

MIRMELLI RESIDENCE

HPB-25-0674 FINAL SUBMITTAL 09/07/2025

1210 MICHIGAN AVE
MIAMI BEACH, FL 33139



CLIENT

ANDREW MIRMELLI

ARCHITECT

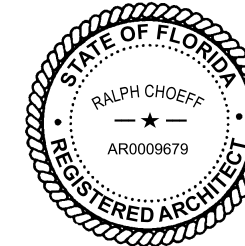
CHOEFF LEVY FISCHMAN
ARCHITECTURE + DESIGN
8425 BISCATYNE BLVD. SUITE 201
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(305) 434-8338

LANDSCAPE ARCHITECT

CHRISTOPHER CAWLEY LANDSCAPE
ARCHITECTURE LLC
780 NE 69TH ST. STE 1106
MIAMI, FL 33138
(305) 979-1585

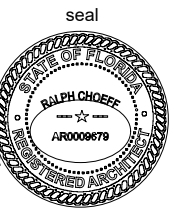
HPB REQUEST

1. WAIVE ROOF DECK SETBACK REQUIREMENTS AS PER SEC.12.23(b)(8).
2. (POSSIBLE) WAIVE THE 60' MAX LENGTH ELEVATION REQUIREMENTS FOR THE OPEN-SPACE COURTYARD FOR THE NORTH ELEVATION. SEC.12.23(b)(2)(A).



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by Ralph Choeff

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Ralph Choeff
registered architect
AR0009679
AA26003009

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2417

date:
12/09/2024

revised:

sheet no.

COVER

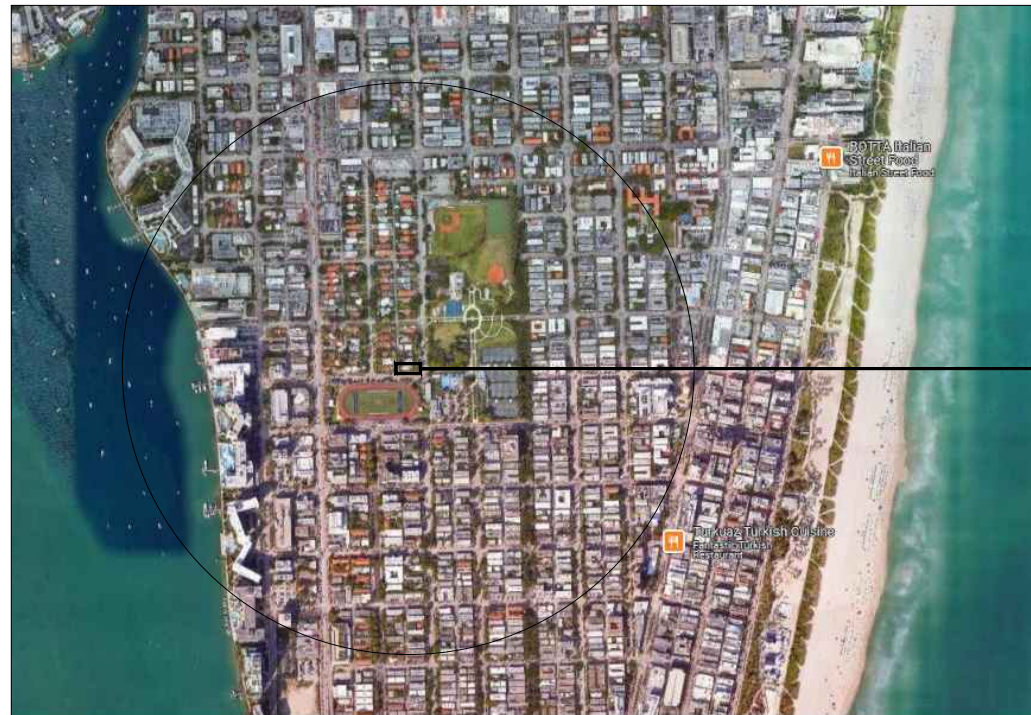
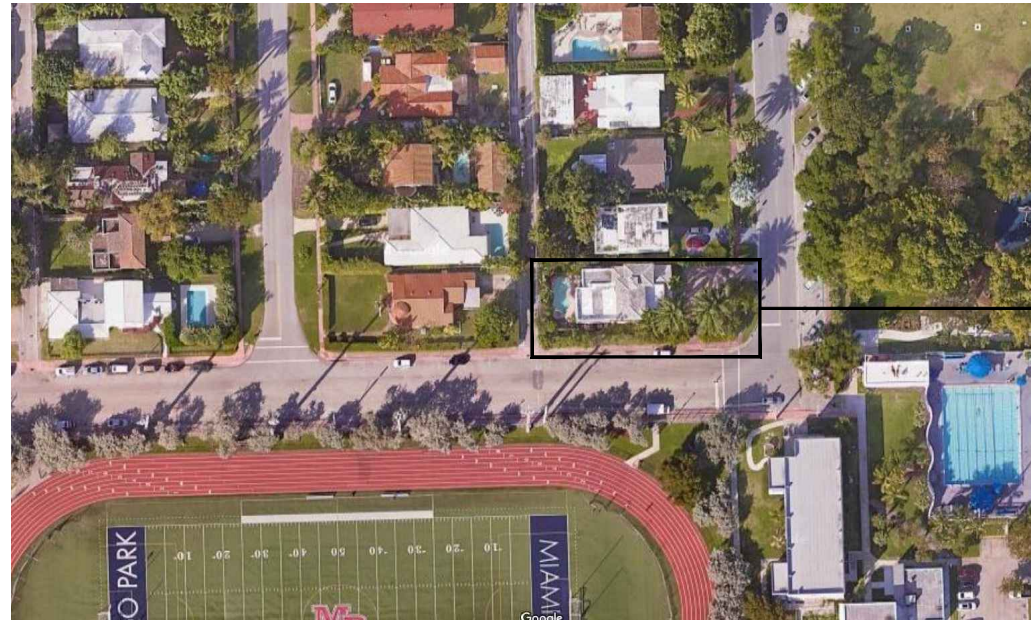
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MIRMELLI RESIDENCE
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1210 MICHIGAN AVE
MIAMI BEACH, FL 33139



INDEX OF DRAWINGS

COVER PAGES/ CONTEXT

- A-00 COVER SHEET + SCOPE OF WORK
- A-01 INDEX OF DRAWINGS + LOCATION MAP
- A-01a PREVIOUS HPB FINAL ORDER
- A-02 PROPERTY SURVEY
- A-03A EXISTING SITE PHOTOGRAPHS
- A-04A SURROUNDING PROPERTIES PHOTOGRAPHS
- A-04B SURROUNDING PROPERTIES PHOTOGRAPHS CONTINUED
- A-04C CONTEXT ANALYSIS
- A-04D CONTEXT ANALYSIS CONTINUED
- A-05 ZONING DATA SHEET
- A-051 VARIANCE DIAGRAM
- A-051a POSSIBLE WAIVER DIAGRAM
- A-052 UNDERSTORY SHADE DIAGRAM

ARCHITECTURAL DRAWINGS

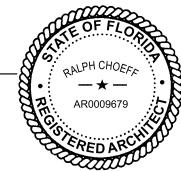
- A-06 SITE PLAN
- A-07 CALCULATIONS - UNIT SIZE
- A-08 CALCULATIONS - UNIT SIZE - ROOF AREA
- A-09 CALCULATIONS - LOT COV. + PERVIOUS
- A-10 UNDERSTORY PLAN
- A-11 FIRST FLOOR PLAN
- A-12 PREVIOUSLY APPROVED SECOND FLOOR PLAN
- A-12A SECOND FLOOR PLAN
- A-13 PREVIOUSLY APPROVED ROOF PLAN
- A-13A ROOF PLAN
- A-21 ELEVATIONS - EAST/NORTH
- A-22 ELEVATIONS - WEST / SOUTH
- A-23 SECTIONS

GRAPHICS

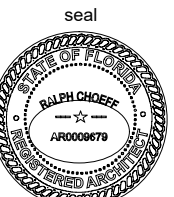
- G-3.1 AXONOMETRICS
- G-3.2 SIDE (SOUTH) RENDERING
- G-3.3 FRONT (EAST) RENDERING
- G-3.4 REAR (SOUTH WEST) RENDERING
- G-3.5 SIDE (NORTH) RENDERING
- G-3.6 SIDE (SOUTHEAST) RENDERING

LANDSCAPE - SUBMITTED SEPARATELY

- L-00 LANDSCAPE COVER + SHEET INDEX
- L-10 LANDSCAPE PLAN
- L-2.0 PLANT LIST, LANDSCAPE CODE + DETAILS
- L-2.1 PLANT MATERIAL IMAGES
- L-2.2 PLANT MATERIAL IMAGES
- L-3.0 EXISTING TREE SURVEY + DISPOSITION PLAN



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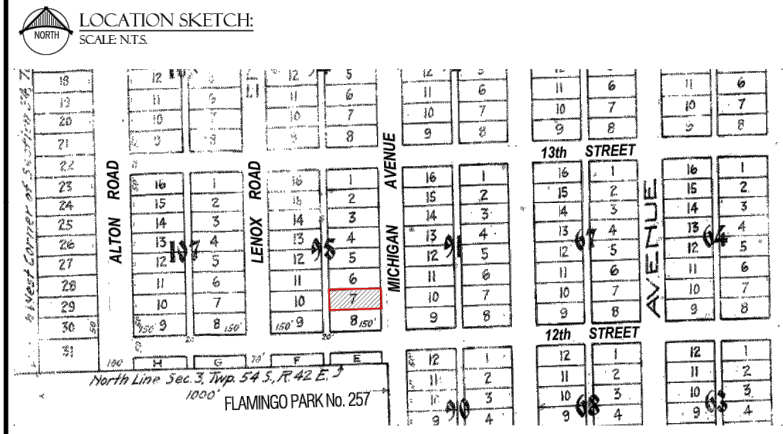
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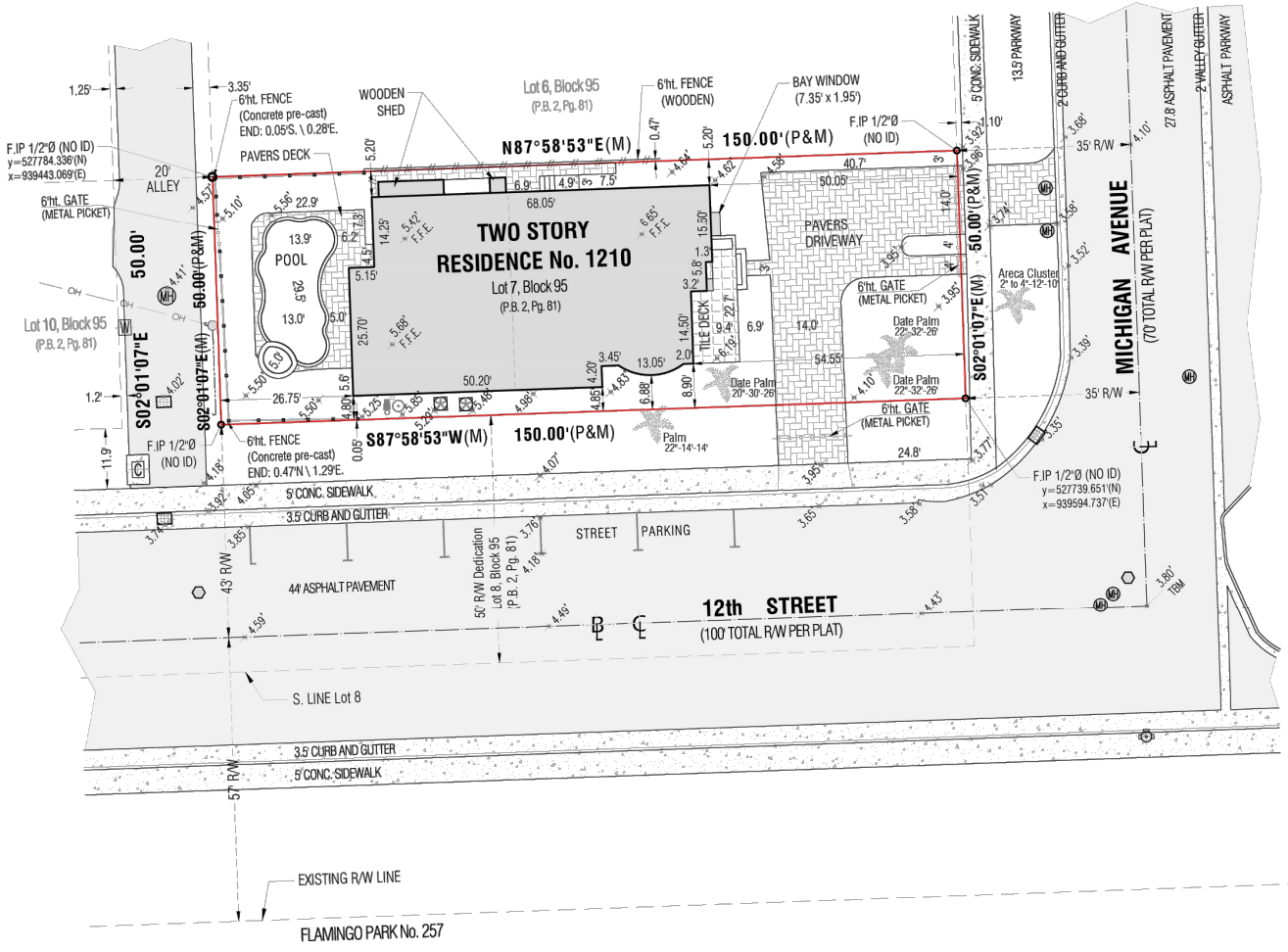
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MAP OF BOUNDARY SURVEY:
SCALE 1" = 20'



SURVEYOR'S REPORT :

1. MAP OF BOUNDARY SURVEY FOR:
1210 MICHIGAN AVENUE, MIAMI BEACH, FLORIDA 33139

2. LEGAL DESCRIPTION :
Lot 7, Block 95 of "OCEAN BEACH ADD. No. 3", according to the Plat Thereof as Recorded in Plat Book 2 at Page 81 of the Public Record of Miami Dade County, Florida.

