



NIGHT CLUB MIAMI

# HISTORIC PRESERVATION BOARD — FIRST SUBMITTAL—NIGHTCLUB PLANNING BOARD — CONDITIONAL USE PERMIT — FIRST SUBMITTAL

323 23 STREET MIAMI BEACH, FLORIDA 33139

### PROJECT DESCRIPTION & SCOPE OF WORK:

THIS WORK INCLUDES NON-SUBSTANTIAL INTERIOR & EXTERIOR IMPROVEMENTS OF AN EXISTING 4,164 SQ.FT. NIGHT CLUB, GROUP (A-2). DETAILED DESCRIPTION PER TRADE BELOW, REF FOLLOWING SHTS FOR MORE INFO:

- EXTERIOR IMPROVEMENTS FOR INCLUSION OF PERSONS WITH DISABILITY (BRING EXTERIOR AREAS INTO COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT) AND RESPOND TO THE CITY OF MIAMI BEACH CODE OF ORDINANCES SECTION 7.1.2.4 OF THE CITY RESILIENCY CODE ("SEA LEVEL RISE AND RESILIENCY CODE").
- ADDITION OF SHADING DEVICES ON EXTERIOR, INCLUDING CLADDING, PERGOLAS AND AWNINGS.
- MODERNIZATION OF EXTERIOR ILLUMINATION TO MEET LIFE SAFETY AND EGRESS REQUIREMENTS.
- OUTDOOR FOOD HANDLING AND PREPARATION.

#### APPLICABLE CODES & REGULATIONS:

FLORIDA BUILDING CODE:	FBC 2023	PLUMBING CODE:	FBC 2023 EDITION
ELECTRICAL CODE:	NEC 2020	MECHANICAL CODE:	FBC 2023 EDITION
FIRE PROTECTION:	FFPC 2020 8th EDITION	ENERGY CODE:	FBC 2023 EDITION

#### CODE CLASSIFICATION:

OCCUPANCY GROUP.....ASSEMBLY GROUP (A-2), SECTION 303.3

CONSTRUCTION CLASSIFICATIONS.....FBC 504: EXIST BUILDING INT LEVEL 2 ALTERATION

FFPC 101: MODIFICATION, 43.5.1.1

COMPLIANCE METHOD.....FBC 301.1.2: WORK AREA COMPLIANCE METHOD ALTERATIONS, COMPLYING WITH CHAPTERS 5 THROUGH 13

BUILDING TYPE.....TYPE III-B UNPROTECTED NON-COMBUSTIBLE

FIRE SPRINKLERS.....YES, EXISTING SYSTEM MONITORED

FOLIO NUMBER.....02-3226-001-0540

### ZONING LEGEND:

COMMERCIAL - ZONING DATA SHEET  
ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY RESULT IN A FAILED REVIEW

ITEM #	Project Information	Required	Existing	Proposed	Deficiencies
1	Address: 323 23 ST Miami Beach FL 33139				
2	Folio number(s): 02-3226-001-0540				
3	Year built: 1925				
4	Board file number(s), Determination of Architectural Significance: N/A				
5	Lot Area: 8,890 Sq Ft				
6	Located within a Local Historic District (Yes or No): NO				
7	Zoning District: CD-3				
8	Lot width: 46'-6"				
9	Individual Historic Site (Yes or No): NO				
10	Lot Depth: 223'-6"				
11	Base Flood Elevation: -				
12	Grade value in NGVD: -				
13	Adjusted grade (BFE+Grade / 2): N/A				
14	Free board: N/A				
15	Proposed Use: N/A NO CHANGE				
16	Proposed Accessory Use: N/A NO CHANGE				
17	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan): N/A NO CHANGE				
ZONING INFORMATION / CALCULATION					
13	Floor Area Ratio (FAR)	2.25		NO CHANGE	NONE
14	Building Height	75' MAX	15'-9"	NO CHANGE	NONE
15	At grade parking lot on the same lot	N/A	N/A	N/A	N/A
a	Front setbacks	5'	10'-1"	NO CHANGE	NONE
b	Side interior setback	5'	8'-8"	NO CHANGE	NONE
c	Side facing street setback	5'	N/A	N/A	N/A
d	Rear setback	5 feet	57'-9"	NO CHANGE	NONE
16	Subterranean, Pedestal & Tower (non-Oceanfront)	Required	Existing	Proposed	Deficiencies
a	Front setbacks	N/A	N/A	N/A	N/A
b	Side interior setback	N/A	N/A	N/A	N/A
c	Side facing street setback	N/A	N/A	N/A	N/A
d	Rear setback	N/A	N/A	N/A	N/A
17	Subterranean, Pedestal & Tower (non-Oceanfront)	Required	Existing	Proposed	Deficiencies
a	Front setbacks	N/A	N/A	N/A	N/A
b	Side interior setback	N/A	N/A	N/A	N/A
c	Side facing street setback	N/A	N/A	N/A	N/A
d	Rear setback	N/A	N/A	N/A	N/A
18	Minimum Apartment Unit Size	Required	Existing	Proposed	Deficiencies
a	New Construction	N/A	N/A	N/A	N/A
b	Rehabilitated Buildings	N/A	N/A	N/A	N/A
c	Hotel Unit	N/A	N/A	N/A	N/A
19	Average Apartment Unit Size	Required	Existing	Proposed	Deficiencies
a	New Construction	N/A	N/A	N/A	N/A
b	Rehabilitated Buildings	N/A	N/A	N/A	N/A
c	Hotel Unit	N/A	N/A	N/A	N/A
20	Required Open-space ratio (RPS, CPS)	N/A	N/A	N/A	N/A
21	Parking	N/A	N/A	N/A	N/A
22	Loadings	N/A	N/A	N/A	N/A

### SHEET INDEX:

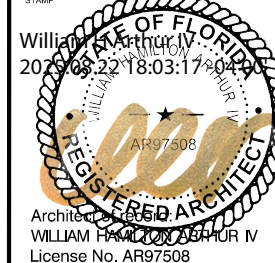
NOT ALL SHEETS MAY NOT BE BY CERTIFIED BY THE SAME DESIGN PROFESSIONAL.

T-100.....	COVERSHEET.
PHO-1.....	EXISTING SITE PHOTOGRAPHS.
PHO-2.....	PROPOSED SITE PHOTOGRAPHS.
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SPD.....	EXISTING SITE PLAN.
SP-100.....	SITE PLAN.
D-101.....	EXISTING SOUTH ELEVATION.
A-000.....	PROPOSED INTERIOR PLAN.
A-001.....	PROPOSED EXTERIOR CEILING PLAN.
A-002.....	PROPOSED ROOF PLAN.
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A-104.....	WEST ELEVATION.
A-105.....	OVERALL WEST ELEVATION..
A-106.....	OVERALL SECTION.
A-107.....	ENLARGED ELEVATIONS.
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A-109.....	ENLARGED SECTIONS.
A-110.....	ENLARGED PIZZA OVEN.
A-111.....	EXTERIOR BAR COUNTER DETAIL.
A-200.....	FINISH SCHEDULE.



Architect of record: WILLIAM HAMILTON ARTHUR IV  
License No. AR97508  
2920 Ponce de Leon Blvd  
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STAMP



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PROJECT No:	23-01H	
DATE:	07-25-2025	
DRAWN BY:	WHAAV	
#	ISSUE	DATE
1	HPB Comments	08/22/2025

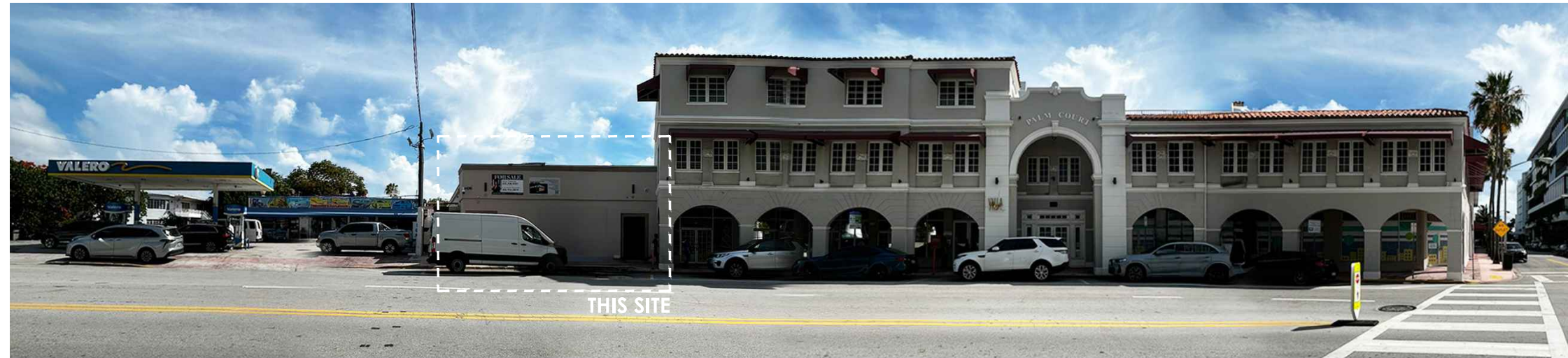
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COVERSHEET

SHEET NO  
T-100  
file:  
23-01h-2025-08-22-hpb-rev-1.dwg

### PROJECT LOCATION: NOT TO SCALE

NOTE: THIS PROPERTY IS LOCATED IN AN AREA THAT MAY BE AFFECTED BY SPECIAL FLOOD AREA.





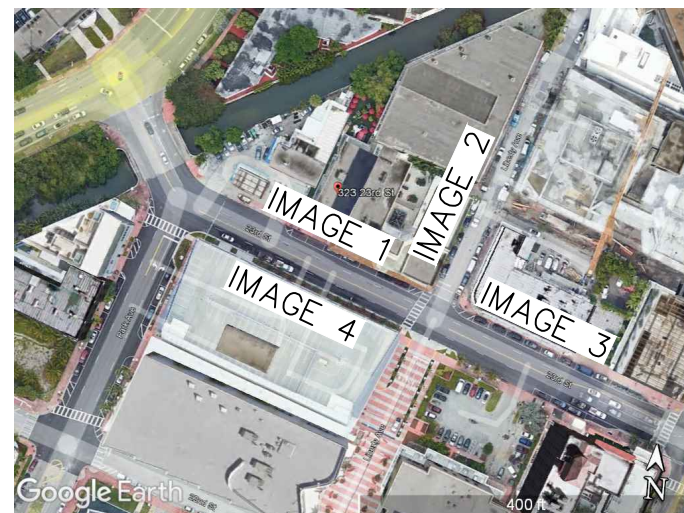
1 CONTEXT IMAGE  
NTS



2 CONTEXT IMAGE  
NTS



3 CONTEXT IMAGE  
NTS



4 CONTEXT IMAGE  
NTS

**RAIN**  
NIGHT CLUB MIAMI

**WHAA**  
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SHEET TITLE  
**EXISTING SITE  
PHOTOGRAPHS.**  
SHEET NO.  
**PHO-1**  
file:  
23-01h-2025-08-22-hpb-rev-1.dwg



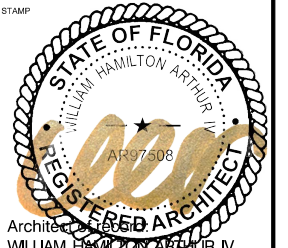
1 CONTEXT IMAGE  
NTS

**RAIN**  
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DRAWN BY: WHAIV

#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE

PROPSOED SITE  
PHOTOGRAPHS.

SHEET NO

**PHO-2**

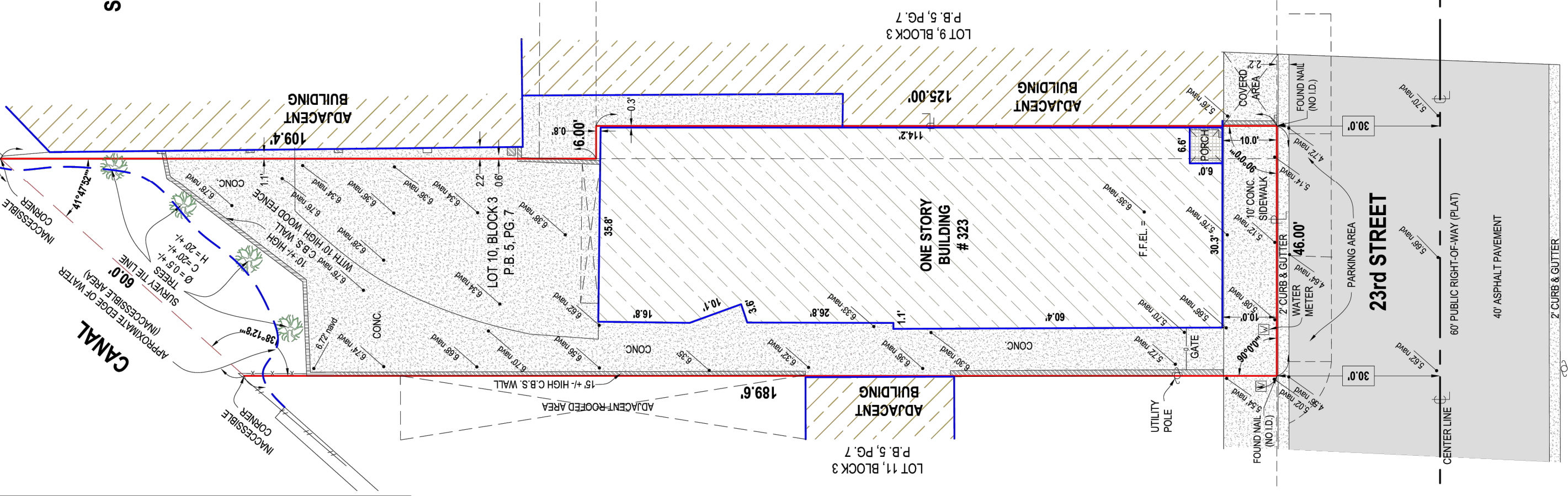
file:  
23-01h-2025-08-22-hpb-rev-1.dwg

# MAP OF SURVEY

SHEET 1/1



LOCATION MAP  
(NOT TO SCALE)



SCALE: 1" = 20'



**TYPE OF SURVEY:** BOUNDARY SURVEY ONLY

**PROPERTY ADDRESS:**  
323 23rd STREET MIAMI BEACH, FL. 33139

**LEGAL DESCRIPTION:**  
LOT 10 AND THE WEST 6 FEET OF LOT 9, BLOCK 3, OF "AMENDED MAP OF THE OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT COMPANY", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, AT PAGES 7 AND 8 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

**FLOOD ZONE INFORMATION:**  
COMMUNITY NO. 120651 PANEL NO. 0317 SUFFIX: L  
FIRM DATE: 09-11-2009 FLOOD ZONE: AE BASE FLOOD: 8' (NGVD)

**SURVEYOR'S NOTES:**  
LEGAL DESCRIPTION WAS FURNISHED BY THE CLIENT.

LEGAL DESCRIPTION SUBJECT TO ANY DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR RECORDED EASEMENTS.

THERE MAY BE LEGAL RESTRICTIONS ON THE SUBJECT PROPERTY THAT ARE NOT SHOWN ON THE MAP OF SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, OR THE RECORDS OF ANY OTHER PUBLIC AND PRIVATE ENTITIES AS THEIR JURISDICTIONS MAY APPEAR.

