

Residential Swimming Pool, Spa or Hot Tub Safety Act

Notice of Requirements

I (we) acknowledge that a new swimming pool, spa, or hot tub will be constructed or installed at 3193 Royal Palm Ave. and hereby affirm that one of the following methods will be used to meet the requirements of Florida Statute Chapter 515, and Florida Building Code Section 242.2.

Please initial the method(s) to be used for your pool or spa.

 The pool will be equipped with an approved safety pool cover that complies with ASTM F1346-91. (Submit Manufacturer specifications)

X A removable child barrier (with one end that shall be removable without the aide of tools) in compliance with FBC424.17 will protect the pool perimeter. (Submit Manufacturer Specifications)

 A combination of "non-dwelling" walls (fences, screen enclosures, etc.) will protect the perimeter. The plans must specify the type and location of all non-dwelling walls.

 A combination of protection which incorporates dwelling walls with openings into the pool perimeter and complying with FBC Section 424.2.17.1.9 (2): All doors and windows providing direct access to the pool must be equipped with self close and self latch-locking mechanical devices installed a minimum of 54" above the threshold. (Submit specifications for approval)

 A combination of protection which incorporates dwelling walls with openings into the pool perimeter and complying with FBC Section 424.2.17.1.9 (1): All doors and windows providing direct access to the pool shall be equipped with an exit alarm complying with UL 2017. (Submit Manufacturers specifications)

In accordance with the Florida Building Code, a final inspection of the pool project will not be approved without compliance with Private Swimming Pool Safety Requirements, and upon expiration of the permit, the pool shall be presumed to be unsafe.

I understand that not having one of the above systems installed will constitute a violation of Chapter 515, F.S., and will be considered as committing a misdemeanor of the second degree, punishable as provided in Section 775.082 or Section 775.083 F.S. This form must be signed by the owner/agent and the prime contractor.

[Signature]
Owner/Agent Printed Name, Signature and date

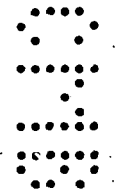
State of Florida
County of Dade
Sworn and Subscribed before me this 30 day of January 12
By Josh Gurwitz who is personally
Known X or produced _____ as
identification.

Notary Public, State of Florida

[Signature]
Prime Contractor Printed name, signature and date
Adam Franz 1-30-12

State of Florida
County of Dade
Sworn and Subscribed before me this 30 day of January 2012
By Adam Franz who is personally Known X
or produced _____ as identification.

Notary Public, State of Florida



MARCELO GABRIEL ARNEO
MY COMMISSION # EE105261
EXPIRES June 20, 2015
FloridaNotaryService.com
(407) 398-0153

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FloridaNotaryService.com
(407) 398-0153

3193 Royal Palm Avenue
Miami Beach, FL

1-23-12

$$T.O.W = 5.89'$$

$$\text{Area: } 470 \text{ s.f.}$$

$$\text{Flood criteria: } 5.89'$$

$$\text{Perimeter: } 90 \text{ L.F.}$$

$$B.O.S = 5.89 - 5.83 = 0.06'$$

$$\text{Uplift} = 5.89 - 0.06 = 5.83' - 2Hx = 3.83' \uparrow \times 62.4 = 239 \text{ psf}$$

$$\text{Slab} = 0.5 \times 150 = 75 \text{ psf } \downarrow$$

$$\text{Wall} = \frac{0.5 \times 4.0 \times 90 \times 150}{470} = 57.4 \text{ psf } \downarrow$$

$$\text{Total down} = 75 + 57 = 132 \text{ psf } \downarrow$$

$$\frac{239 - 132}{150} = 0.71 + 0.5 = 1.21' \text{ (15")}$$

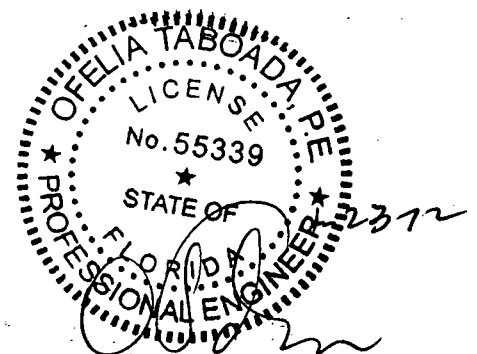
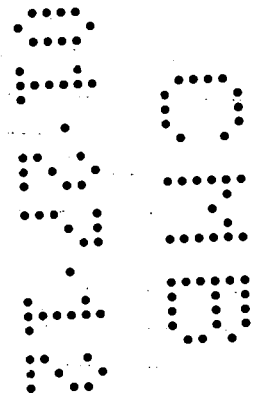
Slab thickness @ 4'-11" deep = 15"
@ 3'-0" deep.

