.50'	6.00'	30.00'
23	PALM TREE	0.50'	6.00'	30.00'
24	PALM TREE	0.50'	6.00'	30.00'
25	PALM TREE	0.50'	6.00'	30.00'
26	PALM TREE	0.50'	6.00'	30.00'
27	PALM TREE	0.50'	6.00'	30.00'
28	THREE PALMS TREE	2.30'	10.00'	30.00'
29	THREE PALMS TREE	2.30'	10.00'	30.00'
30	THREE PALMS TREE	1.80'	10.00'	30.00'
31	PALM TREE	0.50'	6.00'	28.00'
32	PALM TREE	0.50'	6.00'	28.00'
33	PALM TREE	0.50'	6.00'	28.00'
34	PALM TREE	0.50'	6.00'	28.00'
35	PALM TREE	0.50'	6.00'	28.00'
36	PALM TREE	0.50'	6.00'	28.00'
37	THREE PALMS TREE	1.80'	10.00'	22.00'
38	THREE PALMS TREE	4.00'	15.00'	30.00'
39	TREE	0.80'	20.00'	35.00'
40	SEVEN PALMS TREE	4.50'	15.00'	30.00'
41	FOUR PALMS TREE	3.00'	12.00'	30.00'
42	THREE PALMS TREE	3.00'	20.00'	30.00'
43	TREE	0.80'	18.00'	27.00'
44	PALM TREE	0.60'	12.00'	30.00'
45	EIGHT PALMS TREE	6.00'	22.00'	28.00'
46	PALM TREE	2.30'	4.00'	7.00'
47	THREE PALMS TREE	0.80'	18.00'	23.00'
48	PALM TREE	1.20'	10.00'	30.00'
49	PRUNUS TREE	0.50'	8.00'	15.00'
50	PRUNUS TREE	0.50'	8.00'	15.00'
51	EIGHT PALMS TREE	3.00'	20.00'	30.00'
52	TREE	6.00'	40.00'	45.00'
53	PALM TREE	0.60'	10.00'	35.00'
54	PALM TREE	0.60'	8.00'	15.00'
55	PALM TREE	0.40'	6.00'	7.00'
56	PALM TREE	1.50'	12.00'	18.00'

Mauricio Del Valle Design Inc
Landscape Designer
1973 Pennsylvania Avenue
Miami Beach, FL 33139
305.607.8168

Optimus Structural Design
Structural Engineer
7850 NW 46 St, Suite 305
Miami Lakes, FL 33016
305.512.9900

Rene Gonzalez Architects
Miami, Florida
rengonzalezarchitects.com
T 305.762.5995
AA #000351

336 Meridian Ave
Miami Beach, FL 33139

Digitally signed by rene gonzalez
Date: 2025.08.22
11:36:31 -04'00'

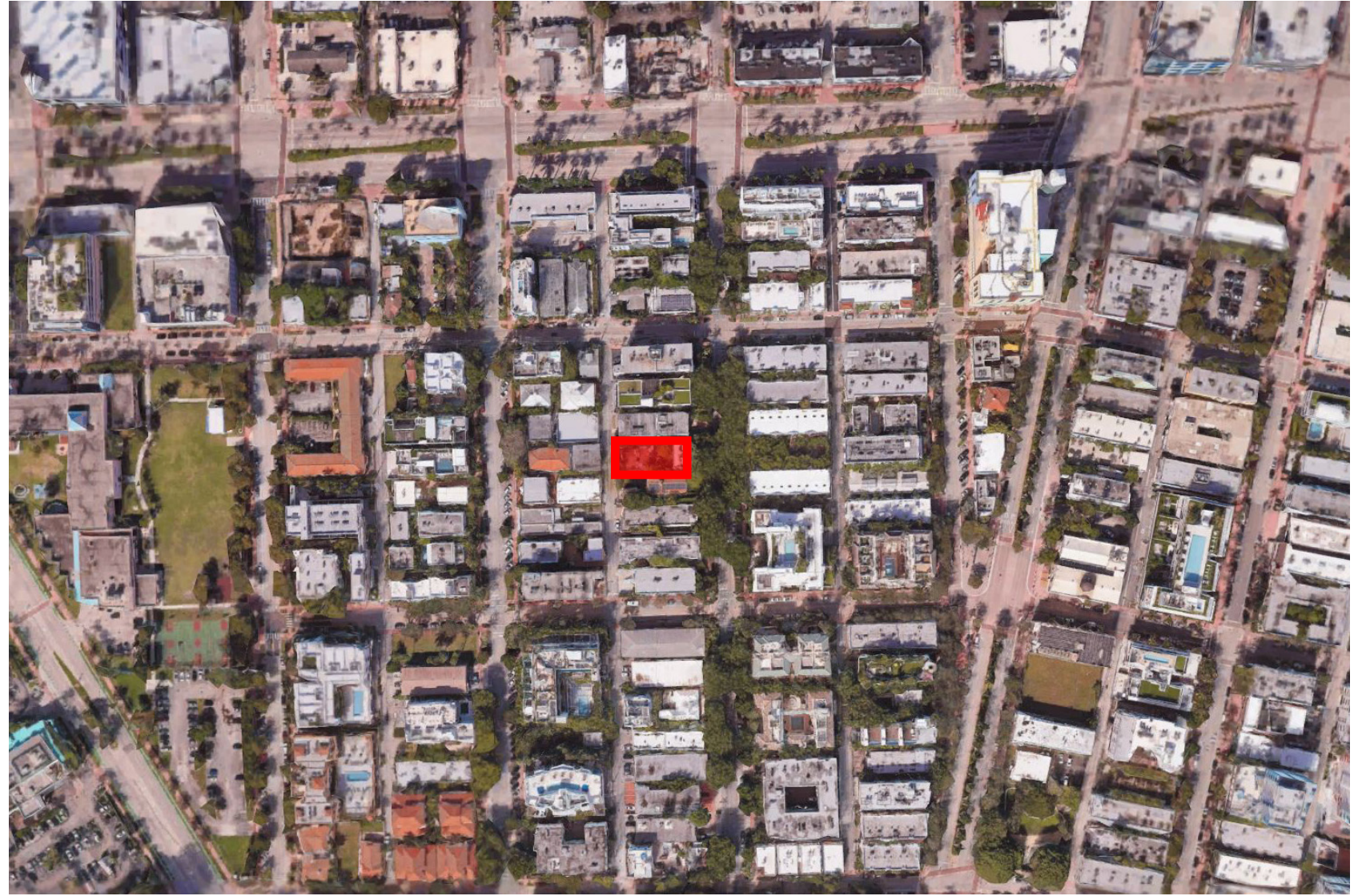
Date: 07.15.2025
Scale:
Revisions:

SURVEY

SV-2



Aerial view of site and context



Close-up aerial view of site

Mauricio Del Valle Design Inc
Landscape Designer
1573 Pennsylvania Avenue
Miami Beach, FL 33139
305.507.8168

Optimus Structural Design
Structural Engineer
7850 NW 146 St, Suite 305
Miami Lakes, FL 33016
305.512.2960

Rene Gonzalez Architects

Miami, Florida
rengonzalezarchitect.com
T 305.762.5895
AA #0003351

RENE GONZALEZ ARCHITECTS, INC. IS AN EQUAL OPPORTUNITY AFFIRMATIVE ACTION EMPLOYER. WE DO NOT DISCRIMINATE ON THE BASIS OF RACE, GENDER, RELIGION, NATIONAL ORIGIN, ANCESTRY, COLOR, SEXUAL ORIENTATION, OR AGE. WE ARE AN EQUAL OPPORTUNITY EMPLOYER. PHOTO: © JAMES HARRIS FOR RENE GONZALEZ ARCHITECTS, INC.

336 Meridian Ave

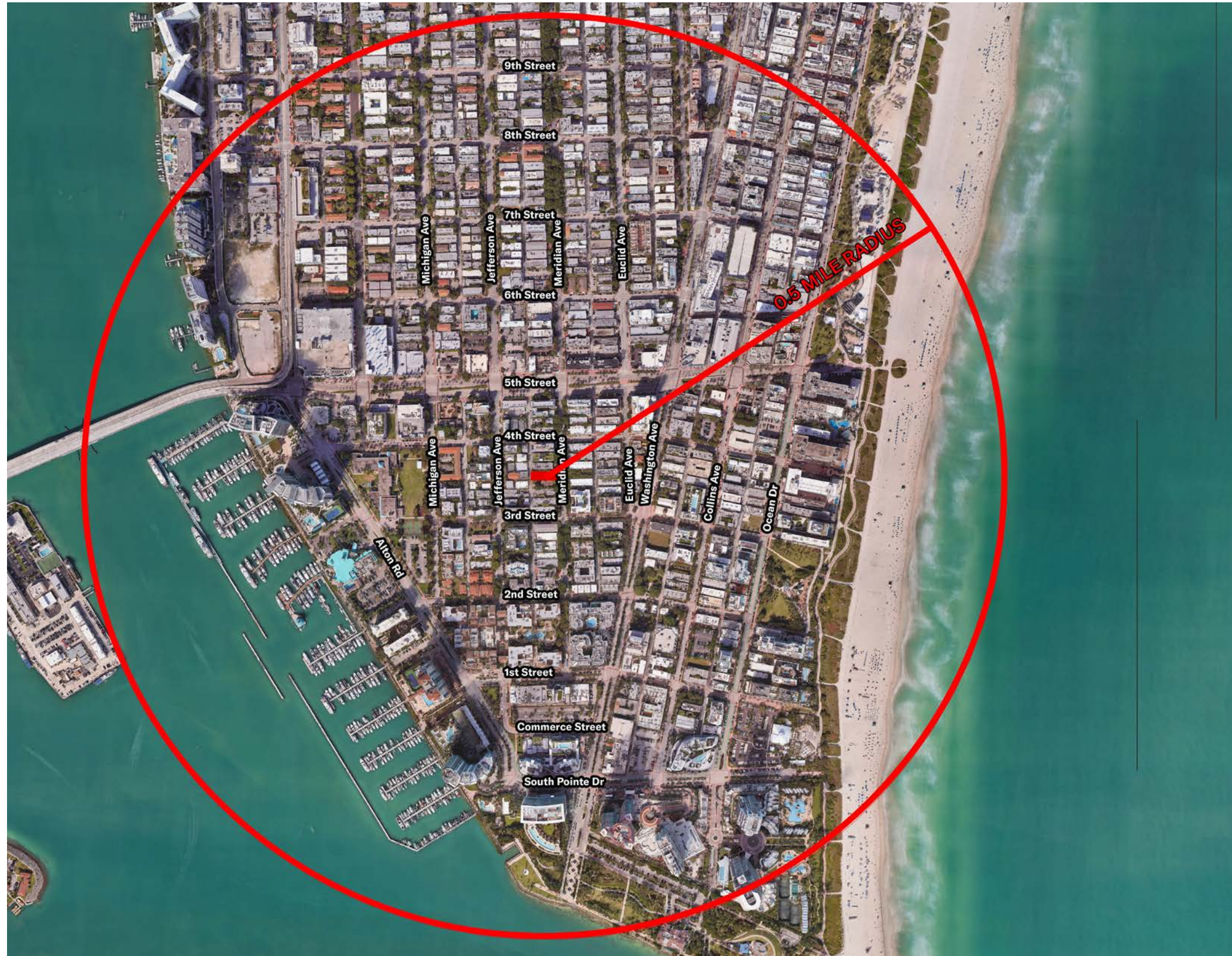
336 Meridian Ave
Miami Beach, FL 33139

Digitally signed by
rene gonzalez
Date: 2025.08.22
11:36:58
-04'00'

Date: 07.15.2025
Scale:
Revisions:

AERIAL IMAGES

SD-1



Aerial view of surrounding 1/2 mile radius

Mauricio Del Valle Design Inc
Landscape Designer
1573 Pennsylvania Avenue
Miami Beach, FL 33139
305.512.8168

Optimus Structural Design
Structural Engineer
7850 NW 146 St, Suite 305
Miami Lakes, FL 33016
305.512.8960

Rene Gonzalez Architects

Miami, Florida
rengonzalezarchitects.com
T 305.762.5895
AA #0003351

336 Meridian Ave

336 Meridian Ave
Miami Beach, FL 33139



Digitally signed by
rene gonzalez
Date:
2025.08.22
11:37:30
-04'00'

Date: 07.15.2025
Scale:
Revisions:

AERIAL IMAGES

SD-2



Mauricio Del Valle Design Inc
Landscape Designer
1973 Pennsylvania Avenue
Miami Beach, FL 33139
305.507.8168

Optimus Structural Design
Structural Engineer
7850 NW 146 St, Suite 305
Miami Lakes, FL 33016
305.512.9960

Rene Gonzalez Architects

Miami, Florida
rengonzalezarchitect.com
T 305.762.5895
AA #000351

THIS DOCUMENT IS THE PROPERTY OF RENE GONZALEZ ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR REPRODUCTION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF RENE GONZALEZ ARCHITECTS IS STRICTLY PROHIBITED. PHOTO COURTESY OF THE ARCHITECTURE FIRM'S ARCHITECTS.

336 Meridian Ave

336 Meridian Ave
Miami Beach, FL 33139



Digitally signed
by rene
gonzalez
Date:
2025.08.22
11:38:42 -04'00'

Date: 07.15.2025
Scale:
Revisions:

CONTEXT IMAGES

SD-4



300 Meridian Ave



310 Meridian Ave



Mauricio Del Valle Design Inc
Landscape Designer
1573 Pennsylvania Avenue
Miami Beach, FL 33139
305.507.8168

Optimus Structural Design
Structural Engineer
7850 NW 146 St, Suite 305
Miami Lakes, FL 33016
305.512.8960

Rene Gonzalez Architects

Miami, Florida
rengonzalezarchitect.com
T 305.762.5895
AA #0003351

Digitally signed by Rene Gonzalez, DN: cn=Rene Gonzalez, o=Rene Gonzalez Architects, ou=Rene Gonzalez Architects, email=rengonzalezarchitect.com, c=US. Date: 2025.08.22 11:39:53 -0400

336 Meridian Ave

336 Meridian Ave
Miami Beach, FL 33139



Digitally signed by rene gonzalez
Date: 2025.08.22 11:39:53 -0400

Date: 07.15.2025
Scale:
Revisions:



320 Meridian Ave



326 Meridian Ave



Mauricio Del Valle Design Inc
Landscape Designer
1973 Pennsylvania Avenue
Miami Beach, FL 33139
305.512.8168

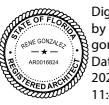
Optimus Structural Design
Structural Engineer
7850 NW 146 St, Suite 305
Miami Lakes, FL 33016
305.512.8960

Rene Gonzalez Architects

Miami, Florida
rengonzalezarchitects.com
T 305.762.5895
AA #0003351

336 Meridian Ave

336 Meridian Ave
Miami Beach, FL 33139



Digitally signed
by rene
gonzalez
Date:
2025.08.22
11:40:32 -04'00'

Date: 07.15.2025
Scale:
Revisions:



336 Meridian Ave



344 Meridian Ave



Mauricio Del Valle Design Inc
Landscape Designer
1573 Pennsylvania Avenue
Miami Beach, FL 33139
305.507.8168

Optimus Structural Design
Structural Engineer
7850 NW 146 St, Suite 305
Miami Lakes, FL 33016
305.512.9890

Rene Gonzalez Architects

Miami, Florida
rengonzalezarchitect.com
T 305.762.5895
AA #0003351

336 Meridian Ave

336 Meridian Ave
Miami Beach, FL 33139

Digitally signed by
rene gonzalez
Date: 2025.08.22
11:41:18
-04'00'

Date: 07.15.2025
Scale:
Revisions:



350 Meridian Ave



360 Meridian Ave



Mauricio Del Valle Design Inc
Landscape Designer
1973 Pennsylvania Avenue
Miami Beach, FL 33139
305.512.8168

Optimus Structural Design
Structural Engineer
7850 NW 146 St, Suite 305
Miami Lakes, FL 33016
305.512.8960

Rene Gonzalez Architects

Miami, Florida
rengonzalezarchitect.com
T 305.762.5895
AA #0003351

336 Meridian Ave

336 Meridian Ave
Miami Beach, FL 33139

Digitally signed
by rene
gonzalez
Date:
2025.08.22
11:42:12 -0400'

Date: 07.15.2025
Scale:
Revisions:



359 Meridian Ave



349 Meridian Ave

Mauricio Del Valle Design Inc
Landscape Designer
1973 Pennsylvania Avenue
Miami Beach, FL 33139
305.512.8168

Optimus Structural Design
Structural Engineer
7850 NW 146 St, Suite 305
Miami Lakes, FL 33016
305.512.8960

