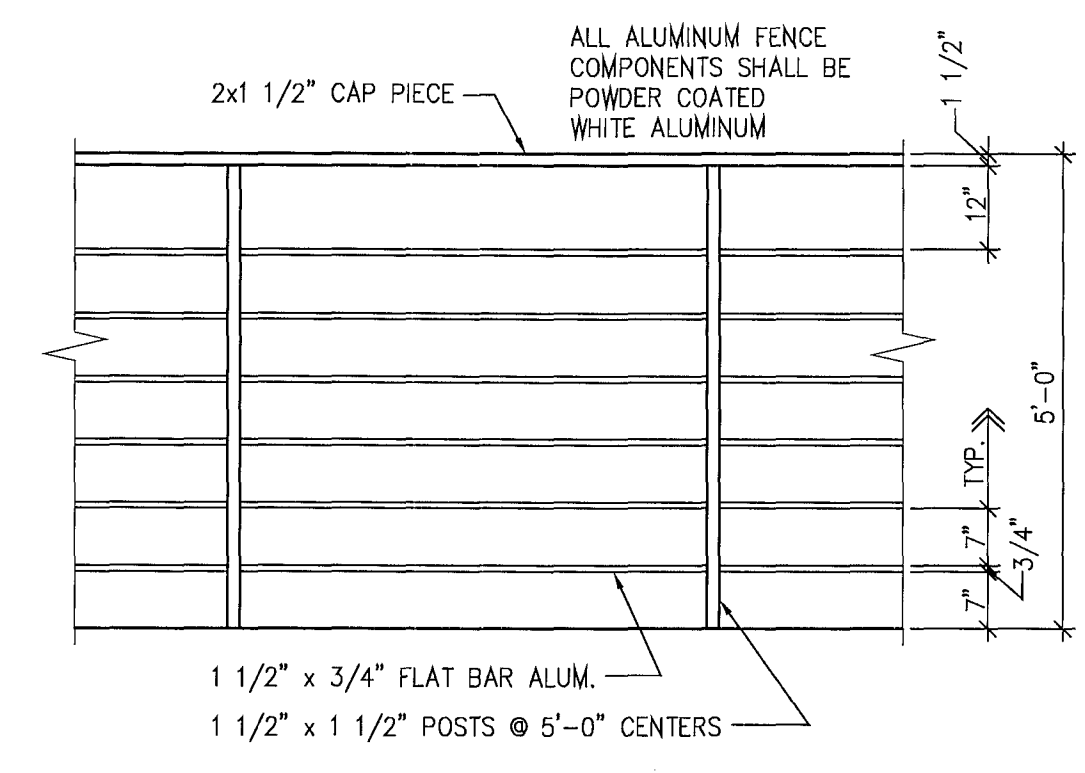


**LANDSCAPING NOTE:**  
LANDSCAPING & IRRIGATION PERMIT SHALL BE OBTAINED UNDER A SEPERATE PERMIT.

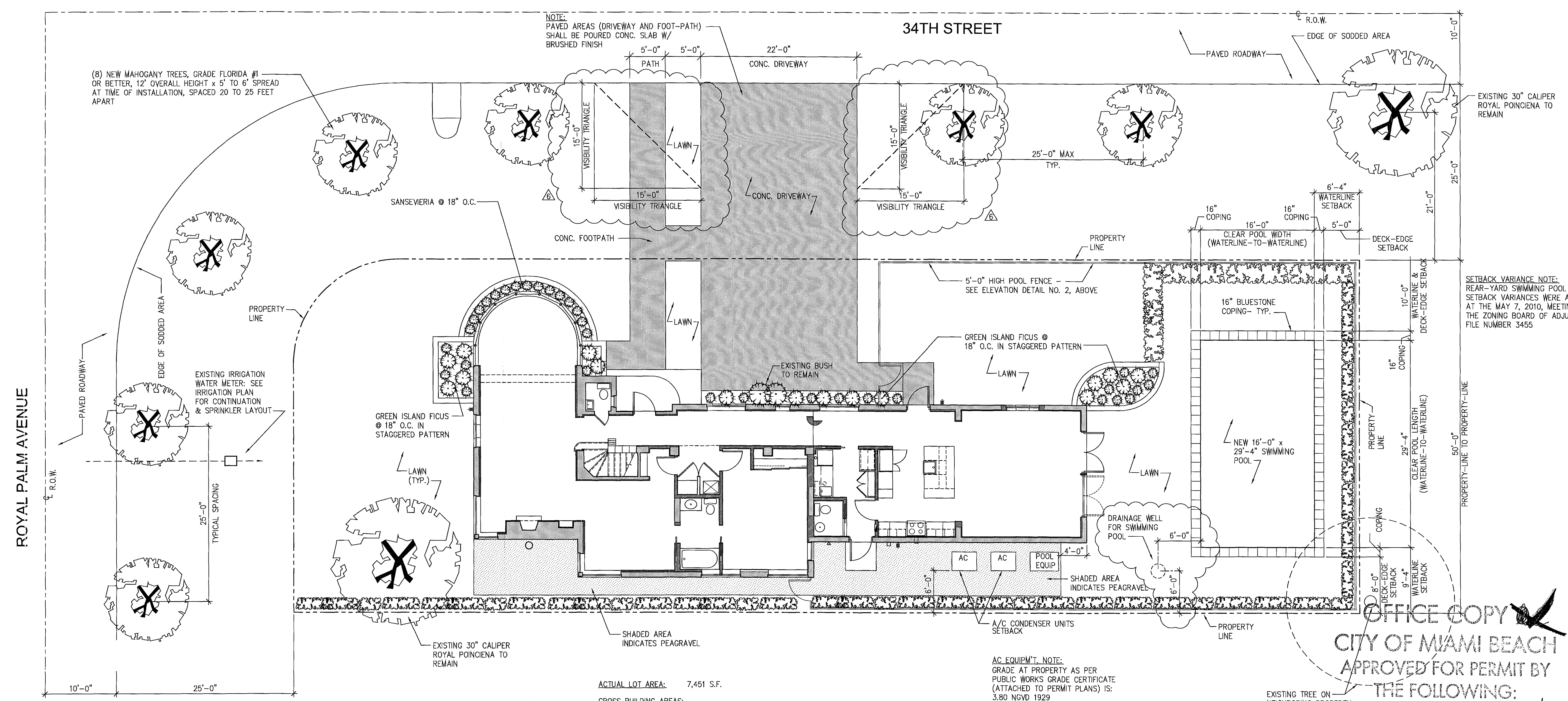
**PUBLIC WORKS NOTES:**

(a) ANY WORK AND / OR IMPROVEMENTS FROM / TO THE RIGHT-OF-WAY INCLUDING LANDSCAPING AND IRRIGATION REQUIRE A SEPERATE CMB PUBLIC WORKS DEPARTMENT RIGHT-OF-WAY CONSTRUCTION PERMIT ALONG WITH A DADE COUNTY PUBLIC WORKS DEPARTMENT RIGHT-OF-WAY CONSTRUCTION PERMIT.

(b) LANDSCAPING IMPROVEMENTS WITHIN THE RIGHT-OF-WAY REQUIRE A PRELIMINARY APPROVAL FROM THE CITY OF MIAMI BEACH PLANNING AND PARKS DEPARTMENTS PRIOR TO APPLYING FOR A PUBLIC WORKS RIGHT-OF-WAY PERMIT.



**2 POOL FENCE ELEVATION DETAIL**  
SCALE: 1/2" = 1'-0"



**ACTUAL LOT AREA:** 7,451 S.F.

**GROSS BUILDING AREAS:**

1ST FLOOR EXISTING: 2,068 S.F.

2ND FLOOR EXISTING: 638 S.F.

2ND FLOOR ADDITION: 272 S.F.

TOTAL PROPOSED GROSS AREA: 2,978 S.F. (40% LOT AREA)

**BUILDING FOOTPRINT:** 2,068 S.F. (28% LOT AREA)

T.O. A/C UNITS +10.82' NGVD

B.O. A/C UNITS +8.00' NGVD

**PUBLIC WORKS PLAN REVIEW NOTICE**

Phone 305-673-7080 Fax 305-673-7028

**THIS PLAN REVIEW CONSTITUTES APPROVAL FOR OBTAINING BUILDING PERMITS ONLY.**

All construction and/or use of equipment in the right-of-way and/or easements, requires a separate Public Works Department permit prior to start of construction.

Permit Requirements: Repair of existing sidewalk/swale area conditions (pictures) and/or posting of sidewalk/roadway bonds (Public Works inspection of the right-of-way will be required prior to final sign-off on the C.C./C.O., or the release of bonds.)

Approved/Reviewed By: [Signature]

**1 SITE PLAN**  
SCALE: 1/8" = 1'-0"

**OFFICE COPY**

**CITY OF MIAMI BEACH APPROVED FOR PERMIT BY THE FOLLOWING:**

**BUILDING:** [Signature] 10/14/11

**ZONING:** [Signature] 10/12/11

**DRP/HPB:** [Signature] 10/12/11

**CONCURRENCY:**

**PLUMBING:** [Signature] 10/12/11

**ELECTRICAL:** [Signature] 10/12/11

**MECHANICAL:** [Signature] 10/12/11

**FIRE PREVENTION:** [Signature] 10/12/11

**ENGINEERING:** [Signature] 10/12/11

**PUBLIC WORKS:** [Signature] 10/12/11

**STRUCTURAL:** [Signature] 10/12/11

**ELEVATOR:** [Signature] 10/12/11

**MOSSCROP ASSOCIATES**  
ARCHITECTURE + INTERIORS

940 LINCOLN ROAD, SUITE 325, MIAMI BEACH, FL 33139  
T: (305) 534-9779 F: (305) 534-9827 EMAIL: LLUNA@MOSSCROP.COM

**DESCRIPTION:**

03-03-11 BUILDING DEPARTMENT COMMENTS

05-06-11 BUILDING DEPARTMENT COMMENTS

06-17-11 EXISTING TREE LOCATIONS

10-11-11 RESPONSE TO BLOG DEPT COMMENTS FOR REVISION

**PROJECT NAME & ADDRESS:**

3193 ROYAL PALM AVENUE  
MIAMI BEACH, FL 33140

**SHEET TITLE:**

**SITE PLAN & ZONING DATA**

**SHEET NO.:**

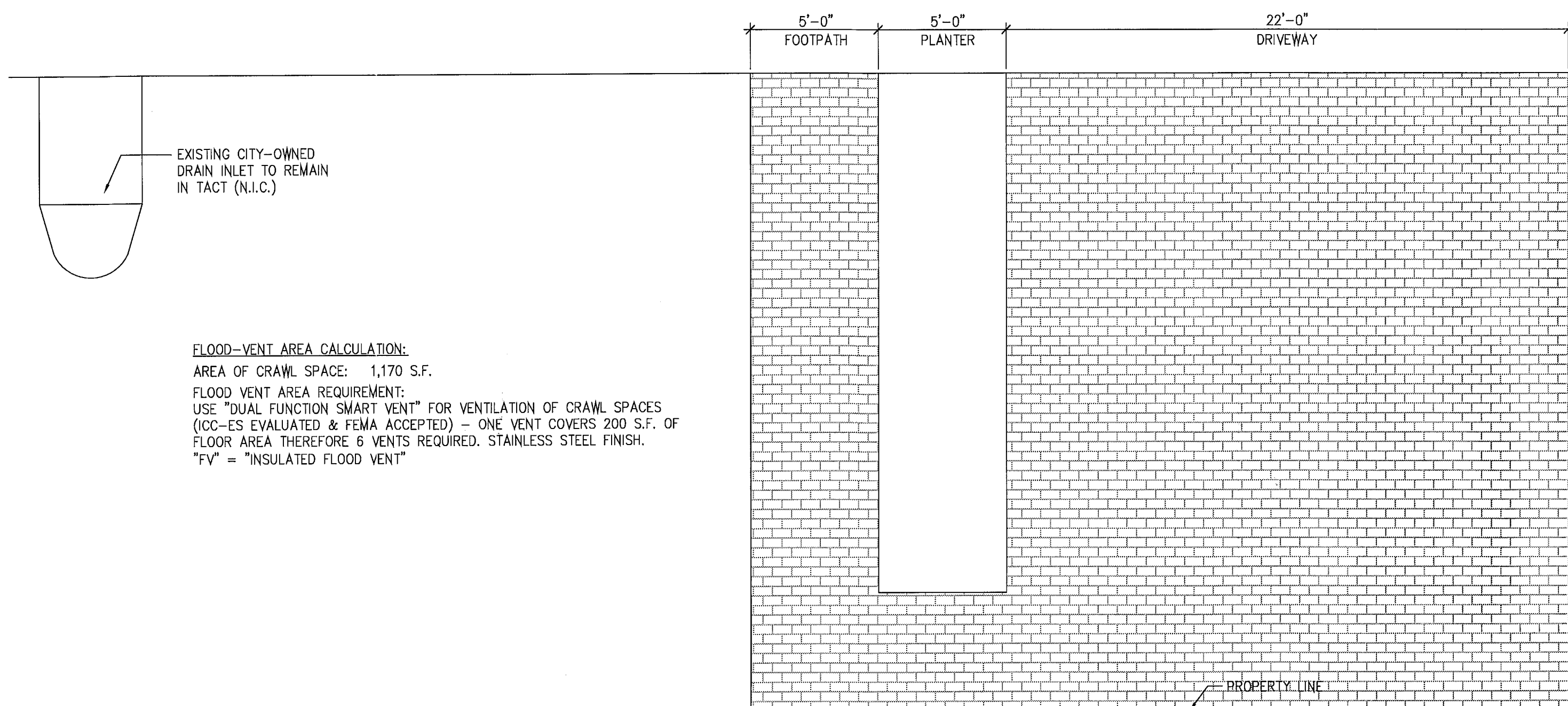
**A-01**

**SCALE:** 1/8" = 1'-0"

**DATE:** 10-11-11

**ISSUE:** REVISION 5

**JOB NO.:** 3193-01



**FLOOD-VENT AREA CALCULATION:**  
 AREA OF CRAWL SPACE: 1,170 S.F.  
 FLOOD VENT AREA REQUIREMENT:  
 USE "DUAL FUNCTION SMART VENT" FOR VENTILATION OF CRAWL SPACES  
 (ICC-ES EVALUATED & FEMA ACCEPTED) - ONE VENT COVERS 200 S.F. OF  
 FLOOR AREA THEREFORE 6 VENTS REQUIRED. STAINLESS STEEL FINISH.  
 \*FV = "INSULATED FLOOD VENT"

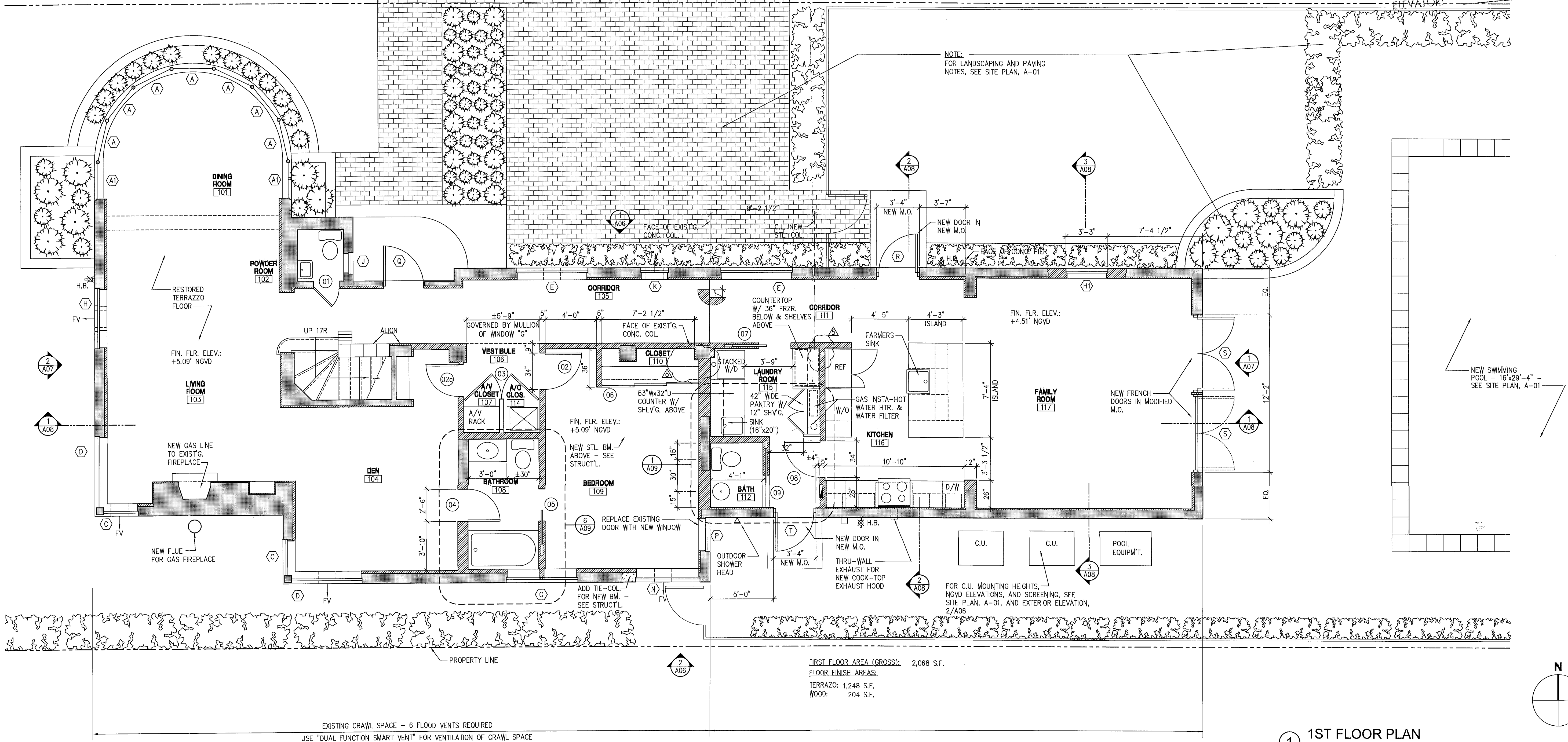
**PLUMBING FIXTURE SPECS:**

ITEM:	SPEC:	QTY:
<b>BATHROOM 108:</b>		
W.C.:	KOHLER, "MEMOIRS COMFORT ELONGATED TOILET", K3515-0, WHITE, ELONGATED COMFORT-HEIGHT, TWO-PIECE.	1
TOILET SEAT:	KOHLER, "CACHET QUIET QUICK RELEASE SEAT", K4835-0, WHITE	1
LAVATORY:	KOHLER, "MEMOIRS CLASSIC PEDESTAL LAVATORY", K2258-8-0, WHITE PORCELAIN	1
FAUCET:	KOHLER, "MARGAUX WIDESPREAD FAUCET", K16232-4-CP, 8" WIDESPREAD, POL. CHROME (2) 4" CENTERS	1
BATHTUB:	KOHLER, "MEMOIRS 5' BATH", K7220-0, WHITE, CAST IRON	1
SHOWER CONTROLS:	KOHLER, "MARGAUX RITE-TEMP FAUCET", K116233-4-CP, POLISHED CHROME, TRIM ONLY, LEVER HANDLE.	1
SHOWER/TUB VALVE:	KOHLER, "RITE TEMP PRESSURE BALANCE VALVE", K305-KS-NA	1
TUB DRAIN:	KOHLER, "CLEARFLOW CABLE BATH DRAIN", K7214-CP, CHROME, 27" CABLE	1
<b>BATHROOM 112:</b>		
W.C.:	KOHLER, "SERIF COMFORT HEIGHT TOILET", K3464, WHITE, ELONGATED.	1
TOILET SEAT:	KOHLER, "CACHET QUIET QUICK RELEASE SEAT", K4636-0, WHITE	1
LAVATORY:	KOHLER, "WELLWORTH PEDESTAL LAVATORY", K2293-8-0, WHITE PORCELAIN	1
FAUCET:	KOHLER, "BANCROFT WIDESPREAD FAUCET", K2929-B, WHITE & POL. CHROME (2) 4" CENTERS	1

- FLOOR PLAN NOTES:**
- 1) REPLACE ALL EXISTING ELECTRICAL AND PLUMBING SYSTEMS WITH NEW.
  - 2) INSTALL NEW HVAC SYSTEM
  - 3) ALL INTERIOR FINISHES SHALL BE NEW TO REPLACE EXISTING EXCEPT THE EXISTING TERRAZZO FLOOR WHICH WILL BE RESTORED.
  - 4) ALL INTERIOR FURRING SHALL BE NEW WITH INSULATION

**CITY OF MIAMI BEACH**  
 APPROVED FOR PERMIT BY  
 THE FOLLOWING:

BUILDING: \_\_\_\_\_  
 ZONING: \_\_\_\_\_  
 DIS/HPB: \_\_\_\_\_  
 CONCURRENCY: \_\_\_\_\_  
 PLUMBING: \_\_\_\_\_  
 ELECTRICAL: \_\_\_\_\_  
 MECHANICAL: \_\_\_\_\_  
 FIRE PREVENTION: \_\_\_\_\_  
 ENGINEERING: \_\_\_\_\_  
 PUBLIC WORKS: \_\_\_\_\_  
 ELEVATOR: \_\_\_\_\_



**FIRST FLOOR AREA (GROSS):** 2,068 S.F.  
**FLOOR FINISH AREAS:**  
 TERRAZZO: 1,248 S.F.  
 WOOD: 204 S.F.

**1ST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

**MOSSCROP ASSOCIATES**  
 ARCHITECTURE + INTERIORS

940 LINCOLN ROAD, SUITE 325, MIAMI BEACH, FL 33139  
 FLORIDA LICENSE NO.: ARS2744  
 (305) 534-5776 F: (305) 534-9927 EMAIL: LLJ@BELLSOUTH.NET

PROJECT NAME & ADDRESS:  
**3193 ROYAL PALM AVENUE**

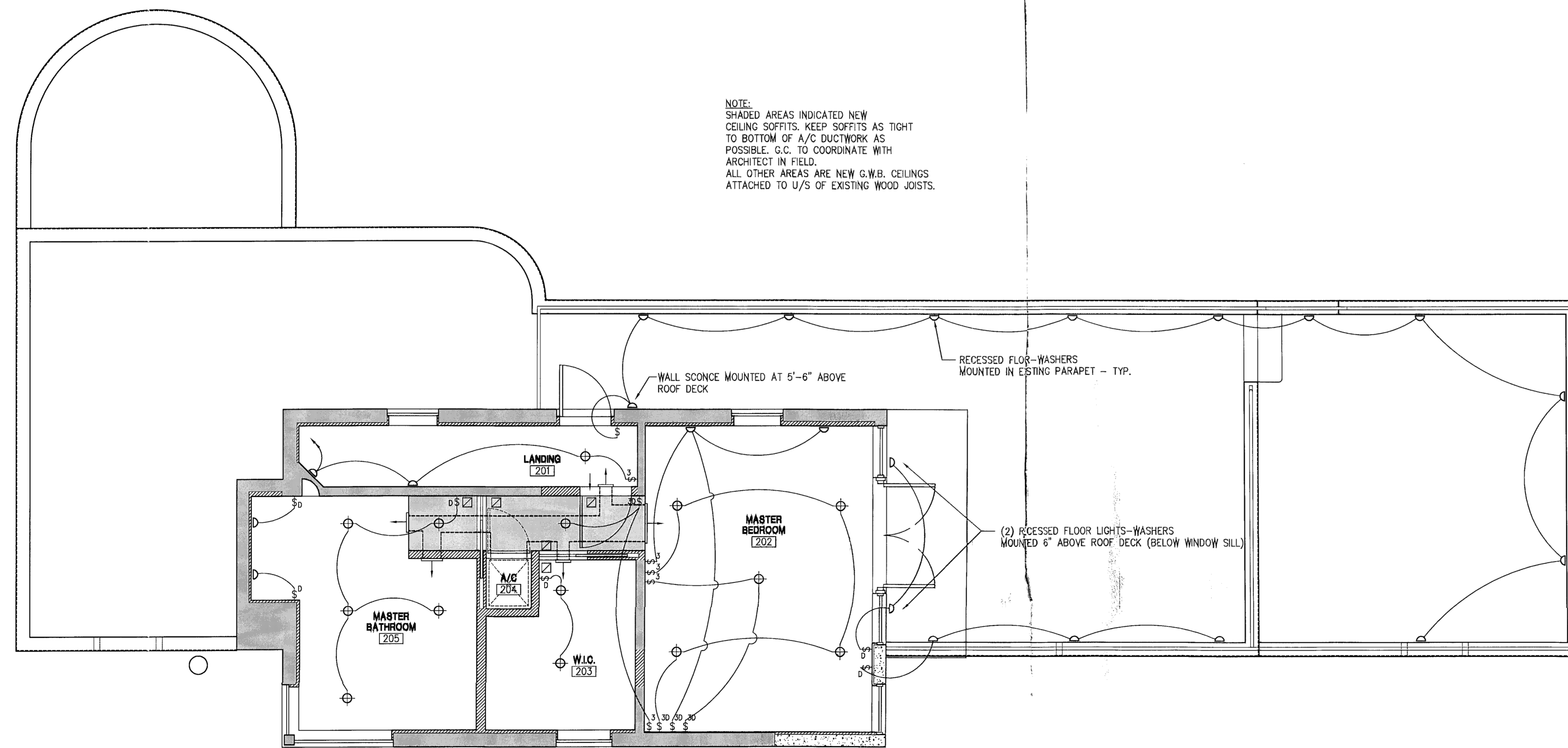
3193 ROYAL PALM AVENUE  
 MIAMI BEACH, FL 33140

SHEET TITLE:  
**1ST FLOOR PLAN**

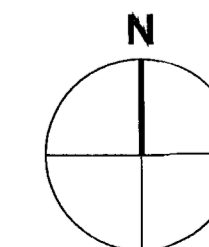
SHEET NO.:  
**A-02**

SCALE: 1/4" = 1'-0"  
 DATE: 07-11-11  
 ISSUE: 2ND FLOOR REVISION  
 JOB NO.: 3193-01





1 2ND FLOOR REFLECTED CEILING PLAN  
 SCALE: 1/4" = 1'-0"



REV.	DATE	DESCRIPTION
1	07-11-11	OWNER-REQUESTED REMOVAL OF 2ND FLOOR ADDITION

**MOSSCROP ASSOCIATES**  
 ARCHITECTURE + INTERIORS  
 840 LINCOLN ROAD, SUITE 325, MIAMI BEACH, FL 33139  
 T: (305) 534-9778 F: (305) 534-9927 EMAIL: ILLJA@BELLSOUTH.NET  
 MEMBER OF AIA, ASSOCIATES & ASSOCIATES

*Illja Mosscrop*  
 8.9.11

ILLJA MOSSCROP, REGISTERED ARCHITECT  
 FLORIDA LICENSE NO.: AR52744

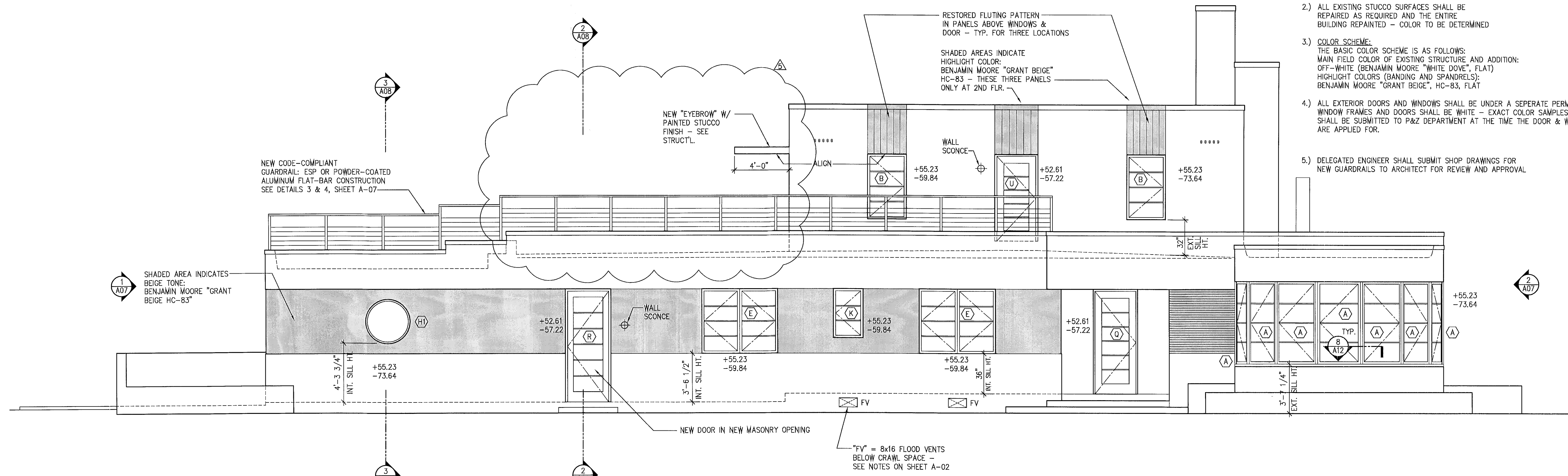
PROJECT NAME & ADDRESS:  
**3193 ROYAL PALM AVENUE**  
 MIAMI BEACH, FL 33140

SHEET TITLE:  
**2ND FLOOR REFLECTED CEILING PLAN**

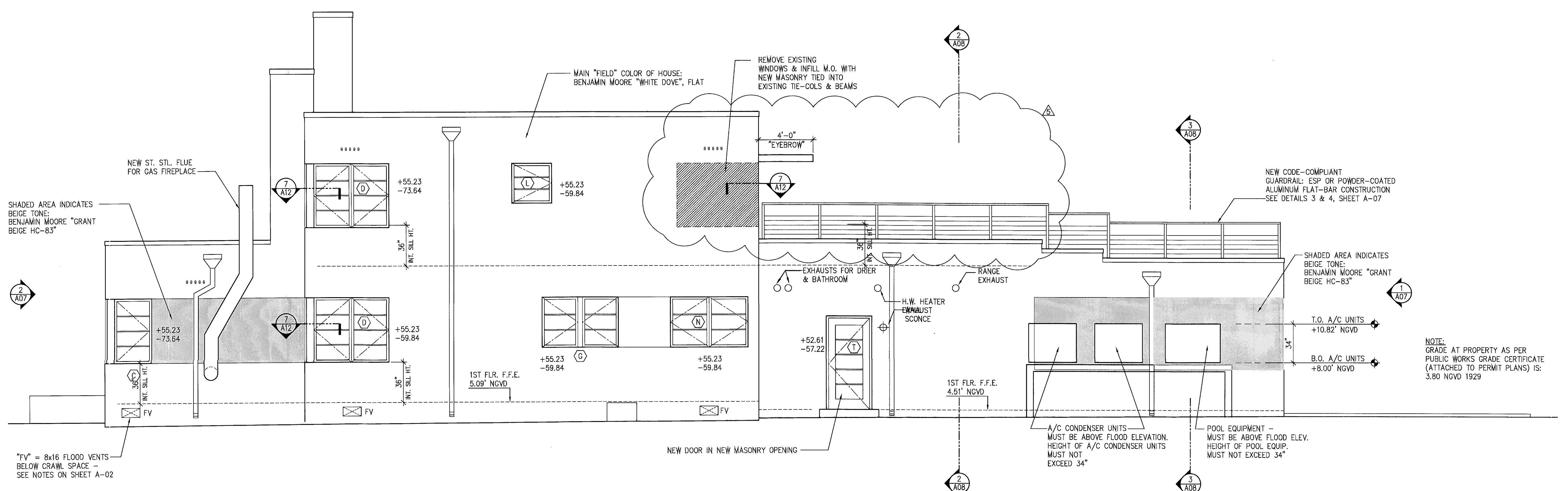
SHEET NO.:  
**A-05**

SCALE: 1/4" = 1'-0"  
 DATE: 07-11-11  
 ISSUE: 2ND FLR. REVISION

JOB NO.: 3193-01



**1 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

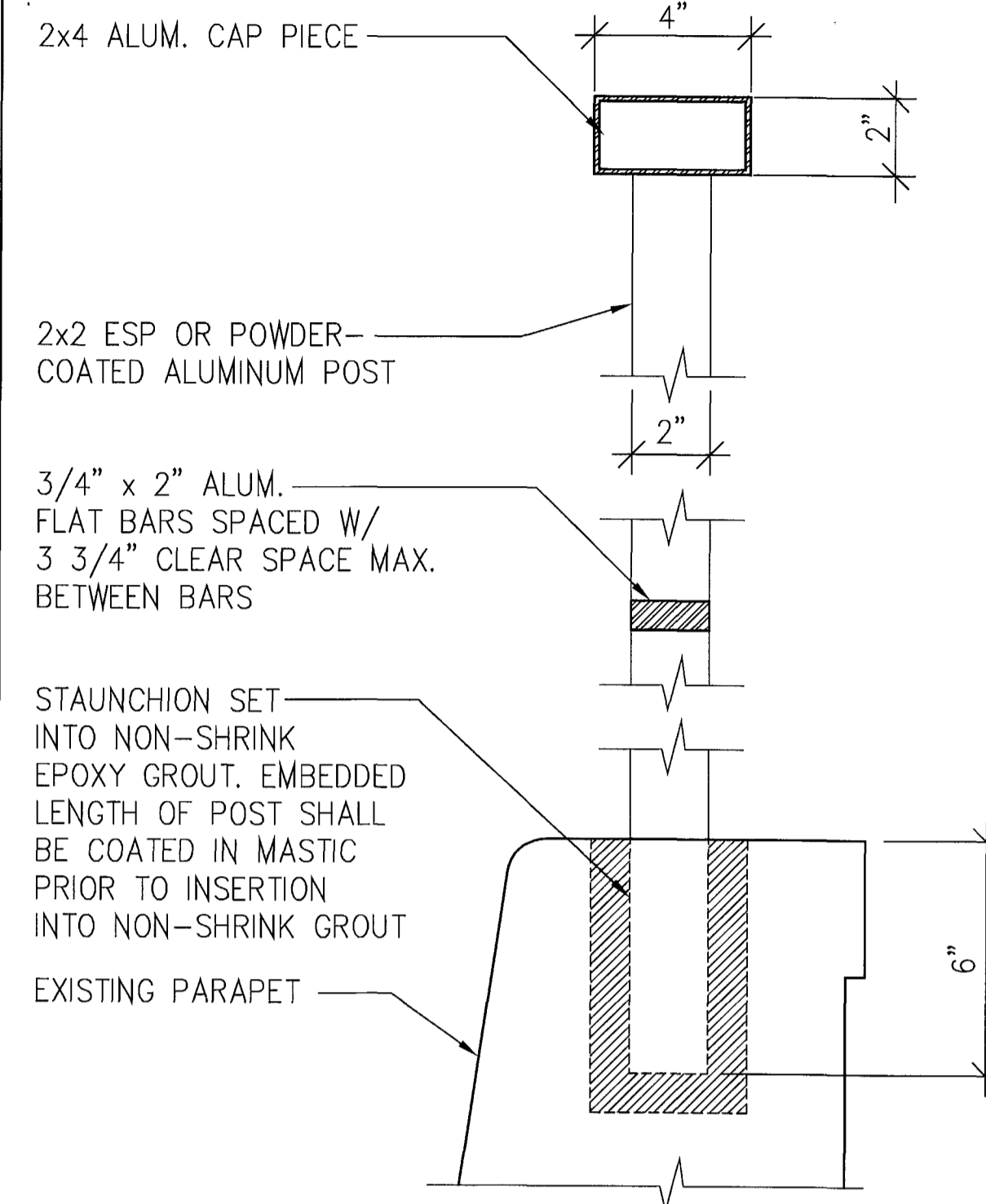
- ELEVATION NOTES:**
- 1.) ALL NEW WINDOWS & EXTERIOR DOORS SHALL BE CODE-COMPLIANT, IMPACT-RESISTANT WITH MUNTIN SPACING CONSISTENT WITH THAT OF THE ORIGINAL HISTORIC WINDOWS
  - 2.) ALL EXISTING STUCCO SURFACES SHALL BE REPAIRED AS REQUIRED AND THE ENTIRE BUILDING REPAINTED - COLOR TO BE DETERMINED
  - 3.) **COLOR SCHEME:**  
THE BASIC COLOR SCHEME IS AS FOLLOWS:  
MAIN FIELD COLOR OF EXISTING STRUCTURE AND ADDITION:  
OFF-WHITE (BENJAMIN MOORE "WHITE DOVE", FLAT)  
HIGHLIGHT COLORS (BANDING AND SPANDRELS):  
BENJAMIN MOORE "GRANT BEIGE", HC-83, FLAT
  - 4.) ALL EXTERIOR DOORS AND WINDOWS SHALL BE UNDER A SEPERATE PERMIT. WINDOW FRAMES AND DOORS SHALL BE WHITE - EXACT COLOR SAMPLES SHALL BE SUBMITTED TO P&Z DEPARTMENT AT THE TIME THE DOOR & WINDOW PERMITS ARE APPLIED FOR.
  - 5.) DELEGATED ENGINEER SHALL SUBMIT SHOP DRAWINGS FOR NEW GUARDRAILS TO ARCHITECT FOR REVIEW AND APPROVAL

MOS SCROP ASSOCIATES  
 ARCHITECTURE + INTERIORS  
 940 LINCOLN ROAD, SUITE 325, MIAMI BEACH, FL 33139  
 T: (305) 534-8779 F: (305) 534-8927 EMAIL: ILIJA@BELLSOUTH.NET  
 CERT. OF AUTH. A43000507 & A43000508

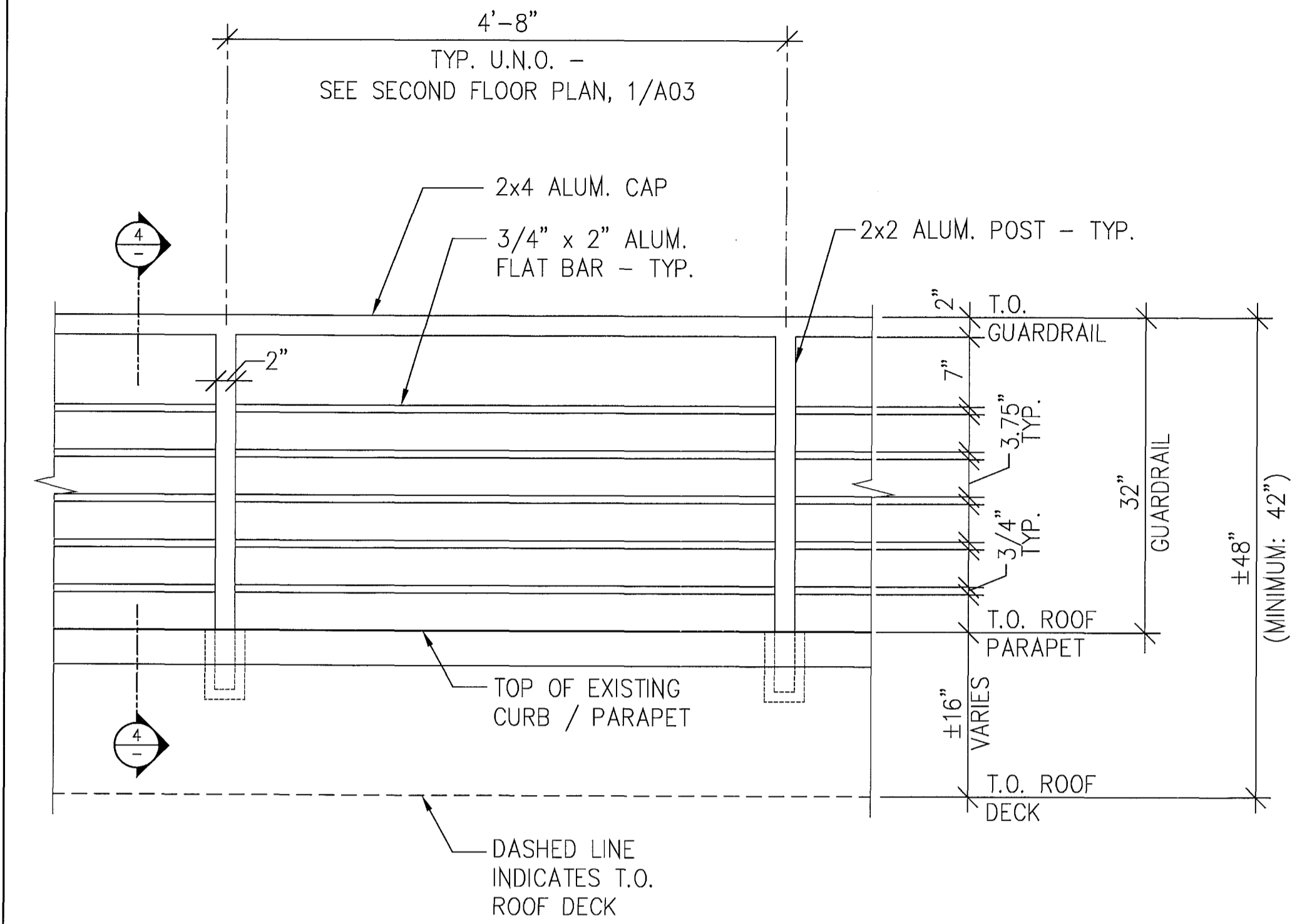
DESCRIPTION: OWNER-REQUESTED REMOVAL OF 2ND FLOOR ADDITION  
 DATE: 07-11-11  
 REV: A