THE ELEVATIONS OF WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED VERTICAL POSITIONAL ACCURACY OF 0.2 FOOT FOR NATURAL GROUND SURFACES AND 0.1 FOOT FOR HARDSCAPE SURFACES, INCLUDING PAVEMENTS, CURBS AND OTHER MAN-MADE FEATURES AS MAY EXIST.

WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 0.1 FOOT UNLESS OTHERWISE SHOWN.

THE MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT THE STATED GRAPHIC SCALE IN ENGLISH UNITS OF MEASUREMENT. ATTENTION IS BROUGHT TO THE FACT THAT SAID DRAWING MAY BE ALTERED IN SCALE BY THE REPRODUCTION PROCESS

ALL MEASUREMENTS SHOWN ARE IN THE UNITED STATES STANDARD FEET SHOWN ELEVATIONS ARE REFERRED TO N.A.V.D. OF 1988

THE SURVEYOR MAKES NO REPRESENTATION AS TO OWNERSHIP, POSSESSION OR OCCUPATION OF THE SUBJECT PROPERTY BY ANY ENTITY OR INDIVIDUAL.

SUBSURFACE IMPROVEMENTS AND/OR ENCROACHMENTS WITHIN, UPON, ACROSS, ABUTTING OR ADJACENT TO THE SUBJECT PROPERTY WERE NOT LOCATED AND ARE NOT SHOWN.

NOT VALID WITHOUT THE ELECTRONIC SIGNATURE AND DIGITAL SEAL AND/OR THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS AND DELETIONS TO THIS MAP OF SURVEY BY OTHER THAN THE SIGNING PARTY ARE PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY.

THIS MAP OF SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREIN AND THE CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTY.

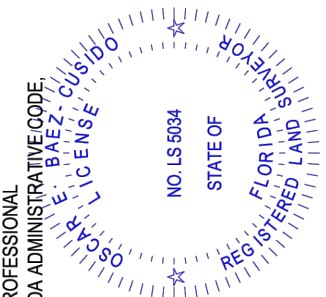
**CERTIFY TO:**  
323 SOBE LLC

**SURVEYOR'S CERTIFICATION:**  
IN MY PROFESSIONAL OPINION, THIS "BOUNDARY SURVEY" IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND IT MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17.05 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

**360° SURVEYING AND MAPPING, LLC**  
FLORIDA CERTIFICATE OF AUTHORIZATION NO. LB 6366

Digitally signed by Oscar E Baez  
Date: 2023.09.03 14:23:54 -04'00'

Oscar E. Baez-Cusido, P.L.S.  
REGISTERED SURVEYOR AND MAPPER NO. 5034  
STATE OF FLORIDA.



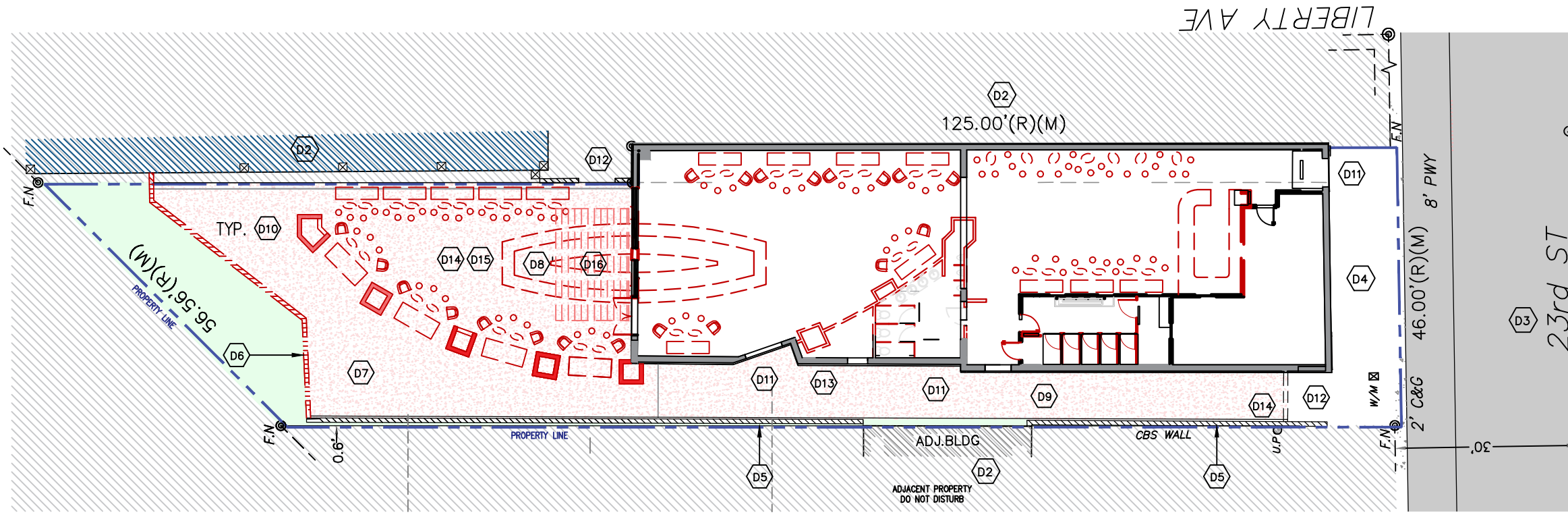
**360° SURVEYING AND MAPPING, LLC**  
Land Surveyors - Land Planners  
P.O. BOX 558981 MIAMI, FLORIDA 33255-8981  
PHONE: (305) 265-1002

REVISIONS AND/OR UP-DATES

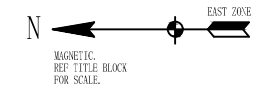
ORIGINAL FIELD DATE 08-26-2023  
JOB NO. 2305-0058

## LEGEND OF SURVEY ABBREVIATIONS

<p>SMK = SIDEWALK TY = UTILITY &amp; DRAINAGE TV = UTILITY &amp; DRAINAGE UE = UTILITY EASEMENT UM = UTILITY &amp; MAINTENANCE UP = UTILITY POLE W = WATER WELL WM = WATER METER</p>	<p>MM = GAS MONITORING WELL MH = STORM DRAIN MANHOLE UP = WOOD UTILITY POLE CUP = CONC. UTILITY POLE CB = CATCH BASIN</p>	<p>PL = PROPERTY LINE REC = RECORDED RAD = RADIUS N.T.S. = NOT TO SCALE N.S.D. = NORTH GEODETIC VERTICAL DATUM O.E. = OVERHEAD ELECTRICAL LINES F.P. = FOUND RISE F.H. = FOUND HORIZONTAL C.B. = CATCH BASIN C.S. = CHAIN LINK FENCE</p>	<p>MANH = MAN HOLE M = MEASURED M.M. = MONUMENT LINE N.T.S. = NOT TO SCALE O.E. = OVERHEAD ELECTRICAL LINES F.P. = FOUND RISE F.H. = FOUND HORIZONTAL C.B. = CATCH BASIN C.S. = CHAIN LINK FENCE</p>	<p>ARC LENGTH AIR CONDITIONING PAD ALUMINUM FENCE BLOCK CORNER CATCH BASIN CHORD DISTANCE CONCRETE BLOCK CONCRETE WALL CENTER LINE CHAIN LINK FENCE</p>	<p>ARC LENGTH AIR CONDITIONING PAD ALUMINUM FENCE BLOCK CORNER CATCH BASIN CHORD DISTANCE CONCRETE BLOCK CONCRETE WALL CENTER LINE CHAIN LINK FENCE</p>
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ALL LIFE SAFETY SYSTEMS SHALL REMAIN OPERATIONAL WHILE WORK IS BEING DONE.



DEMOLITION LEGEND: **D**

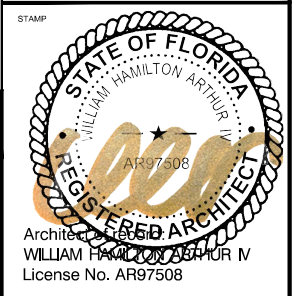
1. SHADED OUTLINED AREA REPRESENTS EXISTING 1-LEVEL BUILDING FOOTPRINT TO REMAIN; DO NOT DISTURB AS PART OF THIS WORK OR PERMIT. ANY EXIST SLAB, SUPPORTING ELEMENTS, COLUMNS, BEAMS & PILASTERS BELONGING TO BUILDING & EXTERIOR ENVELOPE TO REMAIN, DO NOT DISTURB AS PART OF THIS WORK OR PERMIT. SHOULD ANY PORTION OF EXIST STRUCTURE APPEAR DAMAGED, UNSAFE OR YOU ARE UNCERTAIN WHICH ITEMS ARE LOAD-BEARING OR NOT, NOTIFY ARCHITECT IMMEDIATELY (305) 770-6100.
2. EXIST STRUCTURE ON ADJACENT PROPERTY TO REMAIN, DO NOT DISTURB.
3. EXIST PUBLIC ROADWAY, DO NOT DISTURB, ENCROACH OR OBSTRUCT.
4. EXIST PUBLIC SIDEWALK TO REMAIN, DO NOT DISTURB, ENCROACH OR OBSTRUCT.
5. LOCATION OF EXIST C.B.S. PRIVACY WALL, DO NOT DISTURB.
6. LOCATION OF EXIST C.B.S. PRIVACY WALL, TO BE REPAIRED. REMOVE ANY LOOSE PORTIONS OF STUCCO TO FOUNDATION IN PREPARATION FOR ARCHITECT SITE OBSERVATIONS & REPAIRS.
7. CAREFULLY REMOVE THIS PORTION OF EXIST REINF CONCRETE SLAB-ON-GRADE (4" ASSUMED) IN PREPARATION FOR ADA-COMPLIANCE WORK.
8. EXIST OUTDOOR BAR & MILLWORK TO BE RELOCATED TO IMPROVE PATH OF EGRESS. REMOVE PORTION IN PREPARATION FOR LIFE SAFETY & ADA-COMPLIANCE WORK, REF SHT SP300 FOR MORE INFO.
9. EXIST REINF CONCRETE SLAB-ON-GRADE (4" ASSUMED) SLAB TO BE REMOVED. REPORT ANY DAMAGE TO EXIST FINISH MATERIAL, SUBSTRATE INCLD "ALL TILE, WATERPROOFING, CEMENT BOARD GYPSUM BOARD, FLOOR DRAIN COVERS ETC. ON INT SIDE VISUALLY INSPECT & IDENTIFY FOR INCONSISTENCIES, CONTACT ARCHITECT IF ANY IRREGULARITIES ARE FOUND.
10. EXIST FREE-STANDING BLOCK COLUMNS TO BE COMPLETELY REMOVED TO 6" BELOW GRADE. IN PREPARATION FOR ADA-COMPLIANCE WORK, REF SHT SP-100 FOR MORE INFO.
11. EXIST EXT STOREFRONTS, WINDOWS & FENESTRATION TO BE PREPARED FOR NEW WORK.
12. EXIST EGRESS DOORS LEADING TO PUBLIC WAY SHALL REMAIN CLOSED AT ALL TIMES. DO NOT DISTURB OR ENCROACH EXTERIOR PATH OR COMMON AREAS. ALL COMMON AREAS MUST BE FREE & CLEAR AT ALL TIMES!
13. EXIST ELEC PANELS TO REMAIN, VERIFY CLEAR ACCESS PER NEC 110.26(F)(1)(A) MAINTAINED AT ALL TIMES.
14. EXIST FIRE SPRINKLERS, & STAND PIPE TYP. ANY MODIFICATIONS OR DISRUPTION MUST COMPLY 2013 NFPA 13,14,20, BE PERFORMED BY AN APPROVED AUTOMATIC FIRE SPRINKLER CONTRACTOR WHO PROVIDES SHOP DWGS FOR OWNER, ARCHITECT & CITY OF MIAMI BEACH FIRE DEPARTMENT (CMBFD) APPROVAL.
15. EXIST LUMINARY & EGRESS ILLUMINATION TO BE REPLACED.
16. LOCATION OF EXISTING REAR PERGOLA TO BE REMOVED.

HATCH & SYMBOL LEGEND:

SYMBOL	DESCRIPTION
	EXIST CONCRETE MASONRY UNIT BUILDING TO REMAIN.
	REPLACEMENT 8" REINF CONCRETE SLAB-ON-GRADE.
	REPLACEMENT 4" REINF CONCRETE SLAB-ON-GRADE.
	EXIST REINF CONCRETE PUBLIC SIDEWALK TO REMAIN.
	EXIST GREEN SPACE & LANDSCAPED AREAS TO REMAIN.
	ADJACENT PROPERTY DO NOT DISTURB.



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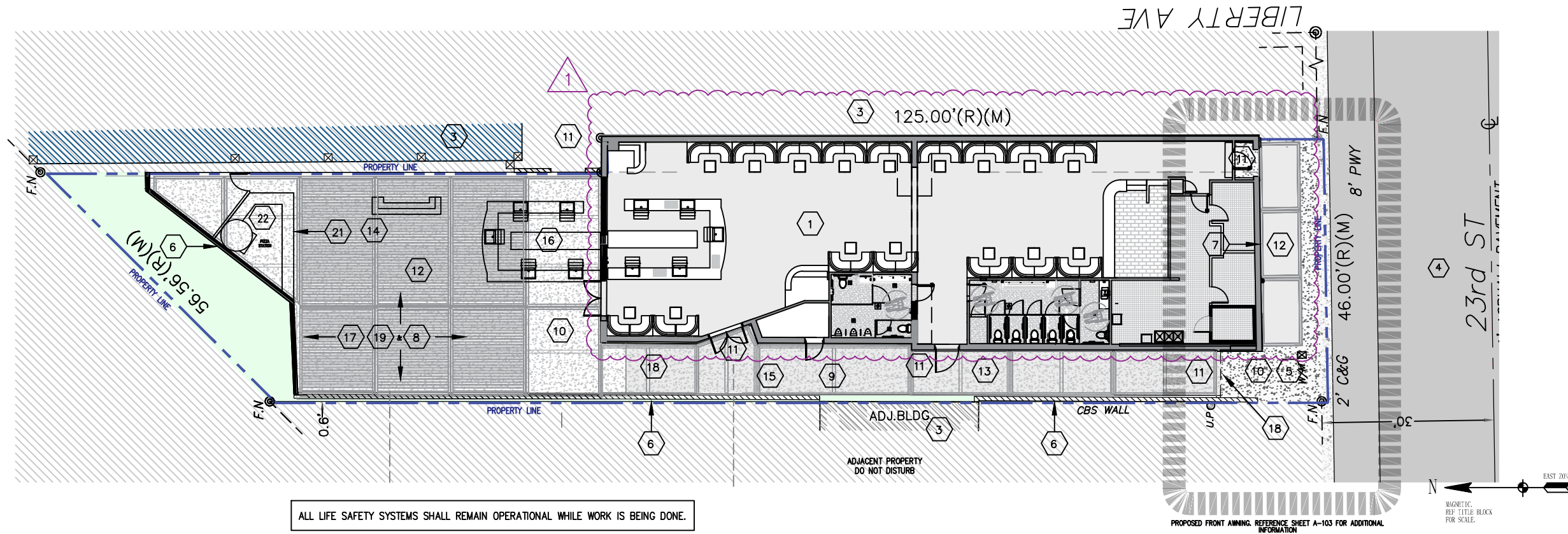
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PROJECT No: 23-01H  
DATE: 07-25-2025  
DRAWN BY: WHAIV

#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE  
**EXISTING SITE PLAN**  
SCALE: 3/64" = 1'-0"

SHEET NO  
**SPD**  
file:  
23-01h-2025-08-22-hpb-rev-1.dwg



ALL LIFE SAFETY SYSTEMS SHALL REMAIN OPERATIONAL WHILE WORK IS BEING DONE.