$$B.O.S = 5.89 - 3.83 = 2.06'$$

$$5.89 - 2.06 = 3.83 - 2Hx = 1.83' \times 62.4 = 115 \text{ psf } \uparrow$$

$$\frac{132 - 115}{150} = 0.11 + 0.5 = 0.62' \text{ (8")}$$

Slab thickness @ 3'-0" deep = 8"



IMPORTANT: In these spaces, copy the corresponding information from Section A.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
3193 ROYAL PALM AVENUE

City MIAMI State FL ZIP Code 33140

For Insurance Company Use

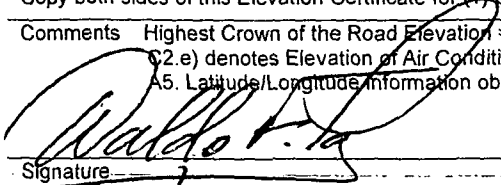
Policy Number

Company NAIC Number

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments Highest Crown of the Road Elevation = +4.92'
C2.e) denotes Elevation of Air Conditioner Slab.
A5. Latitude/Longitude information obtained from Google.

Signature 

Date 12-22-11

Check here if attachments

SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
 - a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the HAG.
 - b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6-9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8-9 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner's or Owner's Authorized Representative's Name

Address City State ZIP Code

Signature Date Telephone

Comments

Check here if attachments

SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8 and G9.

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4-G9) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate Of Compliance/Occupancy Issued
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- G7. This permit has been issued for: New Construction Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters (PR) Datum _____
- G9. BFE or (in Zone AO) depth of flooding at the building site: _____ feet meters (PR) Datum _____
- G10. Community's design flood elevation _____ feet meters (PR) Datum _____

Local Official's Name Title

Community Name Telephone

Signature Date

Comments

Check here if attachment

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expires March 31, 2012

Important: Read the instructions on pages 1-9.

SECTION A - PROPERTY INFORMATION

A1. Building Owner's Name		For Insurance Company Use	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 3193 ROYAL PALM AVENUE		Policy Number	
City MIAMI BEACH State FL ZIP Code 33140		Company NAIC Number	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Lot 13, Block 45, ORCHARD SUB NO 1, PB 6, PG 111, Folio No. 02-3227-001-0590			
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Residential</u>			
A5. Latitude/Longitude: Lat. <u>25.8092°N</u> Long. <u>-080.1296°W</u>		Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983	
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.			
A7. Building Diagram Number <u>8</u>			
A8. For a building with a crawlspace or enclosure(s):		A9. For a building with an attached garage:	
a) Square footage of crawlspace or enclosure(s) <u>2392</u> sq ft		a) Square footage of attached garage <u>N/A</u> sq-ft	
b) No. of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>1</u>		b) No. of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>N/A</u>	
c) Total net area of flood openings in A8.b <u>96</u> sq in		c) Total net area of flood openings in A9.b <u>N/A</u> sq in	
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number City of Miami Beach 120651		B2. County Name Miami-Dade		B3. State Florida	
B4. Map/Panel Number 12086C0319	B5. Suffix L	B6. FIRM Index Date 09-11-09	B7. FIRM Panel Effective/Revised Date 09-11-09	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) +8'
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9. <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other (Describe) _____					
B11. Indicate elevation datum used for BFE in Item B9: <input checked="" type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other (Describe) _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date <u>N/A</u> <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. Use the same datum as the BFE.
Benchmark Utilized D-131 Vertical Datum N.G.V.D. 1929
Conversion/Comments N/A

Check the measurement used.

a) Top of bottom floor (including basement, crawlspace, or enclosure floor) <u>+5.25</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
b) Top of the next higher floor <u>+5.89</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
c) Bottom of the lowest horizontal structural member (V Zones only) <u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
d) Attached garage (top of slab) <u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
e) Lowest elevation of machinery or equipment servicing the building <u>+7.50</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
(Describe type of equipment and location in Comments)	
f) Lowest adjacent (finished) grade next to building (LAG) <u>+4.75</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
g) Highest adjacent (finished) grade next to building (HAG) <u>+5.46</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support <u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form. Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No