3. SOURCES OF DATA (HORIZONTAL CONTROL):
The North Arrow and Bearings as shown hereon are based of bearings value S02°01'07"E, along the center line of Michigan Avenue; according to Plat Book 2, Page 81 of the Public Records of Miami Dade County, Florida.

4. SOURCES OF DATA (VERTICAL CONTROL):
FLOOD INFORMATION BASED ON THE FLOOD INSURANCE RATE MAP OF THE FEDERAL EMERGENT MANAGEMENT AGENCY (NGVD29)

F.I.R.M. date	Flood Zone	Base elevation	Community	Panel No.	Suffix	BM Used
09-11-2014	AE	8.0'	120651	0317	L	V 310 ELEV. 4.57 NGVD29

5. ACCURACY : The accuracy obtained by measurement and calculation of closed geometric figures was found to exceed this requirement.

6. LIMITATIONS :
This survey was performed for the sole and exclusive benefit of the parties to whom it was certified. Likewise, any reuse of this survey for any purpose other than which was originally intended, without the written permission of the undersigned surveyor, will be done so at the risk of the reusing party and without any liability to the undersigned surveyor. Since no other information other than what is cited in the Sources of Data were furnished, the Client is hereby advised that there may be legal restrictions on the Subject Property that are not shown on the Survey Map or contained within this Report that may be found in the Public Records of County, or the records of any other public and private entities as their jurisdictions may appear. Land shown hereon were not abstracted for easements and/or right-of-way of record except as shown on the Record Plat if any. The Surveyor makes no representation as to ownership or possession of the Subject Property by any entities or individual who may appear of public record. This survey may be subject to dedications, limitations, restrictions, reservations, encumbrances or easements of record the same that may not be noted or depicted hereon. No improvements were located, other than those shown. This survey does not purport to show ownership of walls and/or fences along property lines. Unless otherwise noted, this firm has not attempted to locate underground footings and/or foundations. The elevations (if any) were measured to an estimated vertical positional accuracy of 1/10 foot for natural ground surfaces and 1/100 foot for hardscape surfaces, including pavement, curbs, sidewalks and other manmade structures. Wall ties are to the face of the same. Fence ties are from the nearest face of the same to the property line. Public Records have not been researched by the surveyor to determine the accuracy of these descriptions nor have adjoining properties been researched to determine overlaps and hiatus. The survey depicted here is not covered by professional liability insurance. Notice: Sunshine State One Call of Florida, Inc. must be contacted at least 48 hours in advance of any construction, excavation or demolition activity within, upon, abutting or adjacent to the Subject Property. Pursuant to Chapter 556.101-111 of the Fl. Statutes.

ABBREVIATIONS AND LEGEND:

A =arc	HT =high (height)	PRM =permanent reference monument	+XXX' =elevation NGVD29	—○— board fence
ADJ =adjacent	L.F.E =lowest floor elevation	PT =point of tangency	+ (XXX) =elevation NAVD88	▨ CBS wall / fence
A.E =anchor easement	LME =lake maintenance	R =radius	⊕ fire hydrant	—x— chain link fence
BBQ =barbecue easement	LS =land surveyor	R/R =railroad	FPL FPL box	—x— pre-cast fence
BOB =basis of bearings	M =measured distance	R/W =right-of-way	⊗ gas meter	—○— picket fence
BM =bench mark	N A =not applicable	Sec =section	⊕ propane gas tank	—#— wooden fence
BC =block corner	N&D =nail & disc	S =south	⊕ manhole (unknown)	— — base line
CME =canal maintenance easement.	NAVD =national american vertical datum	T =tangent	⊕ pool equipment	— — center line
C =calculated	NGVD =national geodetic vertical datum	U.E =utility easement	⊕ pool water heater	— — monument line
Ch =chord	N =north	W =west	⊕ concrete power pole	— — overhead utility line
CBS =concrete block structure	NTS =not to scale	⊕ air conditioner	⊕ catch basin	▨ covered / rofed
Ø =diameter	OH =overhang	⊕ a/c split	⊕ clean out	▨ building/adjacent
D =central angle	O/S =offset	⊕ catch basin	⊕ communication box	▨ asphalt
DH =drill hole	ORB =official record book	⊕ catch basin	⊕ electric register	▨ rock
DME =drainage maintenance easement	P =plat	⊕ clean out	⊕ electric meter	▨ concrete
E =degrees	P.B. =plat book	⊕ electric panel	⊕ electric panel	▨ pavers
E =east	P.C. =point of curvature	⊕ emergency generator	⊕ emergency generator	▨ tile
F.I.P =found iron pipe no id	PG =page	⊕ well & electric pump	⊕ well & electric pump	▨ water
F.I.R =found iron rebar no id	PCP =permanent control point			▨ vegetation
F.N&D =found nail and disc	PIL =property line			▨ water
F.F.E =finish floor elevation	POB =point of beginning			▨ wooden
	POC =point of commencement			

CERTIFY TO : ANDREW MIRMELLI.

NOTICE: Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to Survey Maps and Reports by other than the signing party are prohibited without the written consent of the signing party.

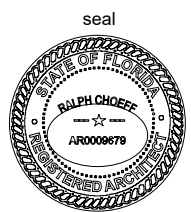
SURVEYOR'S CERTIFICATE : I hereby certify, That this "Boundary and Topographic Survey" and Report resulting therefor was performed under my direction and is true and correct to the best of my knowledge and belief and further, that said "Boundary and Topographic Survey" meets the intent of the applicable provisions of the "Standards of Practice for Land Surveying in the State of Florida", pursuant to Section 53-17.050 through 53-17.052 of the Florida Administrative Code and it's implementing law, chapter 472.027 of the Florida Statutes.

Digitally signed by Miguel J
By: Miguel J Garay
Date: 2025.07.24 15:31:48 -0400

Miguel J. Garay
Professional Surveyor and Mapper
No. 6594 State of Florida

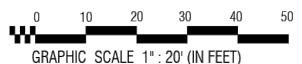
8801 NW 176th Street Miami Lakes, Fl. 33018 Date: 06-12-2025
P. 305_362_7926 P. 305_305_4143 Job No.25-13398F
M. madelin @ surveyinflorida.com Sheet No. 1 of 1

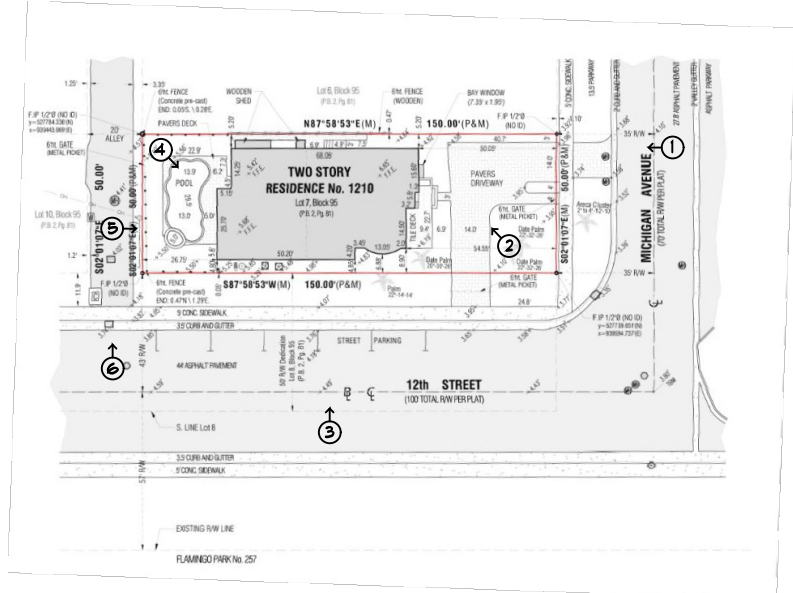
PRISMA LAND SURVEYORS LLC
SURVEYOR AND MAPPERS LB. 8036
north central and south florida



Ralph Choeff
registered architect
AR0009679
AA26003009

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2417
date:
12/09/2024
revised:





6 SURVEY PHOTO VIEWS
A-0.3A Scale: NTS



1 SITE PHOTO 1
A-0.3A Scale: NTS



2 SITE PHOTO 2
A-0.3A Scale: NTS



3 SITE PHOTO 3 (12TH STREET SIDE VIEW)
A-0.3A Scale: NTS



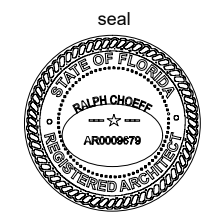
4 SITE PHOTO 4 (REAR PROPERTY)
A-0.3A Scale: NTS



5 SITE PHOTO 5 (REAR ALLEY VIEW)
A-0.3A Scale: NTS



6 SITE PHOTO 5 (REAR)
A-0.3A Scale: NTS



Ralph Choeff
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1 AERIAL PLAN OF PROPERTY & SURROUNDING PROPERTIES #1
A-0.4A Scale: NTS



2 AERIAL PLAN OF PROPERTY & SURROUNDING PROPERTIES #2
A-0.4A Scale: NTS



3 SITE
A-0.4A Scale: NTS



4 ALLEY #0
A-0.4A Scale: NTS



5 PROPERTY #1
A-0.4A Scale: NTS



6 PROPERTY #2
A-0.4A Scale: NTS



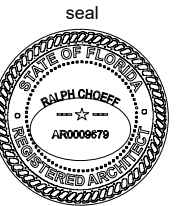
7 PROPERTY #3
A-0.4A Scale: NTS



8 PROPERTY #4
A-0.4A Scale: NTS



9 PROPERTY #5
A-0.4A Scale: NTS



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1 PROPERTY #6
A-0.4B Scale: NTS



2 PROPERTY #7
A-0.4B Scale: NTS



3 PROPERTY #8
A-0.4B Scale: NTS



4 PROPERTY #9
A-0.4B Scale: NTS



5 PROPERTY #10
A-0.4B Scale: NTS



6 PROPERTY #11
A-0.4B Scale: NTS



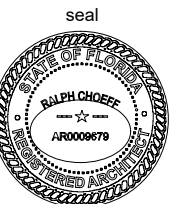
7 PROPERTY #12
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8 PROPERTY #13 (PARK)
A-0.4B Scale: NTS



9 PROPERTY #14 (TRACK)
A-0.4B Scale: NTS



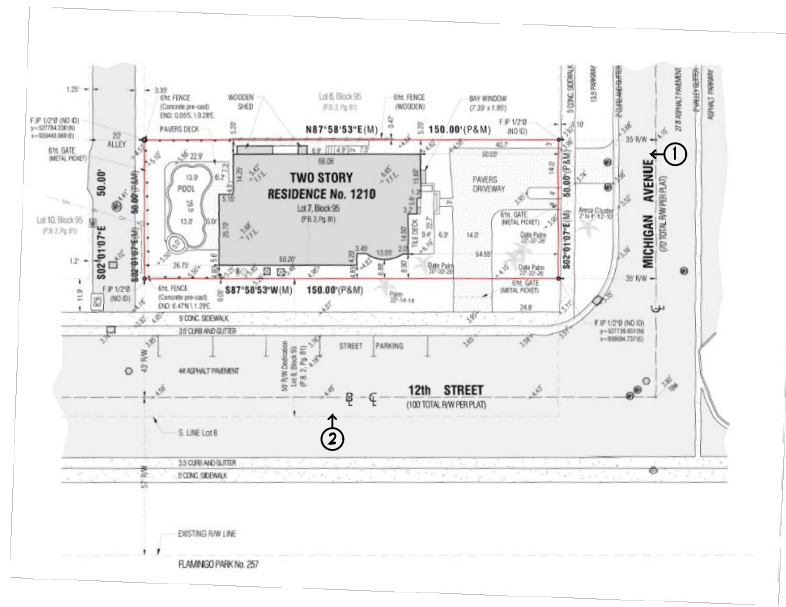
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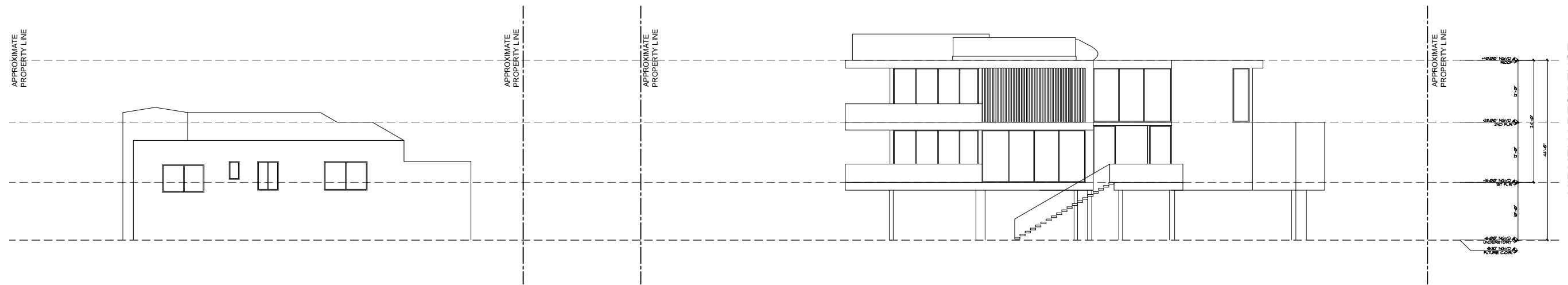
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1 SURVEY PHOTO VIEWS
A-0.3A Scale: NTS