Rene Gonzalez Architects

Miami, Florida
rengonzalezarchitects.com
T 305.762.5895
AA #0003351

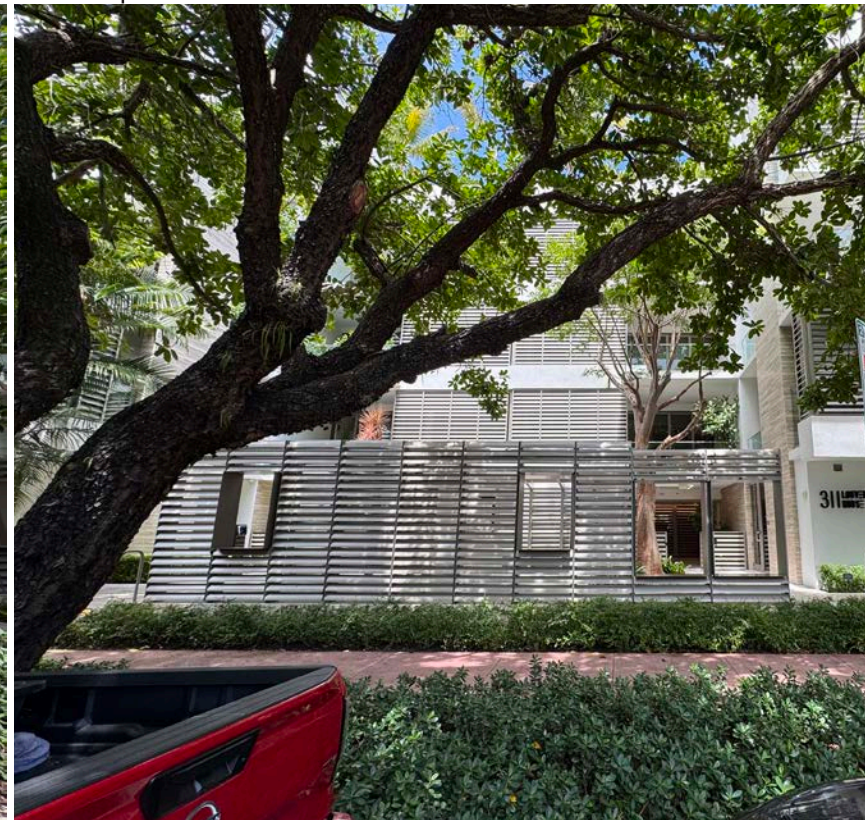
336 Meridian Ave

336 Meridian Ave
Miami Beach, FL 33139



Digitally signed
by rene
gonzalez
Date:
2025.08.22
11:43:19 -04'00'

Date: 07.15.2025
Scale:
Revisions:



321 Meridian Ave | Louver House

Mauricio Del Valle Design Inc
Landscape Designer
1973 Pennsylvania Avenue
Miami Beach, FL 33139
305.507.8168

Optimus Structural Design
Structural Engineer
7850 NW 146 St, Suite 305
Miami Lakes, FL 33016
305.512.8960

Rene Gonzalez Architects

Miami, Florida
rengonzalezarchitects.com
T 305.762.5895
AA #0003351
RENE GONZALEZ ARCHITECTS, INC. IS AN EQUAL OPPORTUNITY AFFIRMATIVE ACTION EMPLOYER. WE DO NOT DISCRIMINATE ON THE BASIS OF RACE, GENDER, RELIGION, NATIONAL ORIGIN, ANCESTRY, COLOR, SEXUAL ORIENTATION, OR AGE. WE ARE AN EQUAL OPPORTUNITY EMPLOYER. PHOTO: PHOTONIC ARCHITECTURE

336 Meridian Ave

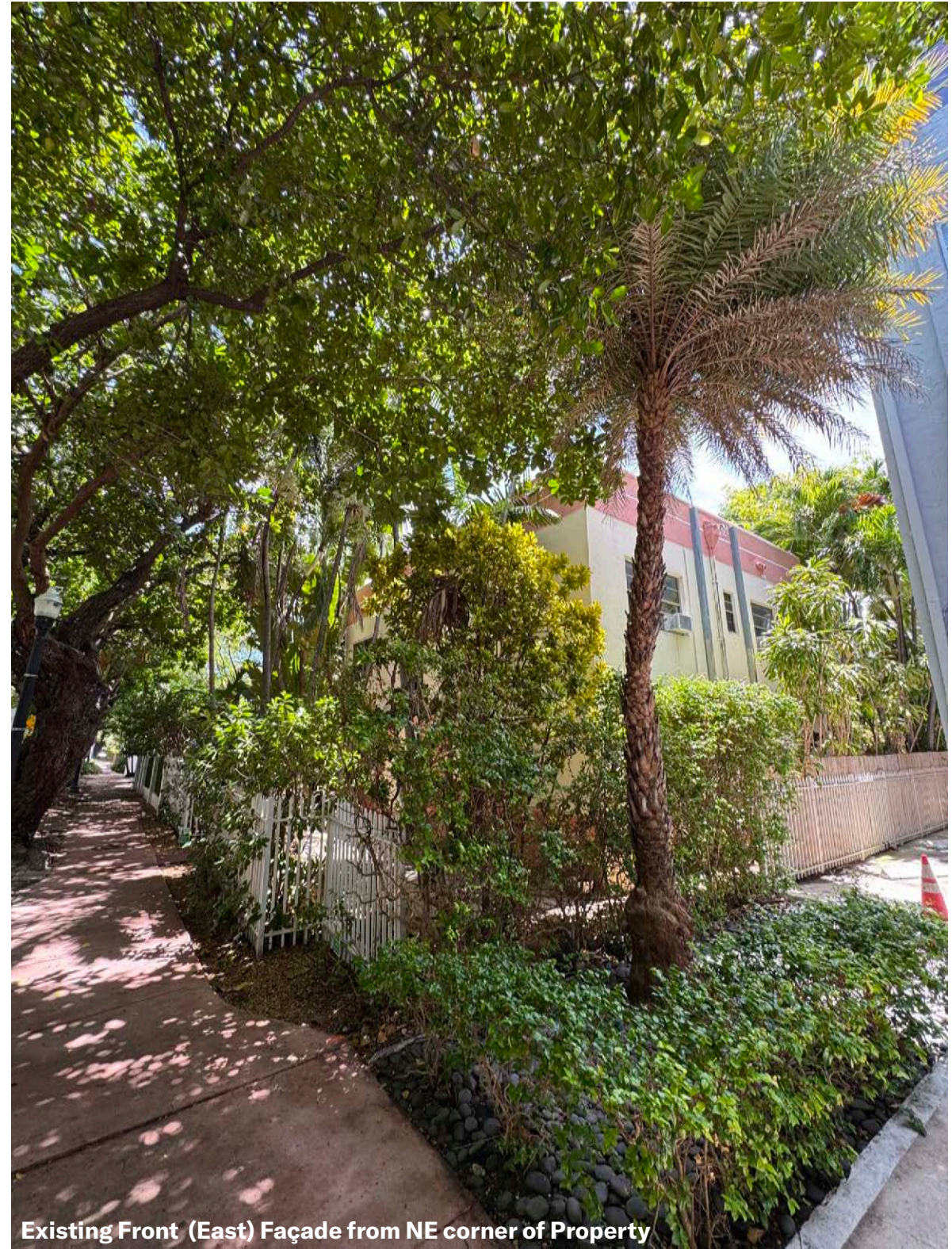
336 Meridian Ave
Miami Beach, FL 33139

Digitally signed by
rene gonzalez
Date:
2025.08.22
11:45:31
-04'00'

Date: 07.15.2025
Scale:
Revisions:



Existing Front (East) Façade from SE corner of Property



Existing Front (East) Façade from NE corner of Property

Mauricio Del Valle Design Inc
Landscape Designer
1973 Pennsylvania Avenue
Miami Beach, FL 33139
305.607.8168

Optimus Structural Design
Structural Engineer
7850 NW 146 St, Suite 305
Miami Lakes, FL 33016
305.512.8960

Rene Gonzalez Architects
Miami, Florida
rengonzalezarchitect.com
T 305.762.5895
AA #000351

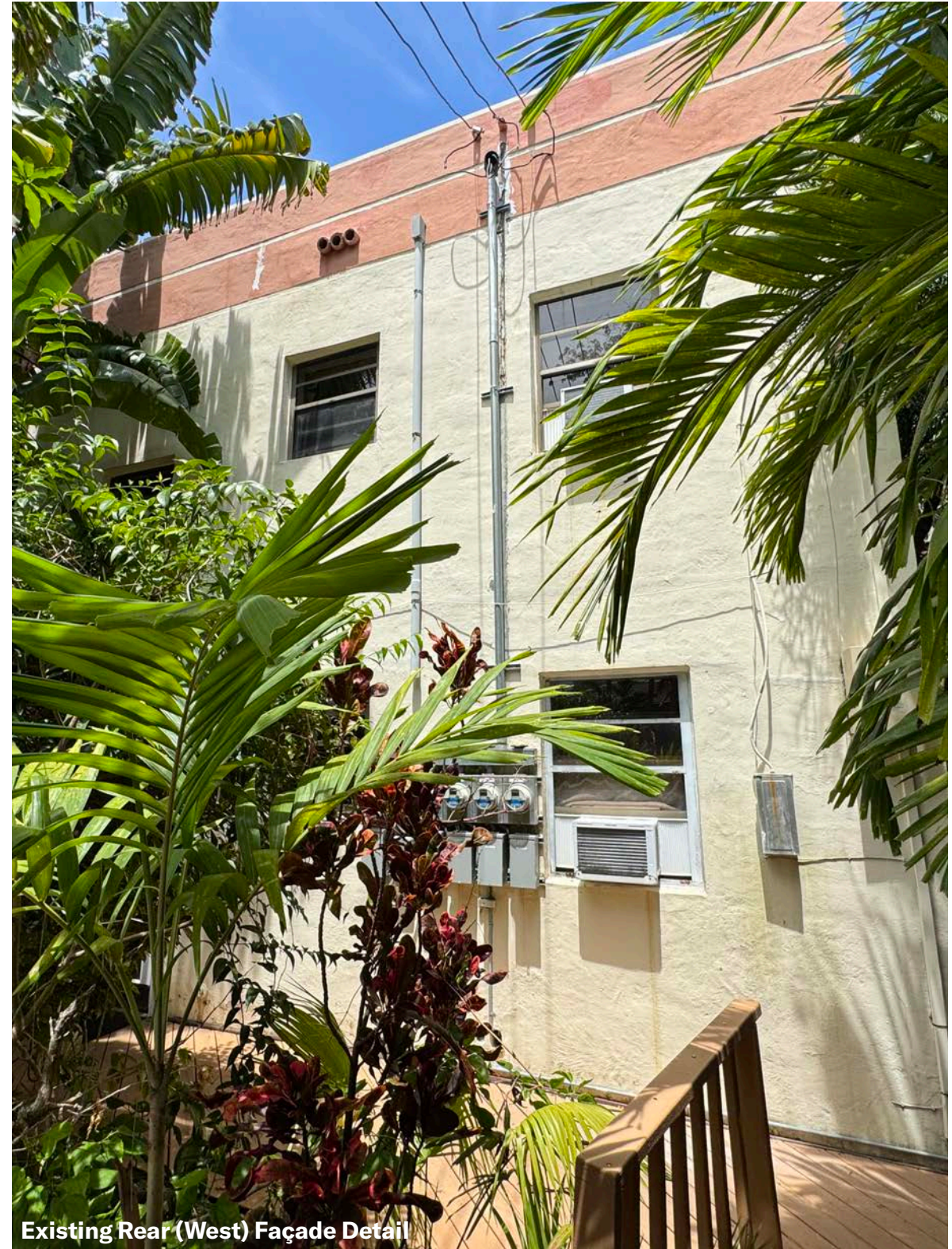
336 Meridian Ave
336 Meridian Ave
Miami Beach, FL 33139

Digitally signed by
rene gonzalez
Date: 2025.08.22
11:48:58
-04'00'

Date: 07.15.2025
Scale:
Revisions:



Existing Rear (West) Façade



Existing Rear (West) Façade Detail

Mauricio Del Valle Design Inc
Landscape Designer
1973 Pennsylvania Avenue
Miami Beach, FL 33139
305.507.8168

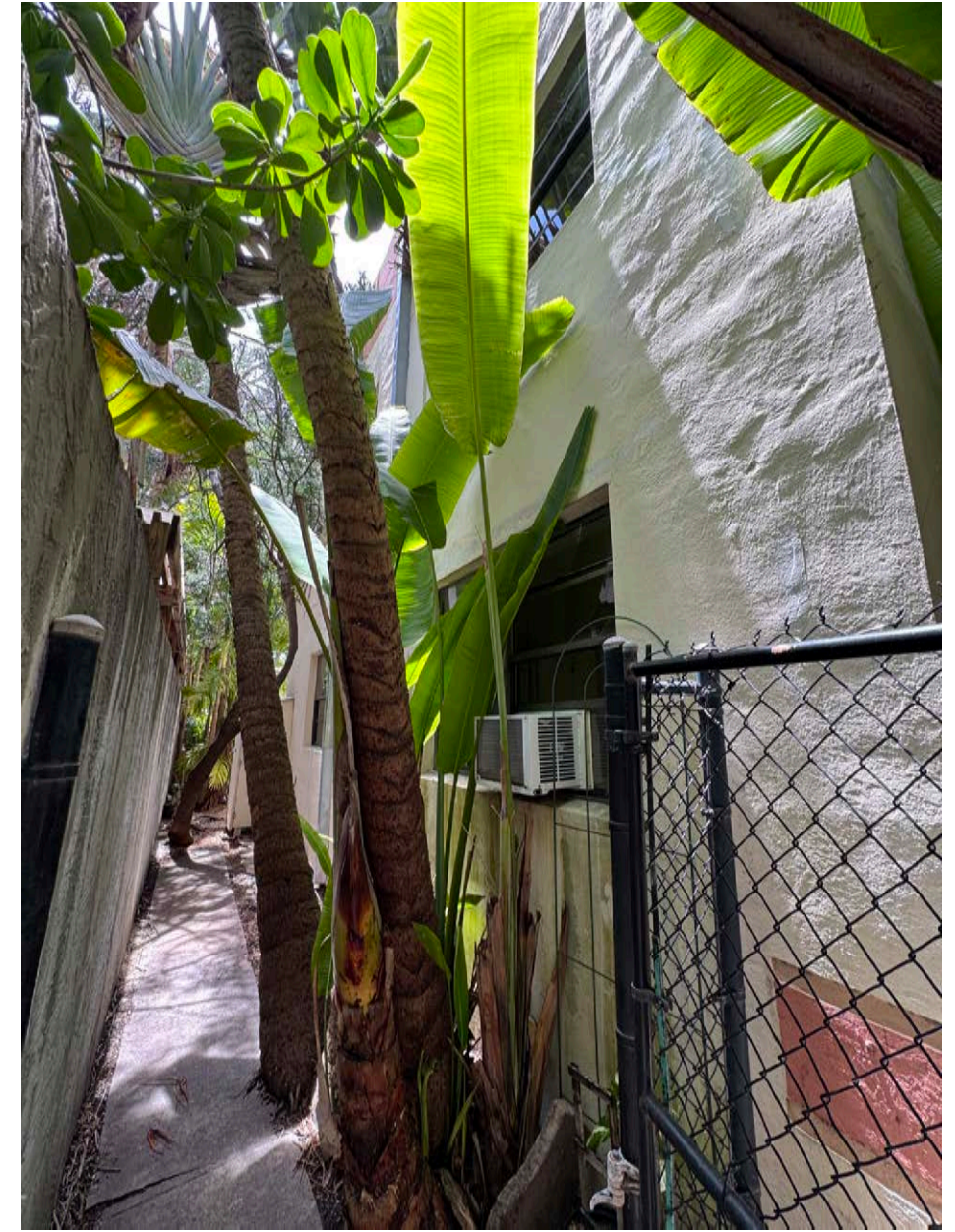
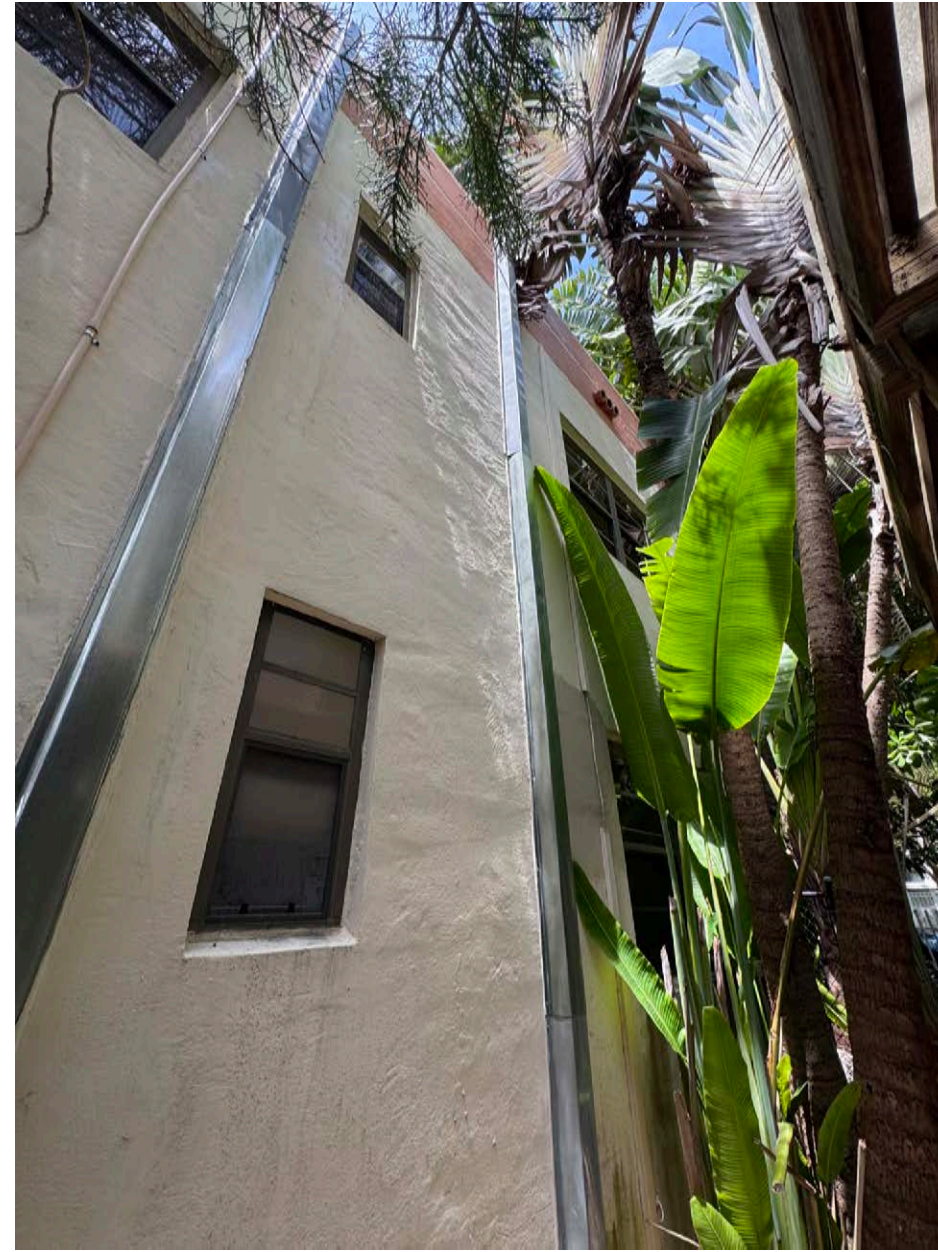
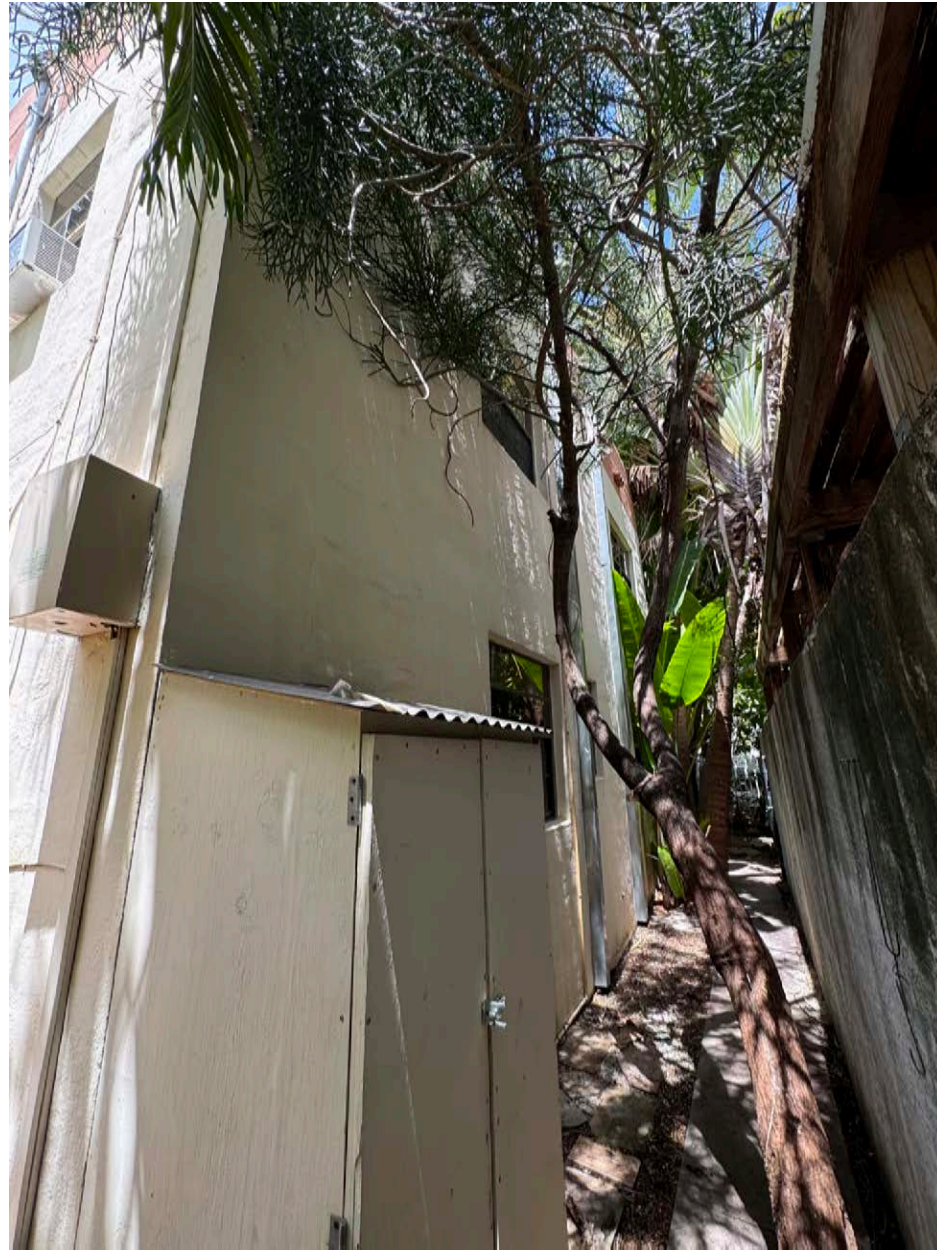
Optimus Structural Design
Structural Engineer
7850 NW 146 St, Suite 305
Miami Lakes, FL 33016
305.512.9900

