

MIRMELLI RESIDENCE

HPB-25-0674 FINAL SUBMITTAL 09/07/2025

1210 MICHIGAN AVE
MIAMI BEACH, FL 33139



CLIENT

ANDREW MIRMELLI

ARCHITECT

CHOEFF LEVY FISCHMAN
ARCHITECTURE + DESIGN
8425 BISCATYNE BLVD. SUITE 201
MIAMI, FL 33138
(305) 434-8338

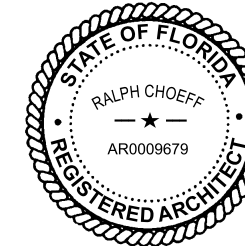
LANDSCAPE ARCHITECT

CHRISTOPHER CAWLEY LANDSCAPE
ARCHITECTURE LLC
780 NE 69TH ST. STE 1106
MIAMI, FL 33138
(305) 979-1585

HPB REQUEST

1. WAIVE ROOF DECK SETBACK REQUIREMENTS AS PER SEC.12.23(b)(8).
2. (POSSIBLE) WAIVE THE 60' MAX LENGTH ELEVATION REQUIREMENTS FOR THE OPEN-SPACE COURTYARD FOR THE NORTH ELEVATION. SEC.12.23(b)(2)(A).

seal



Digitally signed
by Ralph Choeff

Date:
2025.09.05
11:35:42-04'00'



Ralph Choeff
registered architect
AR0009679
AA26003009

comm no.
2417

date:
12/09/2024

revised:

sheet no.

COVER

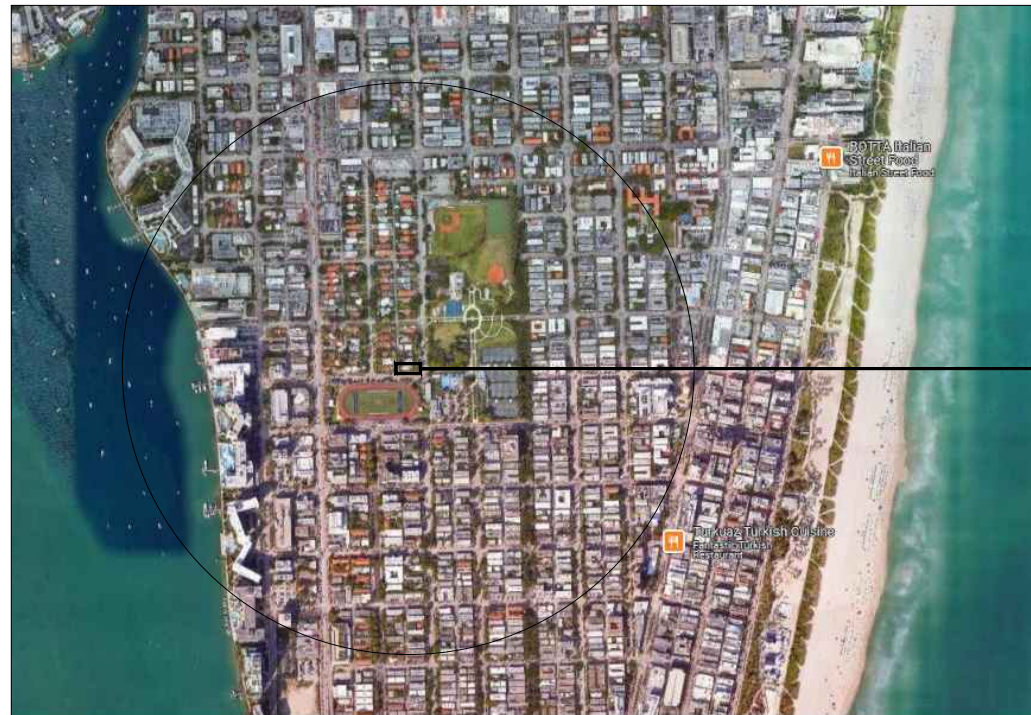
A-0.0

CHOEFF LEVY FISCHMAN
ARCHITECTURE + DESIGN
2750 NW 3rd AVE., SUITE 1
MIAMI, FL 33127
www.cfaarchitects.com
(305) 434-8338
(305) 892-5292

MIRMELLI RESIDENCE
1210 MICHIGAN AVE.
MIAMI BEACH, FL 33139

MIRMELLI RESIDENCE

1210 MICHIGAN AVE
MIAMI BEACH, FL 33139



INDEX OF DRAWINGS

COVER PAGES/ CONTEXT

- A-0.0 COVER SHEET + SCOPE OF WORK
- A-0.1 INDEX OF DRAWINGS + LOCATION MAP
- A-0.1a PREVIOUS HPB FINAL ORDER
- A-0.2 PROPERTY SURVEY
- A-0.3A EXISTING SITE PHOTOGRAPHS
- A-0.4A SURROUNDING PROPERTIES PHOTOGRAPHS
- A-0.4B SURROUNDING PROPERTIES PHOTOGRAPHS CONTINUED
- A-0.4C CONTEXT ANALYSIS
- A-0.4D CONTEXT ANALYSIS CONTINUED
- A-0.5 ZONING DATA SHEET
- A-0.51 VARIANCE DIAGRAM
- A-0.51a POSSIBLE WAIVER DIAGRAM
- A-0.52 UNDERSTORY SHADE DIAGRAM

ARCHITECTURAL DRAWINGS

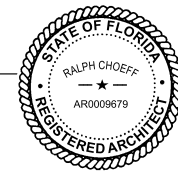
- A-0.6 SITE PLAN
- A-0.7 CALCULATIONS - UNIT SIZE
- A-0.8 CALCULATIONS - UNIT SIZE - ROOF AREA
- A-0.9 CALCULATIONS - LOT COV. + PERVIOUS
- A-1.0 UNDERSTORY PLAN
- A-1.1 FIRST FLOOR PLAN
- A-1.2 PREVIOUSLY APPROVED SECOND FLOOR PLAN
- A-1.2A SECOND FLOOR PLAN
- A-1.3 PREVIOUSLY APPROVED ROOF PLAN
- A-1.3A ROOF PLAN
- A-2.1 ELEVATIONS - EAST/NORTH
- A-2.2 ELEVATIONS - WEST / SOUTH
- A-2.3 SECTIONS

GRAPHICS

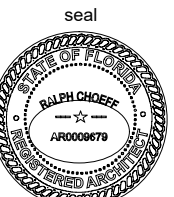
- G-3.1 AXONOMETRICS
- G-3.2 SIDE (SOUTH) RENDERING
- G-3.3 FRONT (EAST) RENDERING
- G-3.4 REAR (SOUTH WEST) RENDERING
- G-3.5 SIDE (NORTH) RENDERING
- G-3.6 SIDE (SOUTHEAST) RENDERING

LANDSCAPE - SUBMITTED SEPARATELY

- L-0.0 LANDSCAPE COVER + SHEET INDEX
- L-1.0 LANDSCAPE PLAN
- L-2.0 PLANT LIST, LANDSCAPE CODE + DETAILS
- L-2.1 PLANT MATERIAL IMAGES
- L-2.2 PLANT MATERIAL IMAGES
- L-3.0 EXISTING TREE SURVEY + DISPOSITION PLAN



Digitally signed
by Ralph Choeff
Date:
2025.09.05
11:36:33-04'00'



Ralph Choeff
registered architect
AR0009679
AA26003009

comm no.
2417

date:
12/09/2024

revised:

sheet no.

INDEX

A-0.1

MIRMELLI RESIDENCE
1210 MICHIGAN AVE.
MIAMI BEACH, FL 33139

seal

MIRMELLI RESIDENCE
1210 MICHIGAN AVE.
MIAMI BEACH, FL 33139

CHOEFF LEVY FISCHMAN
ARCHITECTURE + DESIGN
2750 NW 3rd AVE., SUITE 1
MIAMI, FL 33127
www.cfaarchitects.com
(305) 434-8398
(305) 892-5292

HISTORIC PRESERVATION BOARD
City of Miami Beach, Florida

MEETING DATE: April 22, 2025
PROPERTY/FOLIO: 1210 Michigan Avenue / 02-4203-009-7410
FILE NO: HPB24-0638
APPLICANT: Andrew Mirmelli
IN RE: An application has been filed requesting a Certificate of Appropriateness for the total demolition of the existing single-family home and the construction of a new single-family home.
LEGAL: Lot 7, Block 95, of the Ocean Beach Addition No. 3 Subdivision, according to the plat thereof, recorded in Plat Book 2, Page 81 of the public records of Miami Dade County, Florida.

ORDER

The City of Miami Beach Historic Preservation Board makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the record for this matter.

I. Certificate of Appropriateness

- A. The subject site is located within the Flamingo Park Local Historic District.
- B. Based on the plans and documents submitted with the application, testimony and information provided by the applicant, and the reasons set forth in the Planning Department Staff Report, the project as submitted:
 - 1. Is not consistent with Sea Level Rise and Resiliency Review Criteria 'A' in section 7.1.2.4(a)(1) of the Land Development Regulations.
 - 2. Is not consistent with Certificate of Appropriateness Criteria 'a' in section 2.13.7(d)(ii)(1) of the Land Development Regulations.
 - 3. Is not consistent with Certificate of Appropriateness Criteria 'b' & 'h' in section 2.13.7(d)(ii)(2) of the Land Development Regulations.
 - 4. Is not consistent with Certificate of Appropriateness Criteria 'e' in section 2.13.7(d)(ii)(3) of the Land Development Regulations.
 - 5. Is consistent with Certificate of Appropriateness Criteria in section 2.13.7(d)(vi)(4) of the Land Development Regulations.

Page 4 of 6
HPB24-0638
Meeting Date: April 22, 2025

- C. The relocation of any tree shall be subject to the approval of the Environment & Sustainability Director and/or Urban Forester, as applicable.
- D. The applicant shall comply with the electric vehicle parking requirements, pursuant to section 5.2.12 of the land development regulations, as applicable.
- E. Where one or more parcels are unified for a single development, the property owner shall execute and record a unity of title or a covenant in lieu of unity of title, as may be applicable, in a form acceptable to the City Attorney.
- F. All applicable FPL transformers or vault rooms and backflow prevention devices shall be located within the main building setbacks with the exception of the valve (PIV) which may be visible and accessible from the street.
- G. A copy of all pages of the recorded Final Order shall be scanned into the plans submitted for building permit and shall be located immediately after the front cover page of the permit plans.
- H. The Final Order shall be recorded in the Public Records of Miami-Dade County, prior to the issuance of a Building Permit.
- I. Satisfaction of all conditions is required for the Planning Department to give its approval on a Certificate of Occupancy, a Temporary Certificate of Occupancy or Partial Certificate of Occupancy may also be conditionally granted Planning Departmental approval.
- J. The Final Order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be returned to the Board for reconsideration as to whether the order meets the criteria for approval absent the stricken provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions.
- K. The conditions of approval herein are binding on the applicant, the property's owners, operators, and all successors in interest and assigns.
- L. Nothing in this order authorizes a violation of the City Code or other applicable law, nor allows a relaxation of any requirement or standard set forth in the City Code.
- M. Upon the issuance of a final Certificate of Occupancy or Certificate of Completion, as applicable, the project approved herein shall be maintained in accordance with the plans approved by the board and shall be subject to all conditions of approval herein, unless otherwise modified by the Board. Failure to maintain shall result in the issuance of a Code Compliance citation, and continued failure to comply may result in revocation of the Certificate of Occupancy, Completion and Business Tax Receipt.

IT IS HEREBY ORDERED, based upon the foregoing findings of fact, the evidence, information, testimony and materials presented at the public hearing, which are part of the record for this matter, and the staff report and analysis, which are adopted herein, including the staff recommendations, which were amended and adopted by the Board, that the application is

Page 2 of 6
HPB24-0638
Meeting Date: April 22, 2025

- C. The project would be consistent with the criteria and requirements of sections 2.13.7(d) and 7.1.2.4(a) of Land Development Regulations if the following conditions are met:
 - 1. Revised elevation, site plan and floor plan drawings shall be submitted, and at a minimum, such drawings shall incorporate the following:
 - a. A plaque or historic display describing the history of the previously existing buildings shall be provided and be placed on the site in a manner visible from the right of way, prior to the issuance of a Certificate of Occupancy for the building, in a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
 - b. The applicant shall explore salvaging the four concrete relief panels located with the front portion of the home, to be reincorporated into the new project, in a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
 - c. The corner window at the second-floor easternmost bedroom (bedroom 2) shall be repeated at the floor below, in a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
 - d. The window in the closet of the first-floor easternmost bedroom (bedroom 4) shall be converted into a corner window, in a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
 - e. The solid wall located at the south side of the balcony of bedroom 4 shall be relocated to the north side of the balcony, in a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
 - f. The vehicular gate along Michigan Avenue shall be eliminated and may be replaced with a pedestrian scaled entry gate, in a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
 - g. Final details of all exterior surface finishes and materials shall be submitted, in a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
 - h. All roof-top fixtures, air-conditioning units and mechanical devices shall be clearly noted on a revised roof plan and elevation drawings and shall be screened from view, in a manner to be reviewed and approved by staff, consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
 - 2. A revised landscape plan, prepared by a Professional Landscape Architect, registered in the State of Florida, and corresponding site plan, shall be submitted to and approved

Page 5 of 6
HPB24-0638
Meeting Date: April 22, 2025

GRANTED for the above-referenced project subject to those certain conditions specified in Paragraph I, II, III of the Findings of Fact, to which the applicant has agreed.

PROVIDED, the applicant shall build substantially in accordance with the plans entitled "Mirmelli Residence", as prepared by Choeff Levy Fischman Architecture + Design, dated January 1, 2025, and "Exhibit A", dated April 22, 2025 as approved by the Historic Preservation Board, as determined by staff.

When requesting a building permit, the plans submitted to the Building Department for permit shall be consistent with the plans approved by the Board, modified in accordance with the conditions set forth in this Order. No building permit may be issued unless and until all conditions of approval that must be satisfied prior to permit issuance, as set forth in this Order, have been met.

The issuance of the approval does not relieve the applicant from obtaining all other required Municipal, County and/or State reviews and permits, including final zoning approval. If adequate handicapped access is not provided on the Board-approved plans, this approval does not mean that such handicapped access is not required. When requesting a building permit, the plans submitted to the Building Department for permit shall be consistent with the plans approved by the Board, modified in accordance with the conditions set forth in this Order.

If the Full Building Permit for the project is not issued within eighteen (18) months of the meeting date at which the original approval was granted, the application will expire and become null and void, unless the applicant makes an application to the Board for an extension of time, in accordance with the requirements and procedures of section 2.13.7 of the Land Development Regulations; the granting of any such extension of time shall be at the discretion of the Board. If the Full Building Permit for the project should expire for any reason (including but not limited to construction not commencing and continuing, with required inspections, in accordance with the applicable Building Code), the application will expire and become null and void.

In accordance with chapter 2 of the Land Development Regulations, the violation of any conditions and safeguards that are a part of this Order shall be deemed a violation of the land development regulations. Failure to comply with this Order shall subject the application to chapter 2 of the Land Development Regulations, for revocation or modification of the application.

4/23/2025 | 12:52 PM EDT
Dated this _____ day of _____, 20____.

