

**Historical Resources Report  
336 Meridian Avenue  
Miami Beach Florida 33139**



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## Neighborhood Context

336 Meridian Avenue is located mid-block between 3rd Street and 4th Street in Miami Beach, with the rear of the property abutting Meridian Court. This area, situated between Jefferson Avenue and Meridian Avenue, is characterized by a consistent development pattern: many properties contain two buildings, with the front building facing the avenue typically designated as a contributing historic structure. In contrast, the rear buildings were generally constructed at a later date and are not considered historically significant.

Miami Beach was so very different back in 1921 when this simple two (2) story post war deco structure was designed and constructed at 336 Meridian Avenue in the area of Miami Beach known as Ocean Beach. The neighborhood surrounding this building location was back in the 1920s - was one of the city's then local 'epicenters' of activity with three (3) Bathing Houses within a three (3) block walk on Ocean Drive plus hotels and the Dog Track and Joe's Stone Crab Restaurant nearby.



"Situated at the southern tip of present day Miami Beach and surrounded by a magnificent expanse of tropical blue water and boundless sky, Ocean Beach became a magnet for pioneer tourists and adventurous residents of fledgling Miami in the early twentieth century."<sup>1</sup>

"The Ocean Beach Historic District includes parts of the original Ocean Beach Subdivision platted in 1912 and parts of Ocean Beach Additions 3 and 4 platted in 1917, as well as part of the Friedman and Cope Subdivision platted in 1917, The location of these boundaries has been determined through careful investigation and research of building records. The demographic areas south of Sixth Street which possess a significant concentration of buildings and sites that are united by the historical development of Ocean

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<sup>1</sup> City of Miami Beach Historic District Designation Report for the Ocean Beach Historic District, October 1995, p. 11

Beach as a vibrant but modest seaside resort, abundant with enticing recreational amenities for the working class, and unusually welcoming to persons of Jewish heritage."<sup>2</sup>

"By 1912, this idyllic aquatic resort area had begun to attract the interest of a cast of personalities who would, in their own ways, play important roles in the development of Miami Beach as a destination in the sun."<sup>3</sup> The first planning act occurred in 1912, when two Miami bankers, John N. Lummus and James E. Lummus, formed the Ocean Beach Realty Company and platted a small ocean-facing portion of their land at the southern tip of Miami Beach.



"...as late as 1917, Miami Beach was described as a wilderness. It was a sub-tropical barrier island comprising three interrelated ecosystems; a beach along the Atlantic ocean-front that merged with the dunes and the remnants of earlier coconut tree plantings; a low scrub forest in the interior; and a belt of mangroves facing Biscayne Bay on its west side."<sup>4</sup>

"In South Beach the Ocean Beach Realty Company assembled the traditional elements of a seaside resort city: an 'oceanfront' boardwalk' as the setting for an

architectural promenade; bathing casinos' built along the ocean; an entertainment pier and a mix of homes, hotels and boarding houses."<sup>5</sup>

"During the 1920's and 1930's Ocean Beach south of 6th Street became a thriving seaside resort and recreational area. The 1935 Franklin Survey of Miami Beach records several substantial recreational facilities" - including the following establishments:

1. Hardie's Beach Casino - on the Ocean between 1st & 2nd Streets
2. Biscayne Plaza Theater -SW corner Biscayne St. & Collins

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<sup>2</sup> Id., p. 7

<sup>3</sup> Id.

<sup>4</sup> Id., p. 14

<sup>5</sup> Id.

3. Collins Arcade - SE corner of 5th Street and Collins Avenue
4. Cook's Casino - SE corner of 5th Street and Ocean Drive
5. Dixie Bathhouse - SE corner of 1st Street and Ocean Drive
6. Grandstand & Club House - foot of Collins + Government Cut
7. Miami Beach Kennel Club (racetrack) - foot of Ocean Drive on Biscayne Street
8. Million Dollar Pier - on the Ocean at the east end of Biscayne Street
9. Minsky's Burlesque - Million Dollar Pier

"Ocean Beach below Sixth Street was clearly not built for the social elite as areas further north were. The Lummus brothers' development philosophy was to build a modest resort community by the sea welcoming to the common man. The small scale and simplicity of the architecture is reflective of this attitude and is a significant characteristic of the area. The generally modest Art Deco and Mediterranean Revival hotels on the east side of Ocean Beach were complemented by simple Bungalow blocks on the west side. Handsome two (2) and three (3) story apartment houses reflecting their period of construction filled the center of Ocean Beach. Some of these were small Art Deco gems."<sup>6</sup>

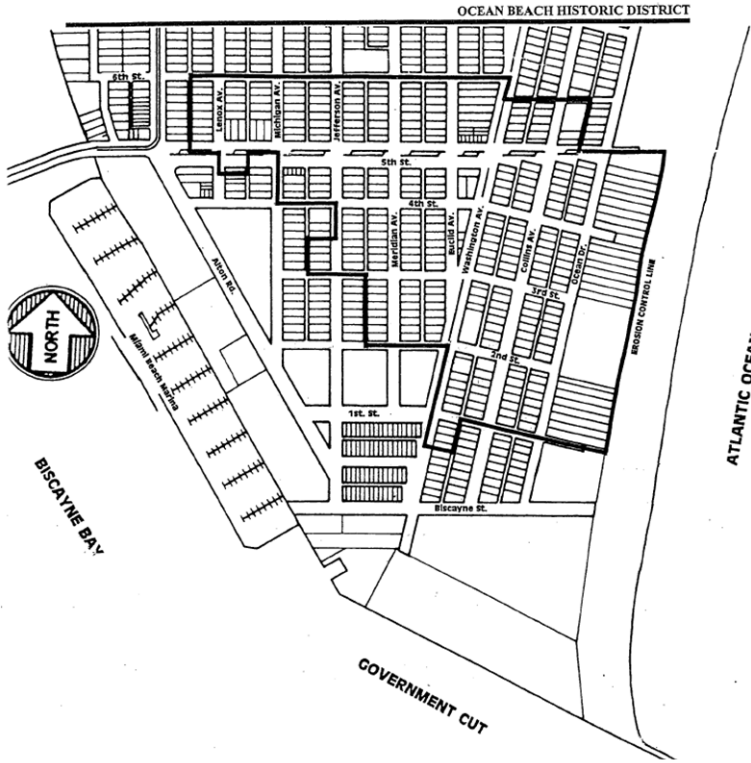
"Eventually a strong Jewish retail, institutional and residential presence manifested itself in Ocean Beach, especially along Washington and Collins Avenues and Ocean Drive. In the middle decades of the twentieth century, these streets were dotted with small Jewish businesses and apartments filled with Jewish tenants. In a two (2) block area on Collins Avenue between Third and Fifth Streets, for example, four Kosher markets and delicatessens later opened to serve a growing clientele. T.D. Allman, Miami - City of the Future."<sup>7</sup>

"As the first recorded subdivision in Miami Beach, the neighborhood within the proposed boundaries of the Ocean Beach Historic District deserves overdue recognition as the birthplace of the City of Miami Beach. "

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<sup>6</sup> Id., p. 17

<sup>7</sup> Id.



This image, taken from the Ocean Beach Historic District Designation Report, illustrates the proposed boundaries of the Ocean Beach Historic District prior to their formal adoption.

## 336 Meridian Avenue



The residence was originally constructed in 1936 and designed by B. Kingston Hall, a noted local architect who maintained an office on Washington Avenue during the 1930s. More than twenty (20) of Hall's structures still remain in Miami Beach, the majority of which are designated as "contributing" within historic districts. In 1948, a detached addition was added to the rear of the property designed by A. L. Klingbeil. Notably, the addition contains no historical significance. In 1992, both structures on the property were renovated without permits. The scope of work included installing new roofs and windows on both buildings.

The front building on the property, which faces Meridian Avenue, is classified as a contributing structure. In contrast, the rear building is not classified. The front building features a distinctive Art Deco façade, including a prominent circular entry element within a projecting entranceway. Additional notable design elements include horizontal banding at both the top and bottom of the façade—hallmarks of the period’s architectural style.



Front Façade



Front Façade from SE Corner



Front Façade



Front Façade from SE Corner



Rear Building



Rear Façade Detail



Rear Façade

Other historically significant projects in Miami Beach designed by B. Kingston Hall:

### Blackstone Hotel

The Blackstone Hotel at 830 Washington Avenue in Miami Beach was designed by architect B. Kingston Hall in 1929. Nathan Stone was the developer and built this 13-story hotel in the Mediterranean Revival style. In 1929, the Blackstone Hotel was the tallest structure on the Beach and served as a monumental, elegant design in a resort town of low-rise structures. The Blackstone Hotel is reputed to be the first Miami Beach hotel to solicit Jewish clients, and also the first to give accommodation to African Americans.



### Seymour Hotel

The Seymour Hotel at 1671 Collins Avenue in Miami Beach, was designed by B. Kingston Hall in 1936, is a historic art deco building known for its tropical design and central location in the historic district. While it's not the original Hotel Seymour (that was in Wisconsin), it holds a significant place in Miami Beach's architectural history.