ILIJA MOSSCROP, REGISTERED ARCHITECT  
 FLORIDA LICENSE NO.: AR922744  
 PROJECT NAME & ADDRESS:  
**3193 ROYAL PALM AVENUE**  
 MIAMI BEACH, FL 33140  
 SHEET TITLE:  
**NORTH & SOUTH EXTERIOR ELEVATIONS**  
 SHEET NO.:  
**A-06**  
 SCALE: 1/4" = 1'-0"  
 DATE: 07-11-11  
 ISSUE: 2ND FLR. REVISION  
 JOB NO.: 3193-01

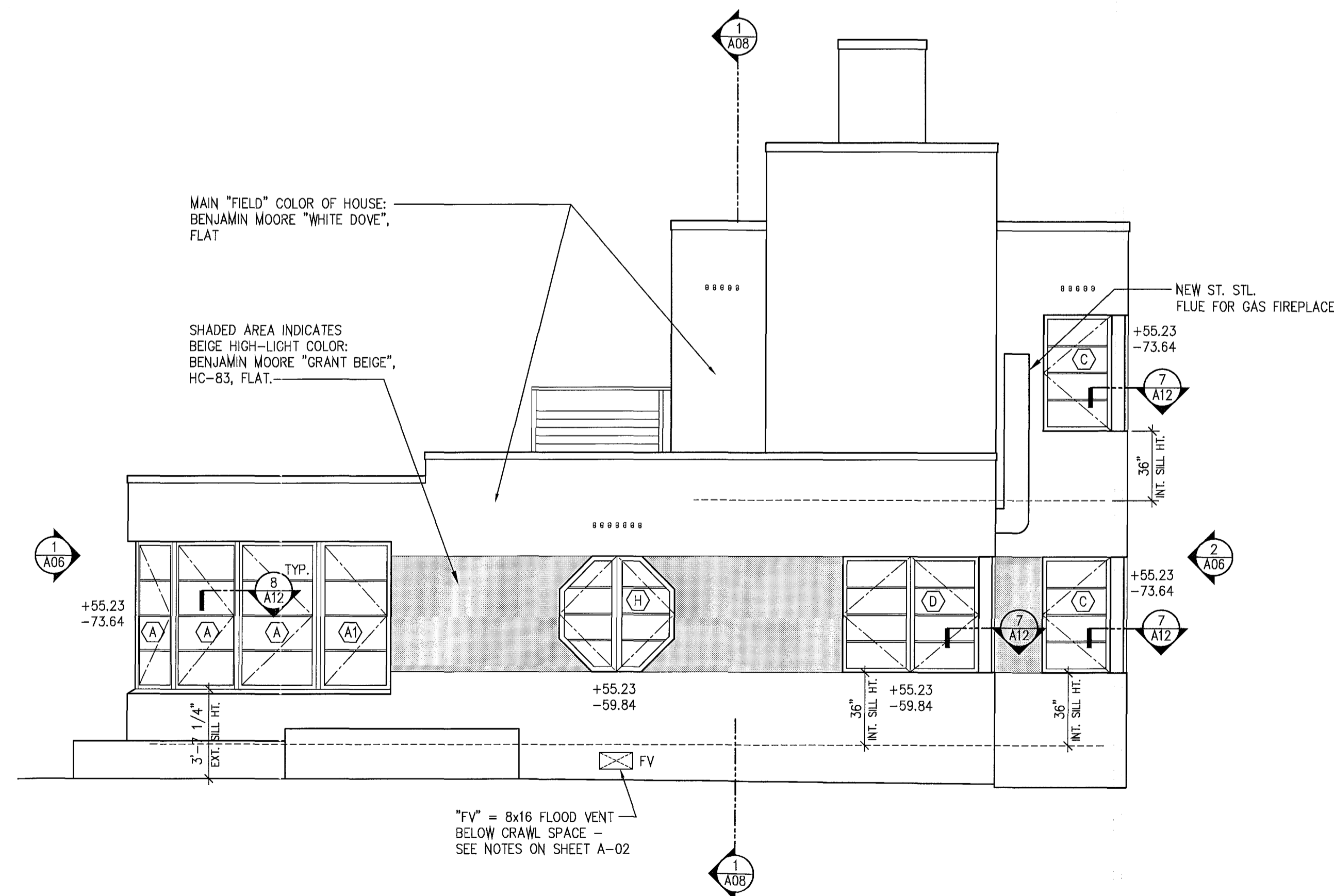
NOTE:  
 GUARDRAILS SHALL BE FABRICATED  
 OUT OF ALUMINUM WITH E.S.P. OR  
 POWDER-COATED FINISH - COLOR T.B.D.  
 DELEGATED ENGINEER SHALL SUBMIT SHOP DRAWINGS FOR  
 NEW GUARDRAILS TO ARCHITECT FOR REVIEW AND APPROVAL



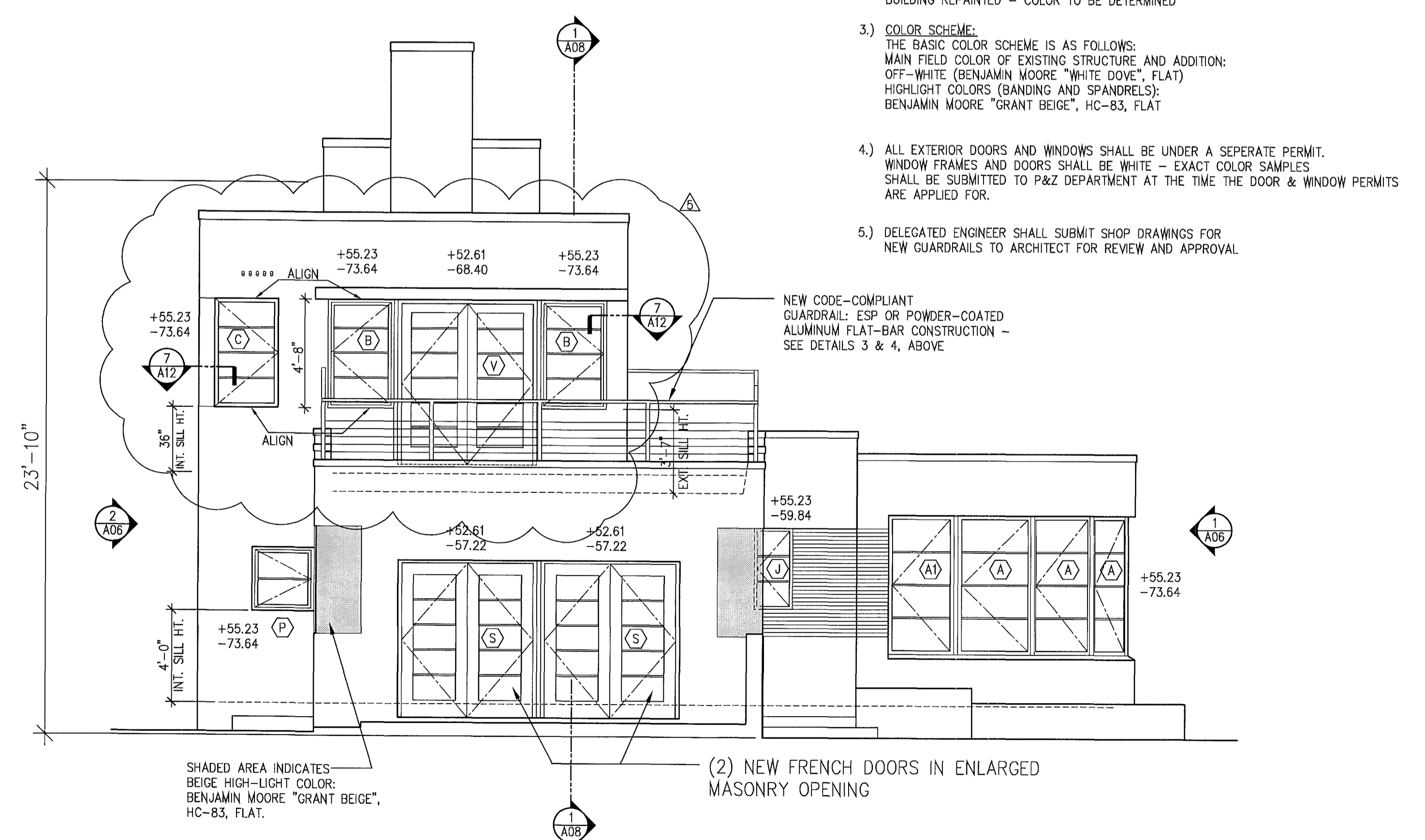
4 GUARDRAIL SECTION DETAILS  
 SCALE: 3" = 1'-0"



3 TYPICAL GUARDRAIL ELEVATION DETAIL  
 SCALE: 1" = 1'-0"



2 WEST ELEVATION  
 SCALE: 1/4" = 1'-0"



1 EAST ELEVATION  
 SCALE: 1/4" = 1'-0"

ELEVATION NOTES:

- 1) ALL NEW WINDOWS & EXTERIOR DOORS SHALL BE CODE-COMPLIANT, IMPACT-RESISTANT WITH MUNTIN SPACING CONSISTENT WITH THAT OF THE ORIGINAL HISTORIC WINDOWS
- 2) ALL EXISTING STUCCO SURFACES SHALL BE REPAIRED AS REQUIRED AND THE ENTIRE BUILDING REPAINTED - COLOR TO BE DETERMINED
- 3) COLOR SCHEME:  
 THE BASIC COLOR SCHEME IS AS FOLLOWS:  
 MAIN FIELD COLOR OF EXISTING STRUCTURE AND ADDITION:  
 OFF-WHITE (BENJAMIN MOORE "WHITE DOVE", FLAT)  
 HIGHLIGHT COLORS (BANDING AND SPANDRELS):  
 BENJAMIN MOORE "GRANT BEIGE", HC-83, FLAT
- 4) ALL EXTERIOR DOORS AND WINDOWS SHALL BE UNDER A SEPARATE PERMIT. WINDOW FRAMES AND DOORS SHALL BE WHITE - EXACT COLOR SAMPLES SHALL BE SUBMITTED TO P&Z DEPARTMENT AT THE TIME THE DOOR & WINDOW PERMITS ARE APPLIED FOR.
- 5) DELEGATED ENGINEER SHALL SUBMIT SHOP DRAWINGS FOR NEW GUARDRAILS TO ARCHITECT FOR REVIEW AND APPROVAL

REVISIONS  
 NO. DATE DESCRIPTION  
 1 07-11-11 OWNER-REQUESTED REMOVAL OF 2ND FLOOR ADDITION

MOSSCROP ASSOCIATES  
 ARCHITECTURE + INTERIORS

940 LINCOLN ROAD, SUITE 325, MIAMI BEACH, FL 33139  
 T: (305) 534-9979 F: (305) 534-9927 EMAIL: ILIJA@BELLSOUTH.NET  
 OFFICE OF ARCHT. ASSOCIATES & ARCHITECTS

ILIA MOSSCROP, REGISTERED ARCHITECT  
 FLORIDA LICENSE NO.: AR92744

PROJECT NAME & ADDRESS:

3193 ROYAL PALM AVENUE

3193 ROYAL PALM AVENUE  
 MIAMI BEACH, FL 33140

SHEET TITLE:

EAST & WEST EXTERIOR ELEVATIONS

SHEET NO.:

A-07

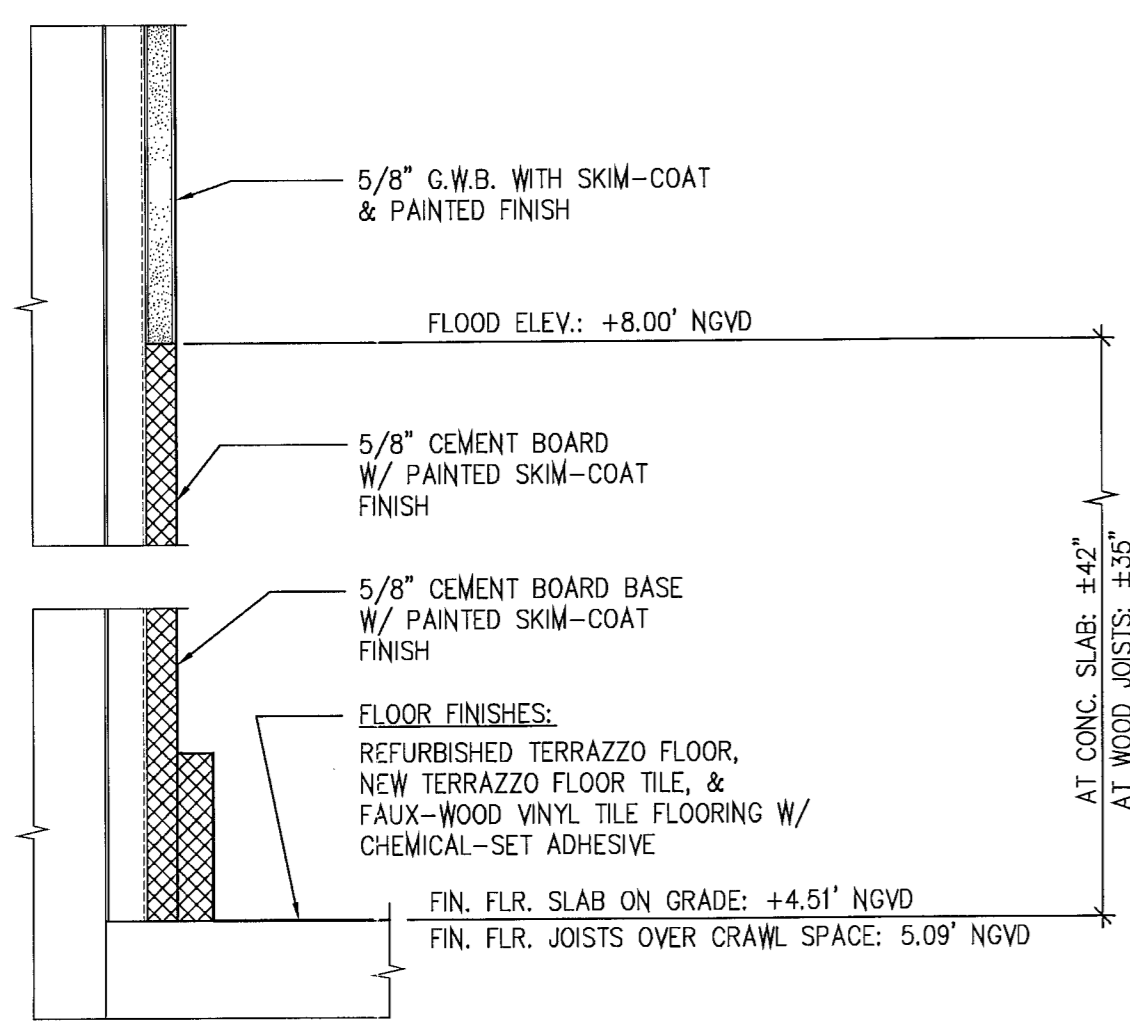
SCALE: 1/4" = 1'-0"

DATE: 07-11-11

ISSUE: 2ND FLR REVISION

JOB NO.: 3193-01

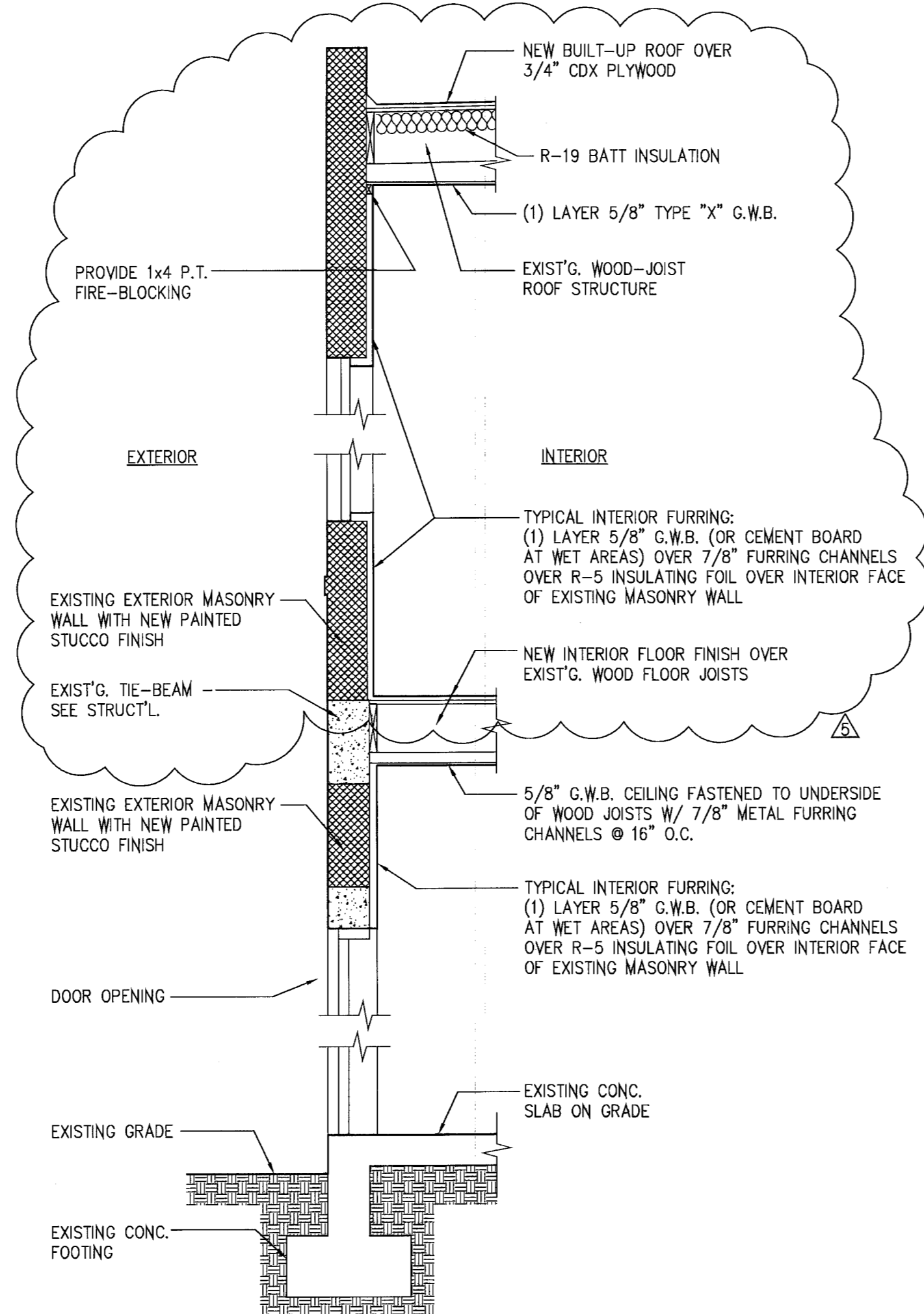
8.9.11



NOTE:  
THIS DETAIL COMPLIES WITH THE REQUIREMENTS OF FEMA TECHNICAL BULLETIN 2-93  
AS MANDATED BY CONDITION NUMBER 4, OF THE FLOOD-PLAIN WAIVER FOR THIS PROJECT  
WHICH WAS HEARD ON MAY 7, 2010, AND RECORDED ON MAY 25, 2010

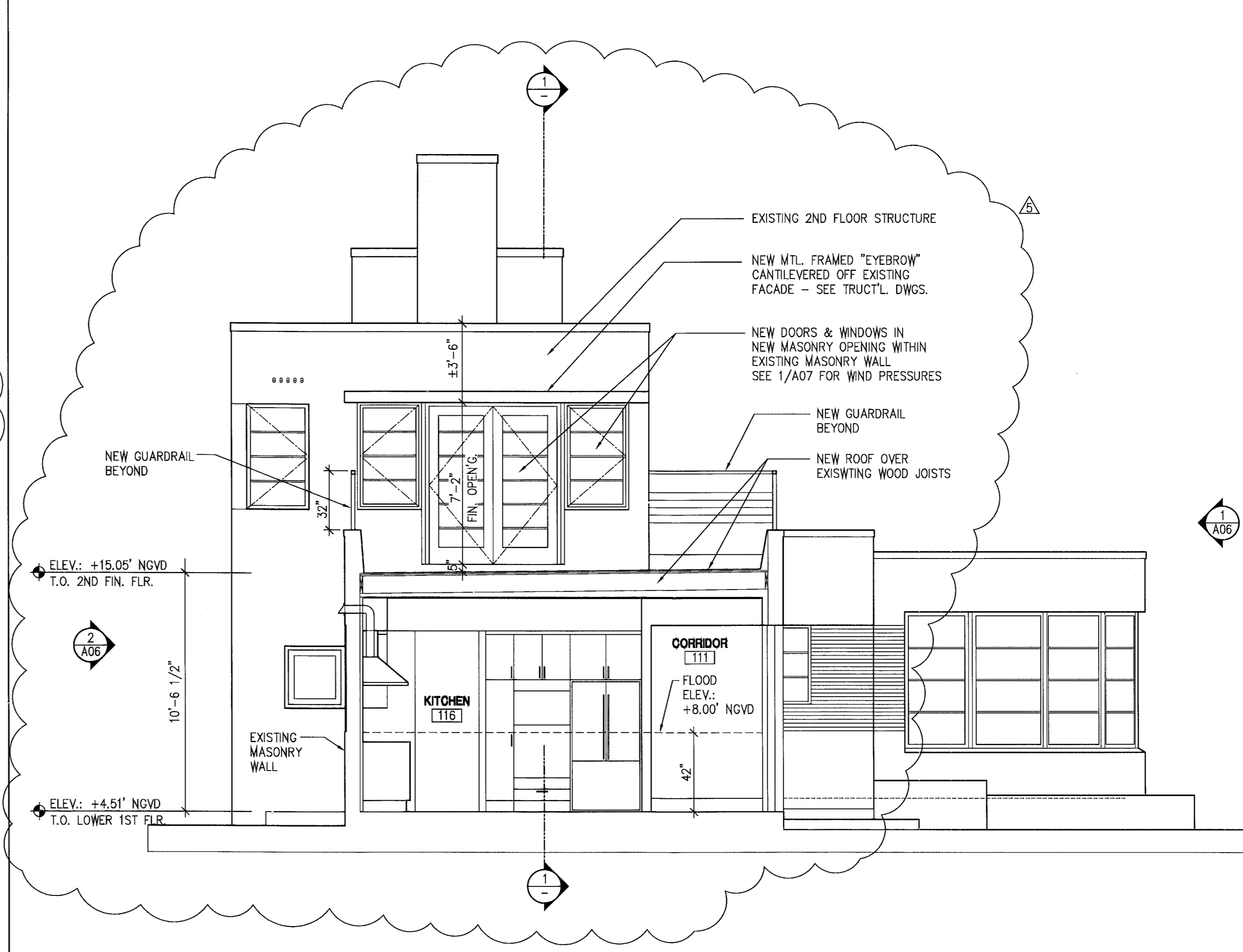
4 TYPICAL DETAIL FOR FLOOD-RESISTANT FINISHES AT INTERIOR WALLS, PARTITIONS & FLOORS

SCALE: 3" = 1'-0"



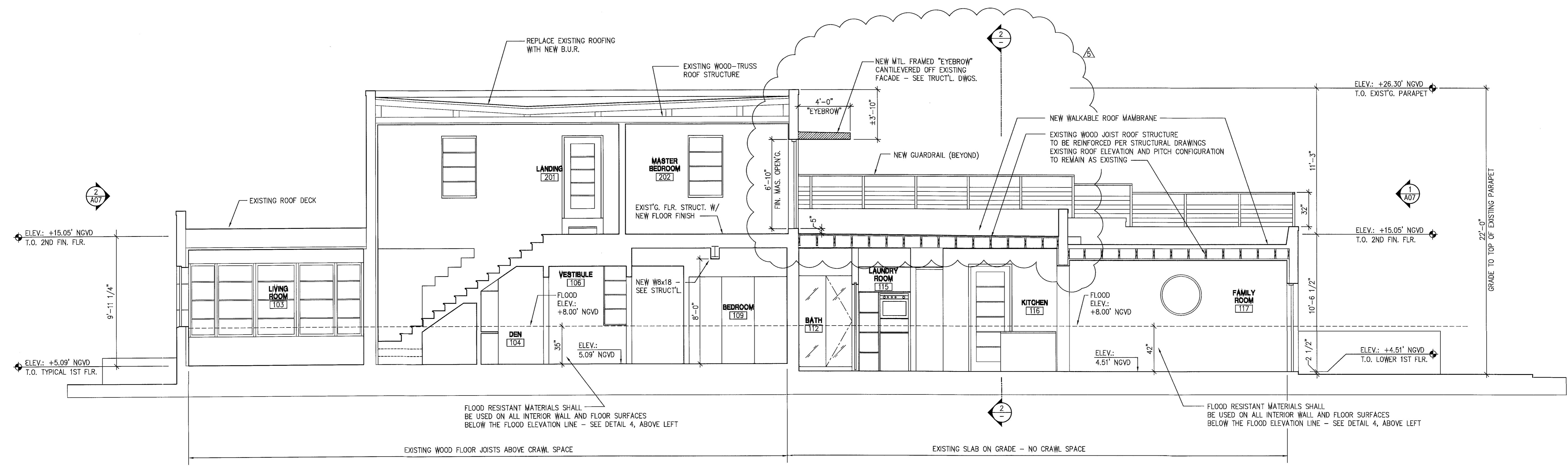
3 TYPICAL WALL SECTION

SCALE: 1/2" = 1'-0"



2 N-S SECTION LOOKING WEST

SCALE: 1/4" = 1'-0"



1 E-W SECTION LOOKING NORTH

SCALE: 1/4" = 1'-0"

REV.	DATE	DESCRIPTION
1	03-03-11	BUILDING DEPARTMENT COMMENTS
2	05-06-11	BUILDING DEPARTMENT COMMENTS
3	05-25-11	BUILDING DEPARTMENT COMMENTS
4	07-11-11	OWNER-REQUESTED REMOVAL OF 2ND FLOOR ADDITION

**MOSSCROP ASSOCIATES**  
ARCHITECTURE + INTERIORS  
940 LINCOLN ROAD, SUITE 325, MIAMI BEACH, FL 33139  
T: (305) 534-9779 F: (305) 534-9827 EMAIL: LILIA@BELLSOUTH.NET  
CERT. OF AUTH. A42600057 & A42600058

8.9.11

LILIA MOSSCROP, REGISTERED ARCHITECT  
FLORIDA LICENSE NO.: AR82744

PROJECT NAME & ADDRESS:  
**3193 ROYAL PALM AVENUE**

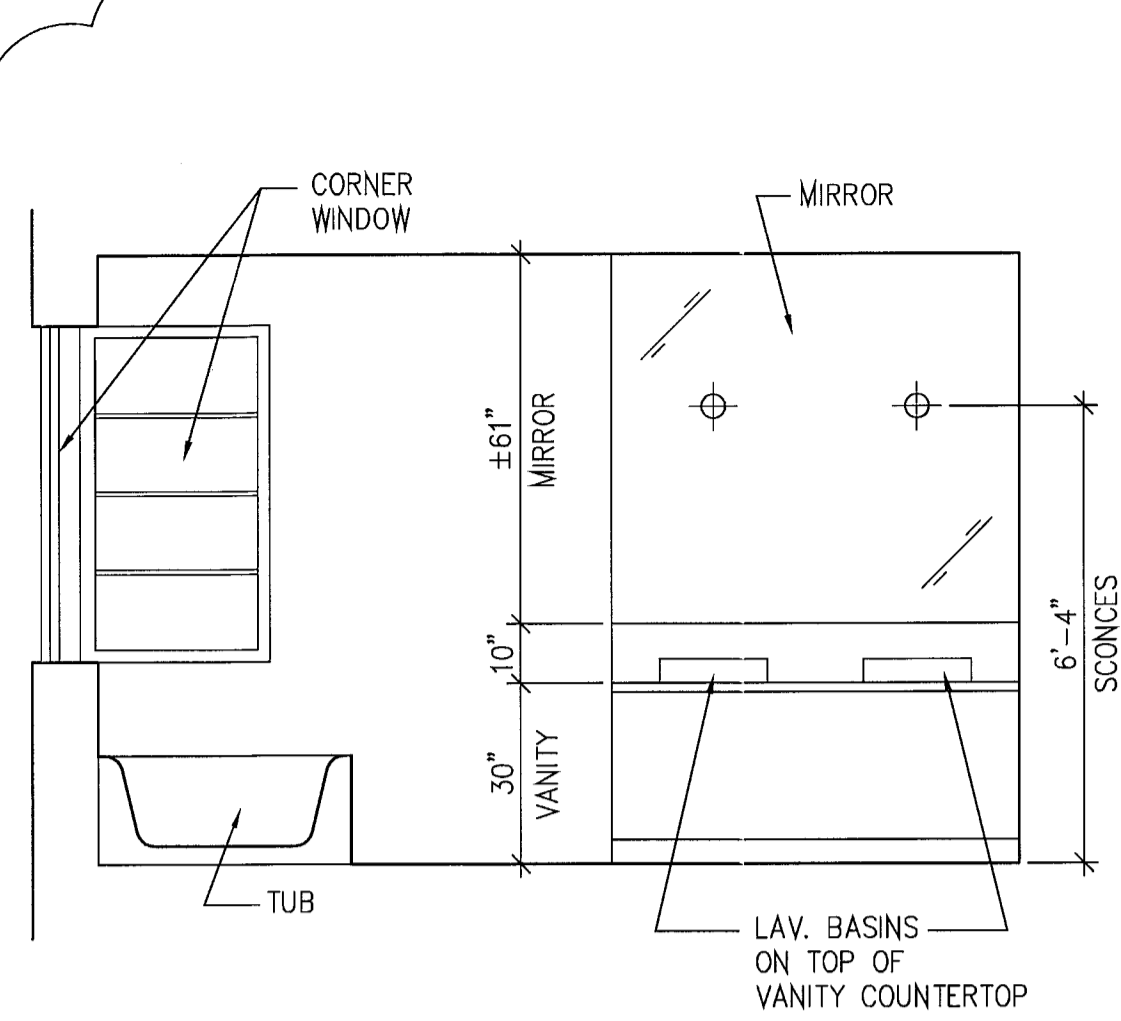
3193 ROYAL PALM AVENUE  
MIAMI BEACH, FL 33140

SHEET TITLE:  
**BUILDING SECTIONS**

SHEET NO.:  
**A-08**

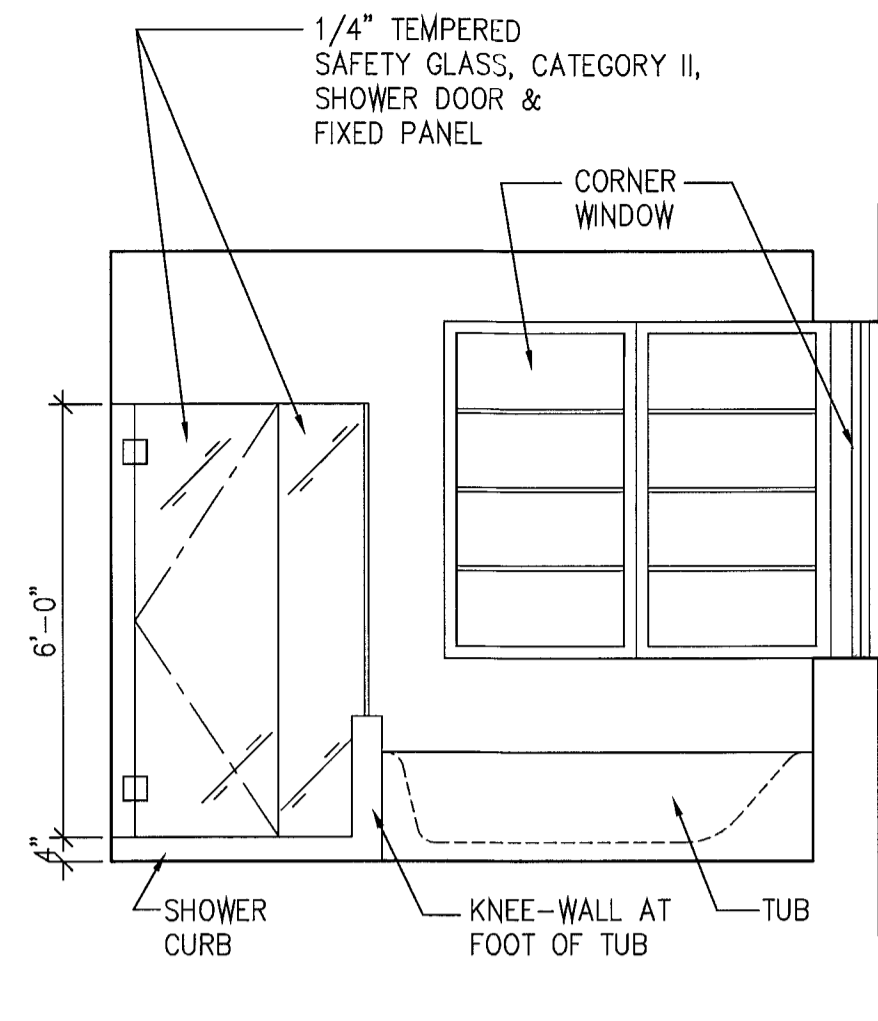
SCALE: 1/4" = 1'-0"  
DATE: 07-11-11  
ISSUE: 2ND FLR REVISION

JOB NO.: 3193-01



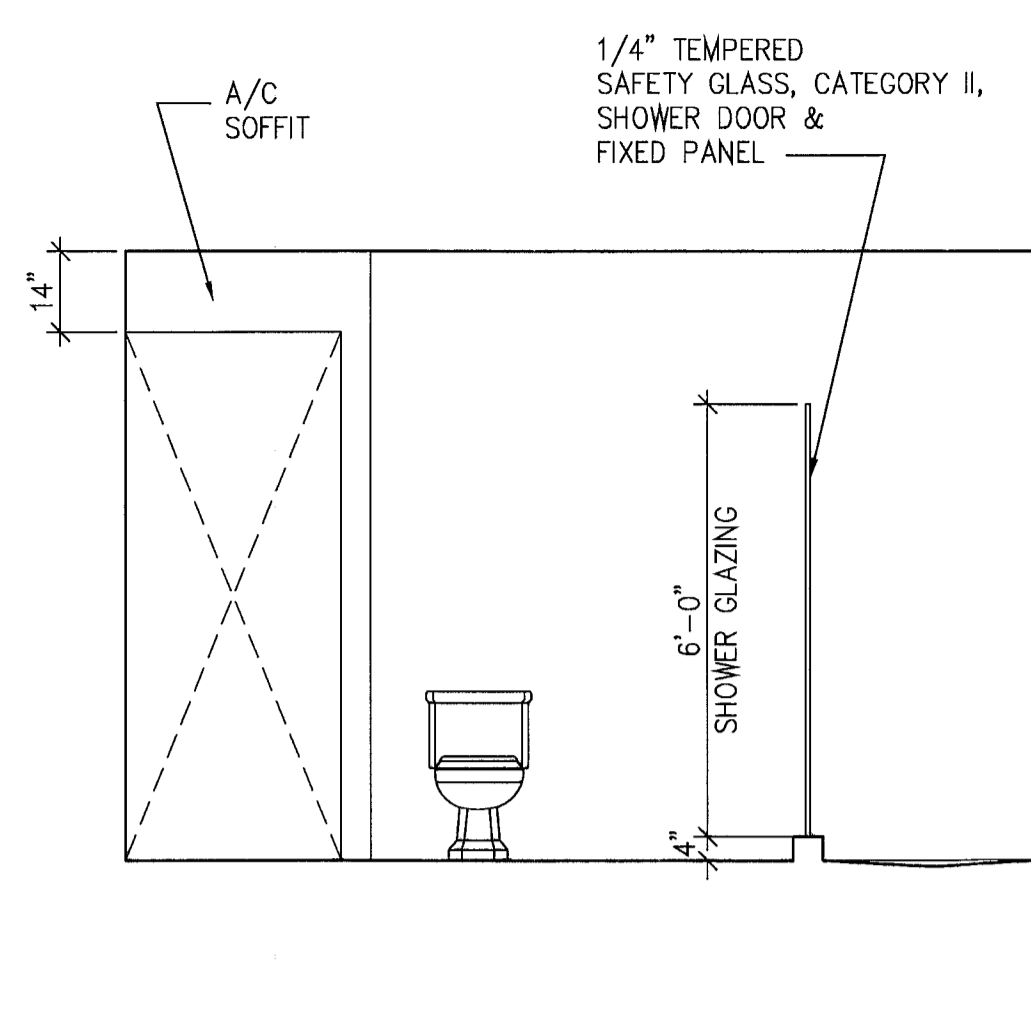
15 MAST. BATH 205 WEST ELEVATION

SCALE: 3/8" = 1'-0"



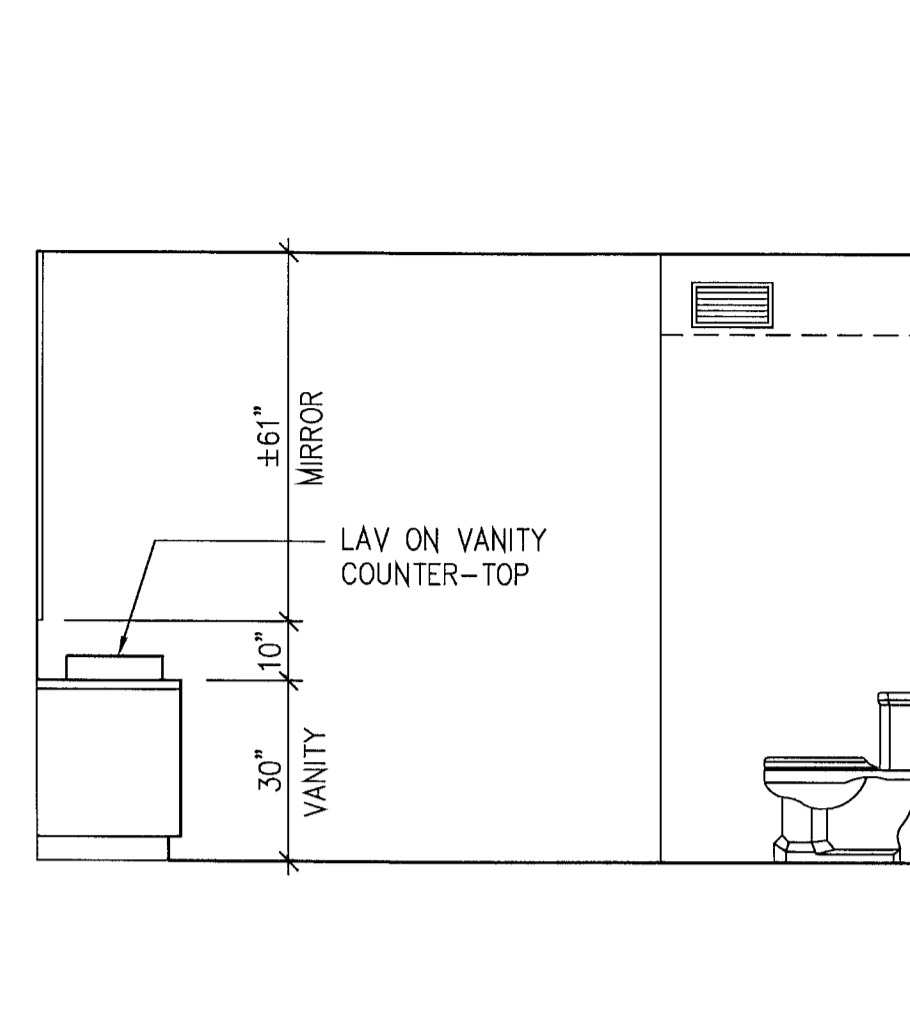
14 MAST. BATH 205 SOUTH ELEVATION

SCALE: 3/8" = 1'-0"