PROPOSED FRONT AWNING. REFERENCE SHEET A-103 FOR ADDITIONAL INFORMATION.

**PLAN KEYNOTE LEGEND:**

1. SHADED OUTLINED AREA REPRESENTS EXISTING 1-LEVEL BUILDING FOOTPRINT TO REMAIN. DO NOT DISTURB AS PART OF THIS WORK OR PERMIT. ANY EXIST SLAB, SUPPORTING ELEMENTS, COLUMNS, BEAMS & PILASTERS BELONGING TO BUILDING & EXTERIOR ENVELOPE TO REMAIN. DO NOT DISTURB AS PART OF THIS WORK OR PERMIT. EXIST STUCCO FINISH TO BE PATCHED & REPAIRED IN "LIKE-NEW" CONDITION. THE WORK SHALL NOT MAKE THE BUILDING LESS CONFORMING WITH ENERGY REQUIREMENTS THAN IT WAS BEFORE THE REPAIR WAS UNDERTAKEN PER FBC EB601.2.
2. SHOULD ANY PORTION OF EXIST STRUCTURE APPEAR DAMAGED, UNSAFE OR YOU ARE UNCERTAIN WHICH ITEMS ARE LOAD-BEARING OR NOT, NOTIFY ARCHITECT IMMEDIATELY (305) 770-6100.
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4. EXIST PUBLIC ROADWAY, DO NOT DISTURB, ENCROACH OR OBSTRUCT.
5. EXIST PUBLIC SIDEWALK TO REMAIN, DO NOT DISTURB, ENCROACH OR OBSTRUCT.
6. LOCATION OF EXIST C.B.S. PRIVACY WALL.
7. PROVIDE SIGNAGE, CONVENIENCE OUTLETS & ASTROLOGICAL TIMER AS PART OF SEPARATE BUILDING PERMIT APPLICATION.
8. PROVIDE NEW ALUMINUM PERGOLA AND FOUNDATION BY SPECIALTY ENGINEER. SEPARATE BUILDING PERMIT APPLICATION. PERGOLA TO BE LOUVERED AND OPEN TO THE SKY. ENSURE MINIMUM HEIGHT & HEADROOM CLEARANCE OF +80" AFF. PROVIDE DEFERRED SUBMITTAL TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION PER FBC B107.3.4.1.
9. SIMILAR TO KEYNOTE (8) ABOVE EXCEPT REPLACEMENT 8" SLAB ON GRADE.
10. PROVIDE REPLACEMENT ADA-COMPLAINT SLAB-ON-GRADE, ADA-COMPLIANT STORM WATER DRAIN & SUBTERRANEAN TRENCH. REF CIVIL DWGS FOR MORE INFO.
11. EXIST OUTSWING ENTRY DOOR & PANIC HARDWARE. ENSURE SMOOTH, REFURBISHED SURFACES ARE DELIVERED IN CLEAN & "LIKE-NEW" CONDITION. COLOR & TEXTURE CONTIGUOUS WITH SURROUNDING AREAS. ENSURE MAXIMUM OF 1/2" DIFFERENCE IN LEVEL BTW NEW & OPPOSITE SIDES OF ALL EXIT DOORS PER FFPC 101 7.1.6.2.
12. PROVIDE NEW FRONT PERGOLA. PROVIDE DEFERRED SUBMITTAL PER FBC B107.3.4.1.
13. LOCATION OF NEW REAR AND SIDE PERGOLA.
14. EXIST WAITERS STATION TO BE RELOCATED.
15. EXIST ELEC PNLBRD, METER & SWITCHGEAR. OBSERVE MIN 36x36 CLEAR FLOOR & ACCESS ALL TIMES NEC 110.26(F)(1)(A)!

16. BAR TENDERS STATION. ENSURE EXIST 30x48 CLEAR FLOOR APPROACH PER FBC AC306, AC604.8.1.6 & FBC AC213.3.4 IS MAINTAINED. REF ADA SPECIFICATIONS ON SHT A-100. PROVIDE SHOP DRAWINGS OF ALL CABINERY FOR ARCHITECT APPROVAL PRIOR TO FABRICATION. ENSURE PLACEMENT DOES NOT INTERFERE WITH EGRESS PATH.
17. ANY FUTURE TEXTILES, PRIVACY CURTAINS OR ANY HANGING FABRIC MUST BE NON-COMBUSTIBLE AND SHALL NOT BE INSTALLED IN THE PATH OF EGRESS. SUBMIT PRODUCT DATA TO ARCHITECT & CMBFD FOR APPROVAL, COMPLY WITH FBC B803.5.
18. EXTERIOR SITE LIGHTING MAY NOT BE SPECIFICALLY IDENTIFIED IN THESE DWGS HOWEVER FULL COVERAGE OF COMMON AREAS, SECURITY, SAFETY & CIRCULATION LIGHTING IS REQ. EM. ILLUMINATION & SIGNAGE: SHALL BE WIRED TO LOCAL LIGHT CIRCUIT, AHEAD OF ANY SWITCH PER NEC 700.12(F). \*EMERGENCY ILLUMINATION MUST PROVIDE MINIMUM 1FC IN THE PATH OF EGRESS LEADING TO THE PUBLIC WAY PER FBC 1006.1.1.
19. TIME-SWITCH CONTROLS: EACH AREA OF BUILDING NOT PROVIDED WITH OCCUPANT SENSOR CONTROLS COMPLYING WITH FBC C405.2.1.1 SHALL BE PROVIDED WITH TIME SWITCH CONTROLS PER FBC C405.2.2.1.
20. AUTOMATIC EXTERIOR SIGNAGE: SEPARATE PLANING APPLICATION REQ'D. PROVIDE DEFERRED SUBMITTAL PER FBC B107.3.4.1.
21. PROVIDE 8" CMU KNEE WALL FOR ELECTRICAL PANEL.
22. PROVIDE SOLID FUEL BURNING PIZZA OVEN, WITH EXHAUST DISCHARGE OUT THE TOP MIN 4" ABOVE FUTURE PERGOLA. PIZZA OVEN MUST COMPLY WITH NFPA 96 CHAPTER 14.

**HATCH & SYMBOL LEGEND:**

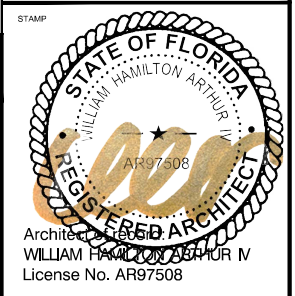
SYMBOL	DESCRIPTION
	EXIST CONCRETE MASONRY UNIT BUILDING TO REMAIN.
	REPLACEMENT 8" REINF CONCRETE SLAB-ON-GRADE.
	REPLACEMENT 4" REINF CONCRETE SLAB-ON-GRADE.
	EXIST REINF CONCRETE PUBLIC SIDEWALK TO REMAIN.
	EXIST GREEN SPACE & LANDSCAPED AREAS TO REMAIN.
	ADJACENT PROPERTY DO NOT DISTURB.

**OCCUPANCY CALCULATIONS:**

PER FBC PER NFPA 101: 42.3, 7.3.1.2:  
 REFER TO TABLE FBC B1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT  
 OUTDOOR DINING/ ASSEMBLY AREA (A-2) PER FBC B303.3.....  
 1 PERSON PER 15 SQ.FT. (UNCONCENTRATED)= 2,390 SQ.FT./15 SQ.FT.= 159 PERSONS  
 OUTDOOR BAR/COUNTERTOP CALCULATION AS SIMULTANEOUS ASSEMBLY USE PER FFPC 12.1.3.2:36.....  
 1 PERSON PER 18 LINEAR INCHES= 504 LINEAR IN/18= 28 PERSONS  
**TOTAL PROPOSED EXTERIOR OCCUPANCY: 187 PERSONS**



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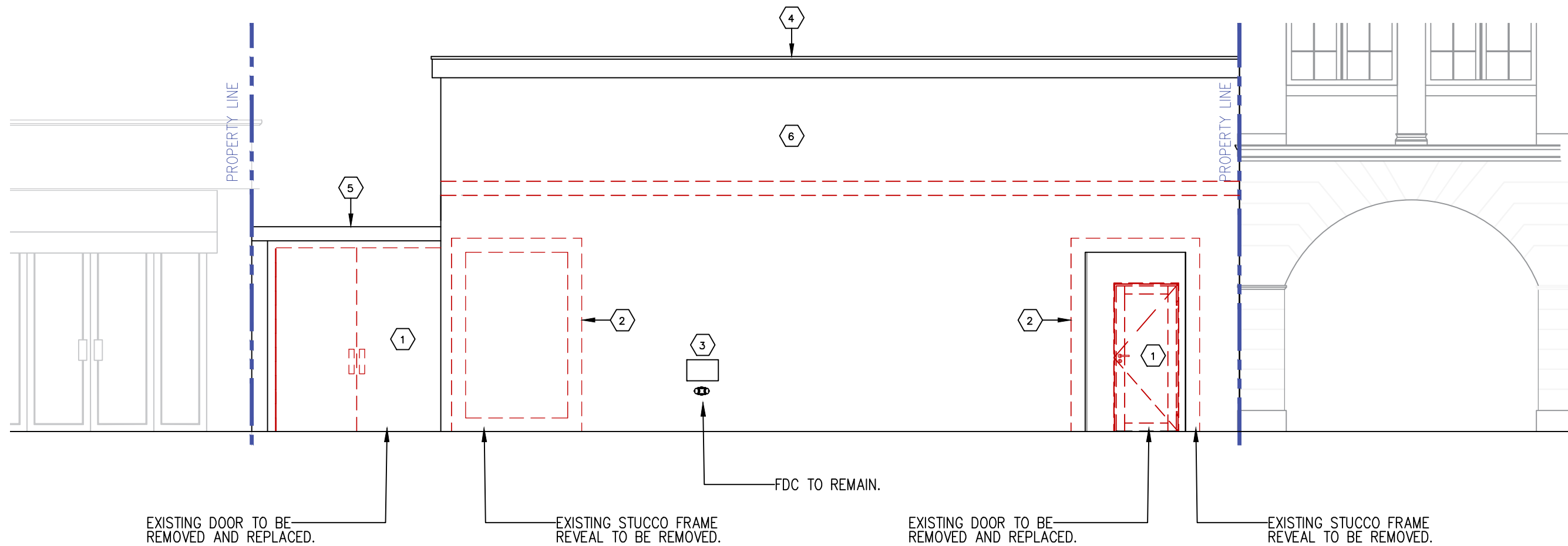
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#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE  
**SITE PLAN**  
 SCALE: 3/64" = 1'-0"

SHEET NO.  
**SP-100**  
 file:  
 23-01h-2025-08-22-hpb-rev-1.dwg



EXISTING DOOR TO BE REMOVED AND REPLACED.

EXISTING STUCCO FRAME REVEAL TO BE REMOVED.

FDC TO REMAIN.

EXISTING DOOR TO BE REMOVED AND REPLACED.

EXISTING STUCCO FRAME REVEAL TO BE REMOVED.

### PLAN KEYNOTE LEGEND:

- 1. EXISTING DOOR TO BE REMOVED AND REPLACED.
- 2. EXISTING STUCCO FRAME REVEAL TO BE REMOVED.
- 3. LOCATION OF FDC TO REMAIN, DO NOT DISTURB.
- 4. EXISTING FLASHING TO REMAIN, VERIFY CONDITION IN FIELD.
- 5. EXISTING ENTRYWAY TO REMAIN, DO NOT DISTURB.
- 6. EXISTING STUCCO TO REMAIN, PREP SURFACE FOR NEW CLADDING.



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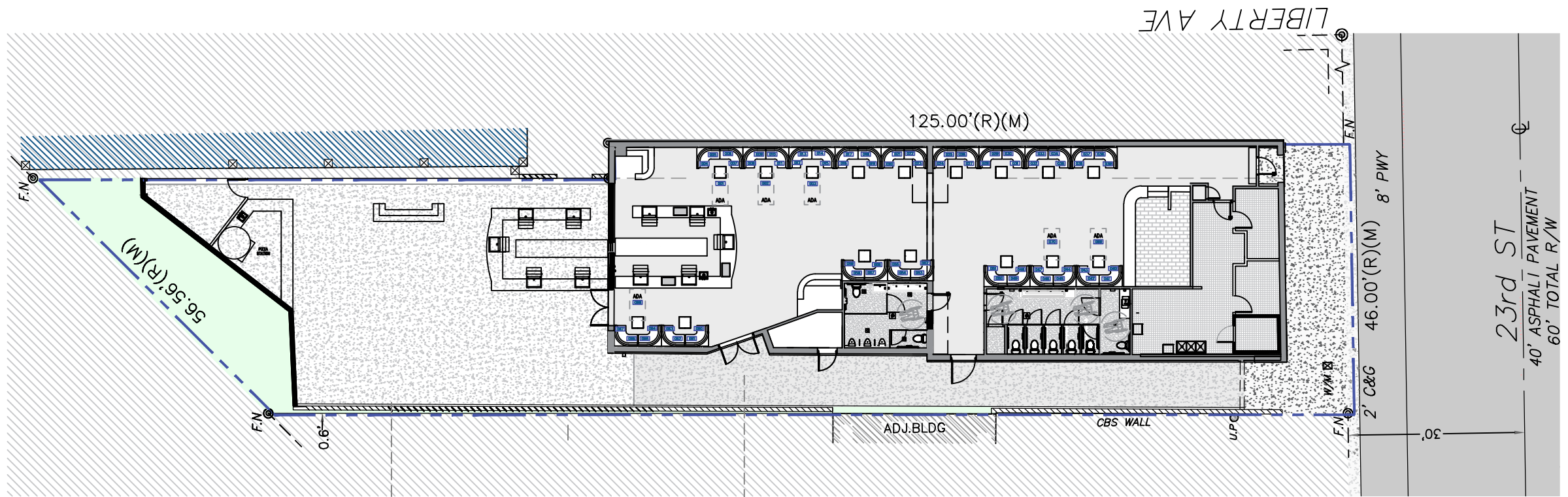
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DATE: 07-25-2025		
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#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE  
**EXISTING SOUTH ELEVATION**  
 SCALE: 3/16" = 1'-0"

SHEET NO  
**D-101**  
 file:  
 23-01h-2025-08-22-hpb-rev-1.dwg

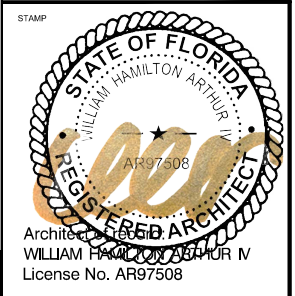


PROVIDE CLEAR FLOOR SPACE COMPLYING WITH 305 POSITIONED FOR A FORWARD APPROACH.