### Building Cards

MR. & MRS. ALEXANDER GAUTHEIR  
 Owner

Front Lot 4 Block 76 Subdivision O. B. #3  
 General Contractor W. M. Rosenfeld **3194**  
 Architect B. Kingston Hall  
 Front 40 Depth 30 Height 25  
 Type of construction c - b - s Cost \$ 9,200.00

Mailing Address Permit No. 8359  
 No. 336 Street Meridian ave. Date June 10-1936  
 Address **4203-09-516**  
 Address  
 Stories 2 Use Apartment House  
 Foundation reinf. concrete Roof 4 units comp

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Plumbing Contractor Dulbs- #9125 Address Date June 18-1936  
 No. fixtures 14 Rough approved by Date  
 No. Receptacles Gas stove 4 gas heater 4  
 Plumbing Contractor **METRO ORD. #75-34** Date  
 No. fixtures set Final approved by **RECERTIFICATION DATE: 9-21-37**  
 Sewer connection -- 1 Septic tank Make Date

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Electrical Contractor Wessells #6879 Address Date 7-24-1936  
 No. outlets 40 Heaters Stoves Motors Fans Temporary service Saw- 6-16-1936  
 Rough approved by Date Wessells-#6711  
 Electrical Contractor Address Date  
 No. fixtures set 30 Final approved by Date  
 Date of service August 28-1936

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Alterations or repairs Electrical # 17425- Tropical Electric- 2 water heater - 2 centers - 8 - 4 - 41  
 BUILDING PERMIT # 25101 Painting - outside - Louis Berk painter \$ 350... Aug. 5, 1947  
 Final OK 8-5-41

Greenfield BUILDING PERMIT #43766 Garbage Bin, 8-ft long x 24" deep x 36" high -and- PAVING between house & garbage bin(paving 8-ftx7-ft): owner: \$ 60: Jan 14, 1954  
#44392 Owner: ADDITION OF STORAGE ROOM: 4'5/8" Steel: Must call for Inspection: 8 x 5 x 7 x 1: Concrete Roof: Spread Footing 12x24: \$200: April 22, 1954  
#58625 Ideal Roofing & Sheet Metal Works: Reroofing - \$400 - March 18, 1959  
#72921 Acme Supply Co.: Replace solars - \$1,000 - 11/10/64  
#20677 8/5/81 owner case #11730 MH - painting, patching, screens \$1,000.  
#M9329 - J&T A/C - 1 A/C wind - 9-4-87  
#31332 - 11-17-87 - Owner - Paint, stucco interior only - \$3,000.00

ELECTRICAL PERMIT # 28770 Angler Electric: violations- May 11, 1949  
300 Meridian Ave. 46273 Kenny Electric: 1 refrigerator outlet, 1 iron outlet December 1, 1955

Plumbing 56591-Peoples Gas System-1 gas range 10-25-78  
#62119 6/17/85 Donald F. Koski 1 sewer connection  
#63644 - Serota Plumbing - 4 Lavatory, 4 sink, residence, 4 water closet, 1 heater-replace, 4 units repipe hot and cold water - 11-30-87

Owner **ALEX. GREENFIELD** Mailing Address Permit No. **27734** Cost \$ **10,000**  
 Lot **6** Block **71** Subdivision **OCEAN BEACH** Address **338 Westcliff Avenue**  
 General Contractor **Telia Construction Co.** Bond No. **19377** Engineer **4203-09-516**  
 Architect **A. D. Klingbeil** **3194.1** Lot Size **50 x 140**  
 Zoning Regulations: Use **R-1** Area **24** Height **15'** Stories **1**  
 Building Size: Front **30'** Depth **30'** Use **RESIDENCE, GAR PORTH: 2 bedrooms, 1 bath**  
 Certificate of Occupancy No. \_\_\_\_\_  
 Type of Construction **1-1** Foundation **Spread Footing 12x24** Roof **Tile** Date **July 7, 1948**

Plumbing Contractor Sewer Connection Date \_\_\_\_\_  
 Temporary Closet Date \_\_\_\_\_  
 Plumbing Contractor # **26366** **Phillips Plumbing** Date **July 23, 1948**  
 Water Closets **1** Bath Tubs **1** Floor Drains Laundry Tray **1**  
 Lavatories **1** Showers Grease Traps Electric Water Heater **1**  
 Urinals Sinks **1** Drinking Fountains  
 Gas Stoves Gas Heaters Rough Approved Date \_\_\_\_\_  
 Gas Radiators Gas Turn On Approved **ORD. #75-34**  
 Septic Tank Contractor Tank Size **INDICATION DATE: 8-21-48** Date **8-21-48**  
 Oil Burner Contractor Tank Size Date \_\_\_\_\_  
 Sprinkler System

Electrical Contractor # **27004** **E. C. Cornelius** Address Date **Aug. 17, 1948**  
 Switch **11** Range Motors Fans Temporary Service  
 OUTLETS Light **16** HEATERS Water **1** Centers of Distribution **2**  
 Receptacles **18** Space **1** Service-Equipment **1**  
 Refrigerators **1** Sign Outlets  
 Irons **1**  
 No. FIXTURES **16** Electrical Contractor # **27376** **Cornelius Electric** Date **Oct. 13, 1948**  
 FINAL APPROVED BY **Woodmansee** Date of Service **October 1, 1948**

Alterations or Repairs—Over

ALTERATIONS & ADDITIONS

**Building Permits:**

021792 Giffen Roofing Co. roof repair 24 squares \$275.00 1/24/69

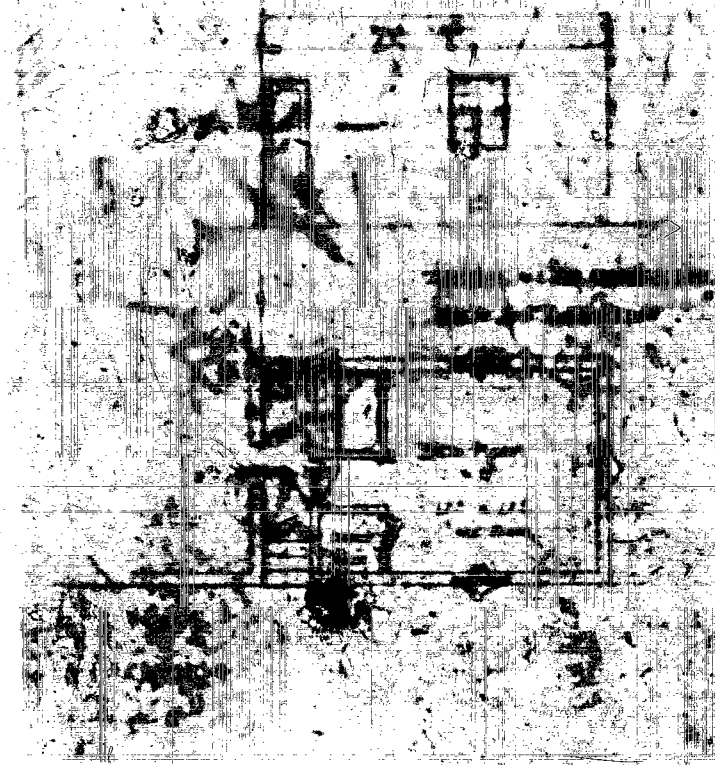
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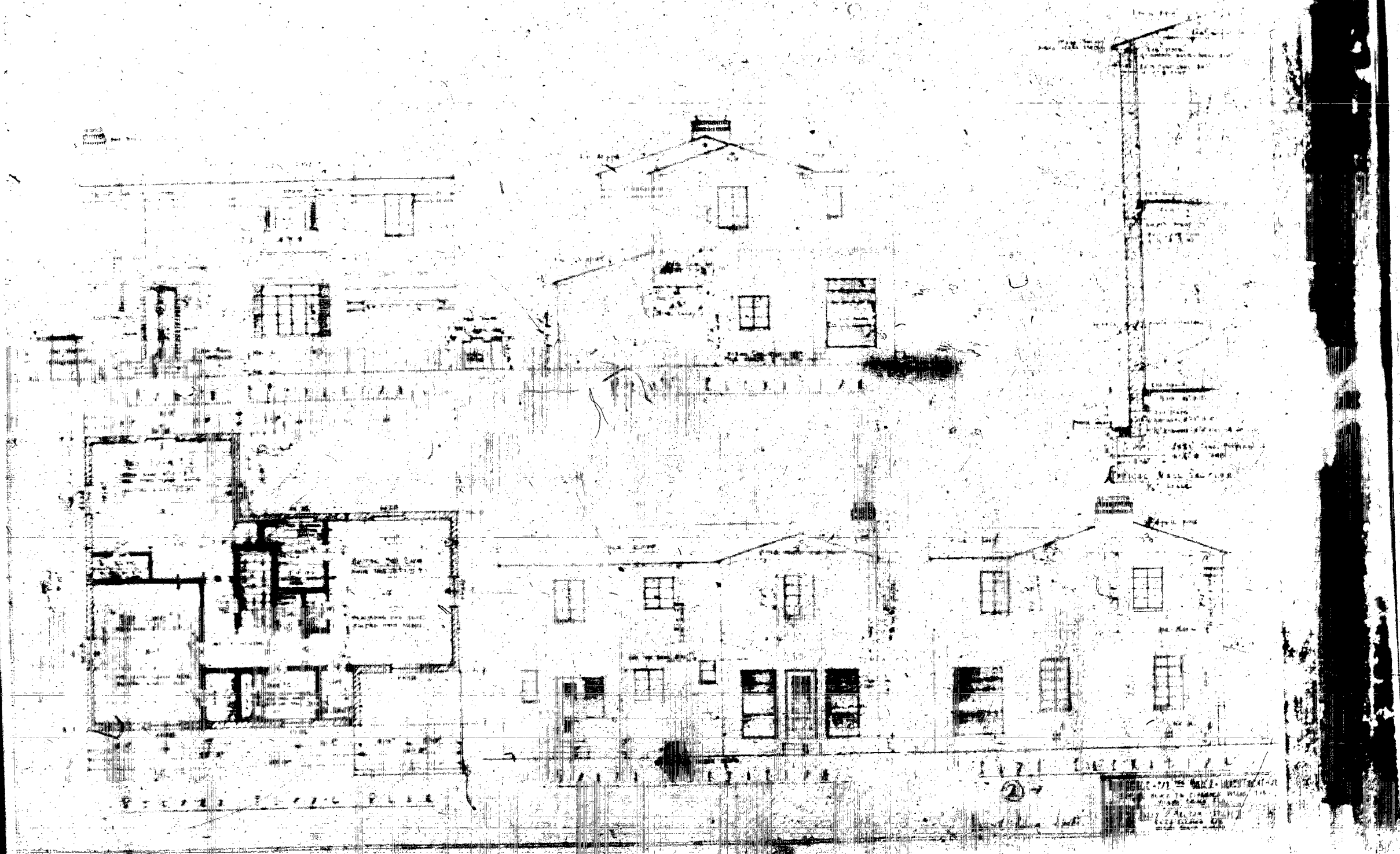
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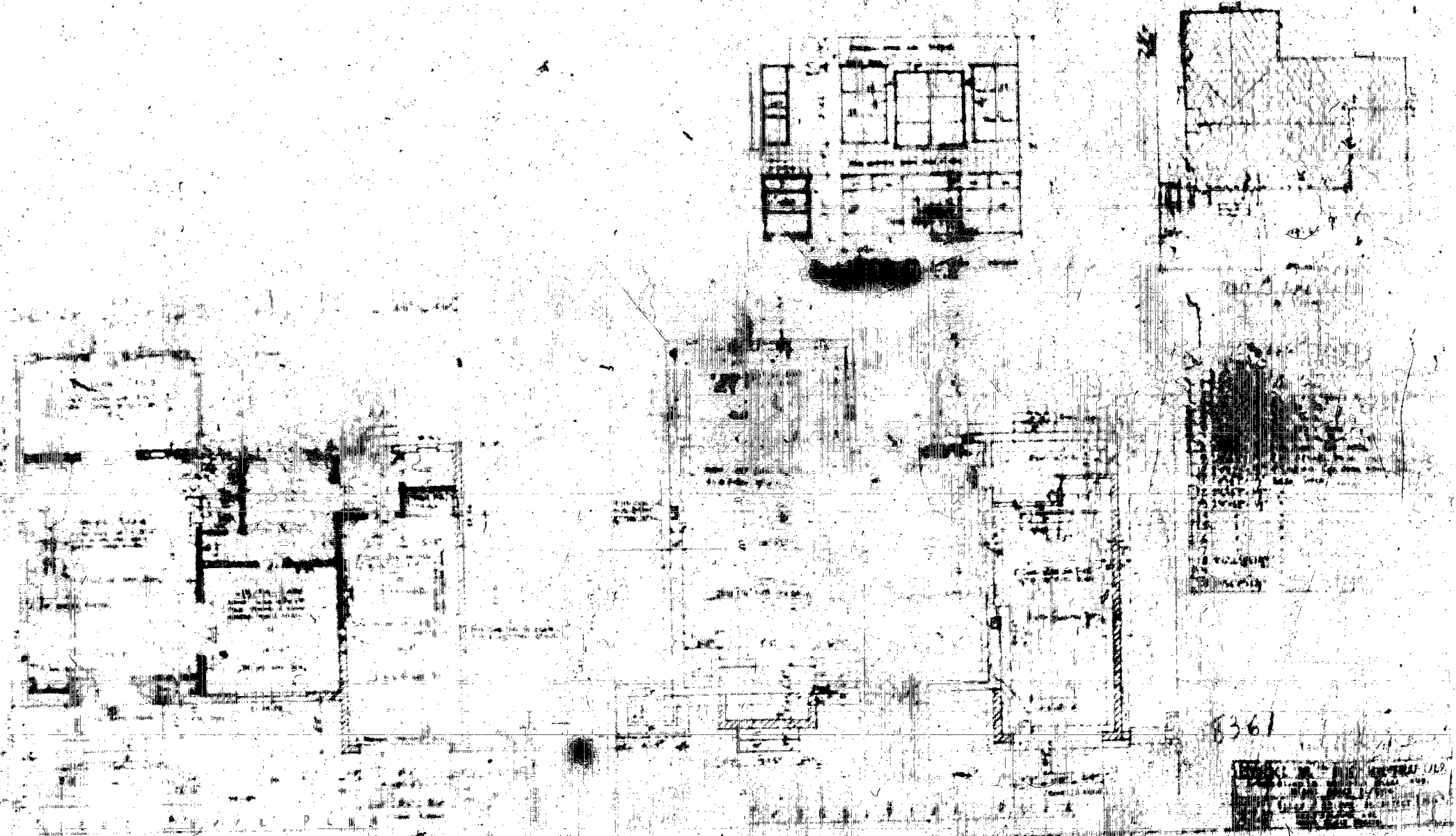
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8361-8921  
③



