

1800 Michigan Avenue

Historic Preservation Board

July 8, 2025



Property Location



Current Conditions



Current Conditions



Current Conditions



Current Conditions



Interior Conditions



2 INTERIOR OF HOUSE 1
1" = 20'-0"



3 INTERIOR OF HOUSE 2
1" = 20'-0"



5 INTERIOR OF HOUSE 4
1" = 20'-0"



4 INTERIOR OF HOUSE 3
1" = 20'-0"



6 INTERIOR OF HOUSE 5
1" = 20'-0"

1/16" = 1'-0"

1810 Michigan Avenue – Prior to Emergency Demo



1818 Michigan Avenue – Prior to Emergency Demo



1818 Michigan Avenue – Prior to Emergency Demo



Collins Canal – Prior to Emergency Demo



1810 Michigan Avenue – Approved Design



1818 Michigan Avenue – Approved Design



Precedent



22 Star Island



Precedent



Raising a home involves lifting it off the ground and building a new higher foundation below it.



Photo By Sam Raising homes, which involves lifting it off the ground and building a new higher foundation below it, is one way homeowners are protecting their properties from flooding. | [Lathan Goumas/Virginia Sea Grant, CC BY-ND 4.0](#)

Norfolk, Virginia

Palm View Flooding

Miami Herald

NEWS SPORTS IMMIGRATION POLITICS OPINION GAMES OBITUARIES CAREERS BANKING GUIDE

MIAMI BEACH

In a South Beach neighborhood prone to flooding, residents battle over historic label

By Kyra Gurney

May 4, 2019 6:45 AM



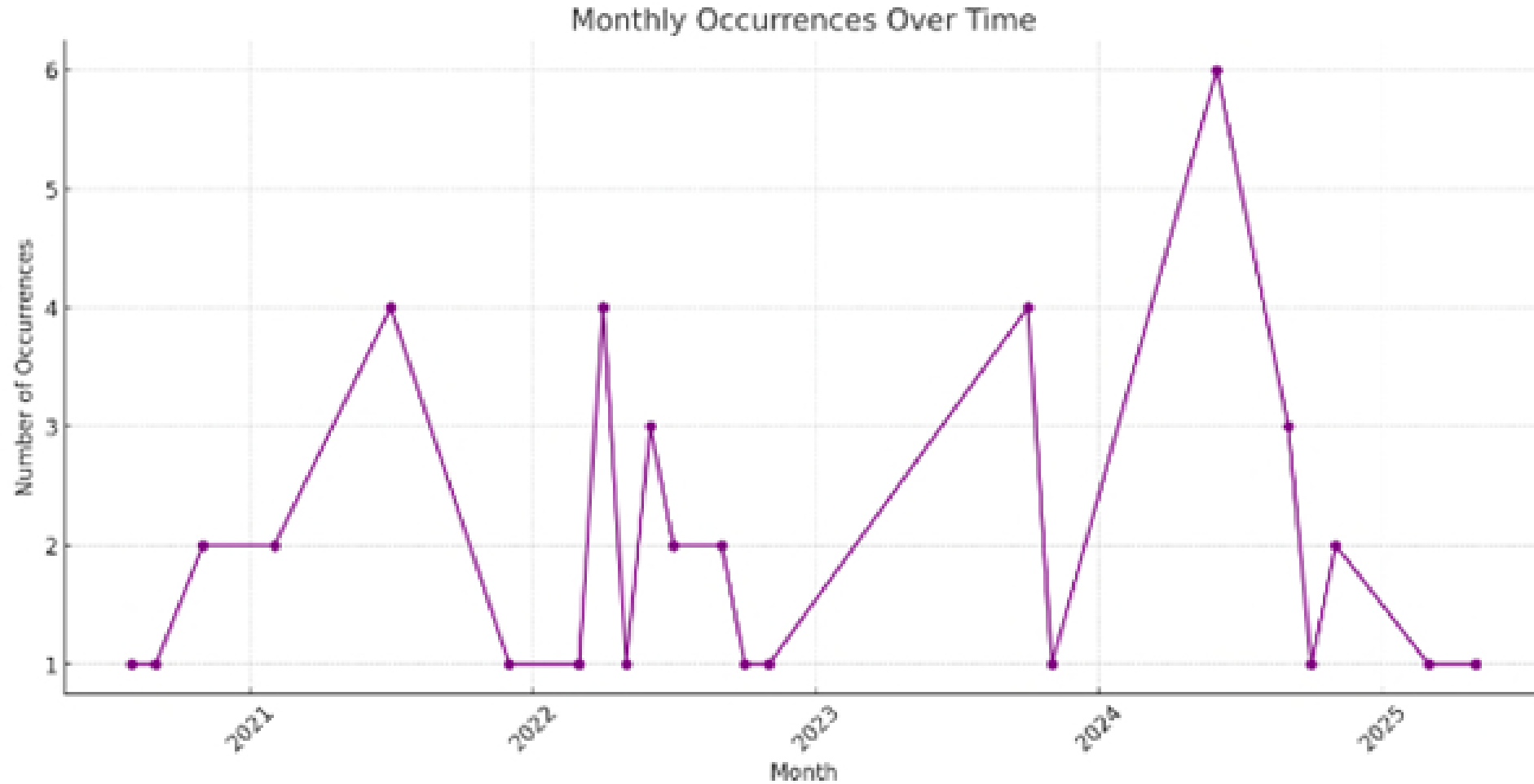
An image of the flooding in South Beach's Palm View neighborhood. Richard Silverman



• **Existing Infrastructure Findings:**

- Low street elevations
- Insufficient drainage methods
- Pervious swales are blocked with concrete curbs
- Gravity based stormwater system with only 2 outfalls into Collins Canal
- No control systems (floodgates), so stormwater washes back onto street

Flood History Palm View Neighborhood



Structural Assessment

- Current structural systems
- Structural evaluations
- Site observations
- Concrete testing

Structural Systems

- Distress signs: cracking, spalling, water damage, and termite damage
- Structural system does not comply with the Florida Building Code
 - Level 3 alteration, replacement of a significant portion of the building's structural components

Roof

- Connections for wind uplift forces and wind lateral resistance are non-existent
- Requires roof connection tie downs to strengthen the roof