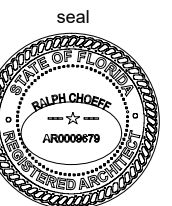
MIRMELLI RESIDENCE
1210 MICHIGAN AVE.
MIAMI BEACH, FL 33139



3 12TH STREET VIEW
A-0.4C Scale: NTS

CONTEXT ANALYSIS

A-0.4C



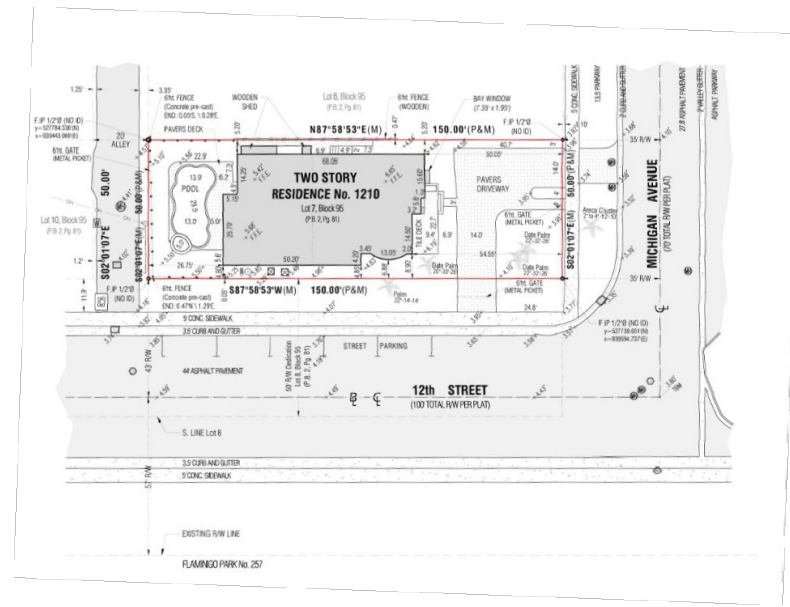
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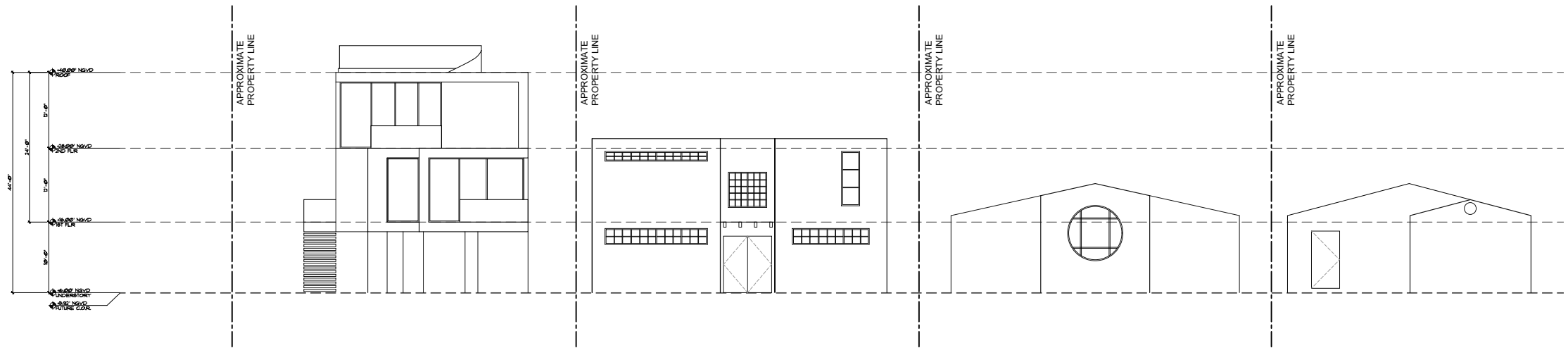
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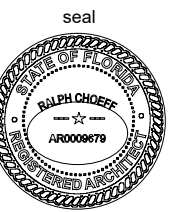


1 SURVEY PHOTO VIEWS
A-0.3A Scale: NTS



2 MICHIGAN AVENUE VIEW
A-0.4C Scale: NTS

CONTEXT ANALYSIS A-0.4D



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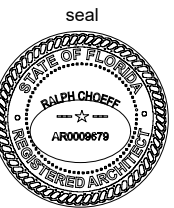
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SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	1210 MICHIGAN AVE MIAMI BEACH, FL 33139 LEGAL DESCRIPTION: LOT 7, BLOCK 95 OF "OCEAN BEACH ADD. No.3"; ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2 AT PAGE 81 OF THE PUBLIC RECORD OF MIAMI DADE COUNTY, FLORIDA		
2	Folio number(s):	02-4203-009-7410		
3	Board and file numbers :			
4	Year built:		Zoning District:	RS-4
5	Based Flood Elevation:	+8.00' NGVD	Grade value (C.O.R.)	+4.10' NGVD
6	Adjusted grade (Flood+Grade/2):	+6.05' NGVD	Future (C.O.R.)	+5.92' NGVD
7	Lot Area:	7,500 SQ FT.	Free board:	+13.00' NGVD
8	Lot width:	50'-0"	Lot Depth:	150'-0"
9	Max Lot Coverage SF and %:	2,250 SQ FT. (30%)	Proposed Lot Coverage SF and %:	1,969.6 SQ FT. (26.3%)
10	Existing Lot Coverage SF and %:		Lot coverage deducted (garage-storage) SF:	
11	Front Yard Open Space SF and %:	1500 SQ FT. (100%)	Rear Yard Open Space SF and %:	845 SQ FT. (75.1%)
12	Max Unit Size SF and %:	3,750 SQ FT. (50%)	Proposed Unit Size SF and %:	3,682 SQ FT. (49.1%)
13	Proposed Understory Unit Size	198 SQ FT.	Proposed First Floor Unit Size (Inc. O.H. Areas):	1,861 SF
14	Proposed Second Floor Unit Size:	1,623 SQ FT.	Proposed Roof Unit Size:	0 SF
15		Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):		401 SF (24.7%)
		Required	Existing	Proposed
16	Height:			34'-0"
17	Front First level Setback :	20'-0"		42'-2"
18	Front Second level Setback :	40'-0"		51'-4"
19	Side 1 Setback :	7'-6"		7'-6"
20	Side 2 Setback :	15'-0"		15'-0"
21	Rear Setback :	22'-6"		27'-6"
22	Accessory Structure Side 1 Setback:	N/A		N/A
23	Accessory Structure Side 2 or (facing street) :	N/A		N/A
24	Accessory Structure Rear :	N/A		N/A
25	Sum of Side yard	22'-6"		22'-6"
26	Located within a Local Historic District?		YES	YES
27	Designated as an individual Historic Single Family Residence Site?			SEE ABOVE
28	Determined to be Architecturally Significant?			
Notes:				

ITEM #	New Construction Floodplain Management Data		
1	Flood Zone:	AE - EL 8	
2	FIRM Map Number	12086C0317L	
3	Base Flood Elevation (BFE):	+8.0' NGVD	
4	Proposed Flood Design Elevation:	+16.00' NGVD	
5	Crown of Road Elevation:	+4.10' NGVD	
6	Future Crown of Road Elevation:	+5.92' NGVD	
7	Classification of Structure:	Category II	
8	Building Use:	Single-Family Residence	
9	Lowest Elev. of Equip		
10	Lowest Adjacent Grade		
11	Highest Adjacent Grade		



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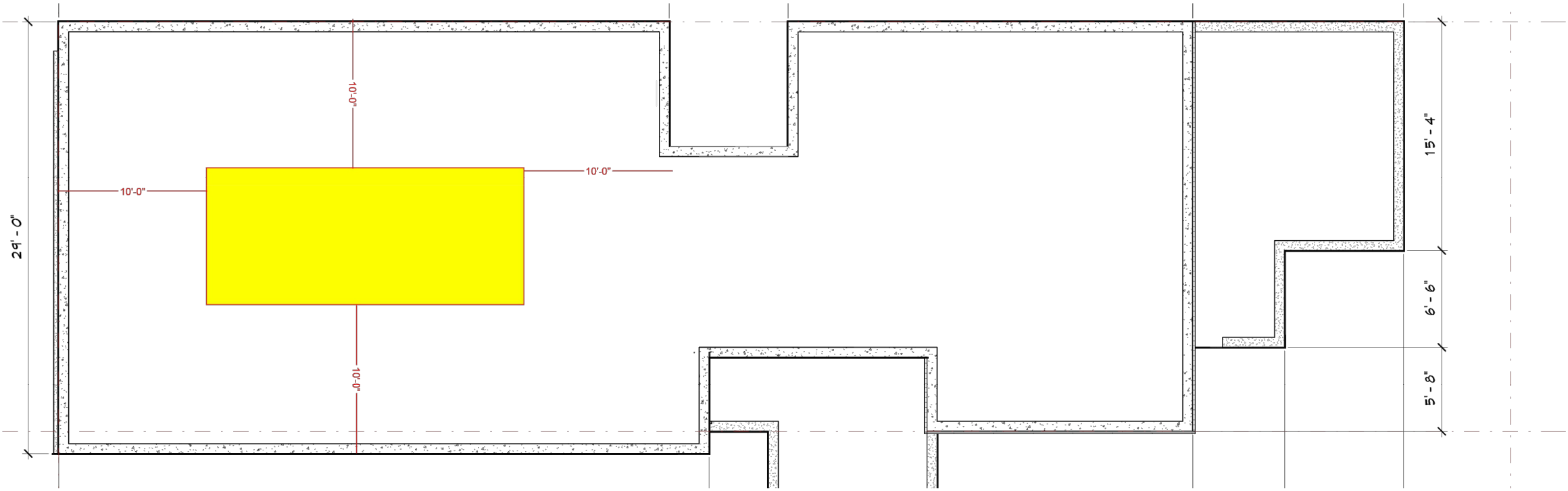
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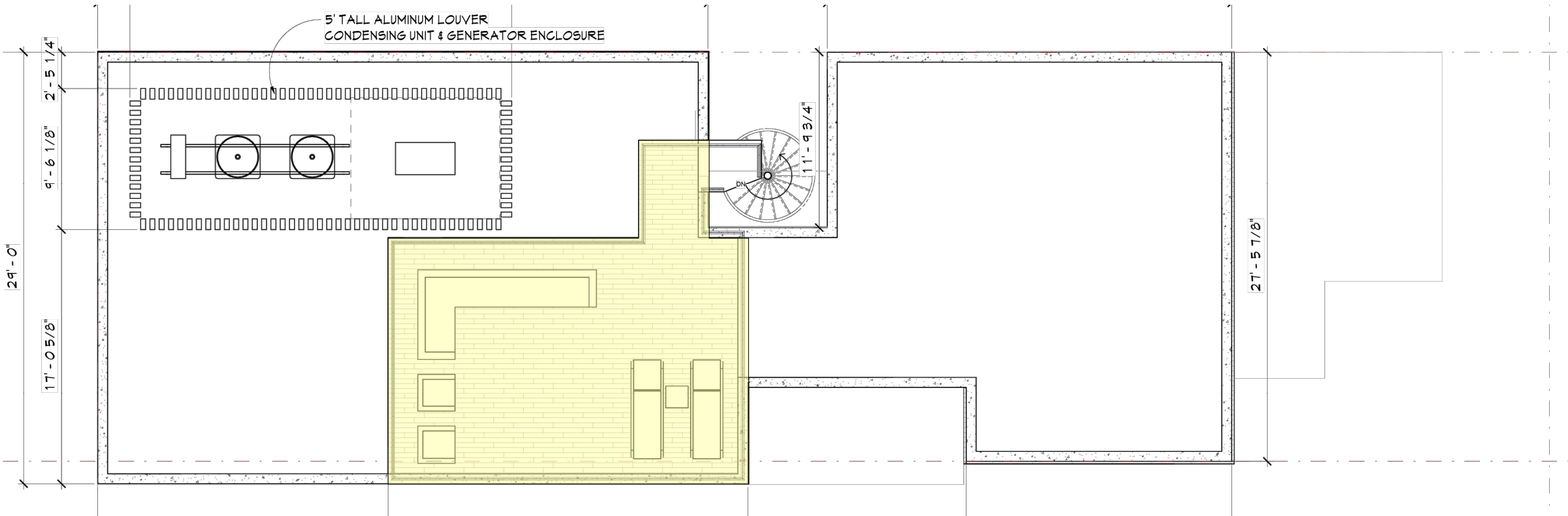
PROPERTY LINE: 50.00'




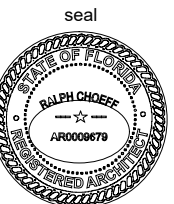
 ALLOWABLE ROOF DECK
Scale: 1/4" = 1'-0"

VARIANCE REQUEST:
REQUEST TO WAIVE THE ROOF DECK SETBACK
REQUIREMENTS AS PER SEC. 122.3(b)8.

PROPERTY LINE: 50.00'



 PROPOSED ROOF DECK
Scale: 1/4" = 1'-0"



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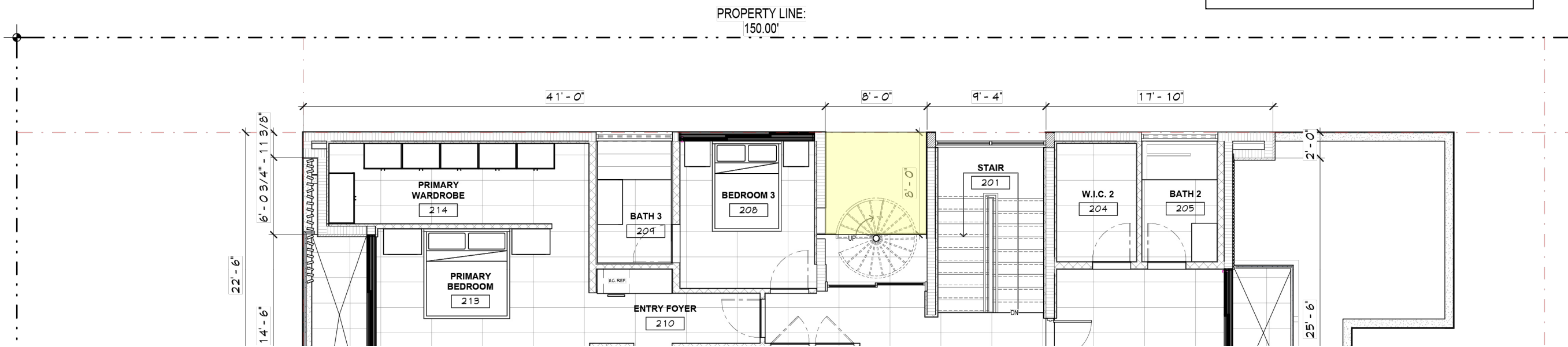
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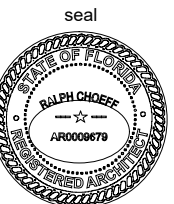
POSSIBLE WAIVER REQUEST:
 WAIVE THE 60' MAX LENGTH ELEVATION REQUIREMENTS FOR THE OPEN-SPACE COURTYARD FOR THE NORTH ELEVATION. SEC.12.2.3(b)(2)(A).