Rene Gonzalez Architects
Miami, Florida
rengonzalezarchitect.com
T 305.762.5895
AA #0003351

336 Meridian Ave
336 Meridian Ave
Miami Beach, FL 33139

Digitally signed by
rene gonzalez
Date:
2025.08.22
11:51:39
-04'00'

Date: 07.15.2025
Scale:
Revisions:



Existing Side (South) Façade Details

336 Meridian Ave
Miami Beach, FL 33139

Rene Gonzalez Architects
Miami, Florida
rengonzalezarchitects.com
T 305.762.5895
AA #000351

Optimus Structural Design
Structural Engineer
7850 NW 146 St, Suite 305
Miami Lakes, FL 33016
305.512.8960

Mauricio Del Valle Design Inc
Landscape Designer
1973 Pennsylvania Avenue
Miami Beach, FL 33139
305.607.8168

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
---	---	---	---	---	---	---	---	---	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	-----

Digitally signed by rene gonzalez
Date: 2025.08.22 11:54:57 -04'00'

Date: 07.15.2025
Scale:
Revisions:

SITE IMAGES

SD-18



Additional Rear Building

Mauricio Del Valle Design Inc
Landscape Designer
1973 Pennsylvania Avenue
Miami Beach, FL 33139
305.512.8168

Optimus Structural Design
Structural Engineer
7850 NW 146 St, Suite 305
Miami Lakes, FL 33016
305.512.8960

Rene Gonzalez Architects
Miami, Florida
rengonzalezarchitect.com
T 305.762.5895
AA #000351

336 Meridian Ave
336 Meridian Ave
Miami Beach, FL 33139

Digitally signed by
rene gonzalez
Date:
2025.08.22
11:56:40
-04'00'

Date: 07.15.2025
Scale:
Revisions:

SITE IMAGES

SD-19

COMMERCIAL - ZONING DATA SHEET

ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY RESULT IN A FAILED REVIEW

ITEM #	Project Information				
1	Address: 336 Meridian Ave, Miami Beach, FL 33139	Folio number(s):	0242030095160	Year built:	1936
2	Board file number(s), Determination of Architectural Significance:	HPB25-0663		Lot Area:	7,000 SF
3	Located within a Local Historic District (Yes or No): Yes	Zoning District:	RPS-2	Lot width:	50 FT
4	Individual Historic Site (Yes or No):	No		Lot Depth:	140 FT
5	Base Flood Elevation:	8'-0" NGVD	Grade value in NGVD:	4'-6" NGVD	
6	Future Adjusted Grade (BFE+Grade / 2):	6'-3" NGVD	Free board:	5'-0"	
7	Proposed Use:	Single Family Home			
8	Proposed Accessory Use:	N/A			
9	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan):	Yes, provided			
	ZONING INFORMATION / CALCULATION	Required	Existing	Proposed	Deficiencies
13	Floor Area Ratio (FAR)	10,500 SF	3,593 SF	8,955 SF	
14	Building Height	40 FT	25 FT	40 FT	
15	At grade parking lot on the same lot	N/A	N/A	N/A	
a	Front setbacks	5'-0"	15'-5"	5'-0"	
b	Side interior setback	5'-0"	5'-0"	5'-0"	
c	Side facing street setback	N/A	N/A	N/A	
d	Rear setback	14'-0"	15'-0"	4'-0"	Variance Requested
16	Subterranean, Pedestal & Tower (non-Oceanfront)	Required	Existing	Proposed	Deficiencies
a	Front setbacks	5'-0"	N/A	N/A	
b	Side interior setback	5'-0"	N/A	N/A	
c	Side facing street setback	N/A	N/A	N/A	
d	Rear setback	14'-0"	N/A	N/A	
17	Subterranean, Pedestal & Tower (non-Oceanfront)	Required	Existing	Proposed	Deficiencies
a	Front setbacks	N/A	N/A	N/A	
b	Side interior setback	N/A	N/A	N/A	
c	Side facing street setback	N/A	N/A	N/A	
d	Rear setback	N/A	N/A	N/A	
18	Minimum Apartment Unit Size	Required	Existing	Proposed	Deficiencies
a	New Construction	650 SF	648 SF	N/A	
b	Rehabilitated Buildings	400 SF	N/A	N/A	
c	Hotel Unit	N/A	N/A	N/A	
19	Average Apartment Unit Size	Required	Existing	Proposed	Deficiencies
a	New Construction	N/A	N/A	N/A	
b	Rehabilitated Buildings	N/A	N/A	N/A	
c	Hotel Unit	N/A	N/A	N/A	
20	Required Open-space ratio (RPS, CPS)	4,550 SF (65%)	4,607 SF (66%)	4,679 SF (68%)	
21	Parking	2	2	2	
22	Loading	N/A	N/A	N/A	

Notes: Indicate N/A if not applicable.

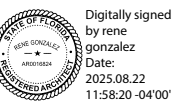
Mauricio Del Valle Design Inc
Landscape Designer
1973 Pennsylvania Avenue
Miami Beach, FL 33139
305.607.8168

Optimus Structural Design
Structural Engineer
7850 NW 146 St, Suite 305
Miami Lakes, FL 33016
305.512.9960

Rene Gonzalez Architects
Miami, Florida
rengonzalezarchitect.com
T 305.762.5895
AA #00035E



336 Meridian Ave
Miami Beach, FL 33139

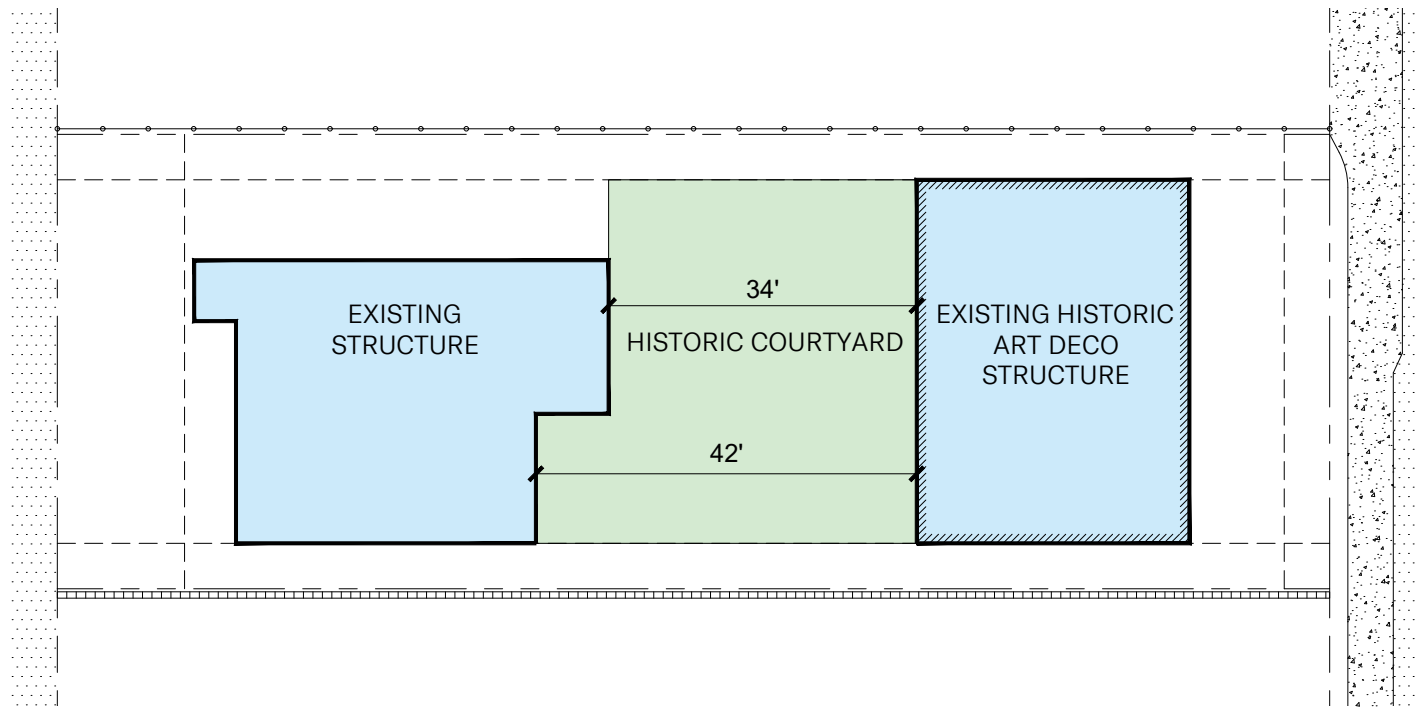


Digitally signed
by rene
gonzalez
Date:
2025.08.22
11:58:20 -04'00'

Date: 07.15.2025
Scale:
Revisions:

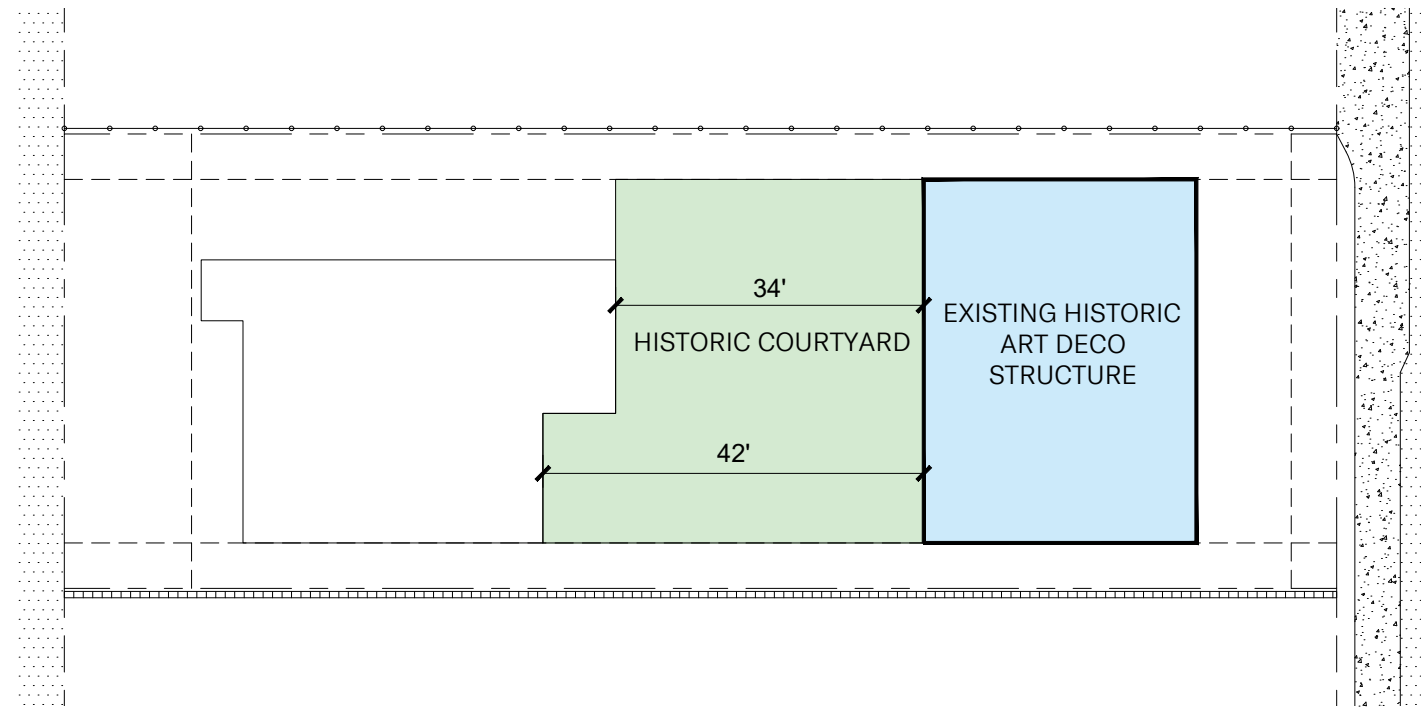
ZONING
INFORMATION

Z-1



2,393 SQ.FT. FAR

1 GROUND FLOOR EXISTING FAR
scale: N.T.S.



1,200 SQ.FT. FAR

2 FIRST FLOOR EXISTING FAR
scale: N.T.S.

FAR CALCULATIONS:

FAR GROUND FLOOR: 2,393 SQ.FT.

FAR FIRST FLOOR: 1,200 SQ.FT.

FAR TOTAL: 3,593 SQ.FT.

FAR ALLOWABLE: 10,500 SQ.FT.