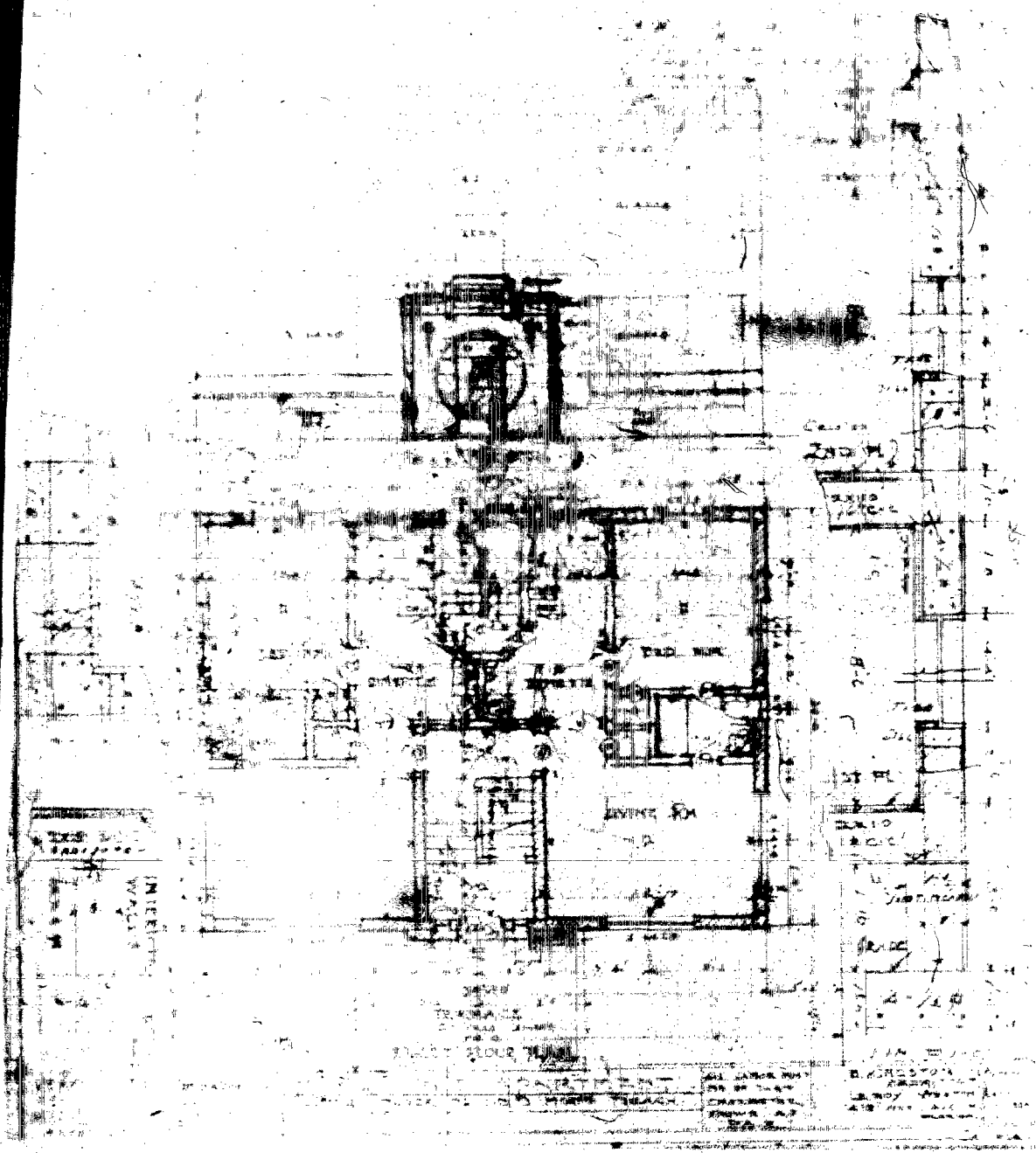
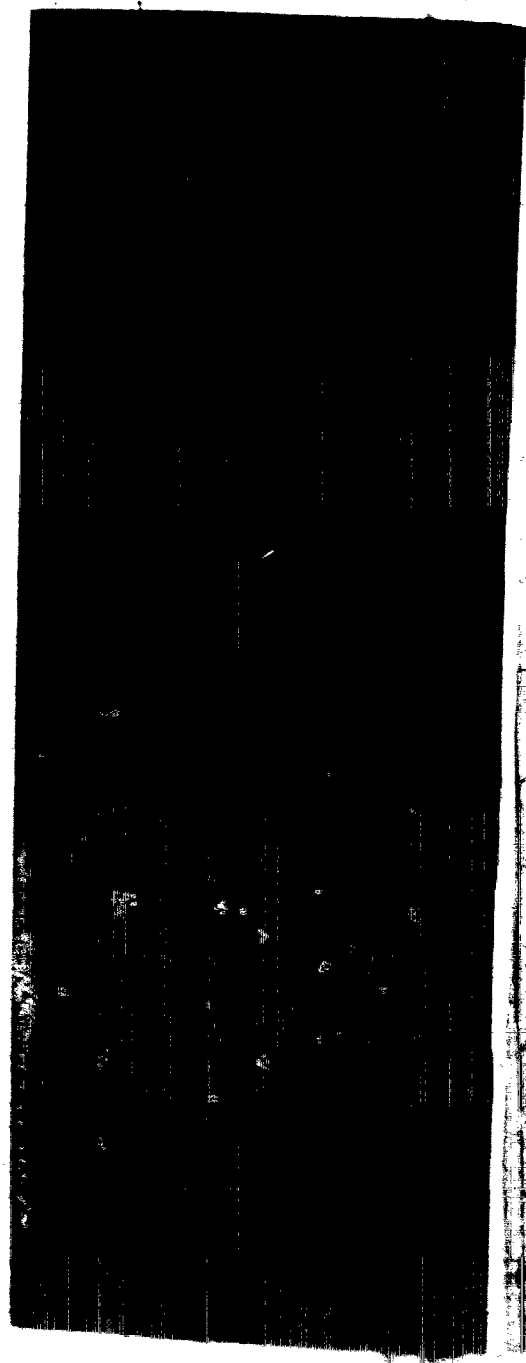
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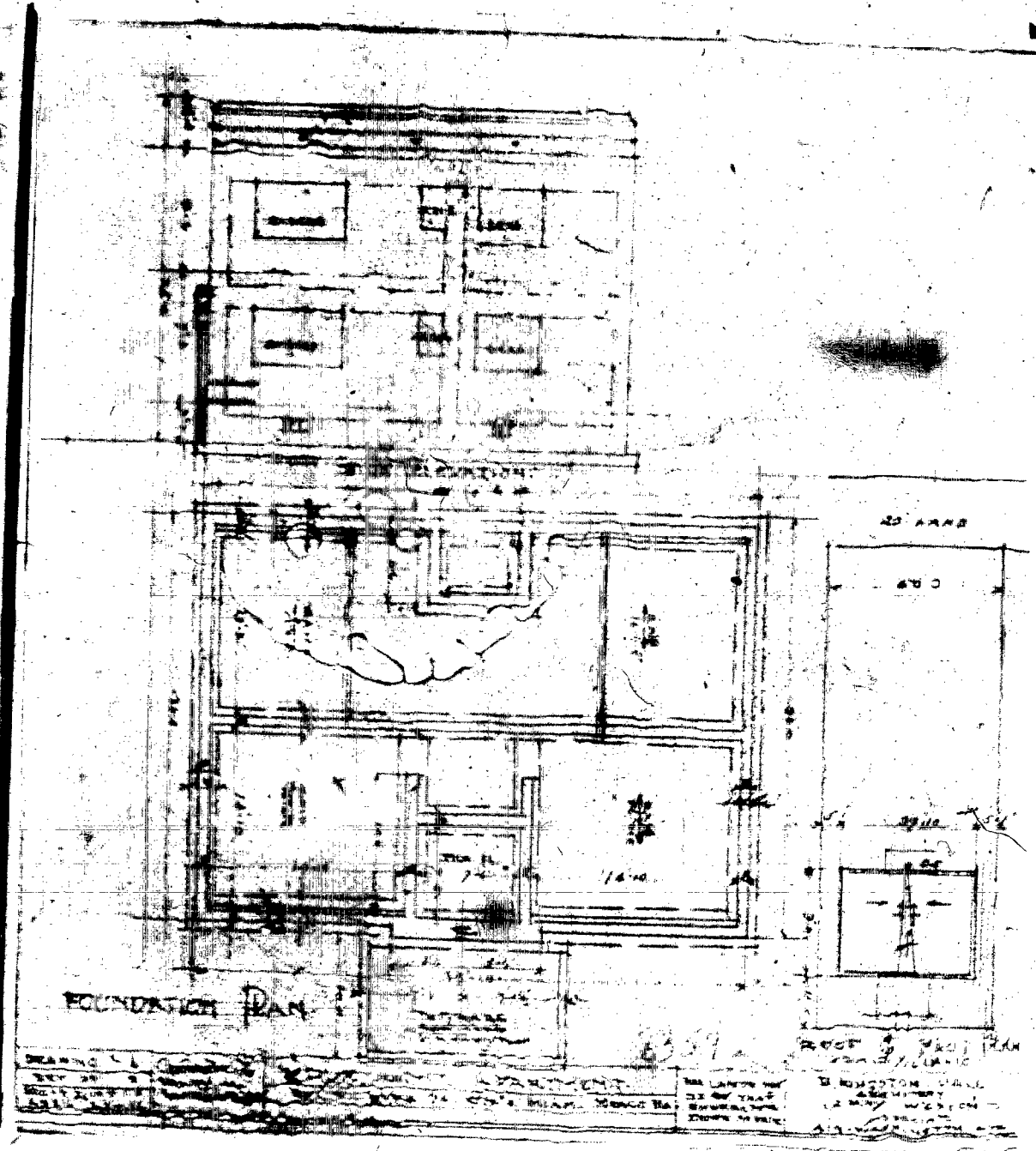