HISTORIC PRESERVATION BOARD
THE CITY OF MIAMI BEACH, FLORIDA
BY: Deborah Tackett
DEBORAH TACKETT
HISTORIC PRESERVATION & ARCHITECTURE OFFICER
FOR THE CHAIR

Page 3 of 6
HPB24-0638
Meeting Date: April 22, 2025

- by staff. The species type, quantity, dimensions, spacing, location and overall height of all plant material shall be clearly delineated and subject to the review and approval of staff. At a minimum, such plan shall incorporate the following:
 - a. Street trees shall be planted within the swale along both Michigan Avenue and 12th Street, with an average spacing of 20'-0" on center, as required within the Land Development Regulations.
 - b. A fully automatic irrigation system with 100% coverage and an automatic rain sensor in order to render the system inoperative in the event of rain.
 - c. The project design shall minimize the potential for a project causing a heat island effect on site.
 - d. Cool pavement materials or porous pavement materials shall be utilized, if applicable.

In accordance with section 2.2.4.8(c) of the Land Development Regulations the applicant, the City Manager, Miami Design Preservation League, Dade Heritage Trust, or an affected person may appeal the Board's decision on a Certificate of Appropriateness to a special magistrate appointed by the City Commission.

II. Variance(s)

A. No variances have been applied for as part of this application.

The decision of the Board regarding variances shall be final and there shall be no further review thereof except by resort to a court of competent jurisdiction by petition for writ of certiorari.

III. General Terms and Conditions applying to both 'I. Certificate of Appropriateness' and 'II. Variances' noted above.

- A. The applicant agrees and shall be required to provide access to areas subject to this approval (not including private residences or hotel rooms) for inspection by the City (i.e.: Planning, Code Compliance, Building Department, Fire Safety), to ensure compliance with the plans approved by the Board and conditions of this order.
- B. The issuance of a building permit is contingent upon meeting Public School Concurrency requirements, if applicable. Applicant shall obtain a valid School Concurrency Determination Certificate (Certificate) issued by the Miami-Dade County Public Schools. The Certificate shall state the number of seats reserved at each school level. In the event sufficient seats are not available, a proportionate share mitigation plan shall be incorporated into a tri-party development agreement and duly executed. No building permit may be issued unless and until the applicant obtains a written finding from Miami-Dade County Public Schools that the applicant has satisfied school concurrency.

Page 6 of 6
HPB24-0638
Meeting Date: April 22, 2025

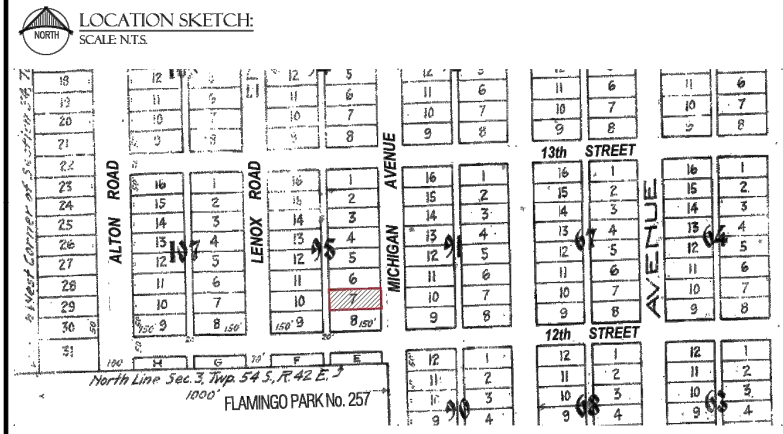
STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

The foregoing instrument was acknowledged before me this 24 day of April, 2025 by Deborah Tackett, Historic Preservation & Architecture Officer, Planning Department, City of Miami Beach, Florida, a Florida Municipal Corporation, on behalf of the corporation. She is personally known to me.

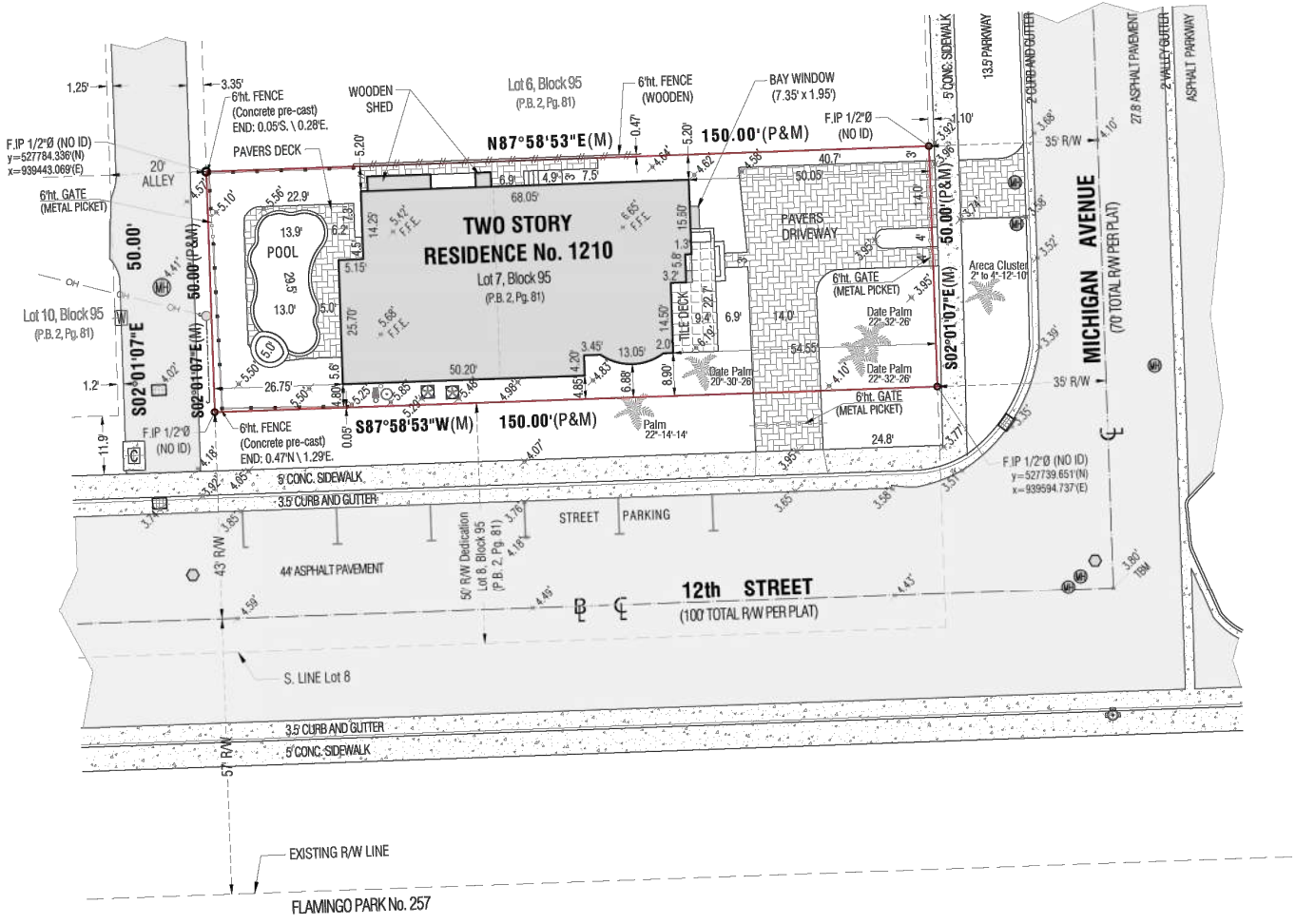
Miriam Sierra
NOTARY PUBLIC
Miami-Dade County, Florida
My commission expires: 12-16-27

Approved As To Form: Nicholas
City Attorney's Office: 808CB88CCAB8400 (4/23/2025 | 12:49 PM EDT)
Filed with the Clerk of the Historic Preservation Board on Jessica Enking (4/23/2025 | 1:20 PM EDT)

But



MAP OF BOUNDARY SURVEY:
SCALE 1" = 20'



SURVEYOR'S REPORT :

- MAP OF BOUNDARY SURVEY FOR:**
1210 MICHIGAN AVENUE, MIAMI BEACH, FLORIDA 33139
- LEGAL DESCRIPTION :**
Lot 7, Block 95 of "OCEAN BEACH ADD. No. 3", according to the Plat Thereof as Recorded in Plat Book 2 at Page 81 of the Public Record of Miami Dade County, Florida.
- SOURCES OF DATA (HORIZONTAL CONTROL):**
The North Arrow and Bearings as shown hereon are based of bearings value S02°01'07"E, along the center line of Michigan Avenue; according to Plat Book 2, Page 81 of the Public Records of Miami Dade County, Florida.
- SOURCES OF DATA (VERTICAL CONTROL):**
FLOOD INFORMATION BASED ON THE FLOOD INSURANCE RATE MAP OF THE FEDERAL EMERGENT MANAGEMENT AGENCY (NGVD29)

F.I.R.M. date	Flood Zone	Base elevation	Community	Panel No.	Suffix	BM Used
09-11-2014	AE	8.0'	120651	0317	L	V 310 ELEV. 4.57 NGVD29

5. ACCURACY : The accuracy obtained by measurement and calculation of closed geometric figures was found to exceed this requirement.

6. LIMITATIONS :
 ■ This survey was performed for the sole and exclusive benefit of the parties to whom it was certified. ■ Likewise, any reuse of this survey for any purpose other than which was originally intended, without the written permission of the undersigned surveyor, will be done so at the risk of the reusing party and without any liability to the undersigned surveyor. ■ Since no other information other than what is cited in the Sources of Data were furnished, the Client is hereby advised that there may be legal restrictions on the Subject Property that are not shown on the Survey Map or contained within this Report that may be found in the Public Records of County, or the records of any other public and private entities as their jurisdictions may appear. ■ Land shown hereon were not abstracted for easements and/or right-of-way of record except as shown on the Record Plat if any. ■ The Surveyor makes no representation as to ownership or possession of the Subject Property by any entities or individual who may appear of public record. ■ This survey may be subject to dedications, limitations, restrictions, reservations, encumbrances or easements of record the same that may not be noted or depicted hereon. ■ No improvements were located, other than those shown. ■ This survey does not purport to show ownership of walls and/or fences along property lines. ■ Unless otherwise noted, this firm has not attempted to locate underground footings and/or foundations. ■ The elevations (if any) were measured to an estimated vertical positional accuracy of 1/10 foot for natural ground surfaces and 1/100 foot for hardscape surfaces, including pavement, curbs, sidewalks and other manmade structures. ■ Wall ties are to the face of the same. ■ Fence ties are from the nearest face of the same to the property line. ■ Public Records have not been researched by the surveyor to determine the accuracy of these descriptions nor have adjoining properties been researched to determine overlaps and hiatus. ■ The survey depicted here is not covered by professional liability insurance. ■ Notice: Sunshine State One Call of Florida, Inc. must be contacted at least 48 hours in advance of any construction, excavation or demolition activity within, upon, abutting or adjacent to the Subject Property. Pursuant to Chapter 558.101-111 of the Fl. Statutes.

ABBREVIATIONS AND LEGEND:

A = arc	HT = high (height)	PRM = permanent reference monument	+ XXX' = elevation NGVD29	—○— board fence
ADJ = adjacent	L.F.E = lowest floor elevation	PT = point of tangency	+ (XXX) = elevation NAVD88	▨ CBS wall / fence
A.E = anchor easement	LME = lake maintenance	R = radius	⊕ fire hydrant	—x— chain link fence
BBQ = barbecue easement	LS = land surveyor	R/R = railroad	FPL FPL box	—○— pre-cast fence
BOB = basis of bearings	M = measured distance	R/W = right-of-way	⊗ gas meter	—○— picket fence
BM = bench mark	N A = not applicable	Sec = section	⊕ propane gas tank	—#— wooden fence
BC = block corner	N&D = nail & disc	S = south	⊕ manhole (unknown)	— base line
CME = canal maintenance easement.	NAVD = national american vertical datum	T = tangent	⊕ utility easement	— center line
C = calculated	NGVD = national geodetic vertical datum	U.E = utility easement	W = west	— monument line
Ch = chord	N = north	⊕ air conditioner	⊕ a/c split	— concrete power pole
CBS = concrete block structure	NTS = not to scale	⊕ catch basin	⊕ wood power pole	⊕ covered / roled
Ø = diameter	OH = overhang	⊕ clean out	⊕ light pole	⊕ building/adjacent
∠ = central angle	OS = offset	⊕ communication box	⊕ electric register	⊕ asphalt
DH = drill hole	ORB = official record book	⊕ electric meter	⊕ electric panel	⊕ rock
DME = drainage maintenance easement	P = plat	⊕ electric panel	⊕ emergency generator	⊕ tile
E = degrees	P.B. = plat book	⊕ electric panel	⊕ well & electric pump	⊕ concrete
E = east	P.C. = point of curvature	⊕ electric panel		⊕ pavers
F.I.P = found iron pipe no id	PG = page	⊕ electric panel		⊕ vegetation
F.I.R = found iron rebar no id	PCP = permanent control point	⊕ electric panel		⊕ water
F.N&D = found nail and disc	P.L. = property line	⊕ electric panel		⊕ water
F.F.E = finish floor elevation	POB = point of beginning	⊕ electric panel		⊕ water
	POC = point of commencement	⊕ electric panel		⊕ water

CERTIFY TO : ANDREW MIRMELLI.

NOTICE: Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to Survey Maps and Reports by other than the signing party are prohibited without the written consent of the signing party.

SURVEYOR'S CERTIFICATE : I hereby certify, That this "Boundary and Topographic Survey" and Report resulting therefor was performed under my direction and is true and correct to the best of my knowledge and belief and further, that said "Boundary and Topographic Survey" meets the intent of the applicable provisions of the "Standards of Practice for Land Surveying in the State of Florida", pursuant to Section 53-17.050 through 53-17.052 of the Florida Administrative Code and its implementing law, chapter 472.027 of the Florida Statutes.