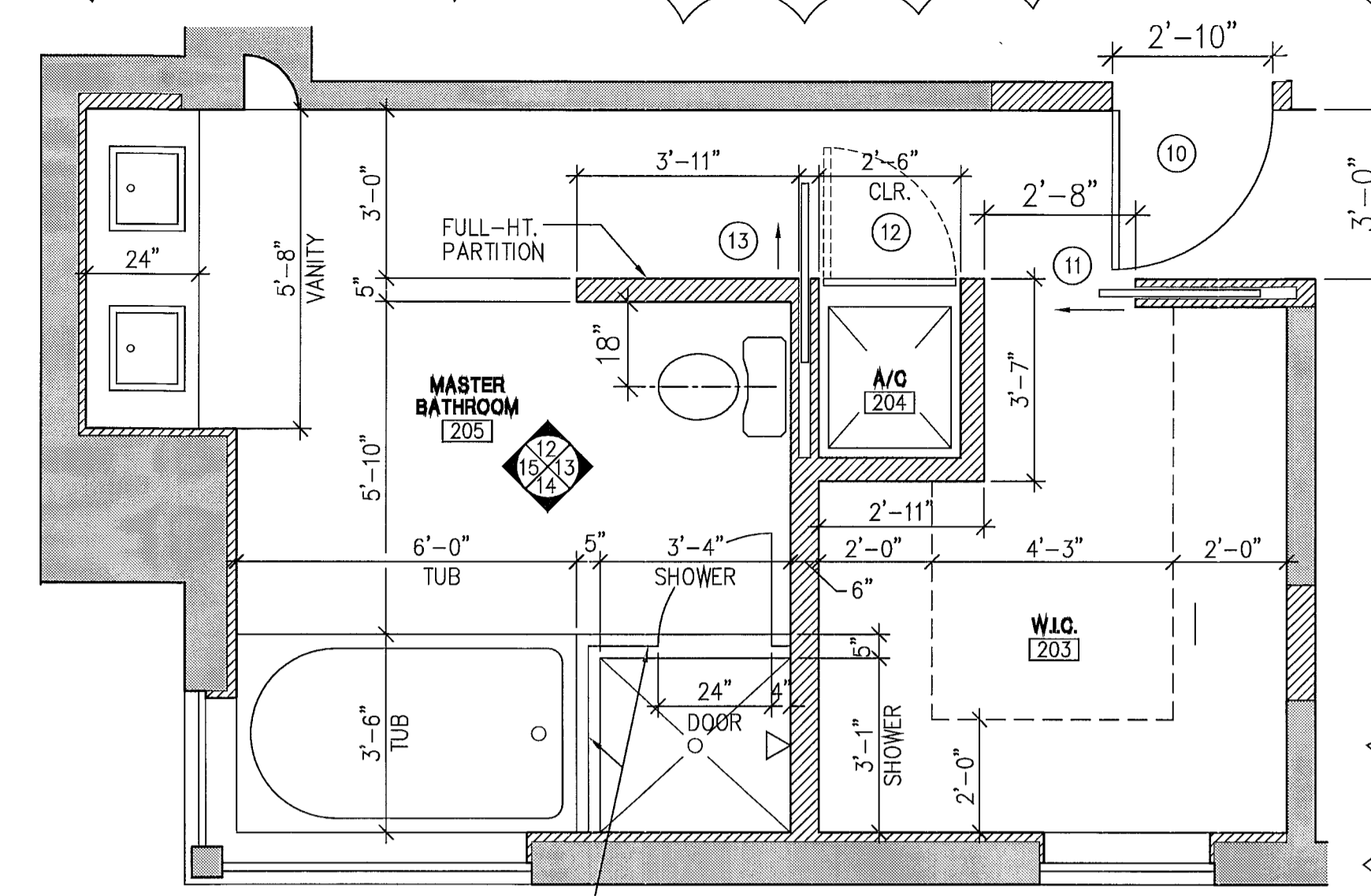
13 MAST. BATH 205 EAST ELEVATION

SCALE: 3/8" = 1'-0"



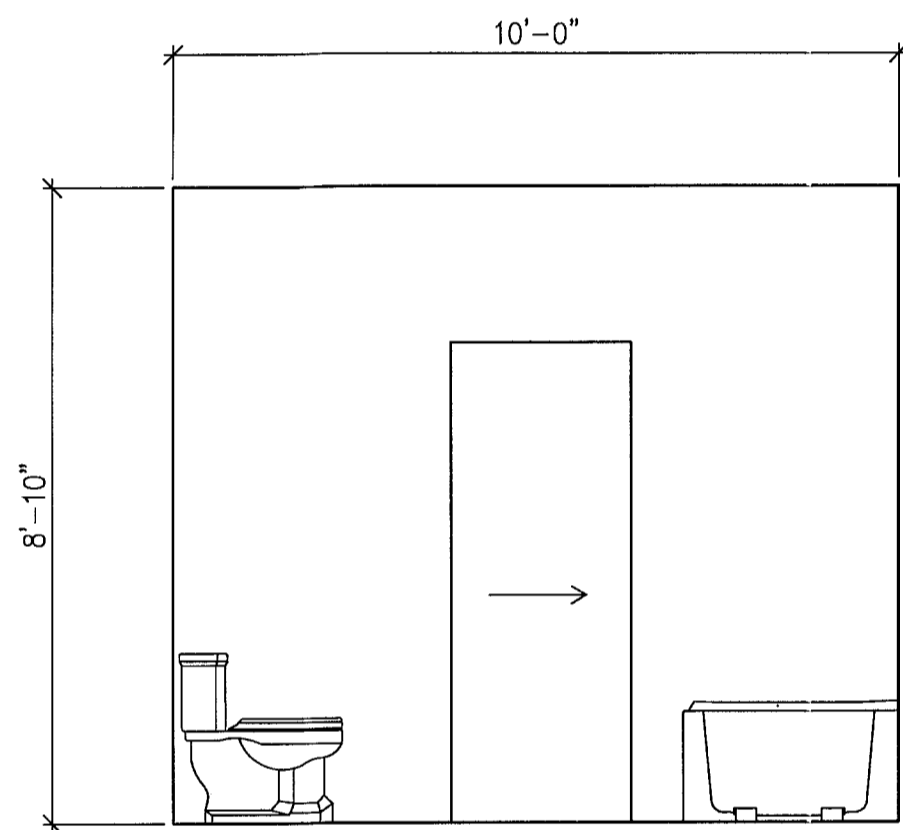
12 MAST. BATH 205 NORTH ELEVATION

SCALE: 3/8" = 1'-0"



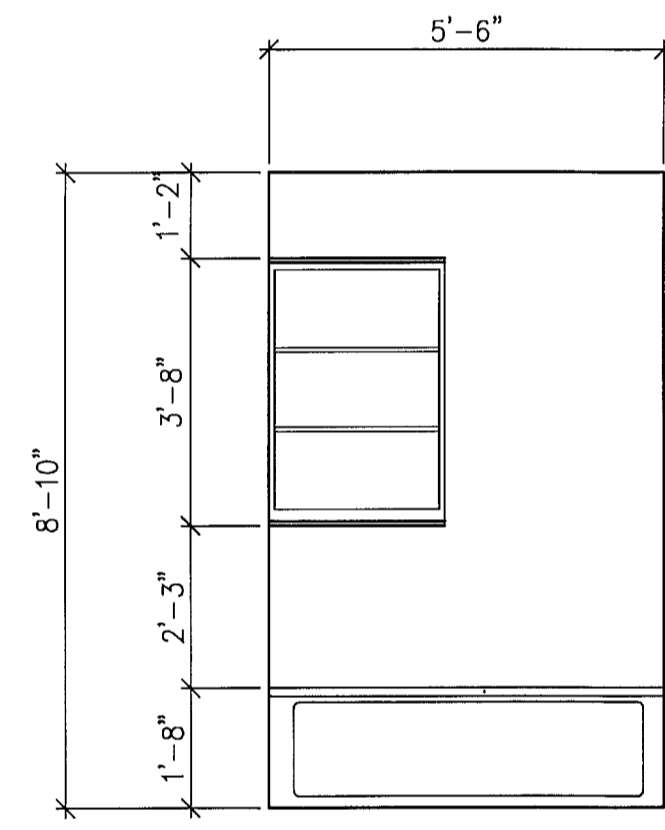
11 PLAN DETAIL MASTER BATHROOM 205 & W.I.C. 203

SCALE: 3/8" = 1'-0"



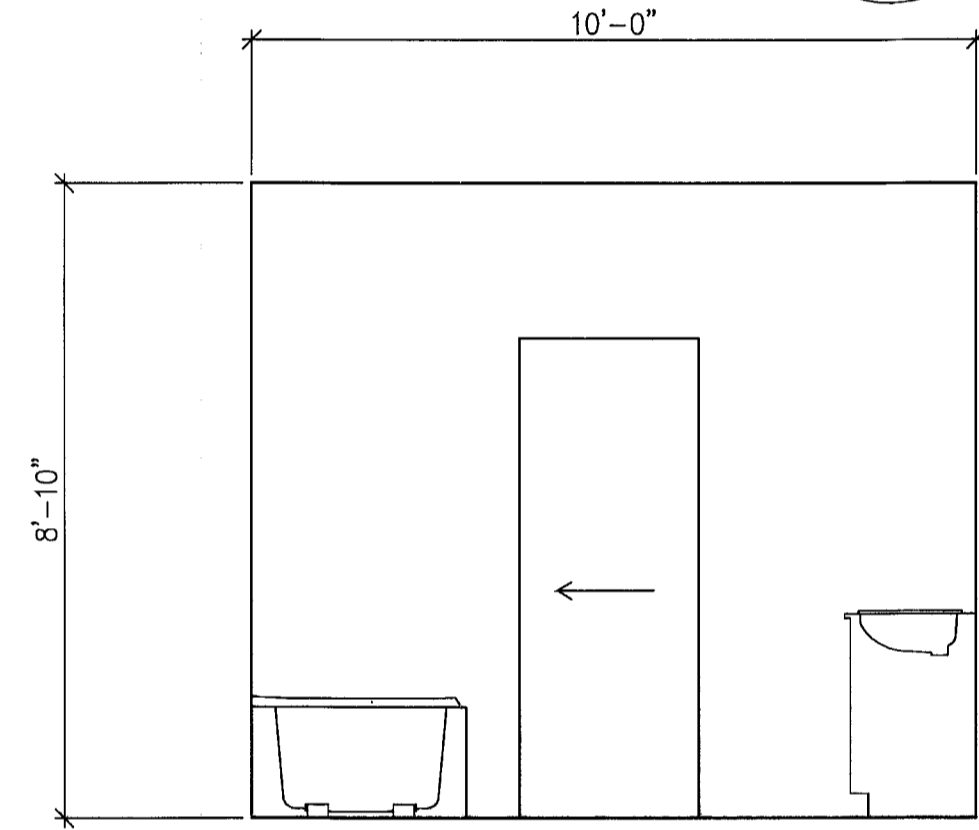
10 BATHROOM 108 EAST ELEVATION

SCALE: 3/8" = 1'-0"



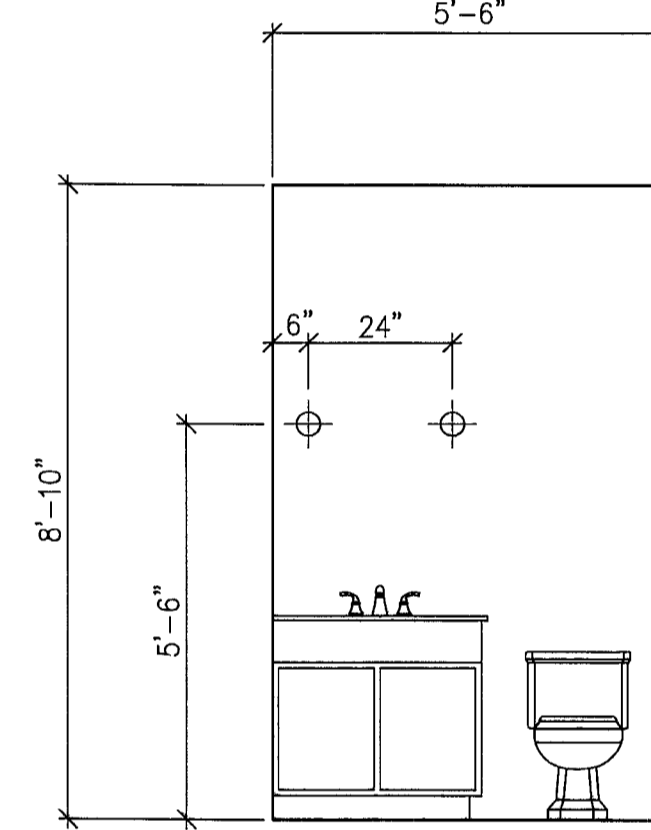
9 BATHROOM 108 SOUTH ELEVATION

SCALE: 3/8" = 1'-0"



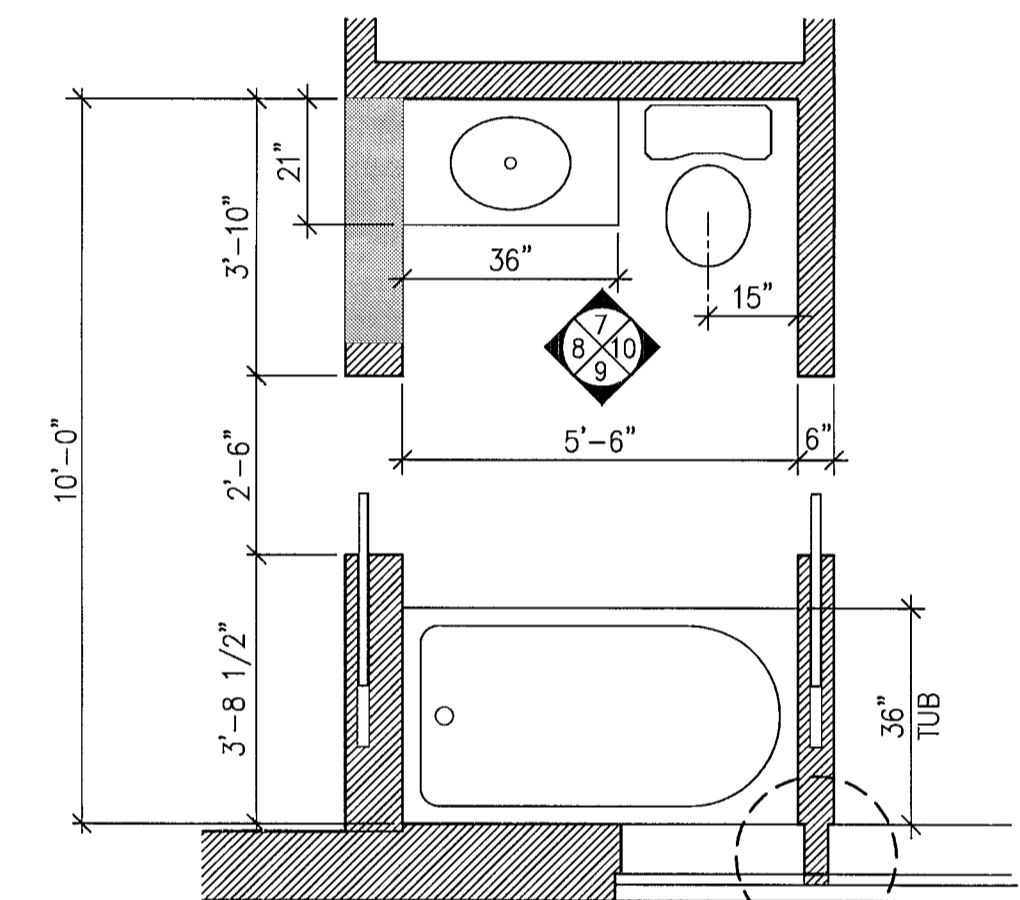
8 BATHROOM 108 WEST ELEVATION

SCALE: 3/8" = 1'-0"



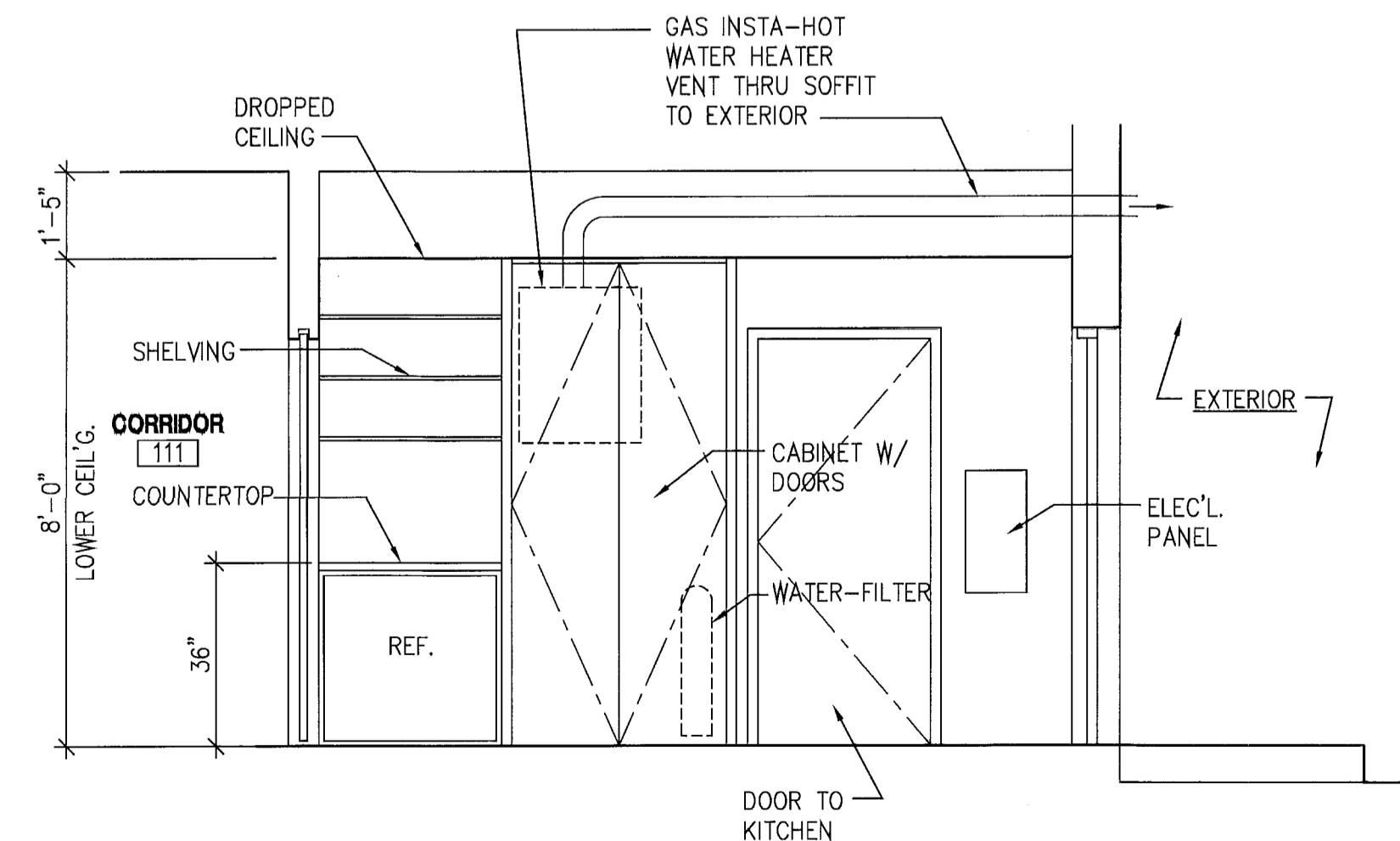
7 BATHROOM 108 NORTH ELEVATION

SCALE: 3/8" = 1'-0"



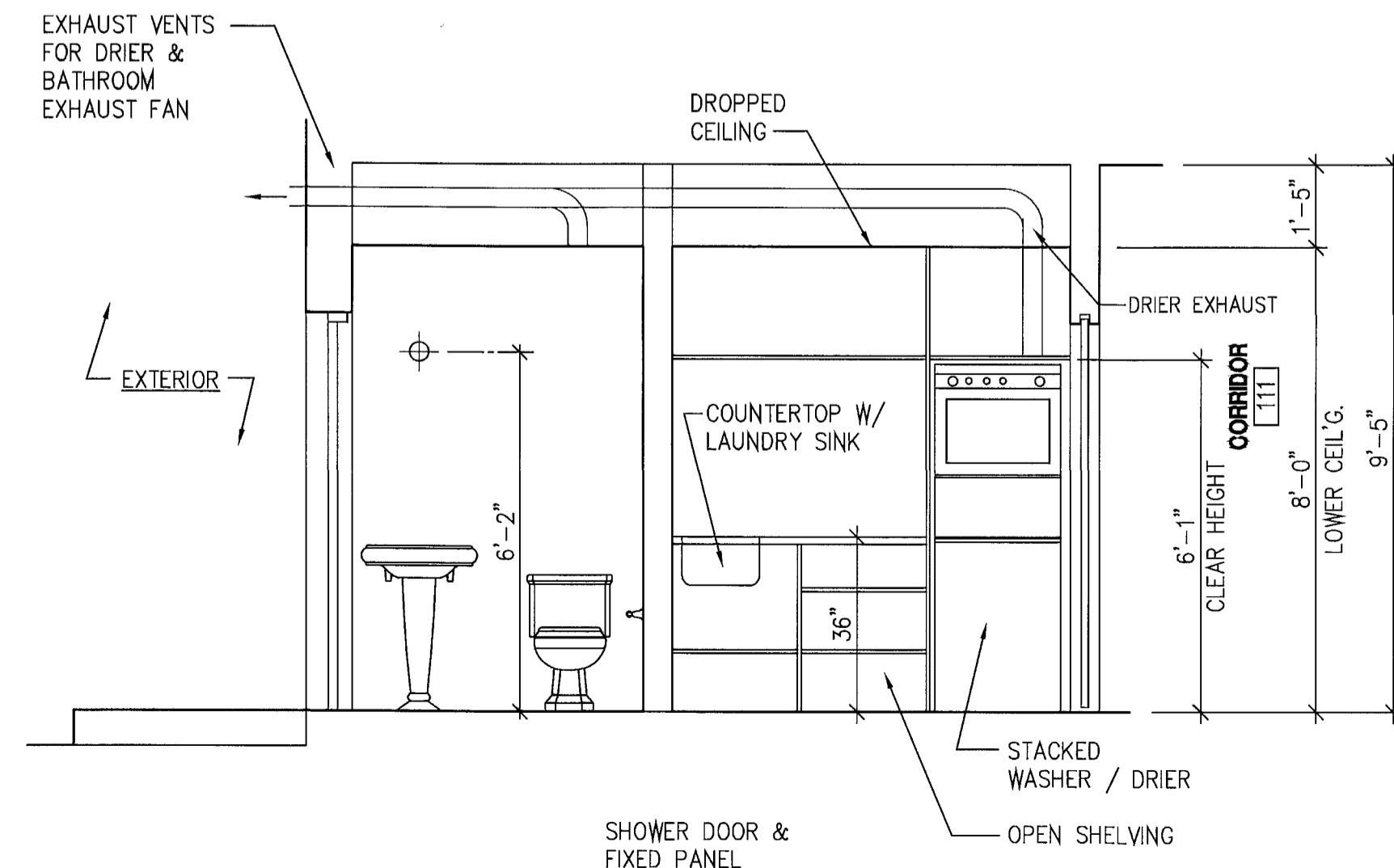
6 PLAN DETAIL BATHROOM 108

SCALE: 3/8" = 1'-0"



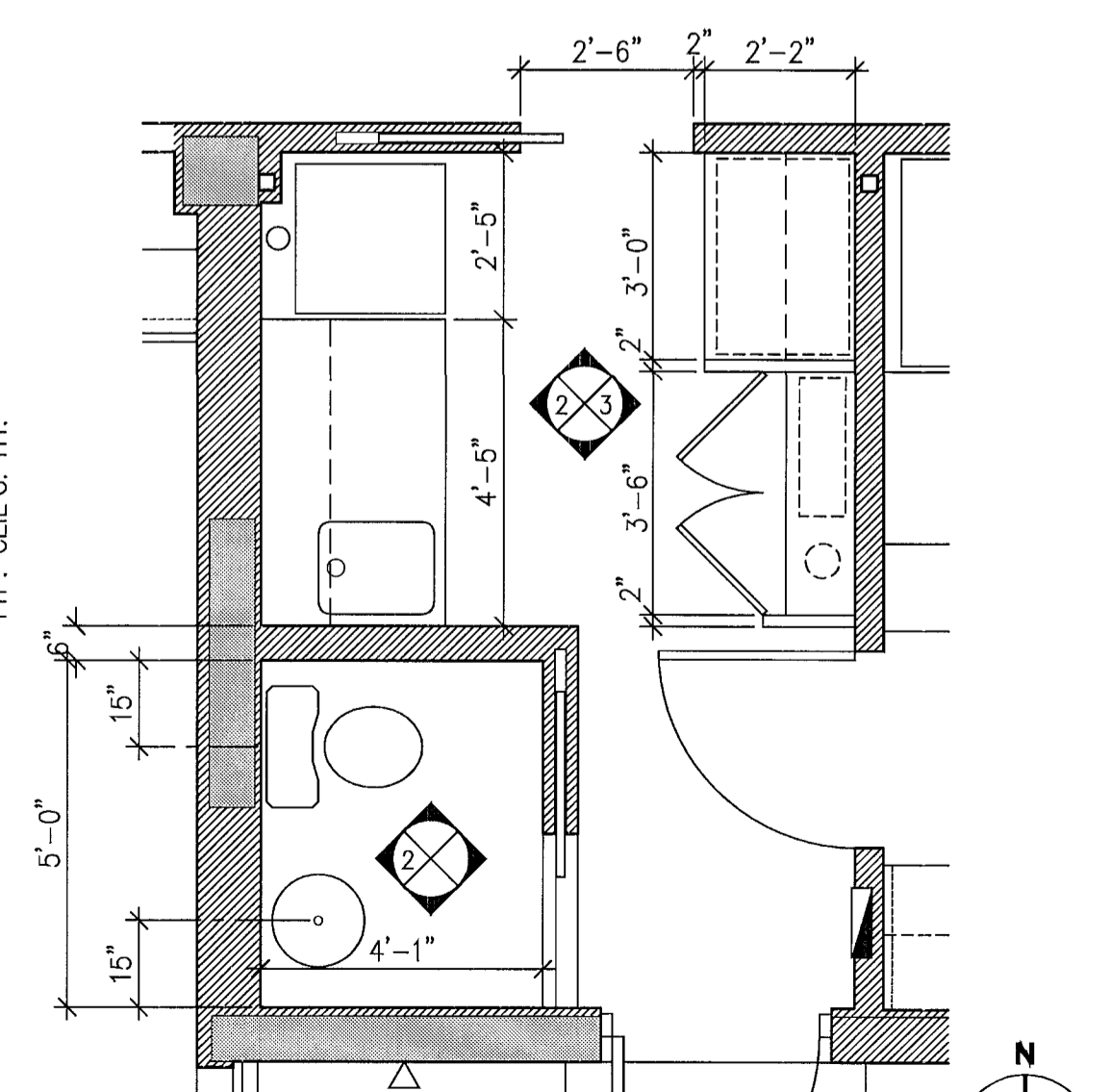
3 POOL BATH 112: SOUTH ELEVATION

SCALE: 3/8" = 1'-0"



2 POOL BATH 112 / LAUNDRY ROOM 115: NORTH ELEVATION

SCALE: 3/8" = 1'-0"



1 PLAN DETAIL BATH 112/ LAUNDRY ROOM 115

SCALE: 3/8" = 1'-0"

5 (NOT USED)

SCALE: 3/8" = 1'-0"

4 (NOT USED)

SCALE: 3/8" = 1'-0"

REV. DATE: DESCRIPTION:  
03-03-11 BUILDING DEPARTMENT COMMENTS  
07-11-11 OWNER REQUESTED CHANGES AT 2ND FLOOR

MOSSCROP ASSOCIATES  
ARCHITECTURE + INTERIORS

840 LINCOLN ROAD, SUITE 325, MIAMI BEACH, FL 33139  
T: (305) 534-9779 F: (305) 534-9927 EMAIL: ILLIJA@BELLSOUTH.NET

8.9.11

ILLIJA MOSSCROP, REGISTERED ARCHITECT  
FLORIDA LICENSE NO.: AR2744

PROJECT NAME & ADDRESS:

3193 ROYAL PALM AVENUE

3193 ROYAL PALM AVENUE  
MIAMI BEACH, FL 33140

SHEET TITLE:

INTERIOR ELEVATIONS & PLAN DETAILS

SHEET NO.:

A-09

SCALE: 3/8" = 1'-0"

DATE: 07-11-11

ISSUE: 2ND FLOOR REVISION

JOB NO.: 3193-01

**FINISH SCHEDULE**

RM. NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
101	DINING ROOM	EXIST'G. TERRAZZO				RESTORE EXIST'G. TERRAZZO FLOOR
102	POWDER ROOM	EXIST'G. CERAMIC TILE	EXIST'G. CERAMIC TILE	EXIST'G. CERAMIC TILE		RESTORE EXIST'G. CERAMIC TILE FLOOR & WALLS
103	LIVING ROOM	EXIST'G. TERRAZZO				RESTORE EXIST'G. TERRAZZO FLOOR
104	DEN	EXIST'G. TERRAZZO				RESTORE EXIST'G. TERRAZZO FLOOR
105	CORRIDOR	EXIST'G. TERRAZZO				RESTORE EXIST'G. TERRAZZO FLOOR
106	VESTIBULE					
107	CLOSET					
108	BATHROOM					
109	BEDROOM					
110	CLOSET					
111	CORRIDOR					
112	POOL BATH					
113	(NOT USED)					
114	(NOT USED)					
115	LAUNDRY ROOM					
116	KITCHEN					
117	FAMILY ROOM					
201	LANDING	WOOD	WOOD			
202	MASTER BEDROOM	WOOD	WOOD			
203	WALK-IN CLOSET	WOOD	WOOD			
204	A/C CLOSET	WOOD	WOOD			
205	MASTER BATHROOM	CERAMIC TILE	CERAMIC TILE			

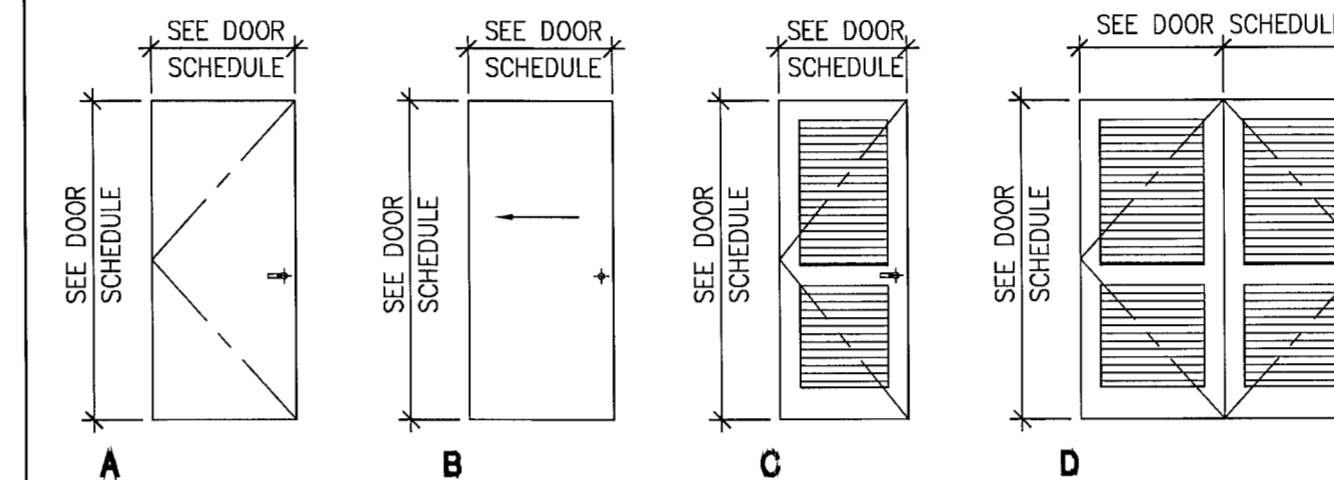
**FINISH SPECIFICATIONS:**

NOTE: FINAL SELECTIONS & SPECIFICATIONS SUBJECT TO OWNER APPROVAL.

**DOOR SCHEDULE** NOTE: THIS DOOR SCHEDULE DESCRIBES INTERIOR DOORS ONLY - FOR EXTERIOR DOOR INFORMATION SEE WINDOW SCHEDULE

FLR.:	DR. NO.	FROM / TO:	LEAF SIZE (W x H):	THK.:	LABEL:	DOOR MAT'L:	TYPE:	HRDWR. SET:	FRAME MAT'L:	TYPE:	JAMB:	HEAD:	THRESHOLD:	REMARKS
1ST FLOOR	01	POWDER ROOM 102 / CORRIDOR 105	24" x 80"	1 3/8"	-	S.C. WOOD	A	1	-					
	02	VESTIBULE 106 / BEDROOM 109	34" x 80"	1 3/8"	-	S.C. WOOD	A	1						
	02a	VESTIBULE 106 / DEN 104	30" x 80"	1 3/8"	-	S.C. WOOD	A	1						
	03	CLOSETS 107 & 114 / VESTIBULE 106	(2) 36" x 80"	1 3/8"	-	S.C. WOOD	D	7						DOUBLE LOUVERED DOOR
	04	DEN 104 / BATHROOM 108	32" x 82"	1 3/8"	-	S.C. WOOD	B	3						POCKET DOOR
	05	BEDROOM 109 / BATHROOM 108	32" x 82"	1 3/8"	-	S.C. WOOD	B	3						POCKET DOOR
	06	CLOSET 110 / BEDROOM 109	(3) 32" x 80"	1 3/8"	-	S.C. WOOD	B	4						3-LEAF SLIDING CLOSET DOOR
	07	CORRIDOR 111 / LAUNDRY ROOM 115	30" x 80"	1 3/8"	-	S.C. WOOD	B	2						POCKET DOOR
	08	KITCHEN 116 / LAUNDRY ROOM 115	34" x 80"	1 3/8"	-	S.C. WOOD	A	6						
09	POOL BATH 112 / LAUNDRY ROOM 115	32" x 82"	1 3/8"	-	S.C. WOOD	B	3						POCKET DOOR	
2ND FLOOR	10	LANDING 201 / MASTER BEDROOM 202	34" x 80"	1 3/8"	-	S.C. WOOD	A	1						
	11	MASTER BEDROOM 202 / W.I.C. 203	32" x 80"	1 3/8"	-	S.C. WOOD	B	2						
	12	A/C CLOSET 204 / MASTER BEDROOM 202	30" x 80"	1 3/8"	-	S.C. WOOD	C	6						FULL-LOUVERED DOOR
	13	MASTER BEDROOM 202 / MASTER BATHROOM 205	36" x 80"	1 3/8"	-	S.C. WOOD	B	3						

**DOOR TYPES:**



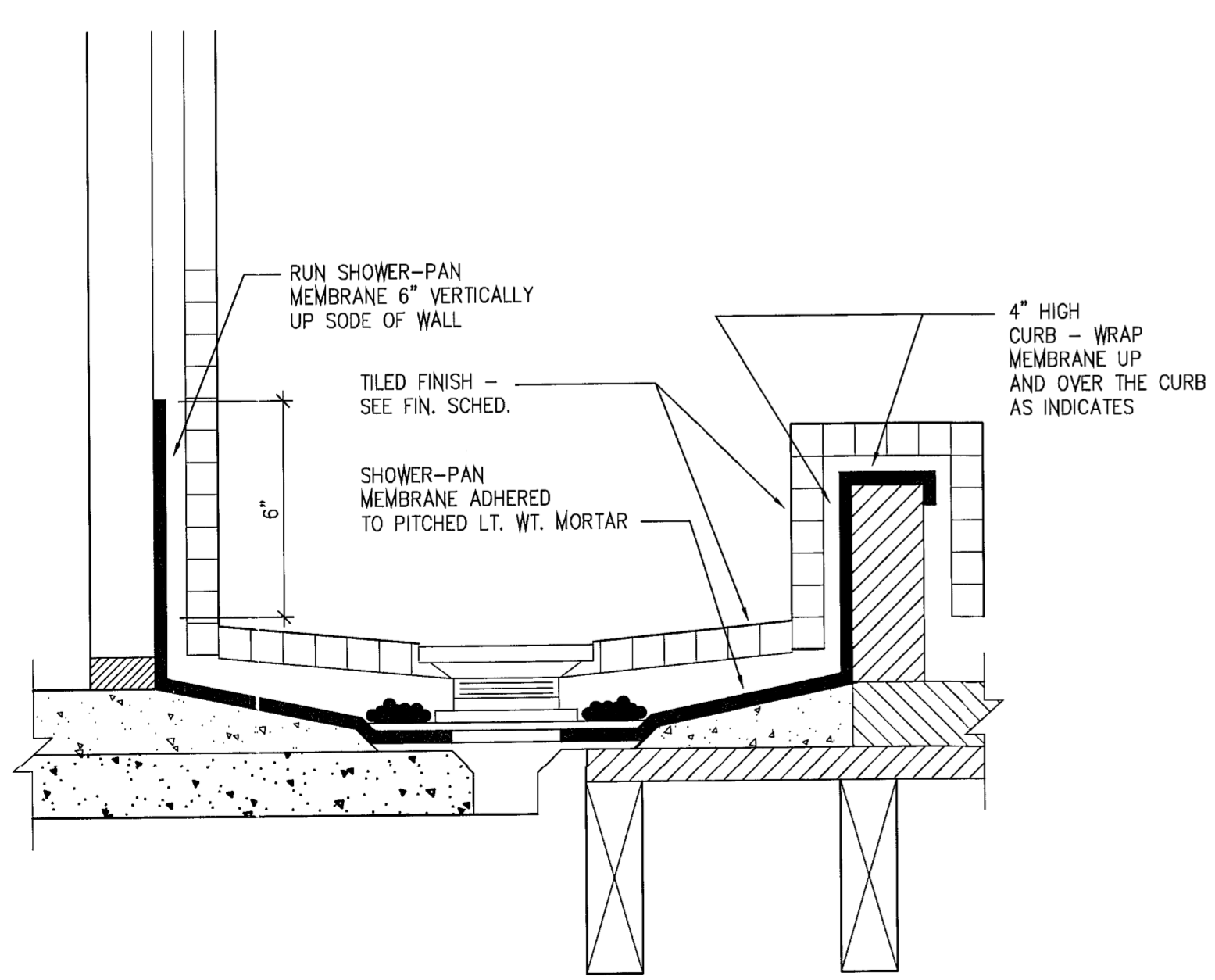
**HARDWARE SETS:**

- PRIVACY LOCKSET:**  
LEVER HANDLES BOTH SIDES OF DOOR LEAF  
PUSH-BUTTON LOCK ON BED / BATHROOM SIDE  
EMERGENCY UN-LOCK ON OPPOSITE SIDE  
1 1/2 PAIR BUTT HINGES  
DOOR STOP
- POCKET DOOR (NON-PRIVACY):**  
RECESSED FINGER PULLS BOTH SIDES OF DOOR LEAF  
MORTISED "FLIP-UP" DOOR-PULL IN FRONT EDGE OF DOOR  
HEAD TRACK SLIDING DOOR HARDWARE & SILL GUIDES
- POCKET DOOR (PRIVACY):**  
RECESSED FINGER-PULL W/ THUMB LATCH LOCK  
ON BATH / BEDROOM SIDE, RECESSED FINGER-PULL  
W/ EMERGENCY UN-LOCK ON OPPOSITE SIDE OF DOOR LEAF,  
MORTISED LOCK ON FRONT EDGE OF DOOR LEAF,  
MORTISED "FLIP-UP" DOOR-PULL IN FRONT EDGE OF DOOR LEAF,  
HEAD TRACK SLIDING DOOR HARDWARE & SILL GUIDES
- SLIDING CLOSET DOOR HARDWARE:**  
RECESSED FINGER PULLS BOTH SIDES  
SLIDING HEAD TRACK
- CLOSET DOOR HARDWARE:**  
LEVER HANDLES BOTH SIDES  
PASSAGE LATCH SET (NO LOCKS)  
1 1/2 PAIR BUTT HINGES  
DOOR STOP
- PASSAGE LATCH LOCKSET:**  
LEVER HANDLES BOTH SIDES OF DOOR LEAF  
LATCH WITH NO LOCK  
1 1/2 PAIR BUTT HINGES
- CONCEALED HARDWARE CLOSET DOOR:**  
TOP & BOTTOM PIVOT HINGES  
MAGNETIC LATCHES AT HEAD (PUSH TO OPEN)  
NO LEVERS OR ANY VISIBLE HARDWARE