5% OF TABLES & SEATING COMPLY WITH FBCACC 2020 SECTION 226.1  
REF NOTES & DETAILS PROVIDED SHT A-200



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#	ISSUE	DATE
1	HPB Comments	08/22/2025

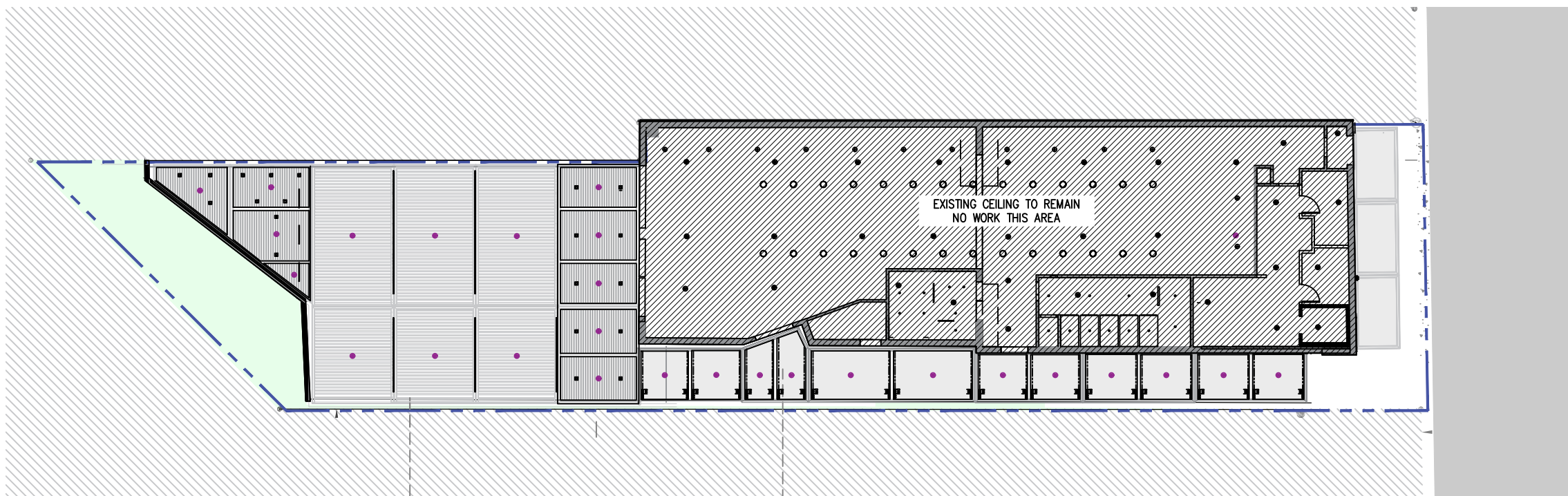
SHEET TITLE  
**PROPOSED INTERIOR PLAN**  
SCALE: 3/64" = 1'-0"

SHEET NO.  
**A-000**  
file:  
23-01h-2025-08-22-hpb-rev-1.dwg

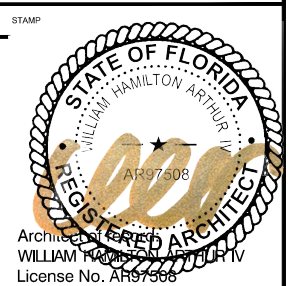
INDOOR SEAT COUNT:	
MARKED LOCATION	SEATS
ASSEMBLY AREA 1	40 SEATS
ASSEMBLY AREA 2	30 SEATS
TOTAL:	70 SEATS
ADA SEAT COUNT: (5% OF TOTAL)	4 SEATS

OCCUPANCY CALCULATIONS (EXTERIOR): ACCORDING TO FFPC 101: TABLE 7.3.1.2:	
REFER TO TABLE FBC B1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT	
OUTDOOR DINING/ ASSEMBLY AREA (A-2) PER FBC B303.3.....	2,390 SQ.FT.
1 PERSON PER 15 SQ.FT. (UNCONCENTRATED)= 2,390 SQ.FT./15 SQ.FT.=	159 PERSONS
OUTDOOR BAR/COUNTERTOP CALCULATION AS SIMULTANEOUS ASSEMBLY USE PER FFPC 12.1.3.2: 36.....	504 LINEAR INCHES
1 PERSON PER 18 LINEAR INCHES= 504 LINEAR IN/18=	28 PERSONS
TOTAL PROPOSED EXTERIOR OCCUPANCY:	187 PERSONS

OCCUPANCY CALCULATIONS (INTERIOR): ACCORDING TO FFPC 101: TABLE 7.3.1.2:	
DINING/ ASSEMBLY AREA (A-2) PER FBC B303.3.....	1,986 NET SQ.FT.
1 PERSON PER 7 SQ.FT. (CONCENTRATED)= 1,986 SQ.FT./7 SQ.FT.=	284 PERSONS
FIXED SEATING.....	70 SEATS.
1 PERSON PER 1 SEAT 70 SEATS/1 PERSON PER SEAT=	70 PERSONS.
STAGES.....	60 SQ.FT.
1 PERSON PER 15 SQ.FT.= 60 SQ.FT./15SQ.FT.=	4 PERSONS
BAR/COUNTERTOP CALCULATION AS SIMULTANEOUS ASSEMBLY USE PER FFPC 12.1.3.2: 36.....	609 LIN. IN
1 PERSON PER 18 LINEAR INCHES= 609 LINEAR IN/18=	34 PERSONS
KITCHEN AREAS/PREP.....	500 SQ.FT.
1 PERSON PER 100 SQ.FT. (Storage, kitchen, prep areas)= 112 SQ.FT./100 SQ.FT.=	5 PERSONS
TOTAL ALL BUSINESS AREAS.....	148 GROSS SQ.FT.
1 PERSON PER 150 SQ.FT. GROSS= 569 SQ.FT./150 SQ.FT.=	1 PERSONS
STORAGE.....	71 SQ.FT
1 PERSON PER 500 SQ.FT= 71 SQ.FT./500 SQ.FT	1 PERSON
TOTAL PROPOSED OCCUPANCY:	399 PERSONS



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 DATE: 07-25-2025  
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#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE  
**PROPOSED CEILING PLAN**

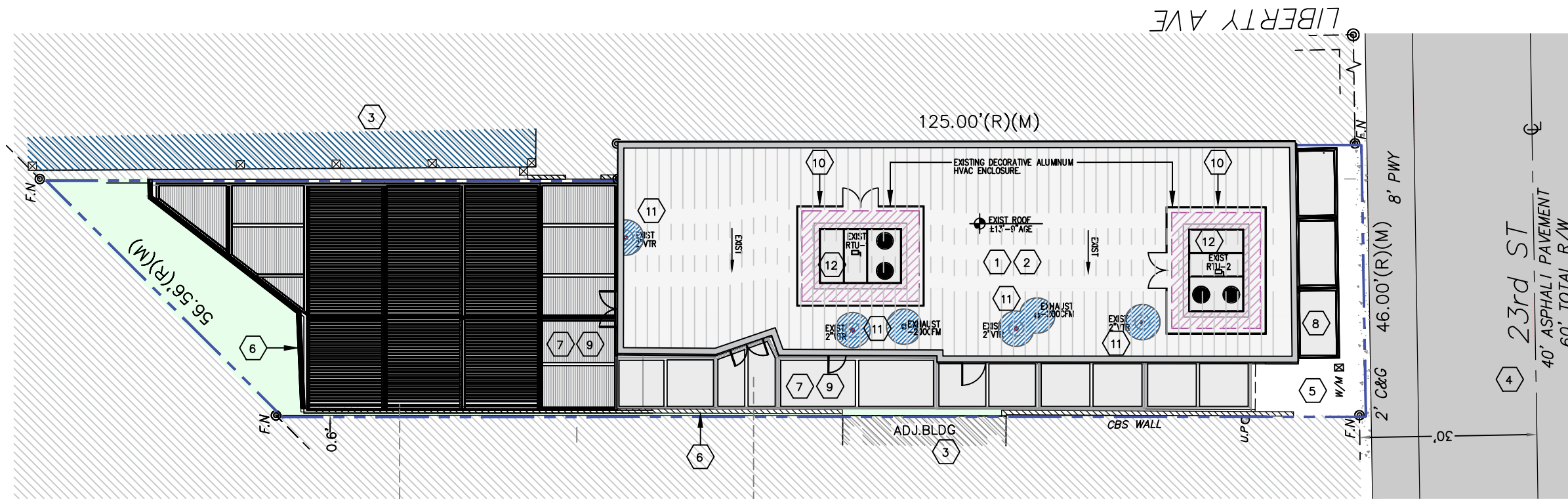
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SHEET NO.  
**A-001**  
 file:  
 23-01h-2025-08-22-hpb-rev-1.dwg

**CEILING LEGEND:**

SYMBOL	DESCRIPTION
	PROPOSED EXTERIOR FIRE SPRINKLERS. TO BE DESIGNED BY SPECIALTY ENGINEER AND SUBMITTED AS A DEFERRED SUBMITTAL PER FBC B107.3.4.1.
	LOW-PROFILE 4"SQ RECESSED DOWNLIGHT PROVIDED BY OWNER UTILIZES 120V 23W (A19) LAMP. INSTALL PER MANF SPEC. ENSURE "DAMP" RATING WHEN USED IN ALL MOISTURE EXPOSED FIXTURES. ALL RECESSED FIXTURES OR LIGHTING IN THE THERMAL ENVELOPE MUST BE IC RATED AND MEETING ASTM E 283 FOR LEAKAGE LABELED "AIR TIGHT" AND HOUSING SHALL BE SEALED WITH A GASKET OR CAULK TO CEILING OR WALL FBC R402.4.1.1 (ALL FIXTURES UL LISTED).*
	LED COVE LIGHTING UTILIZES 120V SOURCE COMPLYING WITH NEC 410. MUST COMPLY WITH SPACING REQ IN NEC 410.18.
	LED STRIP LIGHT

1

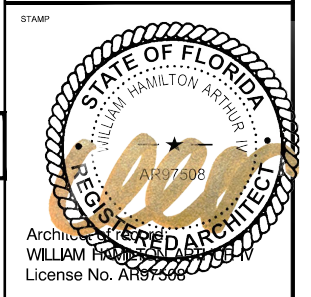


PLAN KEYNOTE LEGEND:

1. SHADED OUTLINED AREA REPRESENTS EXISTING 1-LEVEL BUILDING FOOTPRINT TO REMAIN: DO NOT DISTURB AS PART OF THIS WORK OR PERMIT. ANY EXIST SLAB, SUPPORTING ELEMENTS, COLUMNS, BEAMS & PILASTERS BELONGING TO BUILDING & EXTERIOR ENVELOPE TO REMAIN, DO NOT DISTURB AS PART OF THIS WORK OR PERMIT. EXIST STUCCO FINISH TO BE PATCHED & REPAIRED IN "LIKE-NEW" CONDITION. THE WORK SHALL NOT MAKE THE BUILDING LESS CONFORMING WITH ENERGY REQUIREMENTS THAN IT WAS BEFORE THE REPAIR WAS UNDERTAKEN PER FBC EB601.2.
2. SHOULD ANY PORTION OF EXIST STRUCTURE APPEAR DAMAGED, UNSAFE OR YOU ARE UNCERTAIN WHICH ITEMS ARE LOAD-BEARING OR NOT, NOTIFY ARCHITECT IMMEDIATELY (305) 770-6100.
3. EXIST STRUCTURE ON ADJACENT PROPERTY TO REMAIN, DO NOT DISTURB.
4. EXIST PUBLIC ROADWAY, DO NOT DISTURB, ENCROACH OR OBSTRUCT.
5. EXIST PUBLIC SIDEWALK TO REMAIN, DO NOT DISTURB, ENCROACH OR OBSTRUCT.
6. LOCATION OF EXIST C.B.S. PRIVACY WALL.
7. PROVIDE NEW ALUMINUM PERGOLA AND FOUNDATION BY SPECIALTY ENGINEER, SEPARATE BUILDING PERMIT APPLICATION. PERGOLA TO BE LOUVERED AND OPEN TO THE SKY. ENSURE MINIMUM HEIGHT & HEADROOM CLEARANCE OF +80" AFF. PROVIDE DEFERRED SUBMITTAL TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION PER FBC B107.3.4.1.
8. PROVIDE NEW FRONT PERGOLA. PROVIDE DEFERRED SUBMITTAL PER FBC B107.3.4.1.
9. LOCATION OF NEW REAR AND SIDE PERGOLA.
10. EXISTING DECORATIVE ALUMINUM HVAC ENCLOSURE TO REMAIN, DO NOT DISTURB.
11. EXISTING PLUMBING/MECHANICAL ROOF PENETRATION TO REMAIN, DO NOT DISTURB.
12. EXISTING RTU TO REMAIN, DO NOT DISTURB.



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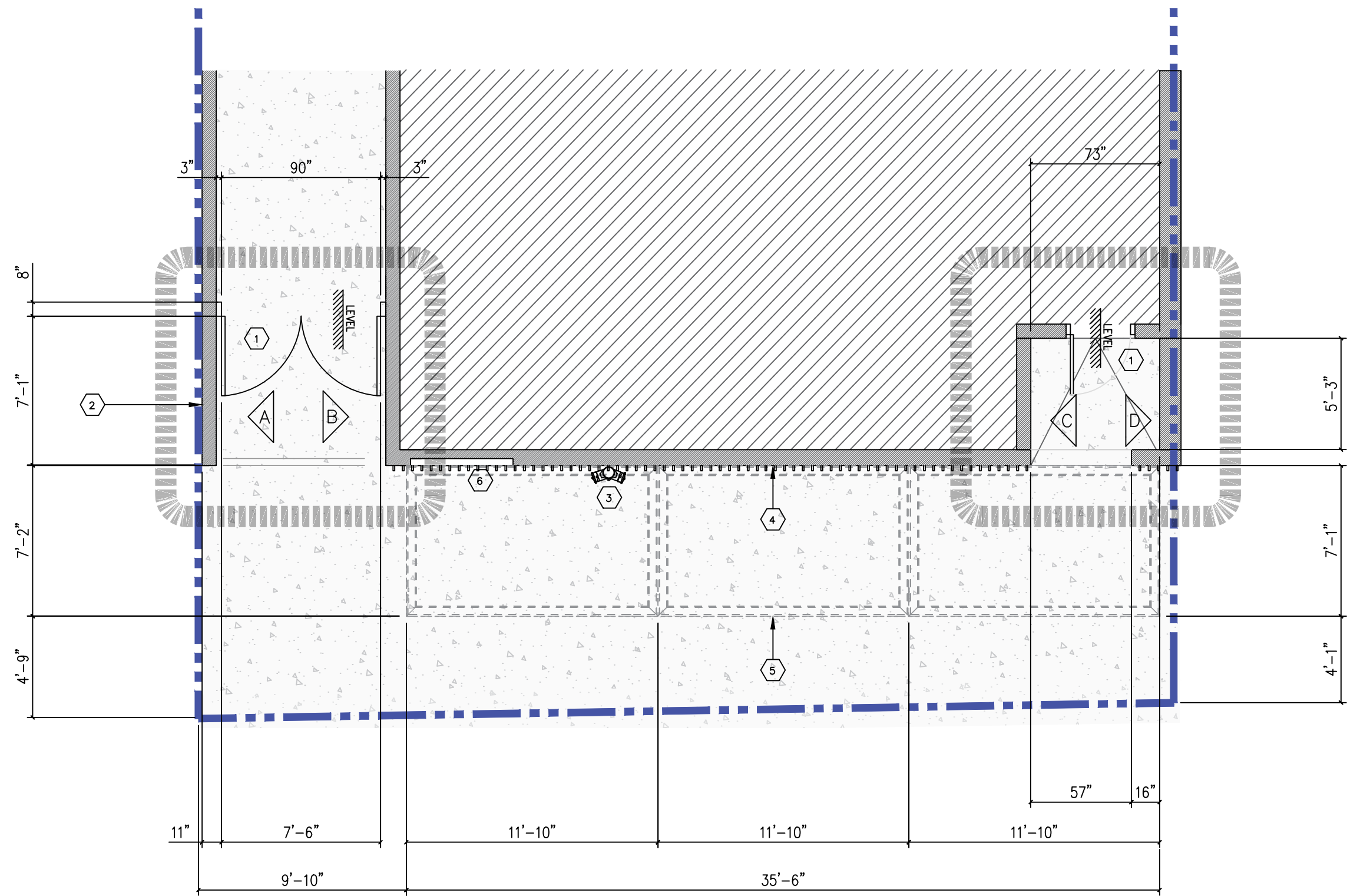
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 DATE: 07-25-2025  
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1	HPB Comments	08/22/2025

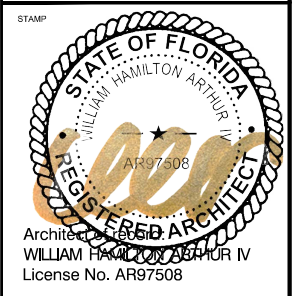
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**PROPOSED ROOF PLAN**  
 SCALE: 1/16" = 1'-0"

SHEET NO  
**A-002**  
 file:  
 23-01h-2025-08-22-hpb-rev-1.dwg





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**PLAN KEYNOTE LEGEND:**

1. PROVIDE REPLACEMENT DOOR WITHIN EXISTING OPENING.
2. EXISTING ENTRYWAY TO REMAIN, DO NOT DISTURB.
3. LOCATION OF EXISTING FDC TO REMAIN. DO NOT DISTURB.
4. PROVIDE PAINTED STUCCO, AND VERTICAL SHADING DEVICES. COLOR PER FINISH LEGEND SHEET A-200.
5. PROVIDE NEW FRONT PERGOLA. PROVIDE DERRERED SUBMITTAL PER FBC B107.3.4.1.
6. EXISTING SETBACK IN STRUCTURE TO REMAIN. DO NOT DISTURB.