Mauricio Del Valle Design Inc
Landscape Designer
1973 Pennsylvania Avenue
Miami Beach, FL 33139
305.507.8168

Optimus Structural Design
Structural Engineer
7850 NW 146 St, Suite 305
Miami Lakes, FL 33016
305.512.9960

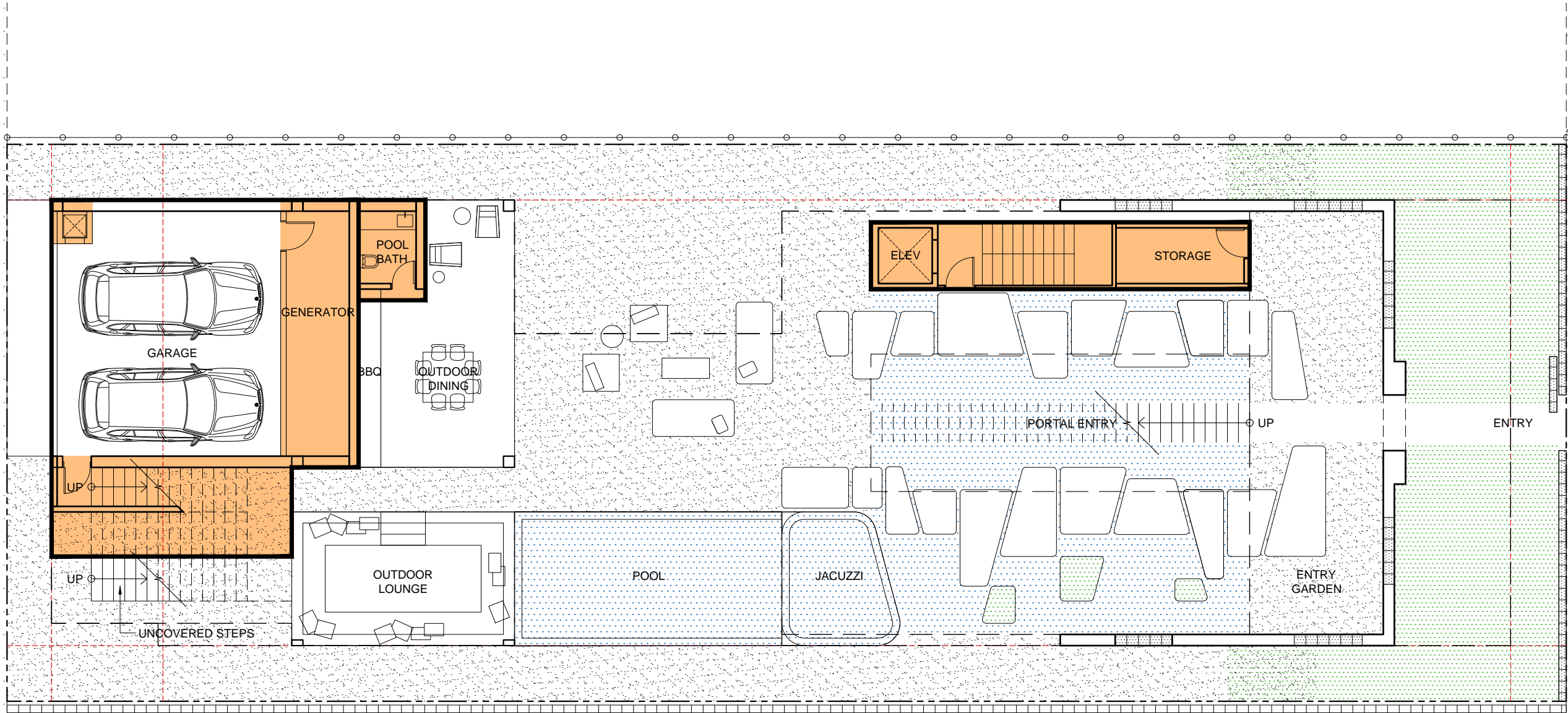
Rene Gonzalez Architects
Miami, Florida
rengonzalezarchitect.com
T 305.762.5895
AA #00035E

336 Meridian Ave
Miami Beach, FL 33139

Digitally signed
by rene
gonzalez
Date:
2025.08.22
12:00:03 -04'00'

Date: 07.15.2025
Scale:
Revisions:

EXISTING FAR
DIAGRAM



634 SQ.FT. FAR

FAR CALCULATIONS:

FAR GROUND FLOOR:	634 SQ.FT.
FAR FIRST FLOOR:	2,522 SQ.FT.
FAR SECOND FLOOR:	2,227 SQ.FT.
FAR THIRD FLOOR:	3,200 SQ.FT.
FAR TOTAL:	8,583 SQ.FT.
FAR ALLOWABLE:	10,500 SQ.FT.

1 GROUND FLOOR PLAN
scale: 3/32" = 1'-0"

Mauricio Del Valle Design Inc
Landscape Designer
1973 Pennsylvania Avenue
Miami Beach, FL 33139
305.507.8168

Optimus Structural Design
Structural Engineer
7850 NW 146 St, Suite 305
Miami Lakes, FL 33016
305.512.9960

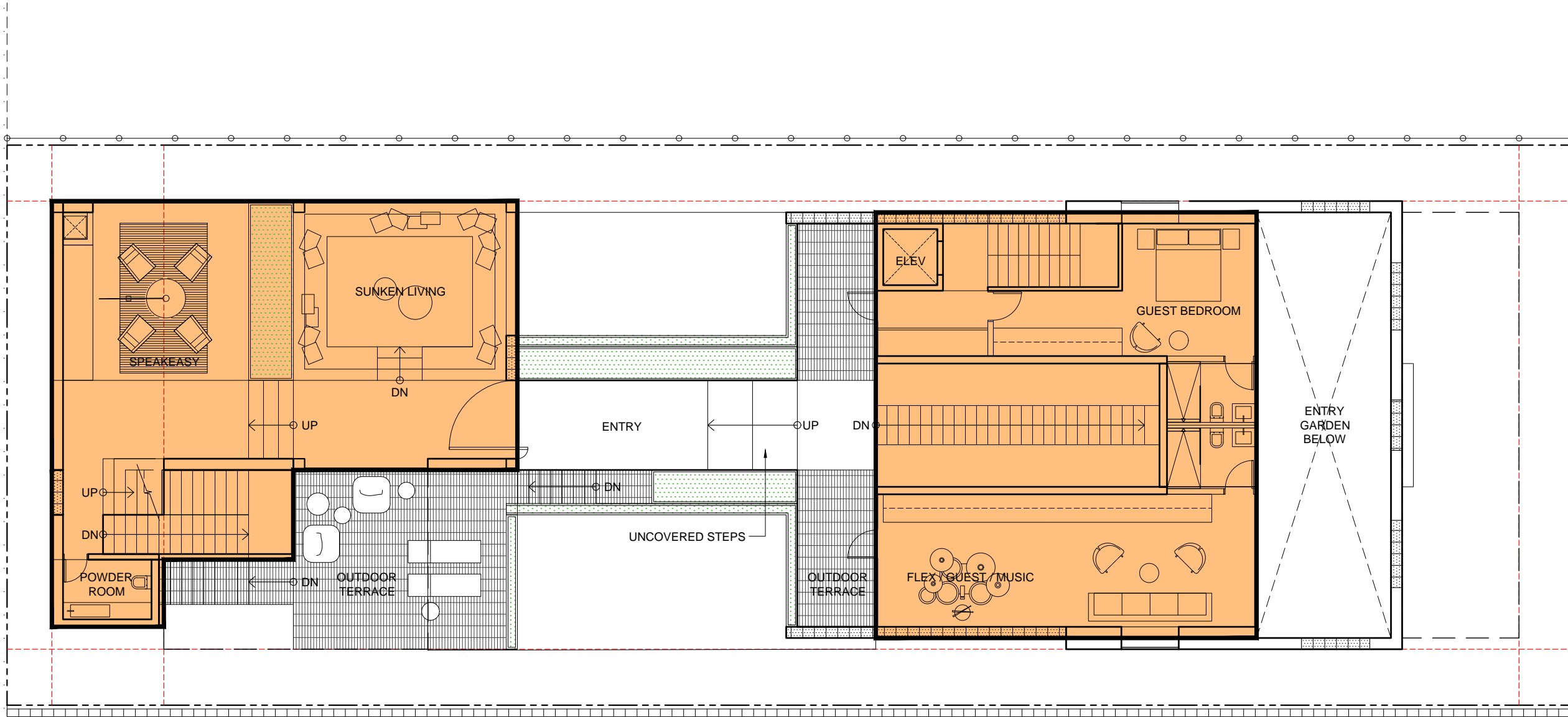
Rene Gonzalez Architects
Miami, Florida
rengonzalezarchitects.com
T 305.762.5895
AA #00035E

336 Meridian Ave
336 Meridian Ave
Miami Beach, FL 33139

Digitally signed by rene gonzalez
Date: 2025.08.22 12:01:31 -0400

Date: 07.15.2025
Scale:
Revisions:

PROPOSED FAR DIAGRAM



2,522 SQ.FT. FAR

FAR CALCULATIONS:

- FAR GROUND FLOOR: 634 SQ.FT.
- FAR FIRST FLOOR: 2,522 SQ.FT.
- FAR SECOND FLOOR: 2,227 SQ.FT.
- FAR THIRD FLOOR: 3,200 SQ.FT.
- FAR TOTAL: 8,583 SQ.FT.**
- FAR ALLOWABLE: 10,500 SQ.FT.

1 FIRST FLOOR PLAN
scale: 3/32" = 1'-0"

Mauricio Del Valle Design Inc
Landscape Designer
1973 Pennsylvania Avenue
Miami Beach, FL 33139
305.507.8168

Optimus Structural Design
Structural Engineer
7850 NW 146 St, Suite 305
Miami Lakes, FL 33016
305.512.9900

Rene Gonzalez Architects
Miami, Florida
rengonzalezarchitects.com
T 305.762.5895
AA #00035E

336 Meridian Ave
Miami Beach, FL 33139

Digitally signed
by rene
gonzalez
Date:
2025.08.22
12:03:06 -04'00'

Date: 07.15.2025
Scale:
Revisions:

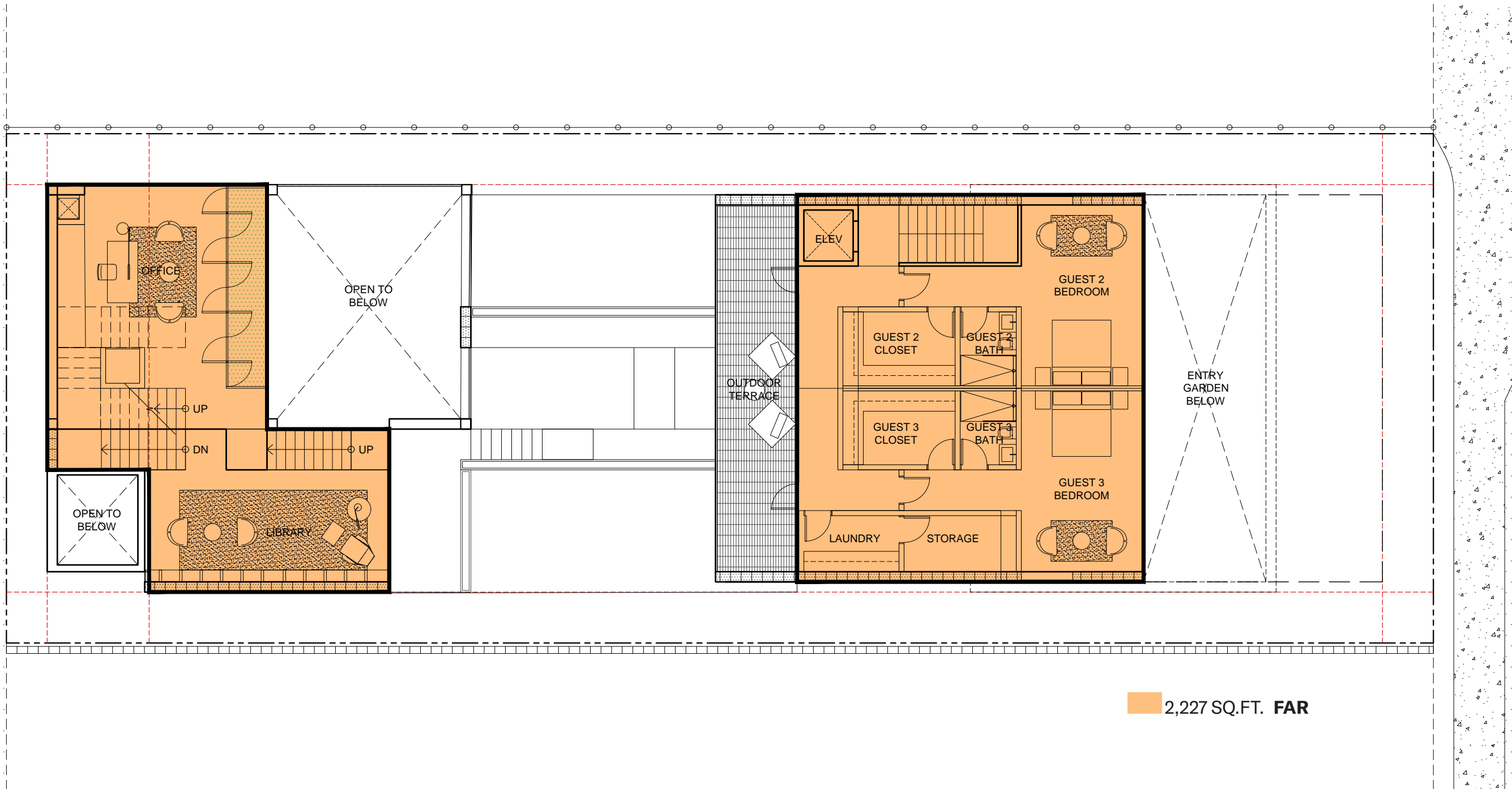
PROPOSED FAR
DIAGRAM

FAR CALCULATIONS:

FAR GROUND FLOOR: 634 SQ.FT.
 FAR FIRST FLOOR: 2,522 SQ.FT.
 FAR SECOND FLOOR: 2,227 SQ.FT.
 FAR THIRD FLOOR: 3,200 SQ.FT.
FAR TOTAL: 8,583 SQ.FT.
 FAR ALLOWABLE: 10,500 SQ.FT.

2,227 SQ.FT. FAR

1 SECOND FLOOR PLAN
 scale: 3/32" = 1'-0"



Mauricio Del Valle Design Inc
 Landscape Designer
 1973 Pennsylvania Avenue
 Miami Beach, FL 33139
 305.507.8168

Optimus Structural Design
 Structural Engineer
 7850 NW 146 St, Suite 305
 Miami Lakes, FL 33016
 305.512.9960

Rene Gonzalez Architects
 Miami, Florida
 renegonzalezarchitects.com
 T 305.762.5895
 AA #00035E

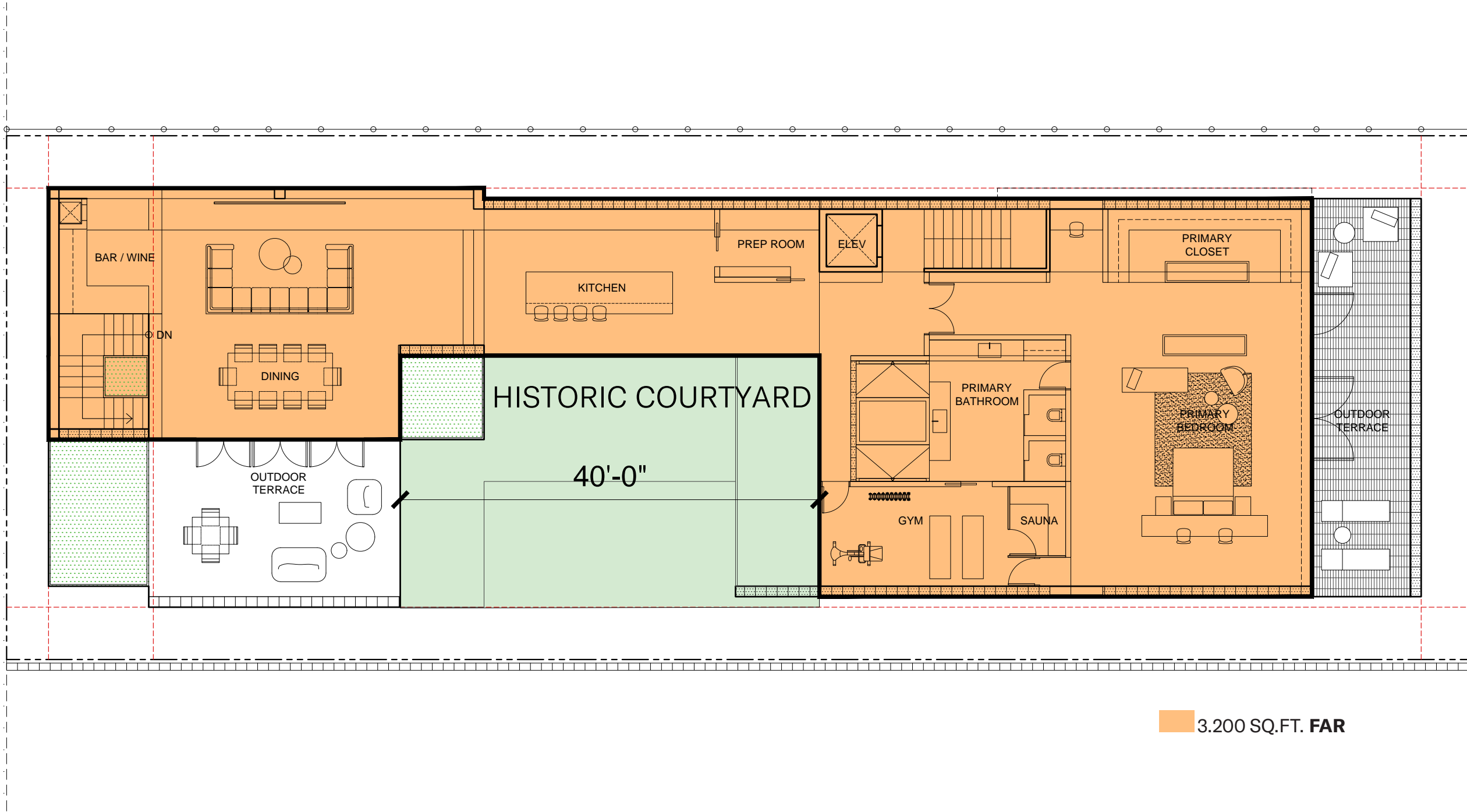
336 Meridian Ave
 Miami Beach, FL 33139

Digitally signed
 by rene
 gonzalez
 Date: 2025.08.22
 12:04:42 -04'00'

Date: 07.15.2025
 Scale:
 Revisions:

PROPOSED FAR
 DIAGRAM

Z-5



3.200 SQ.FT. FAR

FAR CALCULATIONS:

FAR GROUND FLOOR:	634 SQ.FT.
FAR FIRST FLOOR:	2,522 SQ.FT.
FAR SECOND FLOOR:	2,227 SQ.FT.
FAR THIRD FLOOR:	3,200 SQ.FT.
FAR TOTAL:	8,583 SQ.FT.
FAR ALLOWABLE:	10,500 SQ.FT.