 PARTIAL SECOND FLOOR PLAN
 Scale: 1/4" = 1'-0"



 ELEVATION
 Scale: 1/4" = 1'-0"



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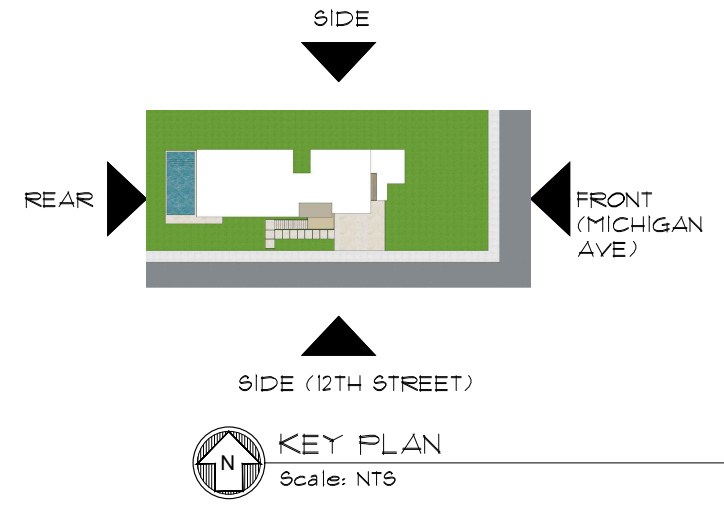
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1 SIDE (SOUTH VIEW) ELEVATION
A-0.9 Scale: 3/16" = 1'-0"



KEY PLAN
Scale: NTS



2 SIDE (NORTH VIEW) ELEVATION
A-0.9 Scale: 3/16" = 1'-0"

CALCULATIONS:

TOTAL UNDERSTORY AREA: _____ 791 SF.
 398.5 SF. (50% MIN)
 SOUTH SIDE COVERAGE: _____ 430 SF. (54% OPEN)
 NORTH SIDE COVERAGE: _____ 430 SF. (54% OPEN)

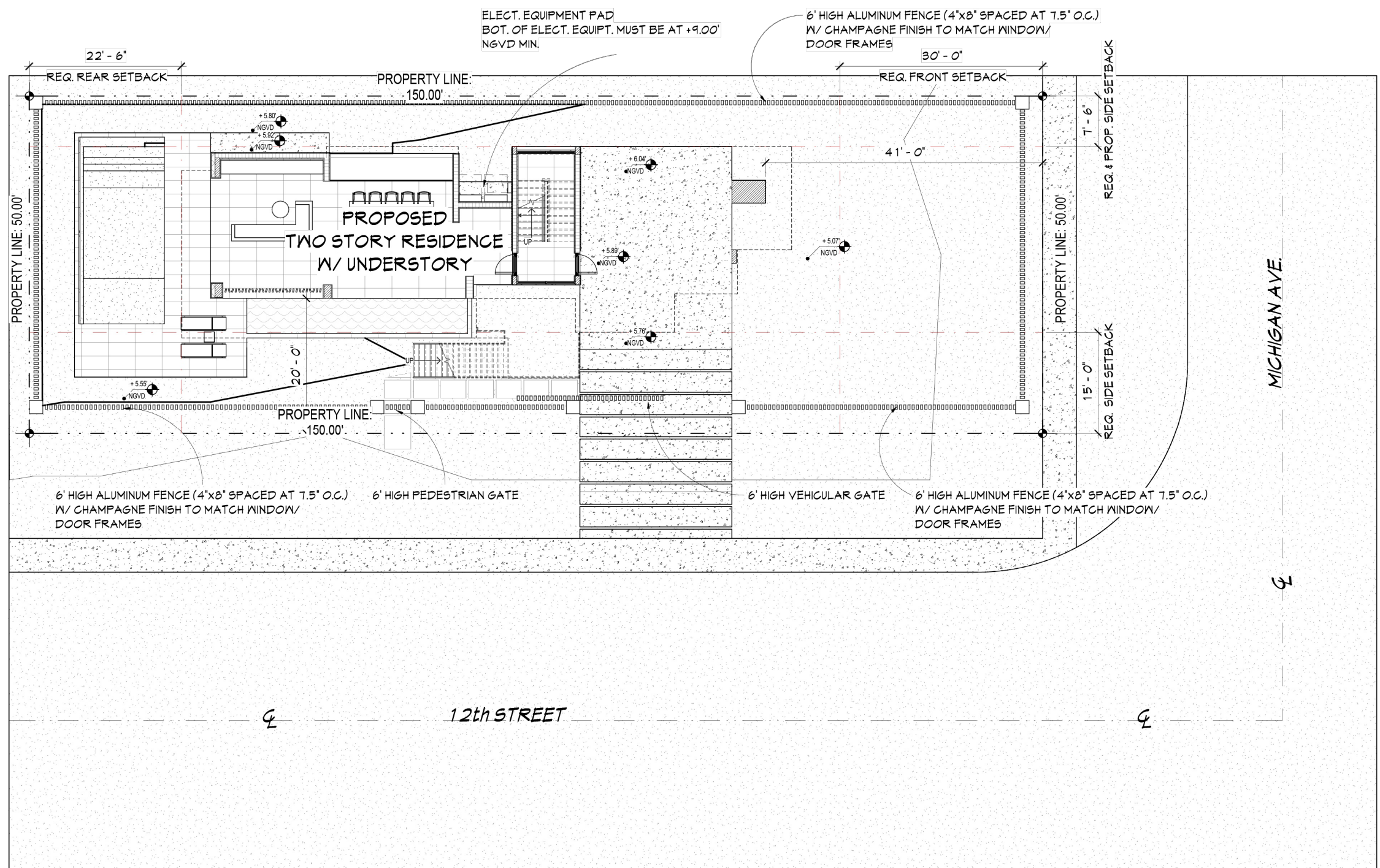


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 12/09/2024
 revised:

MIRMELLI RESIDENCE
 1210 MICHIGAN AVE.
 MIAMI BEACH, FL 33139

CHOEFF LEVY FISCHMAN
 ARCHITECTURE + DESIGN
 2750 NW 3rd AVE., SUITE 1
 MIAMI, FL 33127
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 (F) 305.892.5292



ELECT. EQUIPMENT PAD
 BOT. OF ELECT. EQUIPT. MUST BE AT +9.00'
 NGVD MIN.

6' HIGH ALUMINUM FENCE (4"x8" SPACED AT 7.5" O.C.)
 W/ CHAMPAGNE FINISH TO MATCH WINDOW/
 DOOR FRAMES

22'-6"
 REQ. REAR SETBACK

30'-0"
 REQ. FRONT SETBACK

PROPERTY LINE:
 50.00'

41'-0"

7'-6"
 REQ. PROP. SIDE SETBACK

PROPERTY LINE: 50.00'

PROPOSED
 TWO STORY RESIDENCE
 W/ UNDERSTORY

PROPERTY LINE: 50.00'

PROPERTY LINE:
 50.00'

15'-0"
 REQ. SIDE SETBACK

6' HIGH ALUMINUM FENCE (4"x8" SPACED AT 7.5" O.C.)
 W/ CHAMPAGNE FINISH TO MATCH WINDOW/
 DOOR FRAMES

6' HIGH PEDESTRIAN GATE

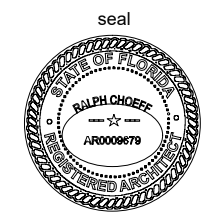
6' HIGH VEHICULAR GATE

6' HIGH ALUMINUM FENCE (4"x8" SPACED AT 7.5" O.C.)
 W/ CHAMPAGNE FINISH TO MATCH WINDOW/
 DOOR FRAMES

MICHIGAN AVE.

12th STREET

 SITE PLAN
 Scale: 1/8" = 1'-0"



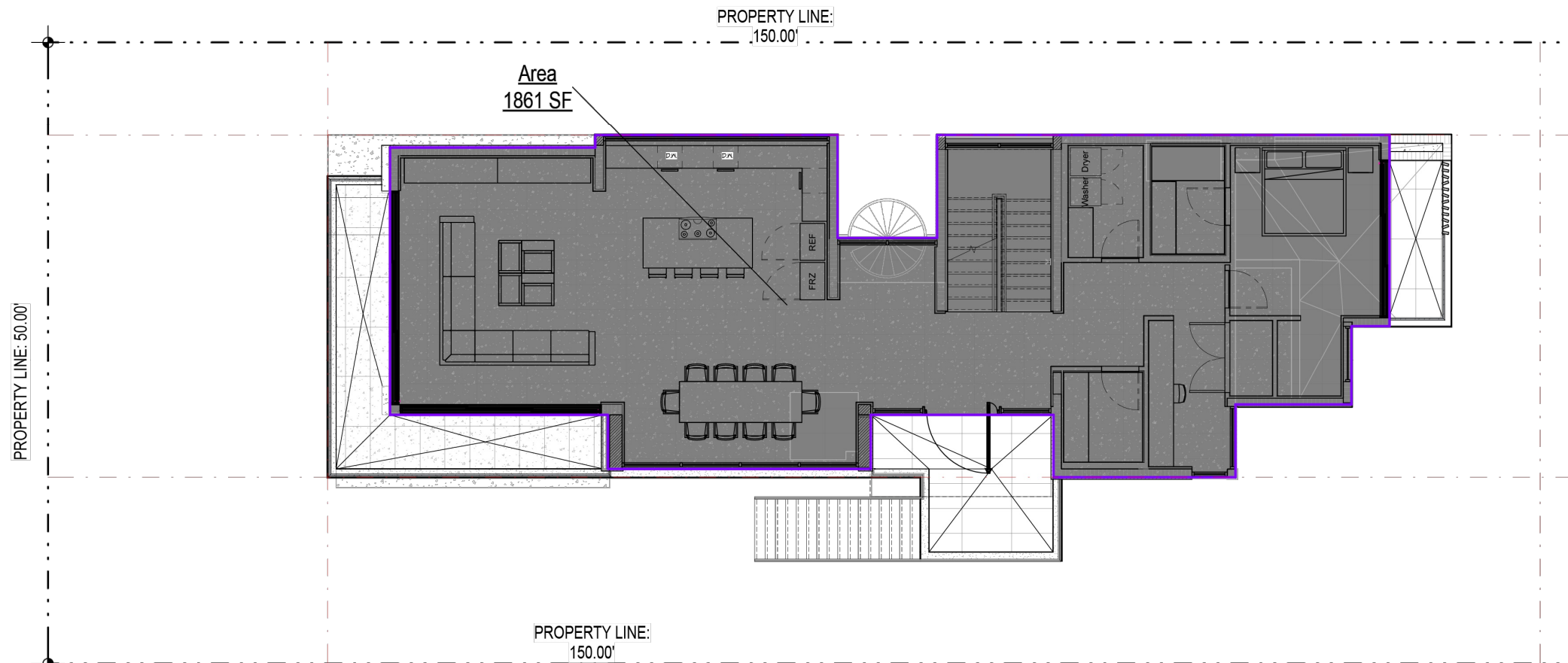
Ralph Choëff
 registered architect
 AR0000679
 AA26003009

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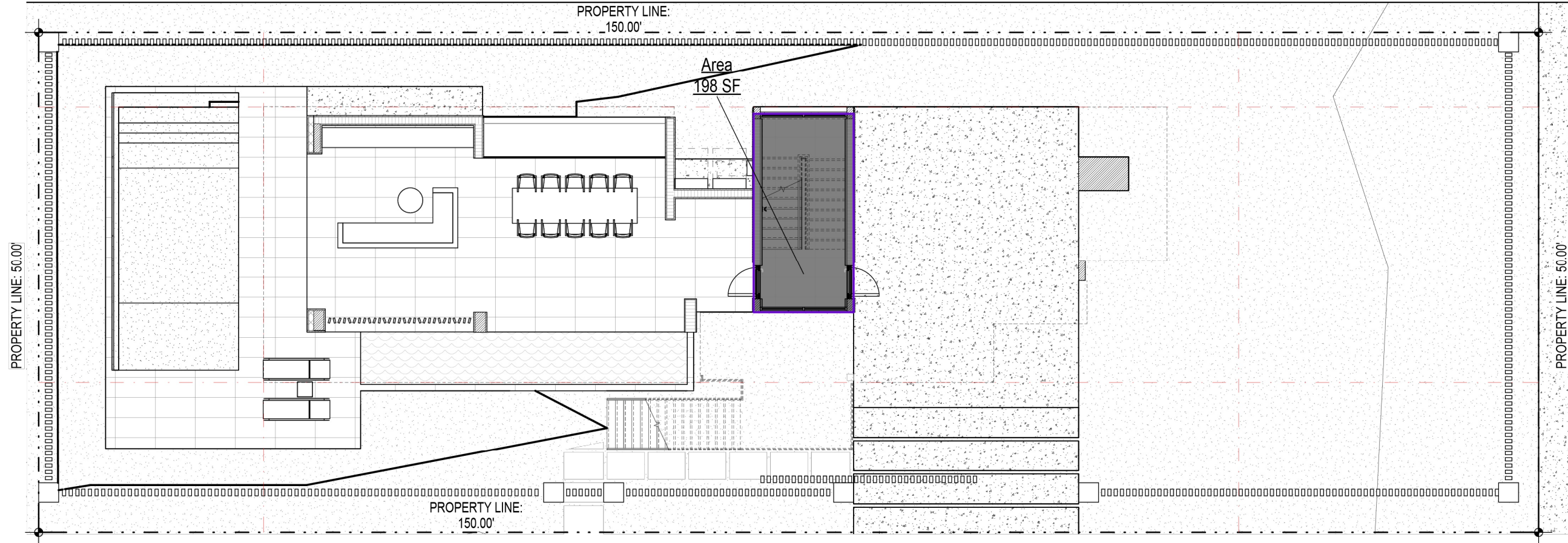
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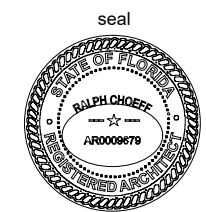