Miguel J Garay
Professional Surveyor and Mapper
No. 6594 State of Florida

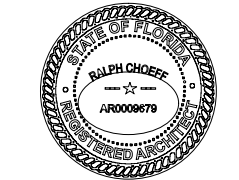
8801 NW 176th Street Miami Lakes, Fl. 33018
P. 305_362_7926 P. 305_305_4143
M. madelin @ surveyinflorida.com

Date: 06-12-2025
Job No.25-13398F
Sheet No. 1 of 1

PRISMA LAND SURVEYORS LLC
SURVEYOR AND MAPPERS LB. 8036
north central and south florida

MIRMELLI RESIDENCE
1210 MICHIGAN AVE.
MIAMI BEACH, FL 33139

Ralph Choeff
seal

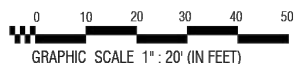


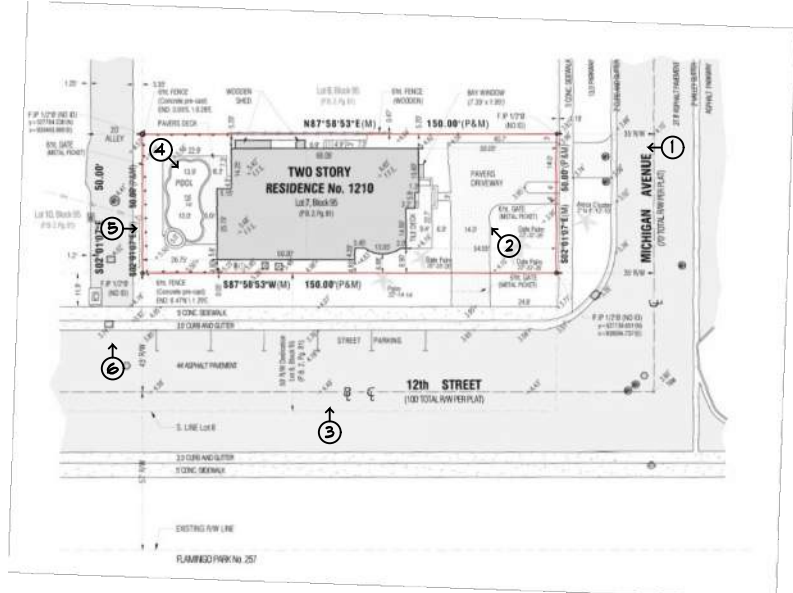
Ralph Choeff
registered architect
AR0000679
AA26003009

comm no.
2417

date:
12/09/2024

revised:





⑥ SURVEY PHOTO VIEWS
A-0.3A Scale: NT5



① SITE PHOTO 1
A-0.3A Scale: NT5



② SITE PHOTO 2
A-0.3A Scale: NT5



③ SITE PHOTO 3 (12TH STREET SIDE VIEW)
A-0.3A Scale: NT5



④ SITE PHOTO 4 (REAR PROPERTY)
A-0.3A Scale: NT5

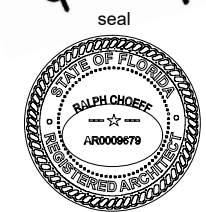


⑤ SITE PHOTO 5 (REAR ALLEY VIEW)
A-0.3A Scale: NT5



⑥ SITE PHOTO 5 (REAR)
A-0.3A Scale: NT5

Ralph Choëff



Ralph Choëff
registered architect
AR0000679
AA26003009

comm no.
2417

date:
12/09/2024

revised:



1 AERIAL PLAN OF PROPERTY #1 & SURROUNDING PROPERTIES
A-0.4A Scale: NTS



2 AERIAL PLAN OF PROPERTY #1 & SURROUNDING PROPERTIES #2
A-0.4A Scale: NTS



3 SITE
A-0.4A Scale: NTS



4 ALLEY #0
A-0.4A Scale: NTS



5 PROPERTY #1
A-0.4A Scale: NTS



6 PROPERTY #2
A-0.4A Scale: NTS



7 PROPERTY #3
A-0.4A Scale: NTS



8 PROPERTY #4
A-0.4A Scale: NTS



9 PROPERTY #5
A-0.4A Scale: NTS

Ralph Choëff

seal



Ralph Choëff
registered architect
AR0009679
AA26003009

comm no.
2417

date:
12/09/2024

revised:

sheet no.



1 PROPERTY #6
A-0.4B Scale: NTS



2 PROPERTY #7
A-0.4B Scale: NTS



3 PROPERTY #8
A-0.4B Scale: NTS



4 PROPERTY #9
A-0.4B Scale: NTS



5 PROPERTY #10
A-0.4B Scale: NTS



6 PROPERTY #11
A-0.4B Scale: NTS



7 PROPERTY #12
A-0.4B Scale: NTS



8 PROPERTY #13 (PARK)
A-0.4B Scale: NTS



9 PROPERTY #14 (TRACK)
A-0.4B Scale: NTS

seal



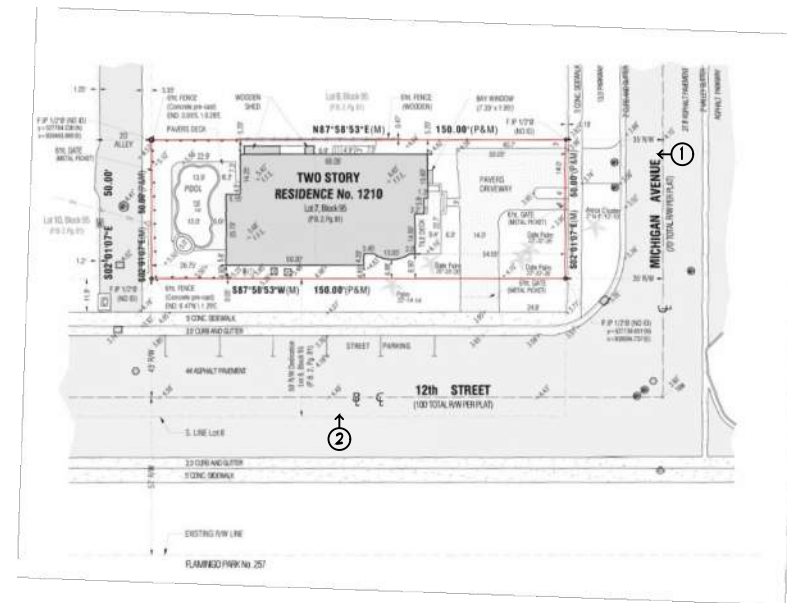
Ralph Choeff
registered architect
AR0000679
AA26003009

comm no.
2417

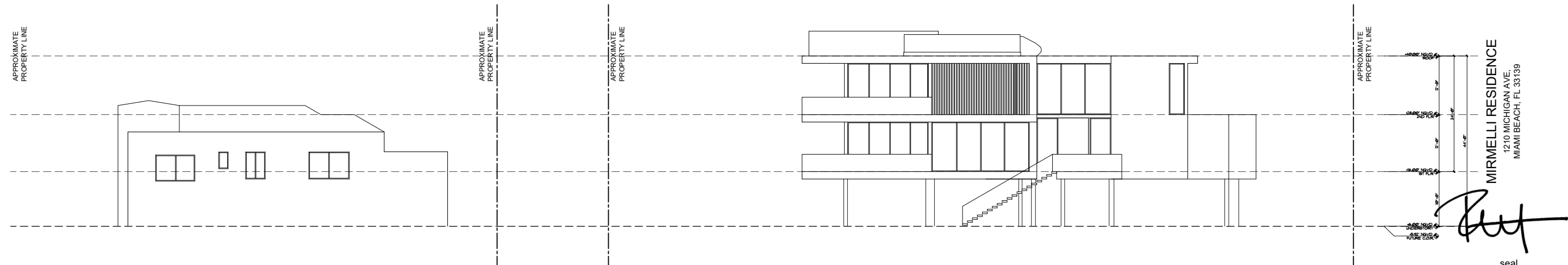
date:
12/09/2024

revised:

sheet no.

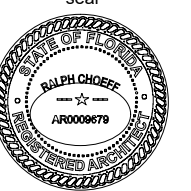


1 SURVEY PHOTO VIEWS
A-0.3A Scale: NTS



MIRMELLI RESIDENCE
1210 MICHIGAN AVE.
MIAMI BEACH, FL 33139

[Signature]
seal



Ralph Choëff
registered architect
AR0000679
AA26003009

comm no.
2417

date:
12/09/2024

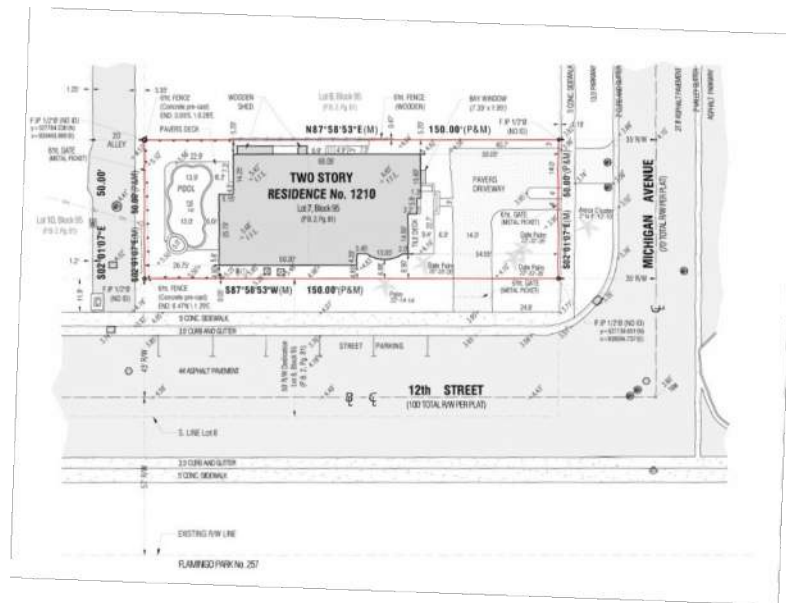
revised:



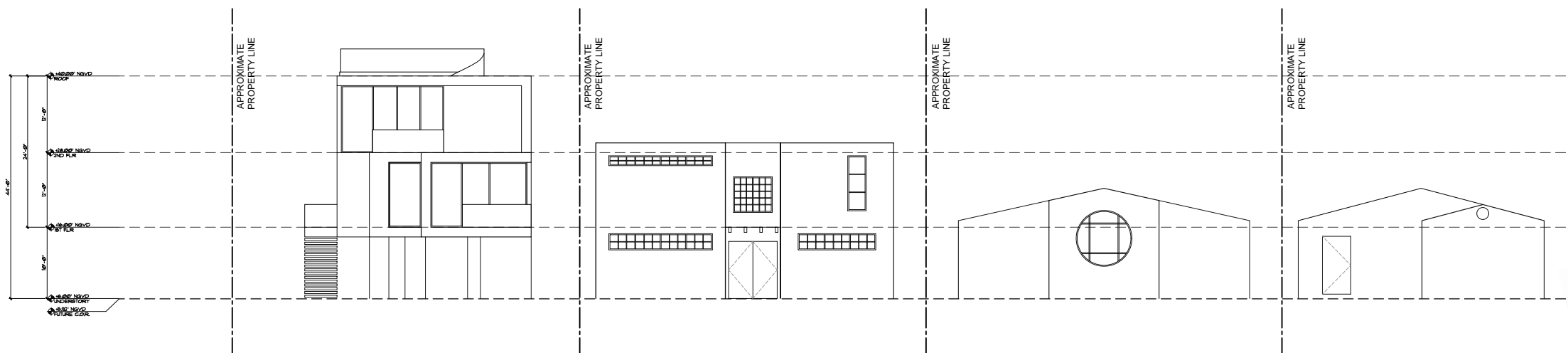
3 12TH STREET VIEW
A-0.4C Scale: NTS

CONTEXT ANALYSIS A-0.4C

sheet no.



1 SURVEY PHOTO VIEWS
A-0.3A Scale: NTS



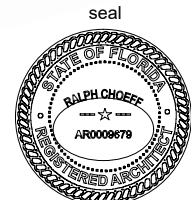
2 MICHIGAN AVENUE VIEW
A-0.4C Scale: NTS

CONTEXT ANALYSIS

A-0.4D

MIRMELLI RESIDENCE
1210 MICHIGAN AVE.
MIAMI BEACH, FL 33139

Ralph Choëff



Ralph Choëff
registered architect
AR0000679
AA26003009

comm no.
2417

date:
12/09/2024

revised:

sheet no.

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	1210 MICHIGAN AVE MIAMI BEACH, FL 33139 LEGAL DESCRIPTION: LOT 7, BLOCK 95 OF "OCEAN BEACH ADD. No.3"; ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2 AT PAGE 81 OF THE PUBLIC RECORD OF MIAMI DADE COUNTY, FLORIDA		
2	Folio number(s):	02-4203-009-7410		
3	Board and file numbers :			
4	Year built:		Zoning District:	RS-4
5	Based Flood Elevation:	+8.00' NGVD	Grade value (C.O.R.)	+4.10' NGVD
6	Adjusted grade (Flood+Grade/2):	+6.05' NGVD	Future (C.O.R.)	+5.92' NGVD
7	Lot Area:	7,500 SQ FT.	Free board:	+13.00' NGVD
8	Lot width:	50'-0"	Lot Depth:	150'-0"
9	Max Lot Coverage SF and %:	2,250 SQ FT. (30%)	Proposed Lot Coverage SF and %:	1,969.6 SQ FT. (26.3%)
10	Existing Lot Coverage SF and %:		Lot coverage deducted (garage-storage) SF:	
11	Front Yard Open Space SF and %:	1500 SQ FT. (100%)	Rear Yard Open Space SF and %:	845 SQ FT. (75.1%)
12	Max Unit Size SF and %:	3,750 SQ FT. (50%)	Proposed Unit Size SF and %:	3,682 SQ FT. (49.1%)
13	Proposed Understory Unit Size	198 SQ FT.	Proposed First Floor Unit Size (Inc. O.H. Areas):	1,861 SF
14	Proposed Second Floor Unit Size:	1,623 SQ FT.	Proposed Roof Unit Size:	0 SF
15		Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):		401 SF (24.7%)
		Required	Existing	Proposed
16	Height:			34'-0"
17	Front First level Setback :	20'-0"		42'-2"
18	Front Second level Setback :	40'-0"		51'-4"
19	Side 1 Setback :	7'-6"		7'-6"
20	Side 2 Setback :	15'-0"		15'-0"
21	Rear Setback :	22'-6"		27'-6"
22	Accessory Structure Side 1 Setback:	N/A		N/A
23	Accessory Structure Side 2 or (facing street) :	N/A		N/A
24	Accessory Structure Rear :	N/A		N/A
25	Sum of Side yard	22'-6"		22'-6"
26	Located within a Local Historic District?		YES	YES
27	Designated as an individual Historic Single Family Residence Site?			SEE ABOVE
28	Determined to be Architecturally Significant?			
Notes:				

ITEM #	New Construction Floodplain Management Data		
1	Flood Zone:	AE - EL 8	
2	FIRM Map Number	12086C0317L	
3	Base Flood Elevation (BFE):	+8.0' NGVD	
4	Proposed Flood Design Elevation:	+16.00' NGVD	
5	Crown of Road Elevation:	+4.10' NGVD	
6	Future Crown of Road Elevation:	+5.92' NGVD	
7	Classification of Structure:	Category II	
8	Building Use:	Single-Family Residence	
9	Lowest Elev. of Equip		
10	Lowest Adjacent Grade		
11	Highest Adjacent Grade		



seal



Ralph Choeff
registered architect
AR0000679
AA26003009

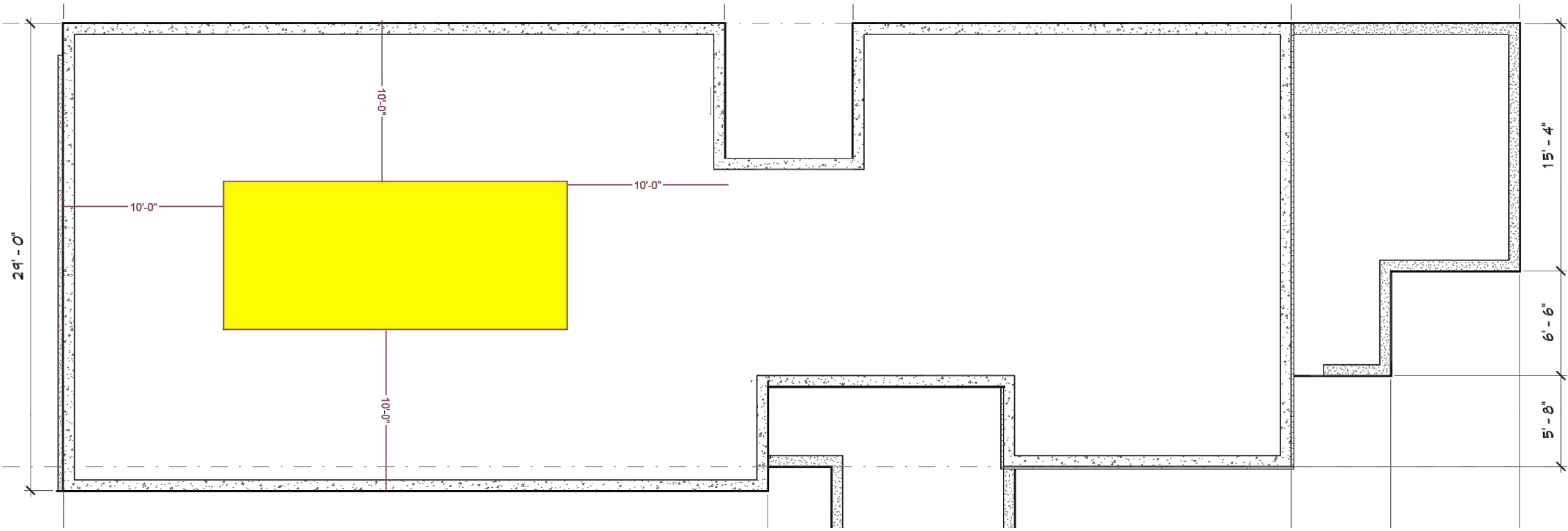
comm no.
2417

date:
12/09/2024

revised:

sheet no.