1 THIRD FLOOR PLAN
scale: 3/32" = 1'-0"

Mauricio Del Valle Design Inc
Landscape Designer
1973 Pennsylvania Avenue
Miami Beach, FL 33139
305.507.8168

Optimus Structural Design
Structural Engineer
7850 NW 146 St, Suite 305
Miami Lakes, FL 33016
305.512.9900

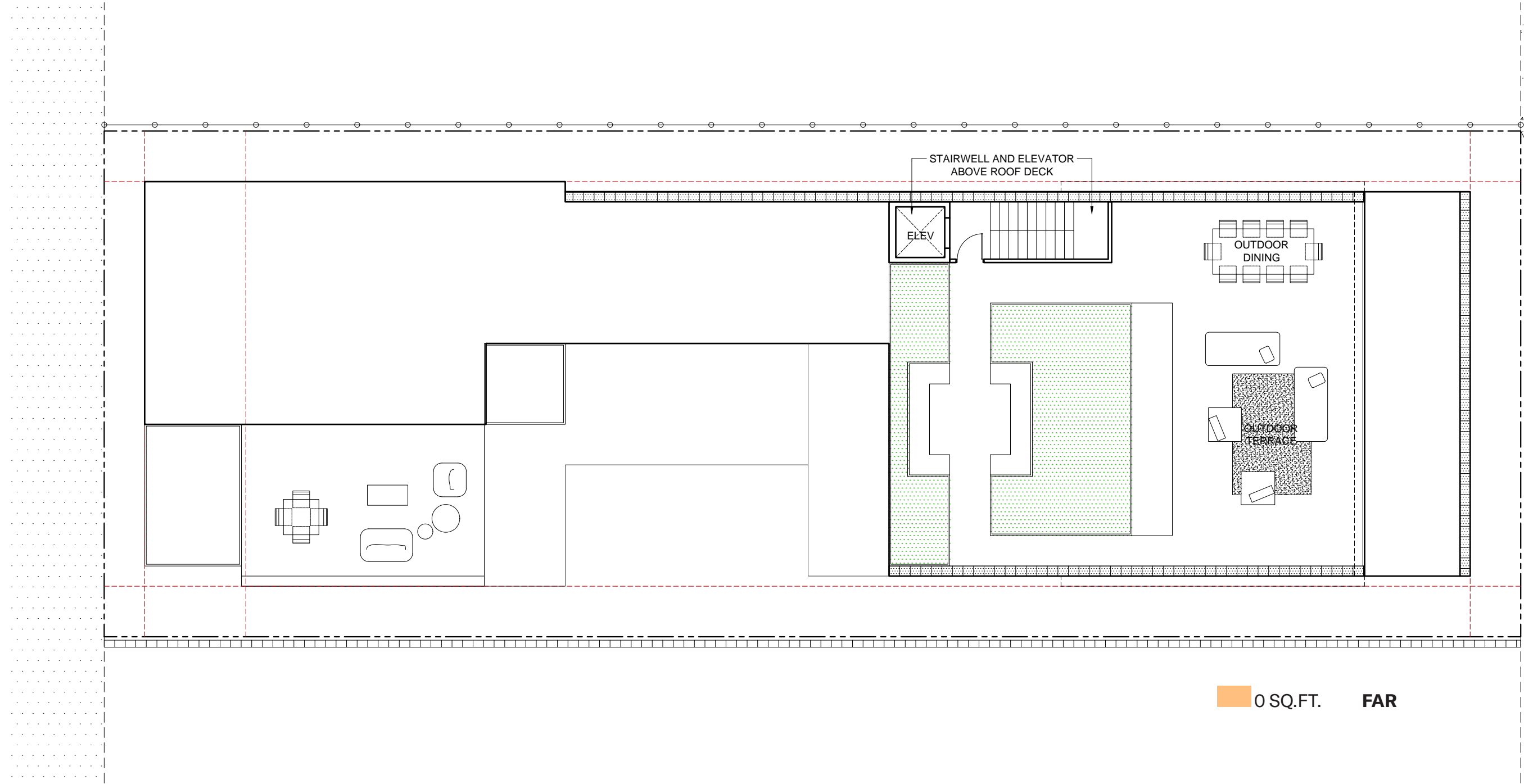
Rene Gonzalez Architects
Miami, Florida
rengonzalezarchitects.com
T 305.762.5895
AA #000351

336 Meridian Ave
Miami Beach, FL 33139

Digitally signed
by rene
gonzalez
Date:
2025.08.22
12:06:22 -04'00'

Date: 07.15.2025
Scale:
Revisions:

PROPOSED FAR
DIAGRAM



0 SQ.FT. FAR

FAR CALCULATIONS:

FAR GROUND FLOOR:	634 SQ.FT.
FAR FIRST FLOOR:	2,522 SQ.FT.
FAR SECOND FLOOR:	2,227 SQ.FT.
FAR THIRD FLOOR:	3,200 SQ.FT.
FAR TOTAL:	8,583 SQ.FT.
FAR ALLOWABLE:	10,500 SQ.FT.

1 ROOF FLOOR PLAN
scale: 3/32" = 1'-0"

Mauricio Del Valle Design Inc
Landscape Designer
1973 Pennsylvania Avenue
Miami Beach, FL 33139
305.607.8168

Optimus Structural Design
Structural Engineer
7850 NW 146 St, Suite 305
Miami Lakes, FL 33016
305.512.9960

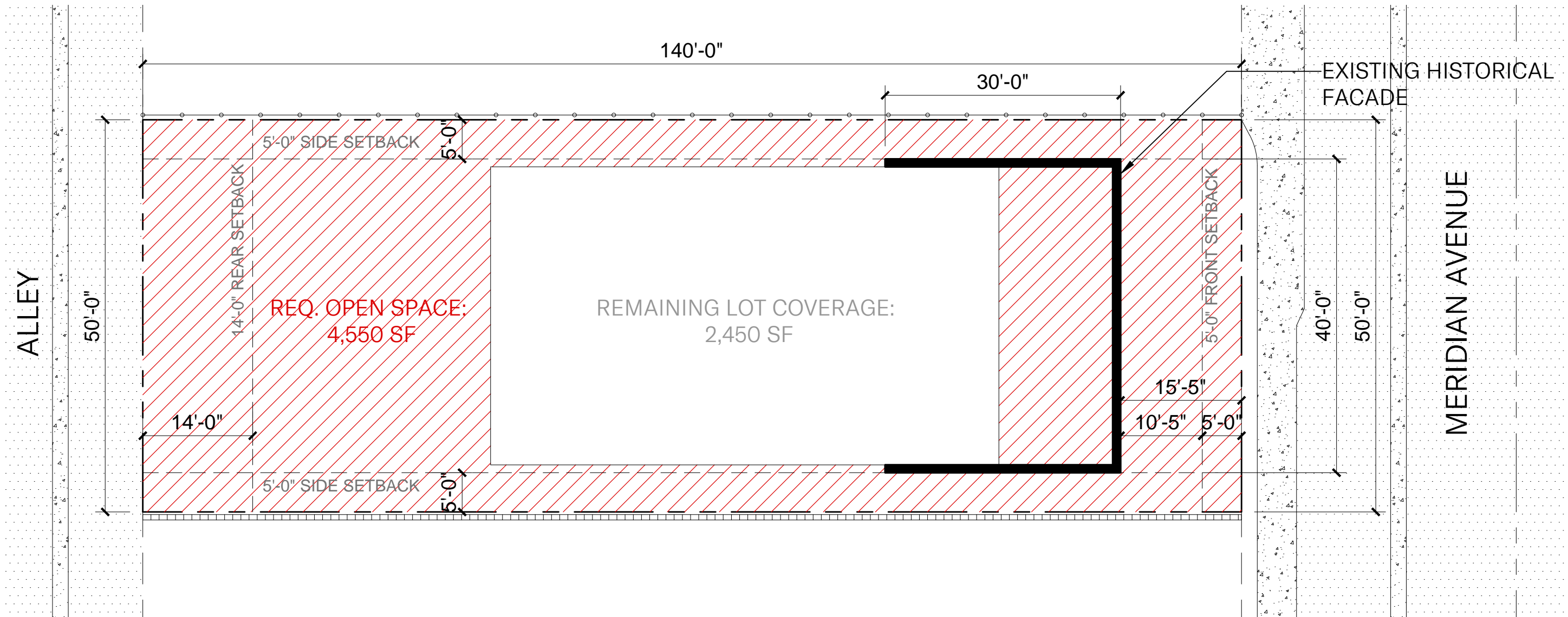
Rene Gonzalez Architects
Miami, Florida
rengonzalezarchitects.com
T 305.762.5895
AA #00035E

336 Meridian Ave
Miami Beach, FL 33139



Digitally signed by rene gonzalez
Date: 2025.08.22 12:08:10 -04'00'
Date: 07.15.2025
Scale:
Revisions:

PROPOSED FAR DIAGRAM



1 REQUIRED OPEN SPACE DIAGRAM
scale: N.T.S.

Mauricio Del Valle Design Inc
Landscape Designer
1573 Pennsylvania Avenue
Miami Beach, FL 33139
305.607.8168

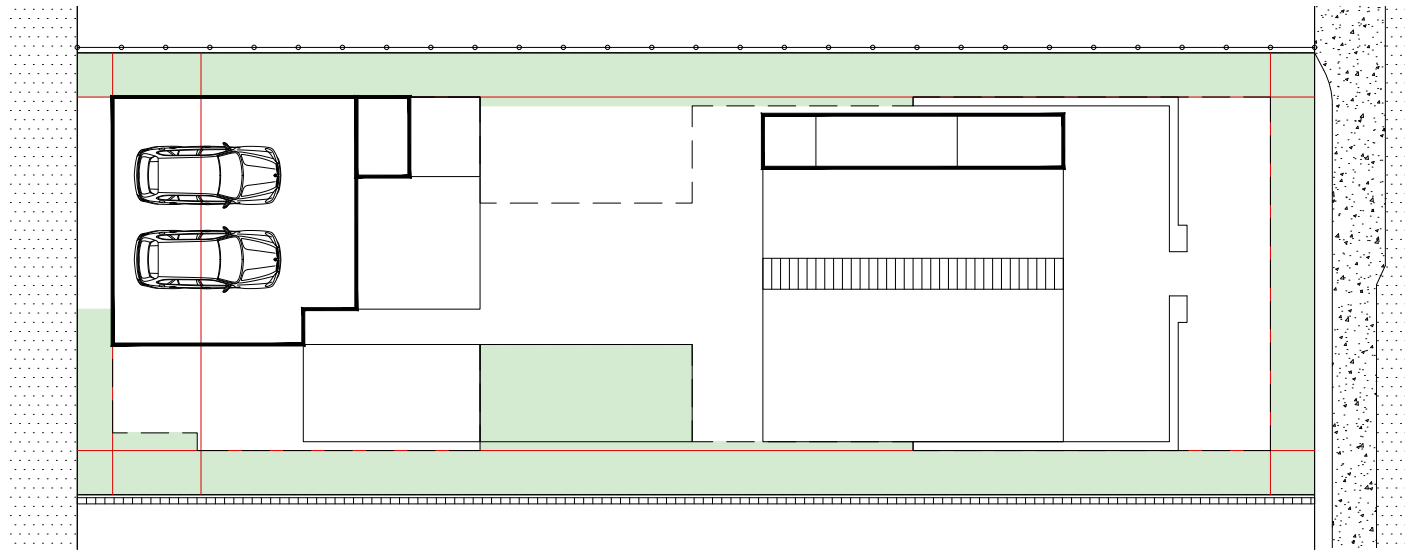
Optimus Structural Design
Structural Engineer
7850 NW 146 St, Suite 305
Miami Lakes, FL 33016
305.512.9900

Rene Gonzalez Architects
Miami, Florida
rengonzalezarchitect.com
T 305.762.5995
AA #000351

336 Meridian Ave
Miami Beach, FL 33139

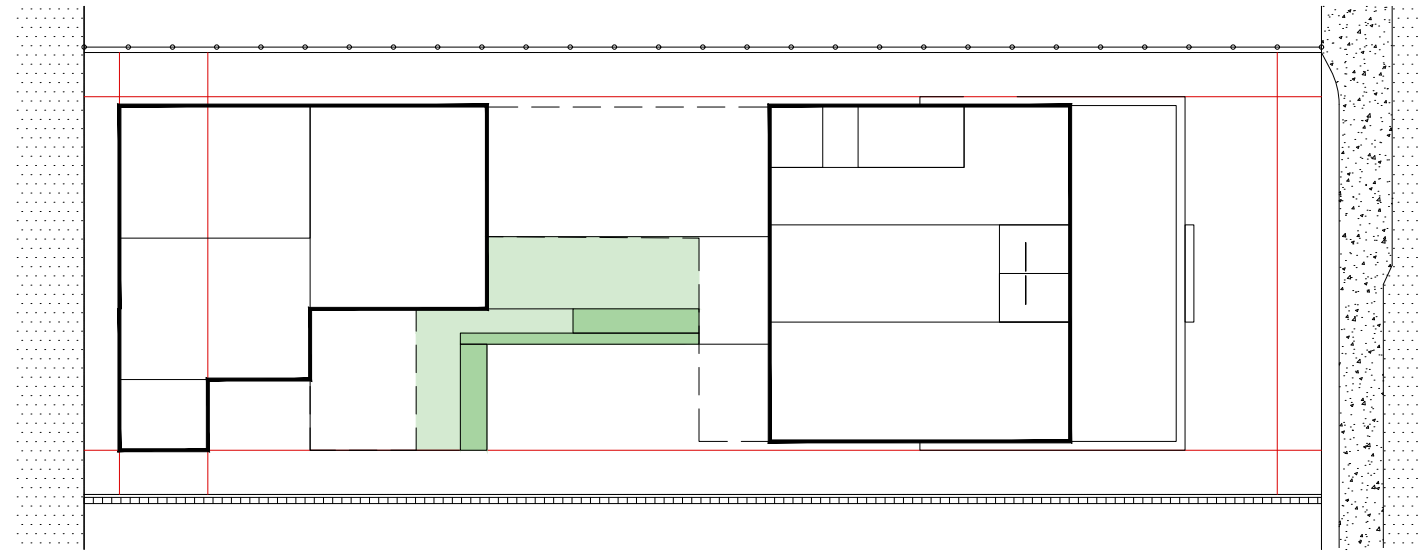
Digitally signed
by rene
gonzalez
Date:
2025.08.22
12:09:59 -04'00'

Date: 07.15.2025
Scale:
Revisions:



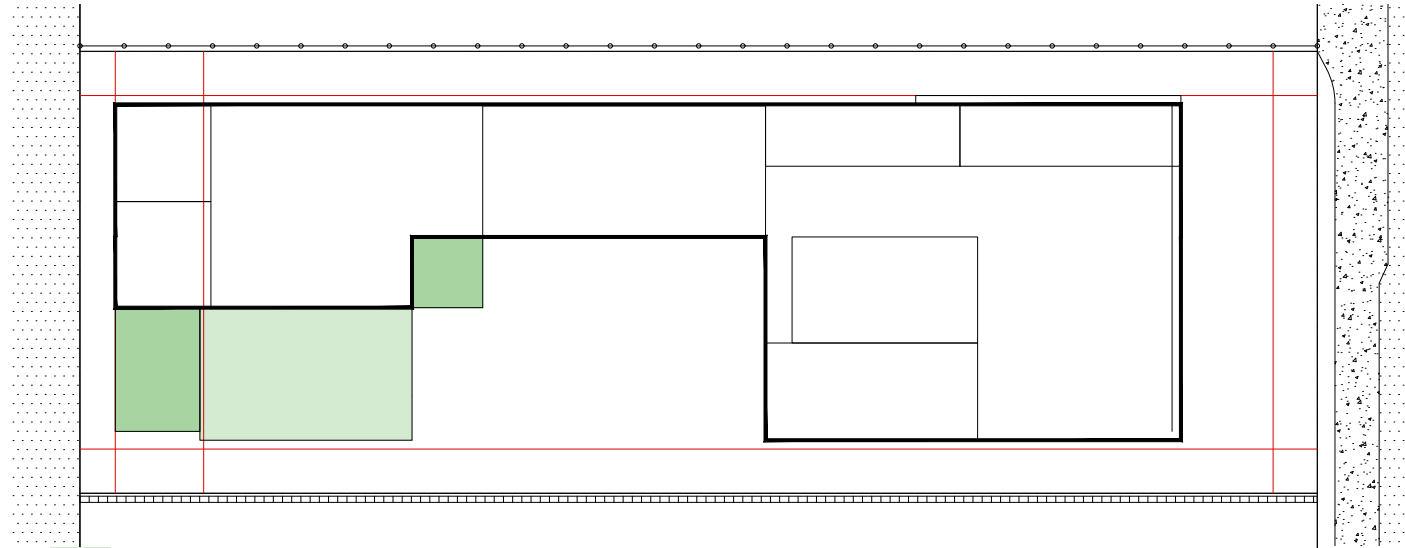
518 SQ.FT. **Open Space**

1 **GROUND FLOOR PLAN**
scale: N.T.S.