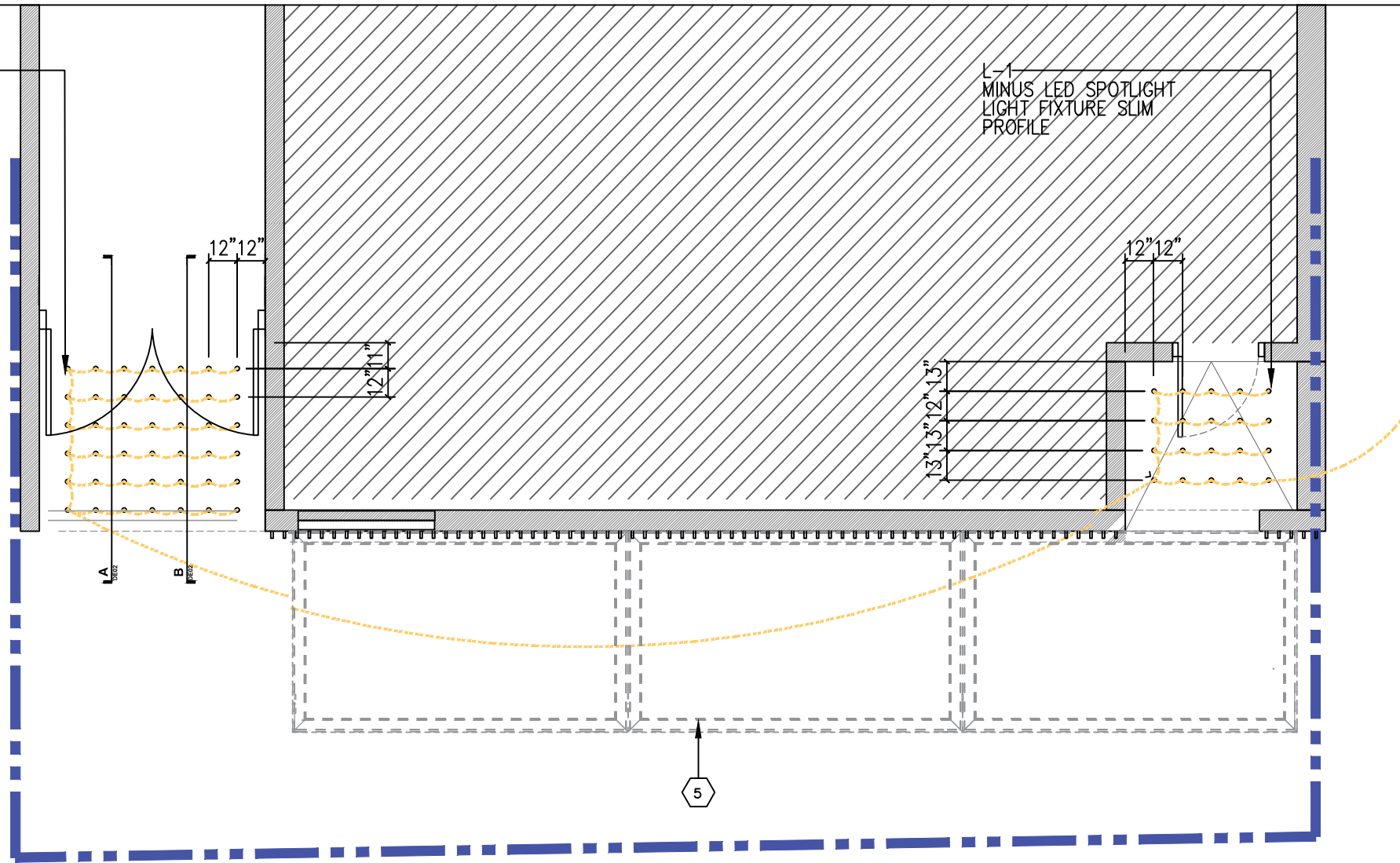
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DATE: 07-25-2025		
DRAWN BY: WHAIV		
#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE  
**ENLARGED FLOOR PLAN**  
 SCALE: 3/16" = 1'-0"

SHEET NO  
**A-100**  
 file:  
 23-01h-2025-08-22-hpb-rev-1.dwg

L-1  
MINUS LED SPOTLIGHT  
LIGHT FIXTURE SLIM  
PROFILE

L-1  
MINUS LED SPOTLIGHT  
LIGHT FIXTURE SLIM  
PROFILE



TO  
ELECTRIC  
PANEL

5

**RAIN**  
NIGHT CLUB MIAMI

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Architect  
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PLAN KEYNOTE LEGEND:

1. PROVIDE REPLACEMENT DOOR WITHIN EXISTING OPENING.
2. EXISTING ENTRYWAY TO REMAIN, DO NOT DISTURB.
3. LOCATION OF EXISTING FDC TO REMAIN. DO NOT DISTURB.
4. PROVIDE PAINTED STUCCO, COLOR PER FINISH LEGEND SHEET A-200.
5. PROVIDE NEW FRONT PERGOLA. PROVIDE DERRERED SUBMITTAL PER FBC B107.3.4.1.
6. EXISTING SETBACK IN STRUCTURE TO REMAIN. DO NOT DISTURB.

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DATE: 07-25-2025  
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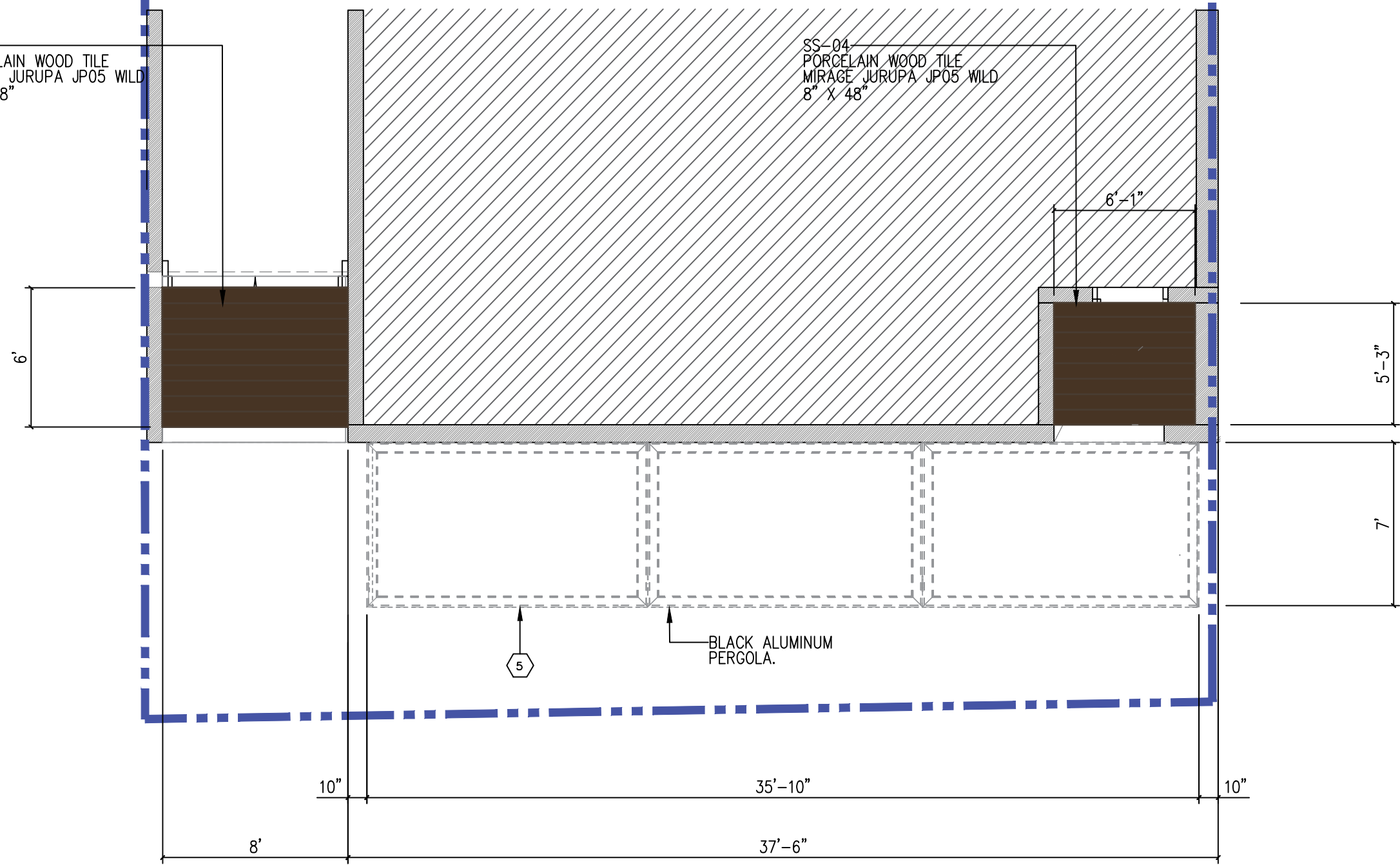
#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE  
**ENLARGED  
ILLUMINATION PLAN.**  
SCALE: 3/16" = 1'-0"

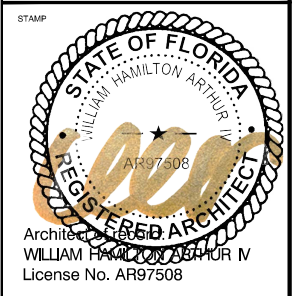
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**A-101**  
file:  
23-01h-2025-08-22-hpb-rev-1.dwg

SS-04  
PORCELAIN WOOD TILE  
MIRAGE JURUPA JP05 WILD  
8" X 48"

SS-04  
PORCELAIN WOOD TILE  
MIRAGE JURUPA JP05 WILD  
8" X 48"



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**PLAN KEYNOTE LEGEND:**

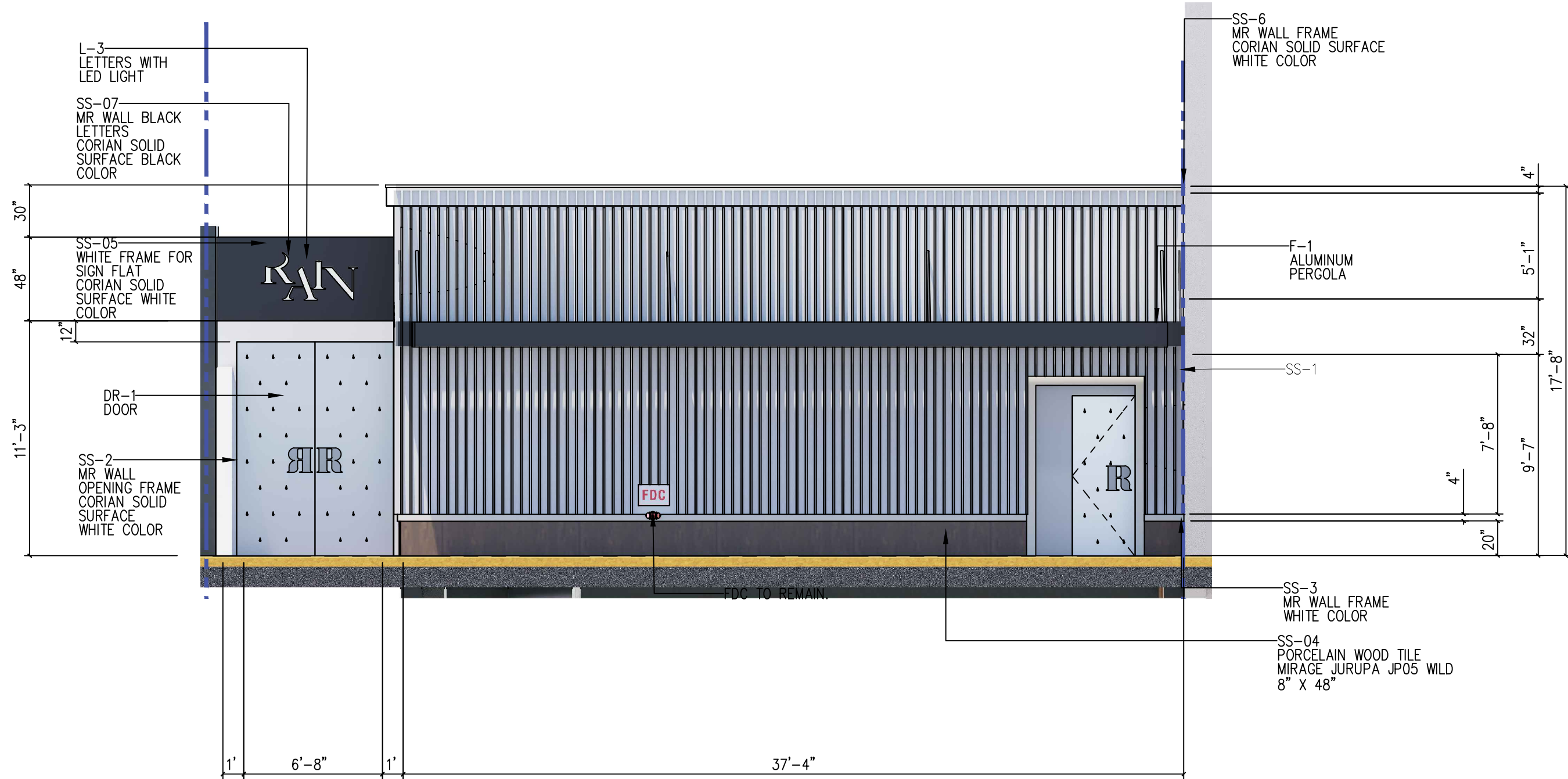
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2. EXISTING ENTRYWAY TO REMAIN, DO NOT DISTURB.
3. LOCATION OF EXISTING FDC TO REMAIN. DO NOT DISTURB.
4. PROVIDE PAINTED STUCCO, COLOR PER FINISH LEGEND SHEET A-200.
5. PROVIDE NEW FRONT PERGOLA. PROVIDE DERRERED SUBMITTAL PER FBC B107.3.4.1.
6. EXISTING SETBACK IN STRUCTURE TO REMAIN. DO NOT DISTURB.