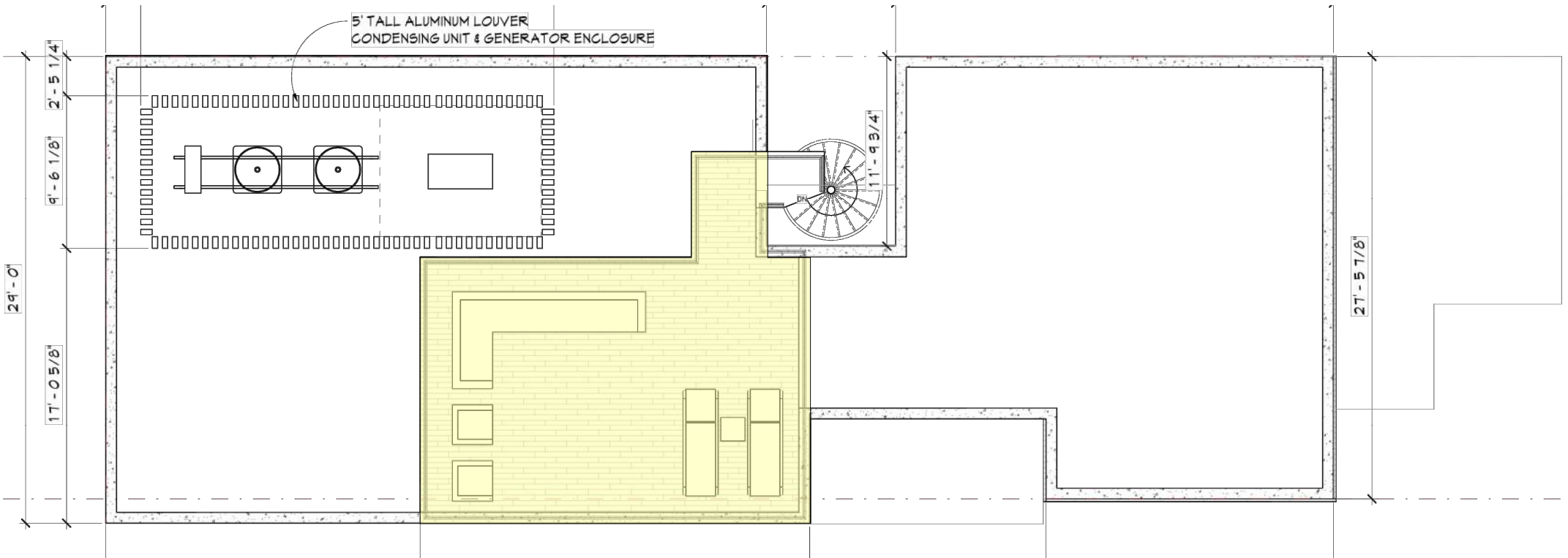
PROPERTY LINE: 50.00'



ALLOWABLE ROOF DECK
Scale: 1/4" = 1'-0"

VARIANCE REQUEST:
REQUEST TO WAIVE THE ROOF DECK SETBACK REQUIREMENTS AS PER SEC. 122.3(b)8.

PROPERTY LINE: 50.00'



PROPOSED ROOF DECK
Scale: 1/4" = 1'-0"

MIRMELLI RESIDENCE
1210 MICHIGAN AVE.
MIAMI BEACH, FL 33139

CHOEFF LEVY FISCHMAN
ARCHITECTURE + DESIGN
2750 NW 3rd AVE., SUITE 1
MIAMI, FL 33127
www.cfaarchitects.com
(305) 434-8398
(305) 892-5292

Ralph Choeff
seal



Ralph Choeff
registered architect
AR000679
AA26003009

comm no.
2417

date:
12/09/2024

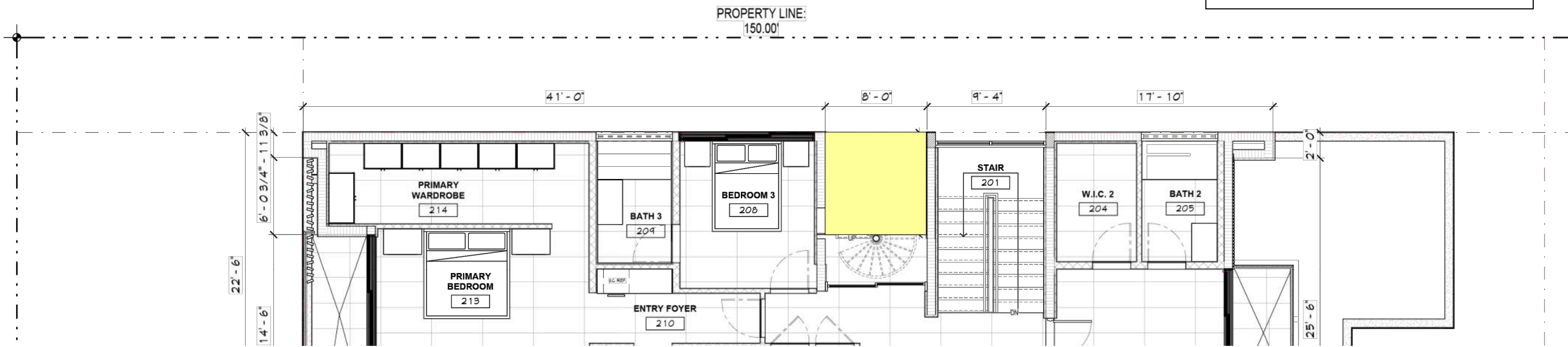
revised:

sheet no.

VARIANCE DIAGRAM

A-0.51

POSSIBLE WAIVER REQUEST:
 WAIVE THE 60' MAX LENGTH ELEVATION REQUIREMENTS FOR THE OPEN-SPACE COURTYARD FOR THE NORTH ELEVATION. SEC.12.2.3(b)(2)(A).



 PARTIAL SECOND FLOOR PLAN
 Scale: 1/4"=1'-0"



 ELEVATION
 Scale: 1/4"=1'-0"

Ralph Choeff



Ralph Choeff
 registered architect
 AR000679
 AA26003009

comm no.
2417

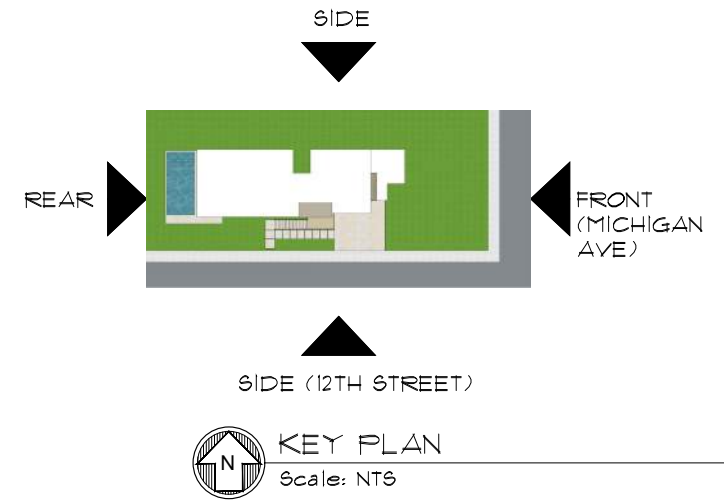
date:
 12/09/2024

revised:

sheet no.



1 SIDE (SOUTH VIEW) ELEVATION
A-0.9 Scale: 3/16" = 1'-0"



CHOEFF LEVY FISCHMAN
ARCHITECTURE + DESIGN
www.cfoarchitects.com
(305) 434-8398
(305) 892-5292
2750 NW 3rd Ave., Suite 1
Miami, FL 33127



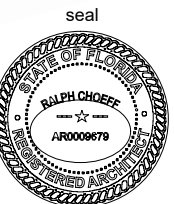
2 SIDE (NORTH VIEW) ELEVATION
A-0.9 Scale: 3/16" = 1'-0"

CALCULATIONS:

TOTAL UNDERSTORY AREA: _____ 791 SF.
398.5 SF. (50% MIN)
SOUTH SIDE COVERAGE: _____ 430 SF. (54% OPEN)
NORTH SIDE COVERAGE: _____ 430 SF. (54% OPEN)

MIRMELLI RESIDENCE
1210 MICHIGAN AVE.
MIAMI BEACH, FL 33139

Ralph Choeff



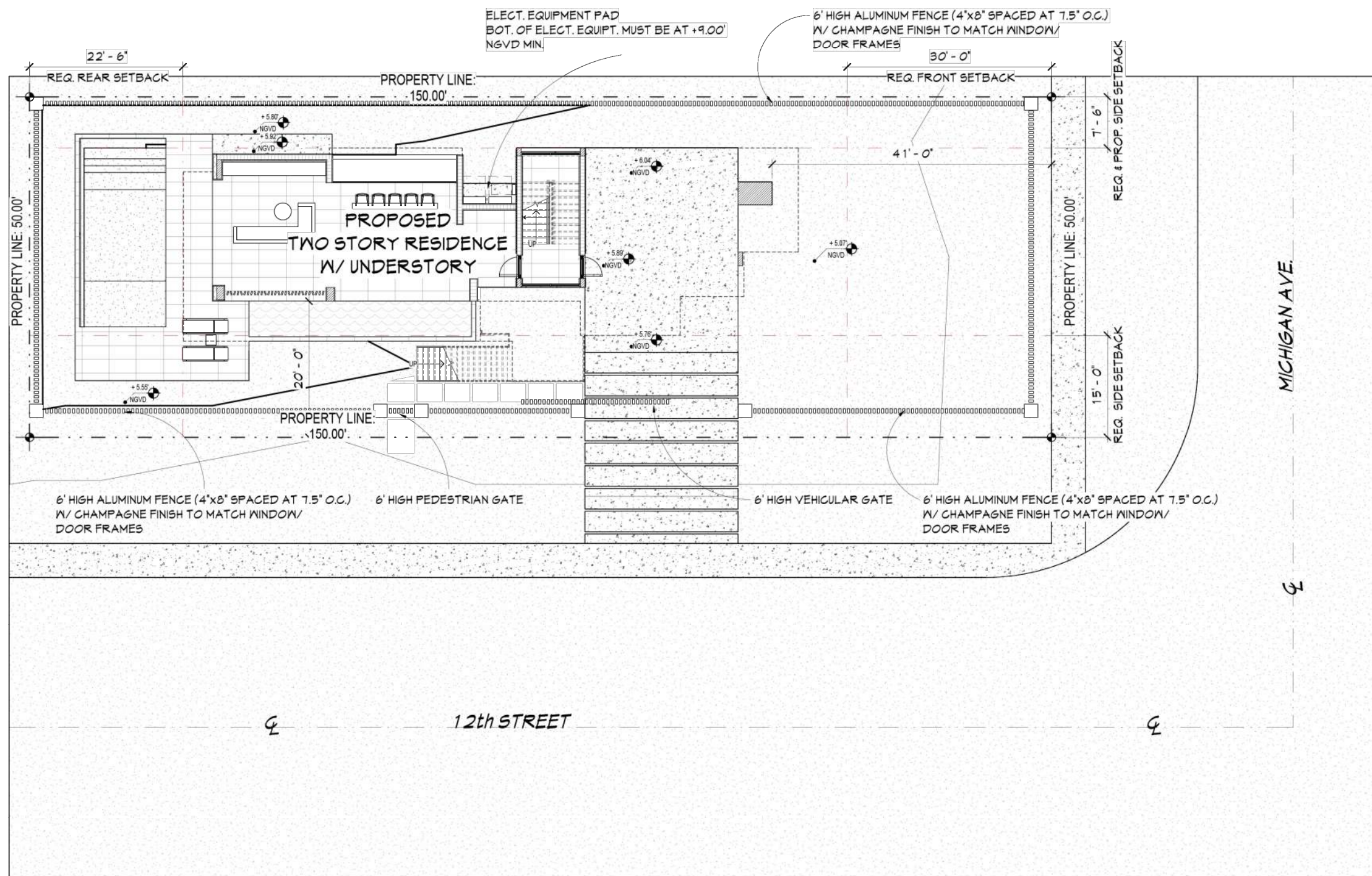
Ralph Choeff
registered architect
AR0000679
AA26003009

comm no.
2417

date:
12/09/2024

revised:

sheet no.