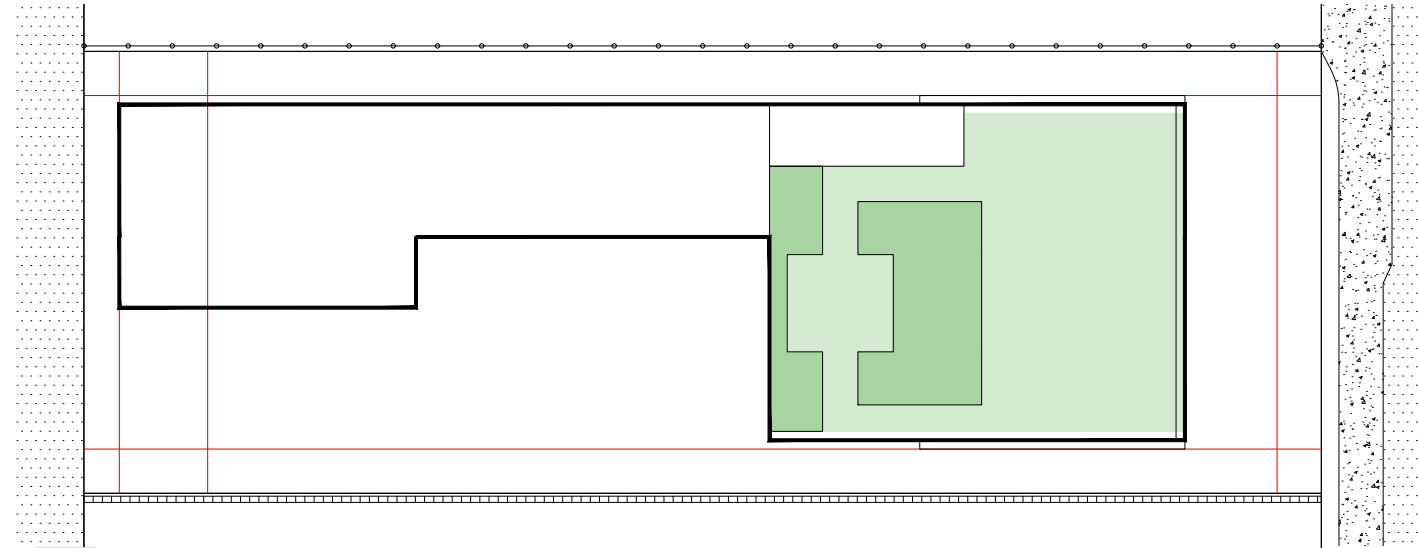
420 SQ.FT. **Open Space**
109 SQ.FT. **26% Living Landscape (25% REQ.)**

2 **FIRST FLOOR PLAN**
scale: N.T.S.



582 SQ.FT. **Open Space**
198 SQ.FT. **35% Living Landscape (25% REQ.)**

3 **THIRD FLOOR PLAN**
scale: N.T.S.



1,632 SQ.FT. **Open Space**
420 SQ.FT. **26% Living Landscape (25% REQ.)**

4 **ROOF PLAN**
scale: N.T.S.

OPEN SPACE CALCULATIONS:

OPEN SPACE GROUND FLOOR:	2,045 SQ.FT.
OPEN SPACE FIRST FLOOR:	420 SQ.FT.
OPEN SPACE THIRD FLOOR:	582 SQ.FT. *
OPEN SPACE ROOFTOP FLOOR:	1,632 SQ.FT. *

OPEN SPACE TOTAL: 4,679 SQ.FT. (67% of Lot Area)

OPEN SPACE REQUIRED: 4,550 SQ.FT. (65% of Lot Area)

* Accessible terrace with 25% live plants

Mauricio Del Valle Design Inc
Landscape Designer
1973 Pennsylvania Avenue
Miami Beach, FL 33139
305.507.8168

Optimus Structural Design
Structural Engineer
7850 NW 146 St, Suite 305
Miami Lakes, FL 33016
305.512.9960

Rene Gonzalez Architects

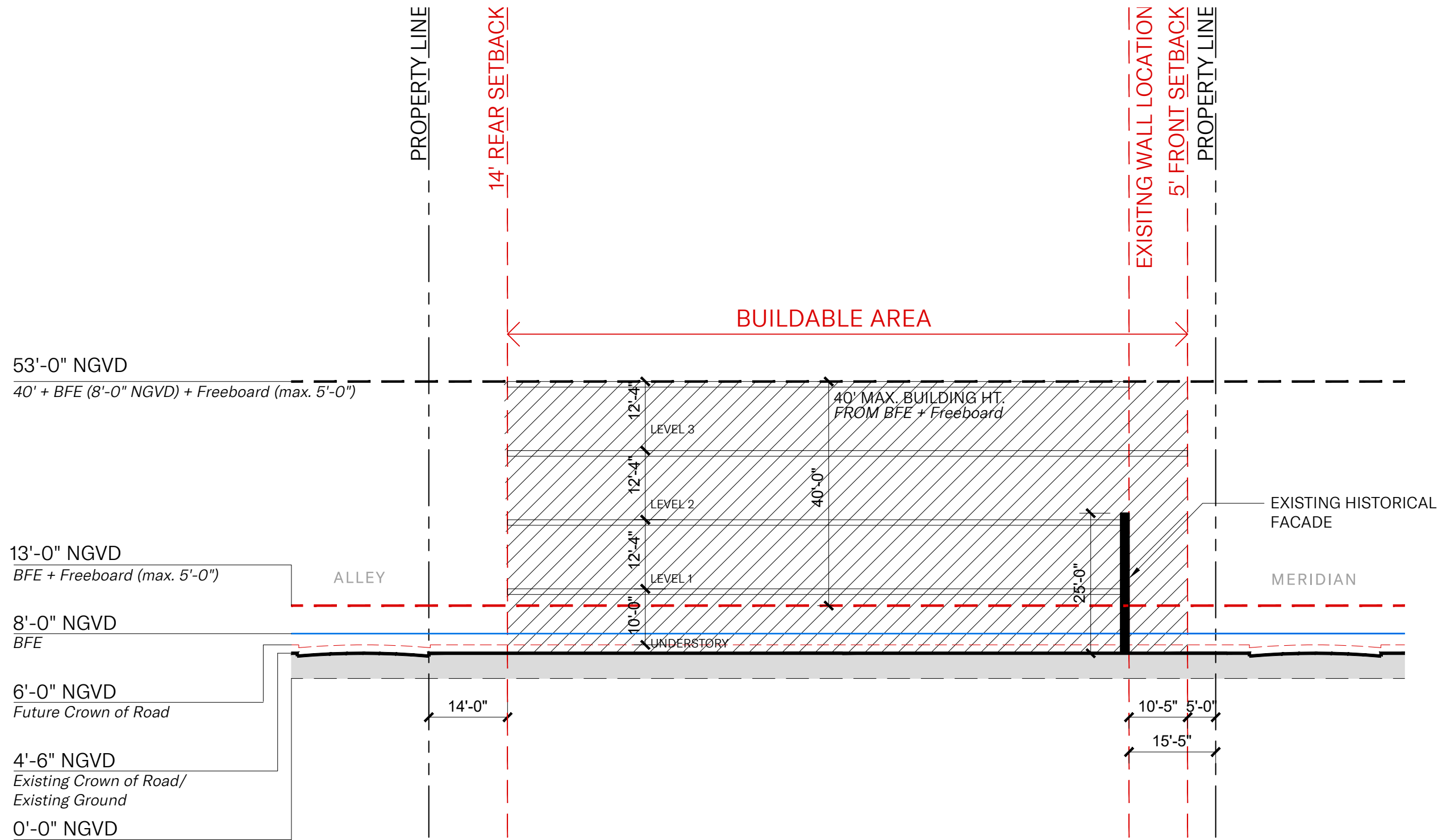
Miami, Florida
rengonzalezarchitect.com
T 305.762.5895
AA #00035E1

336 Meridian Ave
Miami Beach, FL 33139



Digitally signed by rene gonzalez
Date: 2025.08.22 12:11:51 -0400
Date: 07.15.2025
Scale:
Revisions:

PROPOSED OPEN SPACE DIAGRAM



1 BUILDABLE AREA SECTION DIAGRAM
scale: N.T.S.

Mauricio Del Valle Design Inc
Landscape Designer
1573 Pennsylvania Avenue
Miami Beach, FL 33139
305.512.8168

Optimus Structural Design
Structural Engineer
7850 NW 146 St, Suite 305
Miami Lakes, FL 33016
305.512.8960

Rene Gonzalez Architects
Miami, Florida
rengonzalezarchitects.com
T 305.762.5895
AA #0003351

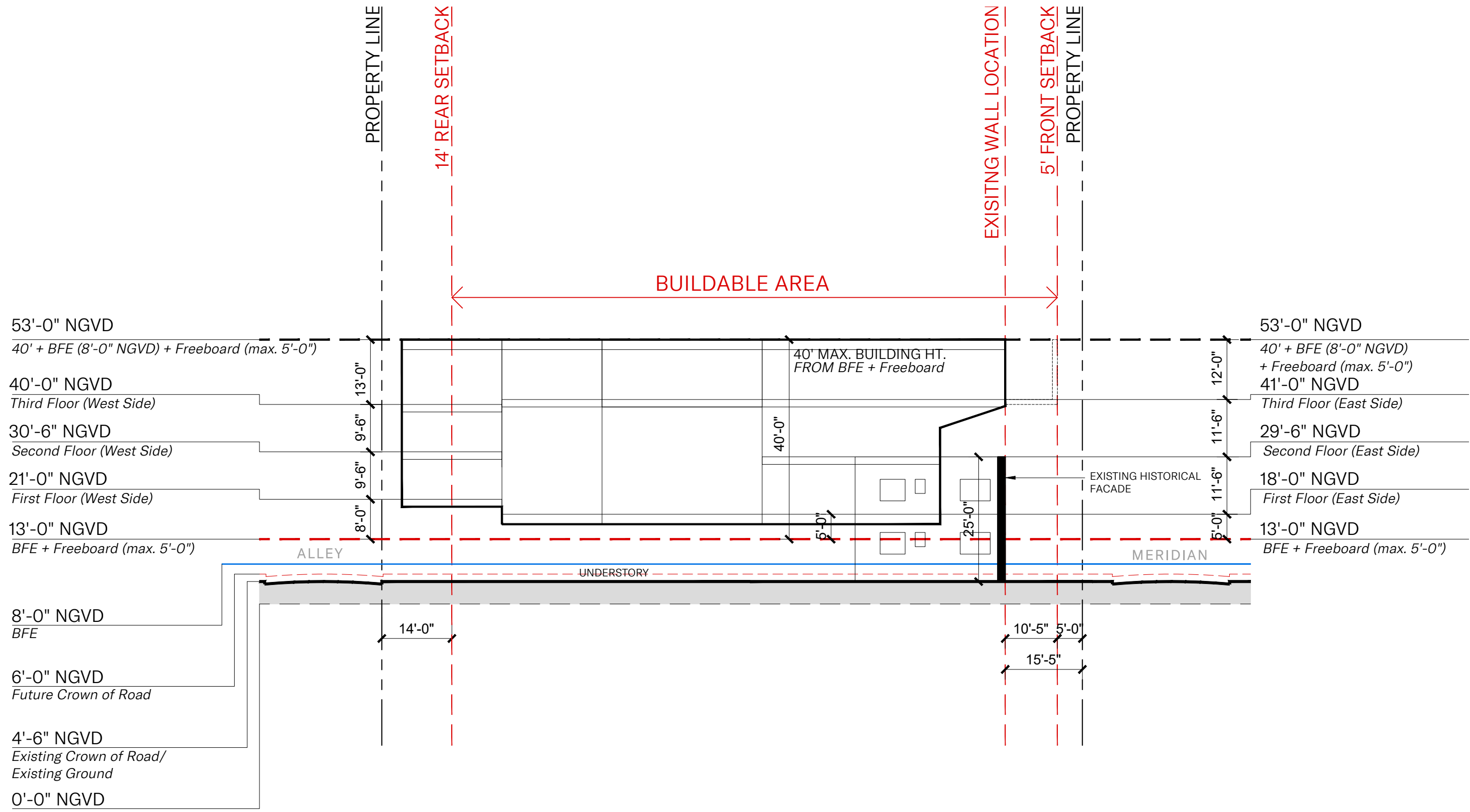


Digitally signed
by rene
gonzalez
Date:
2025.08.22
12:13:40 -04'00'

Date: 07.15.2025
Scale:
Revisions:

BUILDABLE
AREA SECTION
DIAGRAM

Z-10



1 PROPOSED SECTION DIAGRAM
scale: N.T.S.

Mauricio Del Valle Design Inc
Landscape Designer
1573 Pennsylvania Avenue
Miami Beach, FL 33139
305.607.8168

Optimus Structural Design
Structural Engineer
7850 NW 146 St, Suite 305
Miami Lakes, FL 33016
305.512.9900

Rene Gonzalez Architects
Miami, Florida
rengonzalezarchitect.com
T 305.762.5895
AA #00035E

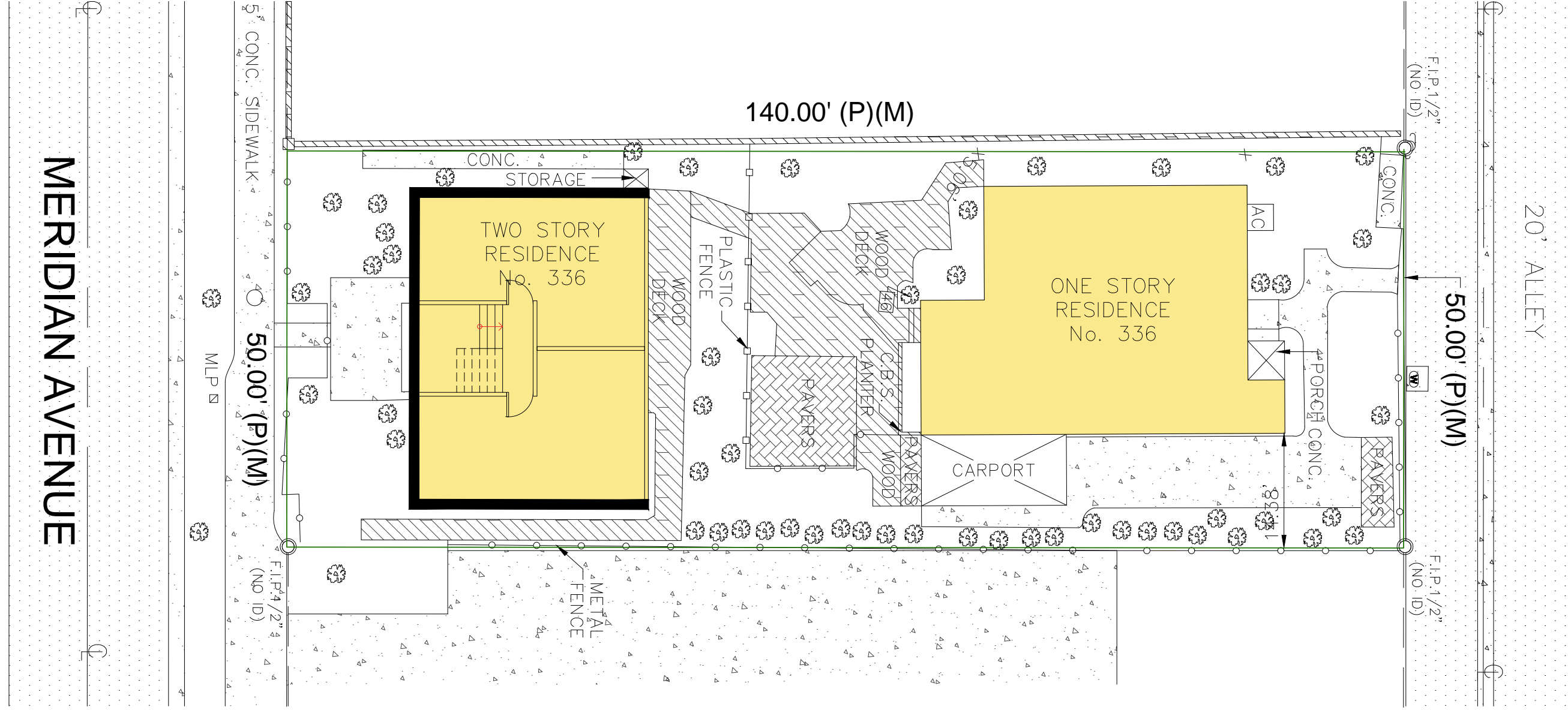
336 Meridian Ave
Miami Beach, FL 33139

Digitally signed by rene gonzalez
Date: 2025.08.22 12:15:40 -04'00'