Certifier's Name WALDO F. PAEZ License Number 3284
Title SURVEYOR Company Name DELTA SURVEYORS, INC.
Address 12052 S.W. 133RD COURT City MIAMI State FL ZIP Code 33186
Signature Waldo F. Paez Date 12-22-11 Telephone 305-253-0909

Waldo F. Paez
12-22-11
Paez

GENERAL NOTES AND CONDITIONS

- ALL FLOOR & WALLS OF POOL TO BE PNEUMATICALLY APPLIED CONC. WITH A MIN. 28 DAY COMPRESSIVE STRENGTH OF 5000 P.S.I.
- ALL REINFORCING STEEL TO CONFORM TO A.S.T.M. A615 GRADE 60.
- ALL POOL PIPING TO BE SCHEDULE 40 PVC NON THREADED NSF PIPE WITH SOLVENT WELD JOINTS.
- IN ALL CASES, THE POOL CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO PROTECT EXISTING STRUCTURES FROM FAILURE BY SHEATHING AND/OR SHORING, OR OTHER METHODS AS REQUIRED. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE SAFETY OF EXISTING STRUCTURES.
- THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR POOL CONSTRUCTION IN EASEMENT OR REQUIRED SETBACK AREAS. PLOT PLANS NOT PREPARED FROM LEGAL SURVEYS OF THE EXISTING LOT AND RESIDENCE ARE SO INDICATED. POOL CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND ESTABLISH LOT LINES. IF NECESSARY, POOL CONTRACTOR AND/OR OWNER SHALL VERIFY SHOWN AND ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ESTABLISH LOCATIONS OF UTILITIES AT THE SITE MINIMUM CLEARANCE DIMENSIONS SHALL BE HELD AND SHALL BE AS REQUIRED BY THE LOCAL REGULATORY AGENCY. IN GENERAL, HOLD A DISTANCE OF 10 FEET FROM OVERHEAD ELECTRIC LINES TO POOL'S WATER EDGE.
- RESIDENTIAL SWIMMING POOLS SHALL COMPLY WITH SECTIONS R4101.17.1 THROUGH R4101.17.3 AND FLORIDA STATUTES 515.27 AND 515.29. EXCEPT A SWIMMING POOL WITH AN APPROVED SAFETY POOL COVER COMPLYING WITH ASTM F 1346.
- WHERE POOLS ABUT OR ARE PLACED NEARBY SEA WALL OR BULKHEADS, SPECIAL CARE SHALL BE EMPLOYED. THE WALLS SHALL BE IN GOOD CONDITION, NOT PERMITTING ANY SHIFTING OR REMOVAL, OR LOOSENING OF THE SUPPORTING SOIL AWAY FROM THE POOL. IF THE WALLS DO NOT FULLY CONTAIN THE SOILS BEHIND THEM, THEY SHALL BE REPLACED OR REPAIRED. CONTINUAL MAINTENANCE OF THE WALLS IS REQUIRED BY THE PROPERTY OWNER. WHEN EXCAVATING FOR THE POOL, THE SEA-WALL TIEBACKS SHALL NOT BE CUT. WHEN DEADMEN FALL WITHIN THE EXCAVATION, NOTIFY THE ENGINEER IMMEDIATELY FOR FURTHER INSTRUCTIONS.
- THE CONTRACTOR SHALL BACKFILL POOL SHELL WITH CAUTION. THE PLUMBING SHALL NOT BE DISTURBED. BACKFILL SHALL BE PERFORMED WITH CLEAN SAND, FREE OF ORGANIC MATERIALS AND SHALL BE PLACED IN 12 INCH THICK LAYERS. EACH LAYER SHALL BE COMPACTED TO 90% OF THE SOILS MAXIMUM DENSITY BY TAMPERING SOLIDLY. SOILS BELOW THE DECK SHALL BE PLACED IN SIMILAR MANNER.
- WHERE DECKS ARE INDICATED BY OTHERS, THE DECK DESIGN NOTES SHOWN ON THE TYPICAL SECTION DO NOT APPLY. DECK DESIGN SHALL BE BY OTHERS.