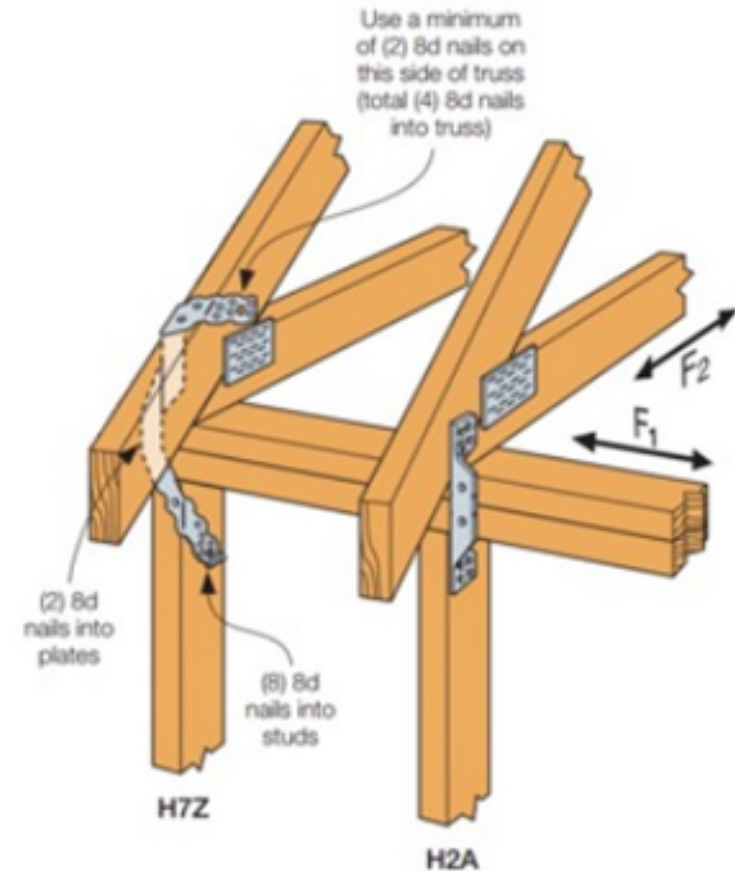
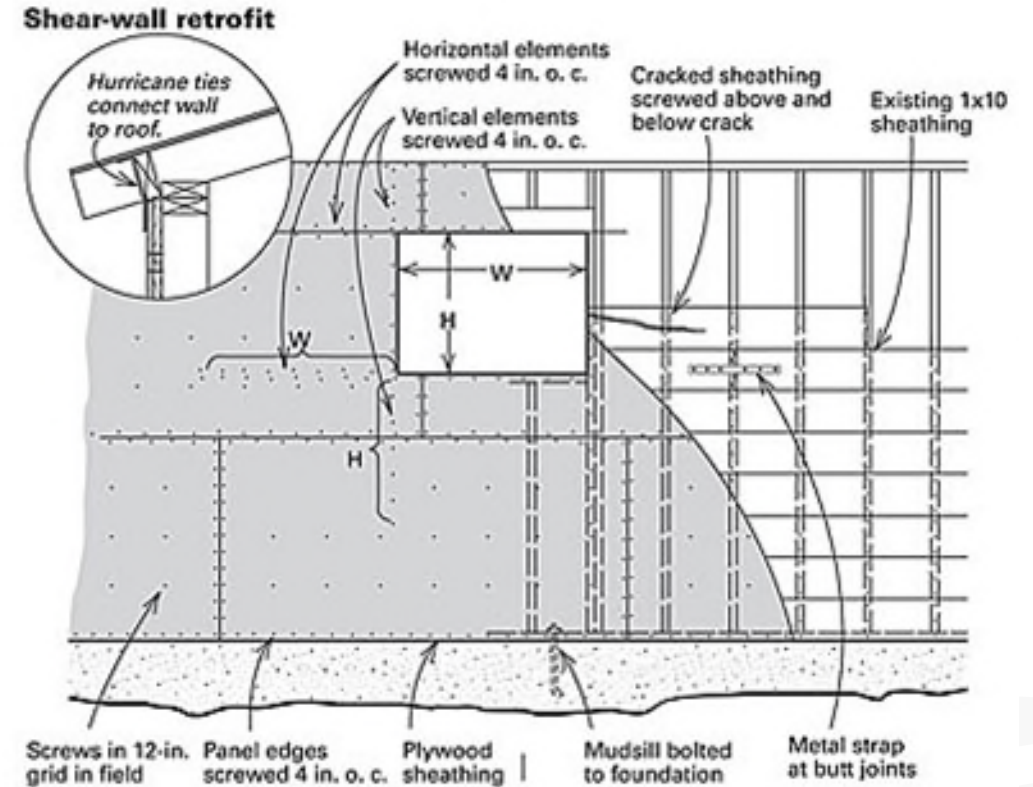


Figure 9. Roof-Framing-to-Stud Connection with Single Hurricane Tie

Walls and Openings

- Opening protection and wood reinforcing is non-existent
- Requires lateral load structural systems to be installed, such as shearwalls



Floors

- All wood joists are “fire cut” into the wood wall, not connected to walls via strapping or any other mechanism

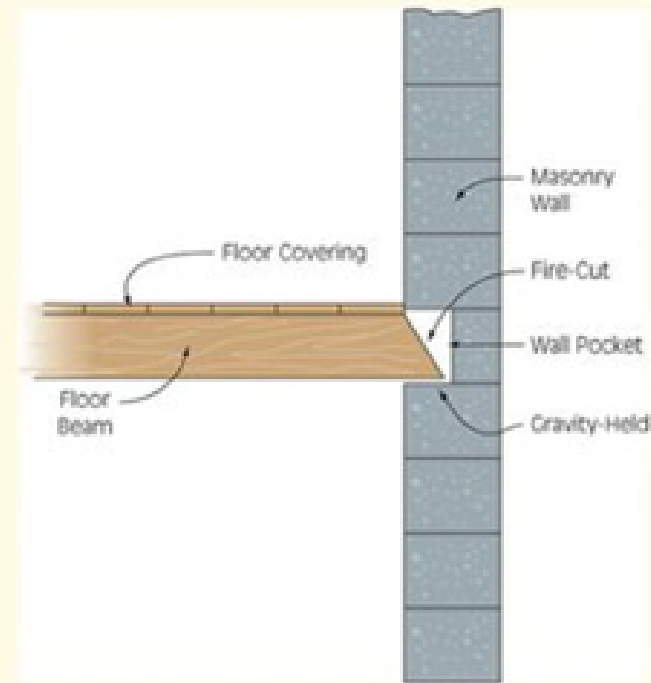
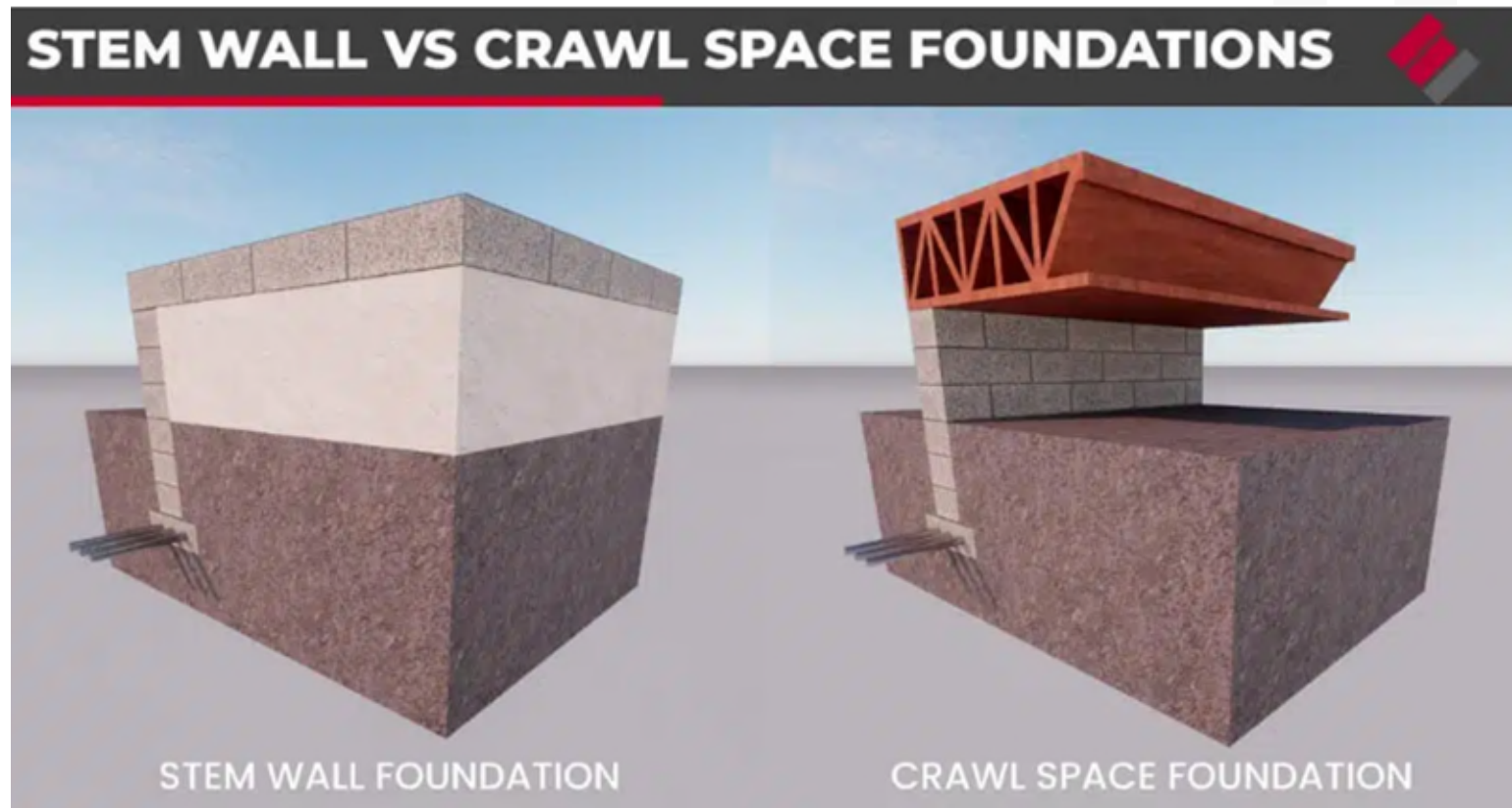