8367

ARCHITECTURAL DRAWING  
NO. 112  
1952







FOUNDATION PLAN

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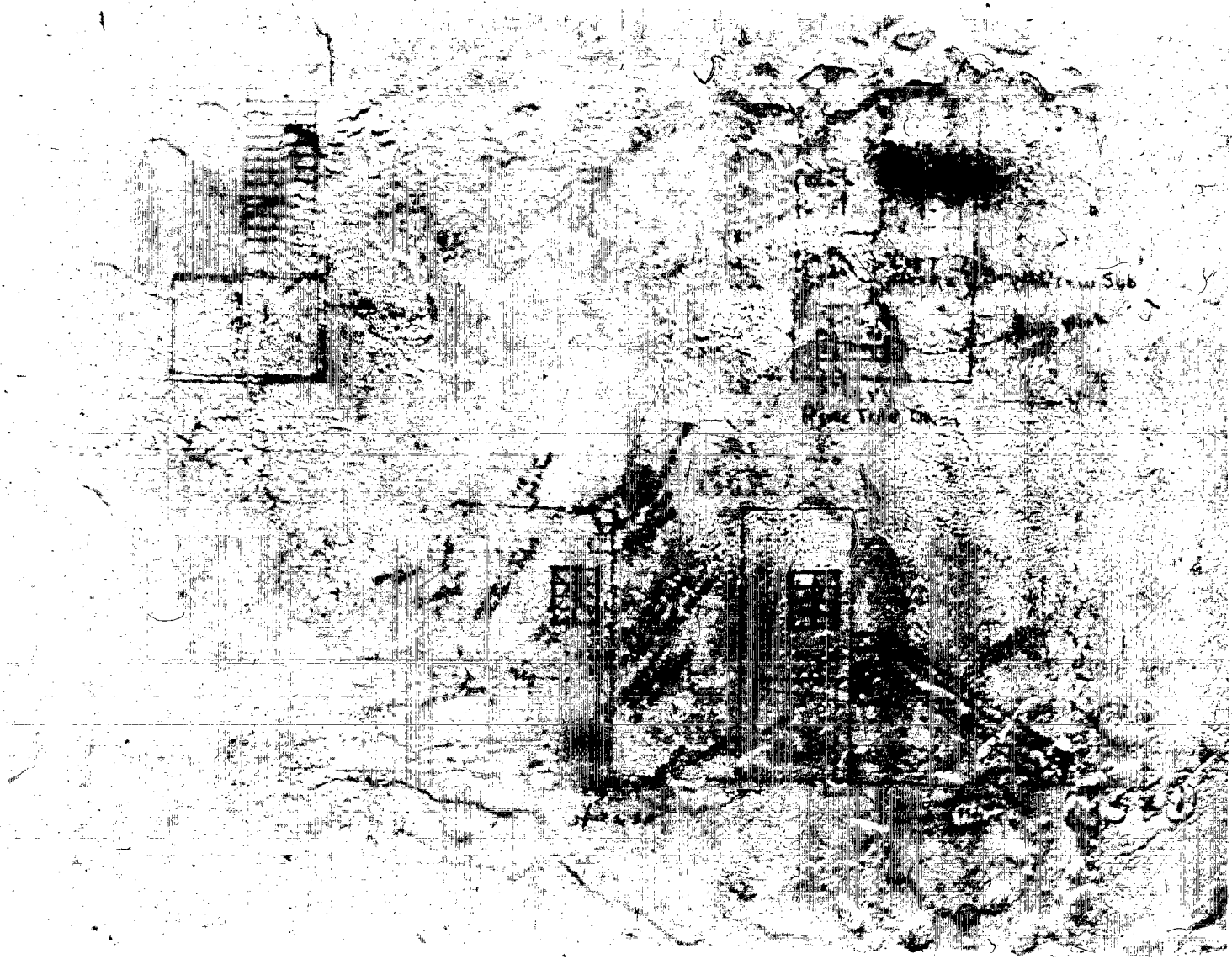
6' 00"