- DO NOT DRAIN POOL UNDER HIGH GROUND WATER OR STORM CONDITIONS.
- WARNING! DO NOT EMPTY POOL AFTER CONSTRUCTION FOR REPAIRS OR ANY OTHER REASON BEFORE CONSULTING WITH A POOL OR POOL REPAIR CONTRACTOR. HYDROSTATIC UPLIFT PRESSURES MUST BE ELIMINATED TO PREVENT POOL FROM FLOATING ABOVE GROUND, AND CAUSING DAMAGE TO THE STRUCTURAL INTEGRITY OF THE POOL.
- THIS PLAN REMAINS THE PROPERTY OF THE DESIGN ENGINEERS. IT IS NOT TRANSFERABLE FROM ONE CONTRACTOR TO ANOTHER WITHOUT THE WRITTEN PERMISSION OF THE DESIGN ENGINEERS.
- ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE F.B.C., 2007 EDITION, AND ARTICLE 680 N.E.C., 2008 EDITION. ALL BOND WIRES SHALL BE PROTECTED WITH APPROVED MATERIAL. THE CONTRACTOR SHALL INSURE THAT AN ELECTRICAL BONDING INSPECTION IS CALLED FOR AND APPROVED PRIOR TO PLACEMENT OF CONCRETE OVER THE BOND WIRE CONNECTIONS. CONNECTIONS DIRECTLY FROM THE POOL LIGHT TO A TRANSFORMER BOX IS PROHIBITED. ALL METAL PARTS IN THE POOL AREA, IN ADDITION TO ALL METAL DOORS, WINDOWS, SCREENED ENCLOSURES, OR OTHERS ITEMS CONTAINING METAL WITHIN A DISTANCE OF 5 FEET FROM THE POOL WATER'S EDGE, SHALL ALSO BE GROUNDED.
- POOL LIGHT TO BE GROUNDED TO COMMON BONDING GRID CONSISTING OF (1) #8 CONTINUOUS COPPER WIRE LOOPED AROUND POOL PERIMETER, LOOP SHALL BE GROUNDED TO PANEL VIA POOL WALL STEEL, DECK REINFORCING, AND PUMP MOTOR CASING.
- FILTER BACKWASH SHALL COMPLY WITH THE FLORIDA BUILDING CODE, 2007 EDITION.
- POOL WATER DISPOSAL TO BE IN ACCORDANCE WITH FLORIDA BUILDING CODE, 2007 EDITION.
- TEMPERATURE OF SPA WATER SHALL BE SET SO THAT MAXIMUM WATER TEMPERATURE DOES NOT EXCEED 102 DEGREES FAHRENHEIT.
- UPON VISUAL INSPECTION SITE SOIL REVEALS A COMBINATION OF UNDISTURBED SAND AND LIMESTONE. AN ALLOWABLE BEARING CAPACITY VALUE OF 2000 PSF HAS BEEN UTILIZED FOR DESIGN PURPOSES.
- ALL TRENDS SHALL HAVE SLIP- RESISTING SURFACES PER ANSI/NSPI-5-2003. 6.1.5
- ACCESS GATE REQUIREMENTS PER F.B.C. 424.2.17.1.8
 - GATES SHALL BE EQUIPPED WITH A SELF-LATCHING & LOCKING DEVICE, 54" ABOVE FINISH GRADE ELEVATION.
 - THE DEVICE SHALL BE PLACED ON THE POOL SIDE OF THE GATE.
 - GATES SHALL OPEN OUTWARD AWAY FROM POOL.
 - THE GATE SHALL HAVE NO OPENINGS GREATER THAN 1/2" WITHIN 18" OF THE RELEASE MECHANISM.
- THIS POOL HAS BEEN DESIGNED TO ALL APPLICABLE REQUIREMENTS OF THE FLORIDA BUILDING CODE, SECTION 424.2.2, 2007 EDITION.
- ENTRAPMENT PROTECTION FOR SUCTION OUTLETS HAS BEEN DESIGNED PER ANSI/APSP-7 2006 AND ASME A11.19.8-2007
- ALL MAIN DRAIN GRATE COVERS, SKIMMERS, VACUUM FITTINGS AND ALL OTHER SUCTION OUTLET SHALL COMPLY WITH ASTM 112-19-8-7 AND ANSI-7 REQUIREMENTS (VGBA COMPLIMENT)
- ENGINEER WILL PROVIDE A SIGNED AND SEALED LETTER TO THE BUILDING OFFICIAL STATING THAT SOIL BEARING CONDITIONS ARE AS ASSUMED.