Figure 13-20 Wood and heavy timber beams were often “fire-cut” so that a fire-damaged, sagging floor would simply slide out of the wall pocket in order to preserve the wall.

Foundation

- Slab on grade
- Shallow foundation supporting concrete stem walls
- Foundation has to be strengthened to resist lateral loads

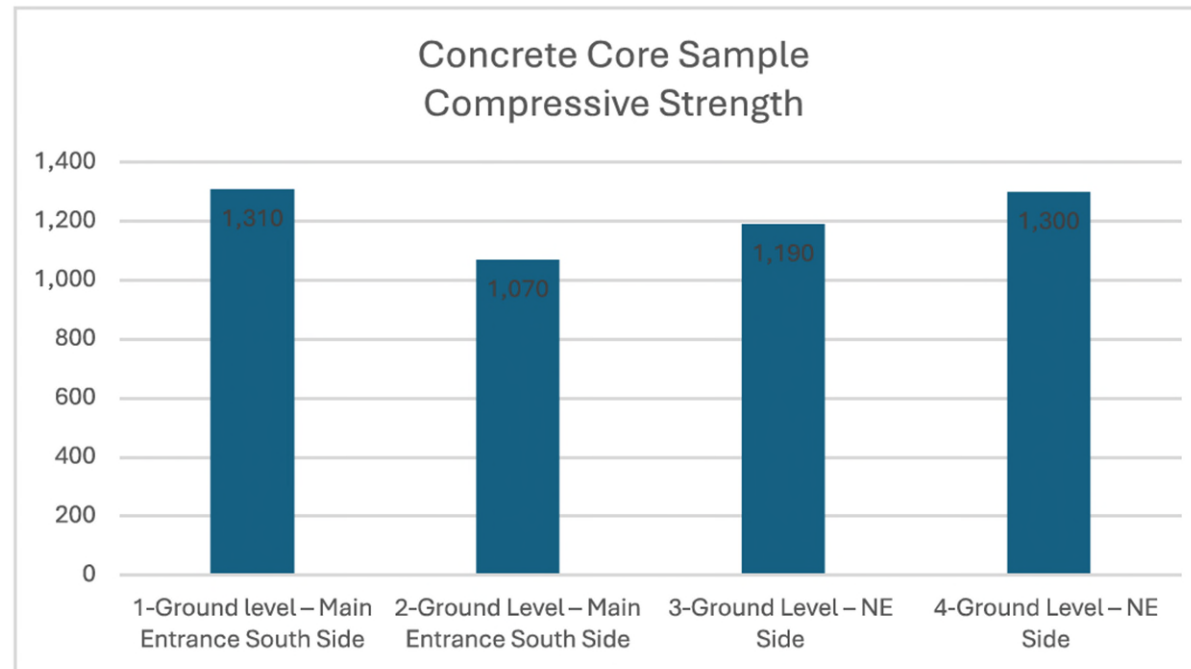


Site Observations

1. Roof structure failures leading to water intrusion and wood members sagging, rotting, failing, and total collapse in multiple areas
2. 40% concrete spalling and cracking throughout. Evidence of previous repairs re-cracking
3. Presence of mold and water intrusion on interior walls and ceilings exhibit varying levels of failure

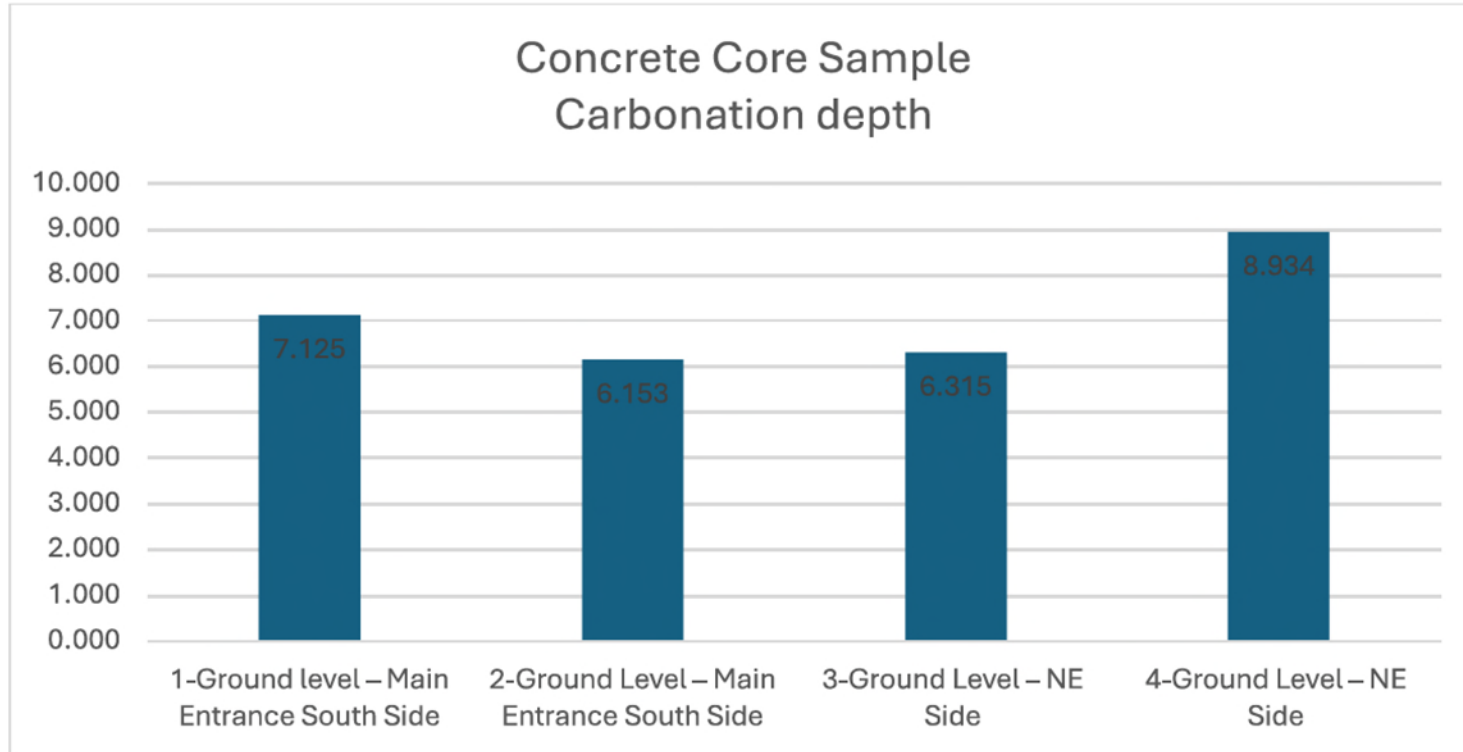
Concrete Strength

- Ability to withstand pressure before breaks or fails
- Low compressive strength concrete is more prone to cracking and spalling
- Lead to structural failure and compromise the stability



The Concrete compressive strength ranged from 1,070 to 1,310 PSI. Per Florida Building Code the concrete strength should be 5,000 PSI.