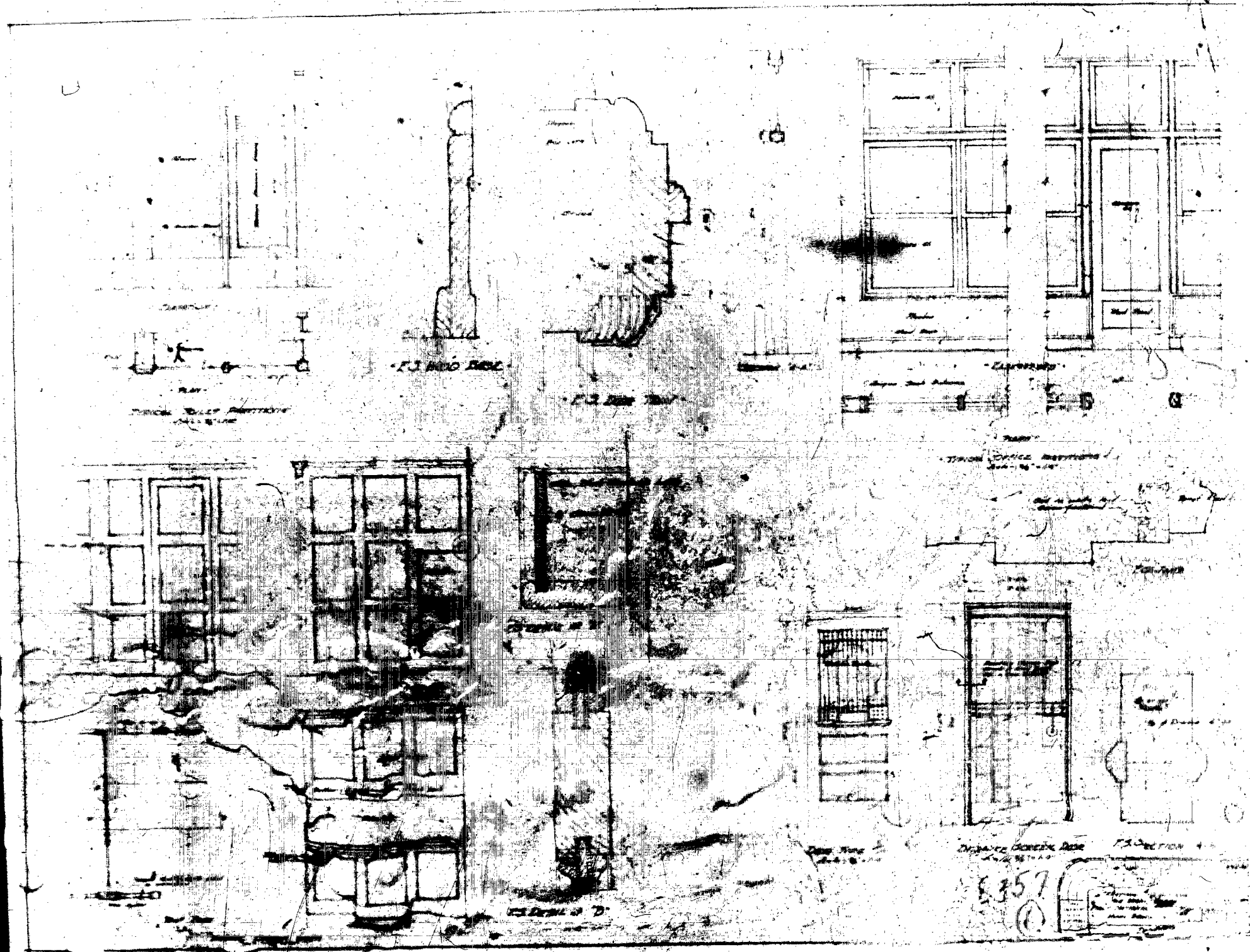
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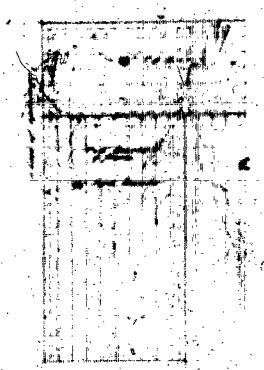
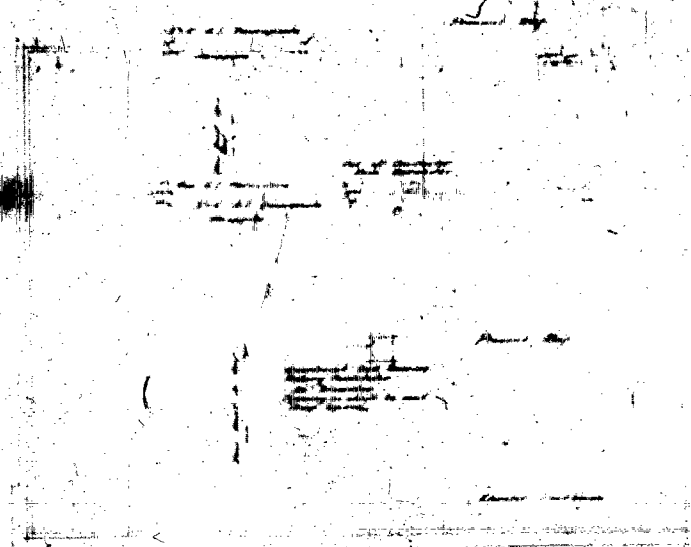
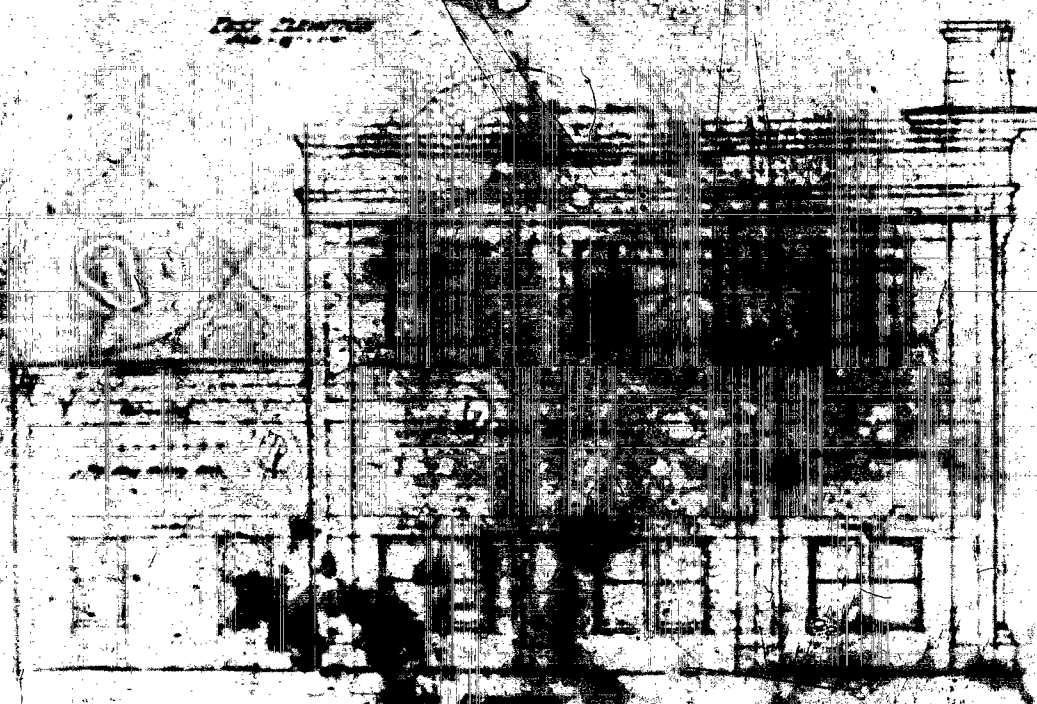
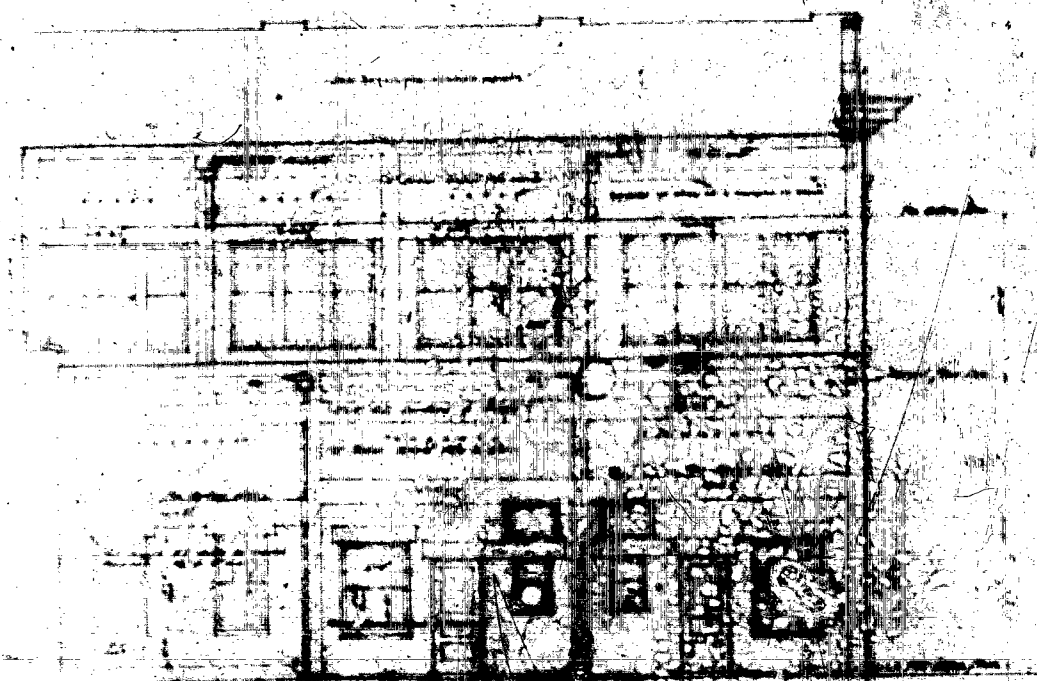
DRAWING BY  
REV. 10/1/50  
BY: [illegible]