POOL DATA CHART

POOL SPECIFICATIONS

Pool Shape: AS SHOWN
 Maximum Length (FT): 29'-4"
 Maximum Width (FT): 16'-0"
 Deep End (FT): 4'-11"
 Shallow End (FT): 3'-0"
 Pool Area(SF): 470.0
 Pool Perimeter(LF): 90'-8"
 Pool Volume (GAL): 14,100
 Turnover Rate(HR): 2 HR
 Interior Finish: DIAMOND BRITE
 Waterline Tile: 6"
 Tile on Steps: YES
 Tile on Swimout: YES
 Coping: 8"
 Pump Size (HP): 1.5 HP PENTAIR (100 GPM)
 Filter System: CARTRIDGE Filter Size (SF): 150
 Inlets: 4 Maindrains: 2
 2" Vacuum Line w/Safety Lock: ONE
 Automatic Surface Skimmer: ONE
 Underwater Safety Light: (1) 300 WATT
 Electrical Pool Hookup: BY CONTRACTOR
 Patio Finish: BY OTHERS Patio Size (SF): N/A
 Deck Drains (LF): NONE Fence: AS SHOWN
 Pool Miscellaneous Items:
 1.) CHILD SAFETY FENCE
 2.) 140,000 BTU HEAT PUMP
 3.) INTELICHLOR SALT CHLORINATOR

48 HOURS BEFORE DIGGING
CALL
 TOLL FREE
 1-800-432-4770
 SUNSHINE STATE
 ONE CALL CENTER OF FLORIDA

100% LOT COVERAGE = 7,451 S.F.
 LANDSCAPE COVERAGE (MIN):
 40% LOT COVERAGE = 1,800 S.F.
 ACTUAL LANDSCAPE COVERAGE: 4,913 SF = 65.93%
 BUILDING AND POOL COVERAGE (MAX.):
 45% LOT COVERAGE = 3,352 S.F.
 ACTUAL BUILDING AND POOL COVERAGE:
 2,538 S.F. = 34.06%

48 HOURS PRIOR TO EXCAVATING
 CONTRACTOR SHALL CALL FOR LOCATION
 OF UNDERGROUND UTILITIES
 SUNSHINE ONE-CALL 1-800-432-4770
 CITY OF MIAMI BEACH 305-673-7080

**PUBLIC WORKS
 PLAN REVIEW NOTICE**

Phone 305-673-7080 Fax 305-673-7028

THIS PLAN REVIEW CONSTITUTES APPROVAL FOR
 OBTAINING BUILDING PERMITS ONLY.

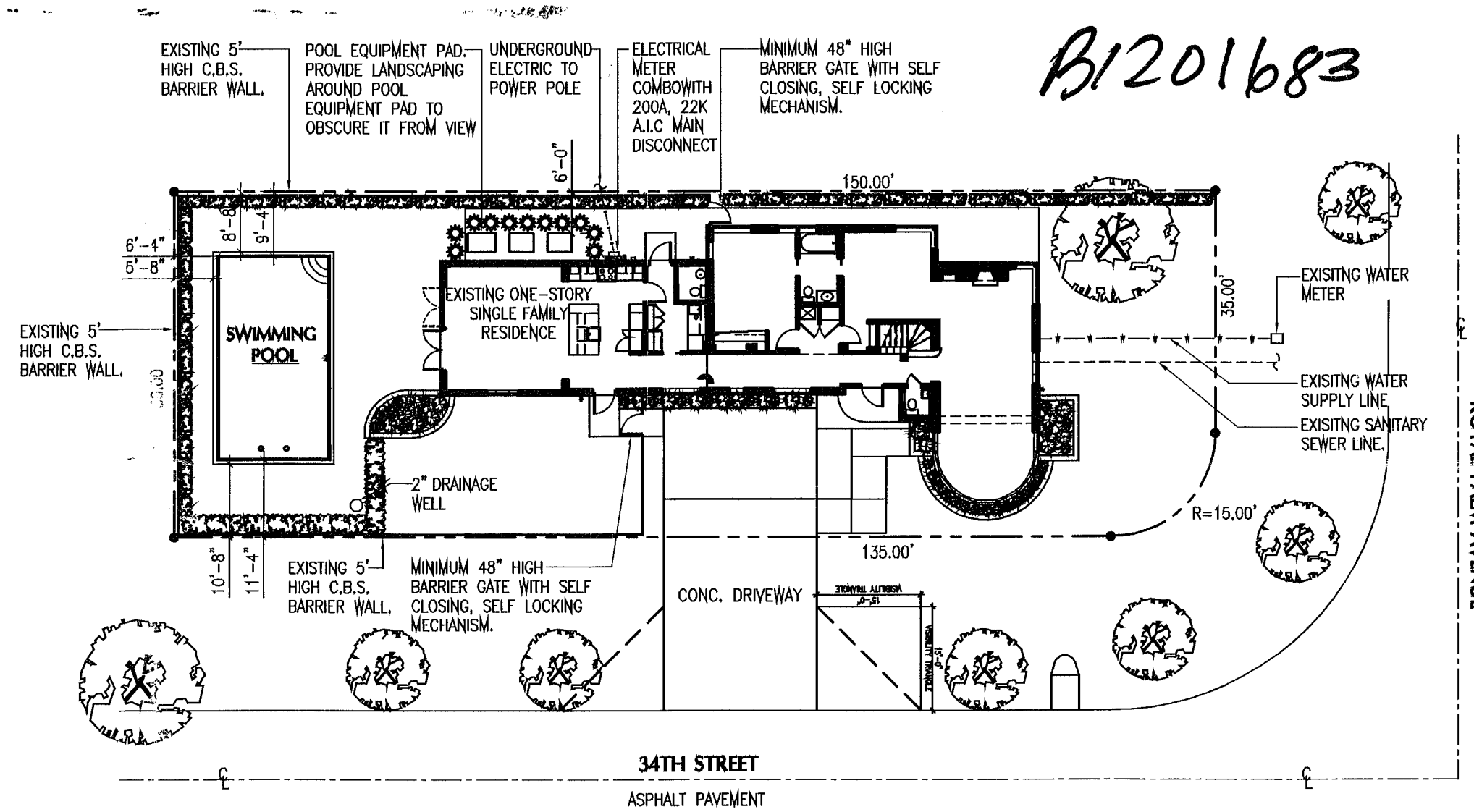
All construction and/or use of equipment in the right-of-way and/or easements, requires a separate Public Works Department permit prior to start of construction.