Concrete Testing



- Depth of carbonation is measured from the surface of the concrete
- Carbonation exposes the rebars to corrosion
- Carbonation is extensive ranging from 6.153" to 8.934"

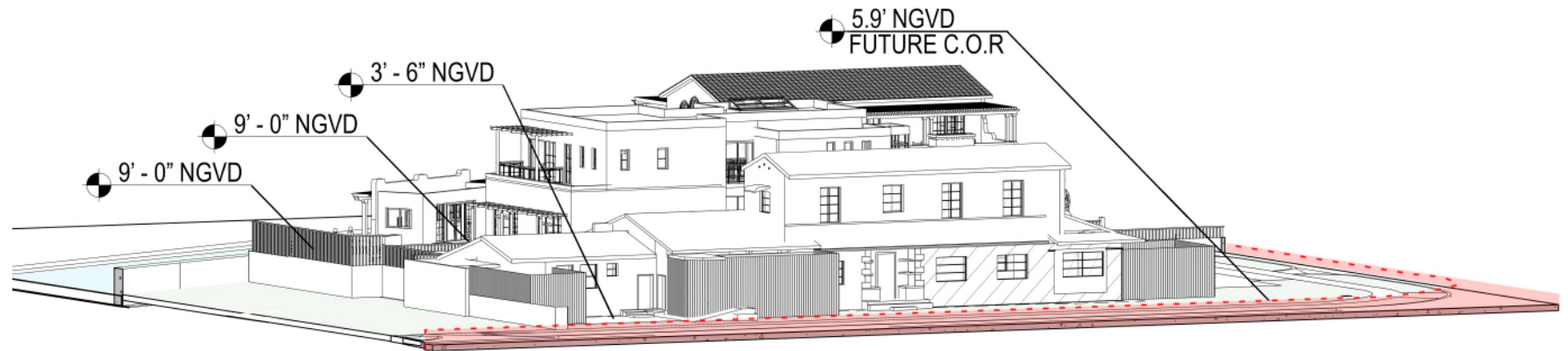
Structural Conclusions

- Based on original construction methods and significant damage:
 - Portions built illegally and without permits
 - Extensive interior and exterior demolition needed
 - Structure would not withstand shoring and lifting of portions to comply with today's standards (Base Flood Elevation + 2' of Freeboard)
 - Weak concrete that is exposed to corrosion