 SITE PLAN
Scale: 1/8" = 1'-0"

MIRMELLI RESIDENCE
1210 MICHIGAN AVE.
MIAMI BEACH, FL 33139



seal



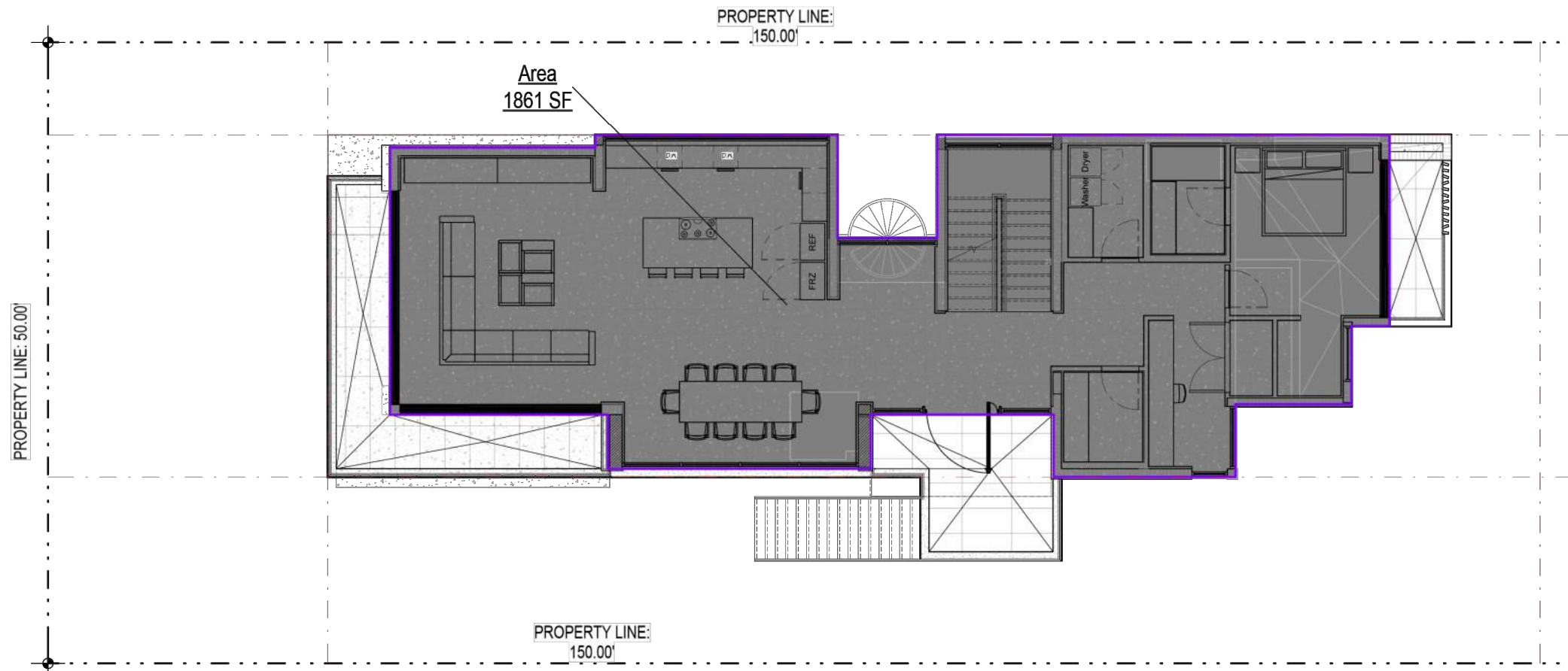
Ralph Choeff
registered architect
AR0000679
AA26003009

comm no.
2417

date:
12/09/2024

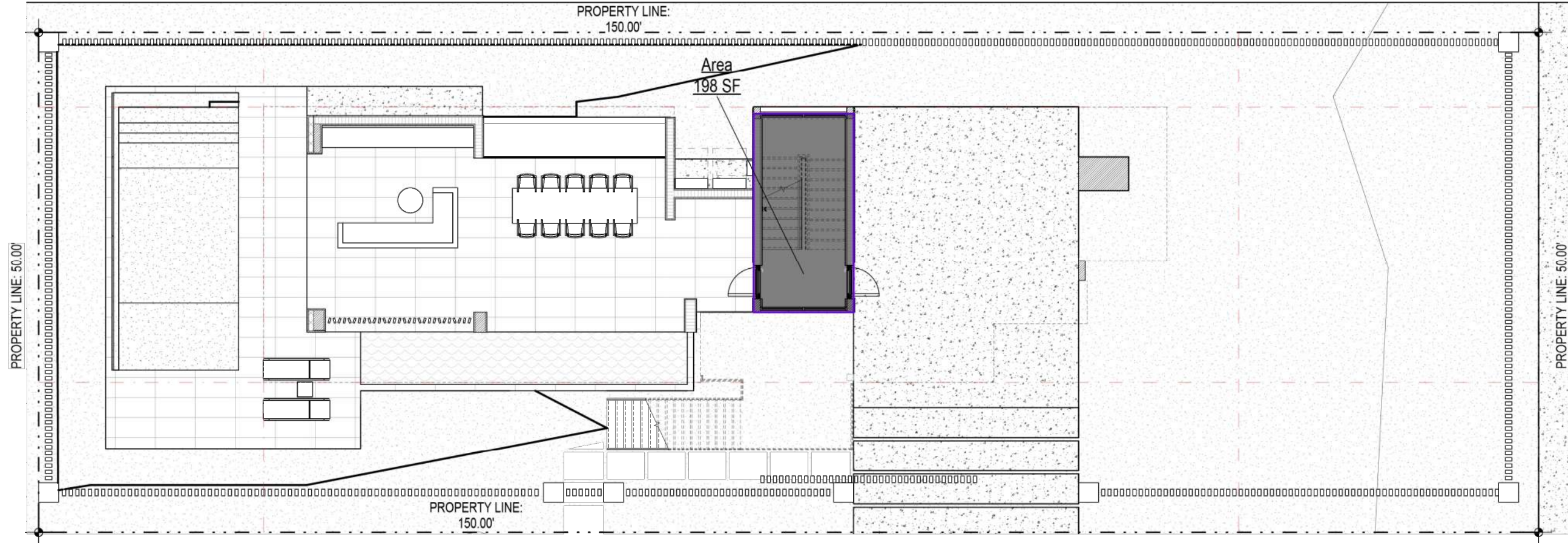
revised:

sheet no.



UNIT SIZE:	
LOT SIZE:	7,500 SF
MAX UNIT SIZE:	3,750 SF (50.0%)
UNDERSTORY:	198 SF
FIRST FLOOR:	1,861 SF
SECOND FLOOR:	1,623 SF
TOTAL:	3,682 SF (49.1%)

1 UNIT SIZE - FIRST FLOOR
3/16" = 1'-0"



2 UNIT SIZE - UNDERSTORY
3/16" = 1'-0"

Ralph Choeff



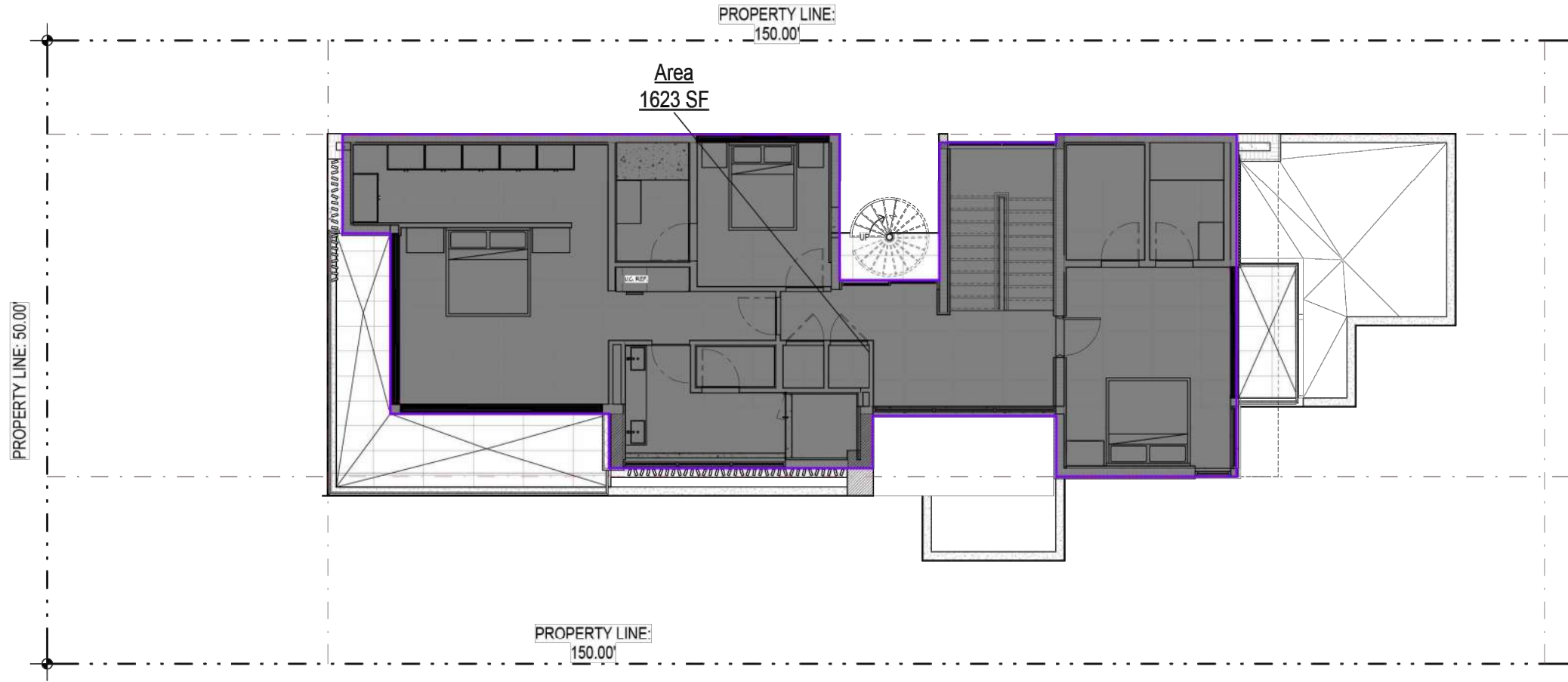
Ralph Choeff
registered architect
AR0009679
AA26003009

comm no.
2417

date:
12/09/2024

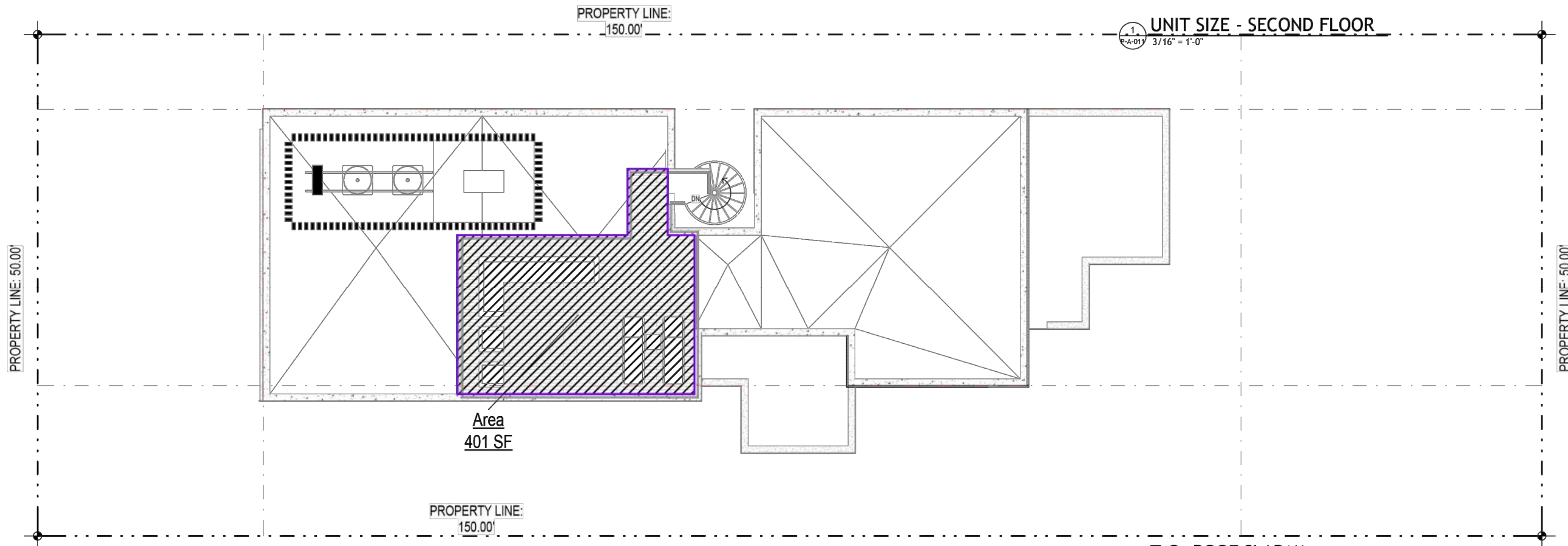
revised:

sheet no.



UNIT SIZE:	
LOT SIZE:	7,500 SF
MAX UNIT SIZE:	3,750 SF (50.0%)
UNDERSTORY:	198 SF
FIRST FLOOR:	1,861 SF
SECOND FLOOR:	1,623 SF
TOTAL:	3,682 SF (49.1%)

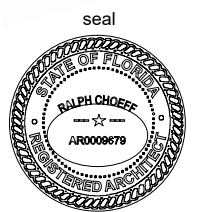
ROOF AREA:	
LOT SIZE:	7,500 SF
SECOND FLOOR AREA:	1,623 SF
MAX ROOF AREA:	405.8 SF (25%)
ACTUAL ROOF AREA:	401 SF (24.7%)



1 UNIT SIZE - SECOND FLOOR
P-A-017 3/16" = 1'-0"

T.O. ROOF SLAB(1)
SCALE: 3/16" = 1'-0"

Ralph Choëff



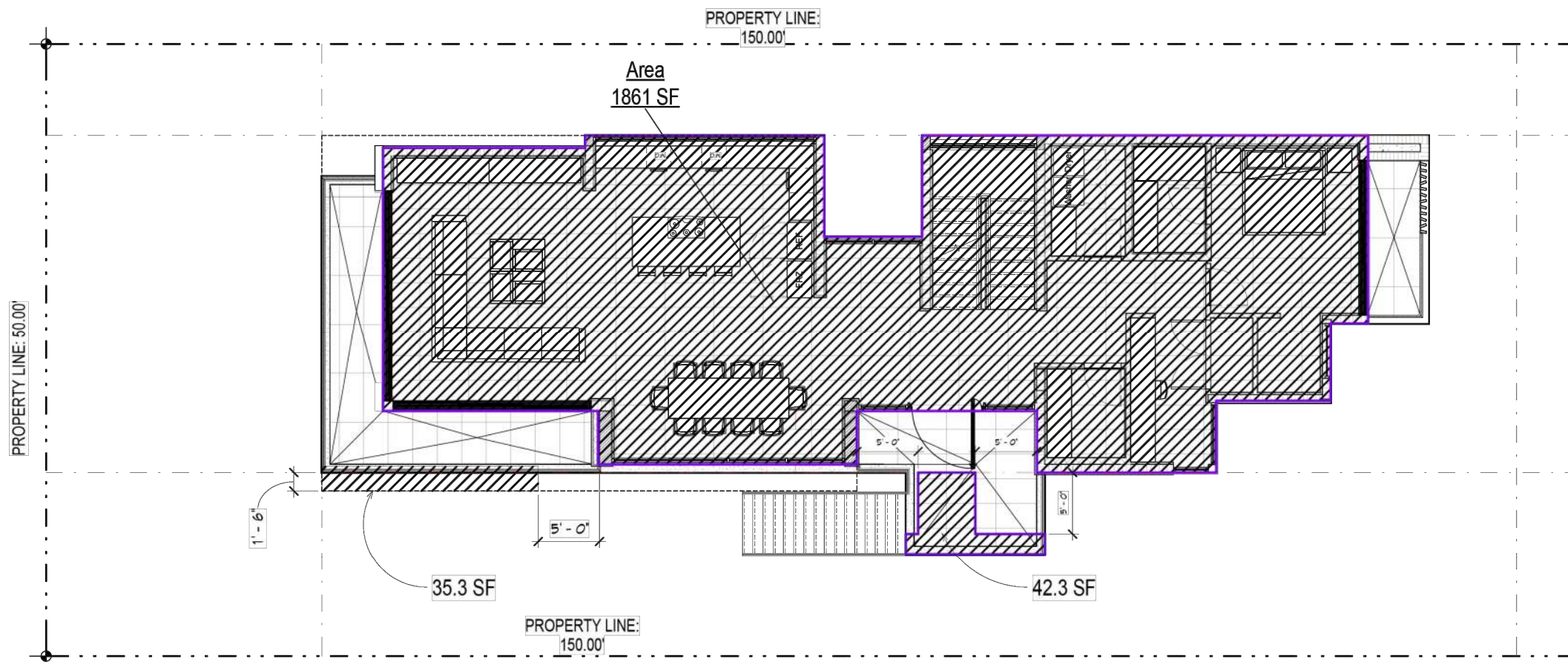
Ralph Choëff
registered architect
AR0009679
AA26003009

comm no.
2417

date:
12/09/2024

revised:

sheet no.