UNIT SIZE:	
LOT SIZE:	7,500 SF
MAX UNIT SIZE:	3,750 SF (50.0%)
UNDERSTORY:	198 SF
FIRST FLOOR:	1,861 SF
SECOND FLOOR:	1,623 SF
TOTAL:	3,682 SF (49.1%)

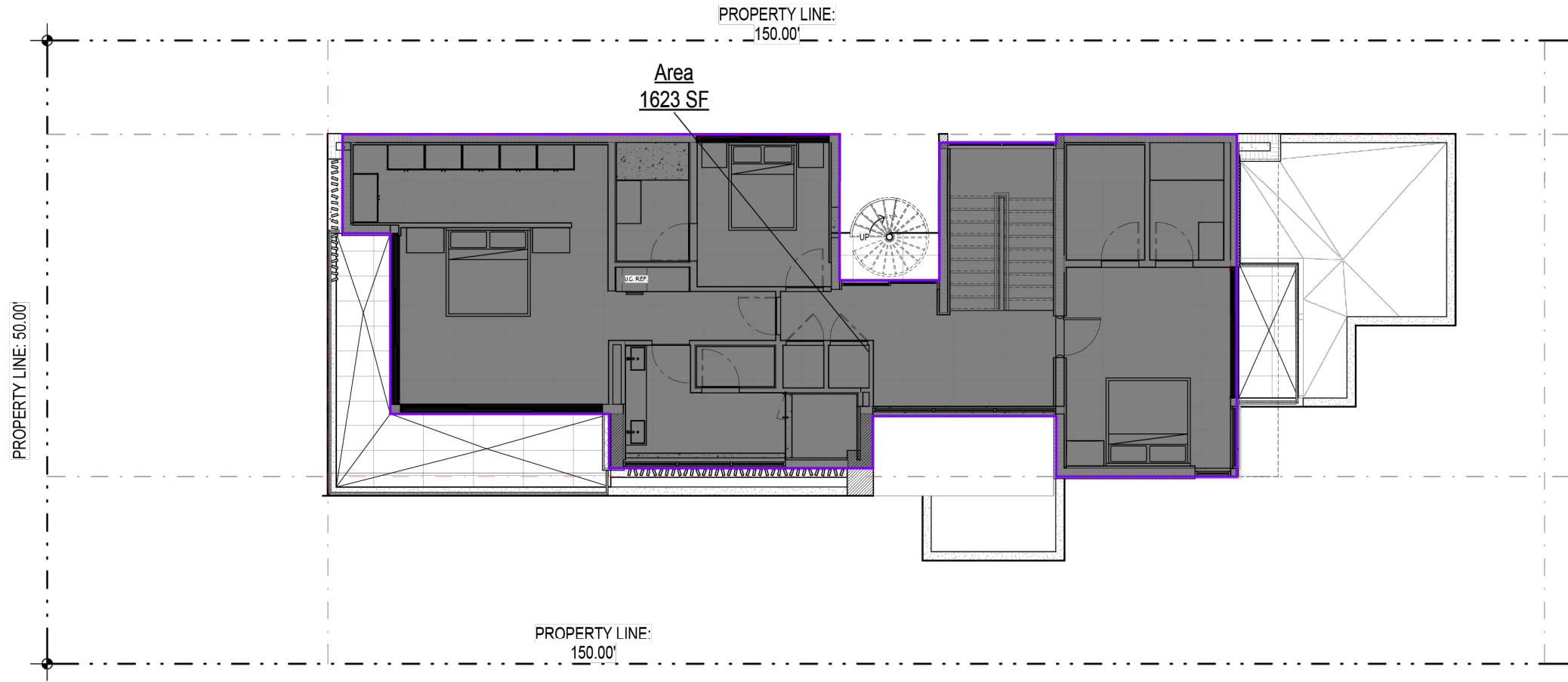
1 UNIT SIZE - FIRST FLOOR
P-A-010 3/16" = 1'-0"



2 UNIT SIZE - UNDERSTORY
P-A-010 3/16" = 1'-0"



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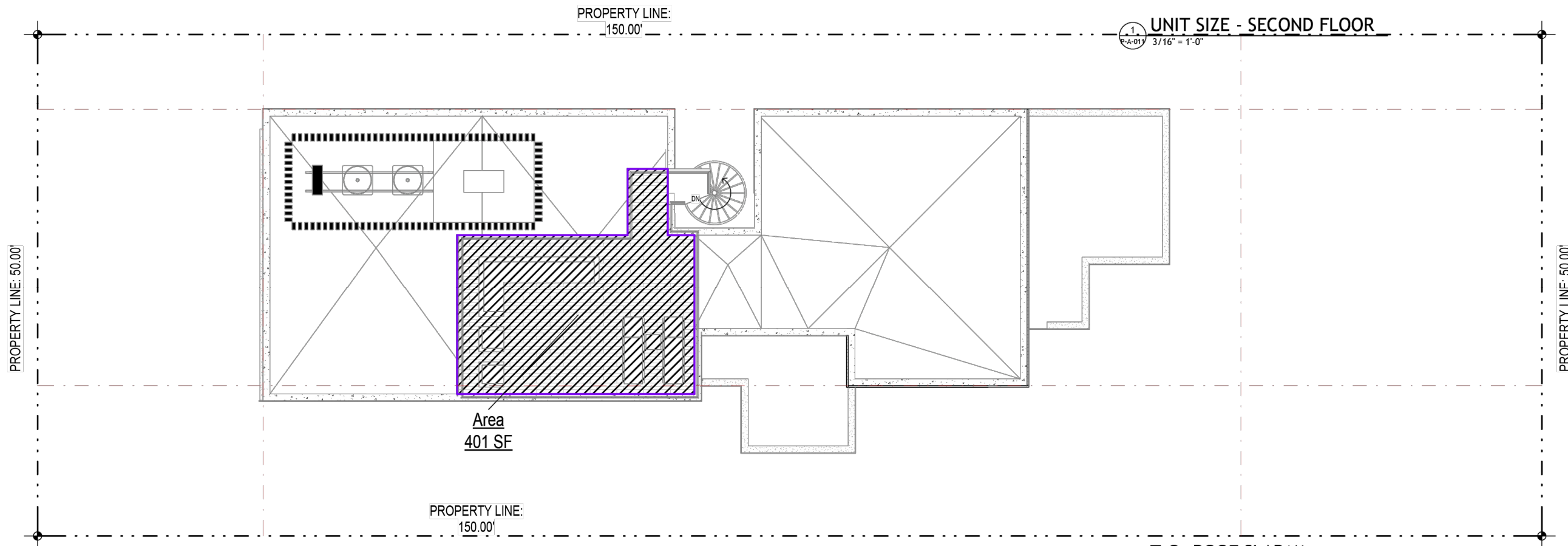


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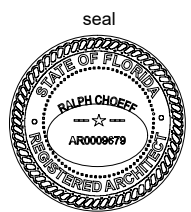
ROOF AREA:

LOT SIZE:	7,500 SF
SECOND FLOOR AREA:	1,623 SF
MAX ROOF AREA:	405.8 SF (25%)
ACTUAL ROOF AREA:	401 SF (24.7%)



UNIT SIZE - SECOND FLOOR
 1 P-A-01 3/16" = 1'-0"

T.O. ROOF SLAB(1)
 SCALE: 3/16" = 1'-0"



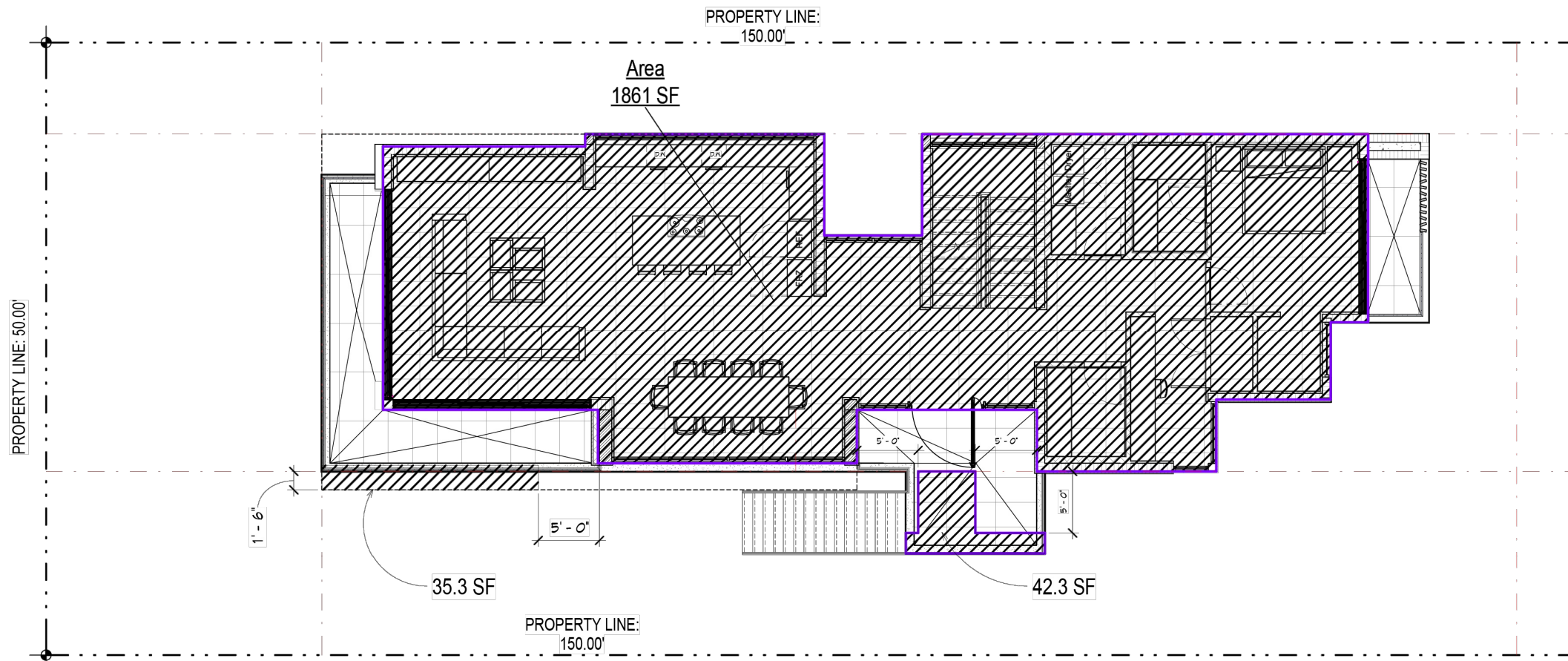
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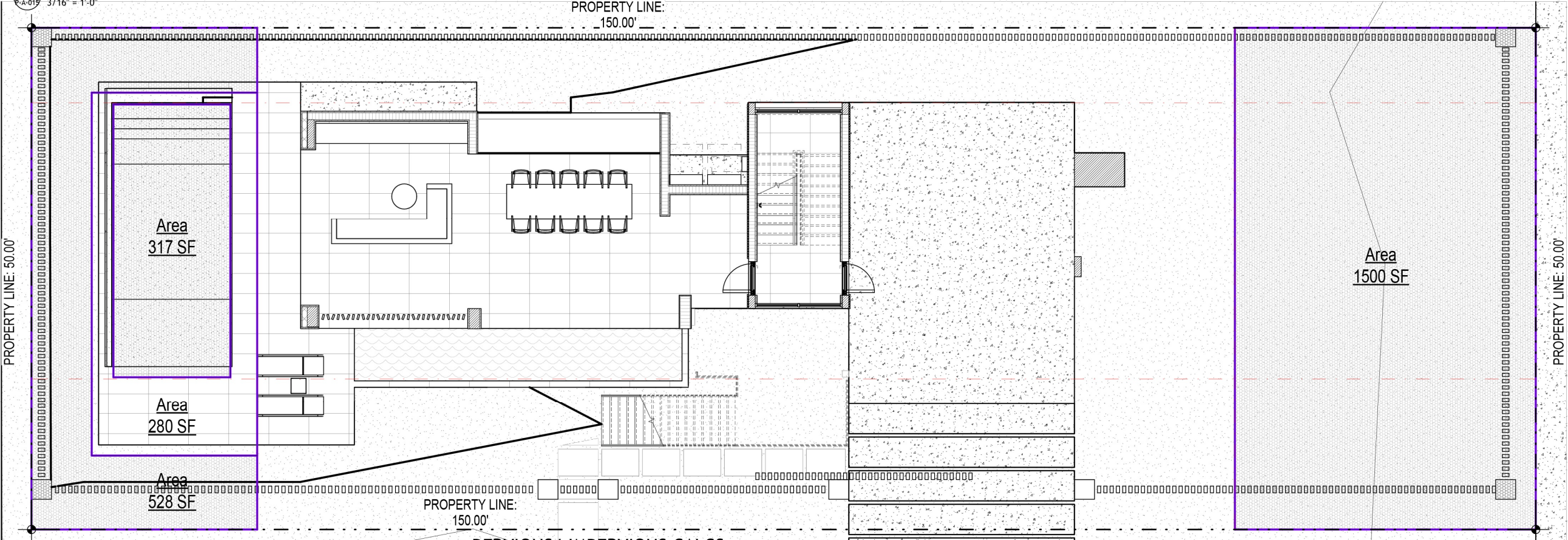


LOT COVERAGE:	
LOT SIZE:	7,500 SF
MAX LOT COVERAGE:	2,250 SF (30.0%)
LOT COVERAGE:	
FIRST FLOOR:	1,892 SF
OVERHANGS OVER 5'	77.6 SF
TOTAL:	1,969.6 SF (26.3%)

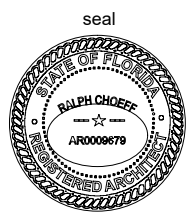
FRONT YARD CALCULATIONS:	
FRONT YARD AREA:	1,500 SF
MINIMUM PERVIOUS REQ.:	1,050 SF (70%)
PERVIOUS AREA PROP.:	1,500 SF (100%)

REAR YARD CALCULATIONS:	
REAR YARD AREA:	1,125 SF
MINIMUM PERVIOUS REQ.:	787.5 SF (70%)
PERVIOUS AREA PROP.:	845 SF (75.1%)

LOT COVERAGE CALCS.