Valley Condition

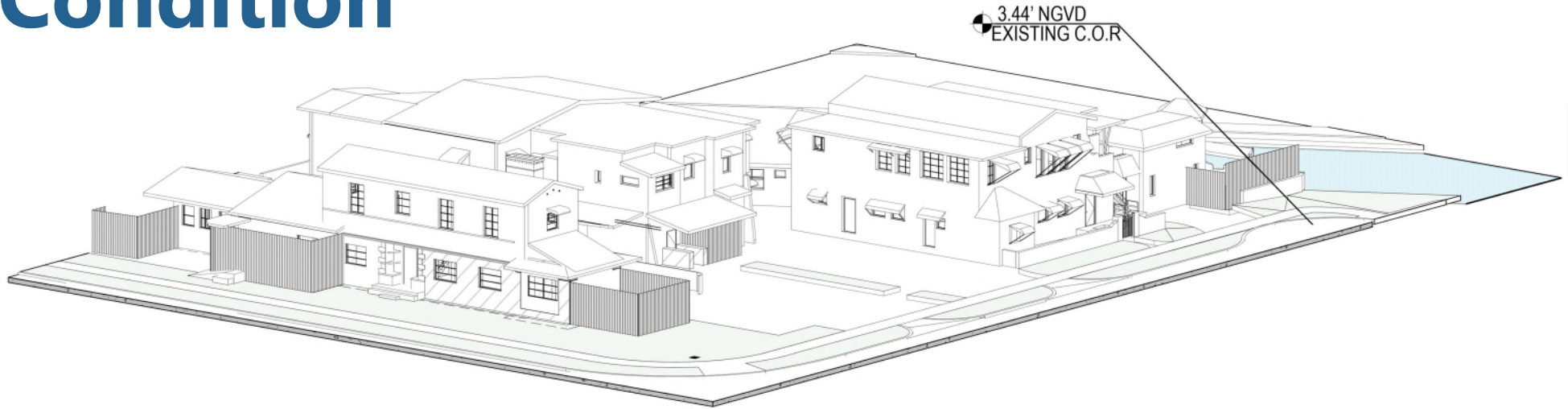


EXISTING AXONOMETRIC BEFORE DEMOLITION OF 1810 AND 1818

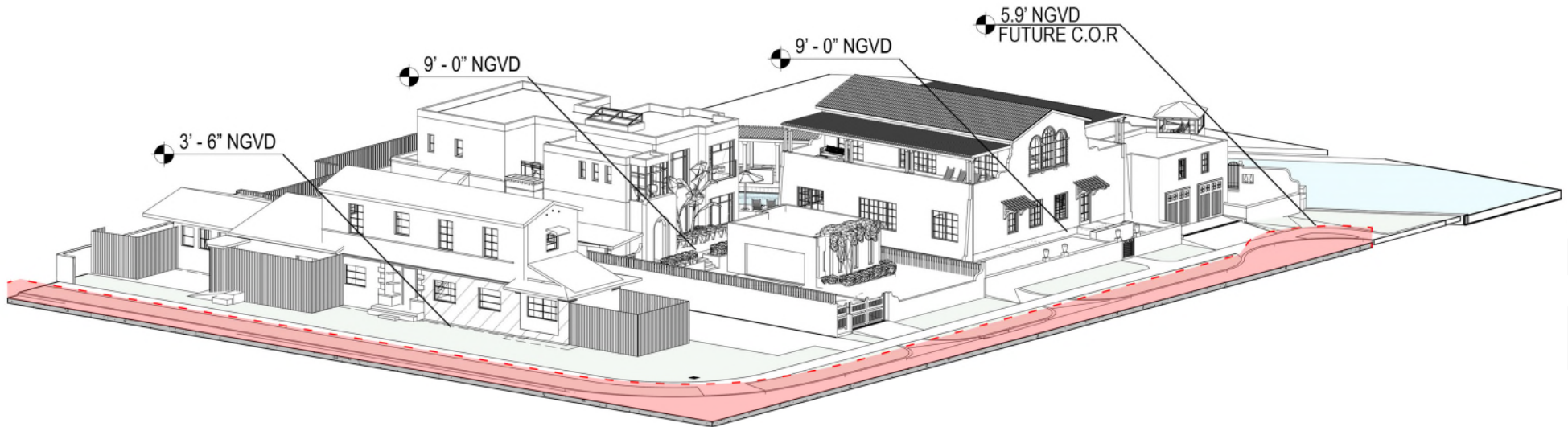


AXONOMETRIC SHOWING PROPOSED 1810 AND 1818

Valley Condition

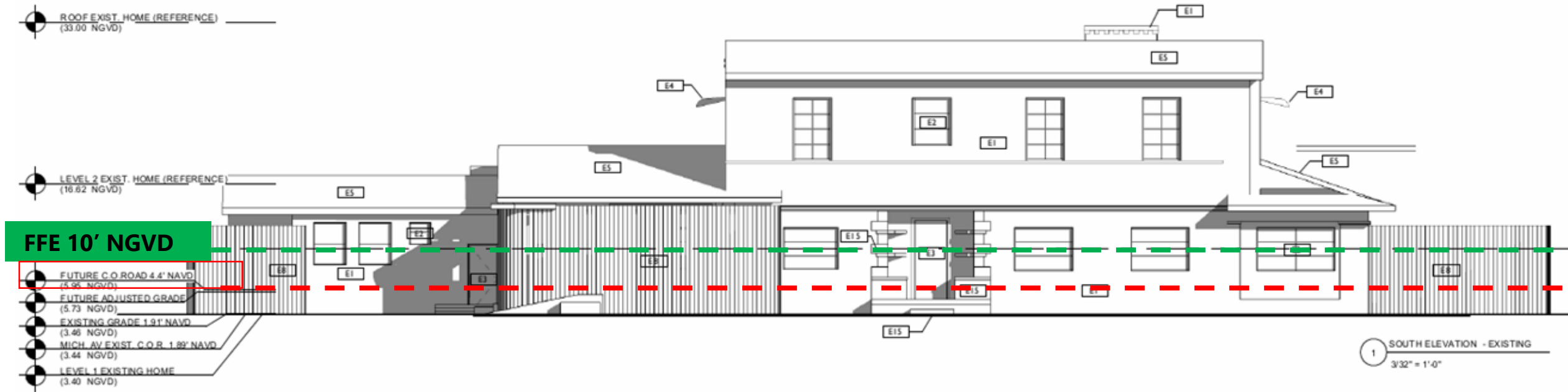


EXISTING AXONOMETRIC BEFORE DEMOLITION OF 1810 AND 1818



AXONOMETRIC SHOWING PROPOSED 1810 AND 1818

Current Florida Building Code Standard

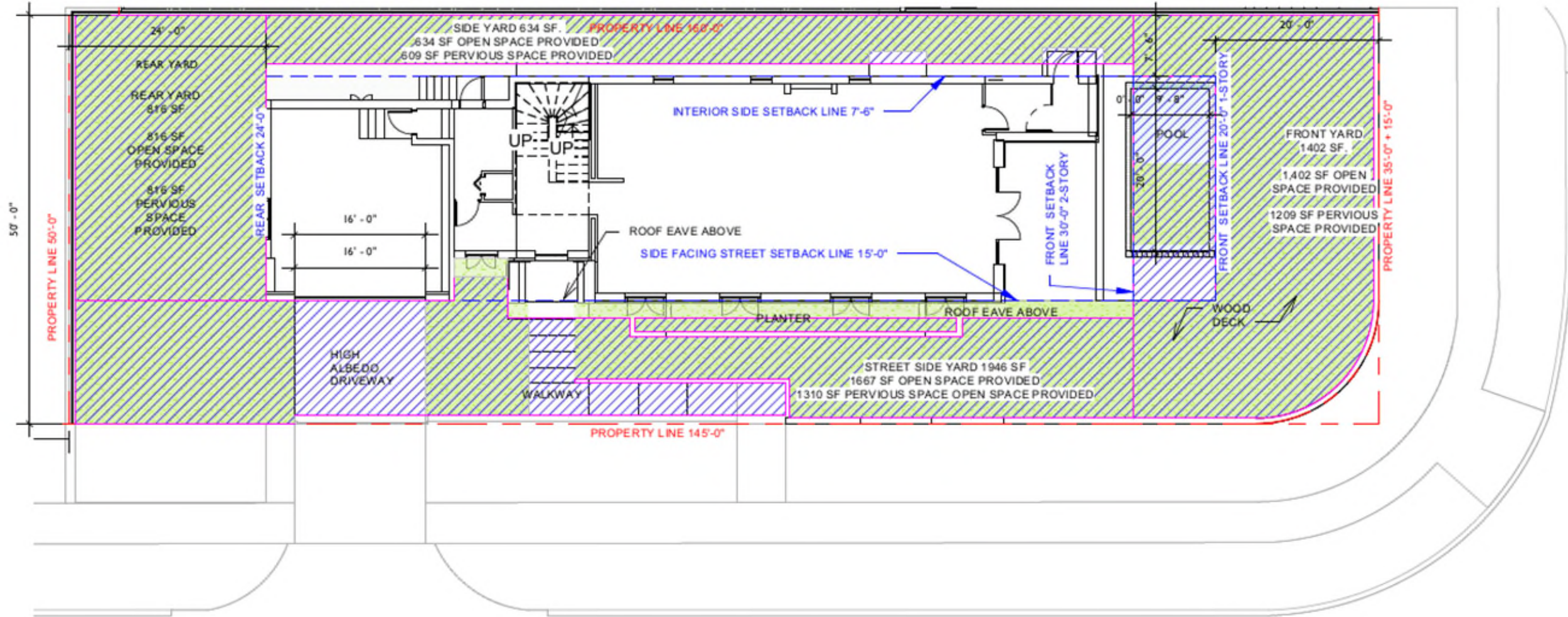






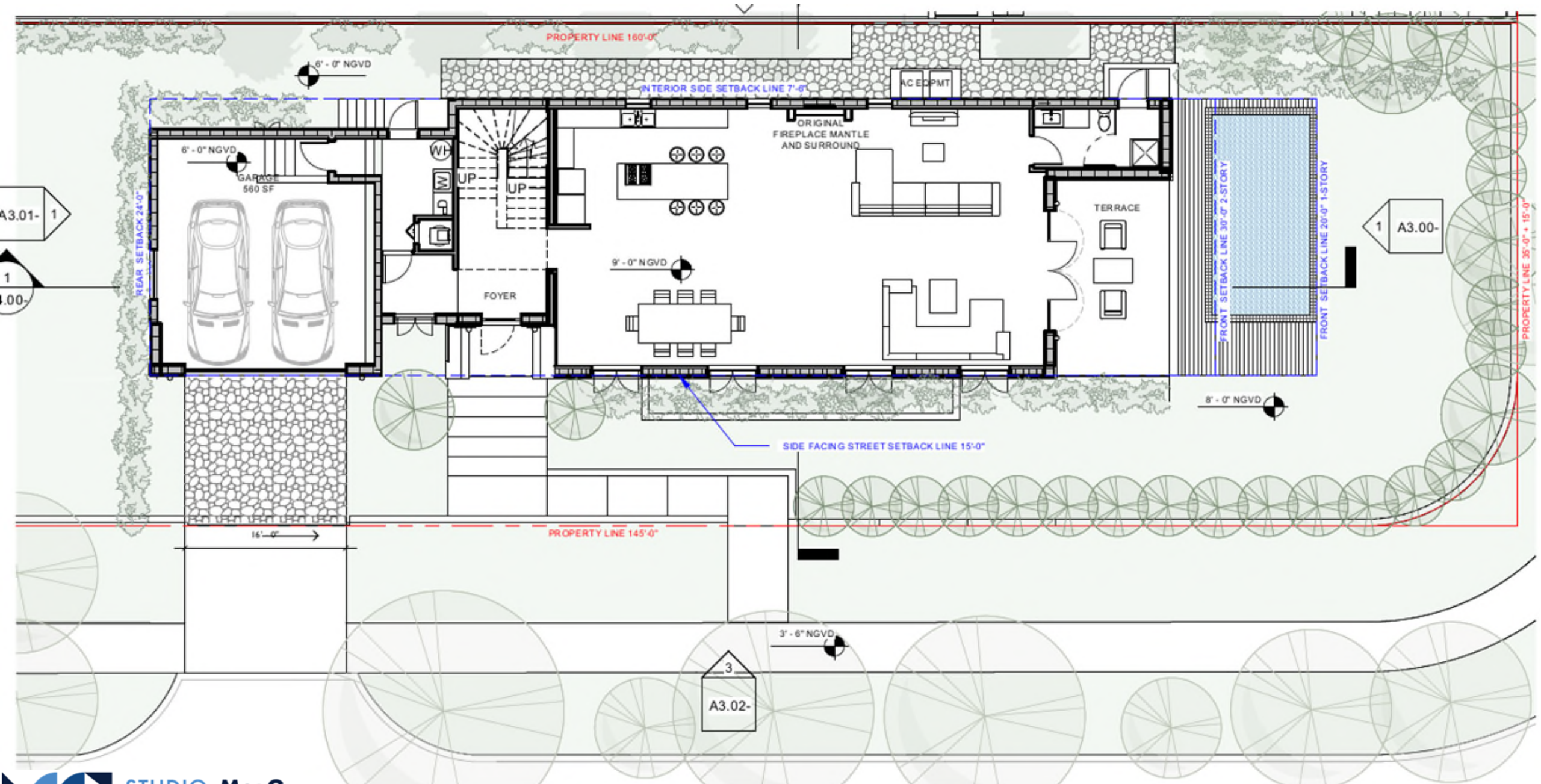