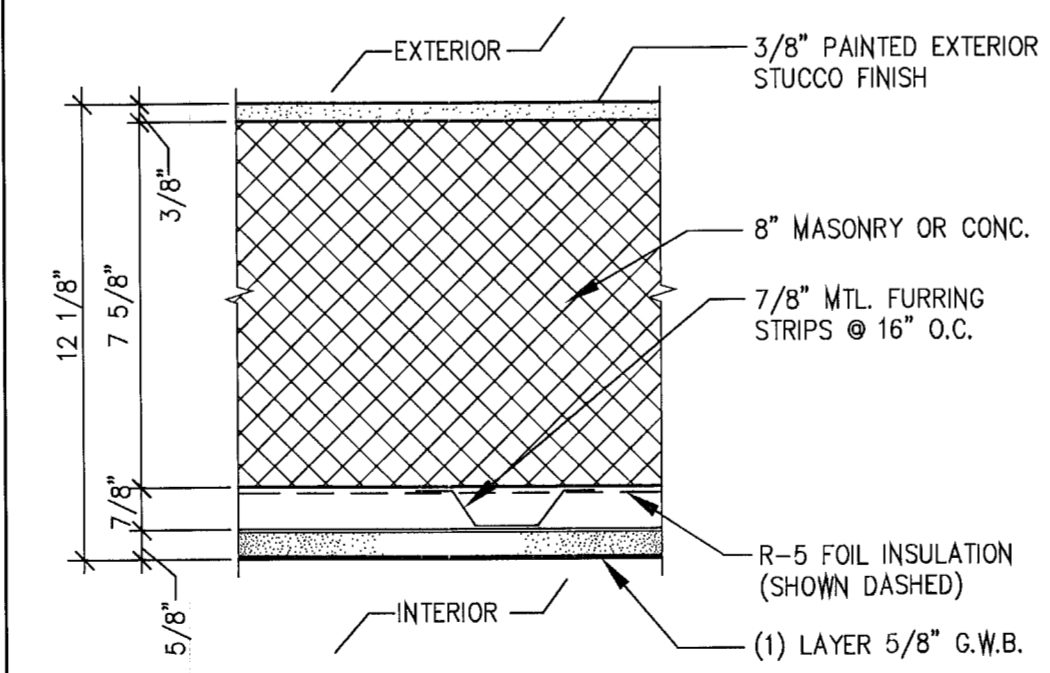
DATE: 03-03-11  
REVISION: 07-11-11  
DESCRIPTION: BUILDING DEPARTMENT COMMENTS  
OWNER-REQUESTED CHANGE: 2ND FLOOR REVISION

**MOSSCROP ASSOCIATES**  
ARCHITECTURE + INTERIORS  
940 LINCOLN ROAD, SUITE 325, MIAMI BEACH, FL 33139  
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CREATED BY: AAS0001057 & AAS001058

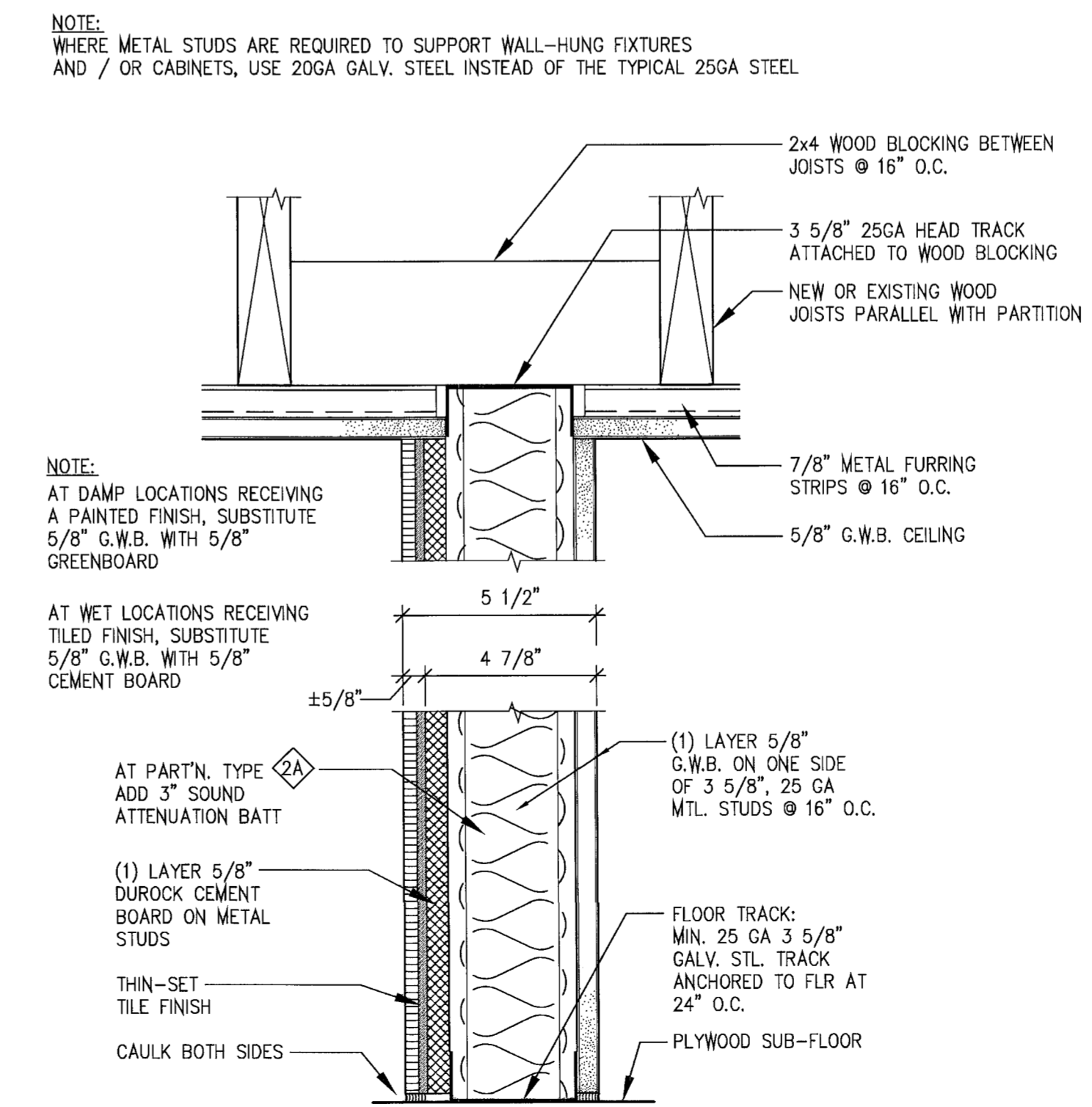
3193 ROYAL PALM AVENUE  
MIAMI BEACH, FL 33140  
SHEET TITLE: **DOOR & ROOM FINISH SCHEDULES, PARTITION TYPES & DETAILS**  
SHEET NO.: **A-11**  
SCALE: AS NOTED  
DATE: 07-11-11  
ISSUE: 2ND FLOOR REVISION  
JOB NO.: 3193-01



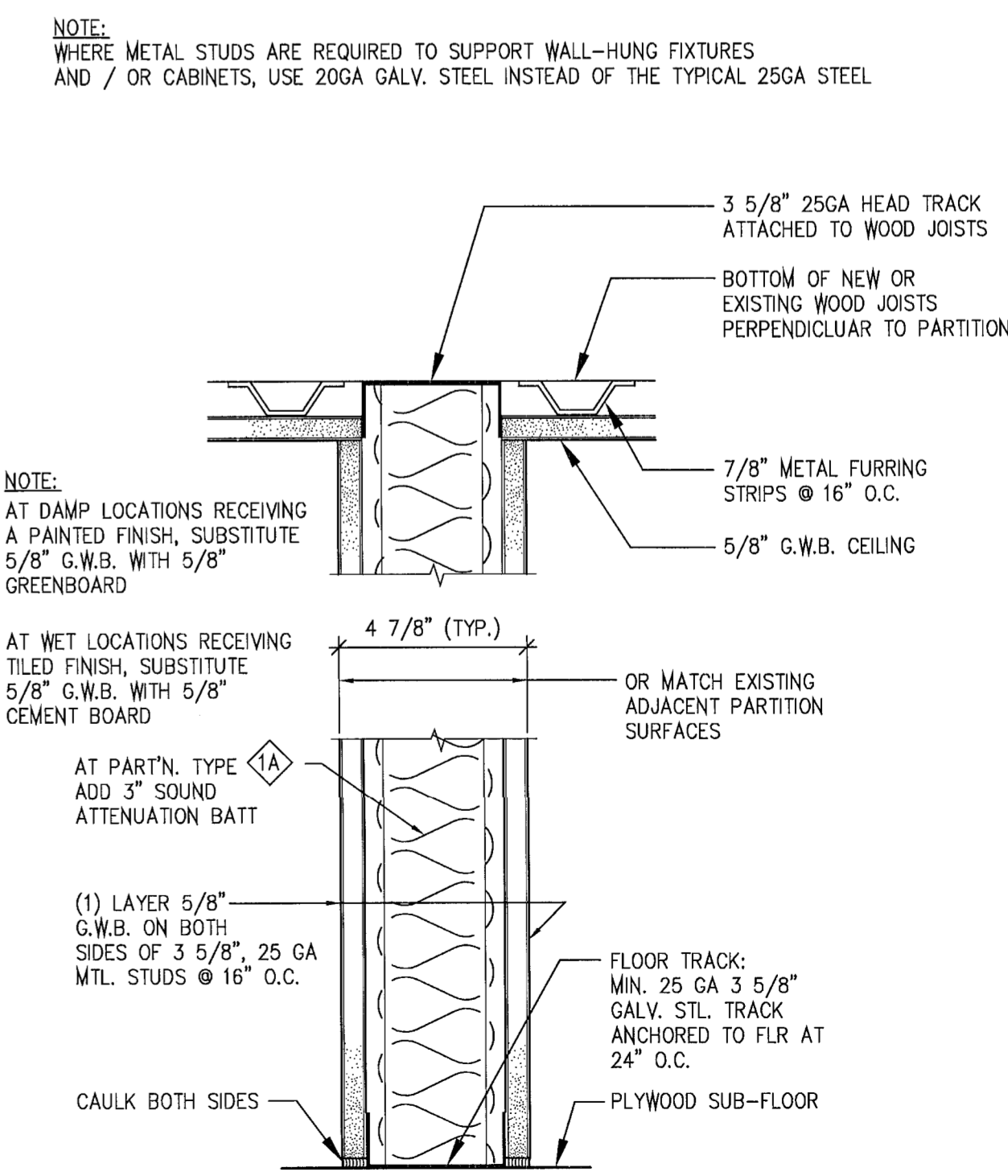
**1 SHOWER PAN DETAIL**  
SCALE: 3" = 1'-0"



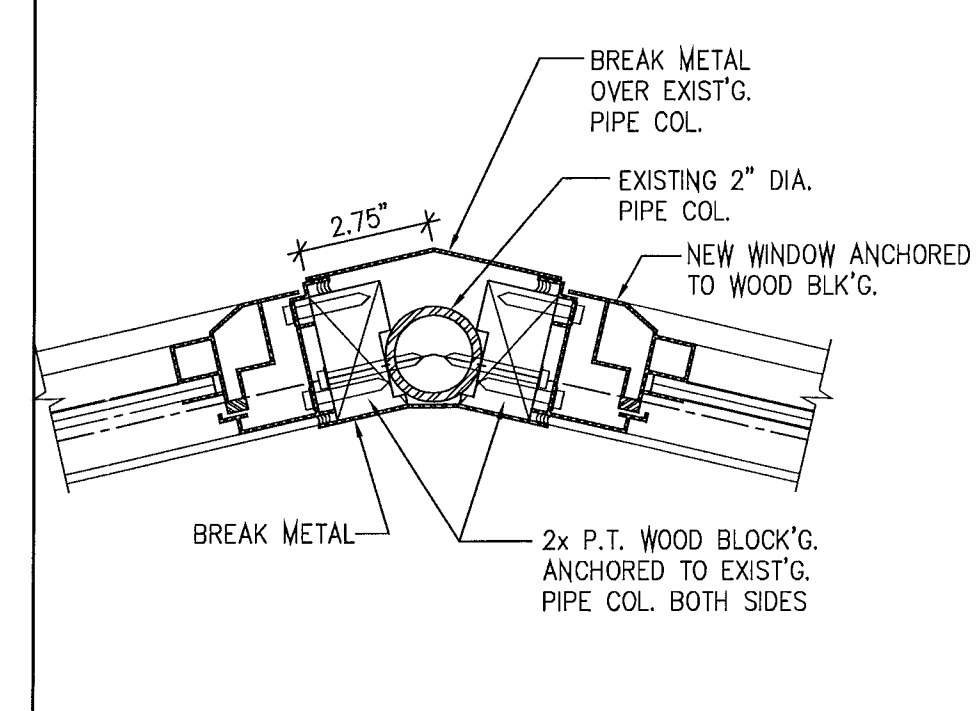
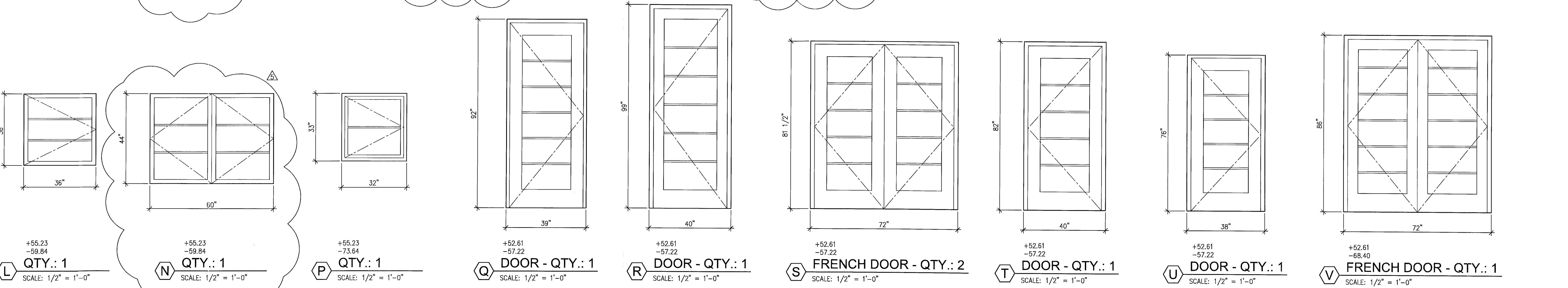
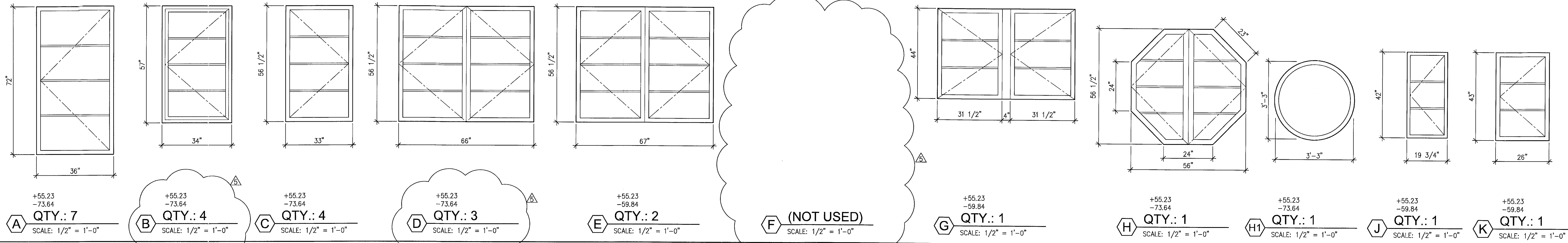
**3 FURRING @ EXTERIOR WALL**  
SCALE: 3" = 1'-0"



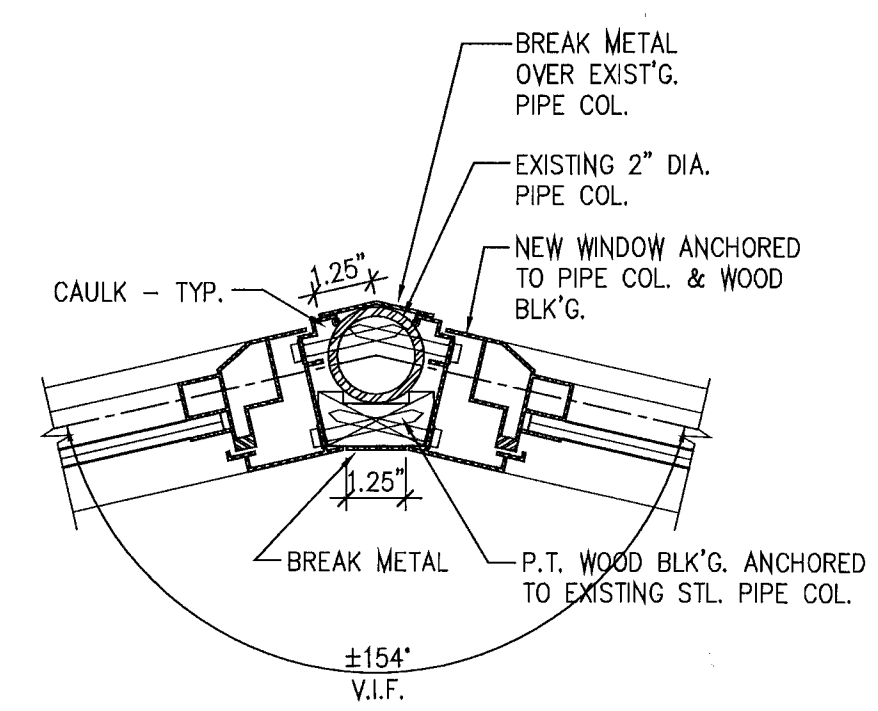
**2 2A NON-RATED, NON-BEARING INTERIOR PARTITION W/ TILED FINISH ONE SIDE**  
SCALE: 3" = 1'-0"



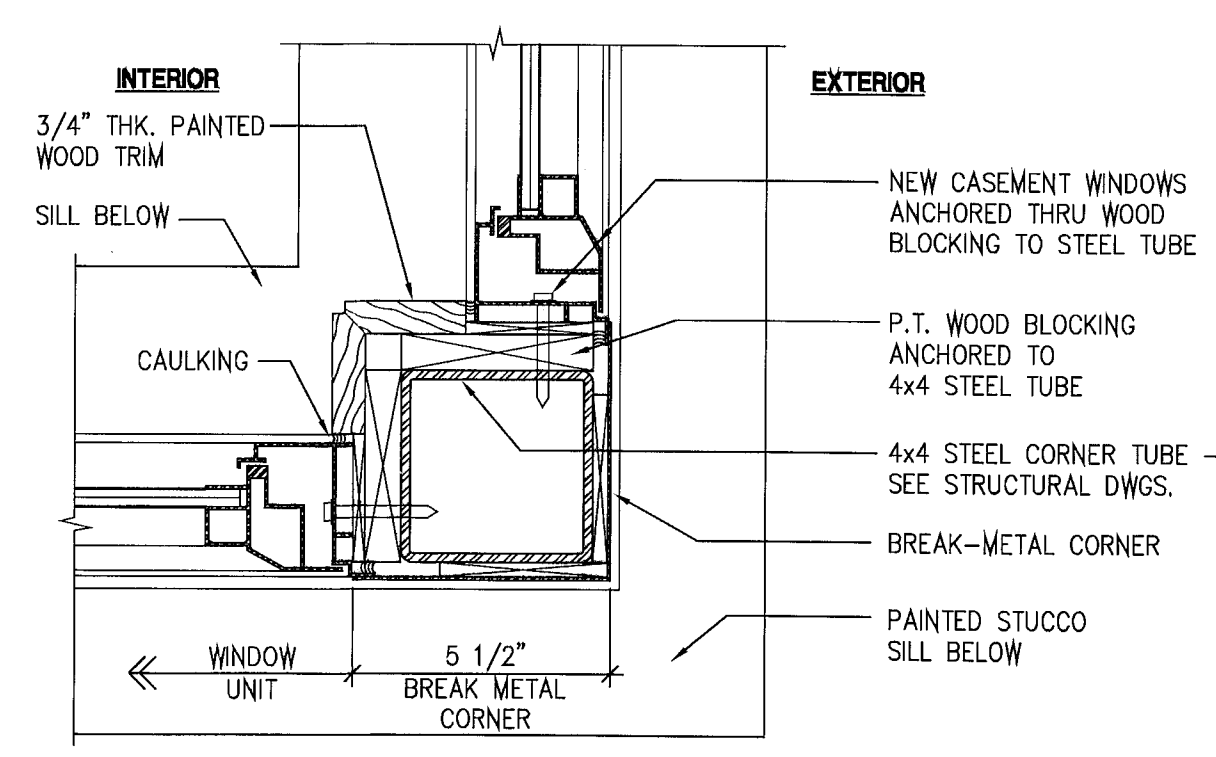
**1 1A NON-RATED, NON-BEARING INTERIOR PARTITION**  
SCALE: 3" = 1'-0" S.T.C.: 50



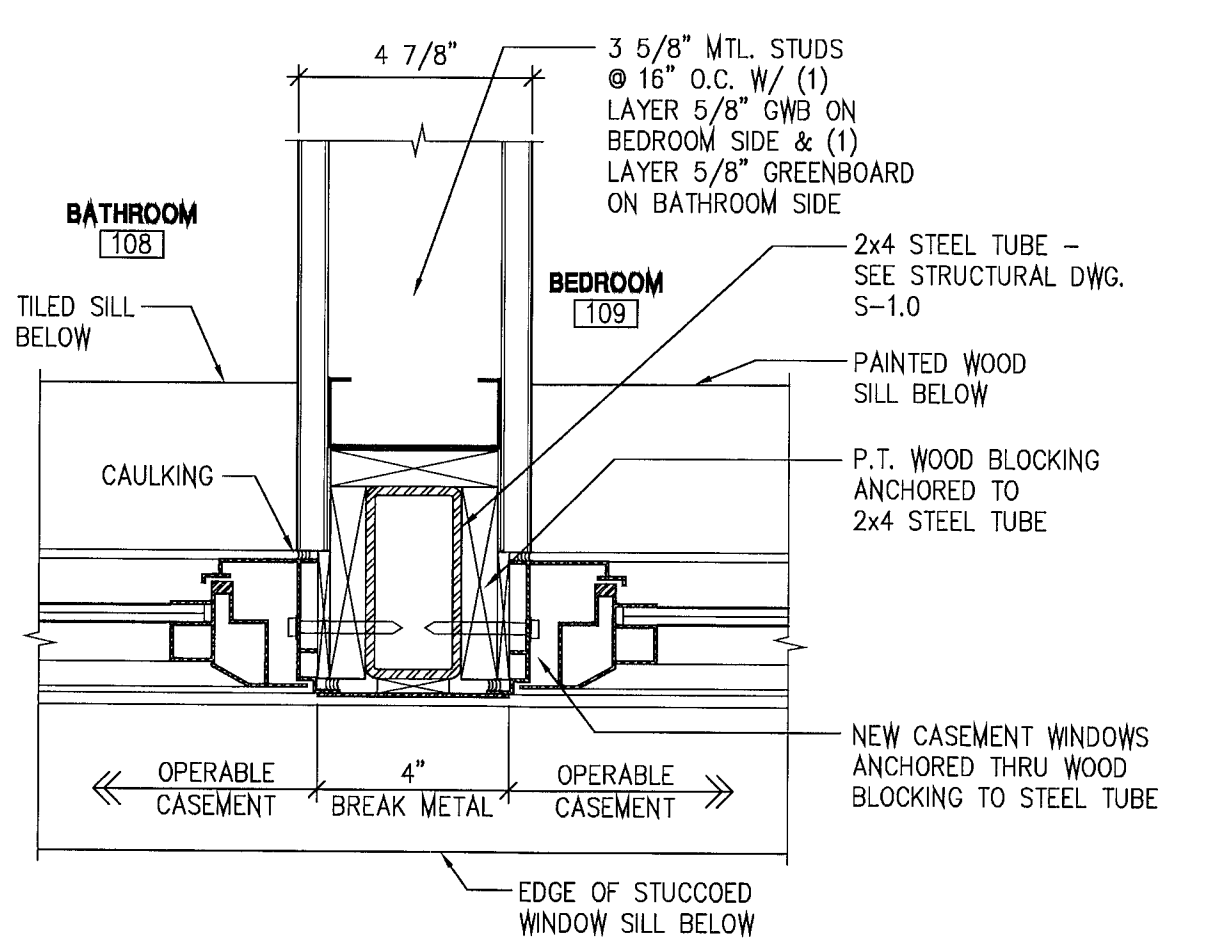
**8B) WINDOW AT ROUND PIPE COL. ALTERNATE "B"**  
SCALE: 3" = 1'-0"



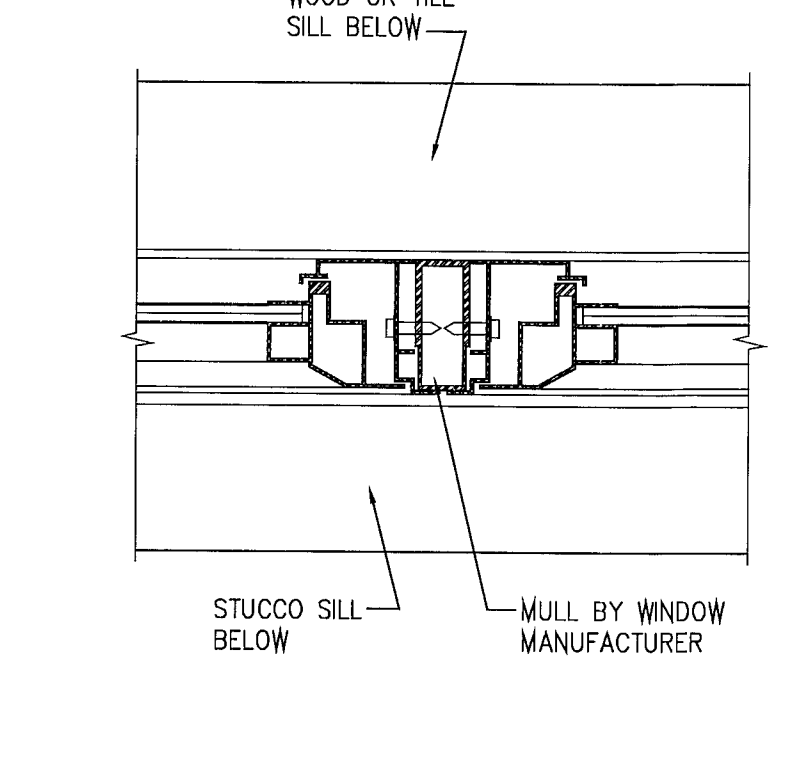
**8A) WINDOW AT ROUND PIPE COL. ALTERNATE "A"**  
SCALE: 3" = 1'-0"



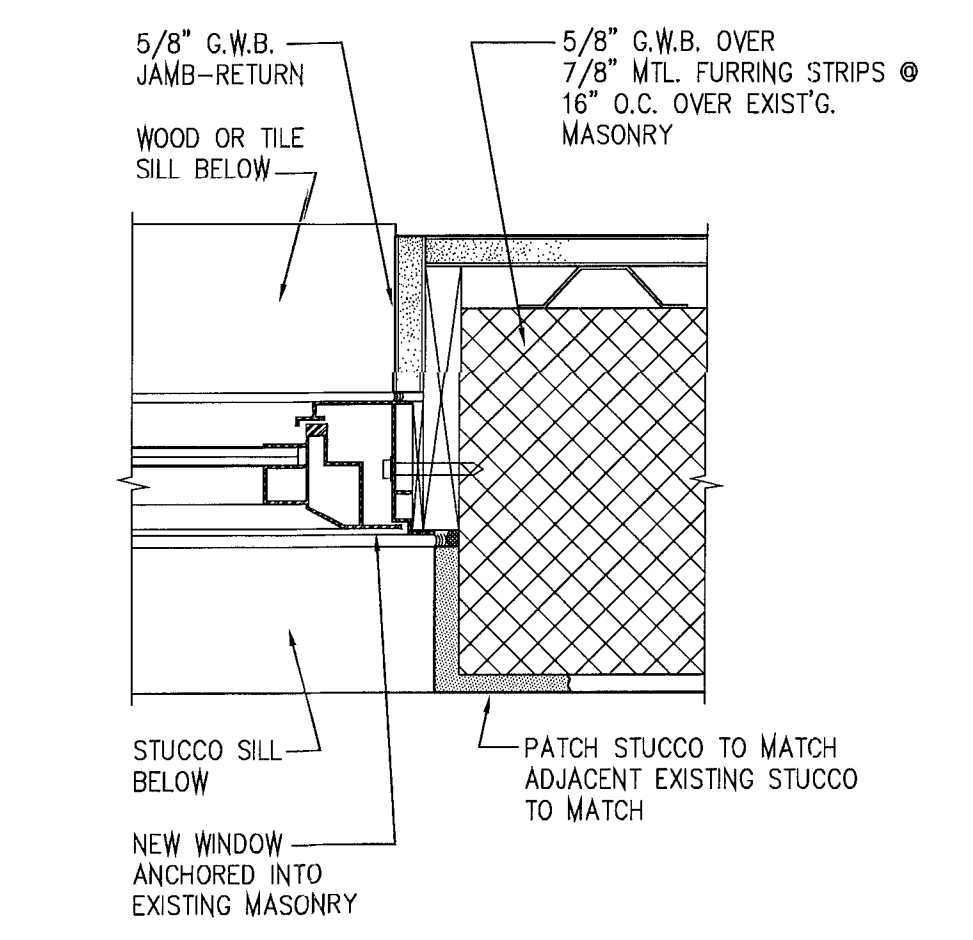
**7) CORNER POST DETAIL**  
SCALE: 3" = 1'-0"



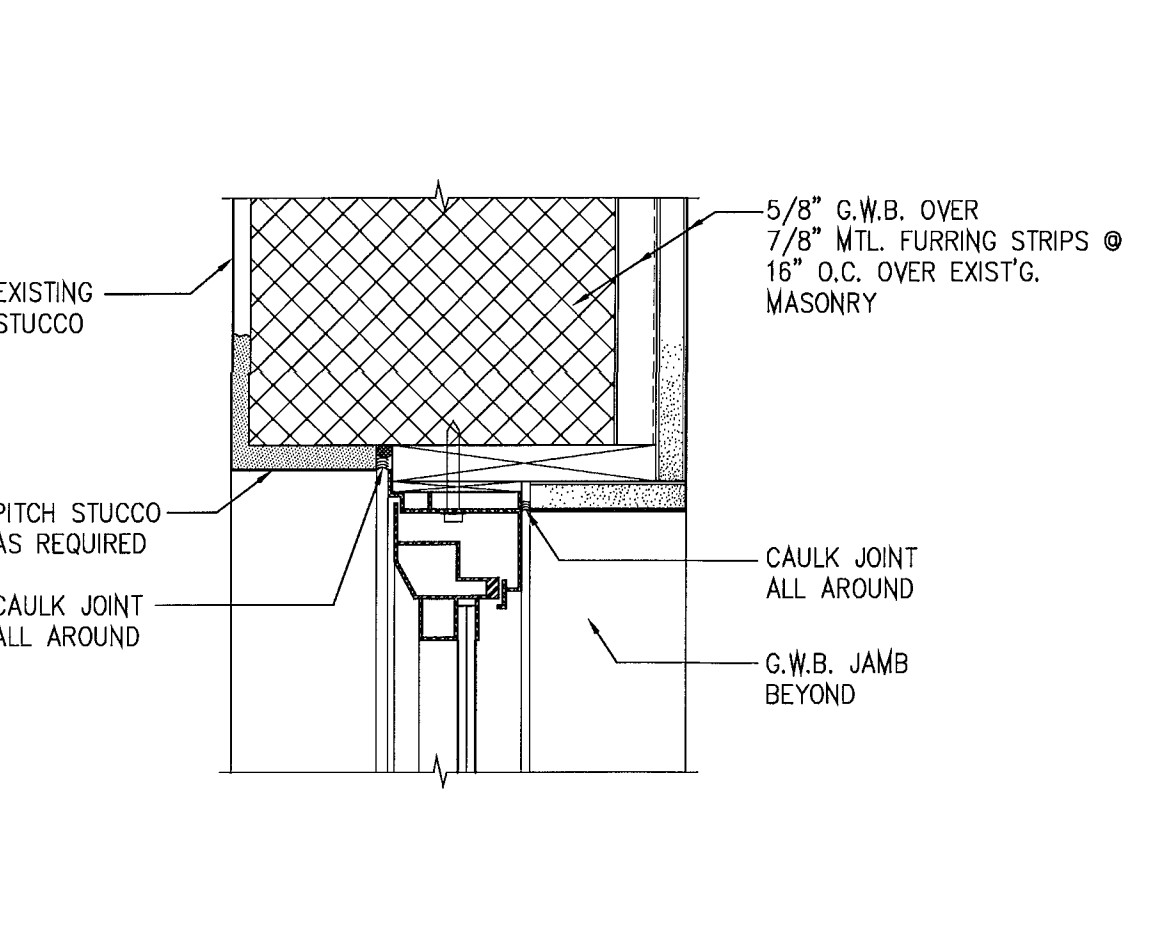
**6) INTERMEDIATE STEEL POST DETAIL (WINDOW TYPE G)**  
SCALE: 3" = 1'-0"



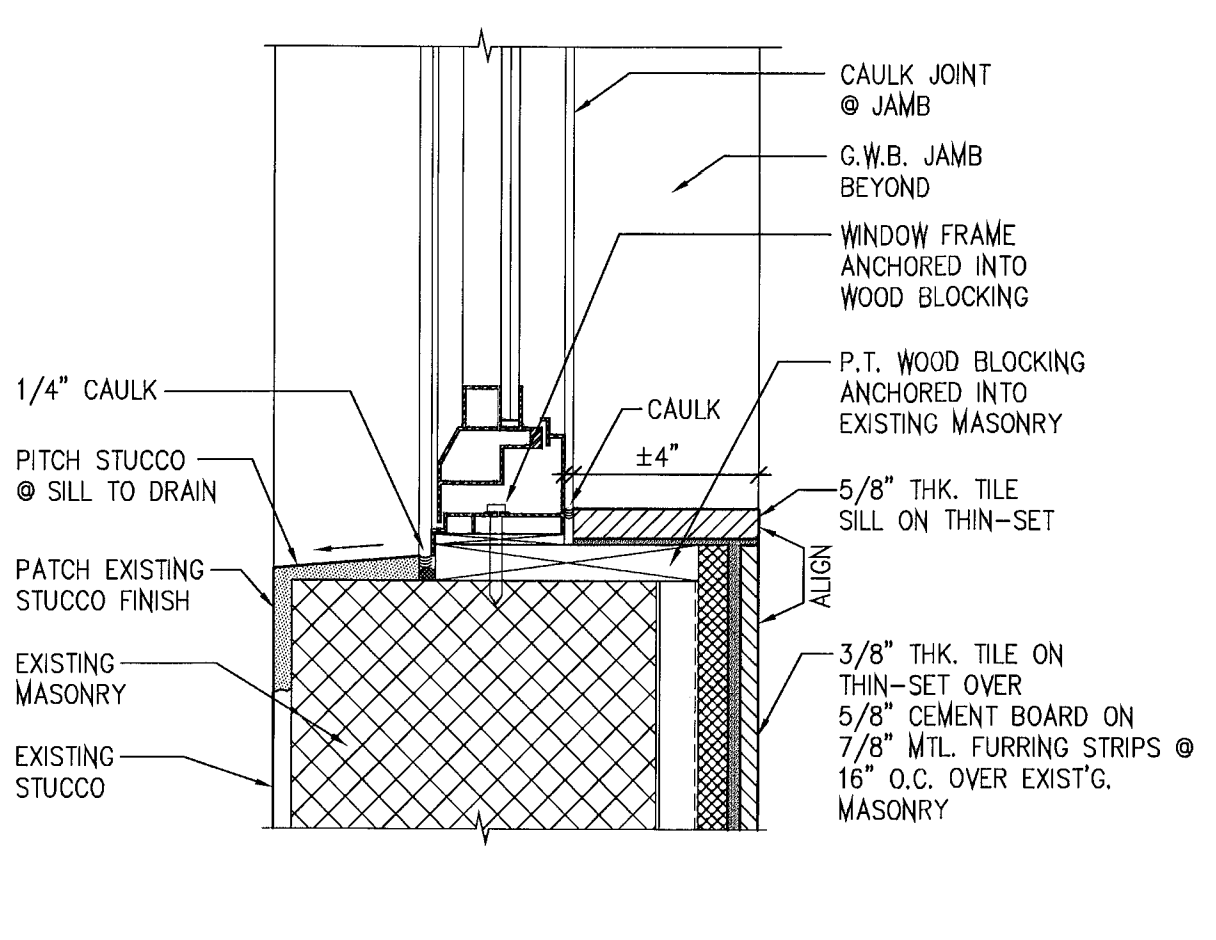
**5) TYP. INTERMEDIATE MULLION DETAIL**  
SCALE: 3" = 1'-0"



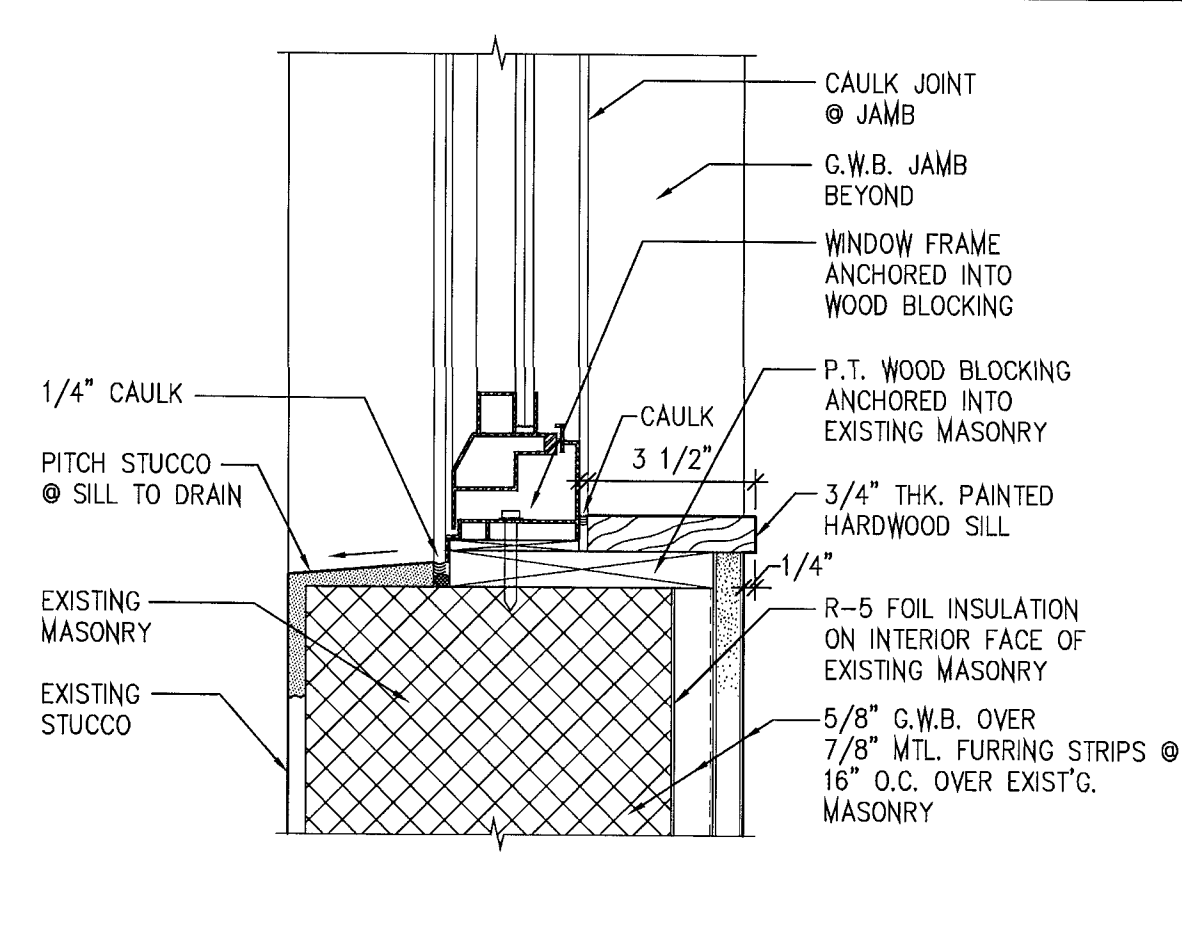
**4) TYP. WINDOW JAMB DETAIL**  
SCALE: 3" = 1'-0"



**3) TYP. WINDOW HEAD DETAIL**  
SCALE: 3" = 1'-0"



**2) WINDOW SILL DETAIL @ TILED SILL**  
SCALE: 3" = 1'-0"



**1) TYP. WINDOW SILL DETAIL**  
SCALE: 3" = 1'-0"

**WINDOW & EXTERIOR DOOR NOTES:**

- DIMENSIONS SHOWN ON THIS WINDOW SCHEDULE ARE FOR MASONRY OR ROUGH OPENINGS. G.C. AND / OR WINDOW SUPPLIER SHALL CONFIRM ACTUAL FIELD CONDITIONS AND SHALL MEASURE ALL MASONRY OPENINGS THEMSELVES PRIOR TO FABRICATION OF WINDOWS AND DOORS.
- CONFIRM HINGED SIDE OF EACH WINDOW BY REFERRING TO EXTERIOR BUILDING ELEVATIONS - SOME WINDOW TYPES HAVE OPPOSITE HINGED SIDES.
- ALL DOORS & WINDOWS SHALL BE IMPACT RESISTANT.
- FRAMES SHALL HAVE AN ESP FINISH - COLOR TO BE DETERMINED.
- ALL WINDOW & DOOR HARDWARE (LEVERS, HINGES, CRANKS, ETC.) SHALL HAVE A SATIN STAINLESS STEEL FINISH.
- ALL WINDOWS SHALL BE SUPPLIED WITH INSECT SCREENS.
- GLAZING SHALL RECEIVE A LIGHT GREY TINT FOR ENERGY SAVINGS.
- WINDOW SUPPLIER SHALL SUBMIT A MINIMUM OF SIX SETS OF SHOP DRAWINGS TO ARCHITECT FOR REVIEW AND APPROVAL. FABRICATION SHALL NOT COMMENCE UNTIL ARCHITECT HAS APPROVED THE SHOP DRAWINGS.
- WINDOW SUPPLIER SHALL SUBMIT TWO SAMPLES OF THE TINTED GLASS AND OF THE FINISH COLOR OF THE FRAMES TO THE ARCHITECT FOR HIS APPROVAL.