PROJECT No: 23-01H  
DATE: 07-25-2025  
DRAWN BY: WHAIV

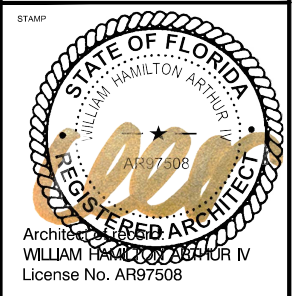
#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE  
**ENLARGED CEILING**  
SCALE: 3/16" = 1'-0"

SHEET NO  
**A-102**  
file:  
23-01h-2025-08-22-hpb-rev-1.dwg



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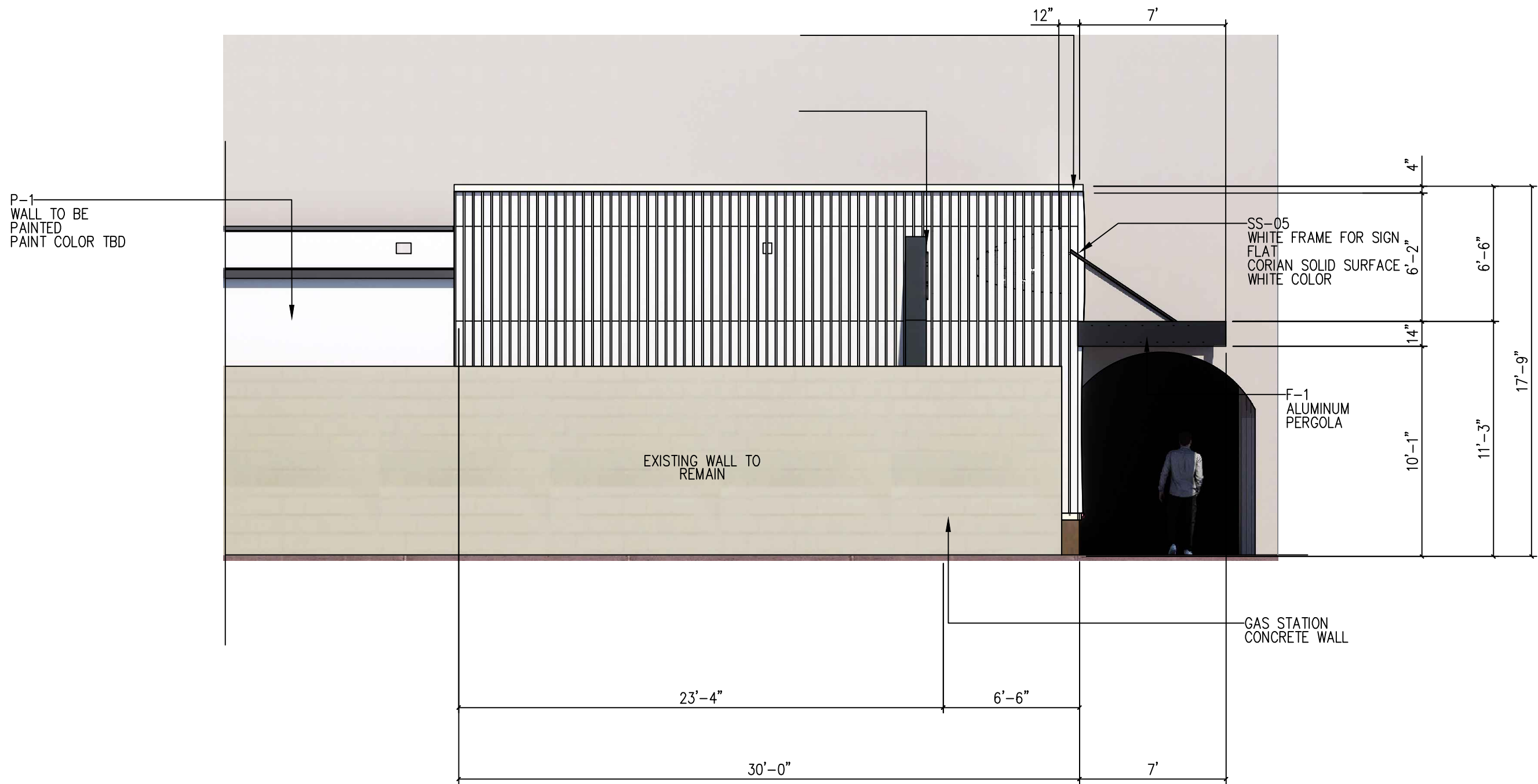


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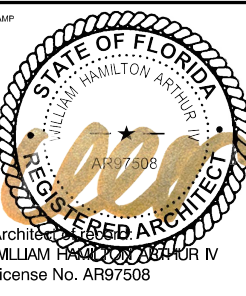
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PROJECT No:	23-01H	
DATE:	07-25-2025	
DRAWN BY:	WHAAV	
#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE  
**SOUTH ELEVATION**  
 SCALE: 3/16" = 1'-0"  
 SHEET NO.  
**A-103**  
 file:  
 23-01h-2025-08-22-hpb-rev-1.dwg



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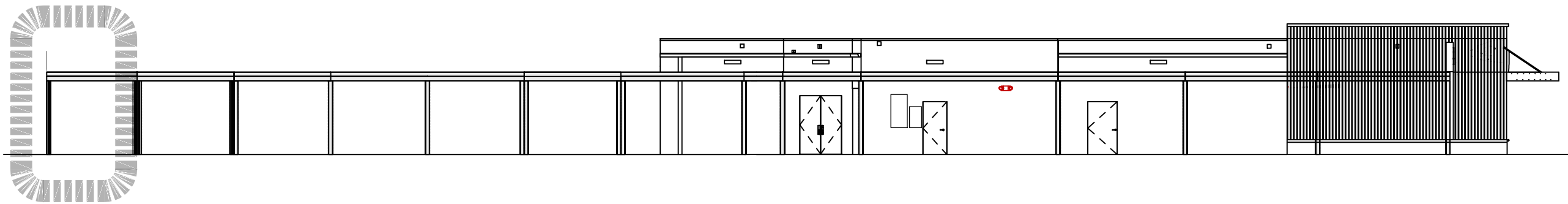
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PROJECT No: 23-01H  
 DATE: 07-25-2025  
 DRAWN BY: WHAIV

#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE  
**WEST ELEVATION**  
 SCALE: 3/16" = 1'-0"  
 SHEET NO.  
**A-104**  
 file:  
 23-01h-2025-08-22-hpb-rev-1.dwg



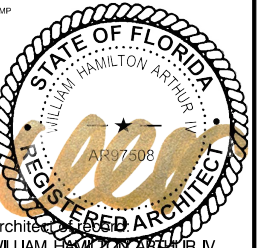
REF ENLARGED SECTION  
SHEET A-110

**RAIN**  
NIGHT CLUB MIAMI

**WHAA**

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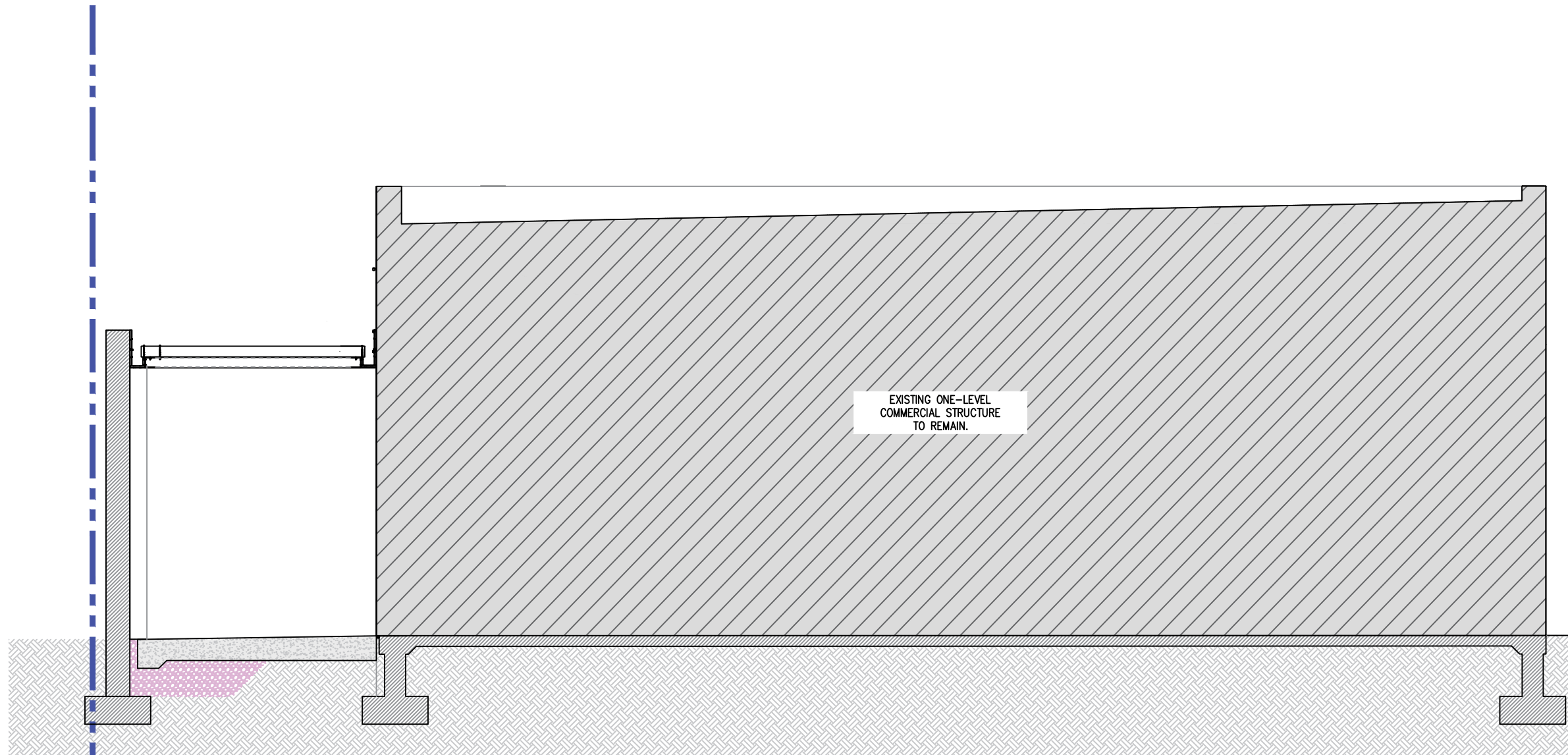
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DATE: 07-25-2025  
DRAWN BY: WHAIV

#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE  
**OVERALL WEST  
ELEVATION**  
SCALE: 1/16" = 1'-0"

SHEET NO  
**A-105**  
file:  
23-01h-2025-08-22-hpb-rev-1.dwg

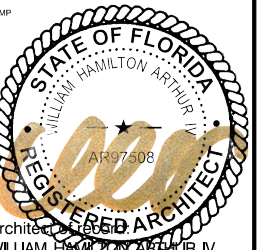


EXISTING ONE-LEVEL  
COMMERCIAL STRUCTURE  
TO REMAIN.



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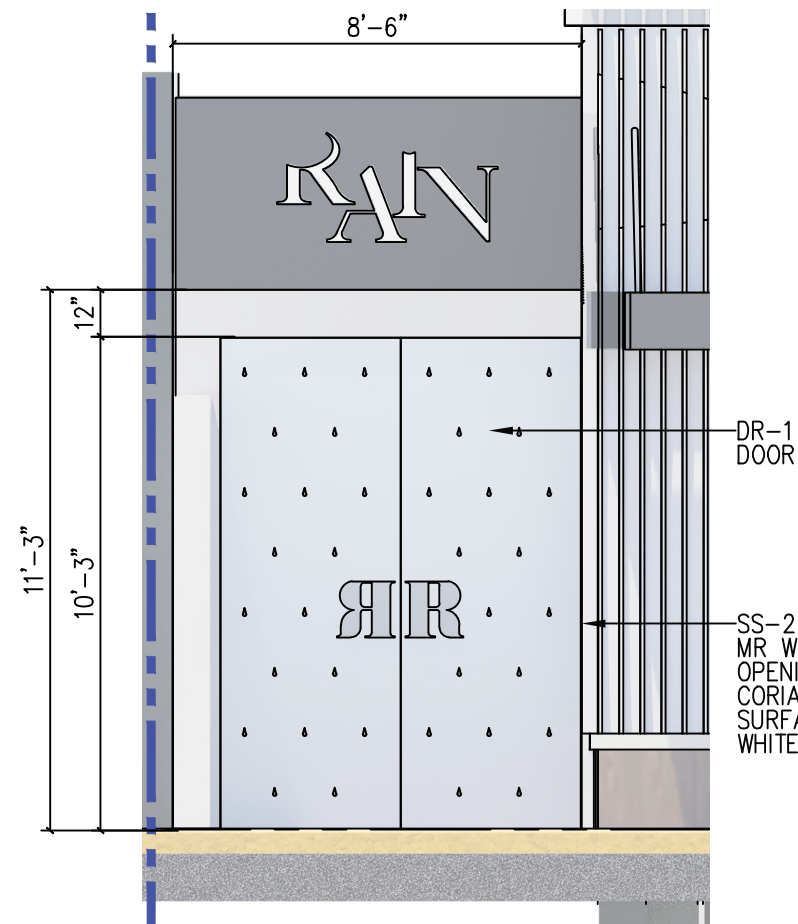
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 DATE: 07-25-2025

DRAWN BY: WHAIV

#	ISSUE	DATE
1	HPB Comments	08/22/2025

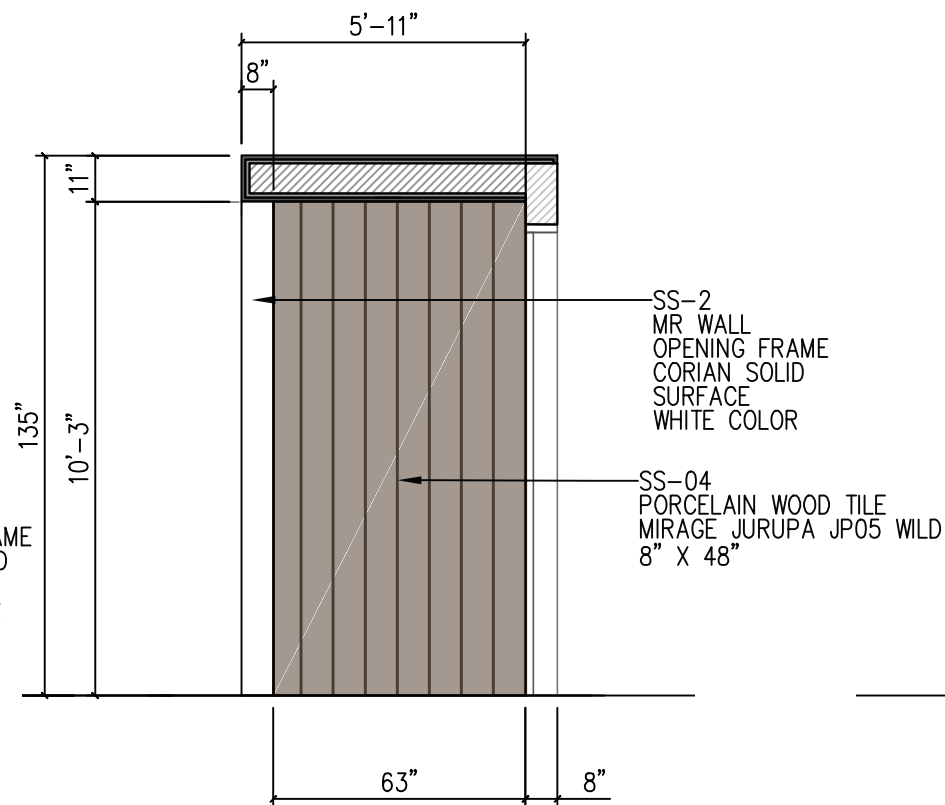
SHEET TITLE  
**OVERALL SECTION**  
 SCALE: 1/4" = 1'-0"