Proposed New Home

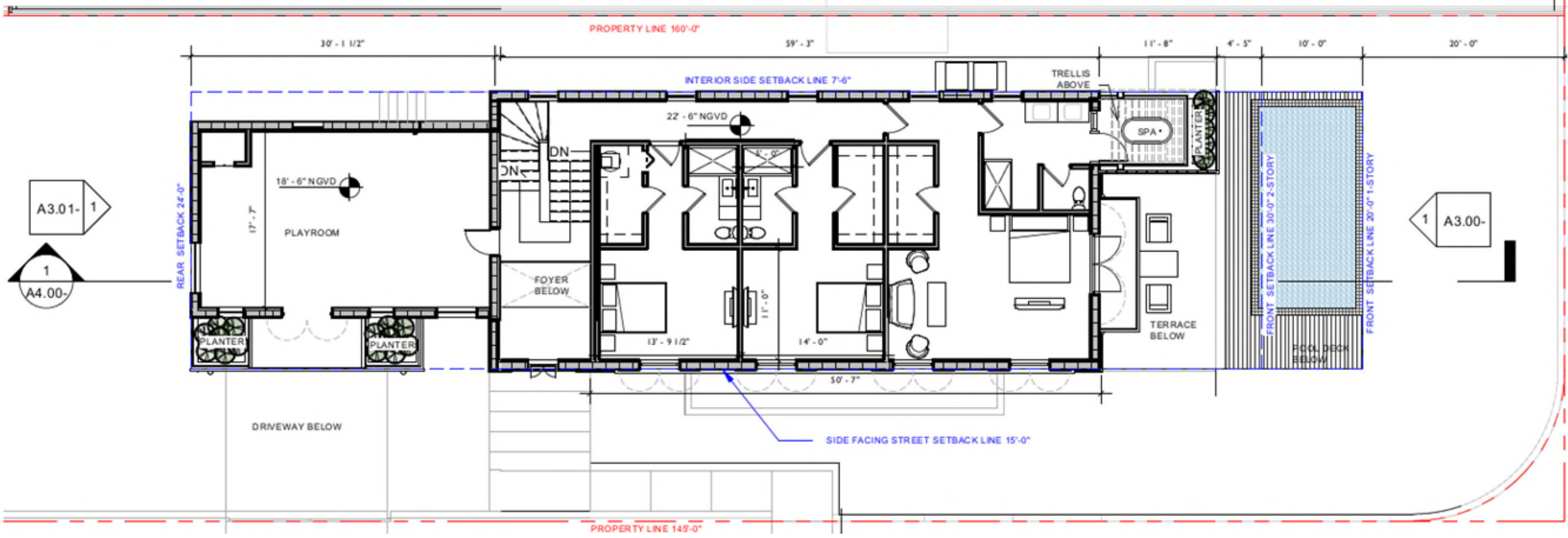
- 50% unit size
- 30% lot coverage
- Compliance with all setbacks
- 27' height with sloped roof
- No variances



REFER TO LANDSCAPE PLAN FOR PLANTING INFORMATION

1 PROPOSED YARD OPEN SPACE DIAGRAM.
1/16" = 1'-0"





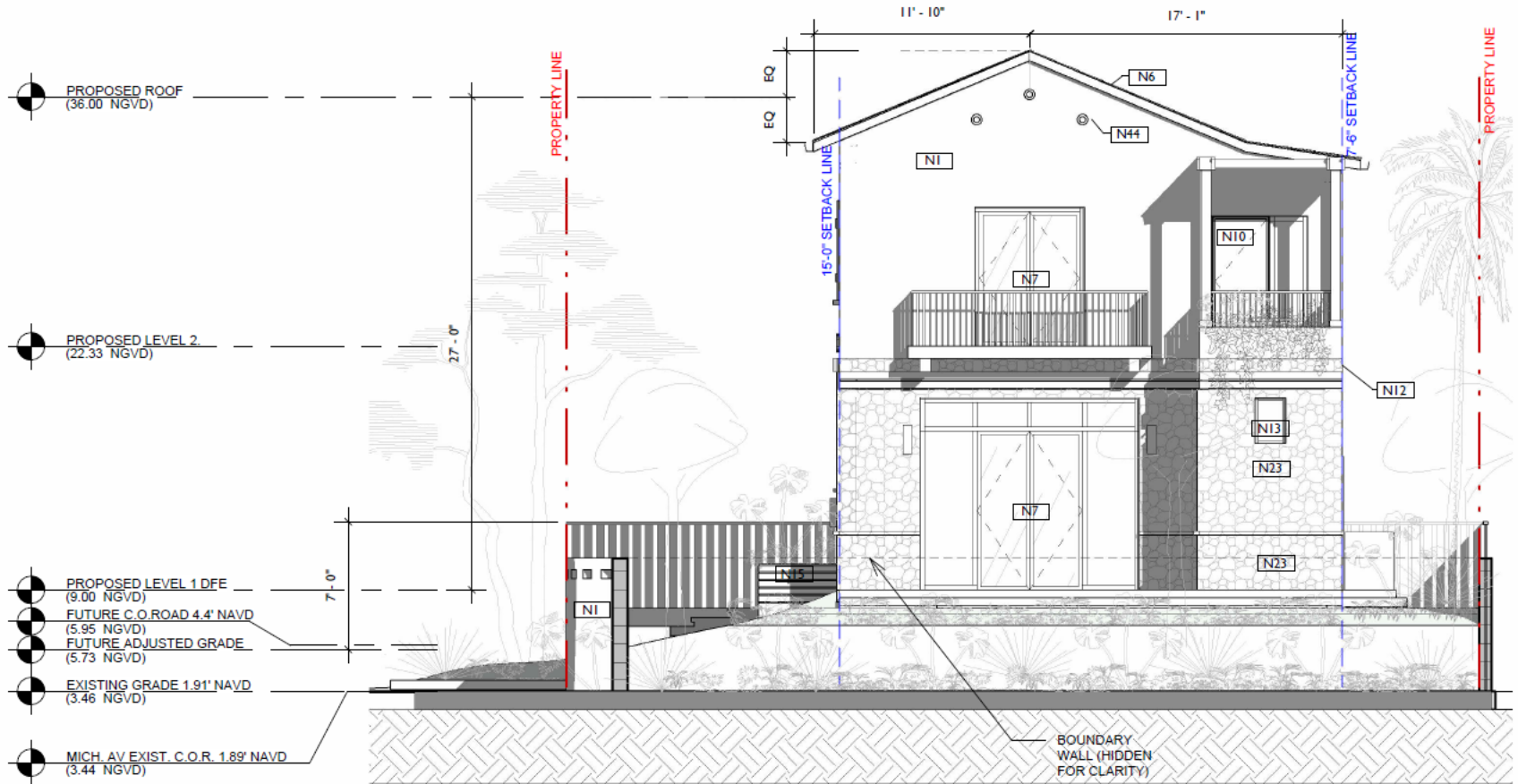
A3.01-1

1
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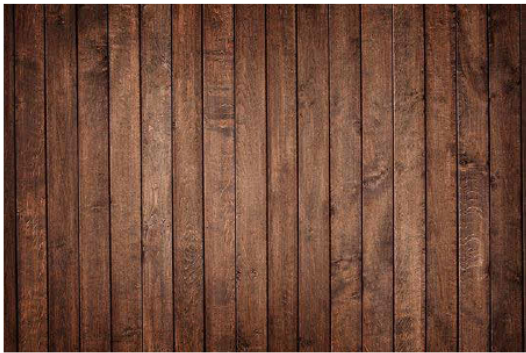
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South Elevation