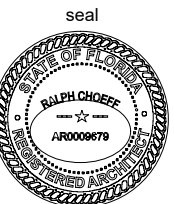


PERVIOUS/ IMPERVIOUS CALCS.
SCALE: 3/16" = 1'-0"



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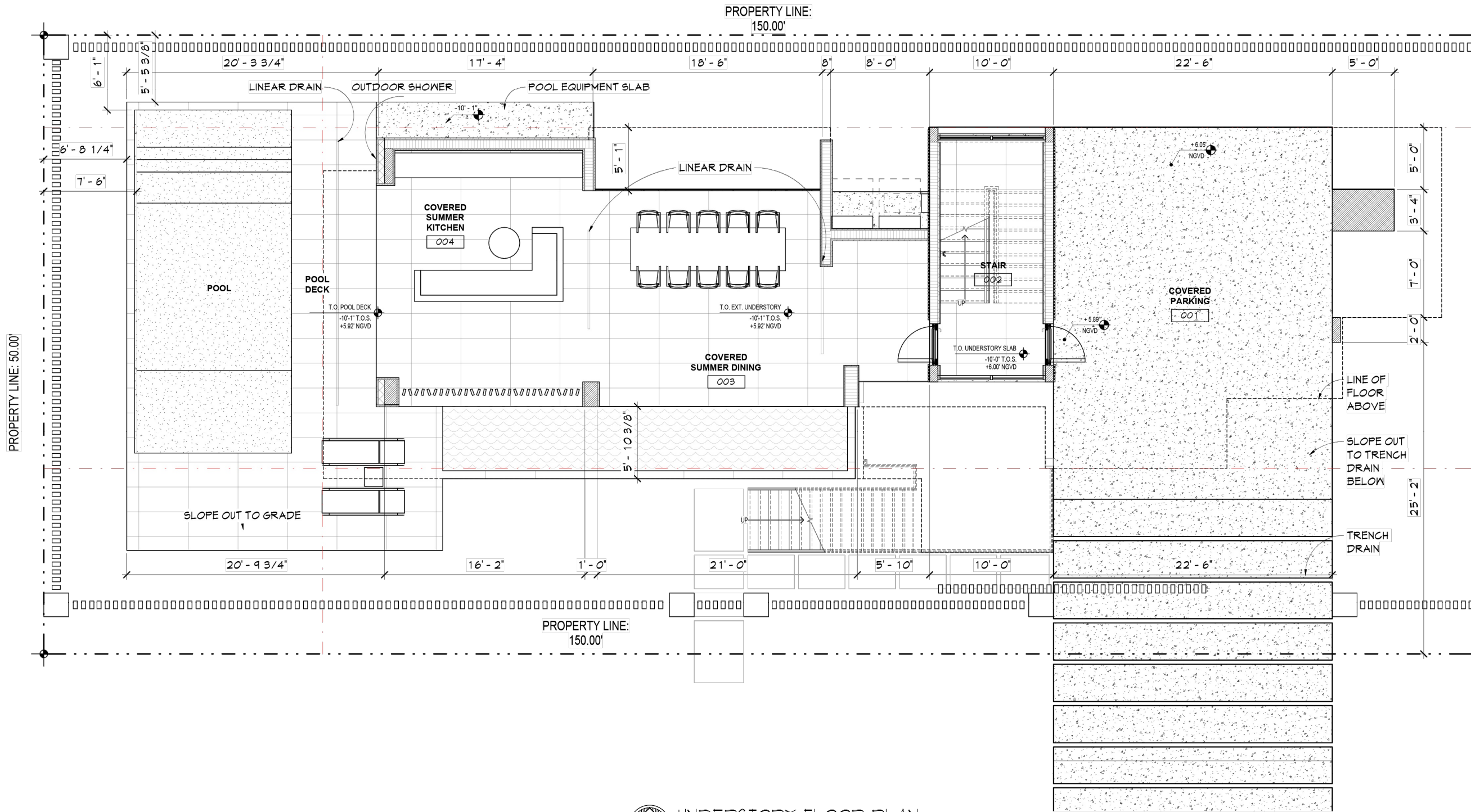
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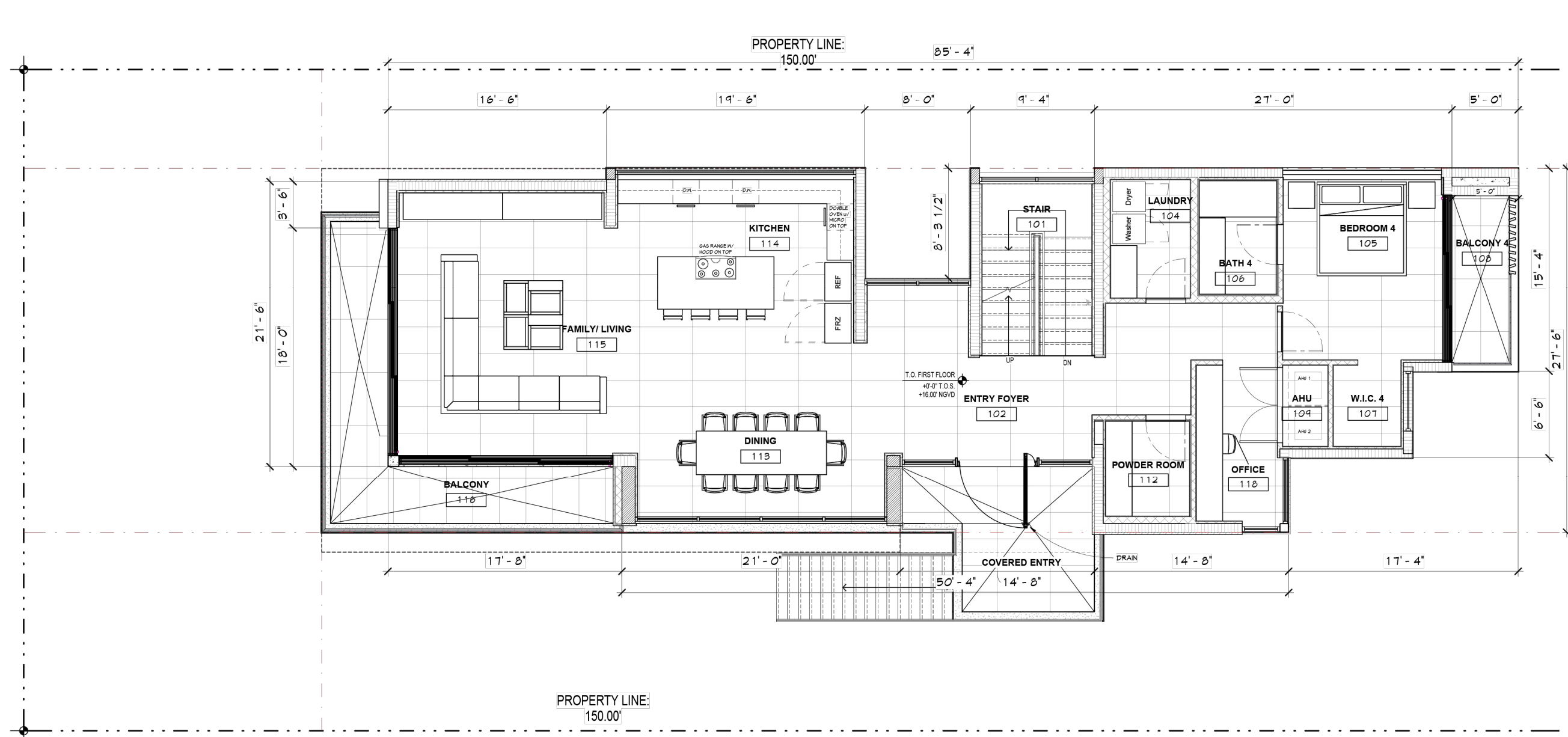
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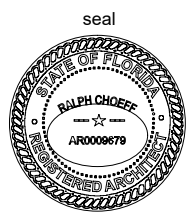


UNDERSTORY FLOOR PLAN
 Scale: 1/4" = 1'-0"



FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

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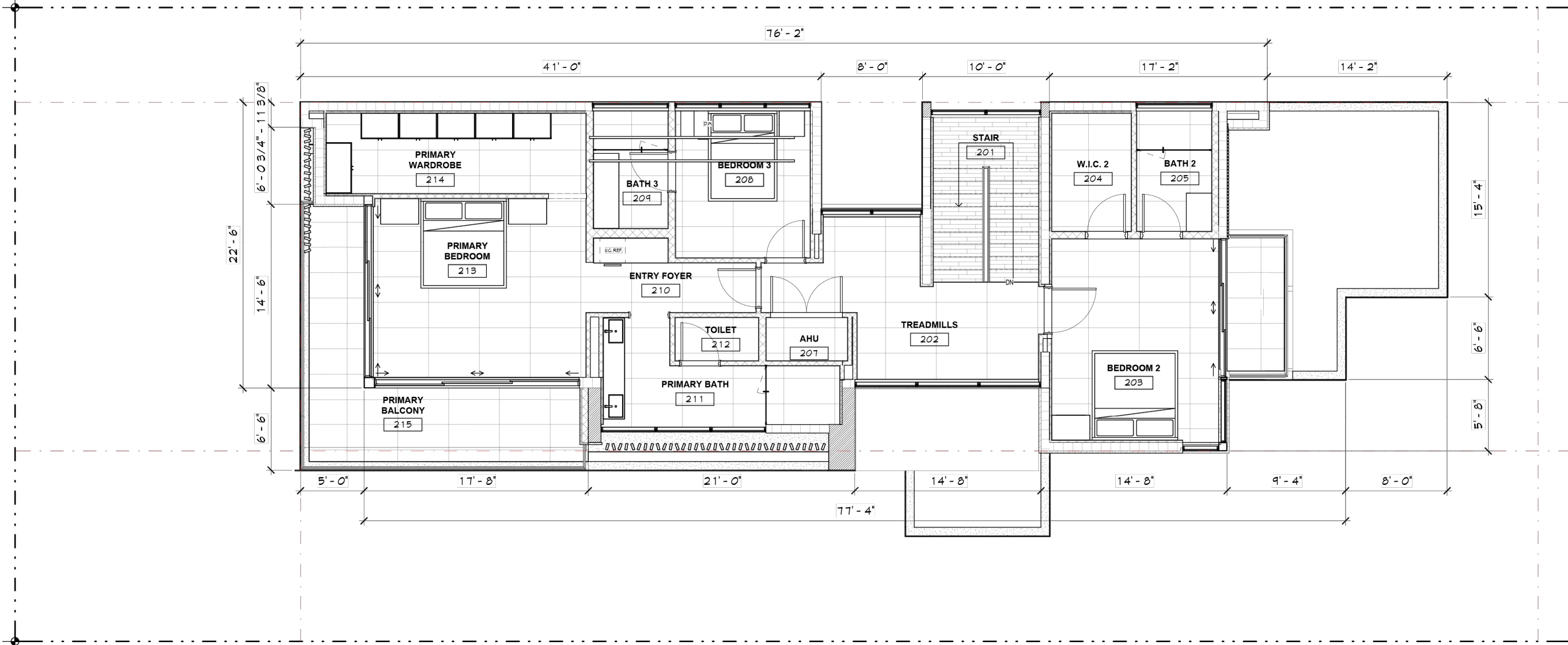


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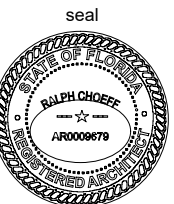
PROPERTY LINE: 150.00'



PROPERTY LINE: 150.00'



PREV. APPROVED SECOND FLOOR PLAN
 Scale: 1/4" = 1'-0"



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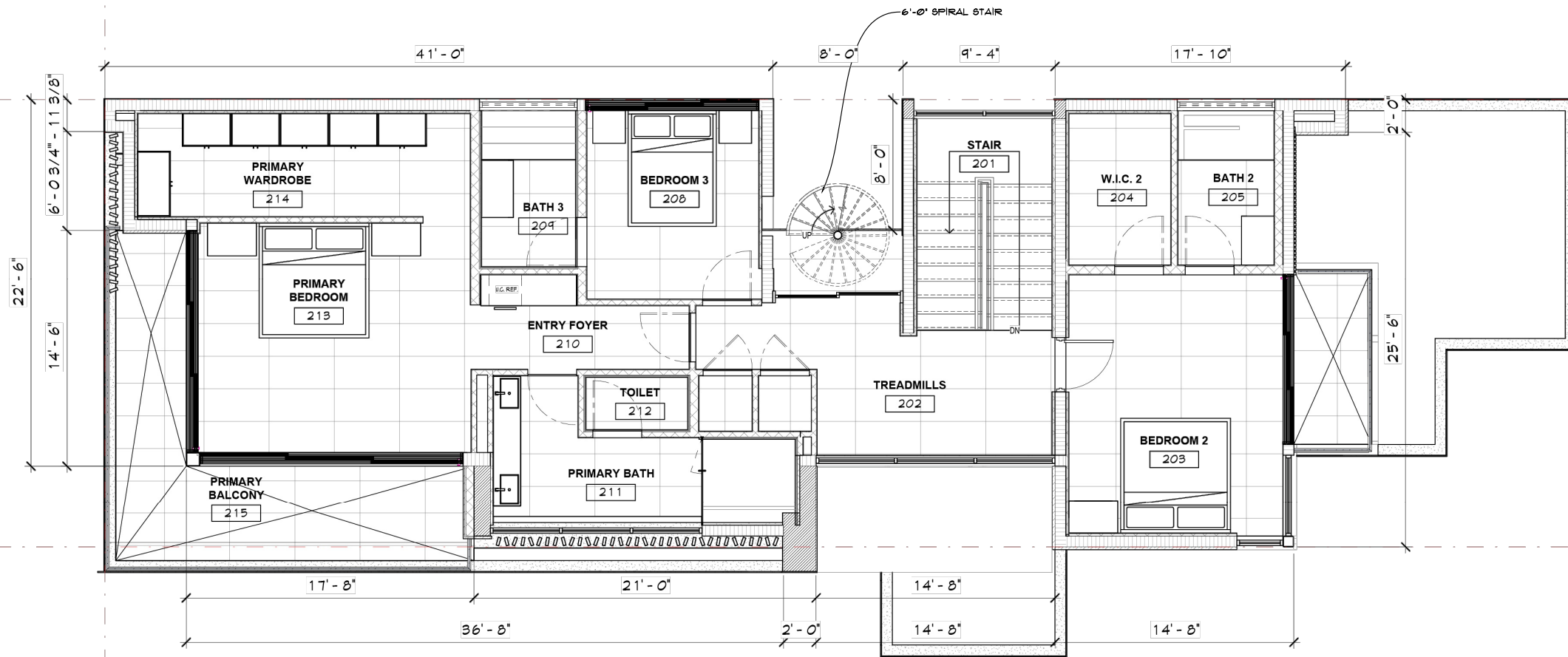
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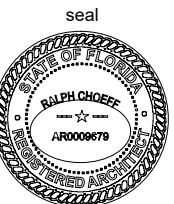
PROPERTY LINE: 50.00'