ALL WORK TO BE  
BY THE CONTRACTOR  
EXCEPT AS NOTED

WASHINGTON, D.C.  
ARCHITECT





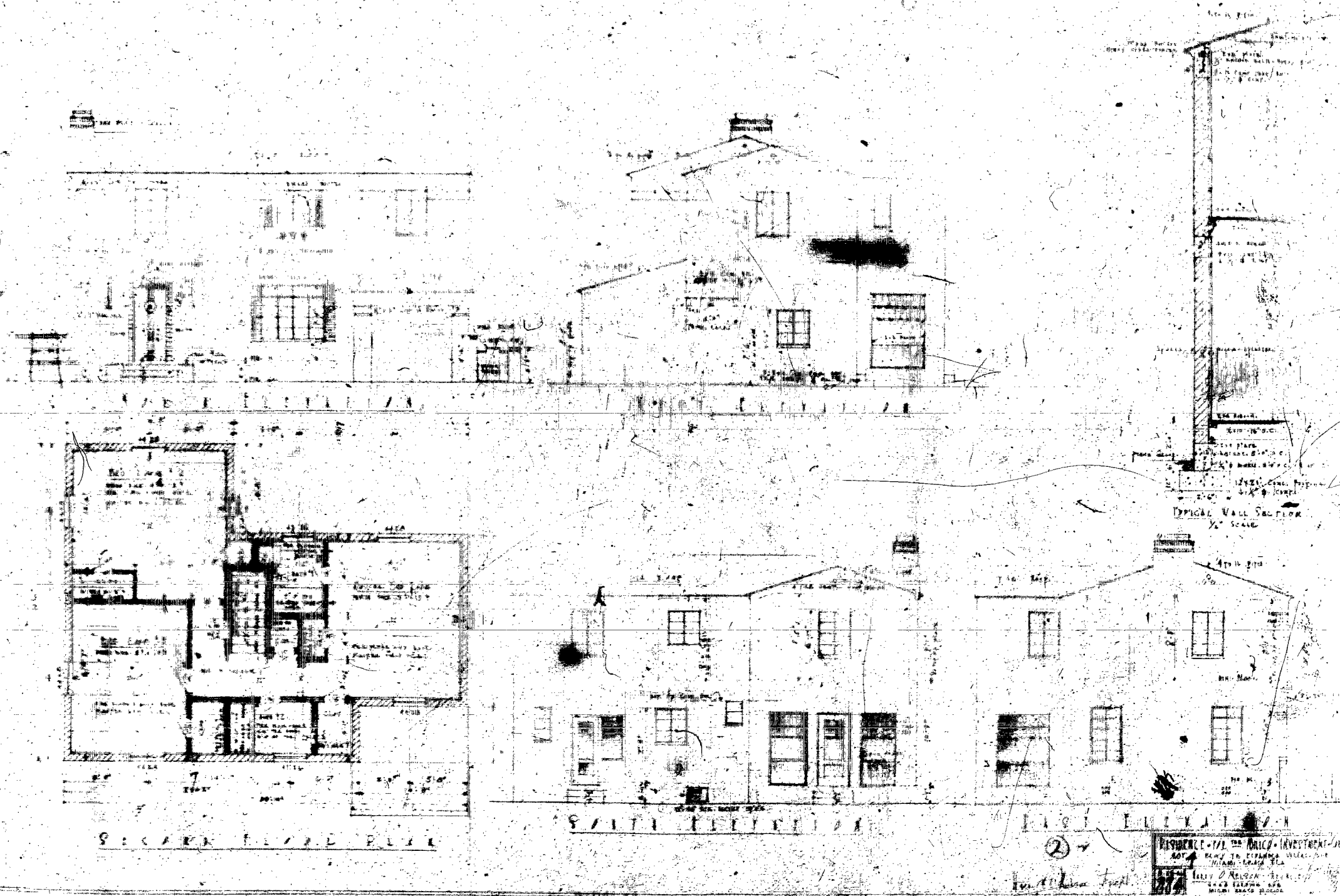


TRAVEL OFFICE, NEW YORK, N.Y.  
ARCHITECTS AND ENGINEERS  
1910



6361 6921

(3)