DATE: 03-03-11 BUILDING DEPARTMENT COMMENTS  
04-25-11 BUILDING DEPARTMENT COMMENTS  
07-11-11 OWNER-REQUESTED REMOVAL OF 2ND FLOOR ADDITION

**MOSSCROP ASSOCIATES**  
ARCHITECTURE + INTERIORS

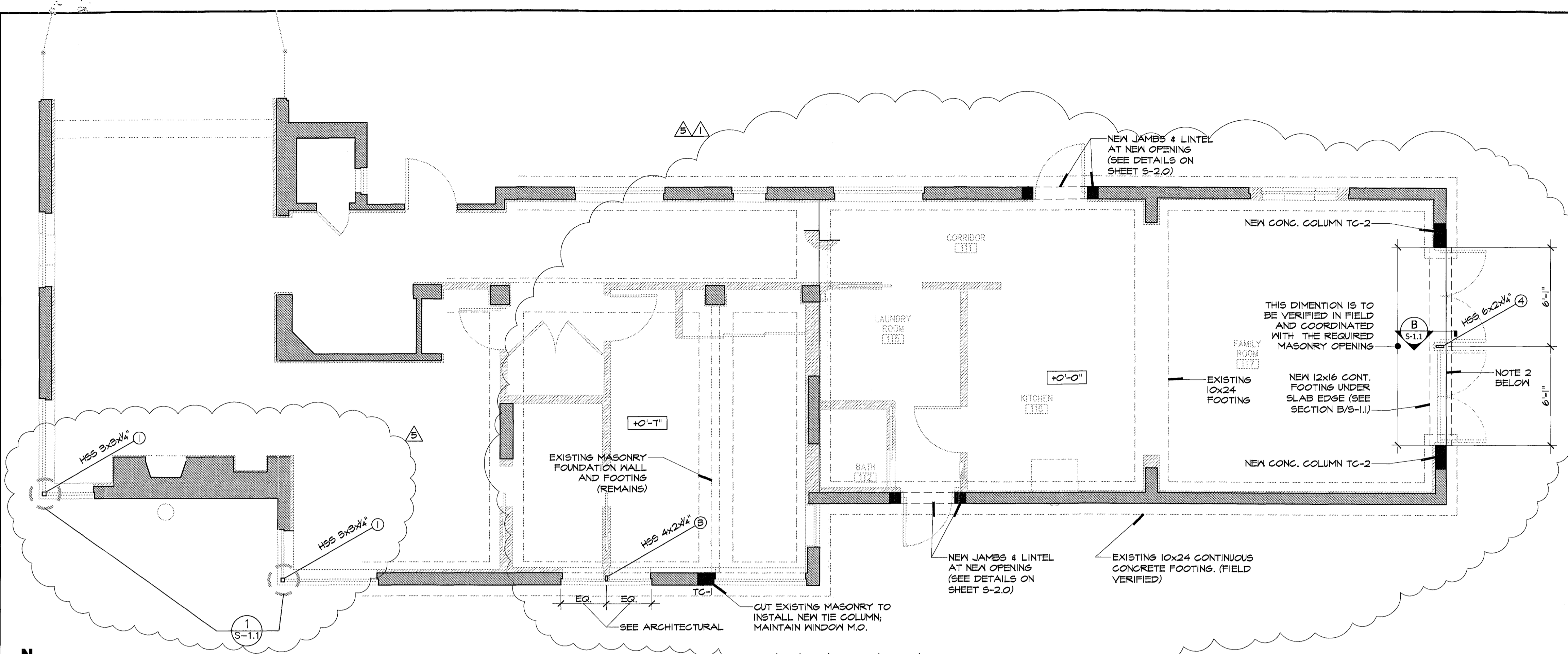
940 LINCOLN ROAD, SUITE 325, MIAMI BEACH, FL 33139  
TEL: (305) 534-9775, FAX: (305) 534-9927 EMAIL: ILLIA@BELLSOUTH.NET  
DESIGN OF ARCHT: A200001057 & A200001058

PROJECT NAME & ADDRESS:  
**3193 ROYAL PALM AVENUE**  
MIAMI BEACH, FL 33140

SHEET TITLE:  
**WINDOW & EXTERIOR DOOR SCHEDULE**

SHEET NO.:  
**A-12**

SCALE: AS NOTED  
DATE: 07-11-11  
ISSUE: 2ND FLR REVISION  
JOB NO.: 3193-01



**LEGEND**

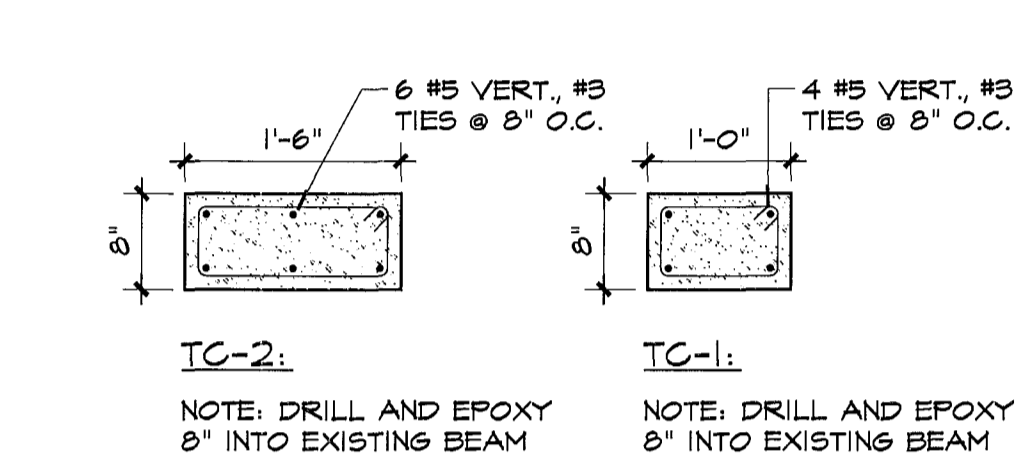
- NEW 6" LIGHT GAUGE METAL LOAD BEARING WALL; 6"-16 GAGE CMN STUDS SPACED @ 16" O.C.
- EXISTING CONCRETE/C.M.U. WALLS
- PROPOSED TIE COLUMN

**STRUCTURAL LEGEND**

- TC CONCRETE TIE COLUMN
- TSE THICKENED SLAB EDGE
- F FOOTING
- SL CONCRETE SLAB
- SLB SLAB BEAM
- HSS STRUCTURAL STEEL TUBE
- TB TIE BEAM
- B CONCRETE BEAM
- W STEEL BEAM
- U.O.N. UNLESS OTHERWISE NOTED
- WF WALL FOOTING
- X-BRACING; PROVIDE AS INDICATED ON PLAN

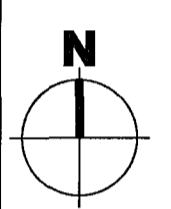
**NOTES:**

1. ELEVATIONS NOTED AFF ARE REFERENCED TO TOP OF FINISHED GROUND FLOOR ELEVATION +0'-0". COORDINATE ALL ELEVATIONS WITH ARCHITECTURAL DRAWINGS.
2. COORDINATE ALL FLOOR SLOPES AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS. COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
3. SEE COLUMN SCHEDULE ON SHEET S-1.1

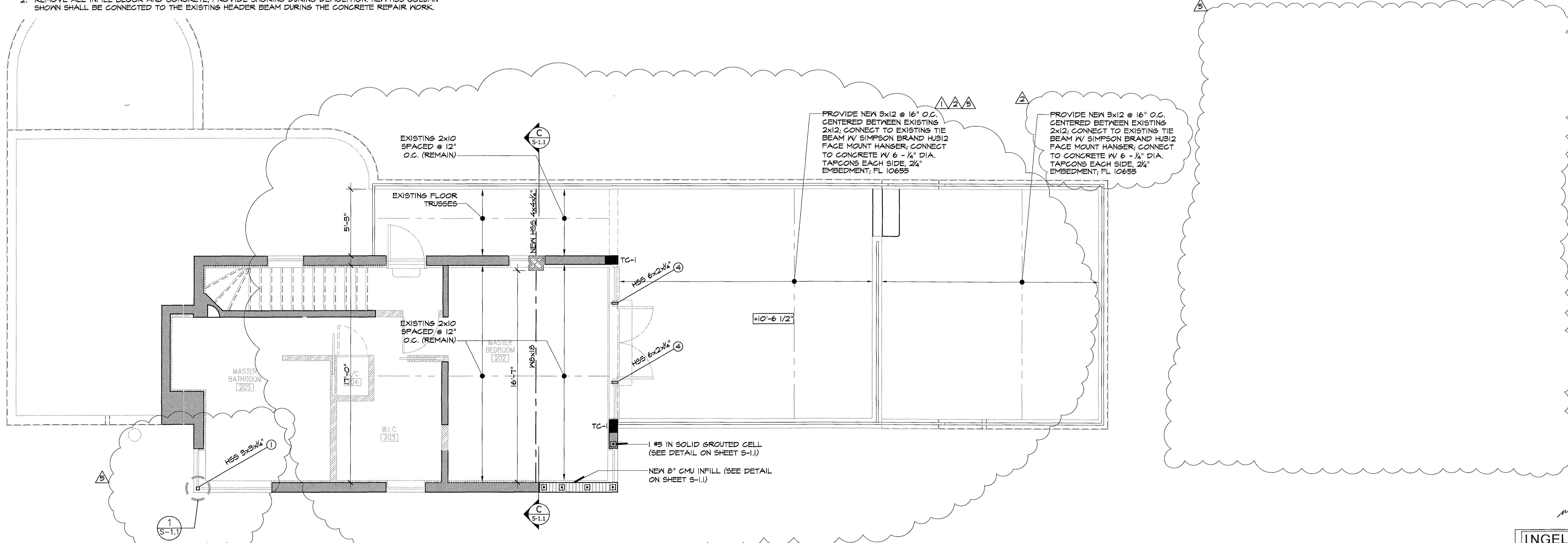


**GROUND FLOOR - FOUNDATION PLAN**

NOTE:  
 1. ALL EXISTING DAMAGED CONCRETE SHALL BE REPAIRED AS SHOWN AND DETAILED ON SHEET S-2.0.  
 2. REMOVE ALL INFILL BLOCK AND CONCRETE. PROVIDE SHORING DURING DEMOLITION. NEW HSS COLUMN SHOWN SHALL BE CONNECTED TO THE EXISTING HEADER BEAM DURING THE CONCRETE REPAIR WORK.

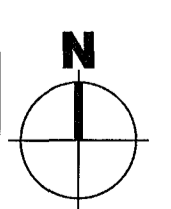


Scale: 1/4"=1'-0"



**2ND FLOOR FRAMING PLAN**

NOTE:  
 1. SEE ARCHITECTURAL PLANS FOR DEMOLITION DETAILS AND PLANS.  
 2. AFTER REMOVAL OF ALL STUCCO AND FINISHES, CONNECT STUDS TO EXISTING CONCRETE/MASONRY WITH 1/4" DIA. TAPCONS W 2" MIN. EMBEDMENT SPACED @ 12" O.C.



Scale: 1/4"=1'-0"

**REVISIONS**

1	02/21/2011	CITY COMM.
2	05/16/2011	CITY COMM.
3	07/11/2011	OWNER'S CHANGE.

**INGELMO ASSOCIATES P.A.**  
 250 CATALONIA AVENUE, SUITE 201  
 CORAL GABLES, FLORIDA, 33134  
 PH: 305-451-6200  
 FX: 305-451-6010

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**MOSSCROP ASSOCIATES**  
 ARCHITECTURE + INTERIORS

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 TEL: 305-534-9927 FAX: 305-534-9979 EMAIL: ILLUA@BELLSOUTH.NET  
 CHRS. OF ARTS, ARCHITECT & INTERIORS

REVISIONS

DATE: \_\_\_\_\_

DESCRIPTION: \_\_\_\_\_

PROJECT NAME & ADDRESS:  
**3193 ROYAL PALM AVENUE**  
 MIAMI BEACH, FL 33140

SHEET TITLE:  
**GROUND FLOOR FRAMING PLAN**

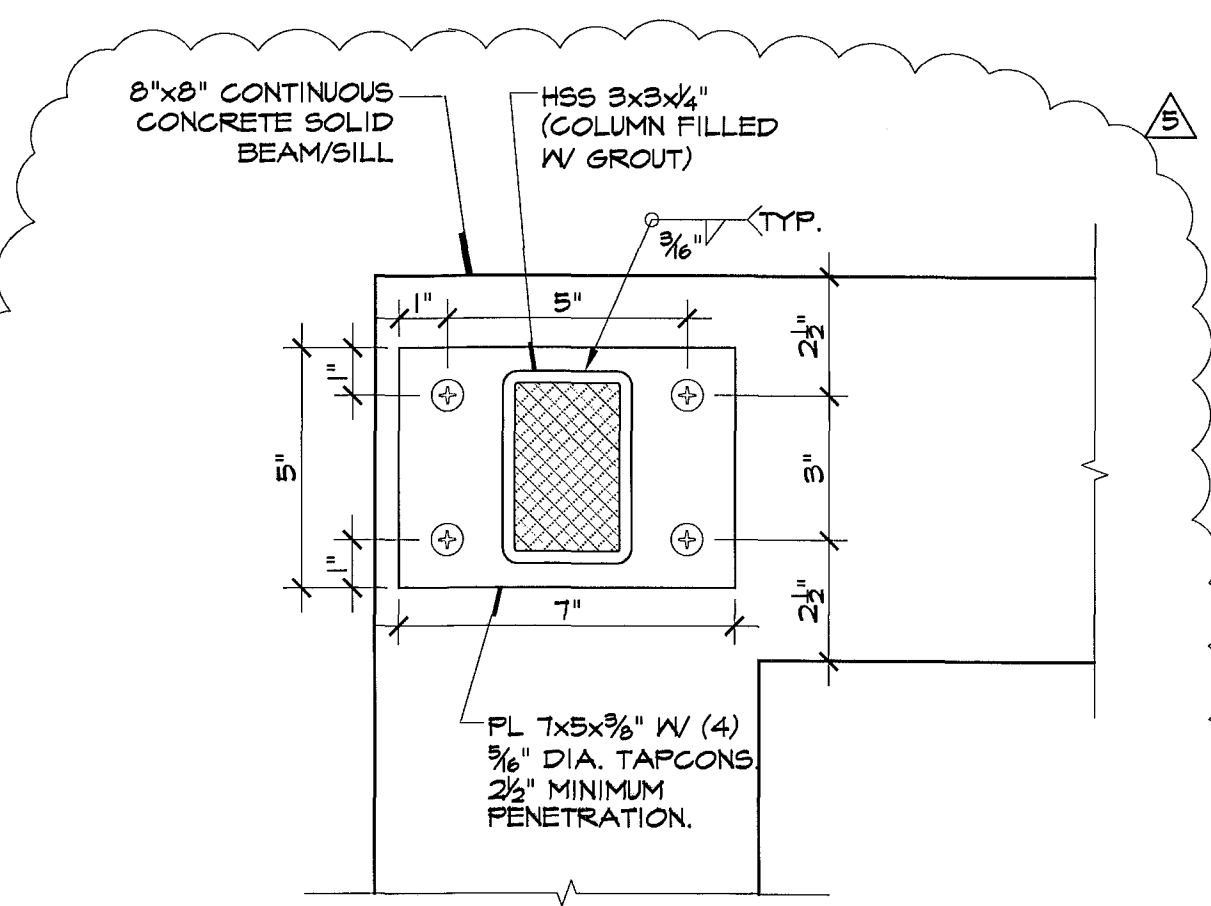
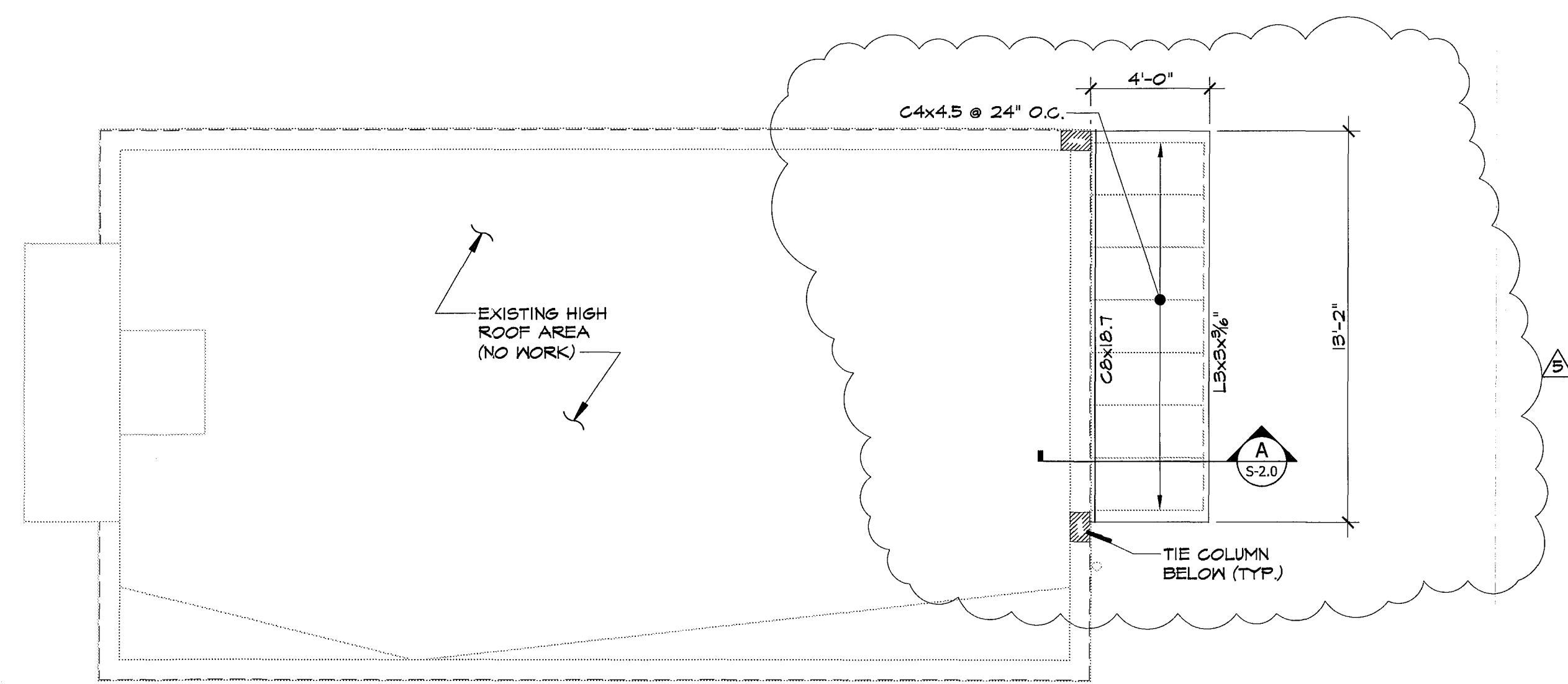
SHEET NO.:  
**S-1.0**

SCALE: AS NOTED

DATE: 05-28-10

ISSUE: \_\_\_\_\_

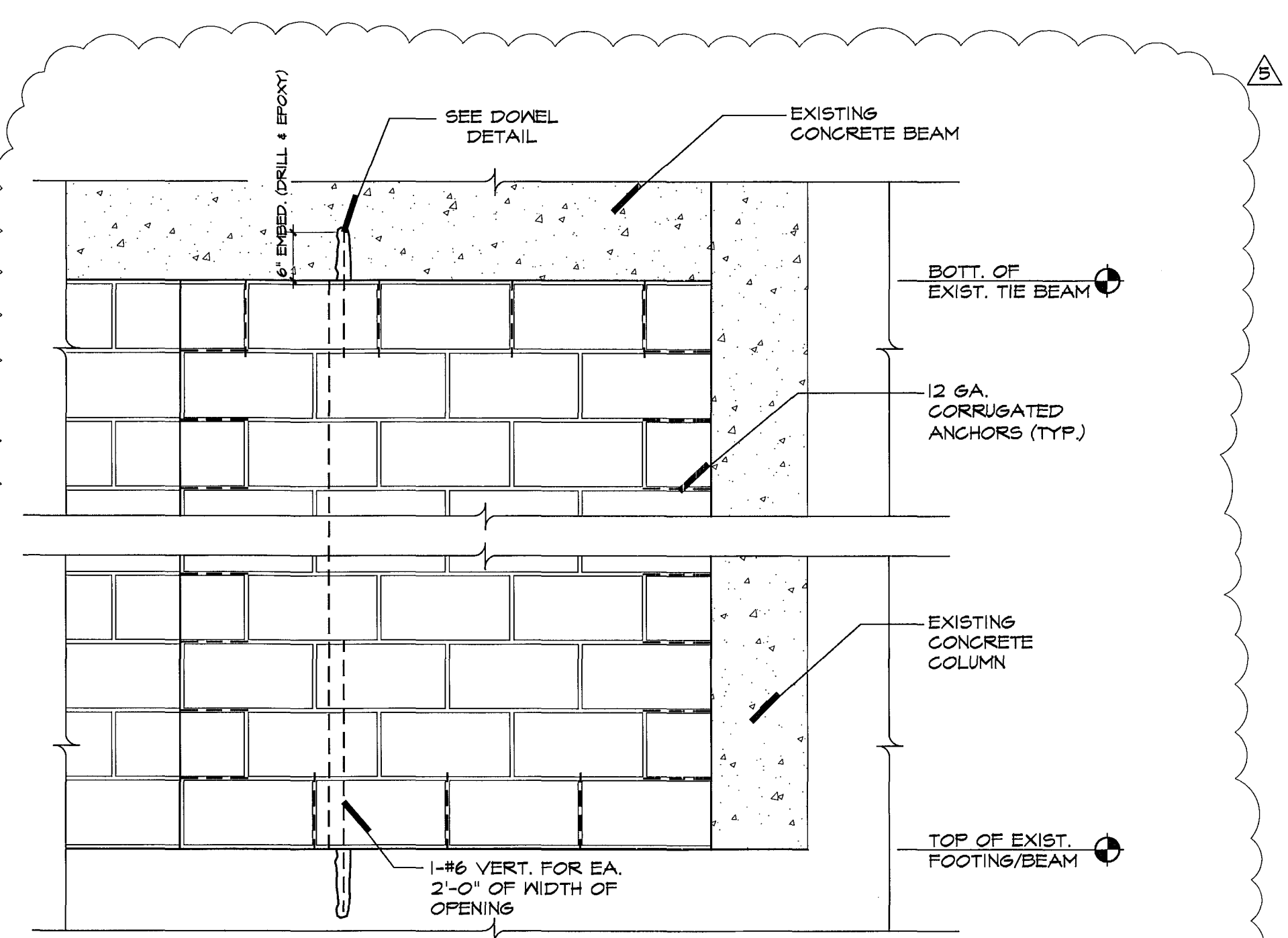
JOB NO.: 3193-01



2 CONNECTION AT CONCRETE BEAM AND SILL

2 S-1.1 DETAIL

NOTES:  
1. DETAIL APPLIES AT CORNER ONLY IF THERE IS A CORNER CONCRETE TIE COLUMN BOTH ABOVE AND BELOW THE WINDOW OPENING. CAST A NEW CORNER CONCRETE COLUMN IF REQUIRED AT THIS LOCATION.



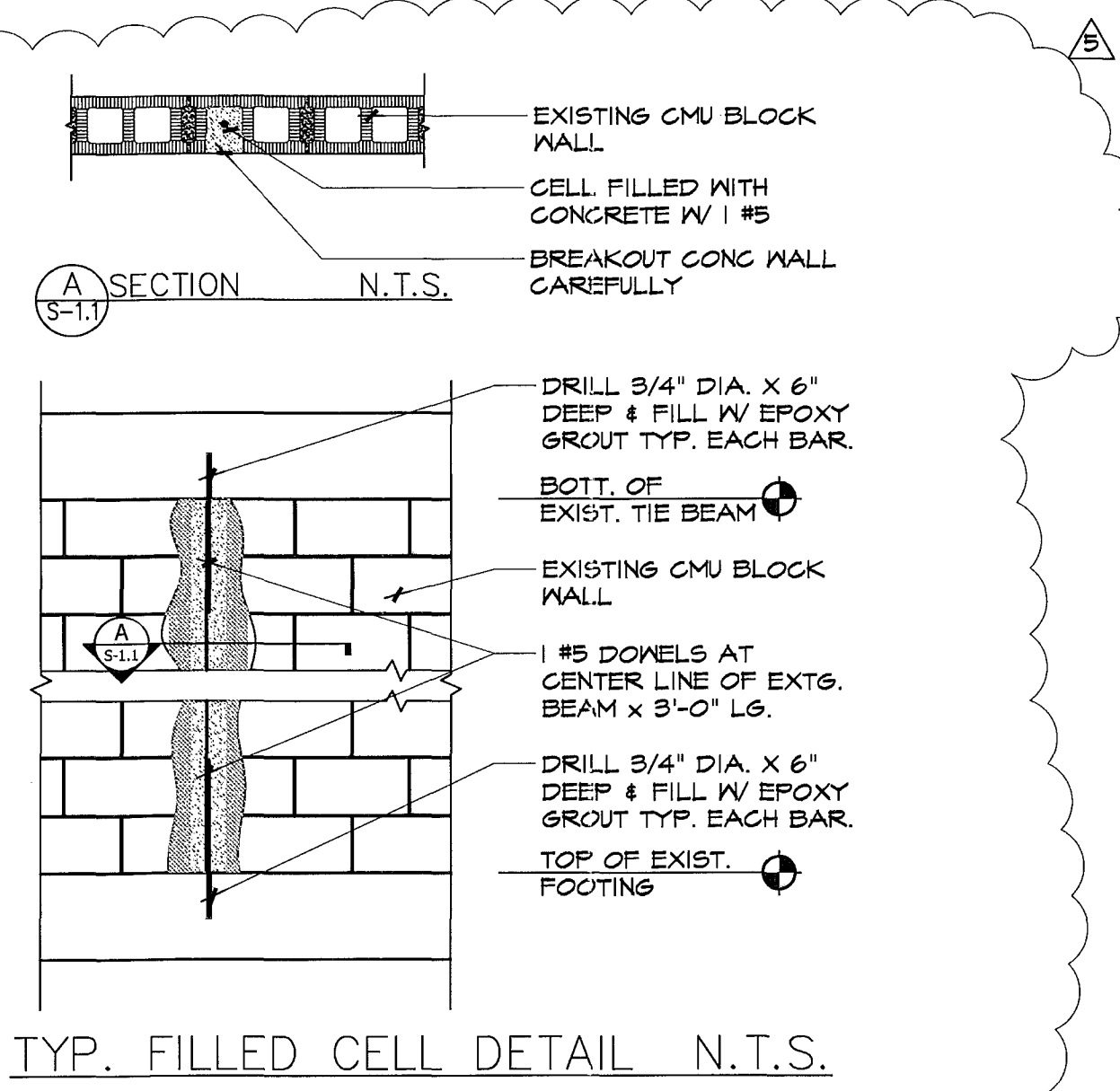
TYP. MASONRY WALL INFILL ELEVATION 3/4"=1'-0"

NOTES:  
1- FILL ONE CELL AT EACH SIDE OF OPENING WITH 1#5 VERTICAL BAR AT EACH FILLED CELL.  
2- CONNECT A 12 GA. CORRUGATED WALL ANCHOR TO EXISTING WALL FOR EACH MORTAR JOINT. USE HECKMAN B40-A ANCHORS, 1 1/4" WIDE x 3 1/2" LONG WITH A 3/16" DIA. TAPCON FASTENED TO EXISTING MASONRY OR CONCRETE.  
3- PLACE 1 GA HORIZONTAL LADDER REINF. IN EACH NEW HORIZONTAL MASONRY JOINT LAPPING 3" MIN. W/ANCHORS.  
4- FOR WIDTHS GREATER THAN 4'-0" AND LESS THAN 8'-0" ADD #5 VERTS @ 4'-0" O.C. MAX.  
5- IF JAMB CONSISTS OF A CONCRETE COLUMN, CONNECT CORRUGATED ANCHOR DIRECTLY TO COLUMN.



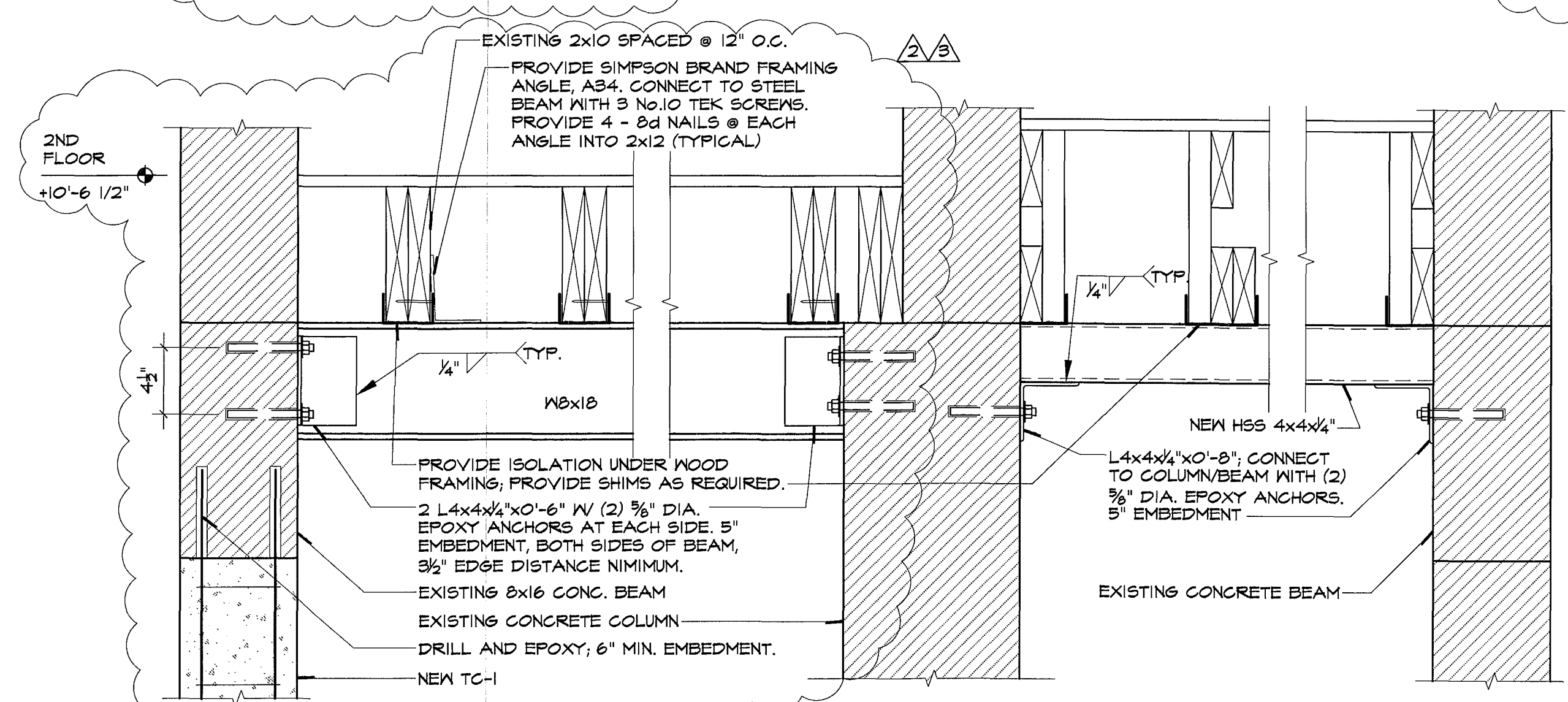
HIGH ROOF FRAMING PLAN

Scale: 1/4"=1'-0"



1 TYPICAL COLUMN DETAIL

Scale: 1/2"=1'-0"



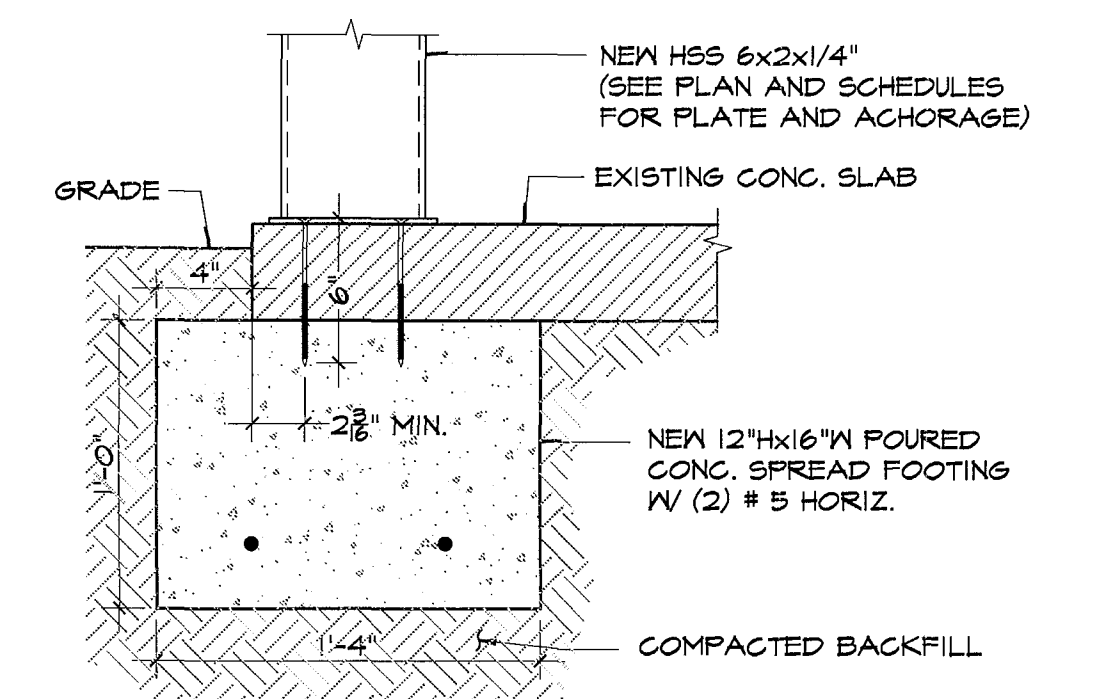
C SECTION

S-1.1

Scale: 1 1/2"=1'-0"

STEEL COLUMN SCHEDULE				
MARK	SIZE	BASE PLATE / ANCHORS	CAP PLATE / ANCHORS	REMARKS
1	HSS 3x3x1/4"	7x5x3/8" (4) 3/8" DIA. TAPCONS	7x5x3/8" (4) 3/8" DIA. TAPCONS	
2	HSS 4x2x1/4"	6x4x1/4" (4) 3/8" DIA. TAPCONS	6x4x1/4" (4) 3/8" DIA. TAPCONS	
3	HSS 6x2x1/4"	7x4x1/4" (4) 3/8" DIA. TAPCONS	7x4x1/4" (4) 3/8" DIA. TAPCONS	

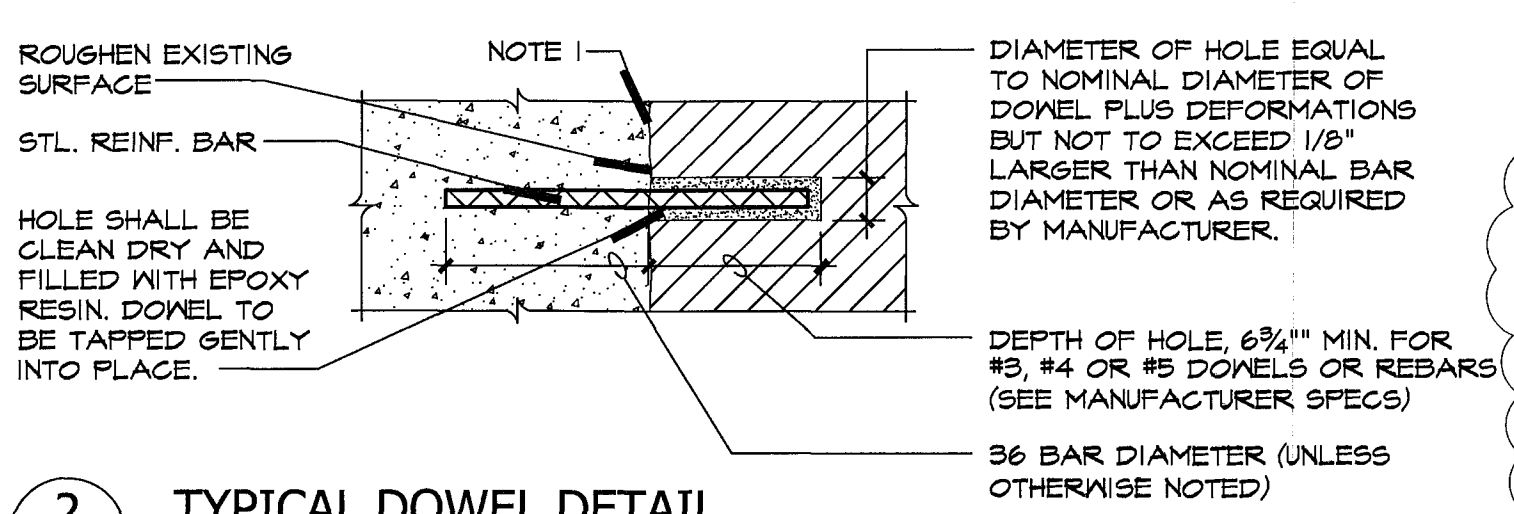
NOTE: 1. ALL TAPCONS SHALL BE 3/8" DIA. WITH A 2 1/2" MIN. EMBEDMENT.



B SECTION

S-1.1

Scale: 1 1/2"=1'-0"



2 TYPICAL DOWEL DETAIL

S-1.1

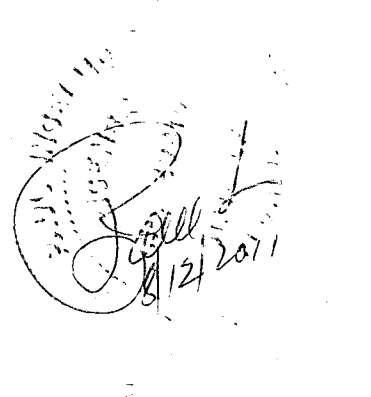
Scale: 1/2"=1'-0"

NOTES:  
1. EXISTING CONCRETE TO BE CLEANED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS BEFORE APPLYING EPOXY BONDING COMPOUND. USE 'DURAWELD' BRAND OR ACCEPTABLE EQUIVALENT.  
2. AT CONTRACTOR'S OPTION USE ITW-RAMSET/REDHEAD 'EPICON ACRYLIC T' ANCHORING ADHESIVE MIAMI DADE COUNTY N.O.A. # 06-0425.02, OR ALLIED FASTENER & TOOL INC. 'ALLIED + ADHESIVE' ANCHORING SYSTEM MIAMI DADE N.O.A. No. 05-0317.02 OR HILTI 'HIT HYBRO' ANCHORING ADHESIVES, MIAMI DADE N.O.A. No. 01-1127.06.