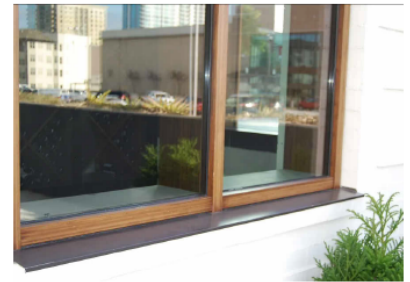
East Elevation



WOODEN DETAILS



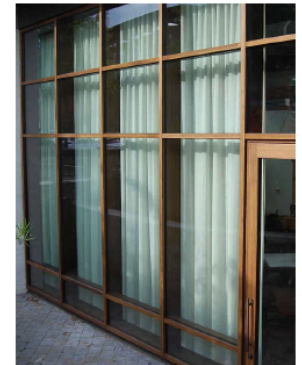
CORAL ROCK



BARREL ROOF TILE IN COLOR VARIATIONS



BLACK VERTICAL RAILING



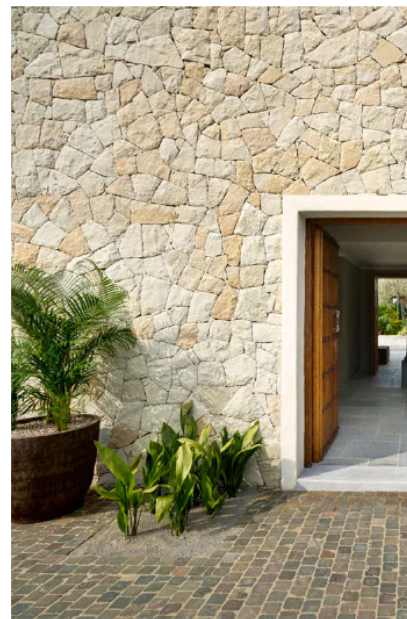
POWDER COATED ALUMINUM MULLIONS



WHITE STUCCO, CORAL ROCK REVEALS AND DETAIL



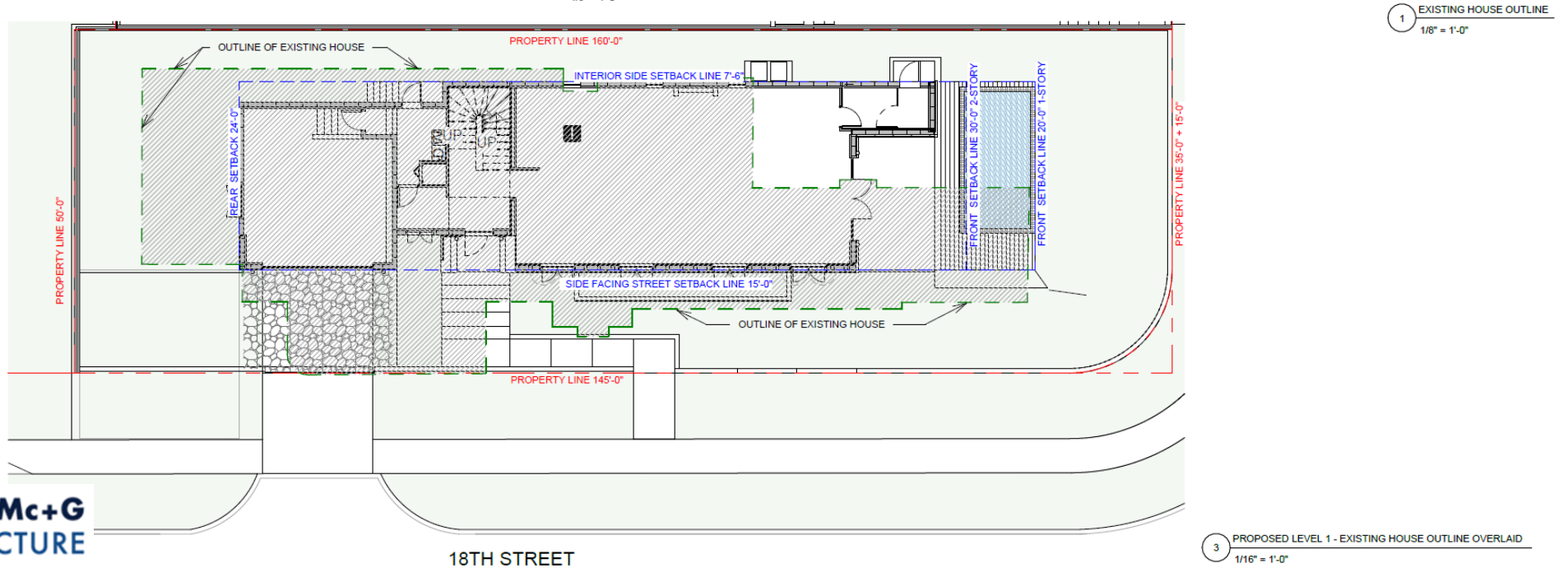
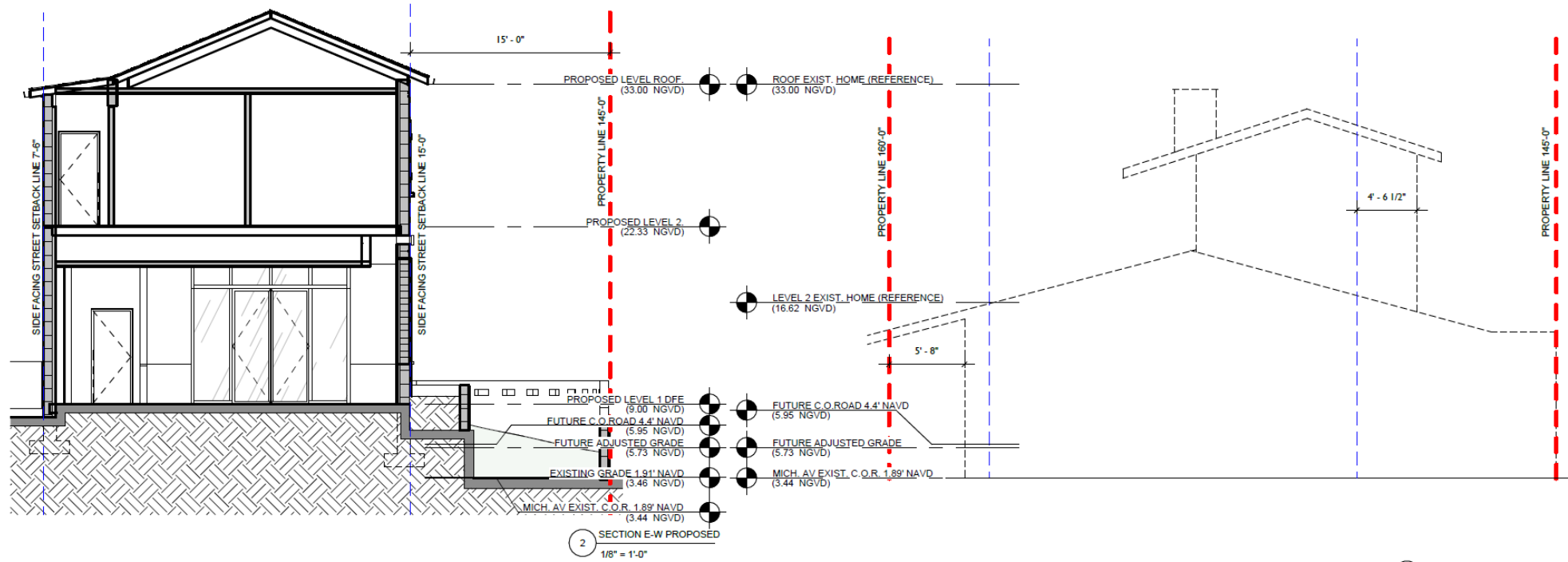
WOOD DOORS