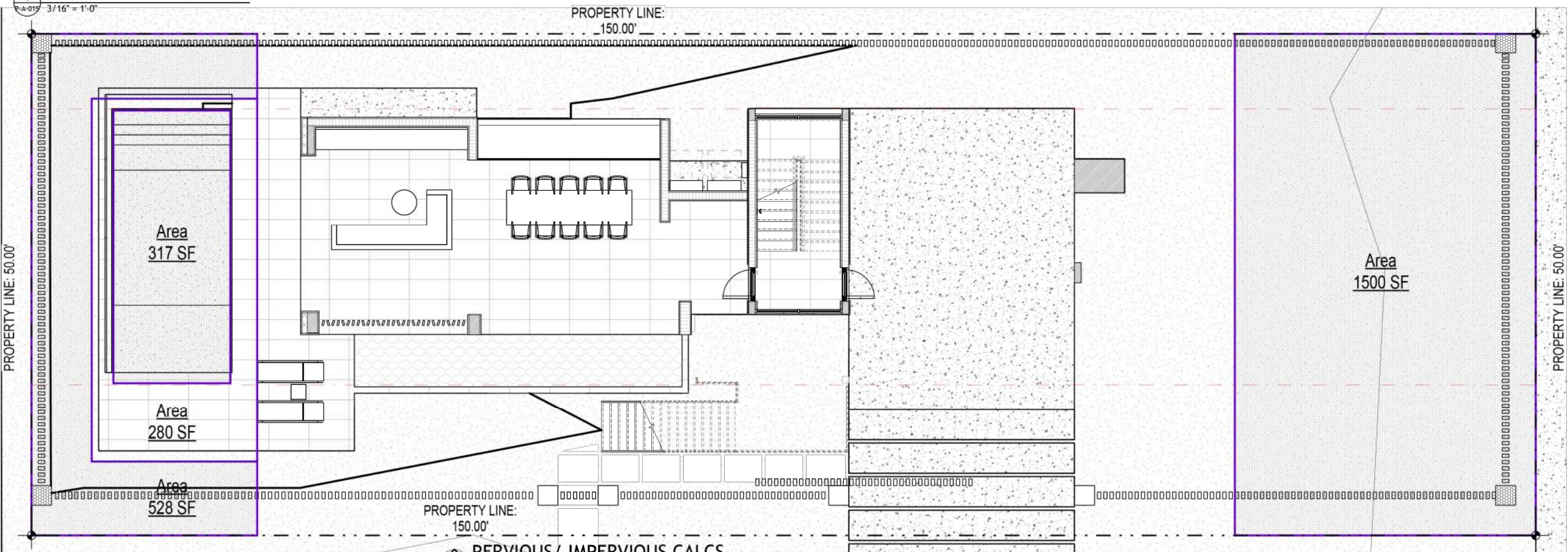


LOT COVERAGE:	
LOT SIZE:	7,500 SF
MAX LOT COVERAGE:	2,250 SF (30.0%)
LOT COVERAGE:	
FIRST FLOOR:	1,892 SF
OVERHANGS OVER 5'	77.6 SF
TOTAL:	1,969.6 SF (26.3%)

FRONT YARD CALCULATIONS:	
FRONT YARD AREA:	1,500 SF
MINIMUM PERVIOUS REQ.:	1,050 SF (70%)
PERVIOUS AREA PROP.:	1,500 SF (100%)

REAR YARD CALCULATIONS:	
REAR YARD AREA:	1,125 SF
MINIMUM PERVIOUS REQ.:	787.5 SF (70%)
PERVIOUS AREA PROP.:	845 SF (75.1%)

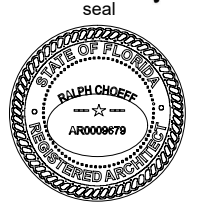
1 LOT COVERAGE CALCS.



PERVIOUS/ IMPERVIOUS CALCS.

SCALE: 3/16" = 1'-0"

Ralph Choeff



Ralph Choeff
registered architect
AR0009679
AA26003009

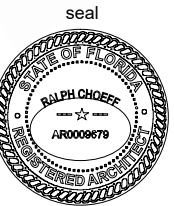
comm no.
2417

date:
12/09/2024

revised:

sheet no.

Ralph Choeff



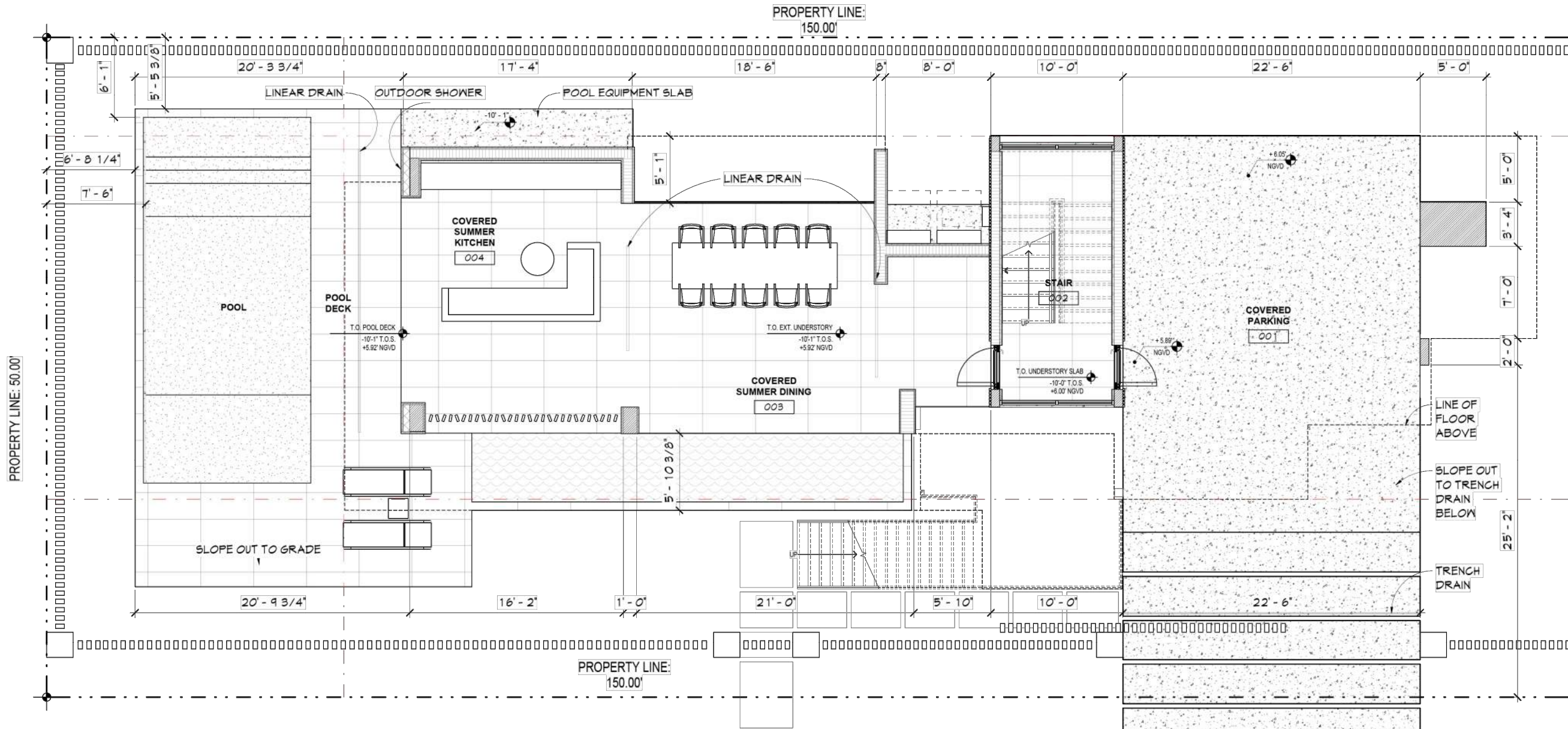
Ralph Choeff
 registered architect
 AR0009679
 AA26003009

comm no.
2417

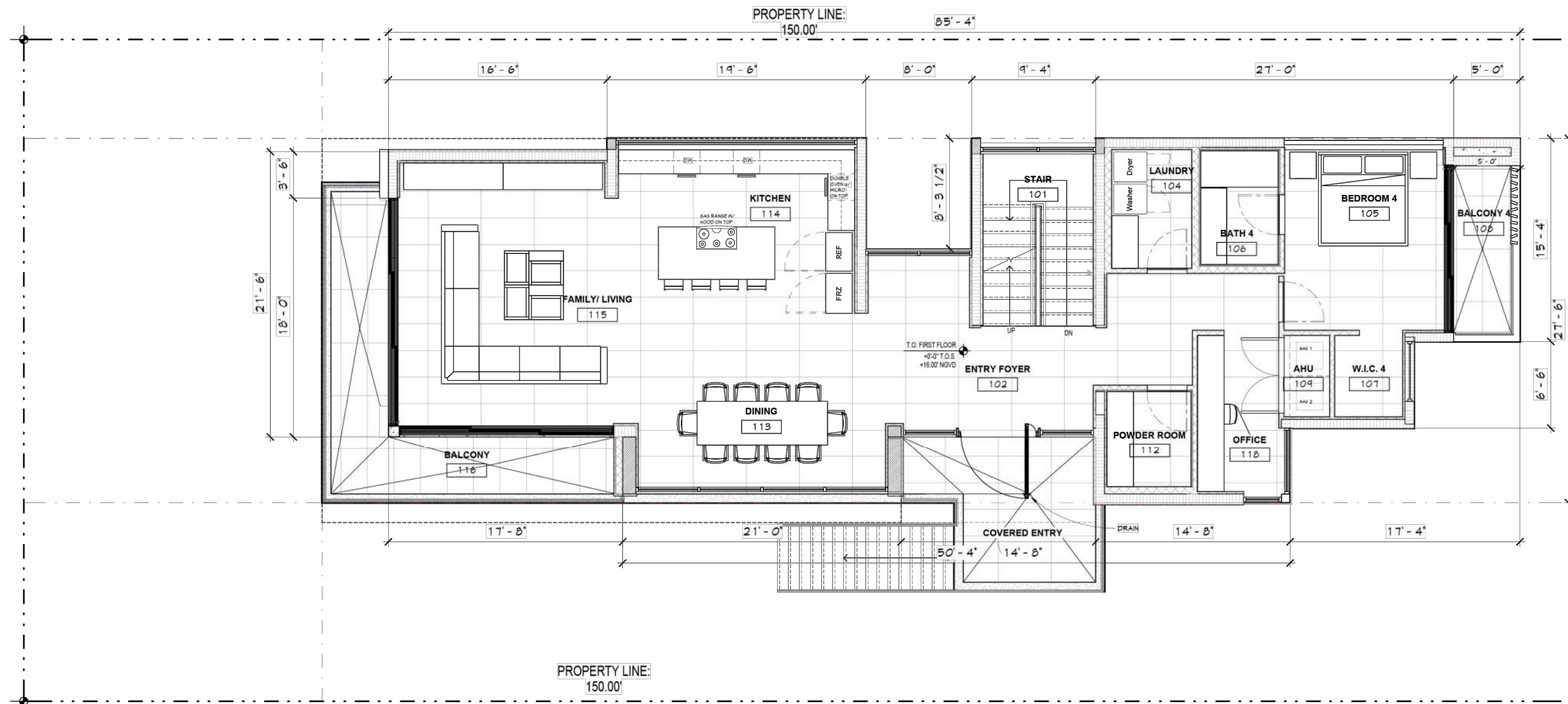
date:
 12/09/2024

revised:

sheet no.

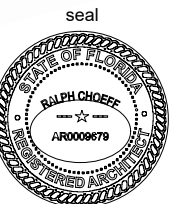


UNDERSTORY FLOOR PLAN
 Scale: 1/4" = 1'-0"



FIRST FLOOR PLAN
 Scale: 1/4" = 1'-0"

[Handwritten Signature]



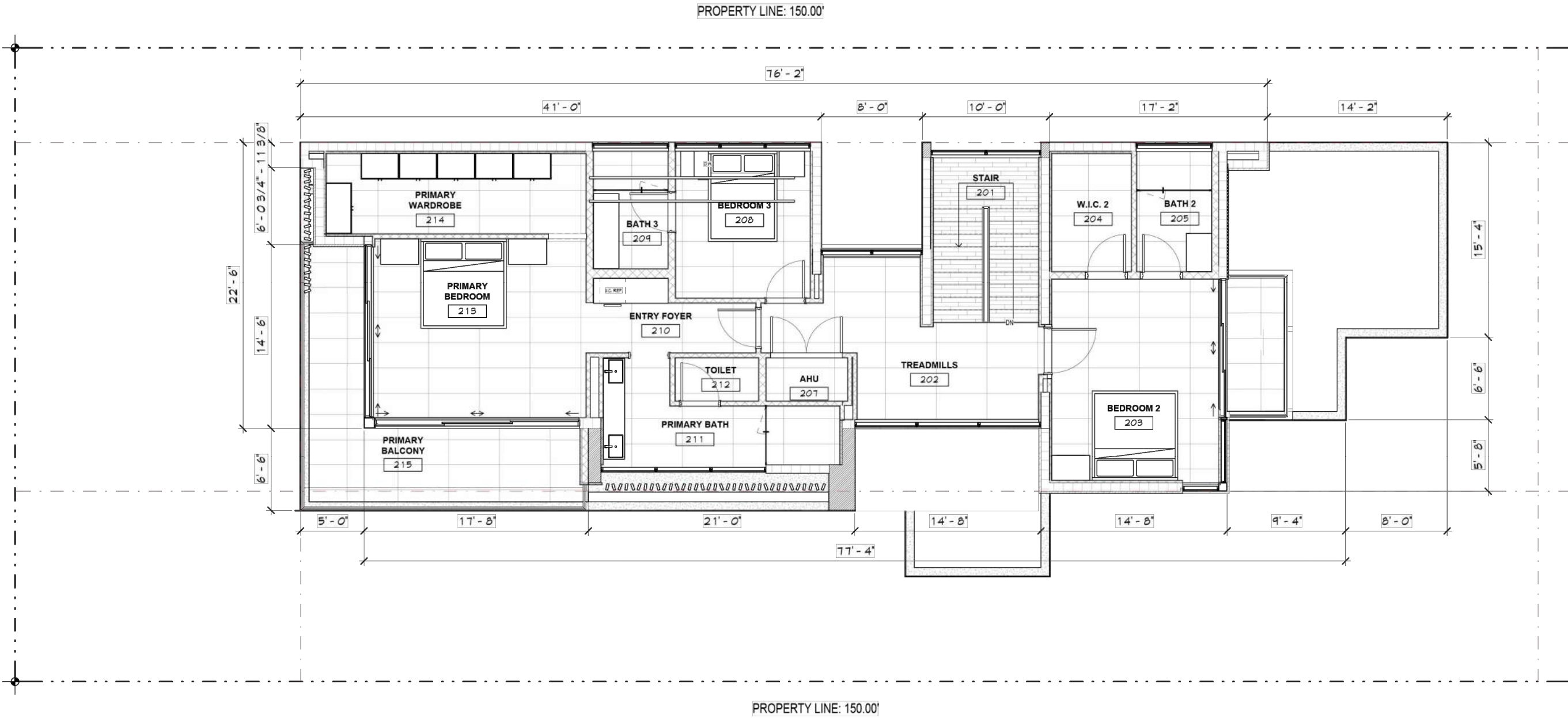
Ralph Choeff
 registered architect
 AR0000679
 AA26003009

comm no.
2417

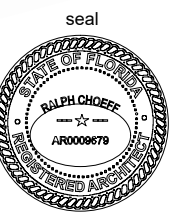
date:
 12/09/2024

revised:

sheet no.