REV.	DATE	DESCRIPTION

**MOSSCROP ASSOCIATES**  
ARCHITECTURE + INTERIORS

6670 LINCOLN ROAD, SUITE 325, MIAMI BEACH, FL 33139  
TEL: (305) 534-9779 F: (305) 534-9927 EMAIL: ILLIAG@BELLSOUTH.NET  
CERT. OF AUTH. ARCH000007 & ARCH000008



PAUL INGELMO, PROFESSIONAL ENGINEER  
FL REG. NO. 122810 - C.A. No. 28984

PROJECT NAME & ADDRESS:  
**3193 ROYAL PALM AVENUE**

3193 ROYAL PALM AVE.  
MIAMI BEACH, FL 33140

SHEET TITLE:  
**GROUND FLOOR FRAMING PLAN**

SHEET NO.:  
**S-1.1**

SCALE: AS NOTED

DATE: 05-28-10

ISSUE:

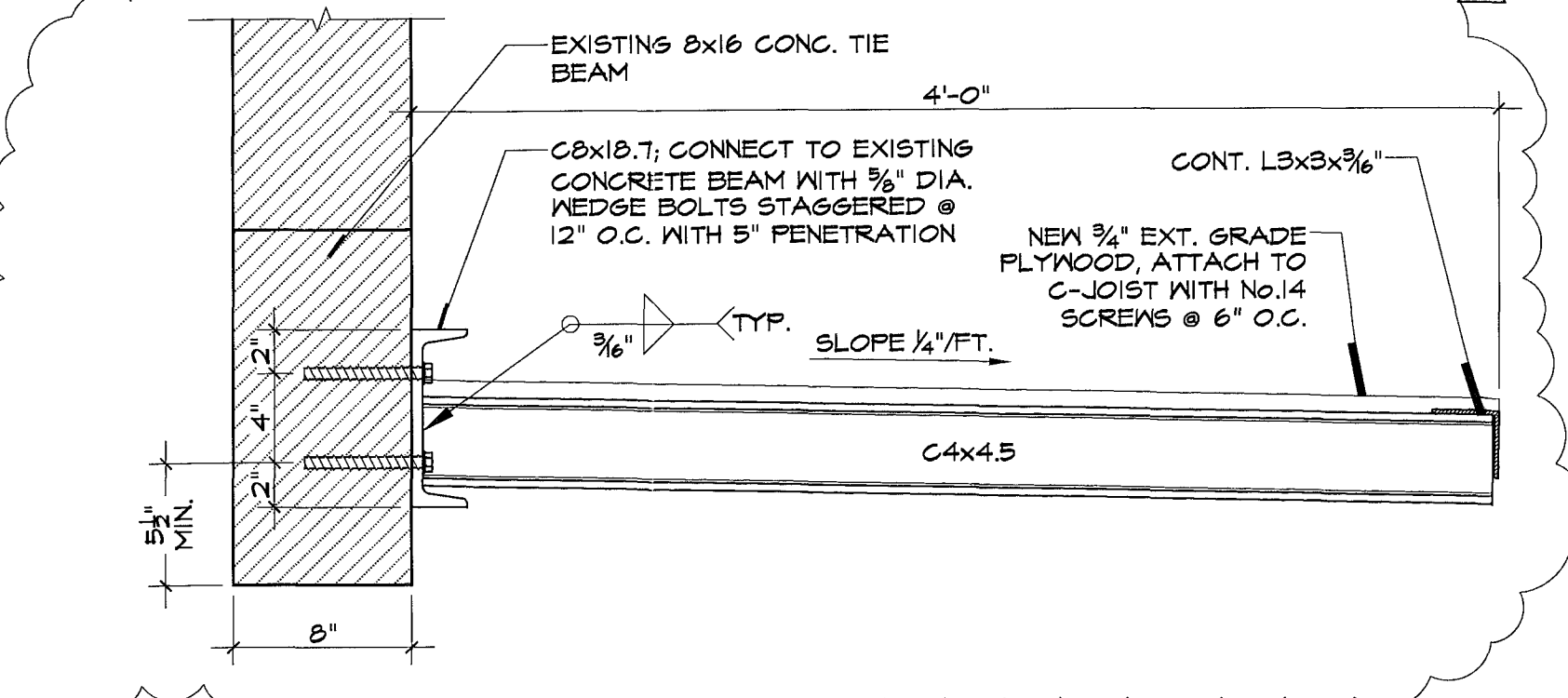
JOB NO.: 3193-01

**INGELMO ASSOCIATES P.A.**  
233 CATALINA AVENUE, SUITE 301  
CORAL GABLES, FLORIDA 33134  
PH: 305 451 8200  
FX: 305 451 8215

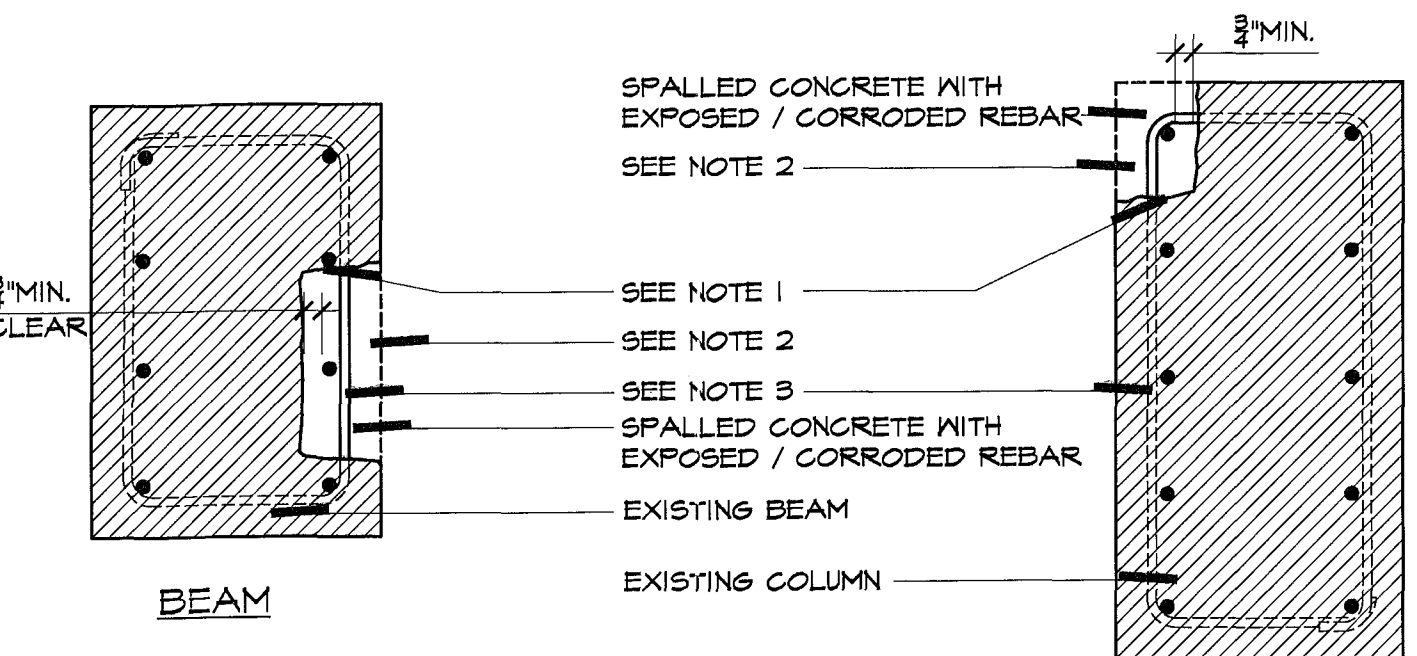
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REVISIONS

1	02/21/2011	CITY COMM.
2	05/16/2011	CITY COMM.
3	06/06/2011	CITY COMM.
4	07/11/2011	OWNER'S CHANGE.



**A SECTION**  
S-2.0  
NOTE:  
1. SEE ARCHITECTURAL PLAN FOR ALL DIMENSIONS AND ELEVATIONS  
Scale: 1 1/2" = 1'-0"



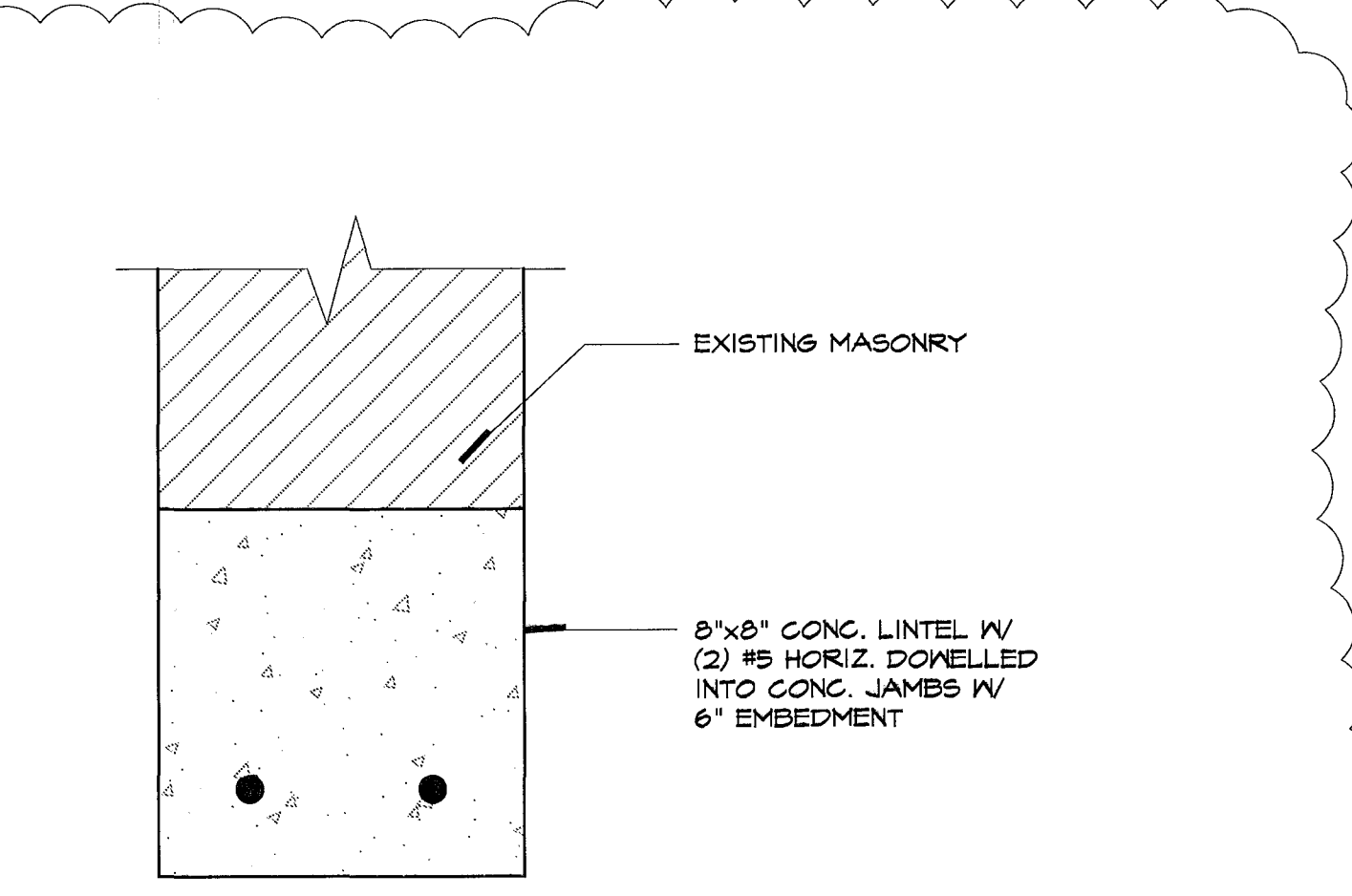
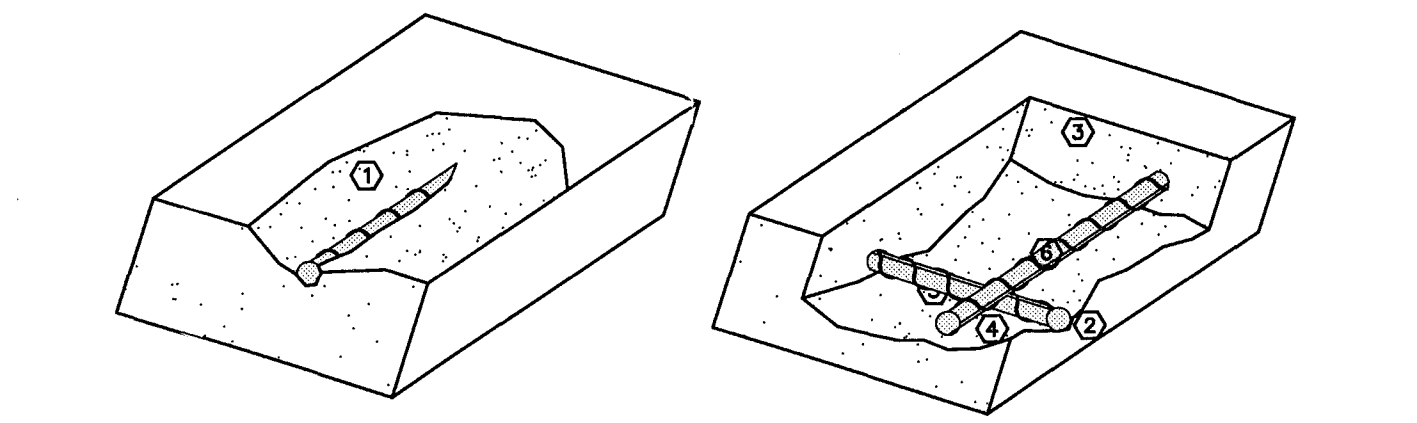
**1 DETAIL: TYP. BEAM/COLUMN SECTION**  
S-2.0  
Scale: N.T.S.

**EXPOSING AND UNDERCUTTING OF REINFORCING STEEL**

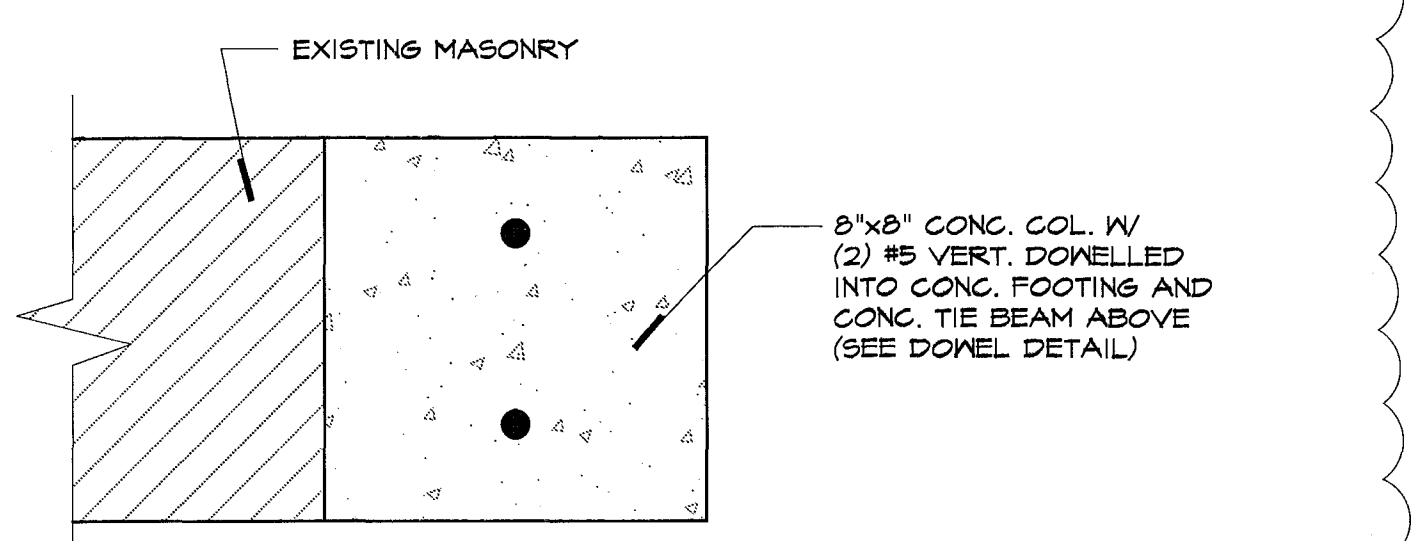
THESE DETAILS ARE APPLICABLE TO HORIZONTAL, VERTICAL AND OVERHEAD LOCATIONS. THEY ARE ALSO APPLICABLE TO REMOVAL BY HYDRO-DEMOLITION, HYDRO-MILLING AND ELECTRIC, PNEUMATIC OR HYDRAULIC IMPACT BREAKERS.

- REMOVE LOOSE OR DELAMINATED CONCRETE ABOVE CORRODED REINFORCING STEEL.
- ONCE INITIALS REMOVALS ARE MADE, PROCEED WITH THE UNDERCUTTING OF ALL EXPOSED CORRODED BARS. UNDERCUTTING WILL PROVIDE CLEARANCE FOR UNDER BAR CLEARING AND FULL BAR CIRCUMFERENCE BONDING TO SURROUNDING CONCRETE, AND WILL SECURE THE REPAIR STRUCTURALLY. PROVIDE MINIMUM 3/4" CLEARANCE BETWEEN EXPOSED REBARS AND SURROUNDING CONCRETE OR 1/4" LARGER THAN LARGEST AGGREGATE IN REPAIR MATERIAL, WHICHEVER IS GREATER.
- CONCRETE REMOVALS SHALL EXTEND ALONG THE BARS TO LOCATIONS ALONG THE BAR FREE OF BOND INHIBITING CORROSION, AND WHERE THE BAR IS WELL BONDED TO SURROUNDING CONCRETE.
- IF NON CORRODED REINFORCING STEEL IS EXPOSED DURING THE UNDERCUTTING PROCESS, CARE SHALL BE TAKEN NOT TO DAMAGE THE BAR'S BOND TO SURROUNDING CONCRETE. IF BOND BETWEEN BAR AND CONCRETE IS BROKEN, UNDERCUTTING OF THE BAR SHALL BE REQUIRED.
- ANY REINFORCEMENT WHICH IS LOOSE SHALL BE SECURED IN PLACE BY TYING TO OTHER SECURED BARS OR BY OTHER APPROVED METHODS.
- ALL HEAVY CORROSION AND SCALE SHOULD BE REMOVED FROM THE BAR AS NECESSARY TO PROMOTE MAXIMUM BOND OF REPLACEMENT MATERIAL. OIL FREE ABRASIVE BLAST IS THE PREFERRED METHOD. A TIGHTLY BONDED LIGHT MUST BUILDUP ON THE SURFACE IS USUALLY NOT DETRIMENTAL TO BOND, UNLESS A PROTECTIVE COATING IS BEING APPLIED TO THE BAR SURFACE, IN WHICH CASE THE COATING MANUFACTURER'S RECOMMENDATIONS FOR SURFACE PREPARATION SHOULD BE FOLLOWED.

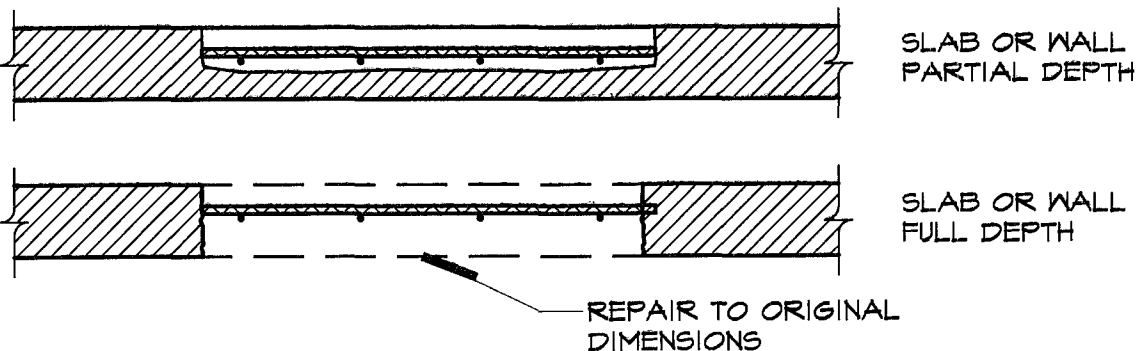
**CAUTION:** BEFORE STARTING REMOVALS, REVIEW EFFECT OF REMOVALS ON STRUCTURAL INTEGRITY. PROVIDE SHORING OF MEMBER AS NECESSARY. PARTICULAR CARE SHALL BE EXERCISED AT SLAB/BAM AND SLAB/JOIST CONNECTIONS TO COLUMNS.



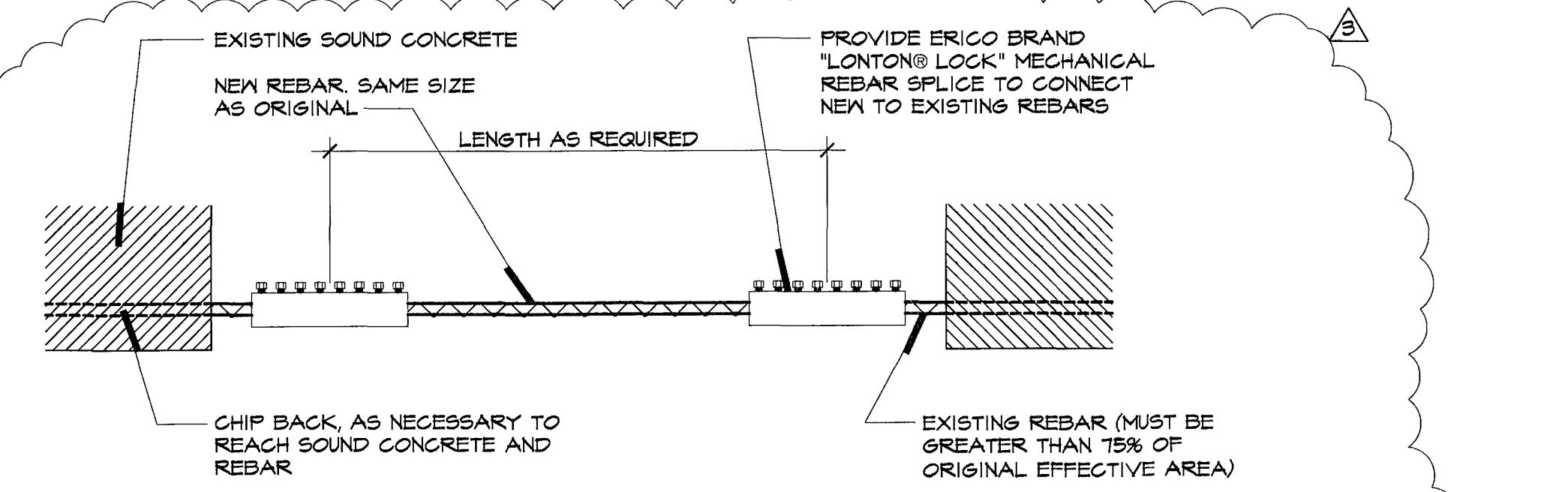
**2 LINTEL DETAIL AT NEW DOOR OPENING**  
S-2.0  
Scale: 3" = 1'-0"



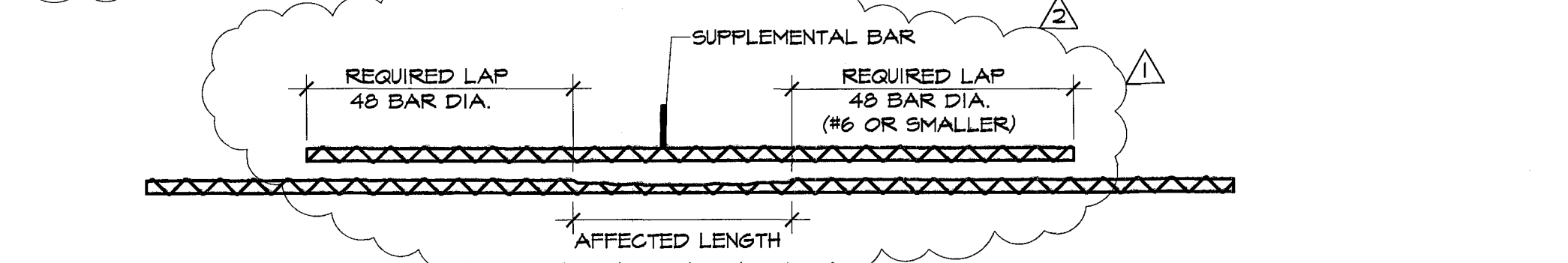
**1 JAMB DETAIL AT NEW DOOR OPENING**  
S-2.0  
Scale: 3" = 1'-0"



**2 DETAIL: CONCRETE REPAIR**  
S-2.0  
Scale: N.T.S.



**3 DETAIL: MECHANICAL REINFORCING STEEL SPLICE**  
S-2.0  
Scale: N.T.S.



**4 DETAIL: REPAIR OF REINF. STEEL DUE TO LOSS OF SECTION**  
S-2.0  
Scale: N.T.S.

NOTE:  
IF REINFORCING STEEL HAS LOST SIGNIFICANT CROSS SECTION, THE STRUCTURAL ENGINEER SHOULD BE CONSULTED. IF REPAIRS ARE REQUIRED TO THE REINFORCING STEEL, ONE OF THE FOLLOWING REPAIR METHODS SHOULD BE USED:  
- COMPLETE BAR REPLACEMENT.  
- ADDITION OF SUPPLEMENTAL BAR OVER AFFECTED SECTION.  
NEW BARS MAY BE MECHANICALLY SPLICED TO OLD BARS OR PLACED PARALLEL TO AND APPROXIMATELY 3/4" FROM EXISTING BARS. LAP LENGTHS SHALL BE DETERMINED IN ACCORDANCE WITH ACI 318; ALSO REFER TO CRSI AND AASHTO MANUAL.

**GENERAL NOTES:**

- All Construction shall be in accordance with the Florida Building Code 2007 or Latest Edition. All wind loadings are in accordance to ASCE 7-05.
- To the best of our knowledge, the Structural Drawings and Specifications comply with the applicable requirements of the governing Building Code.
- The structural documents are to be used in conjunction with the Architectural documents.
- Details labeled "typical" apply to all situations that are the same or similar to those specifically referenced, whether or not they are keyed in at each location. All sections and details shall be construed to be typical or similar unless another section or detail is noted. Questions regarding the applicability of typical details shall be resolved by the Architect.
- Openings shown on the Structural Drawings are only pictorial. See the Architectural and MEP drawings for the size and location of openings in the structure.
- Contractors who discover discrepancies, omissions or variations in the Contract Documents during bidding shall immediately notify the Architect. The Architect will resolve the condition and issue written instructions.
- The General Contractor shall review and determine that dimensions are coordinated between architectural and structural drawings prior to fabrication or start of construction.
- The structure is designed to be structurally sound when completed. Prior to completion, the Contractor is responsible for stability and temporary bracing, including, but not limited to masonry walls. Whenever the Contractor is unsure of these requirements, the Contractor shall retain a Florida Licensed Engineer to design and inspect the temporary bracing and stability of the structure.
- No structural member shall be cut, notched or otherwise reduced in strength.

**FOUNDATION:**

- Contractor shall determine if any unsuitable conditions are discovered during excavation which would prevent attainment of the foundation recommendations outlined in the soils report.
- All elevations noted are relative to existing, unless otherwise noted.
- Any new areas of Ground floor slab is to bear on compacted backfill. Provide .010" (10 millimeter minimum) thick polyethylene film sheeting under all interior slab, tape joints.
- Floor slabs shall be troweled to a hard, smooth finish. The final trowel pass shall be done by machine, not by hand. Within 30 minutes of the final trowel pass, the floor shall be cured with Euclid's Super Rez-Seal or approved equal. Coordinate the curing with the proposed finishes as per the Architectural Drawings.

**EARTHWORK:**

- The contractor is solely responsible for all excavation procedures including lagging, shoring and protection of adjacent property, structures, streets and utilities in accordance with the requirements of the local building department and OSHA regulations. Do not excavate within one foot of the angle of repose of any soil bearing foundation unless the foundation is properly protected against settlement.
- SOIL STATEMENT:**  
As per visual inspection, soil conditions at this site are sand and limelock with a minimum bearing capacity of 2,000 psf. Should other conditions or materials be encountered, the engineer shall be notified prior to proceeding with the work.

**REINFORCED CONCRETE**

- All rebars, including footings and dowels must be secured in the proper position by a positive means. Except where dimensions otherwise, all hooks on rebars shall be standard ACI-318 hooks. Rebar accessories to have upturned legs plastic dipped after fabrication.
- Reinforcing steel, new ASTM A-615, Grade 60. Fabricate and detail in accordance with ACI-315. Splices in rebars shall be a minimum of 36 bar diameters except where indicated otherwise. Concrete cover over the rebars shall be as detailed in the drawings. If not detailed on drawings, use the following: 3" for bottom and ends of footings; 1" at the sides for ties or stirrups on columns and beams (2" over main reinforcement); 2" formed concrete in contact with the ground; 1" for interior slab reinforcement; 2" for exterior slab reinforcement.
- All concrete shall be normal weight concrete with a 28 day compressive strength as shown below (see specification details).

USAGE	STRENGTH (PSI)	Slump: 4" ± 1"
CLASS A	3000 5000	Max W/C=0.45

All concrete construction shall comply with ACI 318, American Concrete Institute "Building code requirements for structural concrete and commentary" and with ACI 530. Location of construction joints not shown on drawings shall be approved by the engineer. All construction joints for beams and slabs shall be keyed.

- Comply with ACI 301 and 318 and Specification Section as applicable.
- Provide construction joints in accordance with ACI 318, Section 6.4. Provide keyways and adequate dowels. Submit drawings showing location of construction joints and direction of pour for review.
- Provide 3/8" chamfer for all exposed concrete.

**CONCRETE MASONRY:**

- Masonry units shall adhere to the requirements of ASTM C90, Type II, Grade N-1.
- All masonry walls are load bearing walls unless otherwise noted and shall be in place prior to forming and placing concrete in columns and in beams. All walls shown on structural drawings are 8" CMU unless otherwise noted on plan. All splices shall be a minimum of 48 bar diameter.
- Horizontal joint reinforcing in masonry shall be #9 gauge. Spaced at 16" O.C.; ladder type joint reinforcing at filled cell locations and truss type in general; place in first course and every other course thereafter. Lap continuous ends 6 inches. Use prefabricated corners and tees. Extend joint reinforcing a minimum of 6 inches into tie columns.
- Use 50% solid, nominal 8x8x16 concrete masonry units conforming to ASTM C90. Block net area compressive strength shall be 1900 psi except where noted otherwise. Lay up units in running bond. Design of walls is based on a F'm = 1,500psi.
- Use Type S mortar in accordance with ASTM C270 as indicated except use Type M mortar below grade. Head and bed joints shall be 3/8" for the thickness of the face shell. Webs are to be fully mortared in all courses of piers, columns and pilasters, in the starting course and where an adjacent cell is to be grouted.
- Use fine grout conforming to ASTM C-476, with a minimum compressive strength of 2500 psi in 28 days. Aggregate to conform to ASTM C404 for fine grout, with slump of 8 inches. Grout all masonry containing reinforcing, all cells of 4 hour rated walls and where indicated on the drawings. Allow mortar to cure 24 hours prior to grouting. Provide cleanout openings at the base of cell containing reinforcing steel to clean the cell and to tie the vertical bar to the dowel.
- Use ASTM A-615 Grade 60 reinforcing steel. Reinforce wall where indicated on plans and at all intersections, each side of openings and at the ends of walls.
- Where anchor bolts, wedge anchors or anchors set in epoxy are set in a masonry wall, fill cells with grout for bolted course, one course above and two coursed below.

**EXPANSION ANCHORS:**

- Use wedge-type expansion anchors such as the Hilti Kwik Bolt II, ITW Rammed Red Head Trubolt Wedge, Powers Rawl Power-Stud, or accepted equivalent. Follow manufacturer's specifications for use and installation.
- Confirm the absence of reinforcing steel by drilling a 1/4" diameter pilot hole for each anchor. Do not cut reinforcing steel without approval of the Structural Engineer.
- Provide anchor embedment, spacing and edge distance as shown on the Drawings.

**CHEMICAL ADHESIVE FOR ANCHORING REINFORCING BARS, THREADED BARS AND ANCHOR BOLTS:**

- Use an epoxy, acrylic or polyester resin adhesive system such as the Powers Rawl Power-Fast System, Hilti Hilti HY 150, ITW Rammed/Red Head Epon A7 or C6 Injection System, Allied Fastener Allied gold A-1000, or accepted equivalent. Follow manufacturer's specification for use and installation.
- Confirm the absence of reinforcing steel by drilling a 1/4" pilot hole for each anchor. Do not cut reinforcing steel without approval of the Structural Engineer.
- Drill 1/16" larger diameter hole than anchor bolt and 1/8" larger hole than reinforcing bar. Thoroughly clean hole including removal of dust prior to filling with epoxy.
- Provide anchor embedment, spacing and edge distance as shown on the drawings.
- Threaded rods are A-36 galvanized steel, u.o.n.

**STRUCTURAL STEEL:**

- Fabricate and erect structural steel and conformance with AISC "specifications for the design, fabrication and erection of structural steel for buildings" with commentary and all OSHA requirements
- Structural steel:
  - Steel shall conform to the following ASTM specification:
    - All stiffener, plates, channels angles, plates and bars: ASTM A36, Fy=46ksi

- All rolled shapes W and WT: ASTM A992, Grade 50.
- Miscellaneous metals:
  - Anchor bolts, bolts and expansion anchors on forming to ASTM A 307 or ASTM A325.
  - Cold formed hollow structural sections (HSS):
    - Round Sections: ASTM A500, Grade B, Fy=46ksi
    - Square and rectangular sections: ASTM A500, Grade B Fy46ksi
  - Steel Pipe: ASTM A53, Type E or S Grade B, Fy 35ksi
  - Miscellaneous shapes and plates conforming to ASTM A 36.
- Structural steel H.S. bolts conforming to ASTM A325.

**Welding:**

- All welding is to be performed by certified welders.
- Electrodes to be E-70 series, low hydrogen(stored W Hydrogen according to A.W.S. requirements)
- All field welding shall be inspected by an independent testing laboratory retained by the owner.
- All welding shall conform to the requirements of the standard code for welding building construction in accordance to the American Welding Society.

- All steel exposed to the weather shall be Hot Dipped Galvanized in accordance with ASTM A123 for members and ASTM A153 for connection elements. This includes all structural steel used to support mechanical equipment and all roof bracing and other structural members.
- Use A-307 bolts for all erection bolts and bolts less than 3/4" diameter, u.o.n. Anchor rods shall be ASTM E1554 grade 55 with supplementary requirement, S1, hooked.
- Setting base and bearing plates: clean concrete and masonry bearing surface of bond-reducing materials and clean bottom of base and bearing plate.
  - Set base or bearing plate on wedges or other adjusting devices.
  - Tighten anchor rods after structural steel frame has been plumbed. Do not remove wedges or shims but, if protruding, cut off flush with edge of base or bearing plate prior to packing with grout.
  - Pack or pour non-shrink grout solidly between bearing surface and base of bearing plate. Ensure that no voids remain. Finish exposed surfaces, protect grout and allow to cure.
  - For proprietary grout materials, comply with manufacturer's instructions.
  - Base plates must be grouted a minimum of 72 hours prior to placing concrete slabs on supporting steel structure.
- Do not splice structural steel members except where indicated on the drawings.
- See Architectural and Mechanical Drawings for miscellaneous steel not shown on the Structural Drawings.
- Refer to Architectural drawings and Project Specifications for painting and fireproofing of structural steel. Do not paint steel surfaces in contact with concrete or fireproofing.

**LIGHT GAGE STEEL METAL FRAMING**

- All metal framing shown on the plans shall be of the type, size and gage shown.
- All metal framing shall be designed in accordance with the American Iron and Steel Institute (AISI), "Specification for design of Cold Formed Steel Structural Members."
- All structural members shall be formed from corrosion resistant steel, corresponding to the requirements of ASTM A1003-00 or ASTM A653 G-60 Galvanization.
- Prior to prefabrication of framing, the Contractor shall submit fabrication and erection drawings to the architect/engineer to obtain approval. Drawing and calculations shall be signed and sealed by a Florida Registered Professional Engineer.
- Fastening of components shall be with self-drilling screws and/or by welding. Screws and welds shall be of sufficient size to ensure the strength of the connection. All welds shall be touched-up with a zinc-rich paint.
- All framing material, execution and fabrication shall adhere to the Standard Specifications of "Dietrich Metal Framing", or accepted equivalent.

**WOOD FRAMING:**

- Framing and miscellaneous lumber shall be:
  - Nominal size indicated, dresses S4S.
  - Southern pine No. 2 or better.
  - Moisture content, 19% maximum.
- Minimum extreme bending fiber stress, Fb=1200 psi, Fv=175 psi. E=1,600,000 psi
- Sheathing shall be 3/4" (min.) exterior rated plywood nailed to supporting members with engineered construction 10d ringshank nails (3" x 0.135 min. shank diameter and ring a min. of .012 dia. or larger) at 6" o.c. unless otherwise noted. Plywood shall adhere to the requirements of APA panel specifications and a span rating of 32/16. Plywood shall be placed with face grain perpendicular to supports and span over two or more supports. It shall adhere to all the requirements of Section 2322.2 of the Florida Building Code.
- Wood framing members shall be as indicated in note 1 above.
- Pressure treated lumber shall be used for members in contact with concrete, masonry or steel.

**SHORING:**

- Provide complete shoring and reshoring drawings, including temporary bracing.
- Formwork removal is the sole responsibility of the Contractor. Remove forms in such a manner as to insure job safety and to prevent damage to and creep deflection of the structure.
- Do not remove shoring until concrete strength has reached 2,800 psi.

**COORDINATION OF CONSTRUCTION PLANS:**

- Do not scale dimensions from drawings.
- The contractor shall verify that actual field measurements and conditions comply with contract documents and shall be responsible for identifying any deviations from the contract documents prior to submittal of shop drawing to the architect for review
- The contractor shall be responsible for the coordination of all dimensions and locations of all openings not shown on the contract documents which are to suit equipment furnished.
- Structural documents must be worked together with architectural, air conditioning, mechanical, plumbing and electrical documents in order to:
  - Check and coordinate all dimensions all discrepancies must be brought to the attention of the architect.
  - Locate and coordinate any depresses slabs, slopes, drains, outlet recesses, openings, bolt settings, sleeves, etc.
  - Check all plans. Thoroughly and bring any discrepancy to the attention of the architect.

**SUBMITTALS:**

- Submit Shop Drawings for reinforcing steel, concrete masonry, structural steel, and shoring.
- Submit concrete mix design.
- Submit laboratory tests for earthwork and concrete.

**GENERAL CONCRETE REPAIR PROCEDURE:**

Spalled and defective concrete - typical as indicated on plan at all beam, walls, and columns.

- Remove all loose, cracked and deteriorated concrete to sound/solid concrete. some chipping of sound concrete will be required to provide for square edges (see details in specifications).
- Clean concrete surfaces and remove all rust from reinforcing steel by sandblasting and/or heavy wire brushing.
- Coat the newly cleaned steel bars with sika Armatex 110 or accepted equivalent, in order to electrically isolate the bars from the new repair concrete material which will be used. Sika Armatex 110 is an anti-corrosion coating, 2 component, polymer modified cementitious coating formulated to inhibit the corrosion of reinforcing steel.
- Where existing reinforcing steel has been reduced to less than 75% of its original effective area, contractor is to provide new reinforcing steel by splicing same size reinforcing bar at location of defective steel. (see detail).
- Before applying the patching material, all existing concrete surfaces shall be moistened and allowed to dry until damp.
- Restore all defective concrete areas to provide a minimum cover of 1-1/2" on all new or existing reinforcing steel using the procedures as outlined in the specifications.
- After form removal and after curing, waterproof the exterior of all newly cast or patched areas.
- Contractor shall strictly follow the manufacturer's recommendations pertaining to the mixing and application of all products.
- For all concrete repair use STO brand "STO Overhead Mortar With Cl"

**REVISIONS**

NO.	DATE	DESCRIPTION
1	02/21/2011	CITY COMM.
2	05/16/2011	CITY COMM.
3	06/06/2011	CITY COMM.
4	07/11/2011	OWNER'S CHANGE.