WOOD WINDOW HEADERS



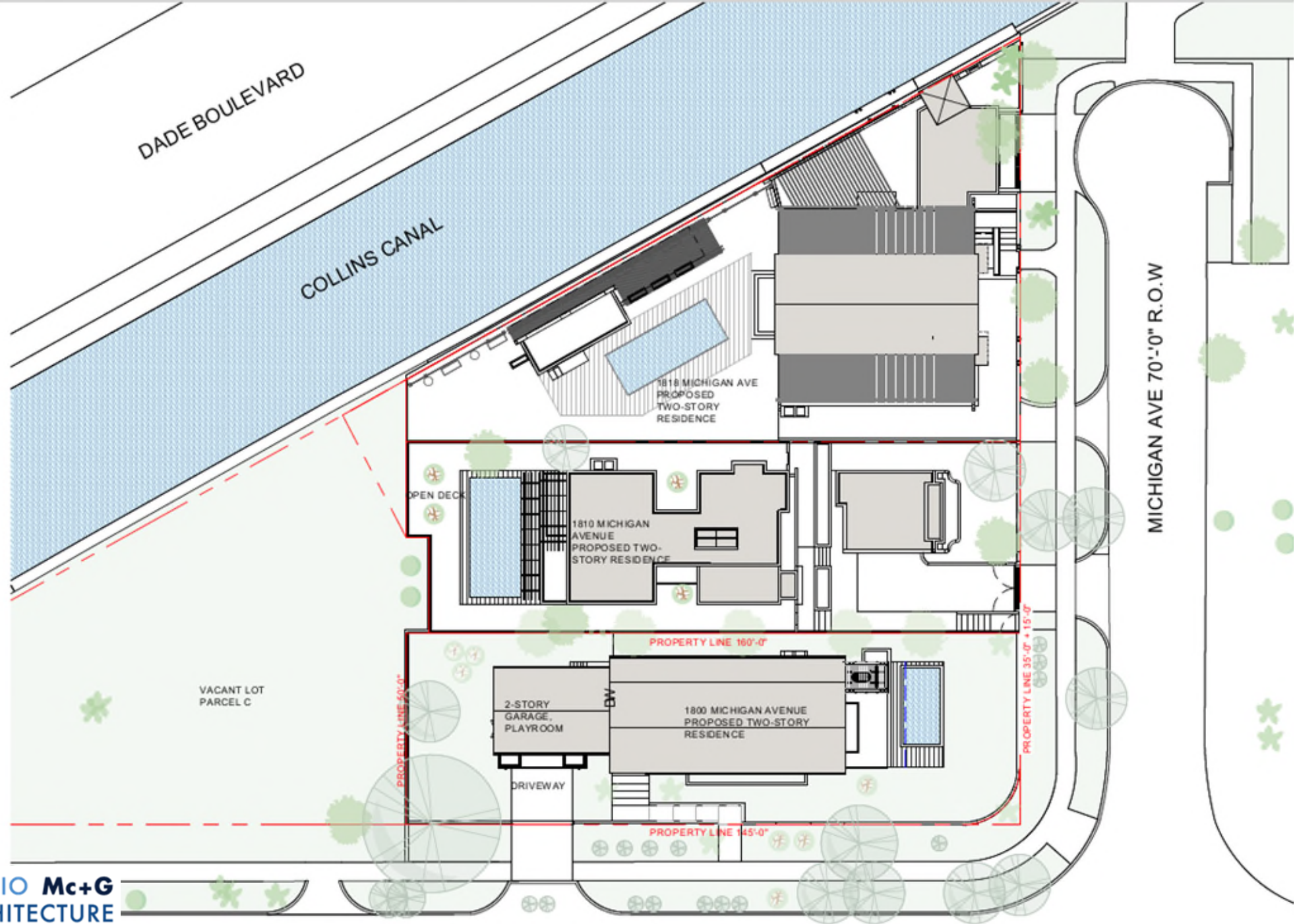
WOOD GARAGE DOOR



3 PROPOSED LEVEL 1 - EXISTING HOUSE OUTLINE OVERLAID
1/16" = 1'-0"

New Context – Michigan Avenue





Thank You

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Duties of a Trustee as a Fiduciary

- Fairness and impartiality
- Render accountings and information
- Prevent commingle assets
- Prevent conflicts of interest
- Make trust property productive (produce income)
- Other Duties: distribute funds, file taxes, enforce claims and defend actions

TIMELINE

1986	1800 Michigan Avenue purchased
2000	Rita and Ivor started doing business with M. Stern
2009	M. Stern files bankruptcy → Rita and Ivor started receiving foreclosure notices on properties they thought they owned outright
2009-2020	Litigation between title company and Rita and Ivor regarding foreclosure
2012-2013	M. Stern indictment → Accused of using their identities, without their knowledge, to refinance the mortgages. M. Stern forged their signatures on the mortgage loan documents.
2020	Property deeded from Rita and Ivor to IRRS 1800 Michigan LLC
2021	Rita passed away
2021	Luis and Anthony managers of IRRS 1800 Michigan LLC
2023	Ivor passed away
2024	All tenants removed
February 2024 – May 2025	Demolition of 1810 and 1818 Michigan Avenue, installation of fence and landscaping
April 2024 – ongoing	Seawall permit approved, pending contractor
November 2024	Lot Split Approval
December 2024	HPB Approval 1810 and 1818 Michigan Avenue

Additions



1941



1965

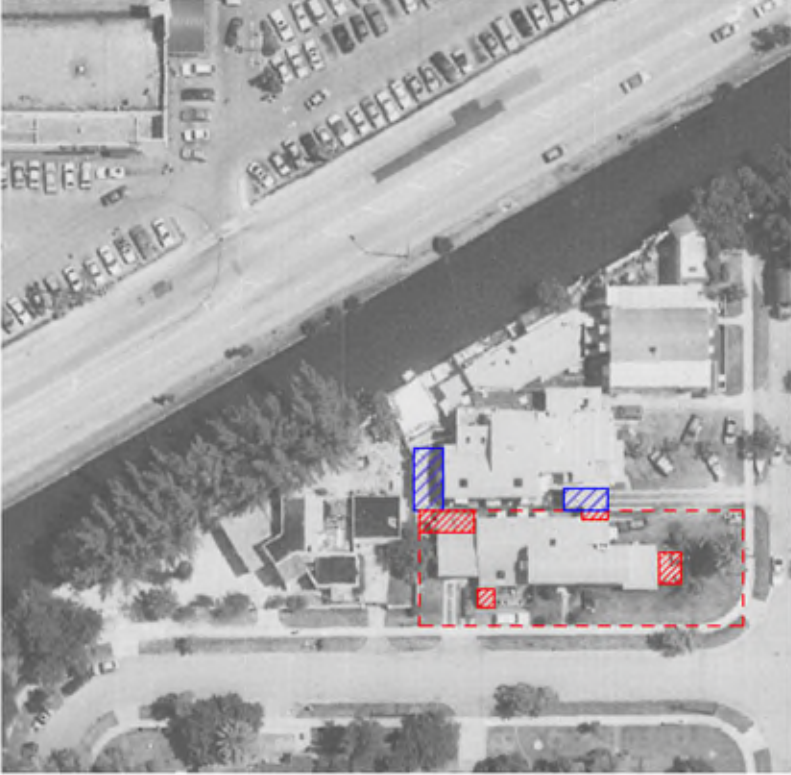


1969

Additions



1985



1994



2000



1
A4.00-