Date: 07.15.2025
Scale:
Revisions:

PROPOSED SECTION DIAGRAM

Z-11



1 EXISTING CONDITIONS PLAN
scale: N.T.S.

MERIDIAN AVENUE

336 Meridian Ave
Miami Beach, FL 33139

Rene Gonzalez Architects
Miami, Florida
rengonzalezarchitects.com
T 305.762.5895
AA #00035E1

Optimus Structural Design
Structural Engineer
7850 NW 146 St, Suite 305
Miami Lakes, FL 33016
305.512.9960

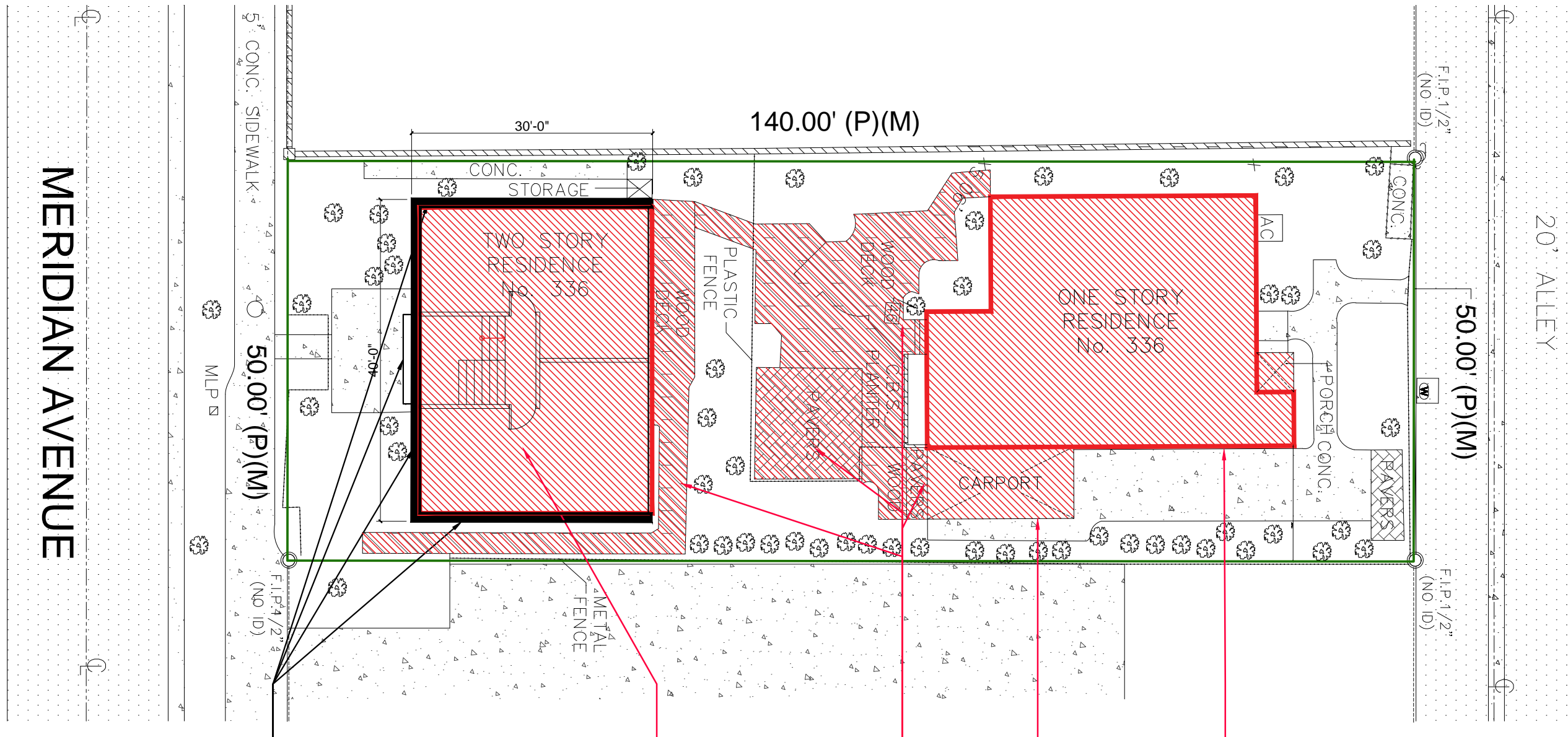
Mauricio Del Valle Design Inc
Landscape Designer
1573 Pennsylvania Avenue
Miami Beach, FL 33139
305.607.8168

Digitally signed
by rene
gonzalez
Date:
2025.08.22
12:19:37 -04'00'

Date: 07.15.2025
Scale:
Revisions:

PLAN

EC-1



EXISTING WALLS TO REMAIN. STABILIZE AND SHORE AS REQUIRED DURING DEMOLITION PROCESS. REFER TO STRUCTURAL ENGINEER PLANS FOR REINFORCEMENT DETAILS AS PART OF PRESERVATION PROCESS.

ALL ELEMENTS OF EXISTING STRUCTURE TO BE DEMOLISHED EXCEPT FOR MAIN FAÇADE AND TWO SIDE WALLS.

DEMO ALL FLOORING MATERIALS

DEMO CARPORT

NOT CLASSIFIED STRUCTURE AT REAR OF PROPERTY TO BE DEMOLISHED.

1 DEMOLITION PLAN
scale: N.T.S.

Structural Assessment Notes –Façade and Side Wall Preservation

The main façade and both side (north and south) exterior walls are to be preserved in place throughout the demolition process. These walls will be stabilized with appropriate structural reinforcement as required. Reinforcement may include temporary bracing and shoring during demolition, followed by permanent restoration of existing tie beams and tie columns.

Cracks and previously patched areas were observed and will be fully repaired during the restoration phase in accordance with appropriate concrete repair details.

All spalled concrete and deteriorated conditions will be properly addressed to restore the structural integrity of the preserved walls.

Full assessment by structural engineer with full plan, strategy, and methodology forthcoming.

GENERAL NOTES:

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO STARTING DEMOLITION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES.

PROTECT ALL EXISTING ELEMENTS NOTED TO REMAIN.

PROVIDE DUST, NOISE, AND VIBRATION CONTROL THROUGHOUT DEMOLITION AS REQUIRED BY LOCAL ORDINANCES.

DISCONNECT, CAP, AND/OR REROUTE ALL UTILITIES SERVING AREAS TO BE DEMOLISHED. COORDINATE WITH MEP DISCIPLINES AND UTILITY PROVIDERS.

REMOVE AND DISPOSE OF ALL DEBRIS AND DEMOLISHED MATERIALS LEGALLY AND IN ACCORDANCE WITH ENVIRONMENTAL REGULATIONS.

MAINTAIN STRUCTURAL STABILITY OF ALL ADJACENT ELEMENTS AND PROVIDE SHORING AND BRACING AS REQUIRED.

COORDINATE DEMOLITION WORK WITH ALL TRADES, INCLUDING STRUCTURAL, MEP, AND CIVIL DISCIPLINES.

CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND ABATING HAZARDOUS MATERIALS SUCH AS ASBESTOS OR LEAD PAINT PER CODE.

DO NOT REMOVE ANY STRUCTURAL COMPONENTS UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.

EXISTING FAÇADE AND SIDE WALLS (AS NOTED) SHALL BE PRESERVED IN PLACE. PROVIDE ALL REQUIRED TEMPORARY BRACING AND PROTECTION.

PRESERVE EXISTING SURVEY CONTROL POINTS AND BENCHMARKS.

CONTRACTOR SHALL REVIEW ALL DEMOLITION PLANS AND DETAILS AND COORDINATE WITH STRUCTURAL DRAWINGS FOR WALL AND SLAB REMOVALS.

Mauricio Del Valle Design Inc
Landscape Designer
1973 Pennsylvania Avenue
Miami Beach, FL 33139
305.512.8168

Optimus Structural Design
Structural Engineer
7850 NW 146 St, Suite 305
Miami Lakes, FL 33016
305.512.8960

Rene Gonzalez Architects
Miami, Florida
rengonzalezarchitects.com
T 305.762.5895
AA #0003351

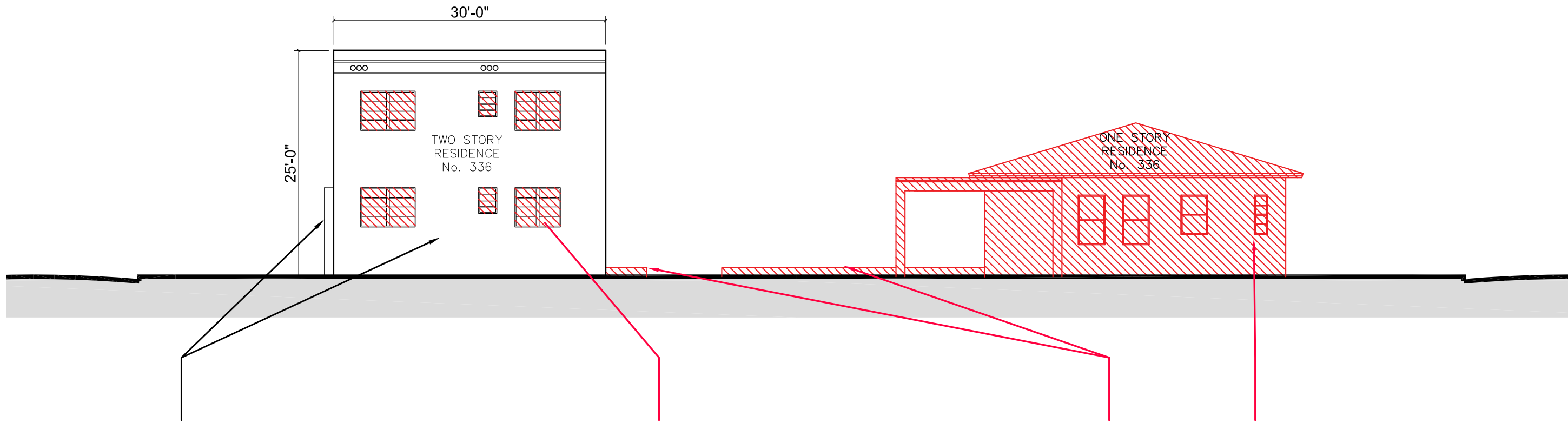
336 Meridian Ave
336 Meridian Ave
Miami Beach, FL 33139

Digitally signed
by rene
gonzalez
Date:
2025.08.22
12:21:41 -0400'

Date: 07.15.2025
Scale:
Revisions:

DEMOLITION
PLAN

EC-2



EXISTING WALLS TO REMAIN. STABILIZE AND SHORE AS REQUIRED DURING DEMOLITION PROCESS. REFER TO STRUCTURAL ENGINEER PLANS FOR REINFORCEMENT DETAILS AS PART OF PRESERVATION PROCESS.

REMOVE WINDOWS. OPENING TO REMAIN.

DEMO ALL FLOORING MATERIALS

NOT CLASSIFIED STRUCTURE AT REAR OF PROPERTY TO BE DEMOLISHED.

1 DEMOLITION NORTH SITE ELEVATION
scale: N.T.S.

Structural Assessment Notes –Façade and Side Wall Preservation

The main façade and both side (north and south) exterior walls are to be preserved in place throughout the demolition process. These walls will be stabilized with appropriate structural reinforcement as required. Reinforcement may include temporary bracing and shoring during demolition, followed by permanent restoration of existing tie beams and tie columns.

Cracks and previously patched areas were observed and will be fully repaired during the restoration phase in accordance with appropriate concrete repair details.

All spalled concrete and deteriorated conditions will be properly addressed to restore the structural integrity of the preserved walls.

Full assessment by structural engineer with full plan, strategy, and methodology forthcoming.

GENERAL NOTES:

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO STARTING DEMOLITION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES.

PROTECT ALL EXISTING ELEMENTS NOTED TO REMAIN.

PROVIDE DUST, NOISE, AND VIBRATION CONTROL THROUGHOUT DEMOLITION AS REQUIRED BY LOCAL ORDINANCES.

DISCONNECT, CAP, AND/OR REROUTE ALL UTILITIES SERVING AREAS TO BE DEMOLISHED. COORDINATE WITH MEP DISCIPLINES AND UTILITY PROVIDERS.

REMOVE AND DISPOSE OF ALL DEBRIS AND DEMOLISHED MATERIALS LEGALLY AND IN ACCORDANCE WITH ENVIRONMENTAL REGULATIONS.

MAINTAIN STRUCTURAL STABILITY OF ALL ADJACENT ELEMENTS AND PROVIDE SHORING AND BRACING AS REQUIRED.

COORDINATE DEMOLITION WORK WITH ALL TRADES, INCLUDING STRUCTURAL, MEP, AND CIVIL DISCIPLINES.

CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND ABATING HAZARDOUS MATERIALS SUCH AS ASBESTOS OR LEAD PAINT PER CODE.

DO NOT REMOVE ANY STRUCTURAL COMPONENTS UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.

EXISTING FAÇADE AND SIDE WALLS (AS NOTED) SHALL BE PRESERVED IN PLACE. PROVIDE ALL REQUIRED TEMPORARY BRACING AND PROTECTION.

PRESERVE EXISTING SURVEY CONTROL POINTS AND BENCHMARKS.

CONTRACTOR SHALL REVIEW ALL DEMOLITION PLANS AND DETAILS AND COORDINATE WITH STRUCTURAL DRAWINGS FOR WALL AND SLAB REMOVALS.

Mauricio Del Valle Design Inc
Landscape Designer
1973 Pennsylvania Avenue
Miami Beach, FL 33139
305.607.8168

Optimus Structural Design
Structural Engineer
7850 NW 146 St, Suite 305
Miami Lakes, FL 33016
305.512.9900

Rene Gonzalez Architects
Miami, Florida
rengonzalezarchitect.com
T 305.762.5895
AA #0003351



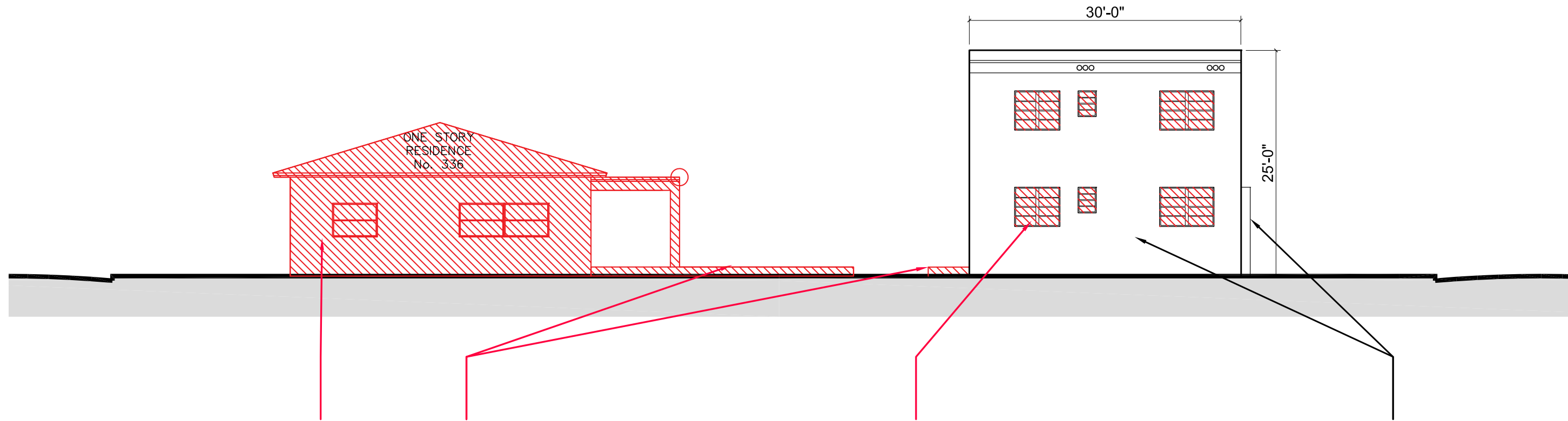
336 Meridian Ave
Miami Beach, FL 33139

Digitally signed by rene gonzalez
Date: 2025.08.22 12:24:02 -0400

Date: 07.15.2025
Scale:
Revisions:

DEMOLITION ELEVATION

EC-3



NOT CLASSIFIED
STRUCTURE AT REAR
OF PROPERTY TO BE
DEMOLISHED.

DEMO ALL
FLOORING
MATERIALS

REMOVE WINDOWS.
OPENING TO REMAIN.

EXISTING WALLS TO REMAIN. STABILIZE
AND SHORE AS REQUIRED DURING
DEMOLITION PROCESS. REFER TO
STRUCTURAL ENGINEER PLANS FOR
REINFORCEMENT DETAILS AS PART OF
PRESERVATION PROCESS.

1 DEMOLITION SOUTH SITE ELEVATION
scale: N.T.S.

Structural Assessment Notes –Façade and Side Wall Preservation

The main façade and both side (north and south) exterior walls are to be preserved in place throughout the demolition process. These walls will be stabilized with appropriate structural reinforcement as required. Reinforcement may include temporary bracing and shoring during demolition, followed by permanent restoration of existing tie beams and tie columns.

Cracks and previously patched areas were observed and will be fully repaired during the restoration phase in accordance with appropriate concrete repair details.

All spalled concrete and deteriorated conditions will be properly addressed to restore the structural integrity of the preserved walls.

Full assessment by structural engineer with full plan, strategy, and methodology forthcoming.

GENERAL NOTES:

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO STARTING DEMOLITION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES.

PROTECT ALL EXISTING ELEMENTS NOTED TO REMAIN.