**INGELMO ASSOCIATES, P.A.**  
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**MOSSCROP ASSOCIATES ARCHITECTURE + INTERIORS**

940 LINCOLN ROAD, SUITE 325, MIAMI BEACH, FL 33139  
TEL: (305) 534-9779 F: (305) 534-9927 EMAIL: LILU@BELLINGSOUTH.NET  
CERTS. OF ARCHT. ARCHITECT & ARCHITECTS

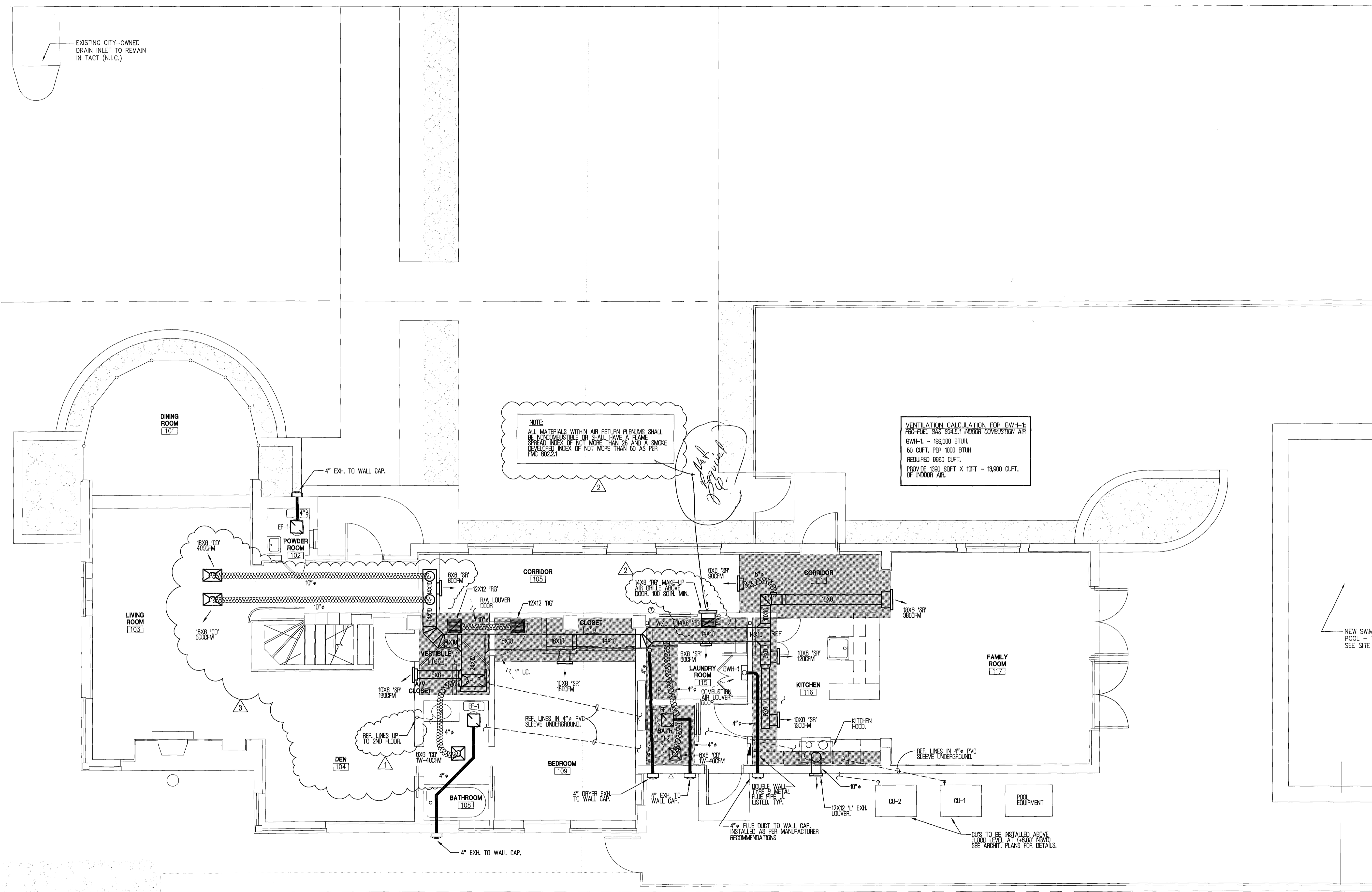
**PROJECT NAME & ADDRESS:**  
3193 ROYAL PALM AVENUE  
MIAMI BEACH, FL 33140

**SHEET TITLE:**  
GROUND FLOOR FRAMING PLAN

**SHEET NO.:**  
S-2.0

**SCALE:** AS NOTED  
**DATE:** 05-28-10  
**ISSUE:**

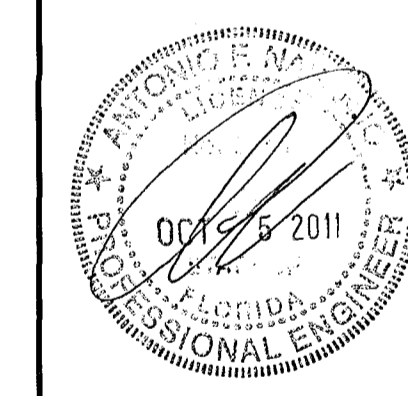
**JOB NO.:** 3193-01



REV.	DATE	DESCRIPTION
A	07/26/11	OWNER REL.
B	08/01/11	BAZ. COMM.
C	10/02/11	FIELD CHANGES

**MOSSCROP ASSOCIATES**  
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ILIJA MOSSCROP, REGISTERED ARCHITECT  
 FLORIDA LICENSE NO.: AR92744

PROJECT NAME & ADDRESS:

**3193 ROYAL PALM AVENUE**

3193 ROYAL PALM AVENUE  
 MIAMI BEACH, FL 33140

SHEET TITLE:

**1ST FLOOR MECHANICAL PLAN**

SHEET NO.:

**M-1**

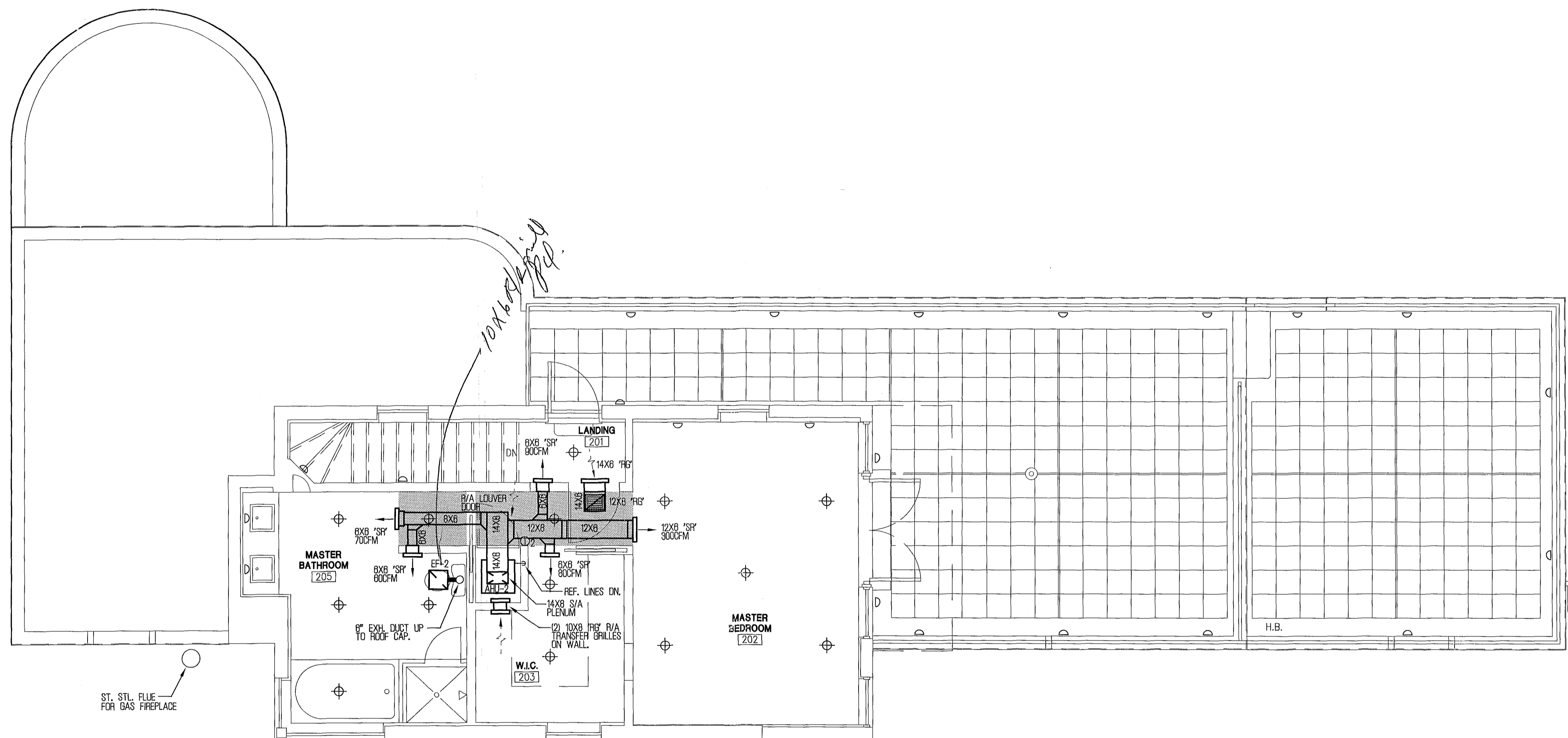
SCALE: 1/4" = 1'-0"

DATE: 05-26-10

ISSUE: DESIGN DEVELOPMENT

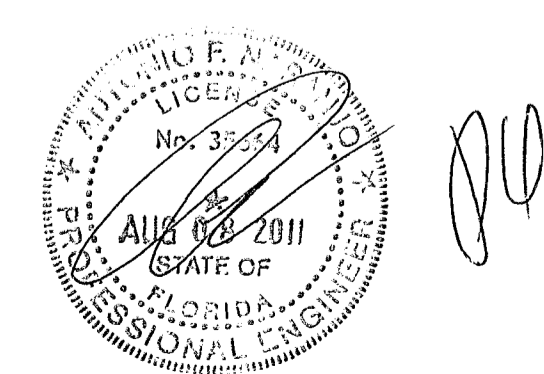
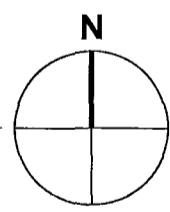
JOB NO.: 3193-01

**MEP MECHANICAL / ELECTRICAL ENGINEER ANTONIO NARANJO PE35664**  
**ELECTRICAL PLUMBING #E80006115** TEL: (305) 471-0160  
 MEP ENGINEERING INC. 10590 N.W. 27 ST. SUITE 101 MIAMI FL. 33172



**2ND FLOOR MECHANICAL PLAN**

SCALE: 1/4" = 1'-0"



REV.	DATE	DESCRIPTION
1	07/26/11	OWNER REQ.

**MOSSCROP ASSOCIATES**  
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 940 LINCOLN ROAD, SUITE 325, MIAMI BEACH, FL 33139  
 T: (305) 534-9779 F: (305) 534-9927 EMAIL: ILLJA@BELLSOUTH.NET

ILLJA MOSSCROP, REGISTERED ARCHITECT  
 FLORIDA LICENSE NO.: AR92744

PROJECT NAME & ADDRESS:

**3193 ROYAL PALM AVENUE**

3193 ROYAL PALM AVENUE  
 MIAMI BEACH, FL 33140

SHEET TITLE:

**2ND FLOOR MECHANICAL PLAN**

SHEET NO.:

**M-2**

SCALE: 1/4" = 1'-0"

DATE: 05-26-10

ISSUE: DESIGN DEVELOPMENT

JOB NO.: 3193-01

**MEP MECHANICAL / ELECTRICAL ENGINEER** ANTONIO NARANJO PE35664  
**ELECTRICAL PLUMBING (#EBO006115)** TEL.(305) 471-0160  
**MEP ENGINEERING INC.** 10590 N.W. 27 ST. SUITE 101 MIAMI FL. 33172

**HVAC NOTES:**

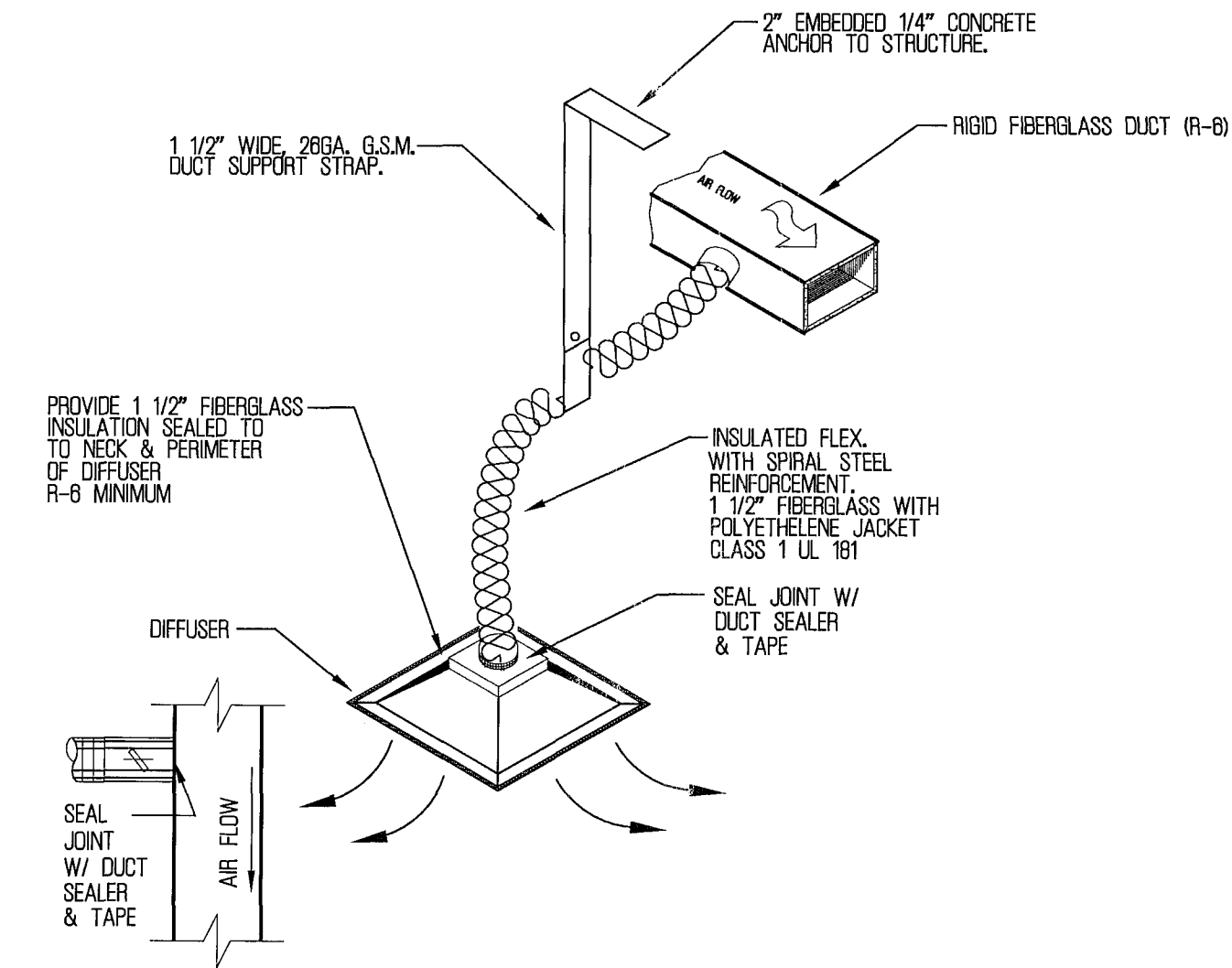
- THE ENGINEER CERTIFIES THAT TO THE BEST OF HIS KNOWLEDGE, ALL WORK DEPICTED IS IN ACCORDANCE WITH THE FLORIDA BUILDING CODE. INSTALLATION SHALL BE IN ACCORDANCE WITH STANDARDS AS SET FORTH THEREIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EQUIPMENT DESIGN REQUIREMENTS (I.E. VOLTAGE, WATER, DRAINAGE, GAS CONNECTIONS, ETC.) WHEN REQUIRED FOR THE CORRECT/APPROVED OPERATION. THE EQUIPMENT SHALL BE PROVIDED WITH ALL NECESSARY ACCESSORIES WHETHER CONSIDERED OPTIONAL OR STANDARD BY THE MANUFACTURER. EQUIPMENT SHALL NOT BE ORDERED BASE ON MANUFACTURERS' MODEL NUMBERS.
- ALL EQUIPMENT AND MATERIALS SHALL BE NEW, FREE FROM DEFECTS AND WITH MANUFACTURERS WARRANTY.
- AIR CONDITIONING DUCTWORK CONCEALED ABOVE CEILINGS SHALL BE OF 1-1/2" THICK CLASS 1, U.L. 181 LISTED FIBERGLASS DUCT BOARD.
- FLEXIBLE DUCTWORK MAY BE USED FOR BRANCHES TO DIFFUSERS AS INDICATED ON DRAWINGS. FLEXIBLE DUCTS SHALL BE U.L.181 LISTED, WITH SPIRAL STEEL INTERNAL REINFORCING, 1-1/2" FIBERGLASS INSULATION AND POLYETHYLENE JACKET FABRICATED IN ACCORDANCE WITH S.M.A.C.N.A. STANDARDS.
- PROVIDE SPIN COLLARS WITH VOLUME DAMPERS AT ALL FLEXIBLE DUCT TAPS TO RIGID DUCTS. DAMPERS TO HAVE LOCKING QUADRANTS WITH HAND LEVERS.
- PROVIDE DOUBLE THICKNESS TURNING VANES AT ELBOWS AND EXTRACTOR DAMPERS AT ALL DUCT BRANCHES AND TAKE-OFFS.
- ALL OUTSIDE AIR AND EXHAUST DUCTWORK SHALL BE OF GALVANIZED SHEET METAL FABRICATED IN ACCORDANCE WITH S.M.A.C.N.A. STANDARD FOR LOW VELOCITY DUCT MANUAL.
- ROOF EQUIPMENT SHALL BE INSTALLED WITH PREFABRICATED ROOF CURBS AND ANCHORED TO WITHSTAND HURRICANE WIND FORCES.
- PROVIDE CONCRETE PADS FOR CONDENSING UNITS 6" THICK MIN. ELEVATION TO MEET FLOOD CRITERIA. ANCHOR UNITS TO WITHSTAND FBC HURRICANE CRITERIA
- ALL HVAC SYSTEMS SHALL BE BALANCED TO DELIVER AIR QUANTITIES INDICATED ON DRAWINGS. ACCEPTABLE TOLERANCE OF PLUS OR MINUS 10%.
- DRYER EXHAUST DUCTWORK SHALL BE 26 GA. MIN. GALVANIZED S/M PIPE WITH S.M.A.C.N.A. APPROVED TAPED SNAP-LOCK JOINTS IN DIRECTION OF FLOW. NO SCREWS OR FASTENERS PENETRATING DUCTWORK WILL BE PERMITTED.

VENTILATION FAN SCHEDULE			
MARK NO.	EF-1	EF-2	
FAN TYPE	CENTRIFUGAL	CENTRIFUGAL	
DRIVE TYPE	DIRECT	DIRECT	
AIR FLOW (CFM)	60	70	
STATIC PRESSURE(IN.W.G.)	0.260	0.260	
FAN SPEED (RPM)	1100	1100	
MOTOR HP.	1/3 W	2/3 W	
ELECTRIC SERVICE	120/1/80	120/1/80	
DESIGN MFG.	PANASONIC	PANASONIC	
MODEL NO.	FV-06VQ2	FV-11V1	
ACCESSORIES	①	①	

① PROVIDE BACKRAFT DAMPER, SPEED CONTROL SWITCH.

HVAC DESIGN REQUIRES:	YES	NO
DUCT SMOKE DETECTOR		✓
FIRE DAMPER(S)		✓
SMOKE DAMPER(S)		✓
FIRE RATED ENCLOSURE		✓
FIRE RATED ROOF/FLOOR CEILING ASSEMBLY		✓
FIRE STOPPING		✓
SMOKE CONTROL		✓

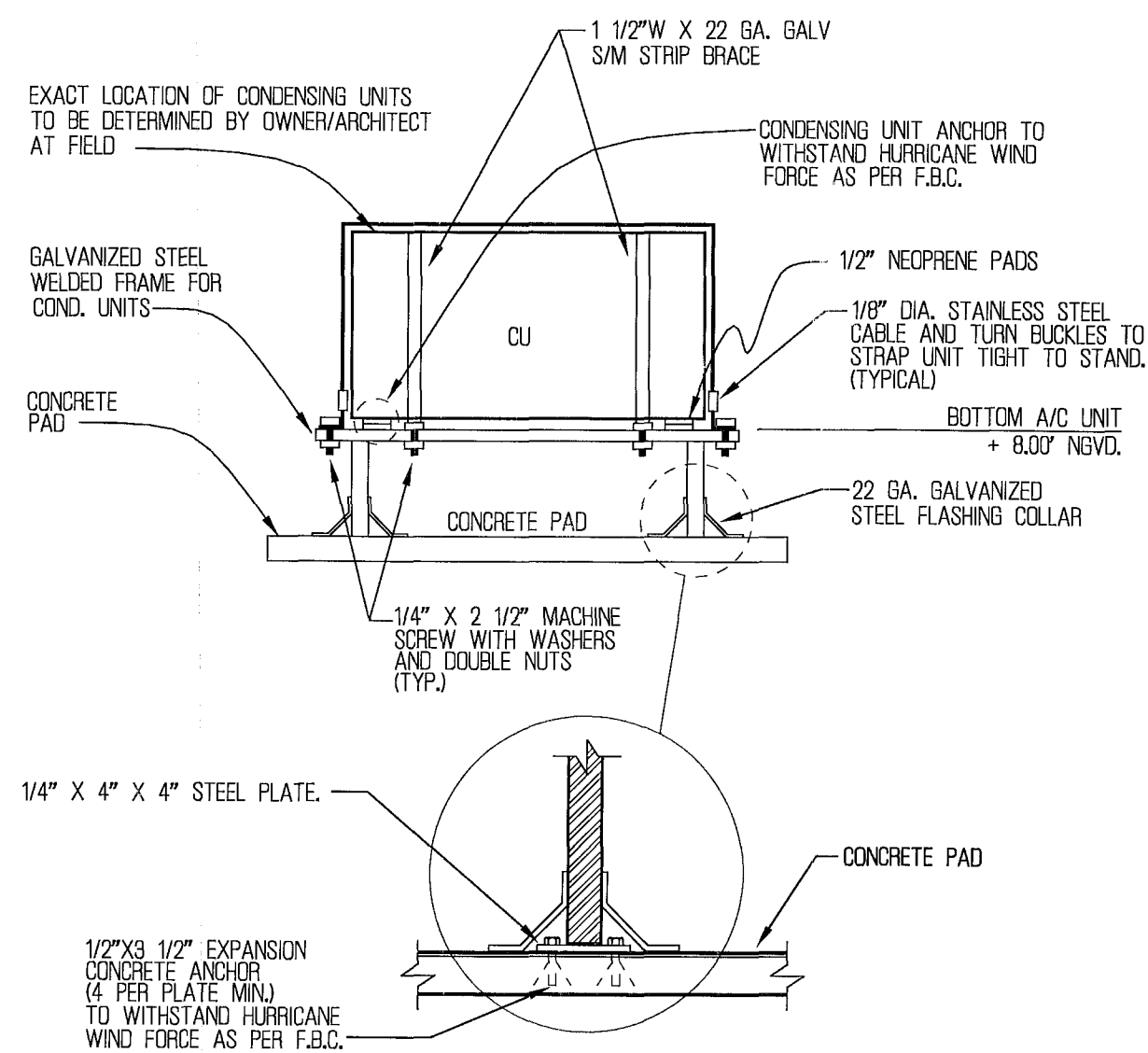
AIR DISTRIBUTION SCHEDULE				
SYMBOL	"CD"	"SP"	"RF"	"L"
DESCRIPTION	CLG DIFFUSER	SIDEWALL DIFF.	GRILLE	LOUVER
APPLICATION	SUPPLY	SUPPLY	RETURN	EXHAUST
DESIGN MFG.	PRICE	PRICE	PRICE	PRICE
MODEL NO.	CVD SERIES	800 SERIES	800 SERIES	ELFB76DXD
ACCESSORIES	O.B.D.	---	---	DRAIN BLADES
NOTES	---	---	---	BIRD SCREEN



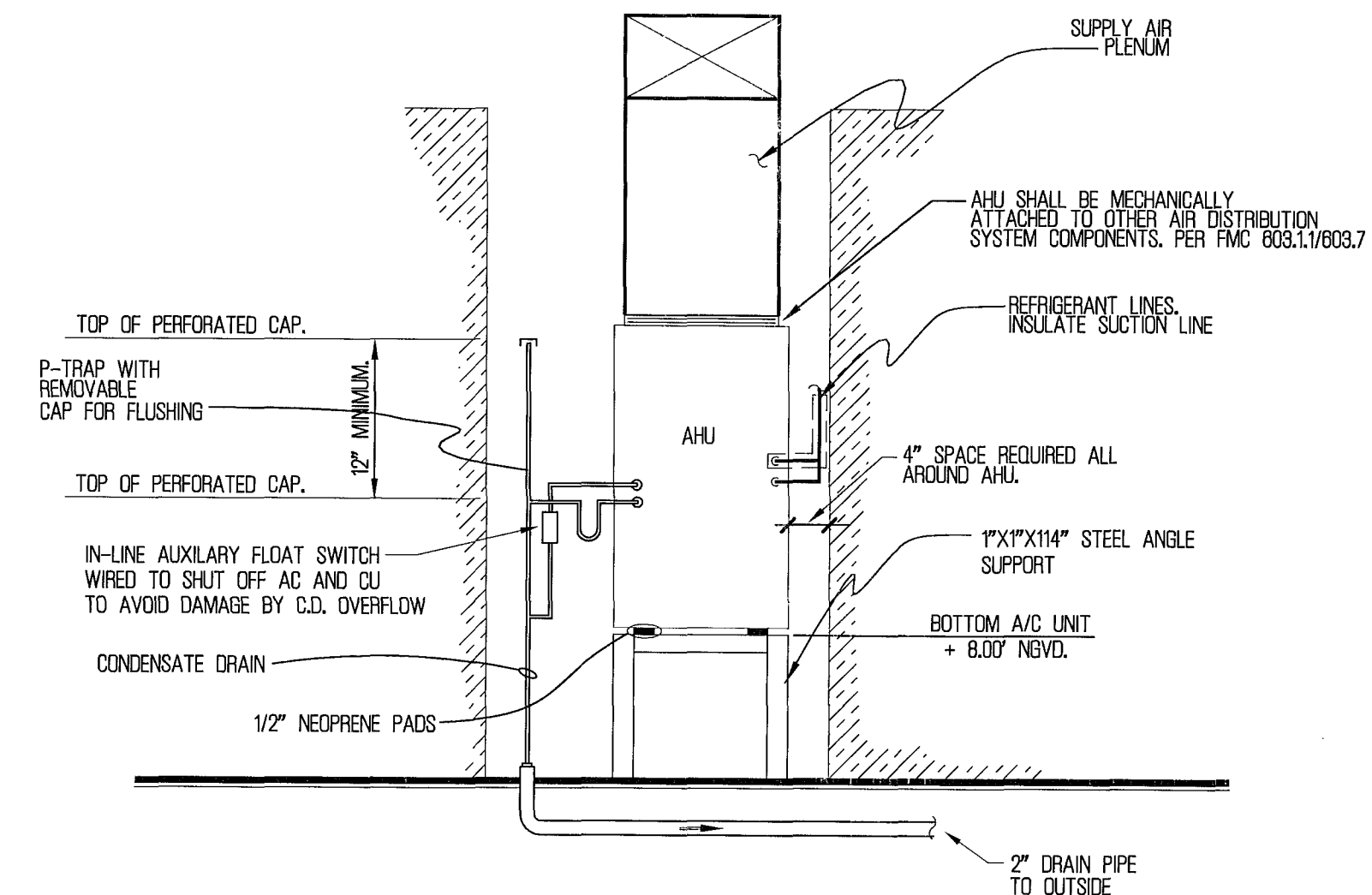
**FLEXIBLE DUCT CONNECTION DETAIL**  
N.T.S.

SPLIT AC UNIT SCHEDULE (TRANE)																						
DESIGNATION	REFRIG.	TONS	SEER	CONDENSER		AIR HANDLER	TOTAL CFM	COOLING CAPACITY		CONDENSER						AIR HANDLER		HEATER		ELECTRIC SERVICE		
				MODEL NUMBER	MODEL NUMBER			BTU/H @ 75/52 °F	BTU/H @ 75/52 °F	COMPRESSOR QTY	FLA-LUA	FAN MOTOR HP-FLA	WEIGHT (LBS)	DR. CAPACITY MIN-MAX	REFRIGERANT LINES (INCHES O.D.) SUCT.-LIQ.	DIMENSIONS (INCHES) HxWxD	FAN MOTOR HP-FLA	S.P. (IN. WG)	WEIGHT (LBS)		DIMENSIONS (INCHES) HxWxD	MODEL
AC-1	R410A	5.0	16.10	4TTX80801000A	4TEE3F6601000A	2000	66.6	40.0	1	26.6-116.0	1/3-2.80	307	36 - 60	7/8 - 3/8	60X37X34	1-7.0	0.6	218	63X26X21	BAYHTR1410	10	240-1-80
AC-2	R410A	1.5	18.00	4TTX6018A1000A	4TEE3F3181000A	800	18.4	14.3	1	8.2-36.0	1/3-2.80	227	11 - 16	1/2 - 3/8	42X37X34	1/2-4.3	0.6	134	48X26X21	BAYHTR1406	6	240-1-80

HVAC LEGEND	
SYMBOL	DESCRIPTION
???	DUCT (SIZE IS CLEAR INSIDE DIMENSION)
[Symbol]	SQUARE ELBOW WITH TURNING VANES
[Symbol]	AIR EXTRACTOR W/ VOLUME DAMPER (V.D.)
[Symbol]	DUCT TRANSITION
[Symbol]	RETURN AIR GRILLE
[Symbol]	CEILING DIFFUSER
[Symbol]	FLEXIBLE DUCT WORK
[Symbol]	PROGRAMMABLE THERMOSTAT
[Symbol]	WALL CAP
[Symbol]	EXHAUST FAN



**CONDENSING UNIT DETAIL**  
N.T.S.

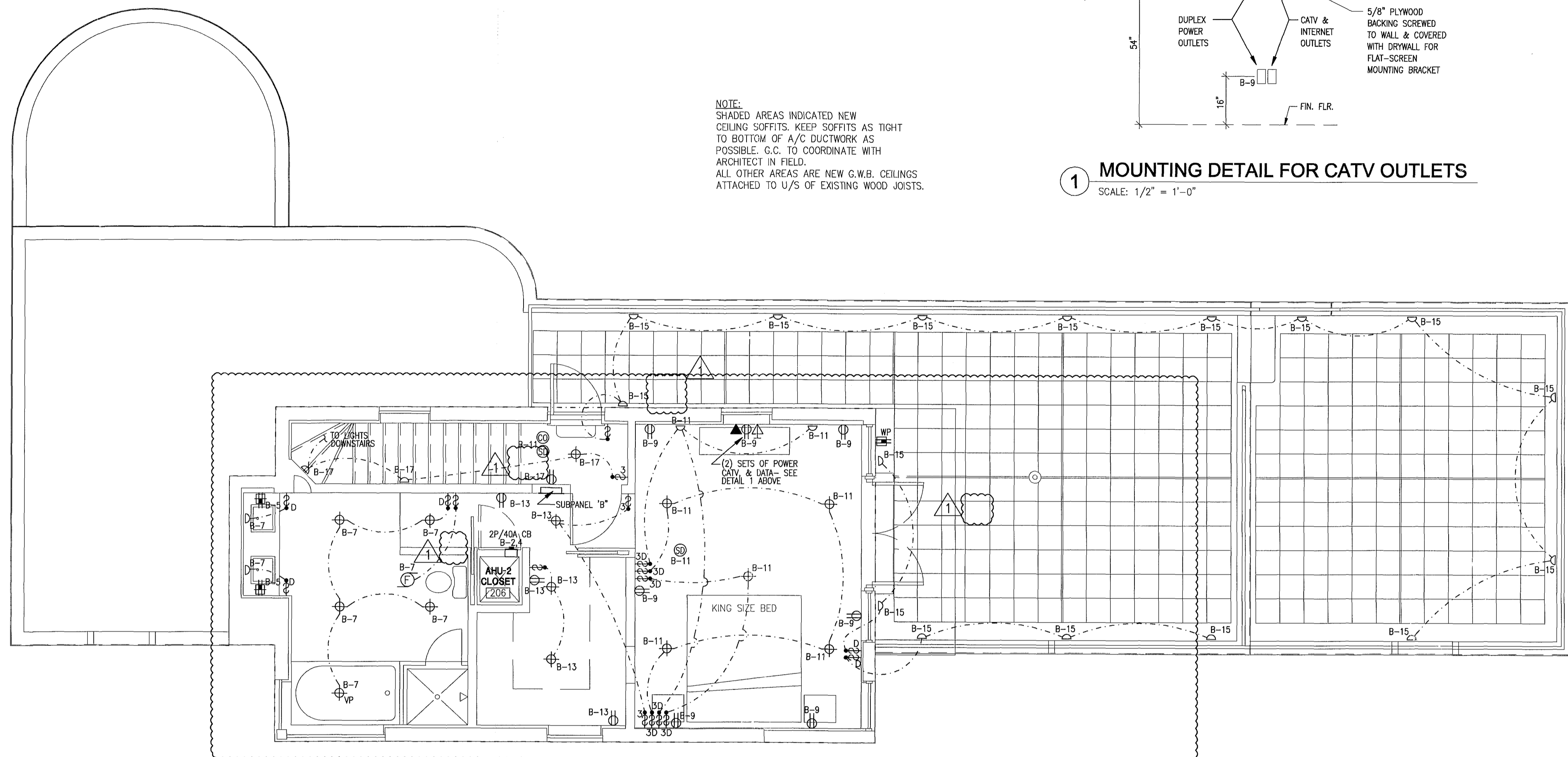


**AIR HANDLER UNIT**  
N.T.S.

**MOSSCROP ASSOCIATES**  
 ARCHITECTURE + INTERIORS  
 940 LINCOLN ROAD, SUITE 325, MIAMI BEACH, FL 33139  
 T: (305) 534-9770 F: (305) 534-9927 EMAIL: ILIJA@BELLSOUTH.NET  
 CERT. OF AUTH. #A32801017 & #A32801018

ILIJA MOSSCROP, REGISTERED ARCHITECT  
 FLORIDA LICENSE NO.: AR92744  
 PROJECT NAME & ADDRESS:  
**3193 ROYAL PALM AVENUE**  
 MIAMI BEACH, FL 33140  
 SHEET TITLE:

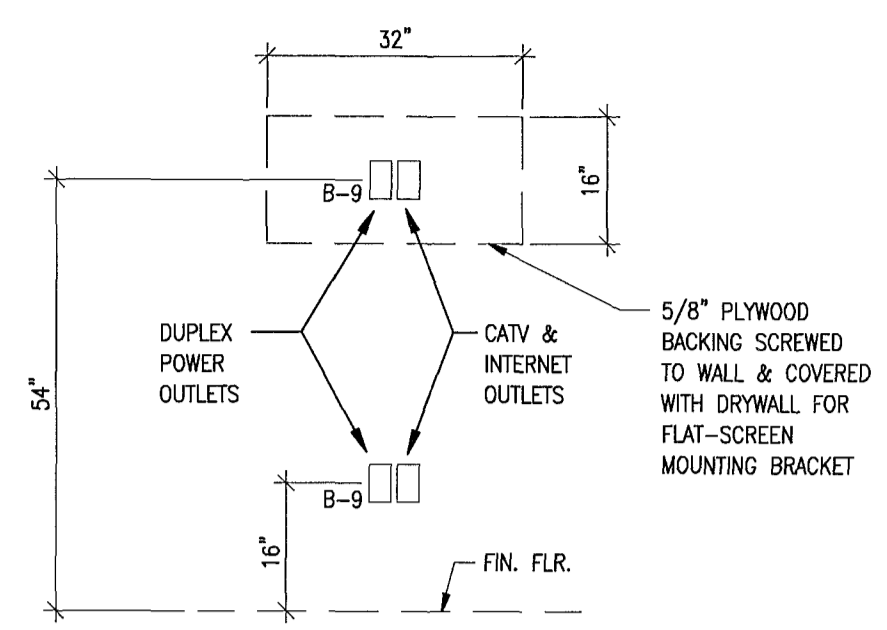
**MECHANICAL NOTES AND DETAILS**  
 SHEET NO.: **M-3**  
 SCALE: 1/4" = 1'-0"  
 DATE: 05-26-10  
 ISSUE: DESIGN DEVELOPMENT  
 JOB NO.: 3193-01



**2ND FLOOR ELECTRICAL PLAN**  
SCALE: 1/4" = 1'-0"

**NOTE:**  
SHADED AREAS INDICATED NEW CEILING SOFFITS. KEEP SOFFITS AS TIGHT TO BOTTOM OF A/C DUCTWORK AS POSSIBLE. G.C. TO COORDINATE WITH ARCHITECT IN FIELD.  
ALL OTHER AREAS ARE NEW G.W.B. CEILINGS ATTACHED TO U/S OF EXISTING WOOD JOISTS.