[Handwritten Signature]



Ralph Choeff
 registered architect
 AR0000679
 AA26003009

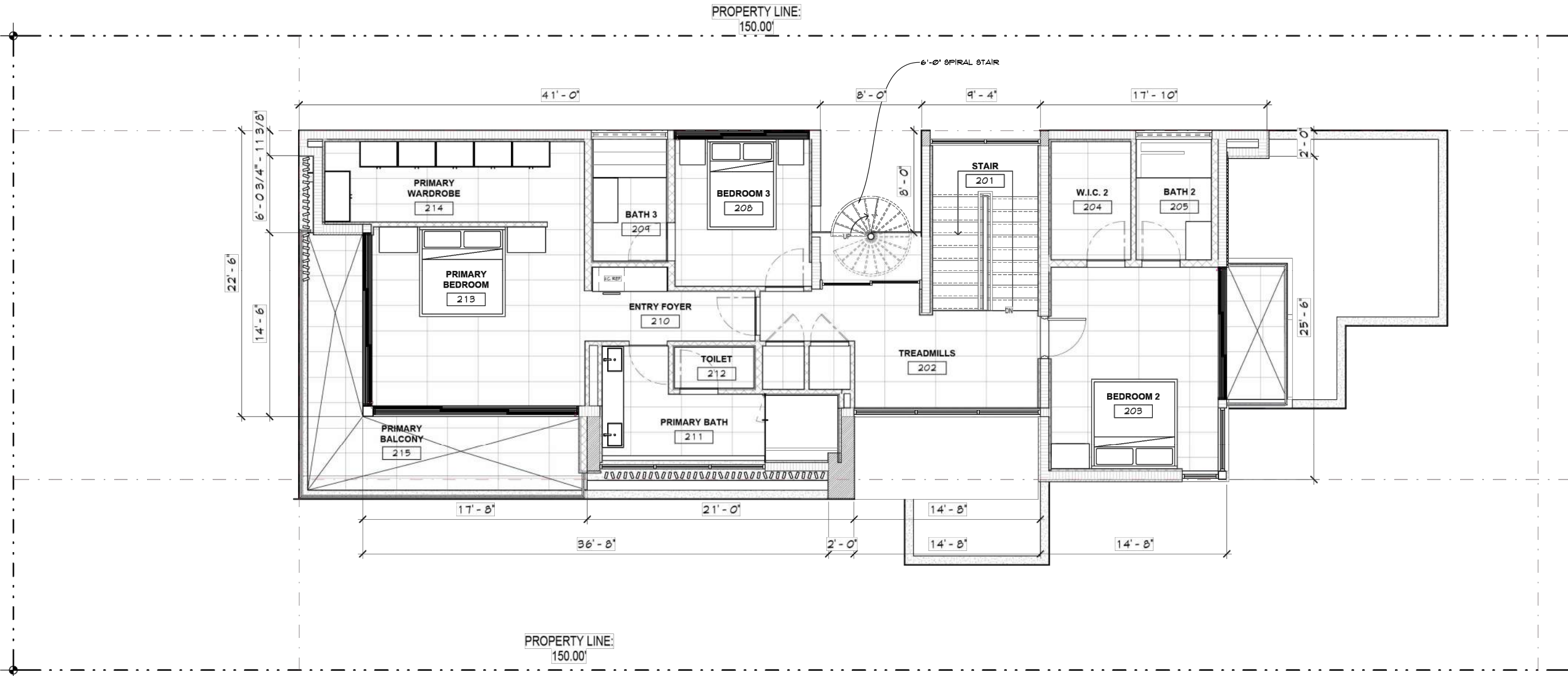
comm no.
2417


date:
 12/09/2024

revised:

PREV. APPROVED SECOND FLOOR PLAN
 Scale: 1/4"=1'-0"

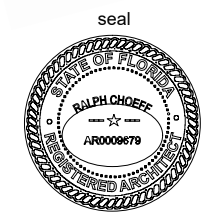
PROPERTY LINE: 50.00'



 **SECOND FLOOR PLAN**
Scale: 1/4" = 1'-0"

MIRMELLI RESIDENCE
1210 MICHIGAN AVE.
MIAMI BEACH, FL 33139

Ralph Choeff



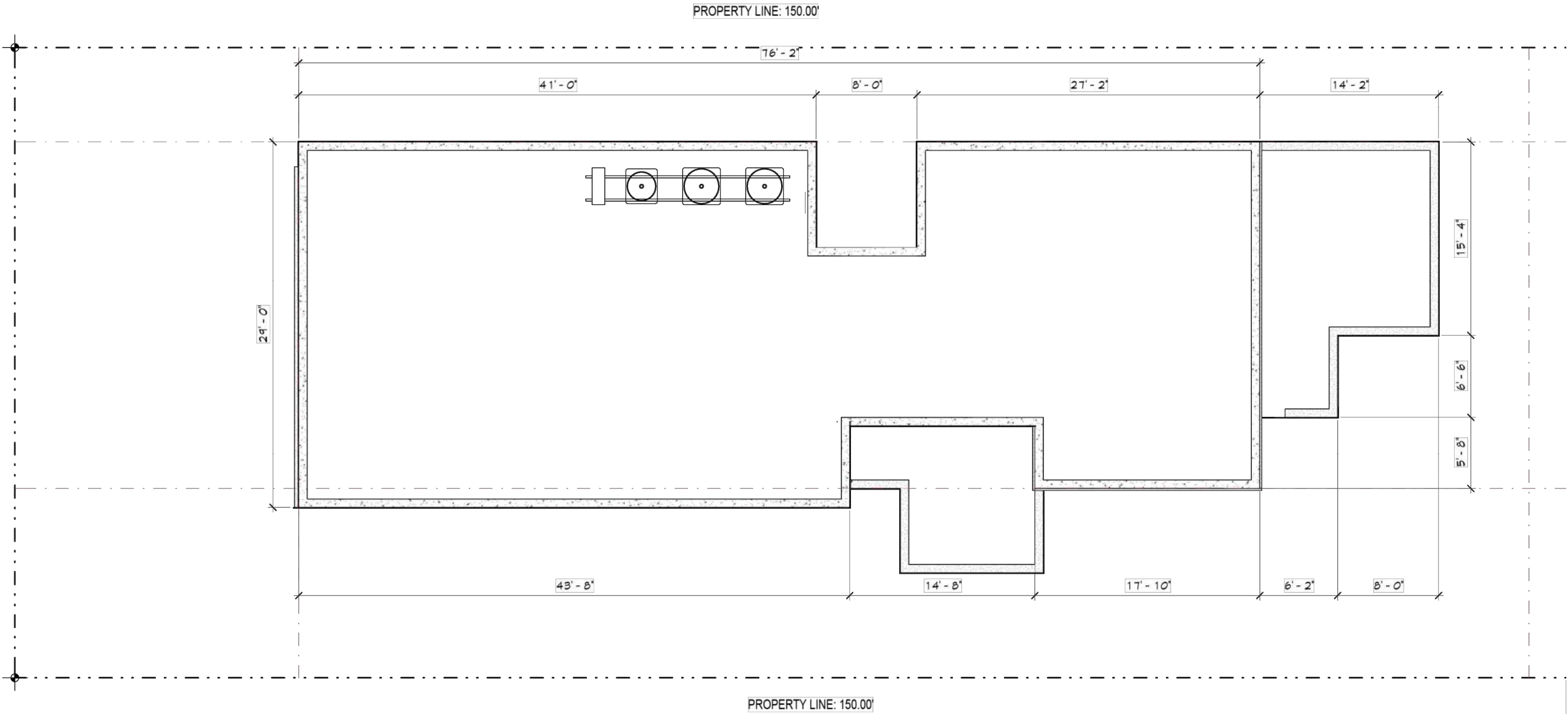
Ralph Choeff
registered architect
AR0000679
AA26003009

comm no.
2417

date:
12/09/2024

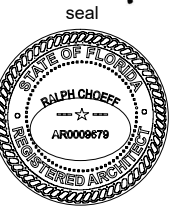
revised:

sheet no.



MIRMELLI RESIDENCE
1210 MICHIGAN AVE.
MIAMI BEACH, FL 33139

Ralph Choeff



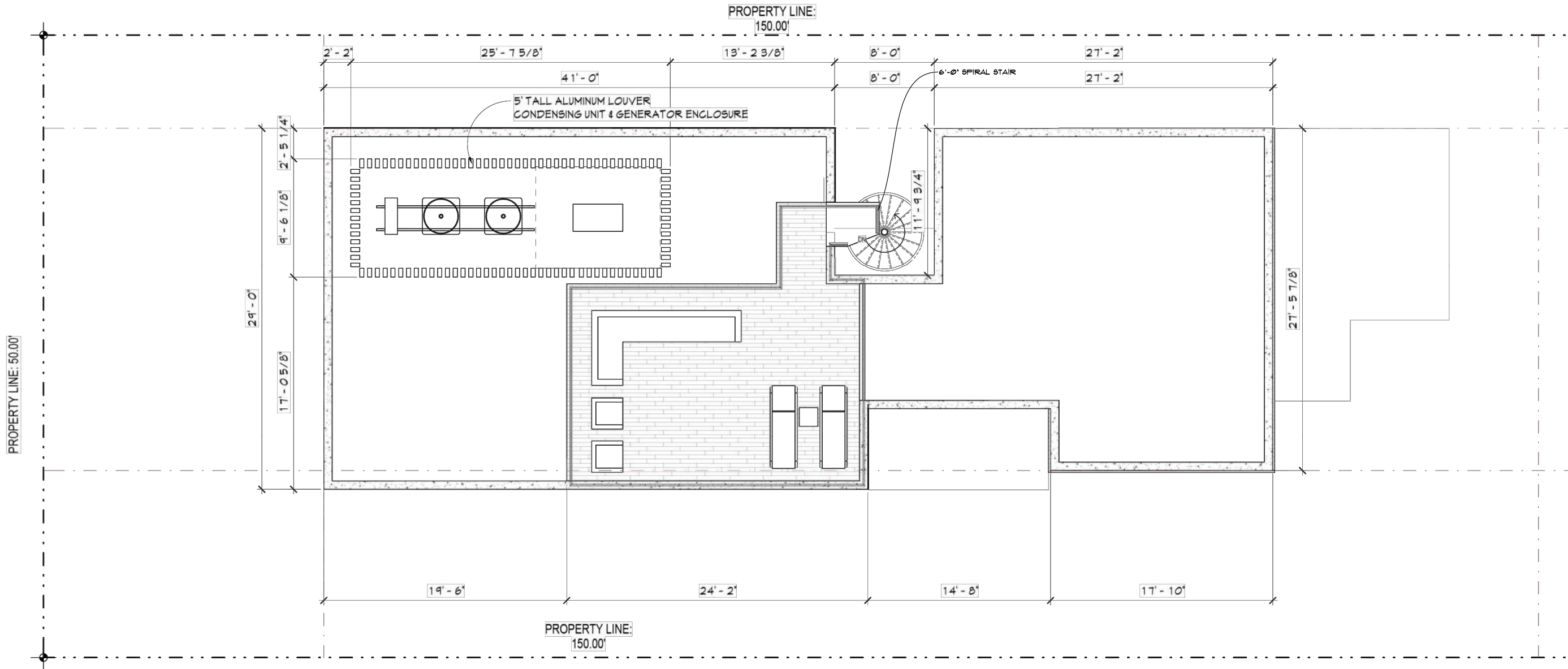
Ralph Choeff
registered architect
AR0000679
AA26003009

comm no.
2417

date:
12/09/2024

revised:

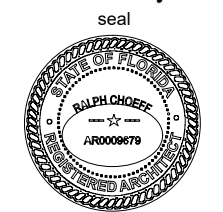
 PREV. APPROVED ROOF PLAN
Scale: 1/4" = 1'-0"



ROOF PLAN
Scale: 1/4" = 1'-0"

MIRMELLI RESIDENCE
1210 MICHIGAN AVE.
MIAMI BEACH, FL 33139

Ralph Choeff



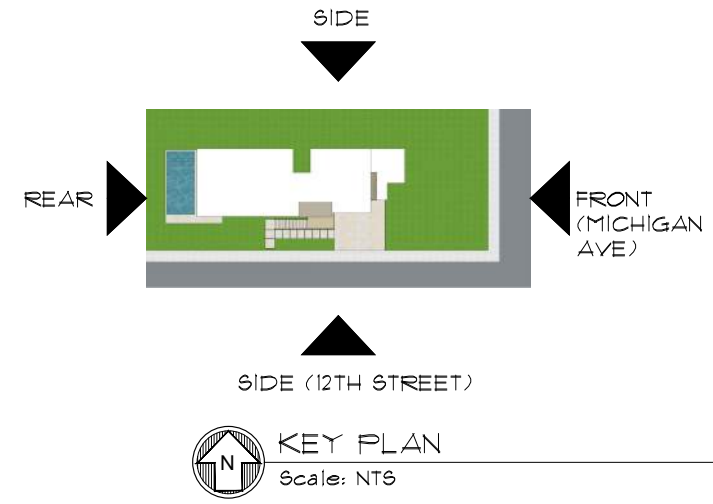
Ralph Choeff
registered architect
AR0000679
AA26003009

comm no.
2417
date:
12/09/2024
revised:

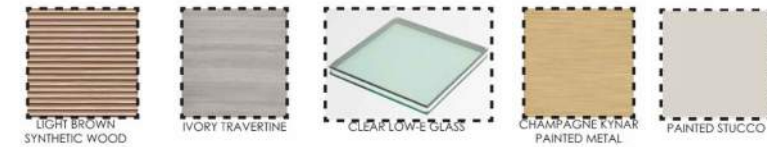
sheet no.