PROVIDE DUST, NOISE, AND VIBRATION CONTROL THROUGHOUT DEMOLITION AS REQUIRED BY LOCAL ORDINANCES.

DISCONNECT, CAP, AND/OR REROUTE ALL UTILITIES SERVING AREAS TO BE DEMOLISHED. COORDINATE WITH MEP DISCIPLINES AND UTILITY PROVIDERS.

REMOVE AND DISPOSE OF ALL DEBRIS AND DEMOLISHED MATERIALS LEGALLY AND IN ACCORDANCE WITH ENVIRONMENTAL REGULATIONS.

MAINTAIN STRUCTURAL STABILITY OF ALL ADJACENT ELEMENTS AND PROVIDE SHORING AND BRACING AS REQUIRED.

COORDINATE DEMOLITION WORK WITH ALL TRADES, INCLUDING STRUCTURAL, MEP, AND CIVIL DISCIPLINES.

CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND ABATING HAZARDOUS MATERIALS SUCH AS ASBESTOS OR LEAD PAINT PER CODE.

DO NOT REMOVE ANY STRUCTURAL COMPONENTS UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.

EXISTING FAÇADE AND SIDE WALLS (AS NOTED) SHALL BE PRESERVED IN PLACE. PROVIDE ALL REQUIRED TEMPORARY BRACING AND PROTECTION.

PRESERVE EXISTING SURVEY CONTROL POINTS AND BENCHMARKS.

CONTRACTOR SHALL REVIEW ALL DEMOLITION PLANS AND DETAILS AND COORDINATE WITH STRUCTURAL DRAWINGS FOR WALL AND SLAB REMOVALS.

Mauricio Del Valle Design Inc
Landscape Designer
1973 Pennsylvania Avenue
Miami Beach, FL 33139
305.607.8168

Optimus Structural Design
Structural Engineer
7850 NW 146 St, Suite 305
Miami Lakes, FL 33016
305.512.9900

Rene Gonzalez Architects
Miami, Florida
rengonzalezarchitect.com
T 305.762.5895
AA #00035E

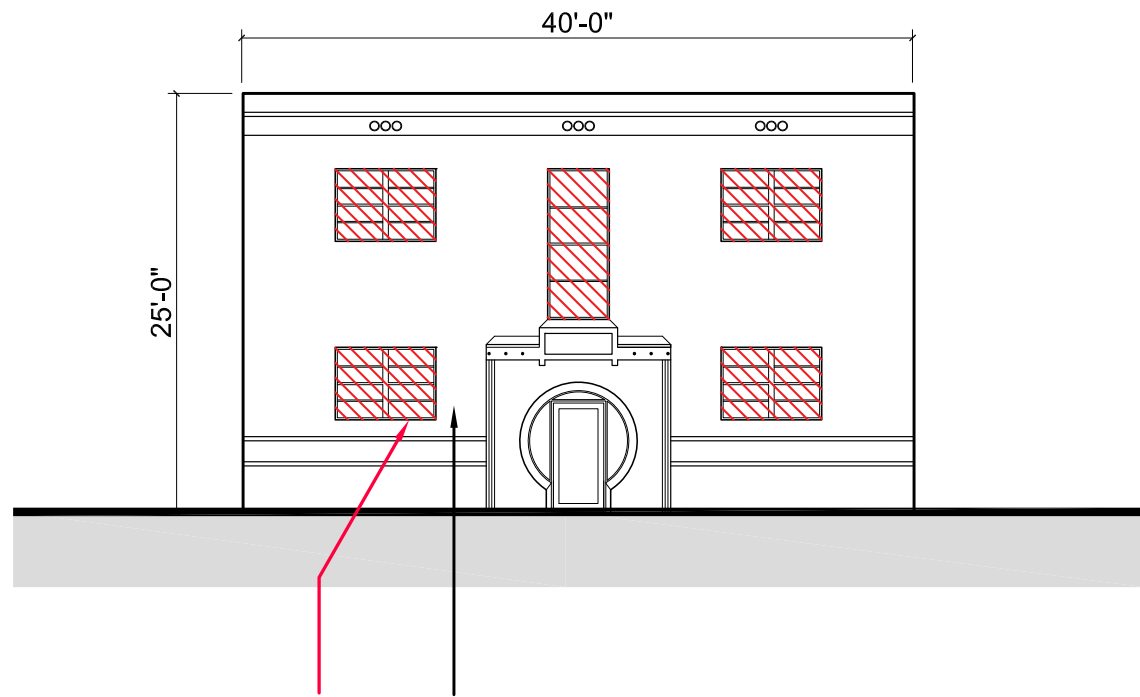
336 Meridian Ave
Miami Beach, FL 33139

Digitally signed
by rene gonzalez
Date: 2025.08.22
12:26:23 -04'00'

Date: 07.15.2025
Scale:
Revisions:

DEMOLITION
ELEVATION

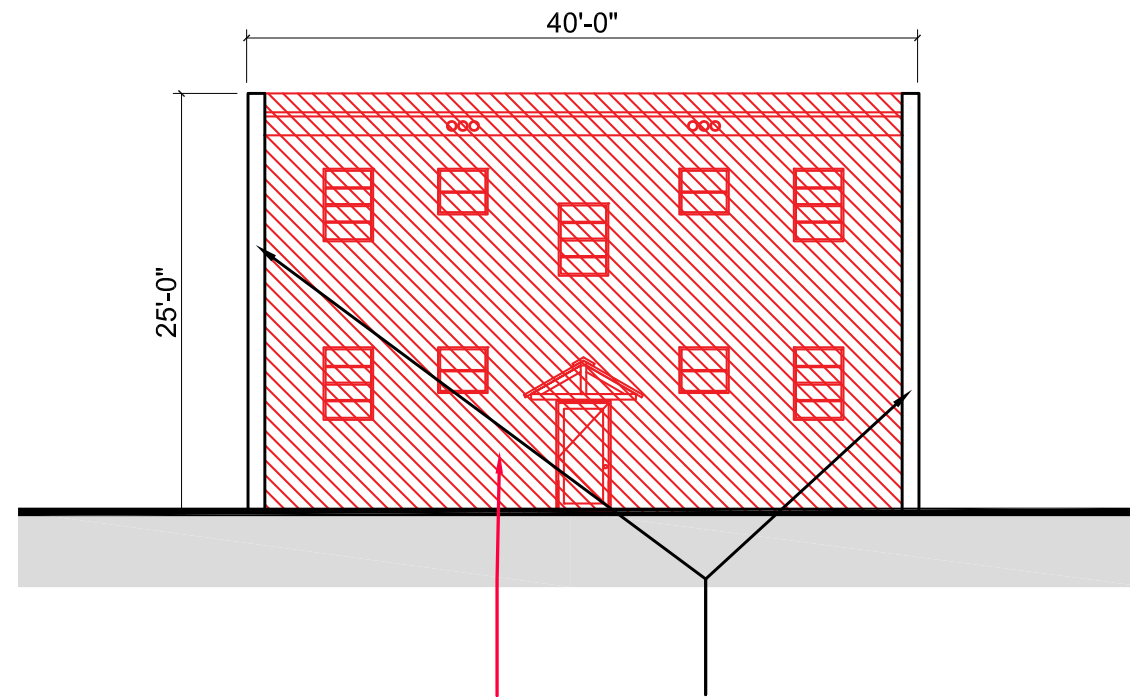
EC-4



REMOVE WINDOWS.
OPENING TO REMAIN.

EXISTING WALLS TO REMAIN. STABILIZE AND SHORE AS REQUIRED DURING DEMOLITION PROCESS. REFER TO STRUCTURAL ENGINEER PLANS FOR REINFORCEMENT DETAILS AS PART OF PRESERVATION PROCESS.

1 DEMOLITION EAST ELEVATION - HISTORIC CONTRIBUTING BUILDING
scale: N.T.S.



DEMO WEST WALL. CUT JOINT WHERE WEST WALL MEETS NORTH & SOUTH WALLS WHICH ARE TO REMAIN TO ENSURE PROTECTION OF REMAINING WALLS.

EXISTING WALLS TO REMAIN. STABILIZE AND SHORE AS REQUIRED DURING DEMOLITION PROCESS. REFER TO STRUCTURAL ENGINEER PLANS FOR REINFORCEMENT DETAILS AS PART OF PRESERVATION PROCESS.

2 DEMOLITION WEST ELEVATION - HISTORIC CONTRIBUTING BUILDING
scale: N.T.S.

Structural Assessment Notes –Façade and Side Wall Preservation

The main façade and both side (north and south) exterior walls are to be preserved in place throughout the demolition process. These walls will be stabilized with appropriate structural reinforcement as required. Reinforcement may include temporary bracing and shoring during demolition, followed by permanent restoration of existing tie beams and tie columns.

Cracks and previously patched areas were observed and will be fully repaired during the restoration phase in accordance with appropriate concrete repair details.

All spalled concrete and deteriorated conditions will be properly addressed to restore the structural integrity of the preserved walls.

Full assessment by structural engineer with full plan, strategy, and methodology forthcoming.

GENERAL NOTES:

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO STARTING DEMOLITION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES.

PROTECT ALL EXISTING ELEMENTS NOTED TO REMAIN.

PROVIDE DUST, NOISE, AND VIBRATION CONTROL THROUGHOUT DEMOLITION AS REQUIRED BY LOCAL ORDINANCES.

DISCONNECT, CAP, AND/OR REROUTE ALL UTILITIES SERVING AREAS TO BE DEMOLISHED. COORDINATE WITH MEP DISCIPLINES AND UTILITY PROVIDERS.

REMOVE AND DISPOSE OF ALL DEBRIS AND DEMOLISHED MATERIALS LEGALLY AND IN ACCORDANCE WITH ENVIRONMENTAL REGULATIONS.

MAINTAIN STRUCTURAL STABILITY OF ALL ADJACENT ELEMENTS AND PROVIDE SHORING AND BRACING AS REQUIRED.

COORDINATE DEMOLITION WORK WITH ALL TRADES, INCLUDING STRUCTURAL, MEP, AND CIVIL DISCIPLINES.

CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND ABATING HAZARDOUS MATERIALS SUCH AS ASBESTOS OR LEAD PAINT PER CODE.

DO NOT REMOVE ANY STRUCTURAL COMPONENTS UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.

EXISTING FAÇADE AND SIDE WALLS (AS NOTED) SHALL BE PRESERVED IN PLACE. PROVIDE ALL REQUIRED TEMPORARY BRACING AND PROTECTION.

PRESERVE EXISTING SURVEY CONTROL POINTS AND BENCHMARKS.

CONTRACTOR SHALL REVIEW ALL DEMOLITION PLANS AND DETAILS AND COORDINATE WITH STRUCTURAL DRAWINGS FOR WALL AND SLAB REMOVALS.

Mauricio Del Valle Design Inc
Landscape Designer
1973 Pennsylvania Avenue
Miami Beach, FL 33139
305.607.8168

Optimus Structural Design
Structural Engineer
7850 NW 146 St, Suite 305
Miami Lakes, FL 33016
305.512.9900

Rene Gonzalez Architects
Miami, Florida
rengonzalezarchitect.com
T 305.762.5895
AA #00035E

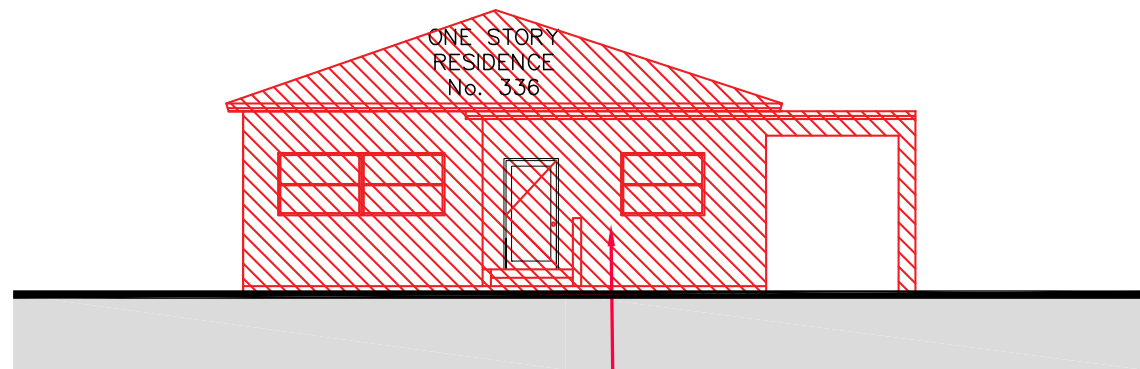
336 Meridian Ave
Miami Beach, FL 33139

Digitally signed
by rene
gonzalez
Date:
2025.08.22
12:28:40 -0400'

Date: 07.15.2025
Scale:
Revisions:

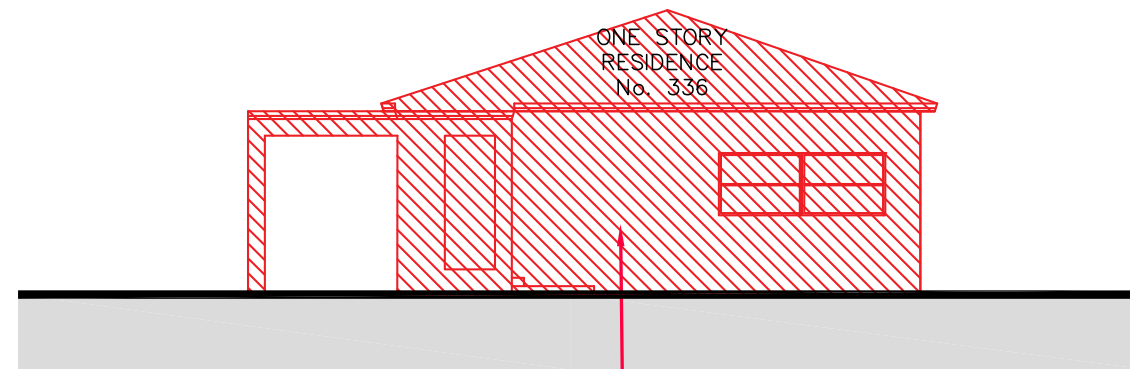
DEMOLITION
ELEVATION

EC-5



NOT CLASSIFIED
STRUCTURE AT REAR
OF PROPERTY TO BE
DEMOLISHED.

1 DEMOLITION EAST ELEVATION - NOT CLASSIFIED BUILDING
scale: N.T.S.



NOT CLASSIFIED
STRUCTURE AT REAR
OF PROPERTY TO BE
DEMOLISHED.

2 DEMOLITION WEST ELEVATION - NOT CLASSIFIED BUILDING
scale: N.T.S.

Structural Assessment Notes –Façade and Side Wall Preservation

The main façade and both side (north and south) exterior walls are to be preserved in place throughout the demolition process. These walls will be stabilized with appropriate structural reinforcement as required. Reinforcement may include temporary bracing and shoring during demolition, followed by permanent restoration of existing tie beams and tie columns.

Cracks and previously patched areas were observed and will be fully repaired during the restoration phase in accordance with appropriate concrete repair details.

All spalled concrete and deteriorated conditions will be properly addressed to restore the structural integrity of the preserved walls.

Full assessment by structural engineer with full plan, strategy, and methodology forthcoming.

GENERAL NOTES:

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO STARTING DEMOLITION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES.

PROTECT ALL EXISTING ELEMENTS NOTED TO REMAIN.

PROVIDE DUST, NOISE, AND VIBRATION CONTROL THROUGHOUT DEMOLITION AS REQUIRED BY LOCAL ORDINANCES.

DISCONNECT, CAP, AND/OR REROUTE ALL UTILITIES SERVING AREAS TO BE DEMOLISHED. COORDINATE WITH MEP DISCIPLINES AND UTILITY PROVIDERS.

REMOVE AND DISPOSE OF ALL DEBRIS AND DEMOLISHED MATERIALS LEGALLY AND IN ACCORDANCE WITH ENVIRONMENTAL REGULATIONS.

MAINTAIN STRUCTURAL STABILITY OF ALL ADJACENT ELEMENTS AND PROVIDE SHORING AND BRACING AS REQUIRED.

COORDINATE DEMOLITION WORK WITH ALL TRADES, INCLUDING STRUCTURAL, MEP, AND CIVIL DISCIPLINES.

CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND ABATING HAZARDOUS MATERIALS SUCH AS ASBESTOS OR LEAD PAINT PER CODE.

DO NOT REMOVE ANY STRUCTURAL COMPONENTS UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.

EXISTING FAÇADE AND SIDE WALLS (AS NOTED) SHALL BE PRESERVED IN PLACE. PROVIDE ALL REQUIRED TEMPORARY BRACING AND PROTECTION.

PRESERVE EXISTING SURVEY CONTROL POINTS AND BENCHMARKS.

CONTRACTOR SHALL REVIEW ALL DEMOLITION PLANS AND DETAILS AND COORDINATE WITH STRUCTURAL DRAWINGS FOR WALL AND SLAB REMOVALS.

Mauricio Del Valle Design Inc
Landscape Designer
1973 Pennsylvania Avenue
Miami Beach, FL 33139
305.607.8168

Optimus Structural Design
Structural Engineer
7850 NW 146 St, Suite 305
Miami Lakes, FL 33016
305.512.9960

Rene Gonzalez Architects
Miami, Florida
rengonzalezarchitect.com
T 305.762.5895
AA #00035E

336 Meridian Ave
Miami Beach, FL 33139

Digitally signed by
rene gonzalez
Date:
2025.08.22
12:30:57
-04'00'

Date: 07.15.2025
Scale:
Revisions:

DEMOLITION
ELEVATION

EC-6