**1 MOUNTING DETAIL FOR CATV OUTLETS**  
SCALE: 1/2" = 1'-0"



REV.	DATE	DESCRIPTION
1	03/02/11	BRZ BY T.N.
2	07/26/11	OWNER REQUEST

**MOSSCROP ASSOCIATES**  
ARCHITECTURE + INTERIORS

940 LINCOLN ROAD, SUITE 305, MIAMI BEACH, FL 33139  
TEL: (305) 534-4779 FAX: (305) 534-3827 EMAIL: ILUA@BELLSOUTH.NET  
CELESTINE MOSSCROP, ARCHITECT, LICENSE NO. A242600057 & A242600058

ILUA MOSSCROP, REGISTERED ARCHITECT  
FLORIDA LICENSE NO. A242600057

PROJECT NAME & ADDRESS:  
**3193 ROYAL PALM AVENUE**  
MIAMI BEACH, FL 33140

SHEET TITLE:  
**2ND FLOOR ELECTRICAL PLAN**

Electrical Plans Ex:  
AUG 11 2011  
PROFESSIONAL ENGINEER

SHEET NO.: **E-2**

SCALE: 1/4" = 1'-0"

DATE: **05-28-10**

ISSUE: **DESIGN DEVELOPMENT**

JOB NO.: 3193-01

**MEP MECHANICAL MECHANICAL / ELECTRICAL ENGINEER** ANTONIO NARANJO PE35664  
**ELECTRICAL PLUMBING (#280006115)** TEL: (305) 471-0160  
MEP ENGINEERING INC. 10390 N.W. 27 ST. SUITE 101 MIAMI FL. 33172

**ELECTRICAL NOTES**

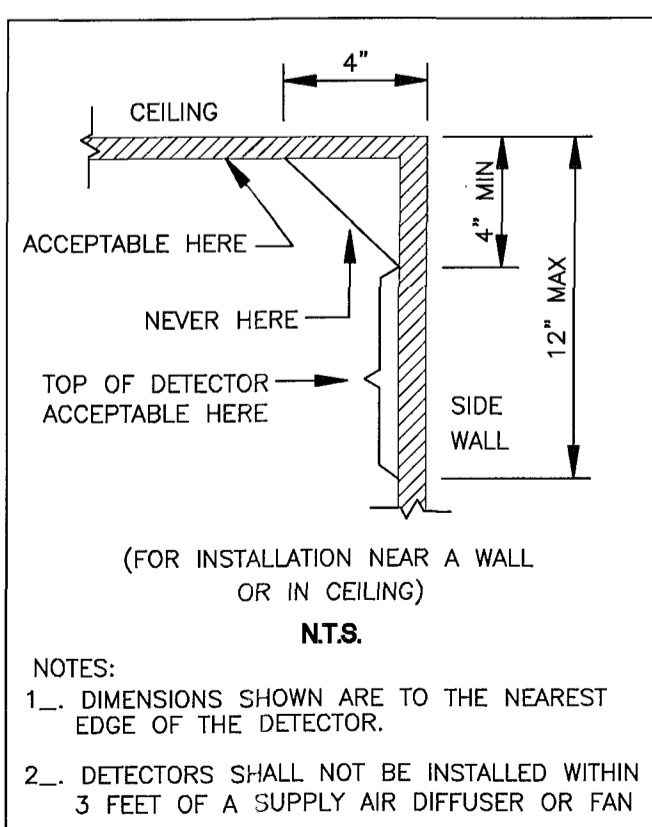
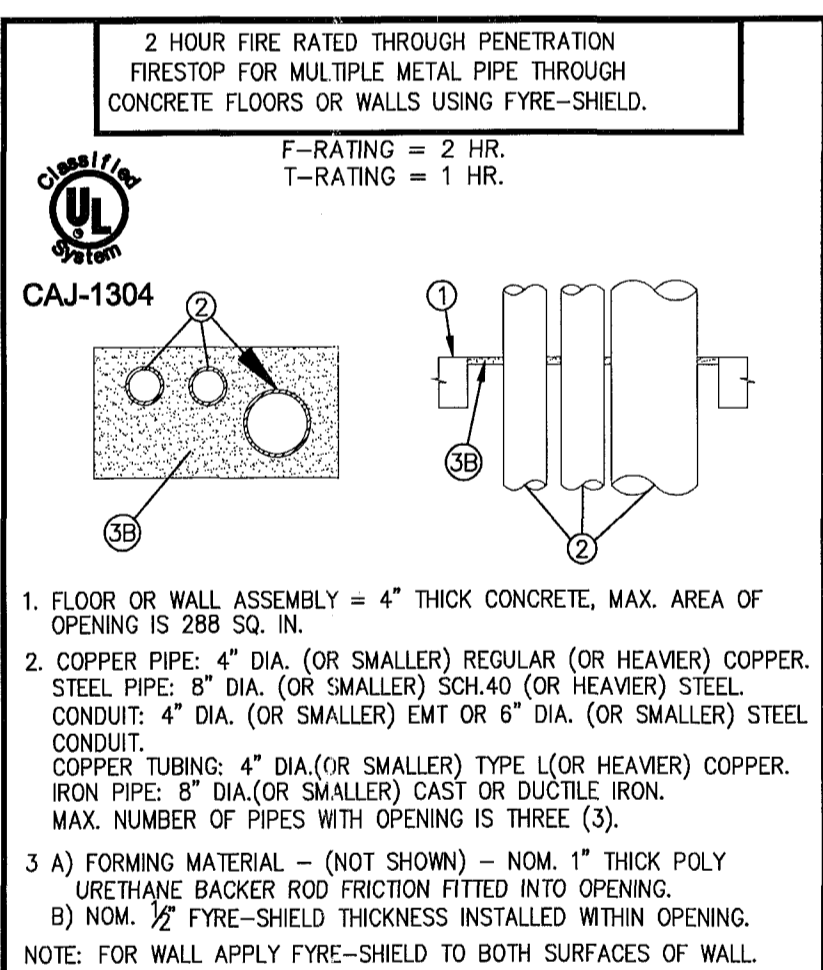
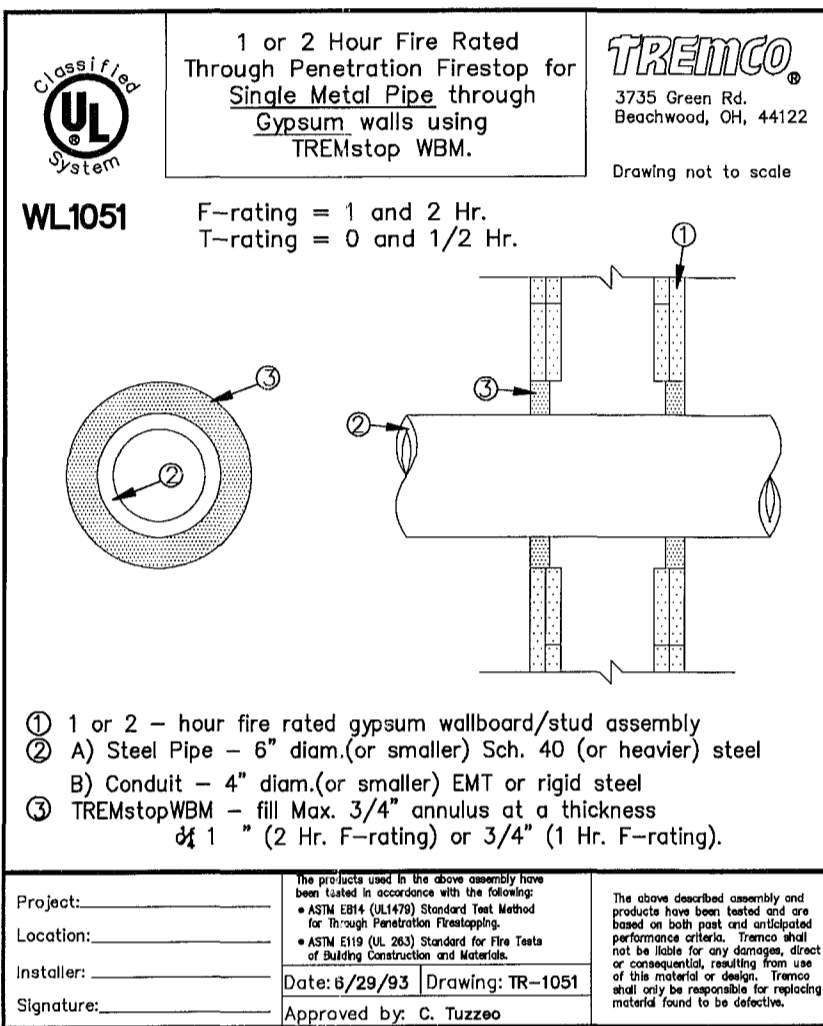
- INSTALLATION SHALL BE IN ACCORDANCE WITH NEC-2008, FBC 2007 AND ANY APPLICABLE CODES AND STANDARDS.
- MINIMUM WIRE SIZE SHALL BE #12 THIN/THWN, UNO
- CONDUCTORS #6AWG AND LARGER SHALL BE THW.
- ALL CONDUCTORS SHALL BE COPPER.
- FUSES (WHEN REQUIRED) SHALL BE DUAL ELEMENT, TIME DELAY TYPE.
- ALL MATERIALS SHALL BE U.L. LISTED.
- WORKMANSHIP SHALL BE TO BEST RESIDENTIAL PRACTICE.
- ALL LIGHT FIXTURES TO BE SELECTED BY OWNER/ARCHITECT AND INSTALLED BY CONTRACTOR. VERIFY LOCATION WITH ARCHITECT.
- RECESSED LIGHT FIXTURES OVER BATHUB OR SHOWER SHALL BE COMPLETELY ENCLOSED AND SUITABLE FOR WET LOCATION INSTALLATION.
- ALL LUMINAIRES SHALL BE PROPERLY SUPPORTED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND CODE REQUIREMENTS.
- RISER IS DIAGRAMMATIC ONLY. IT DOES NOT SHOW EVERY BEND REQUIRED FOR THE INSTALLATION.
- THIS DRAWING IS A GUIDE FOR THE INSTALLATION OF ELECTRICAL WORK. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO PROVIDE A FUNCTIONING SYSTEM.
- A/C EQUIPMENT WIRING, BREAKER AND FUSE SIZES ARE BASED ON A/C EQUIPMENT SPECIFIED ON CONTRACT DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL WIRING, BREAKER AND FUSE SIZES IN ACCORDANCE WITH A/C EQUIPMENT NAMEPLATE REQUIREMENTS IF DIFFERENT FROM THAT SPECIFIED ON DRAWINGS, AS WELL AS ANY FEEDER CHANGES BEING AFFECTED BY THIS CHANGE. CONTRACTOR SHALL MAKE ABOVE MENTIONED CHANGES AT NO EXTRA COST.
- CONTRACTOR SHALL COORDINATE ALL HIS WORK WITH OTHER TRADES IN ORDER TO FURNISH AND INSTALL ALL CONTROL WIRING AND RACEWAYS, ALL POWER CONTROL CIRCUITS WIRING AND RACEWAYS AS SHOWN ON THE AIR CONDITIONING DRAWINGS OR SPECIFICATIONS. IF AIR CONDITIONING DRAWINGS REFER TO MANUFACTURER'S WIRING DIAGRAMS THE CONTRACTOR SHALL VERIFY WITH SAID MANUFACTURER ALL REQUIREMENTS AND INCLUDE ALL RELATED WORK IN HIS CONTRACT.
- AS OPTIONAL, PROVIDE A COMPLETE SECURITY SYSTEM PER OWNER'S REQUIREMENTS.
- ALL WIRING DEVICES SHALL BE DECORATOR STYLE. COLOR AS SELECTED BY OWNER / ARCHITECT.
- PROVIDE ALL FINAL CONNECTIONS TO ALL EQUIPMENT AND APPLIANCES AS REQUIRED BY MANUFACTURER.
- PROVIDE A COMPLETE TV PRE-WIRED SYSTEM.
- COORDINATE LOCATION OF ALL DISCONNECT SWITCHES WITH OTHER TRADES TO ALLOW N.E.C. REQUIREMENTS CLEARANCES.
- ALL COUNTER RECEPTACLES AND SWITCHES TO BE MOUNTED 48" ABOVE COUNTER (TO BOTTOM OF PLATE), UNLESS OTHERWISE NOTED OR DIRECTED BY OWNER / ARCHITECT
- APPLIANCES RECEPTACLES TO BE MOUNTED WHERE REQUIRED BY MANUFACTURER
- ALL LAVATORY RECEPTACLES TO BE MOUNTED +42" A.F.F. UNLESS OTHERWISE DIRECTED BY OWNER / ARCHITECT.
- COORDINATE LOCATION OF AIR CONDITIONER (INDOOR UNIT) DISCONNECT SWITCH WITH A/C CONTRACTOR TO KEEP N.E.C. REQUIRED CLEARANCE.
- RANGE AND DRYER SHALL HAVE NEUTRAL & GROUNDING WIRES PER NEC 250-122.
- PROVIDE A COMPLETE PRE-WIRED TELEPHONE SYSTEM.
- DO NOT SCALE THE ELECTRICAL DRAWINGS. REFER TO ARCHITECTURAL PLANS AND ELEVATIONS FOR EXACT DIMENSIONS.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR COMPLETE ELECTRICAL SYSTEMS.
- ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR. IT WILL BE HIS RESPONSIBILITY TO SECURE AND PAY FOR ANY PERMITS, CERTIFICATES OF INSPECTION, ETC., AS REQUIRED.
- CARBON MONOXIDE DETECTORS WHEN REQUIRED SHALL BE INSTALLED WITHIN 10' OF EACH ROOM USED FOR SLEEPING PURPOSES. SUCH ALARMS SHALL HAVE A BATTERY BACKUP. COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE NRTL LISTED OR LABELED. SEE RULE 9B3.0472-CARBON MONOXIDE PROTECTION.

**CAUTION NOTES:**

- NEW CIRCUIT BREAKERS SERVING ELECTRICAL RECEPTACLES IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS AREAS MUST BE A.F.C.I. TYPE.
- ALL NEW RECEPTACLES LISTED IN NEC.210.52 (I.E. GENERAL PROVISIONS, SMALL APPLIANCES AND KITCHEN RECEPTACLES, RECEPTACLES IN BATHROOMS, OUTDOOR, LAUNDRY, HALLWAYS, GARAGES AND BASEMENTS, BALCONIES, DECKS, PORCHES) SHALL BE TAMPER PROOF AS PER NEC. 406.11
- IN ORDER TO PREVENT SOUND TRANSMISSION AND THE SPREAD OF FIRE, ALL BOXES MOUNTED ON FIRE RATED WALLS MUST BE STAGGERED AND BE WRAPPED WITH U.L. FIRE RATED MATERIAL EQUAL TO THE RATING OF WALL.
- ALL LOCATIONS OF OUTLETS WITHIN CABINETY, MUST BE COORDINATED WITH CABINET AND APPLIANCE MANUFACTURERS.
- LOCATION OF LIGHT FIXTURES SHALL BE DETERMINED FROM ARCHITECTURAL DRAWINGS AND AFTER FINAL VERIFICATION WITH ARCHITECT AND DECORATORS.
- ALL OUTLETS IN KITCHEN AND BATHROOMS SHALL COMPLY WITH NEC 210.52

**ELECTRICAL LEGEND**

- ⊕ 20A, 120V, DUPLEX RECEPTACLE.
- ⊕ 20A, 120V, DUPLEX RECEPTACLE HALF SWITCHED.
- ⊕ 20A, 120V, SINGLE RECEPTACLE.
- ⊕ 20A, 120V, GFI, DUPLEX RECEPTACLE.
- ⊕ 20A, 120V, GFI, DUPLEX RECEPTACLE ABOVE COUNTER.
- ⊕ LIGHT SWITCH. SILENT TYPE.
- ⊕ 3 WAY LIGHT SWITCH. SILENT TYPE.
- ⊕ 4 WAY LIGHT SWITCH. SILENT TYPE.
- ⊕ CEILING OR WALL MOUNTED JUNCTION BOX.
- ⊕ EXHAUST FAN.
- ⊕ TELEPHONE OUTLET.
- ⊕ TV OUTLET.
- ⊕ ELECTRICAL PANEL.
- ⊕ ELECTRICAL METER/MAIN COMBINATION.
- ⊕ DISCONNECT SWITCH CIRCUIT BREAKER TYPE.
- ⊕ DISCONNECT SWITCH SIDE HANDLE TYPE.
- ⊕ HI-HAT LIGHT FIXTURE.
- ⊕ WALL MOUNTED LIGHT FIXTURE.
- ⊕ SURFACE MOUNT LIGHT FIXTURE.
- ⊕ 120V, SMOKE DETECTOR WITH BATTERY BACKUP
- ⊕ 120V, CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP
- N NEW ELECTRICAL DEVICE.
- E EXISTING ELECTRICAL DEVICE TO REMAIN.
- X INDICATES FIXED GLASS PANEL
- O INDICATES OPERABLE GLASS PANEL
- 3R WP WEATHER PROOF.
- WL WET LOCATION LABEL.
- DL DAMP LOCATION LABEL.
- GFI GROUND FAULT INTERRUPTER DEVICE.
- EWH ELECTRICAL WATER HEATER.
- ① KEYED NOTE.
- J/F/L JUNCTION BOX APPROVED FOR FUTURE INSTALLATION FAN & LIGHT FIXTURE.



**SMOKE DETECTOR CONNECTION DETAIL**

120V AC FROM AN ARC-FAULT CIRCUIT BREAKER

SMOKE ALARM

TO ADDITIONAL SMOKE ALARMS

**NOTES:**

- ALL SMOKE DETECTORS (MULTIPLE-STATION ALARM TYPE) SHALL BE HARWIRED (125 VOLT TYPE), INTERCONNECTED AND PROVIDED WITH BATTERY BACK-UP.
- ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT TO SMOKE DETECTORS INSTALLED IN BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT AS PER NEC 210.12.
- SMOKE DETECTOR SHALL NOT BE PLACED WITHIN 3FT. OF ANY A/C GRILL.
- SMOKE DETECTORS LOCATED OUTSIDE OF SLEEPING AREAS SHALL NOT BE PLACED CLOSER THAN 3FT. TO BATHROOM DOOR.
- THE MOUNTING AND LOCATION OF UNIT SMOKE DETECTORS SHALL COMPLY WITH NFPA 72 SEC.2-5.2.1.6. CEILING MOUNTS NOT LESS THAN 4" FROM A WALL-WALL MOUNTS NOT LESS THAN 4" FROM CEILING NOR MORE THAN 12" TO TOP OF DETECTOR.

**PANEL A**  
Cu BUS/GRD BUS

SERVING	WIRE AND COND SIZE	LOAD VA	POLE TRIP	CIRC. No.	PHASE	CIRC. No.	POLE TRIP	LOAD VA	WIRE AND COND SIZE	SERVING
CU-1	#6-1"	(6816)	2	1	A	2	2	11600	#6-1"	AHU-1
SPARE	---	---	---	---	B	4	60			
GAS COOKTOP PILOT	#12-1/2"	200	1	20	A	6	1	740	#12-1/2"	UNDERCOUNTER FREEZER
KITCHEN OVEN	#6-1"	8000	2	7	B	8	1	5000	#10-3/4"	STACKED WASHER/DRYER
DEN RM LTS & REC.	#12-1/2"	**	1	20	A	12	30			
LIVING RM LTS & REC.	#12-1/2"	**	1	20	A	14	1	100	#8-3/4"	GAS INSTANT WATER HEATER
DINING RM REC.	#12-1/2"	1500	1	20	A	16	1	300	#12-1/2"	AUDIO VIDEO RACK
REFRIGERATOR	#12-1/2"	1000	1	20	A	18	1	**	#12-1/2"	BATHROOM 112 LTS & REC
LAUNDRY	#12-1/2"	1500	1	20	A	20	1	**	#12-1/2"	BATHROOM 108 LTS & REC
DISWASHER	#12-1/2"	1600	1	20	A	22	1	**	#12-1/2"	BATHROOM 102 LTS & REC
KITCHEN SMALL APPL.	#12-1/2"	1500	1	20	A	24	1	1000	#12-1/2"	FUTURE LANDSCAPE LIGHTS
KITCHEN SMALL APPL.	#12-1/2"	1500	1	20	A	26	2	2100	#12-1/2"	PULL PUMP
KITCHEN HOOD	#12-1/2"	500	1	20	A	28	1	20		
MAIN CORRID. LTS & REC	#12-1/2"	**	1	20	A	30	1	20		
BEDRM. 109 LTS & REC	#12-1/2"	**	1	20	A	32	1	20		
KITCHEN/FAMILY LTS & REC	#12-1/2"	**	1	20	A	34	1	20		
OUTDOOR LIGHTS & RECEPT	#12-1/2"	945	1	20	A	36	1	20		
POOL LIGHTS	#12-1/2"	300	1	20	A	38	1	20		
KITCHEN MICROWAVE	#12-1/2"	1500	1	20	A	40	2	80	#4-1"	SUBPANEL 'B'
TOTAL VA: SEE LOAD ANALYSIS										

\*\* PART OF GENERAL LIGHTING LOAD  
 Δ AFCI TYPE C/B  
 \* GFI TYPE C/B  
 ( ) NUMBER IN PARENTHESIS INDICATES LOAD IS NON-CONCURRENT  
 (⊕) TAMPER PROOF RECEPTACLE

**SUBPANEL B**  
Cu BUS/GRD BUS

SERVING	WIRE AND COND SIZE	LOAD VA	POLE TRIP	CIRC. No.	PHASE	CIRC. No.	POLE TRIP	LOAD VA	WIRE AND COND SIZE	SERVING
CU-2	#12-1/2"	(2532)	2	1	A	2	2	6090	#8-3/4"	AHU-2
MASTER BATH GFI RECEPTS.	#12-1/2"	**	1	20	A	4	35			
MASTER BATH LIGHTS	#12-1/2"	**	1	20	A	6	1	2		SPACE
MASTER BEDROOM RECEPT.	#12-1/2"	**	1	20	A	8	1			
MASTER BEDROOM LIGHTS [SD]	#12-1/2"	**	1	20	A	10	1			
CORRID./CLOSET LTS & REC	#12-1/2"	**	1	20	A	12	1			
2ND FL OUT. LTS & REC	#12-1/2"	1305	1	20	A	14	1			
STAIR/2ND FL. LTS & REC.	#12-1/2"	**	1	20	A	16	1			
SPARE	---	---	---	---	B	18	1			
SPARE	---	---	---	---	B	20	1			
SPACE	---	---	---	---	B	22	1			
SPACE	---	---	---	---	B	24	1			
TOTAL VA: SEE LOAD ANALYSIS										

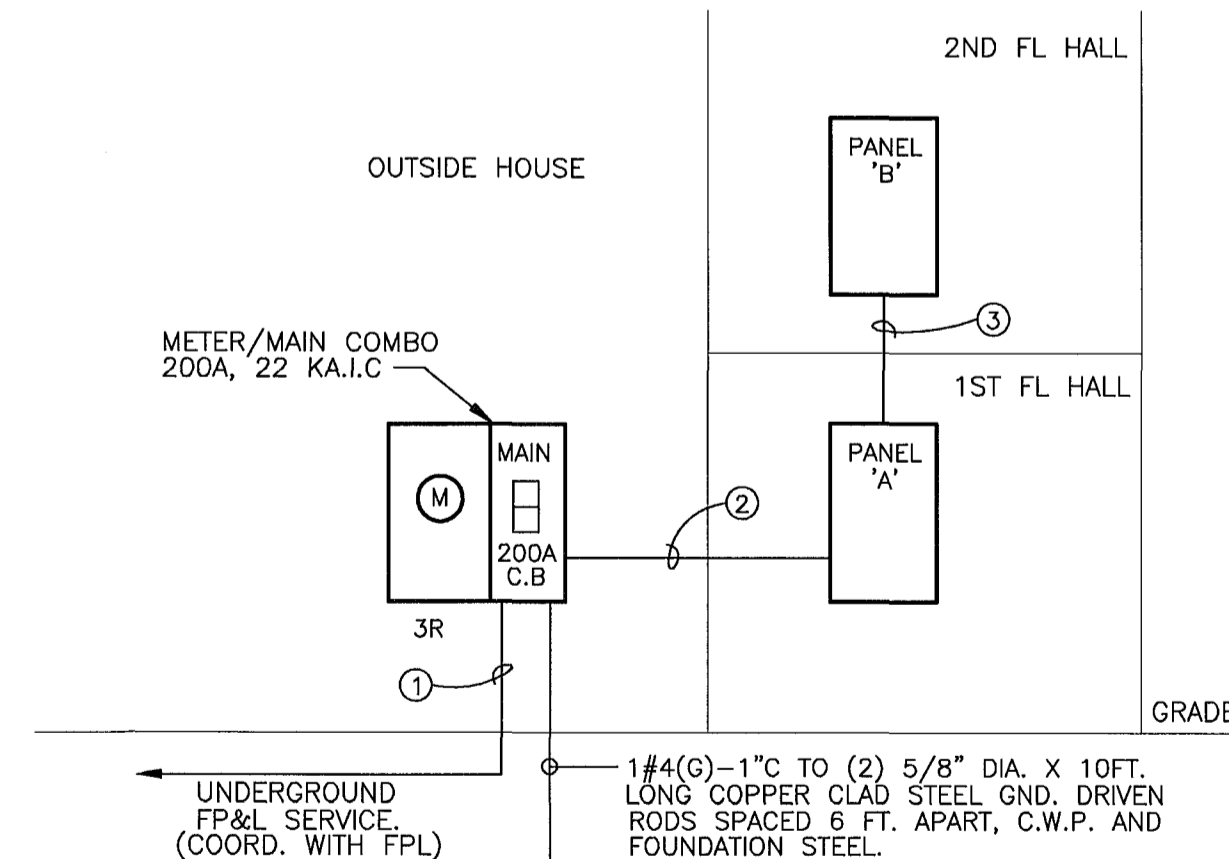
\*\* PART OF GENERAL LIGHTING LOAD  
 Δ AFCI TYPE C/B  
 \* GFI TYPE C/B  
 ( ) NUMBER IN PARENTHESIS INDICATES LOAD IS NON-CONCURRENT  
 (⊕) TAMPER PROOF RECEPTACLE

**SERVICE CALCULATION ( PANEL 'A' )**

GENERAL LIGHTING AND RECEPTACLES 3 VA/SQ.F X 2,707 SQ.F	=	8,121 VA
SMALL-APPLIANCE & LAUNDRY BRANCH IN PLACE AND MOTOR LOADS. CIRCUITS (⊕ 1500VA EACH), NAMEPLATE RATING FOR ALL APPLIANCES FASTENED	=	28,340VA
OUTDOOR LOADS: LIGHTS(125%), REC(100%)	=	1,002VA
SUB-TOTAL	=	37,463VA
FIRST 10KVA @ 100%	=	10,000VA
REMAINING 27,463 @ 40%	=	10,985VA
	=	20,985VA
HEATING LOADS @ 100% (LARGEST OF HEATING AND A/C LOADS)	=	17,690VA
TOTAL CALCULATED LOAD	=	38,675VA
TOTAL(KVA) /240V	=	161 AMPS

**LOAD ANALYSIS SUBPANEL 'B'**

GENERAL LIGHTING AND RECEPTACLES 3 VA/SQ.F X 639 SQ.F	=	1,917 VA
SMALL-APPLIANCE & LAUNDRY BRANCH IN PLACE AND MOTOR LOADS. CIRCUITS (⊕ 1500VA EACH), NAMEPLATE RATING FOR ALL APPLIANCES FASTENED	=	0,000VA
OUTDOOR LOADS: LIGHTS(125%), REC(100%)	=	1,567VA
SUB-TOTAL	=	3,504VA
HEATING LOADS @ 100% (LARGEST OF HEATING AND A/C LOADS)	=	6,090VA
TOTAL CALCULATED LOAD	=	9,594VA
TOTAL(KVA) /240V	=	40 AMPS

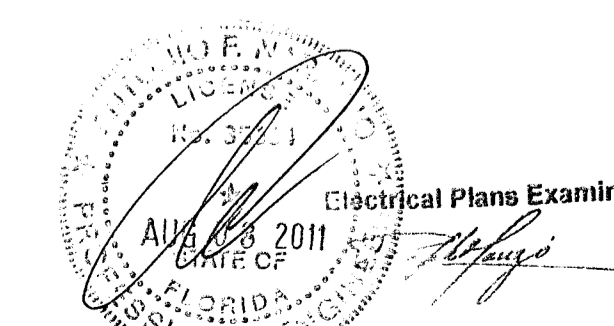


**ELECTRICAL RISER DIAGRAM**  
N.T.S.

**NOTE:** THE AVAILABLE FAULT CURRENT FROM THE UTILITY POWER COMPANY IS TO BE VERIFIED FOR PROPER A.I.C.S. RATING OF ELECTRICAL SERVICE EQUIPMENT AND PANELS. SHOP DRAWING SUBMITTAL TO INCLUDE A.I.C.S. RATING AND LETTER FROM THE UTILITY POWER COMPANY STATING THE AVAILABLE FAULT.

FEEDER	FEEDER SIZE
①	3#3/0 AWG THW CU IN 2-1/2" C
②	3#3/0 AWG THW CU & 1#6 (G) IN 2" C
③	3#4 AWG THW CU. & 1#6(G) IN 1-1/4" C.

**NOTE:** ALL FUSES SHALL BE SELECTED TO INTERRUPT THE AVAILABLE SHORT CIRCUIT AMPS, PER FPL.



**MOSSCROP ASSOCIATES ARCHITECTURE + INTERIORS**

1114 MOSSCROP, REGISTERED ARCHITECT  
 FLORIDA LICENSE NO.: AR92744

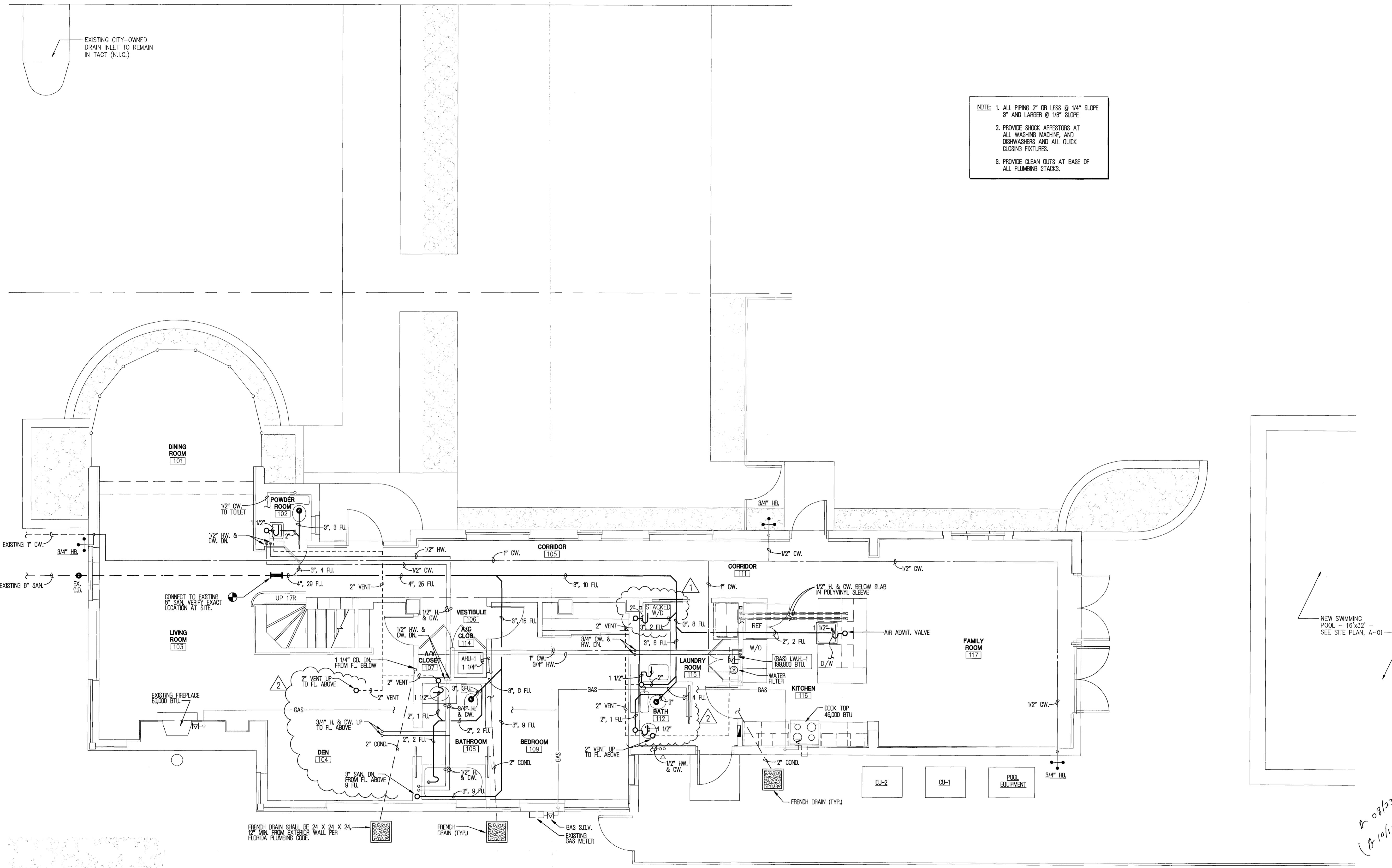
**PROJECT NAME & ADDRESS:**  
**3193 ROYAL PALM AVENUE**  
**MIAMI BEACH, FL 33140**

**3193 ROYAL PALM AVENUE**  
**MIAMI BEACH, FL 33140**

**SHEET TITLE:**  
**NOTES, LEGEND AND PANEL SCHEDULE**

**SHEET NO.:**  
**E-3**

**SCALE:** 1/4" = 1'-0"  
**DATE:** 05-26-10  
**ISSUE:** DESIGN DEVELOPMENT  
**JOB NO.:** 3193-01

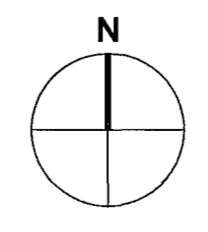


NOTE: 1. ALL PIPING 2" OR LESS @ 1/4" SLOPE  
3" AND LARGER @ 1/8" SLOPE

2. PROVIDE SHOCK ARRESTORS AT ALL WASHING MACHINE, AND DISHWASHERS AND ALL QUICK CLOSING FIXTURES.

3. PROVIDE CLEAN OUTS AT BASE OF ALL PLUMBING STACKS.

**1ST FLOOR PLUMBING PLAN**  
SCALE: 1/4" = 1'-0"



**MEP MECHANICAL MECHANICAL / ELECTRICAL ENGINEER ANTONIO NARANJO PE33664**  
**ELECTRICAL PLUMBING (#E00006119) TEL (305) 471-0160**  
 MEP ENGINEERING INC. 10590 N.W. 27 ST. SUITE 101 MIAMI FL. 33172

DESCRIPTION:	B. & Z. COMMENTS
DATE:	OWNER REL.
REV:	

**MOSSCROP ASSOCIATES**  
 ARCHITECTURE + INTERIORS  
 670 LINCOLN ROAD, SUITE 325, MIAMI BEACH, FL 33139  
 T: (305) 834-8779 F: (305) 834-8827 EMAIL: ILIJA@BELLSOUTH.NET

ILIJA MOSSCROP, REGISTERED ARCHITECT  
 FLORIDA LICENSE NO.: AR92744  
 PROJECT NAME & ADDRESS:

**3193 ROYAL PALM AVENUE**  
 MIAMI BEACH, FL 33140

SHEET TITLE:  
**1ST FLOOR PLUMBING PLAN**

SHEET NO.: **P-1**  
 SCALE: 1/4" = 1'-0"  
 DATE: **05-26-10**  
 ISSUE: **DESIGN DEVELOPMENT**  
 JOB NO.: 3193-01

*As 08/23/11  
 (As 10/12/11)*

NEW SWIMMING POOL - 16'x32' - SEE SITE PLAN, A-01

EXISTING CITY-OWNED DRAIN INLET TO REMAIN IN TACT (N.I.C.)

CONNECT TO EXISTING 6" SAN. VERIFY EXACT LOCATION AT SITE.

FRENCH DRAIN SHALL BE 24 X 24 X 24, 12" MIN. FROM EXTERIOR WALL PER FLORIDA PLUMBING CODE.

FRENCH DRAIN (TYP.)

GAS S.D.V. EXISTING GAS METER

FRENCH DRAIN (TYP.)

COOK TOP 46,000 BTU

POOL EQUIPMENT

FAMILY ROOM [117]

KITCHEN [116]

LAUNDRY ROOM [115]

BATH [112]

BEDROOM [109]

BATHROOM [108]

DEN [104]

LIVING ROOM [103]

DINING ROOM [101]

POWDER ROOM [102]

VESTIBULE [106]

A/V CLOS. [114]

CL. [107]

CORRIDOR [105]

CORRIDOR [111]

UP 17R

EXISTING 1" CW.

EXISTING 6" SAN.

EXISTING 1" CW.

EXISTING 6" SAN.

EXISTING 1" CW.

EXISTING 6" SAN.

EXISTING 1" CW.

EXISTING 6" SAN.

EXISTING 1" CW.

EXISTING 6" SAN.

EXISTING 1" CW.

EXISTING 6" SAN.

EXISTING 1" CW.

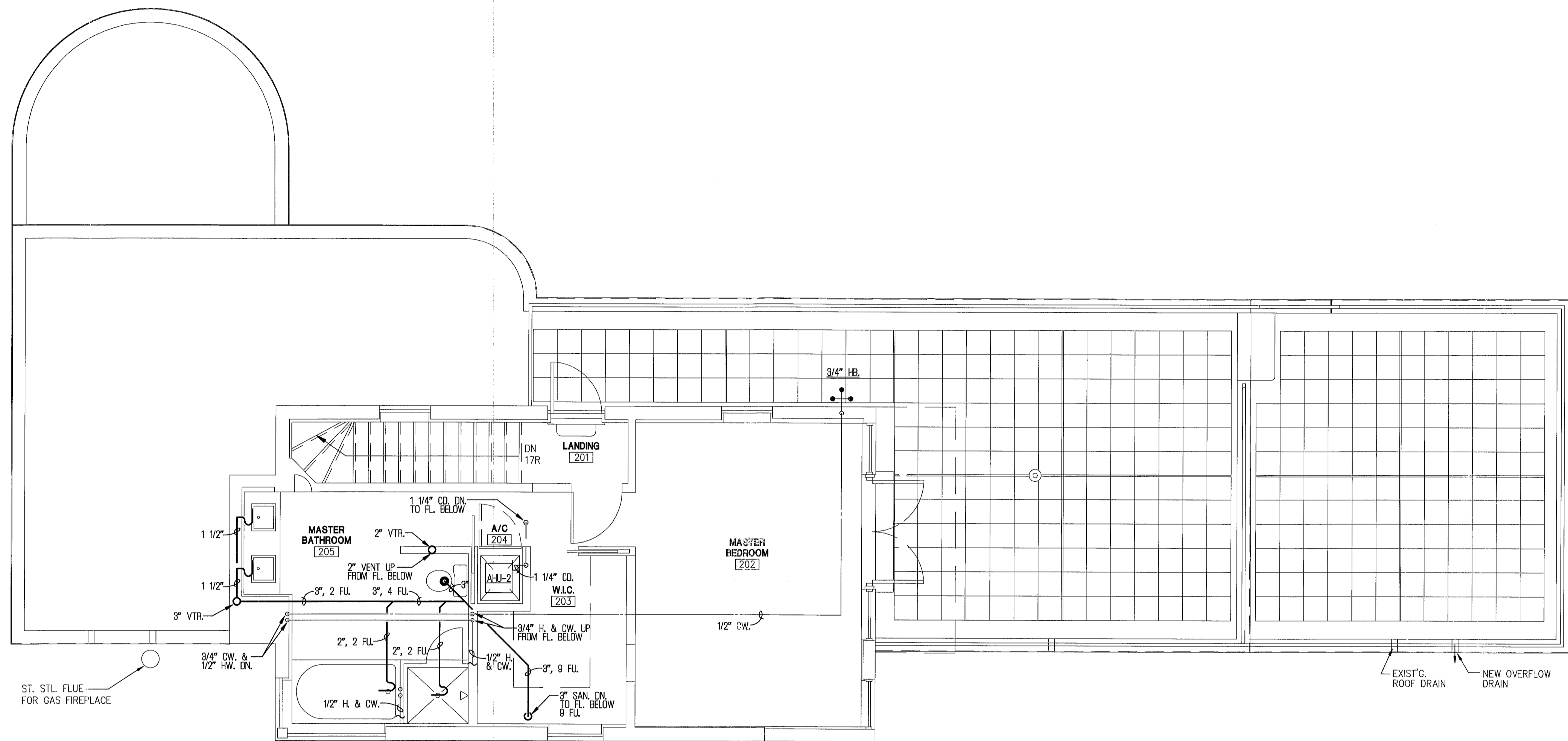
EXISTING 6" SAN.

EXISTING 1" CW.

EXISTING 6" SAN.

EXISTING 1" CW.

EXISTING 6" SAN.



**2ND FLOOR PLUMBING PLAN**  
 SCALE: 1/4" = 1'-0"

*OFFICE COPY*  
*3193 Royal Palm*

REV.	DATE	DESCRIPTION	OWNER REF.
1	07/26/11		

**MOSSCROP ASSOCIATES**  
 ARCHITECTURE + INTERIORS  
 60 LINCOLN ROAD, SUITE 305, MIAMI BEACH, FL 33138  
 T: (305) 534-9779 F: (305) 534-9827 EMAIL: ILLUA@BELLSOUTH.NET

ILLIA MOSSCROP, REGISTERED ARCHITECT  
 FLORIDA LICENSE NO. AR52744

PROJECT NAME & ADDRESS:  
**3193 ROYAL PALM AVENUE**

3193 ROYAL PALM AVENUE  
 MIAMI BEACH, FL 33140

SHEET TITLE:  
**2ND FLOOR PLUMBING PLAN**

SHEET NO.:  
**P-2**

SCALE: 1/4" = 1'-0"

DATE: 08-26-10

ISSUE: DESIGN DEVELOPMENT

JOB NO.: 3193-01



**MEP MECHANICAL / ELECTRICAL ENGINEER ANTONIO NARANJO PE35664**  
**ELECTRICAL PLUMBING #B00061151 TEL (305) 471-0160**  
**MEP ENGINEERING INC. 10590 N.W. 27 ST. SUITE 101 MIAMI FL 33172**

*2-08/23/11*  
*10/12/11*

BREV 111155

B1100804  
3193 Royal Palm  
Ave  
OFFICE COPY

OFFICE COPY  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:

BUILDING:	<u>10/12/11</u>
ZONING:	<u>10/12/11</u>
DRO/HFB:	
CONCURRENCY:	
PLUMBING:	<u>10/12/11</u>
ELECTRICAL:	<u>10/12/11</u>
MECHANICAL:	<u>10/12/11</u>
FIRE PREVENTION:	<u>10/12/11</u>
ENGINEERING:	<u>10/12/11</u>
PUBLIC WORKS:	<u>10/12/11</u>
STRUCTURAL:	<u>10/12/11</u>
ELEVATOR:	