PROPERTY LINE:
150.00'



PROPERTY LINE:
150.00'

 SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"



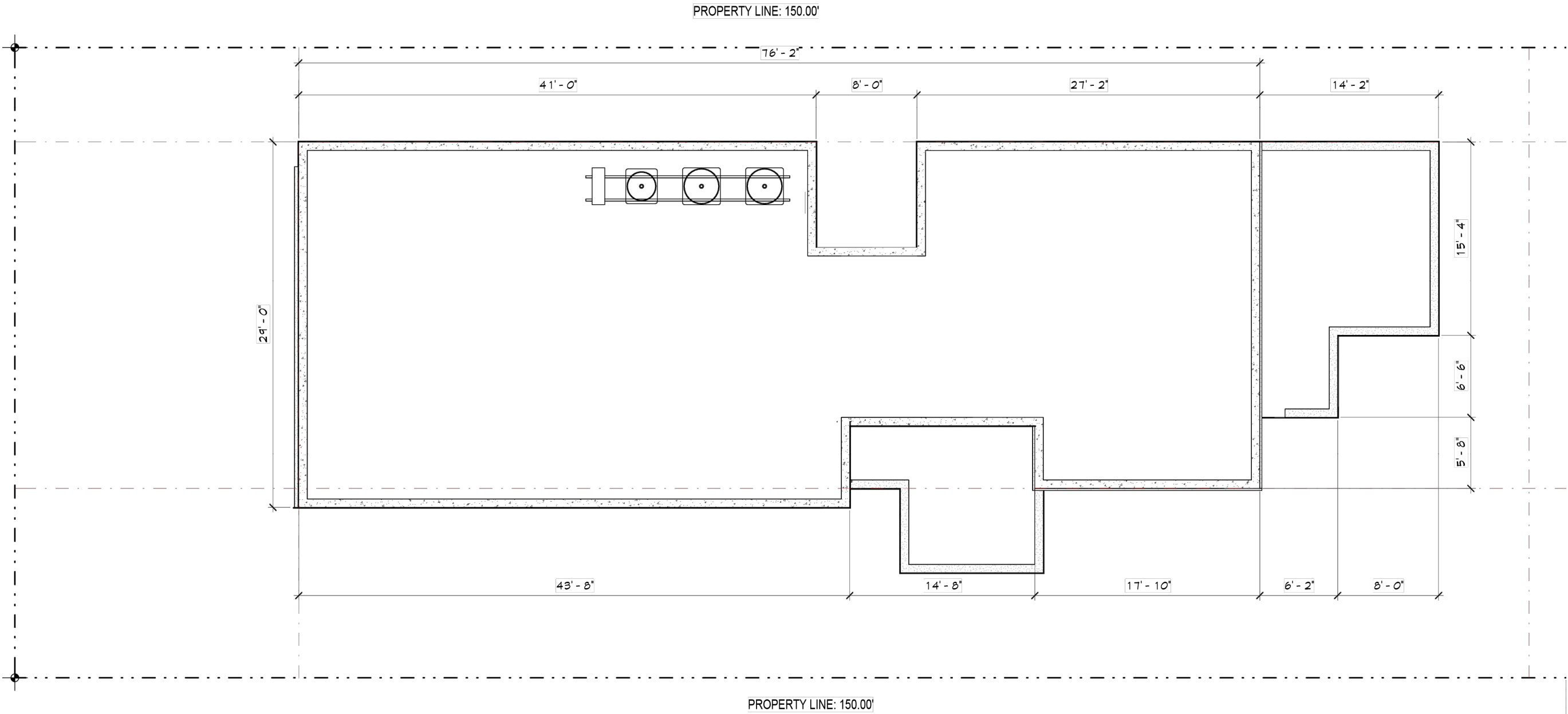
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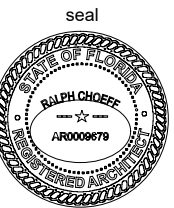
PROPERTY LINE: 150.00'

PROPERTY LINE: 150.00'



PREV. APPROVED ROOF PLAN
Scale: 1/4" = 1'-0"

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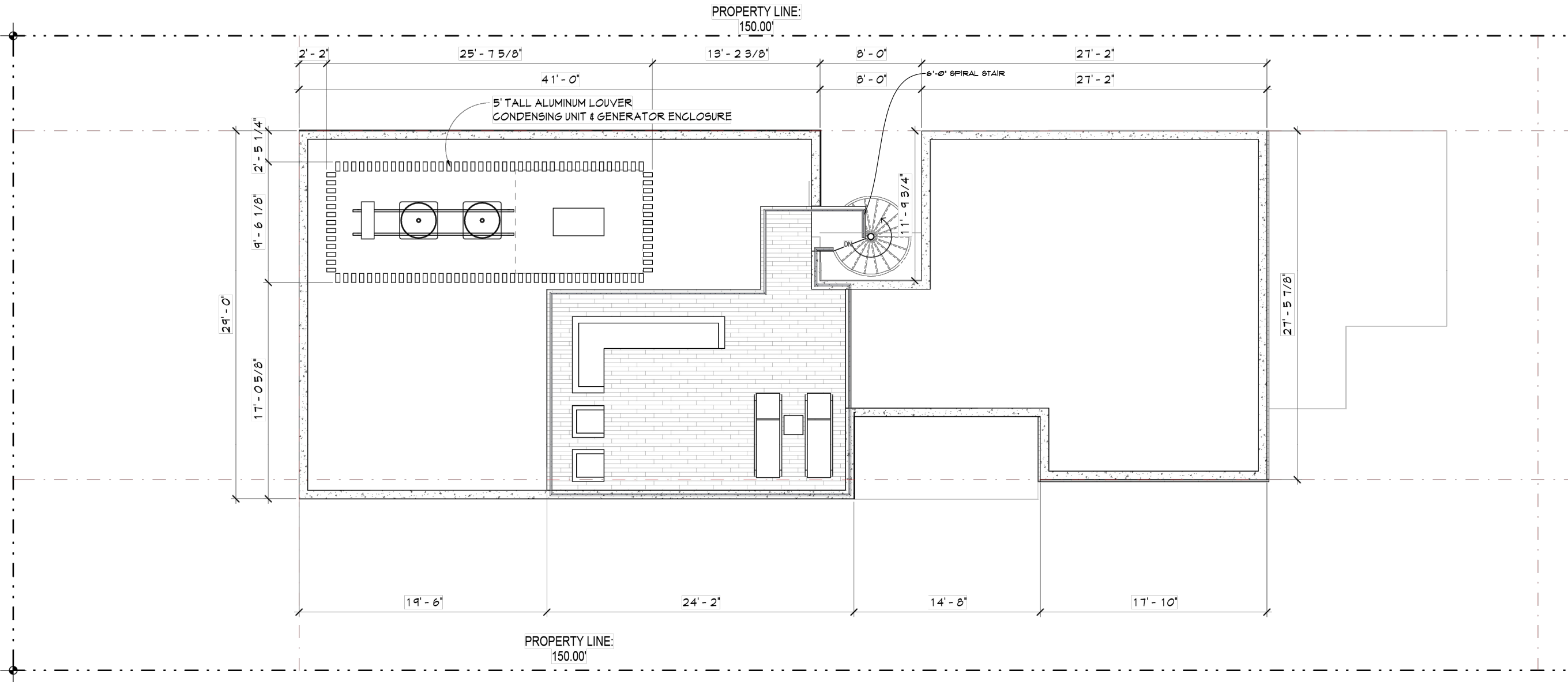
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PROPERTY LINE: 50.00'



PROPERTY LINE:
150.00'

PROPERTY LINE:
150.00'

 **ROOF PLAN**
Scale: 1/4" = 1'-0"



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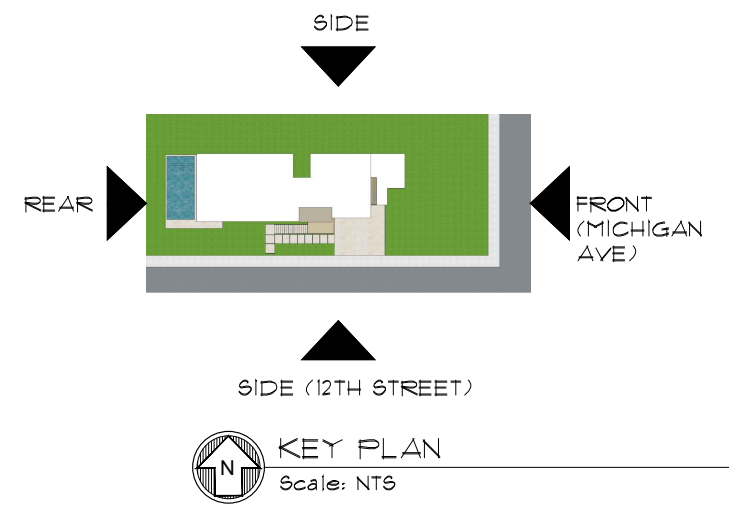
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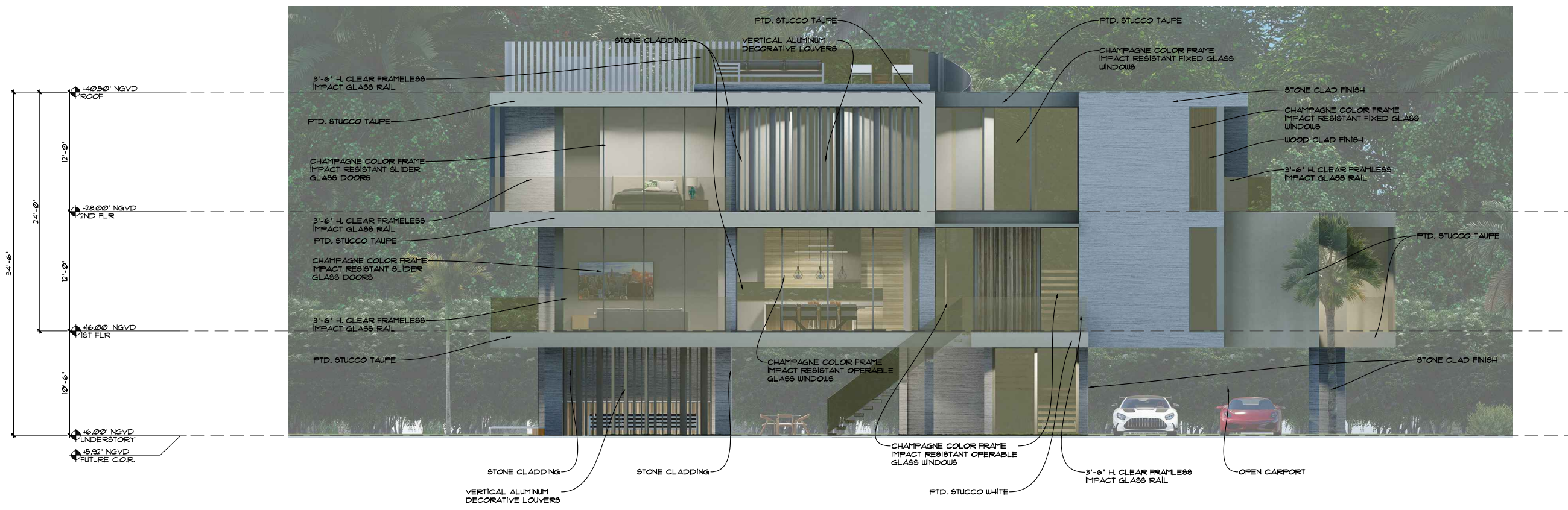


40.50' NGVD
ROOF
 12'-0"
 28.00' NGVD
2ND FLR
 12'-0"
 16.00' NGVD
1ST FLR
 10'-6"
 6.00' NGVD
UNDERSTORY
 5.32' NGVD
FUTURE C.O.R.

1 FRONT ELEVATION
A-2.1 Scale: 3/16" = 1'-0"



MATERIALS
Scale: NTS

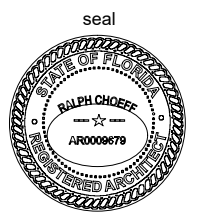


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UNDERSTORY
 5.32' NGVD
FUTURE C.O.R.