SHEET NO  
**A-106**  
 file:  
 23-01h-2025-08-22-hpb-rev-1.dwg



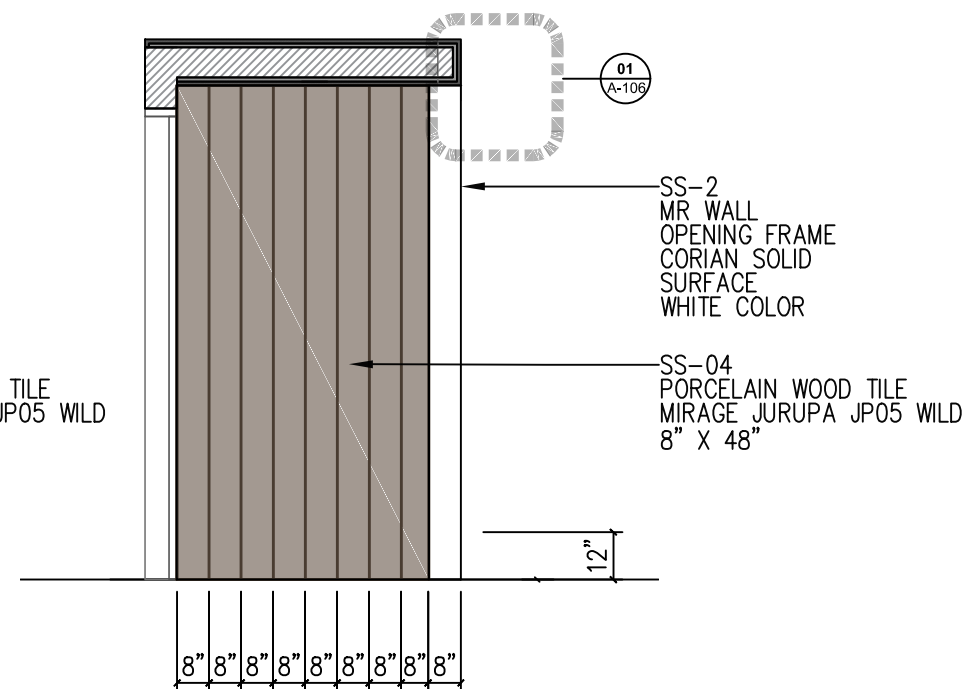
**MAIN ENTRANCE ELEVATION**

SCALE: 1/4" = 1'-0"



**MAIN ENTRANCE SECTION A**

SCALE: 1/4" = 1'-0"

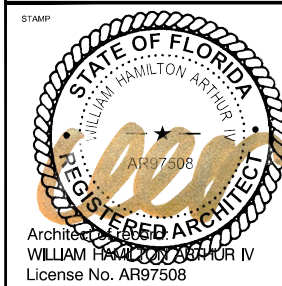


**MAIN ENTRANCE SECTION B**

SCALE: 1/4" = 1'-0"



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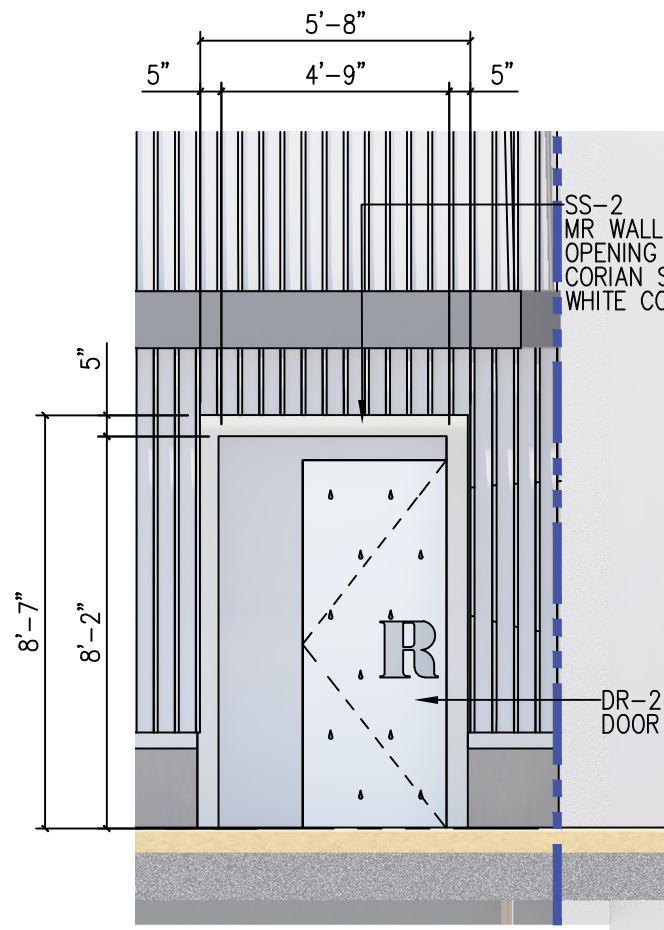
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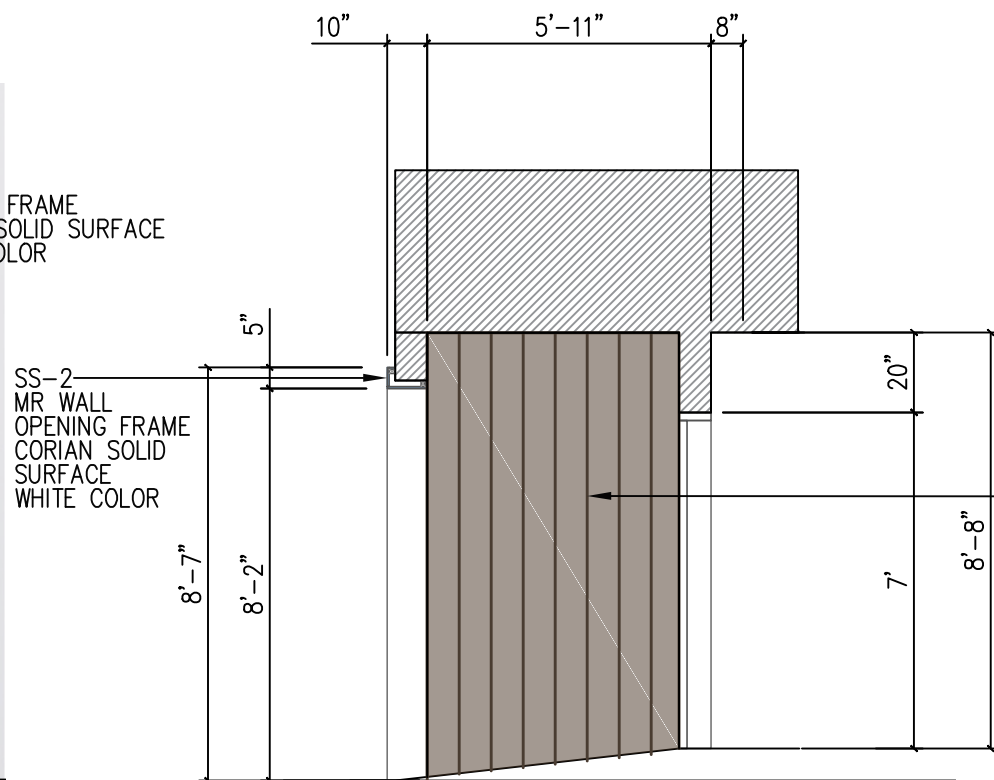
PROJECT No:	23-01H	
DATE:	07-25-2025	
DRAWN BY:	WHAIV	
#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE  
**ENLARGED ELEVATIONS**  
 SCALE: 1/4" = 1'-0"

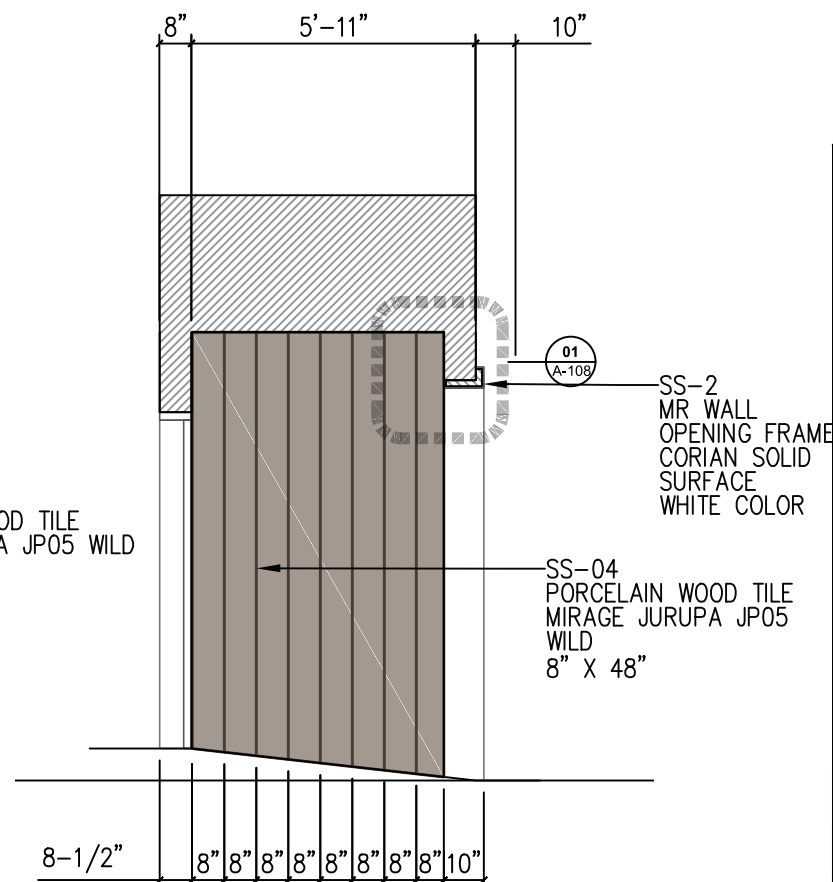
SHEET NO.  
**A-107**  
 file:  
 23-01h-2025-08-22-hpb-rev-1.dwg



VIP ACCESS ELEVATION  
SCALE: 1/4" = 1'-0"



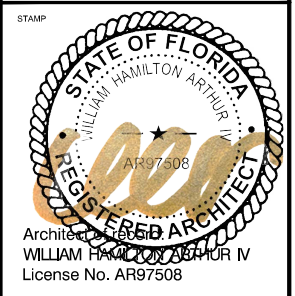
VIP ACCESS SECTION A  
SCALE: 1/4" = 1'-0"



VIP ACCESS SECTION B  
SCALE: 1/4" = 1'-0"



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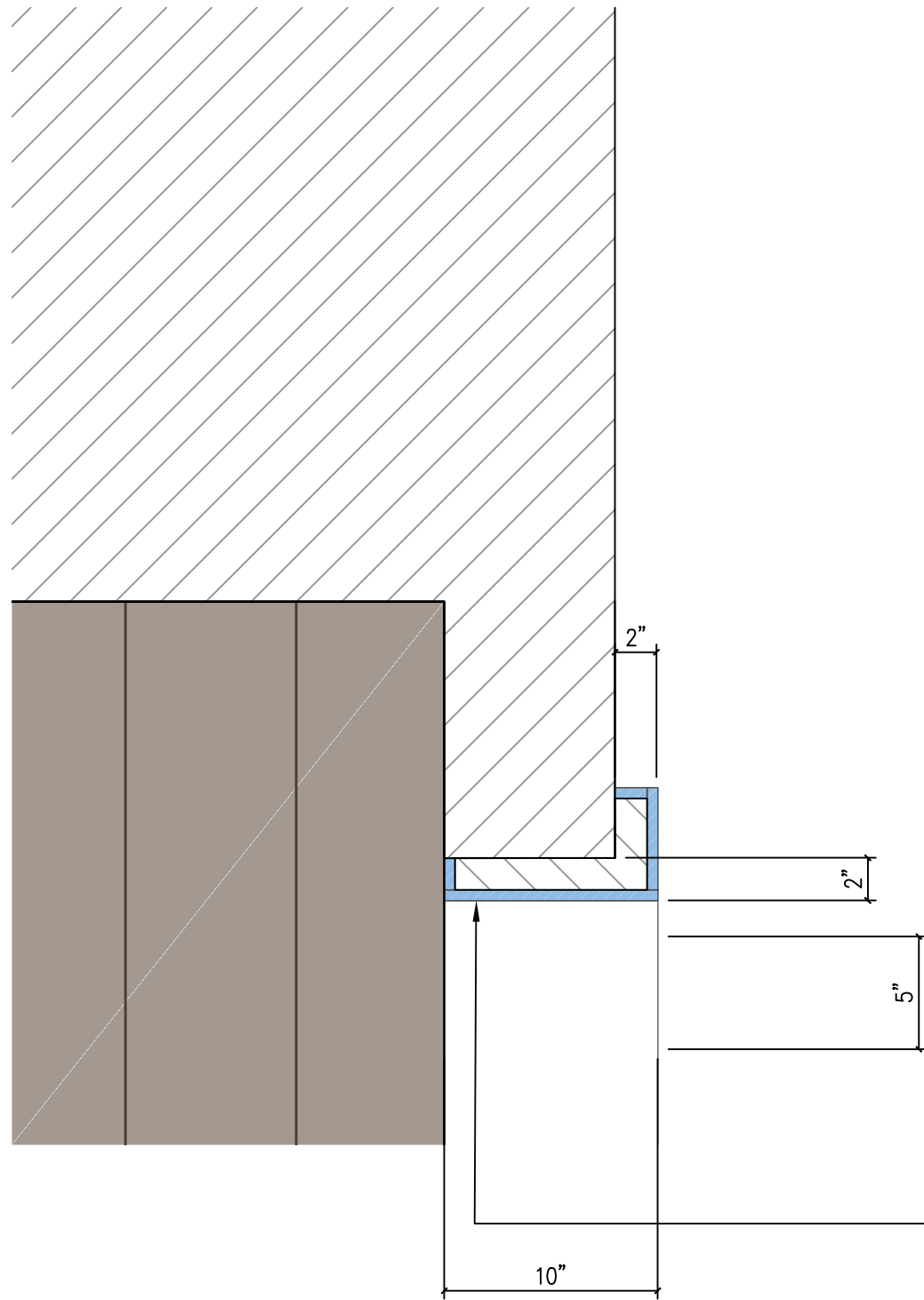
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DRAWN BY: WHAIV