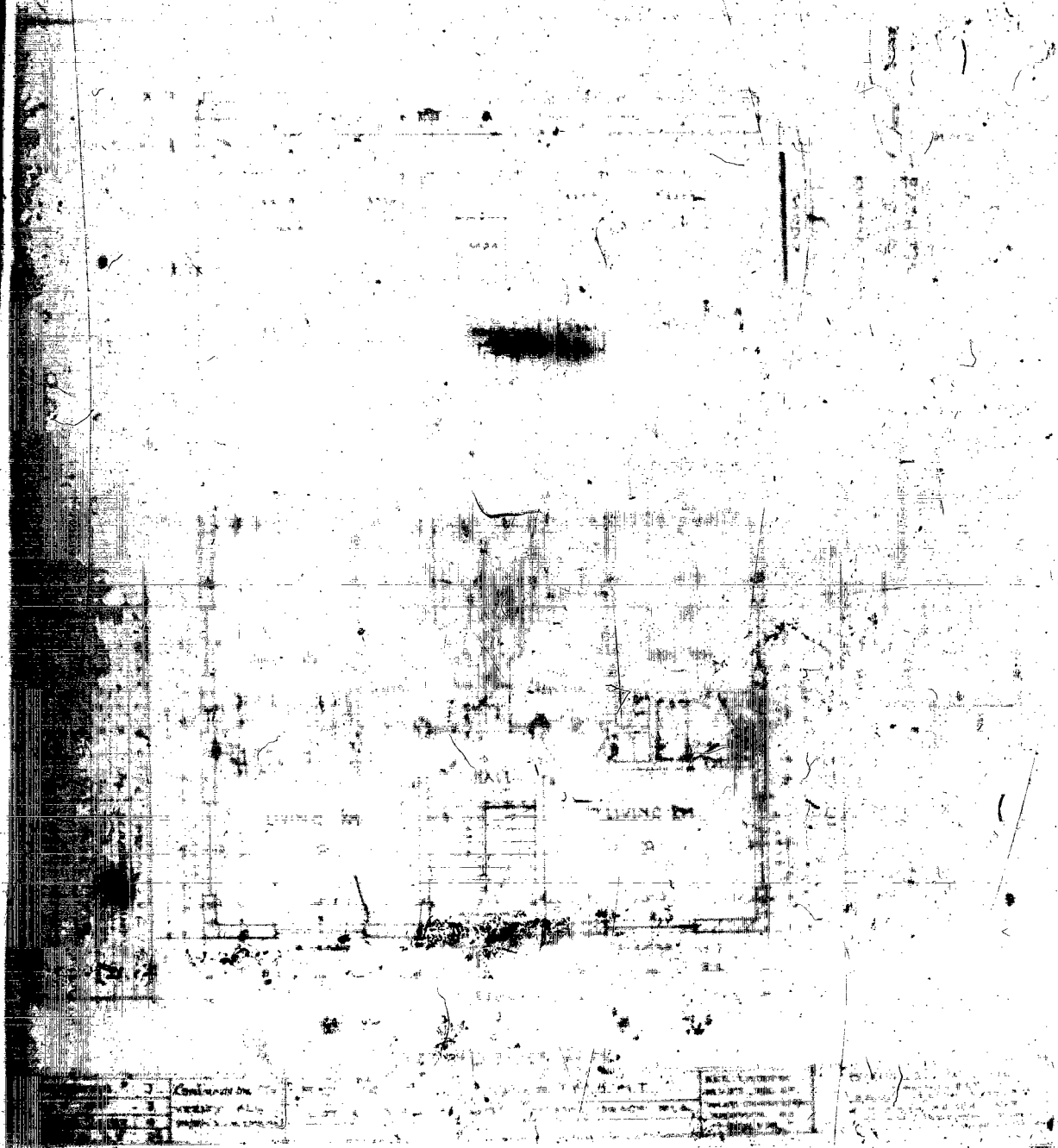
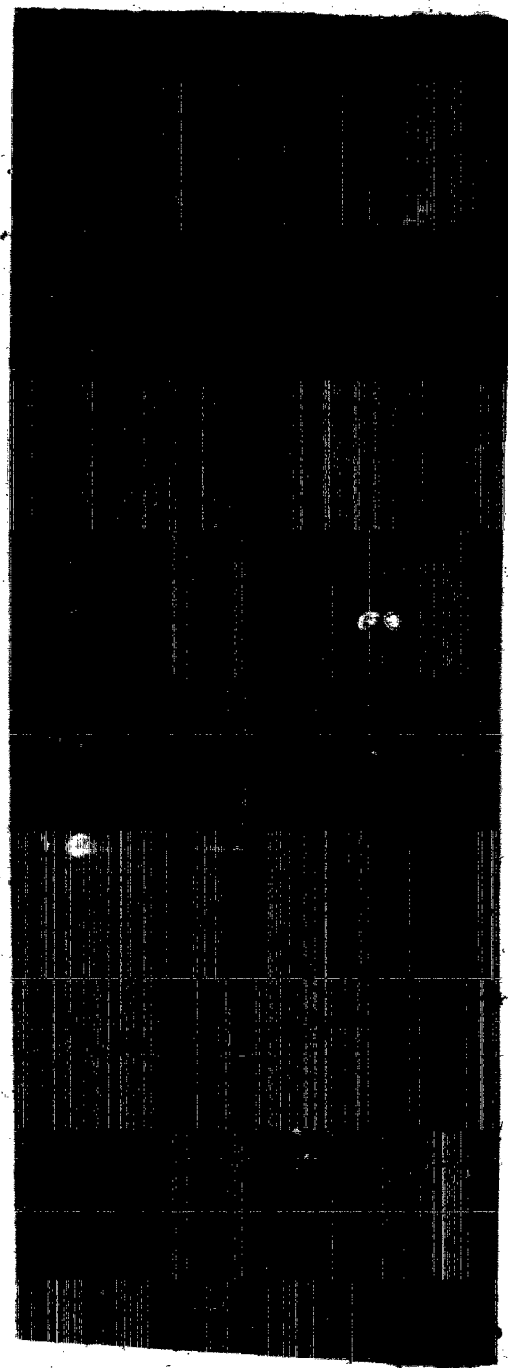
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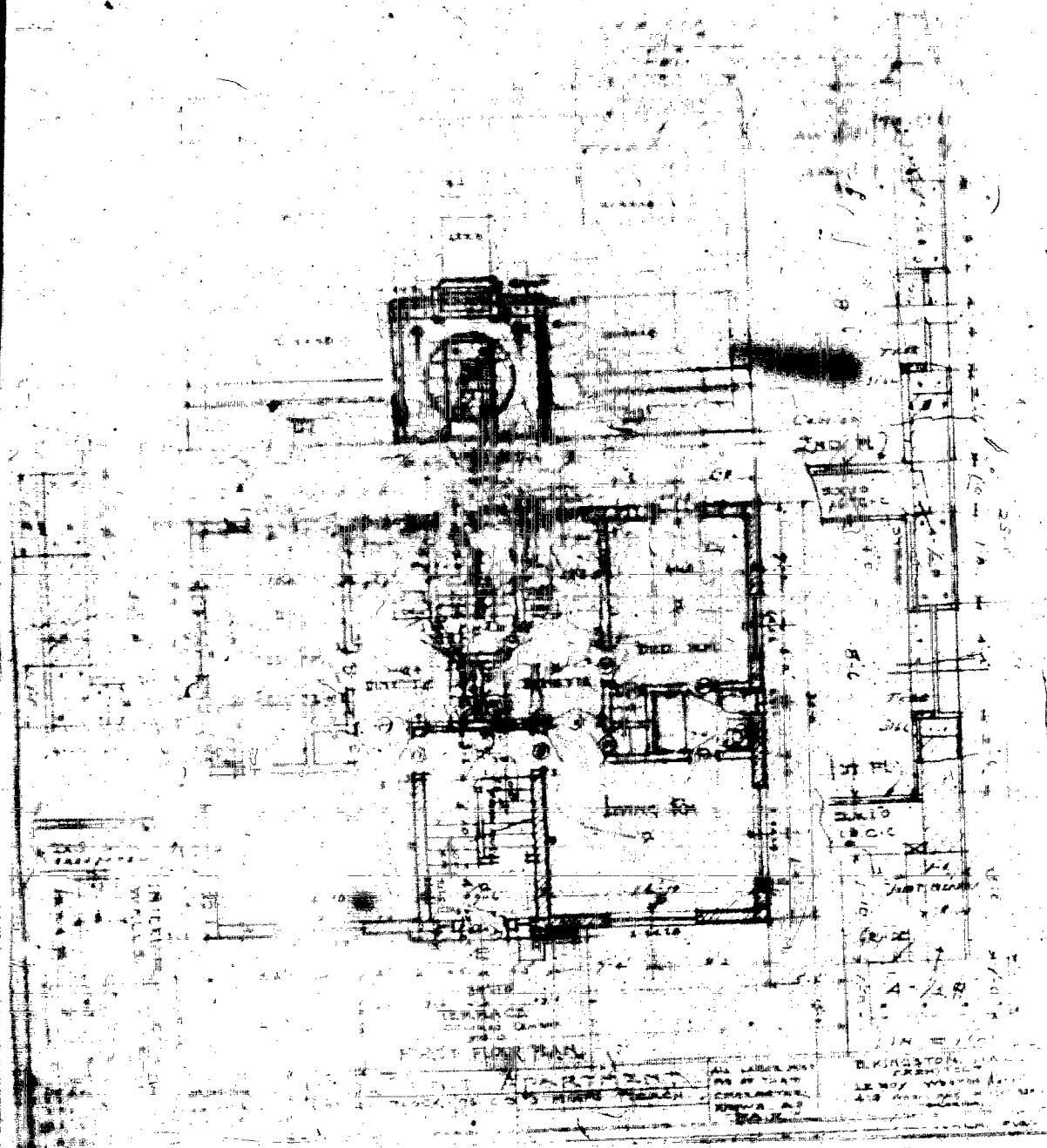
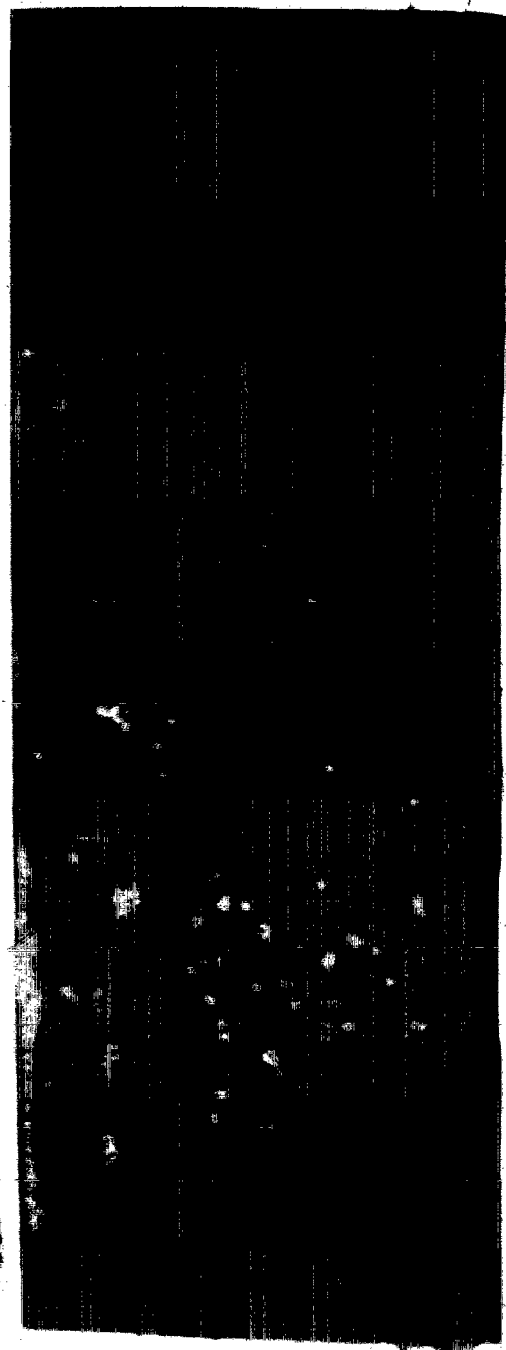
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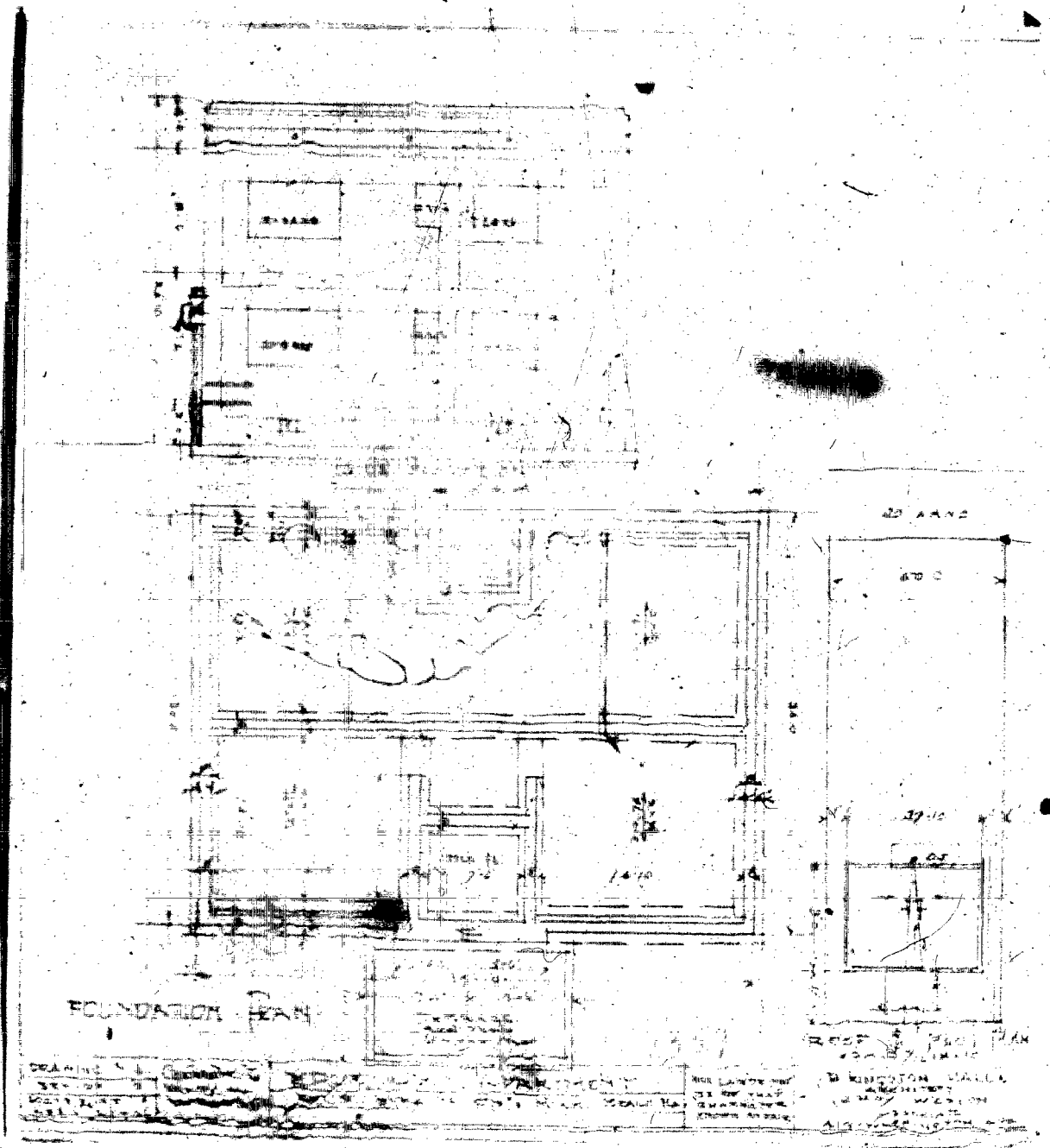
EAST ELEVATION