2 SIDE ELEVATION (12TH STREET)
A-2.1 Scale: 3/16" = 1'-0"

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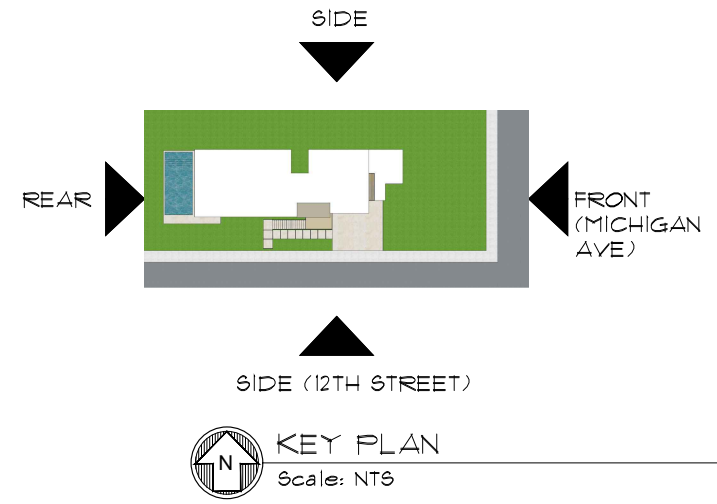


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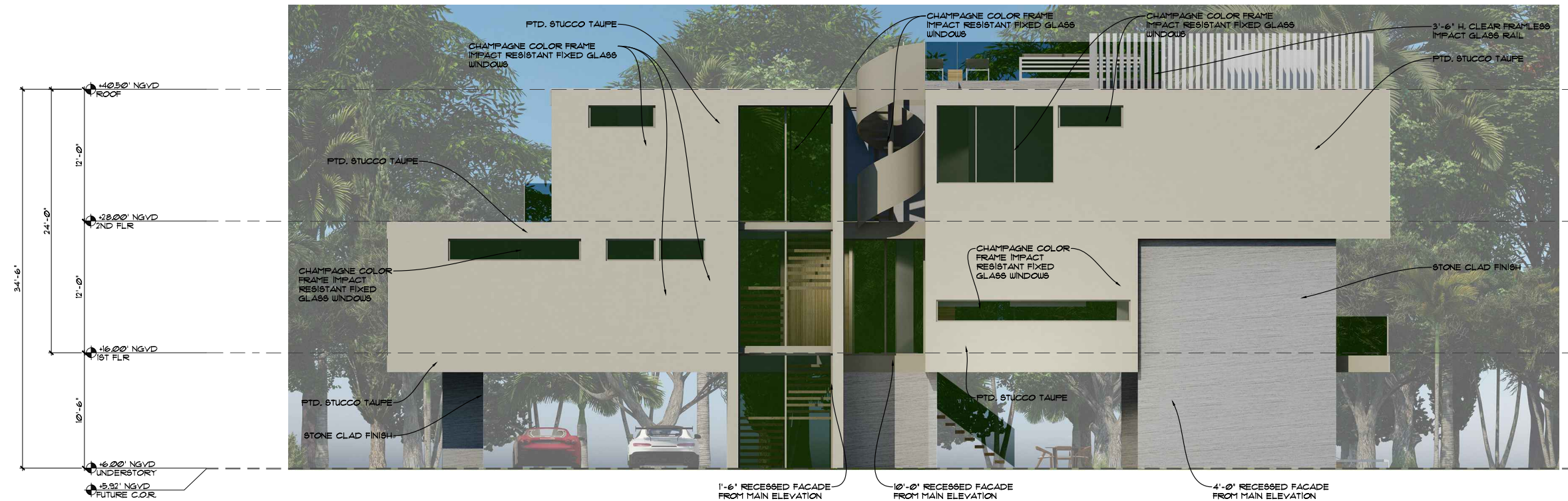
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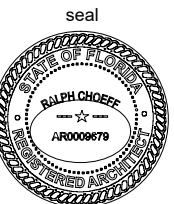
1 REAR ELEVATION
A-2.2 Scale: 3/16" = 1'-0"



MATERIALS
Scale: NTS



2 SIDE ELEVATION
A-2.2 Scale: 3/16" = 1'-0"



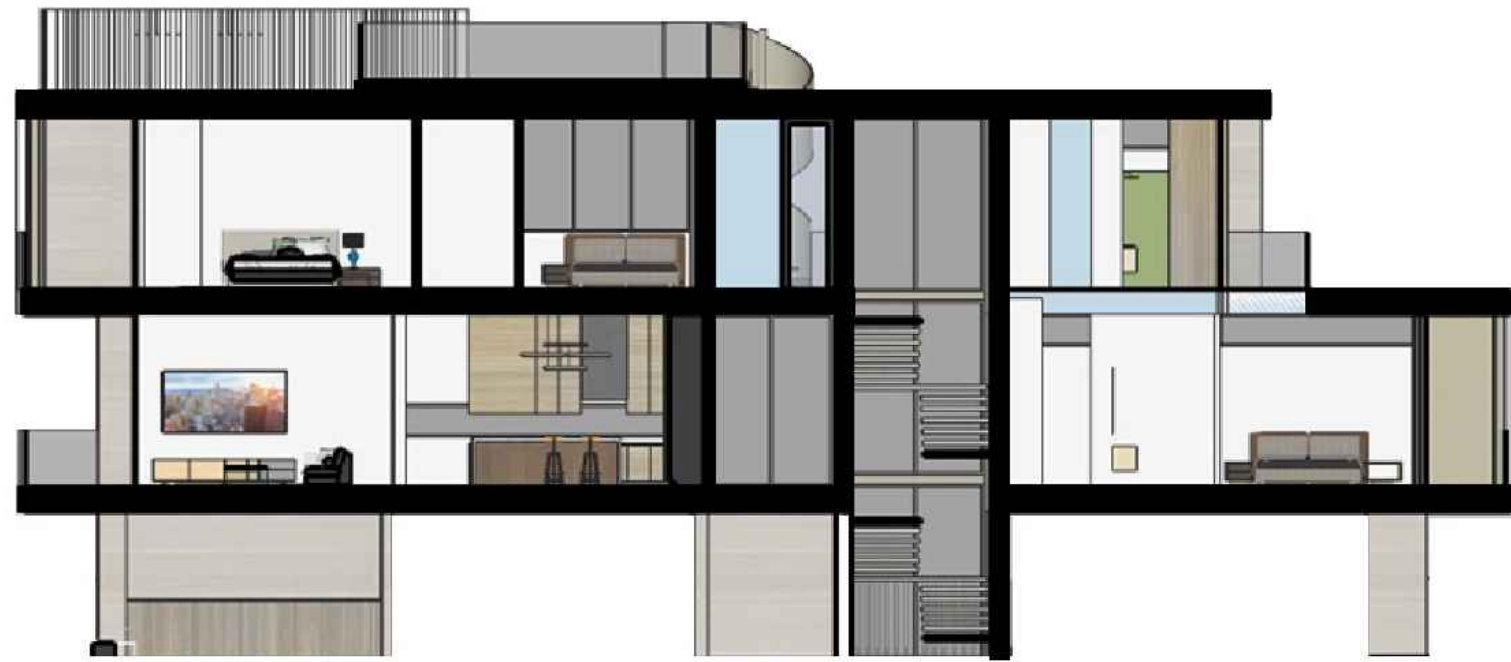
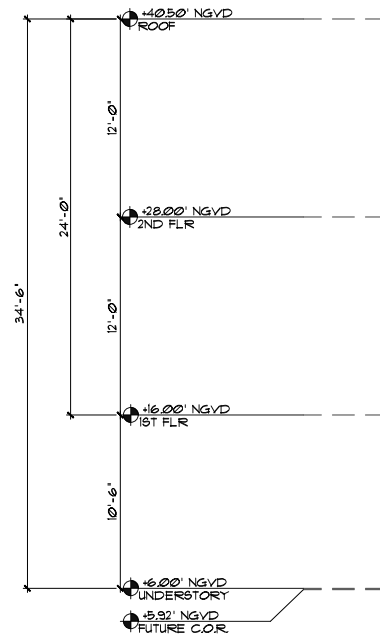
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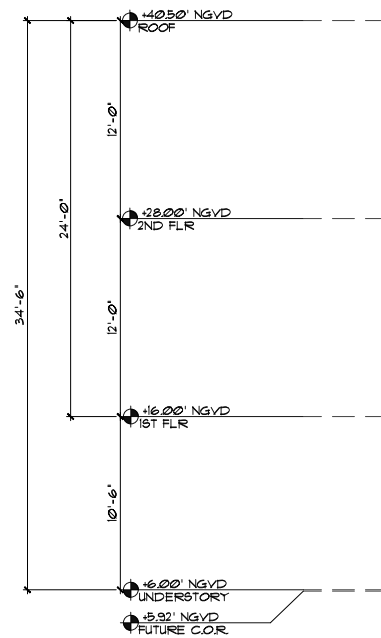
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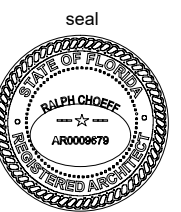
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1 SECTION A
A-2.3 Scale: 3/16" = 1'-0"



2 SECTION B
A-2.3 Scale: 3/16" = 1'-0"



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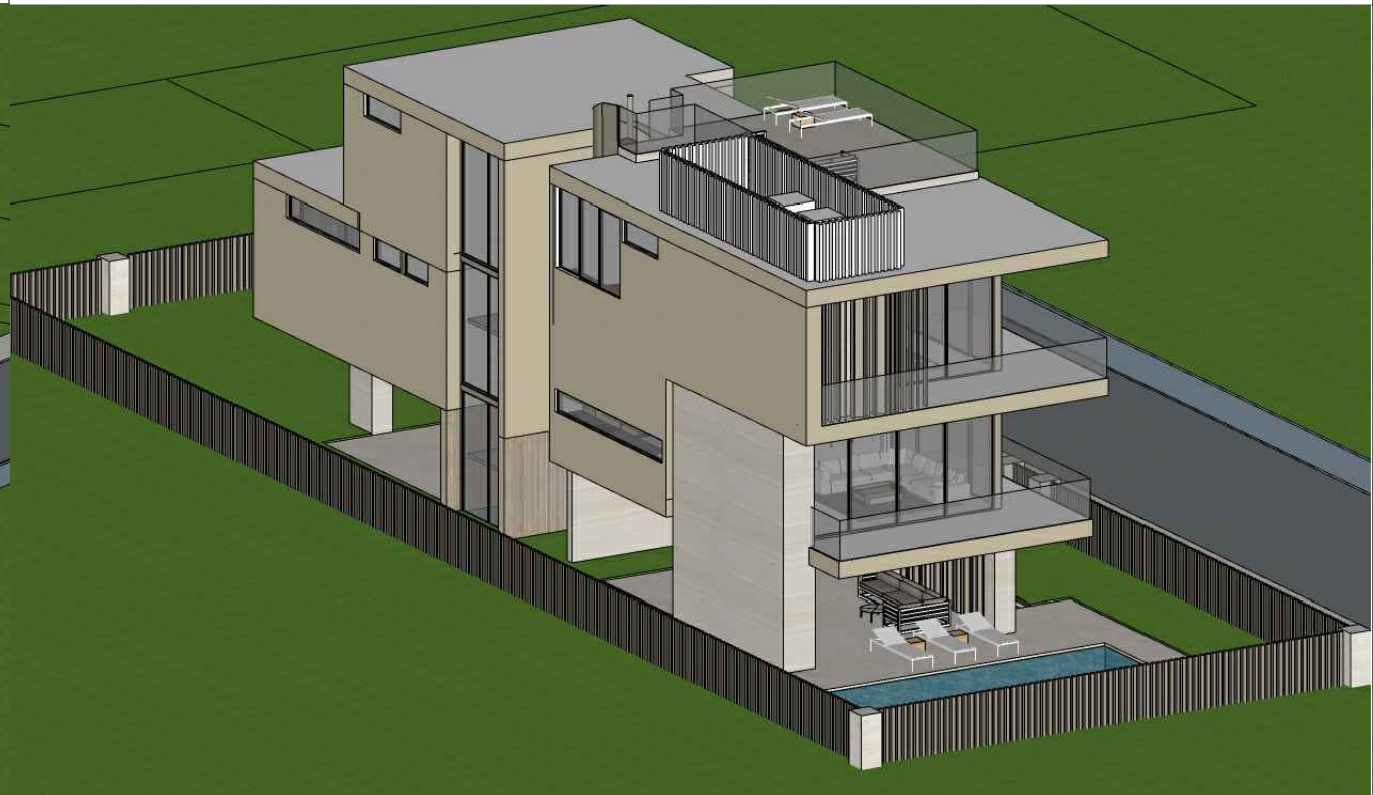
1 NORTH EAST VIEW
G-3.1 Scale: NT6



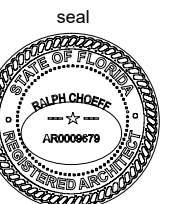
2 SOUTH EAST VIEW
G-3.1 Scale: NT6



3 SOUTH WEST VIEW
G-3.1 Scale: NT6



4 NORTH WEST VIEW
G-3.1 Scale: NT6



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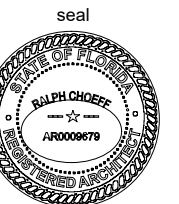


1 SIDE (SOUTH) VIEW
G-3.2 Scale: NTS

SIDE (SOUTH) RENDERING

G-3.2

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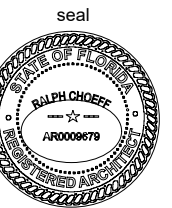
1 FRONT (EAST) VIEW
G-3.3 Scale: NTS

FRONT (EAST) RENDERING

G-3.3

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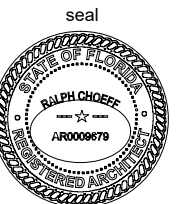
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1 REAR (SOUTH WEST) VIEW
 G-4.4 Scale: NT6

REAR (SOUTH WEST) RENDERING G-3.4

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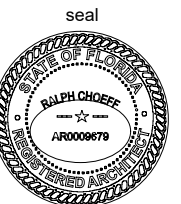
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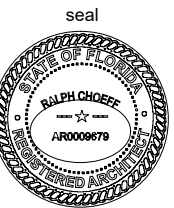
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1 SIDE (NORTH) VIEW
G-3.5 Scale: NT6



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1 SIDE (SOUTHEAST) VIEW
 G-3.5 Scale: NT6

SIDE (SOUTHEAST) RENDERING

G-3.6

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