#	ISSUE	DATE
1	HPB Comments	08/22/2025

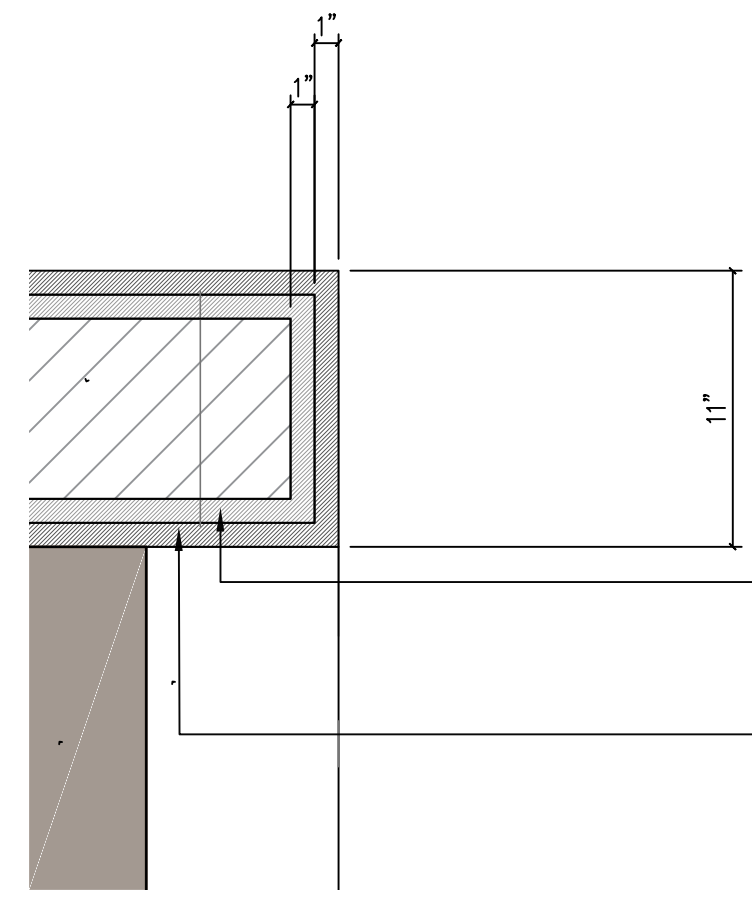
SHEET TITLE  
**ENLARGED ELEVATIONS**  
SCALE: 1/4" = 1'-0"

SHEET NO  
**A-108**  
file:  
23-01h-2025-08-22-hpb-rev-1.dwg



SS-2  
MR WALL  
OPENING FRAME  
CORIAN SOLID SURFACE  
WHITE COLOR

**BACKLIGHT  
TYPICAL DETAIL**  
SCALE: 1-1/2" = 1'-0"



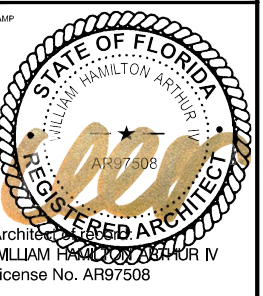
PLYWOOD  
TECHNICAL SPECS  
ACCORDING  
TO CONTRACTOR

SS-04  
PORCELAIN WOOD TILE  
MIRAGE JURUPA JP05  
WLD  
8" X 48"

**BACKLIGHT  
TYPICAL DETAIL**  
SCALE: 1-1/2" = 1'-0"



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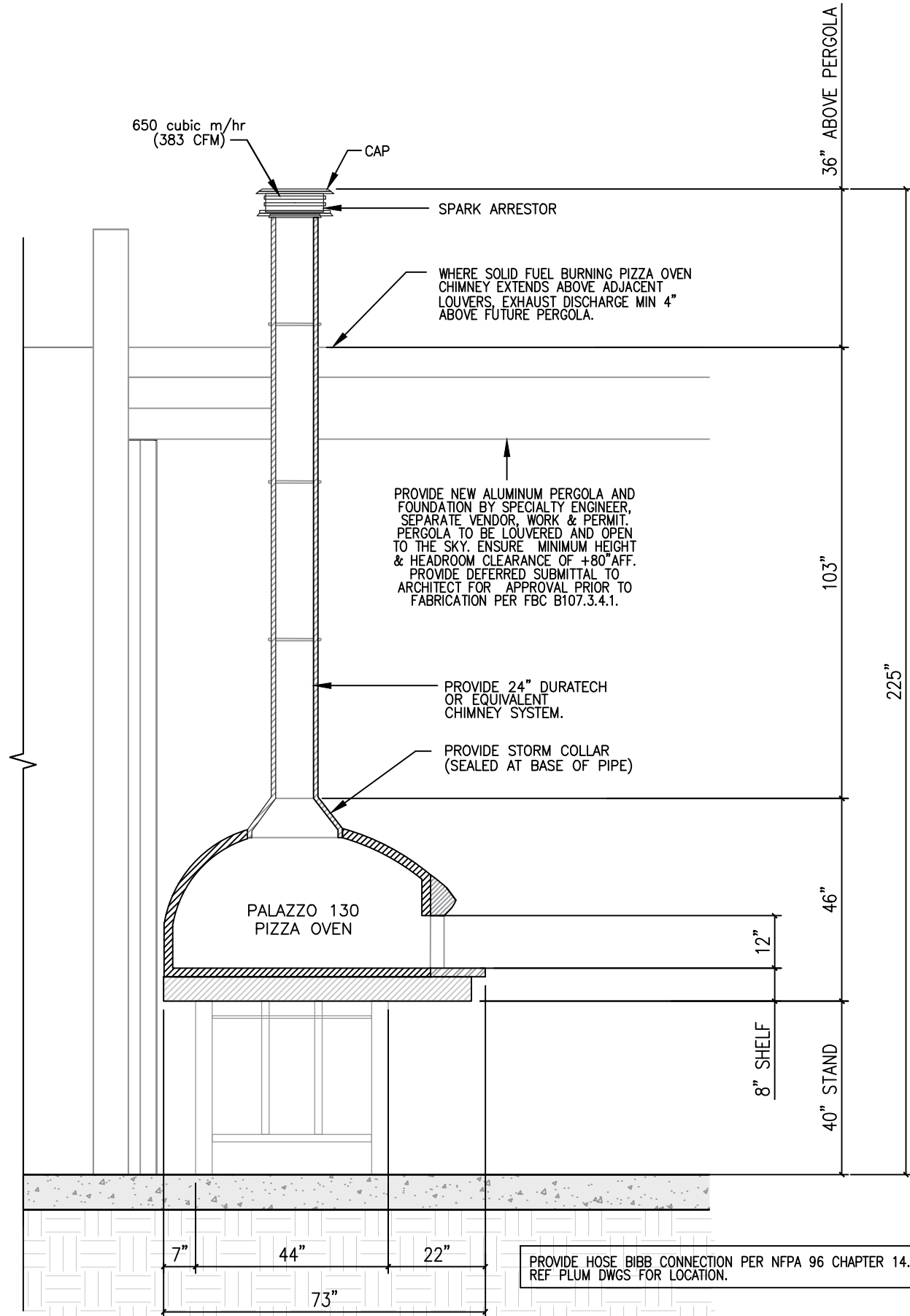
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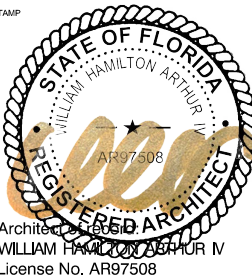
#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE  
**ENLARGED  
SECTION**  
SCALE: 1-1/2" = 1'-0"

SHEET NO  
**A-109**  
file:  
23-01h-2025-08-22-hpb-rev-1.dwg



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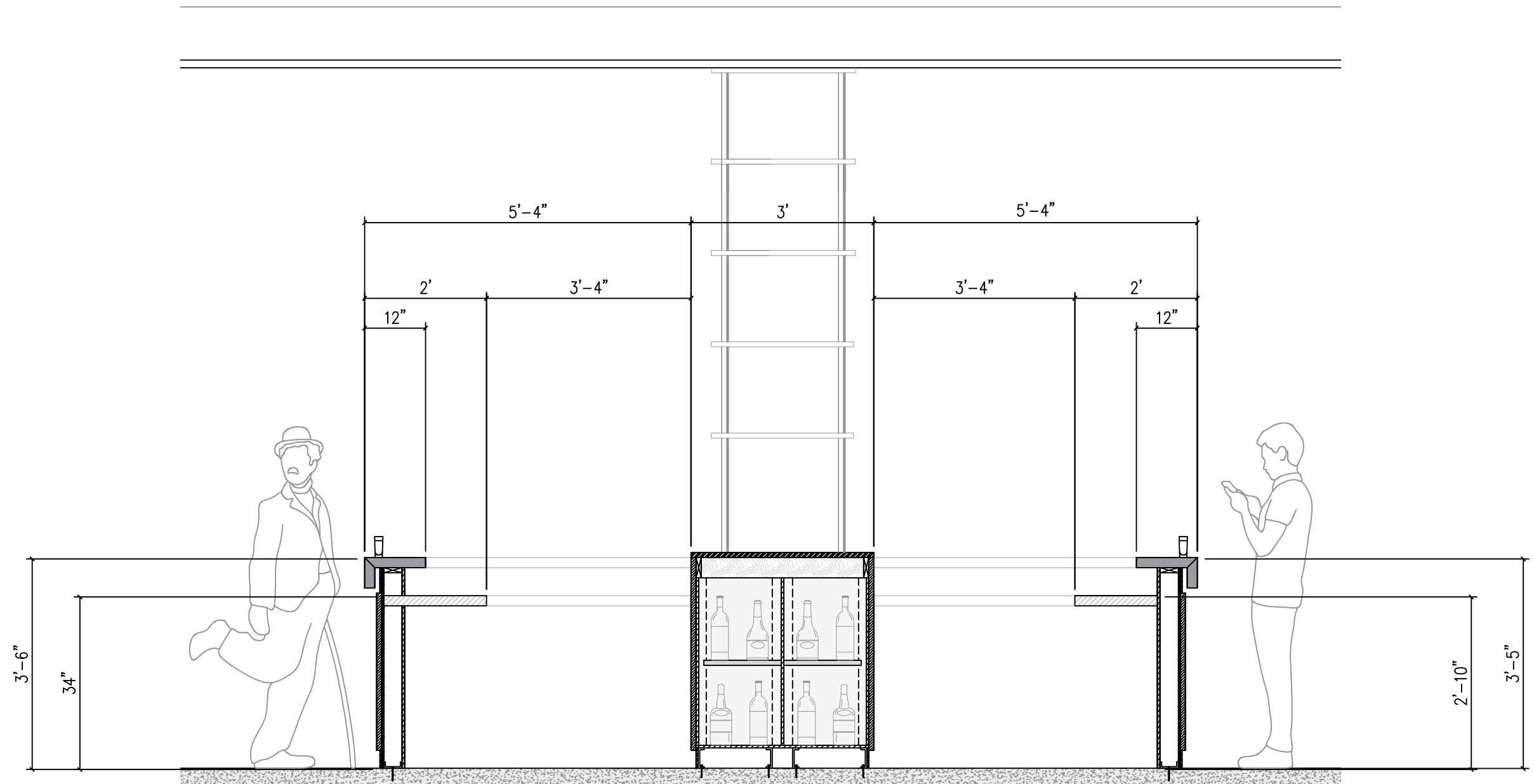
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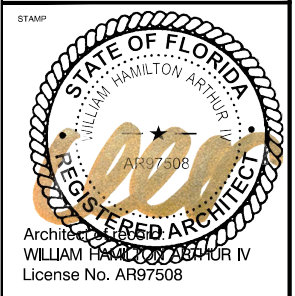
#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE  
**ENLARGED PIZZA OVEN**  
 SCALE: 3/8" = 1'-0"

SHEET NO  
**A-110**  
 file:  
 23-01h-2025-08-22-hpb-rev-1.dwg



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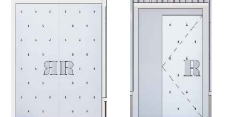







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PROJECT No:	23-01H	
DATE:	07-25-2025	
DRAWN BY:	WHAAIV	
#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE  
**EXTERIOR  
 BAR COUNTER  
 DETAIL**  
 SCALE: 3/8" = 1'-0"

SHEET NO  
**A-111**  
 file:  
 23-01h-2025-08-22-hpb-rev-1.dwg

FINISH SCHEDULE

Item #	Item Name	Photo/Graphic	Vendor	Manufacturer	Model #	Color/Finish	Dimensions
L-1	MINUS LED SPOTLIGHT LIGHT FIXTURE SLIM PROFILE		TBD	MINUS	1-MINUS ONE	BLACK	REF MANF.
L-2	LED STRIPS FOR BACKLIT FRAME RGB		TBD	TBD	TBD	TBD	TBD
L-3	SIGN LIGHTING		TBD	TBD	TBD	TBD	TBD
SS-1	<b>STUCCO SURFACE WITH DECORATIVE BLADES</b>		TBD	TBD	TBD	WHITE	TBD
SS-2	MARIO ROMANO WALLS OPENING FRAME CORIAN SOLID SURFACE WHITE COLOR		MARIANO ROMANO WALLS	MARIANO ROMANO	CUSTOM	CORIAN SOLID SURFACE, WHITE	TBD
SS-3	MARIO ROMANO WALLS FRAME CORIAN SOLID SURFACE WHITE COLOR		MARIANO ROMANO WALLS	MARIANO ROMANO	CUSTOM	CORIAN SOLID SURFACE, WHITE	TBD
SS-4	PORCELAIN WOOD TILE MIRAGE JURUPA JP05 WILD 8" X 48"		MIRAGE	MIRAGE	JURUPA JP05 WILD	PORCELAIN	8"X48"
SS-5	MARIO ROMANO WALL WHITE FRAME FOR SIGN FLAT CORIAN SOLID SURFACE WHITE COLOR		MARIANO ROMANO WALLS	CORIAN	TBD	CORIAN SURFACE WHITE	TBD
SS-6	MARIO ROMANO WALL FRAME CORIAN SOLID SURFACE WHITE COLOR		MARIANO ROMANO WALLS	CORIAN	TBD	WHITE	TBD
SS-7	MARIO ROMANO WALL BLACK FRAME FOR NAME		MARIANO ROMANO WALLS	TBD	TBD	BLACK	TBD
F-1	PERGOLA BY OTHERS		TBD	TBD	TBD	BLACK	TBD
DR-1	EXTERIOR DOOR		CUSTOM	TBD	TBD	TBD	TBD
DR-2	EXTERIOR DOOR		CUSTOM	TBD	TBD	TBD	TBD
P-1	EXTERIOR WALL PAINT		SHERWIN WILLIAMS	SHERWIN WILLIAMS	SW7006	EXTRA WHITE	TBD



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 DATE: 07-25-2025  
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#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE  
**FINISH SCHEDULE**

SHEET NO  
**A-200**  
 file:  
 23-01h-2025-08-22-hpb-rev-1.dwg

# RAIN

NIGHT CLUB MIAMI

## WHAA

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#	ISSUE	DATE
1	HPB Comments	08/22/2025

SHEET TITLE  
**RENDERINGS**

SHEET NO  
**A-201**  
file:  
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