RESIDENTIAL - THE PRICE INVESTMENT CO.  
 207 N. MIAMI AVENUE  
 MIAMI, FLORIDA  
 JERRY O. REIDEN - ARCHITECT  
 1400 S. MIAMI AVENUE  
 MIAMI, FLORIDA









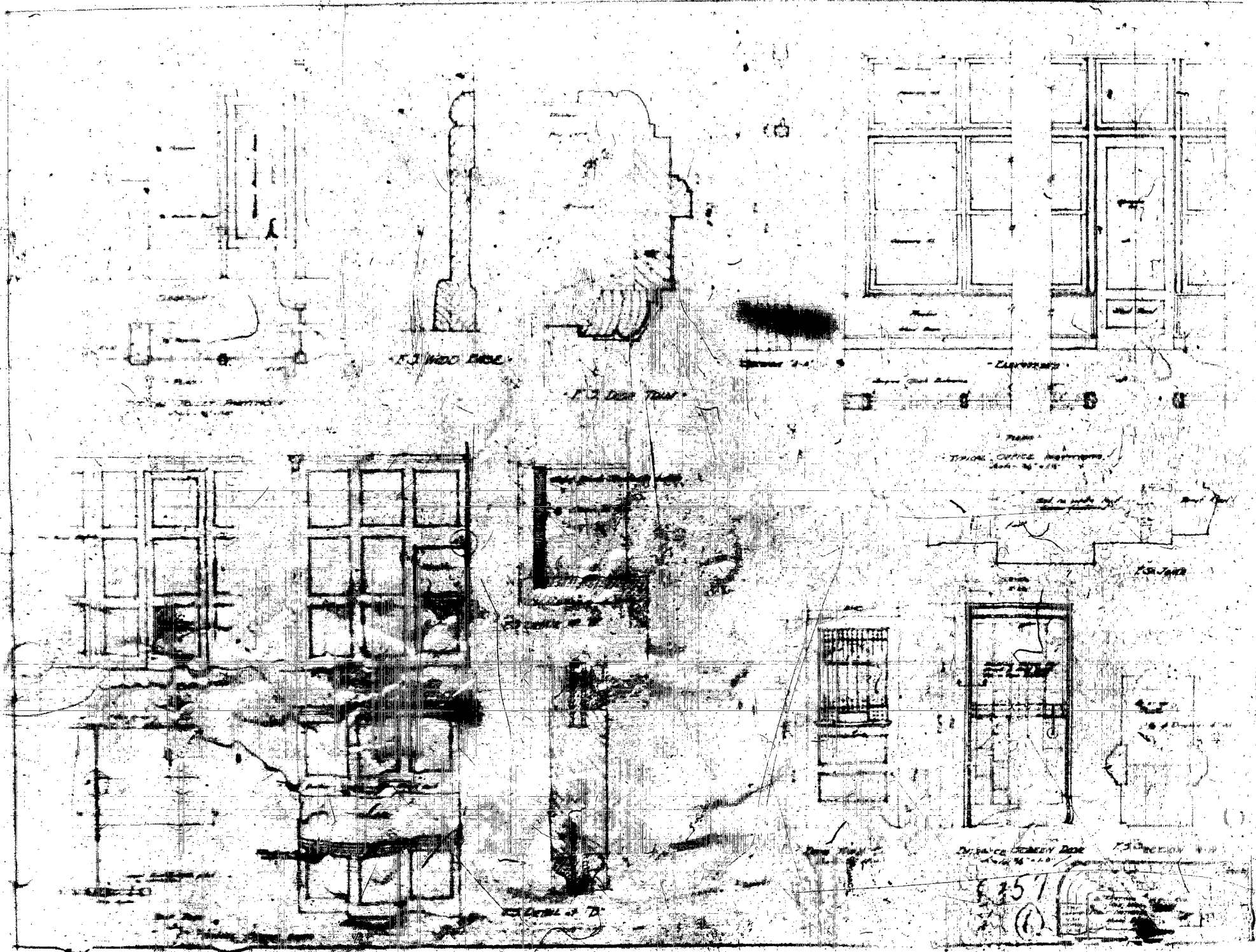
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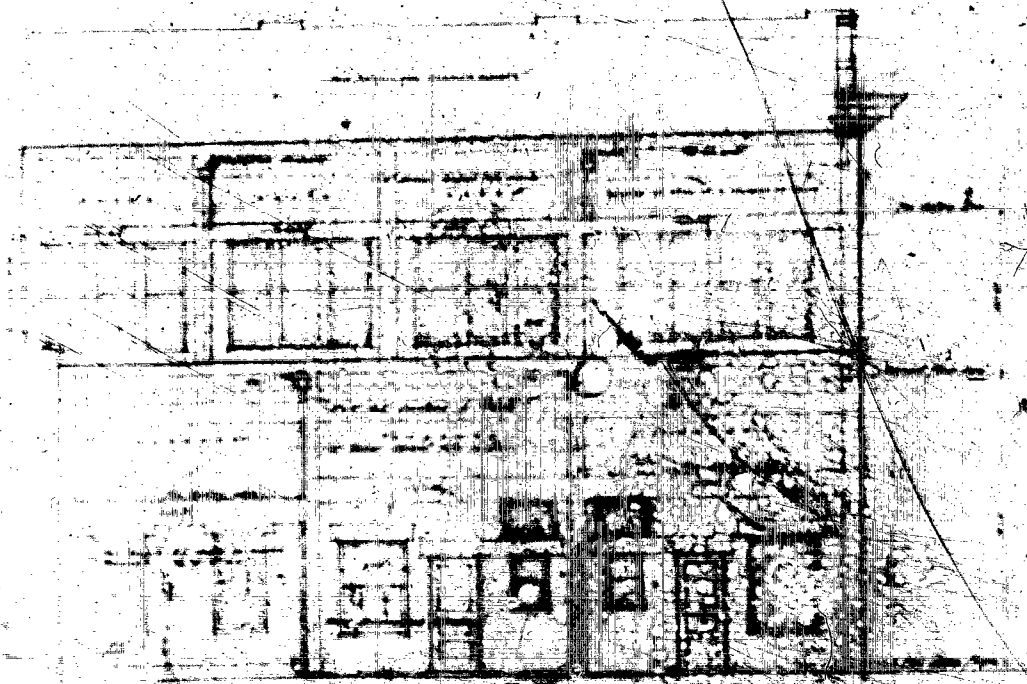
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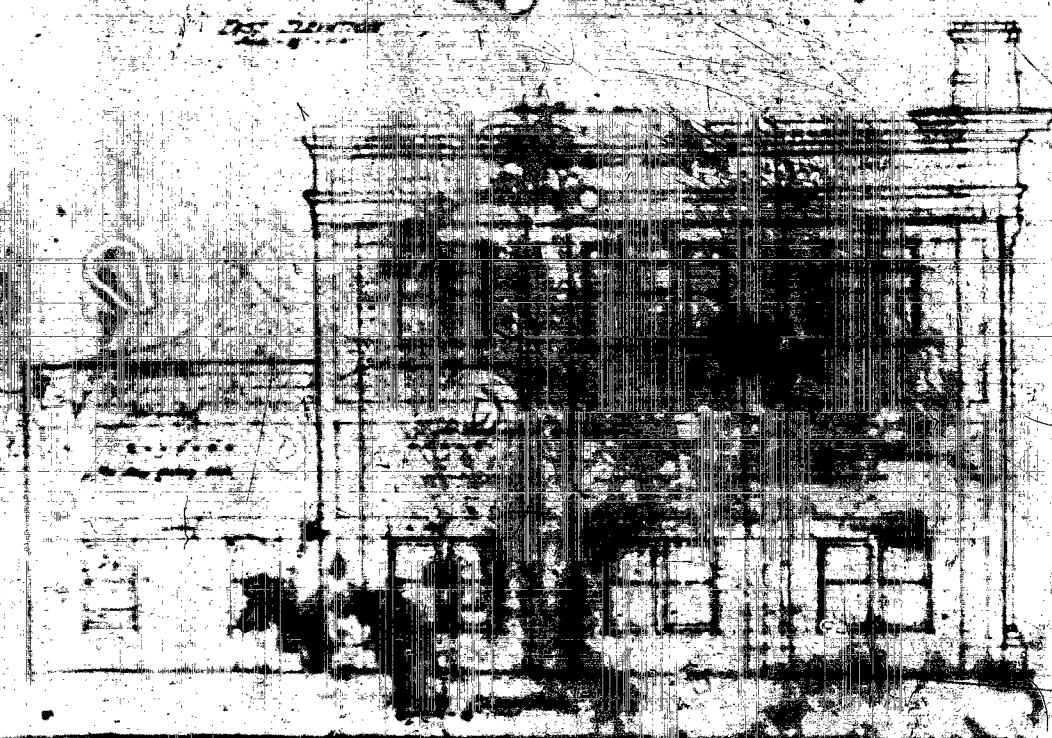
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 WESTON  
 MASSACHUSETTS



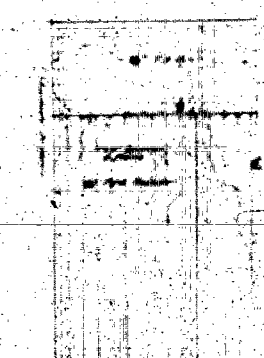




1750 - 1750



1750 - 1750



1750 - 1750