1 FRONT ELEVATION
A-2.1 Scale: 3/16" = 1'-0"



KEY PLAN
Scale: NTS

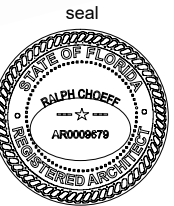


MATERIALS
Scale: NTS



2 SIDE ELEVATION (12TH STREET)
A-2.1 Scale: 3/16" = 1'-0"

Ralph Choeff



Ralph Choeff
registered architect
AR0009679
AA26003009

comm no.
2417

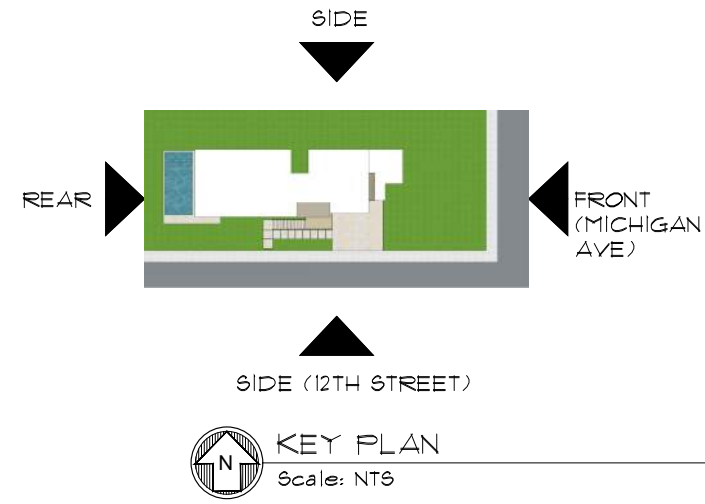
date:
12/09/2024

revised:

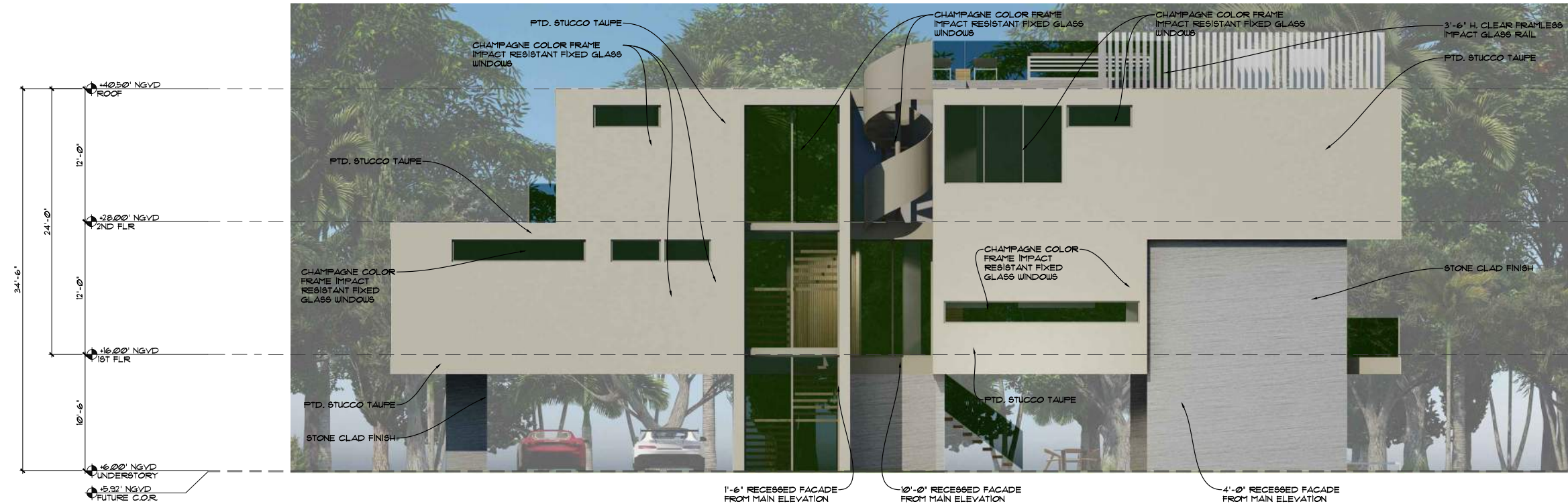
sheet no.



1 REAR ELEVATION
A-2.2 Scale: 3/16" = 1'-0"

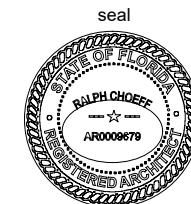


MATERIALS
Scale: NTS



2 SIDE ELEVATION
A-2.2 Scale: 3/16" = 1'-0"

Ralph Choeff



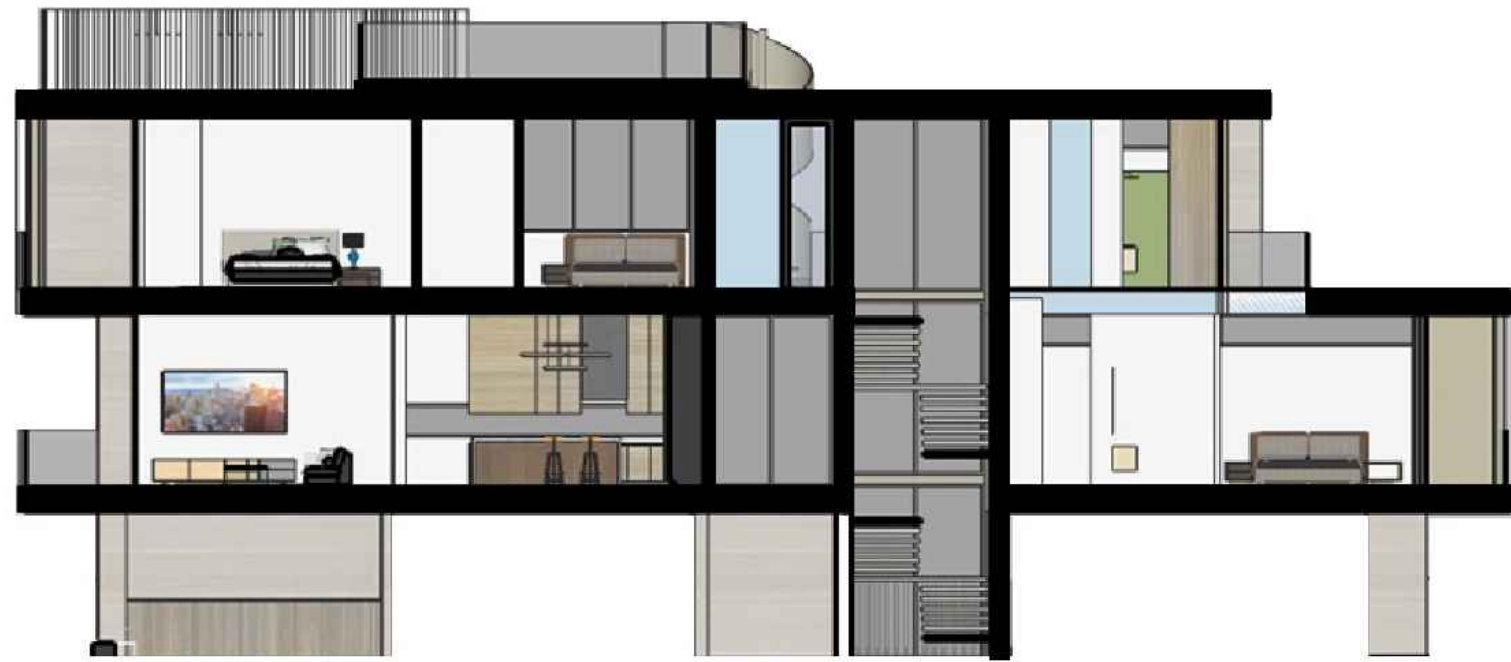
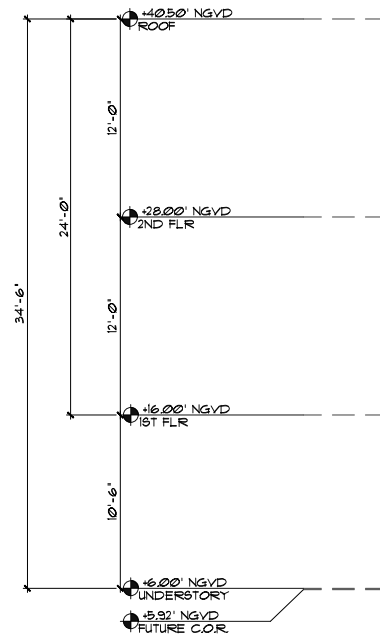
Ralph Choeff
registered architect
ARO000679
AA26003009

comm no.
2417

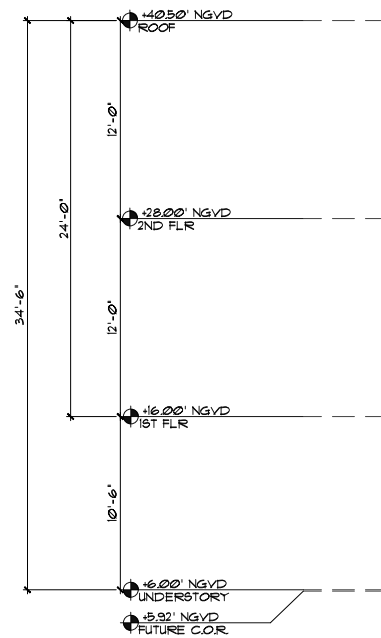
date:
12/09/2024

revised:

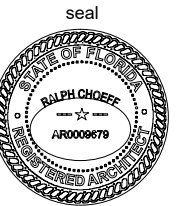
sheet no.



1 SECTION A
A-2.3 Scale: 3/16" = 1'-0"



2 SECTION B
A-2.3 Scale: 3/16" = 1'-0"



Ralph Choeff
registered architect
AR0000679
AA26003009

comm no.
2417

date:
12/09/2024

revised:

sheet no.



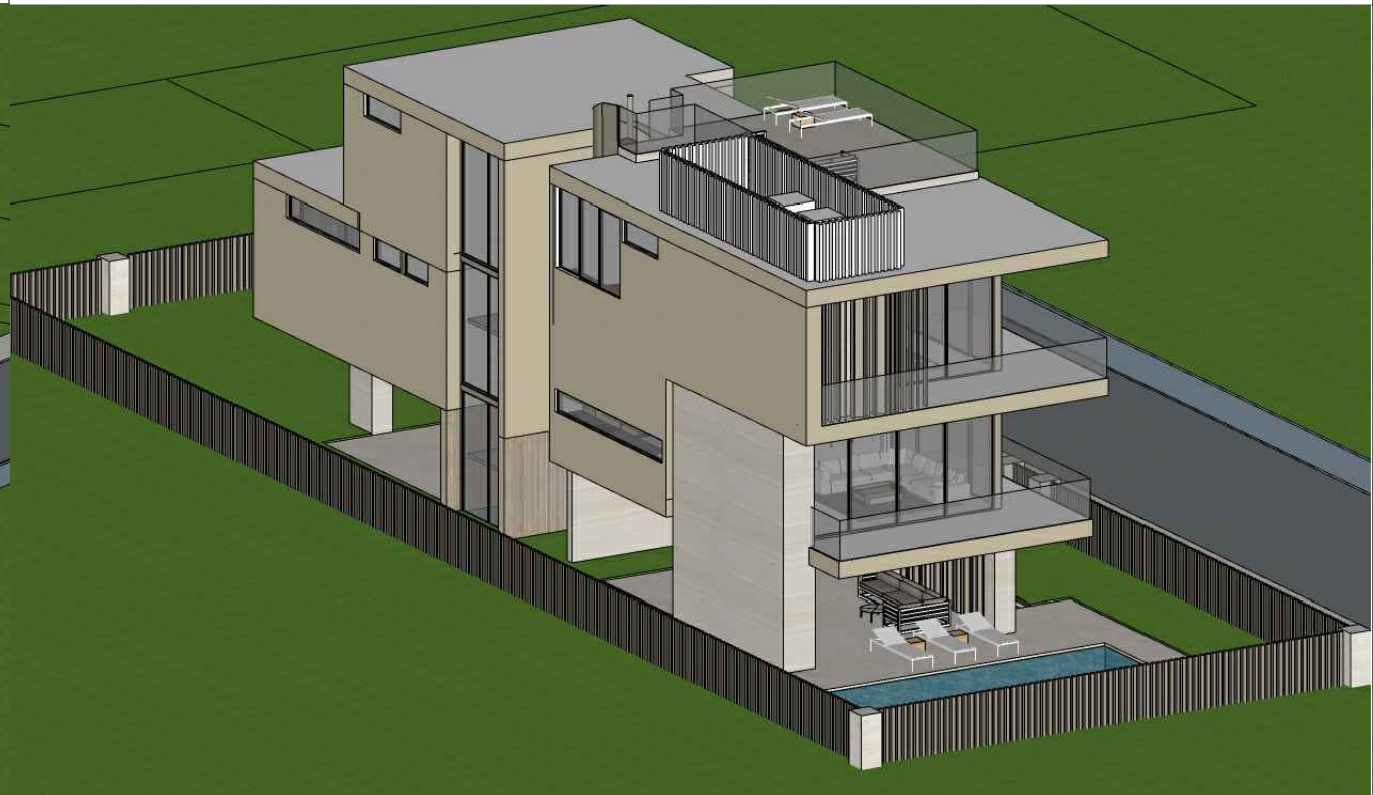
1 NORTH EAST VIEW
G-3.1 Scale: NT6



2 SOUTH EAST VIEW
G-3.1 Scale: NT6

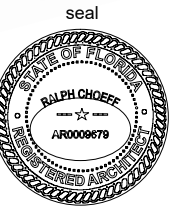


3 SOUTH WEST VIEW
G-3.1 Scale: NT6



4 NORTH WEST VIEW
G-3.1 Scale: NT6

Ralph Choëff



Ralph Choëff
registered architect
AR0009679
AA26003009

comm no.
2417

date:
12/09/2024

revised:



MIRMELLI RESIDENCE
1210 MICHIGAN AVE.
MIAMI BEACH, FL 33139

seal



Ralph Choëff
registered architect
AR0009679
AA26003009

comm no.
2417

date:
12/09/2024

revised:

sheet no.

1 SIDE (SOUTH) VIEW
G-3.2 Scale: NTS

SIDE (SOUTH) RENDERING

G-3.2

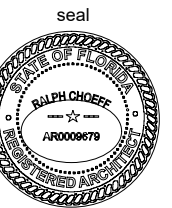


1 FRONT (EAST) VIEW
G-3.3 Scale: NTS

FRONT (EAST) RENDERING

G-3.3

MIRMELLI RESIDENCE
1210 MICHIGAN AVE.
MIAMI BEACH, FL 33139



Ralph Choëff
registered architect
AR0009679
AA26003009

comm no.
2417

date:
12/09/2024

revised:

sheet no.

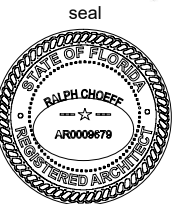
CHOEFF LEVY FISCHMAN
ARCHITECTURE + DESIGN
2750 NW 3rd AVE., SUITE 1
MIAMI, FL 33127
www.cfarchitects.com
(305) 434-8388
(305) 892-5292



1 REAR (SOUTH WEST) VIEW
 G-4.4 Scale: NT6

REAR (SOUTH WEST) RENDERING G-3.4

MIRMELLI RESIDENCE
 1210 MICHIGAN AVE.
 MIAMI BEACH, FL 33139



Ralph Choeff
 registered architect
 AR0009679
 AA26003009

comm no.
 2417

date:
 12/09/2024

revised:

sheet no.



MIRMELLI RESIDENCE
1210 MICHIGAN AVE.
MIAMI BEACH, FL 33139

seal



Ralph Choeff
registered architect
AR0009679
AA26003009

comm no.
2417

date:
12/09/2024

revised:

1 SIDE (NORTH) VIEW
G-3.5 Scale: NT6



MIRMELLI RESIDENCE
 1210 MICHIGAN AVE.
 MIAMI BEACH, FL 33139

Ralph Choeff
 seal



Ralph Choeff
 registered architect
 AR0009679
 AA26003009

comm no.
2417

date:
 12/09/2024

revised:

1 SIDE (SOUTHEAST) VIEW
 G-3.5 Scale: NT6

SIDE (SOUTHEAST) RENDERING

G-3.6

sheet no.