Permit Requirements: Proof of existing sidewalk/swale area conditions (pictures) and/or posting of sidewalk/roadway bonds (Public Works Inspection of the right-of-way will be required prior to final sign-off on the C.C. / C.O., or the release of bonds.)

Approved/Reviewed By: *B. Durall* Date: *1/31/12*

OFFICE COPY
 CITY OF MIAMI BEACH
 APPROVED FOR PERMIT BY
 THE FOLLOWING:

BUILDING: *[Signature]*
 ZONING: *[Signature]*
 DRB/HPB: *[Signature]*
 CONCURRENCY: *[Signature]*
 PLUMBING: *[Signature]*
 ELECTRICAL: *[Signature]*
 MECHANICAL: *[Signature]*
 FIRE PREVENTION: *[Signature]*
 ENGINEERING: *[Signature]*
 PUBLIC WORKS: *[Signature]*
 STRUCTURAL: *[Signature]*
 ELEVATOR: *[Signature]*



LEGAL DESCRIPTION:
 LOT 13, BLOCK 45, PLAT OF ORCHARD SUBDIVISION
 NO. 1, ACCORDING TO THE PLAT THEREOF, AS
 RECORDED IN PLAT BOOK 6 AT PAGE 111 OF THE
 PUBLIC RECORDS OF MIAMI DADE COUNTY FLORIDA.

SITE PLAN
 SCALE 1" = 20'-0"

NOTICE: In addition to the requirement of this permit there may be additional restrictions applicable to this property that may be found in the Public Records of this County and there may be additional permits required from other government entities such as water management's districts, state agencies, or federal agencies. The City of Miami Beach assumes no responsibility for accuracy of or results from these plans which are approved subject to compliance with all Federal, State, and Local Laws, Rules, and Regulations.

Aquatic Construction Management, LLC
 Sid Sidan
 260 Crandon Blvd. #32 PMB#132
 Key Biscayne, FL 33149
 Office (786) 228-8699

AQUADYNAMICS
 AQUATIC ENGINEERING CONSULTANTS
 8000 SW 78th Avenue Suite 400, Miami, Florida 33155
 Phone: (305) 877-8774 Fax: (305) 862-0002
 E-MAIL: info@aquadynamics.com WEBSITE: www.aquadynamics.com

NOTICE TO BUILDER
 TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE INFORMATION CONTAINED ON THESE DRAWINGS CONFORMS TO THE STANDARDS SET FORTH IN THE FLORIDA BUILDING CODE. WE WILL NOT BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO THE START OF THE WORK, AND NOTIFYING THE ARCHITECT OF ANY DISCREPANCIES PERTAINING TO THE PERMISSIBLE REGULATORY COMPLETION OF THE PROJECT INDICATED.

PROJECT NAME:
 Swimming Pool
 3193 ROYAL PALM AVENUE
 MIAMI BEACH, FL

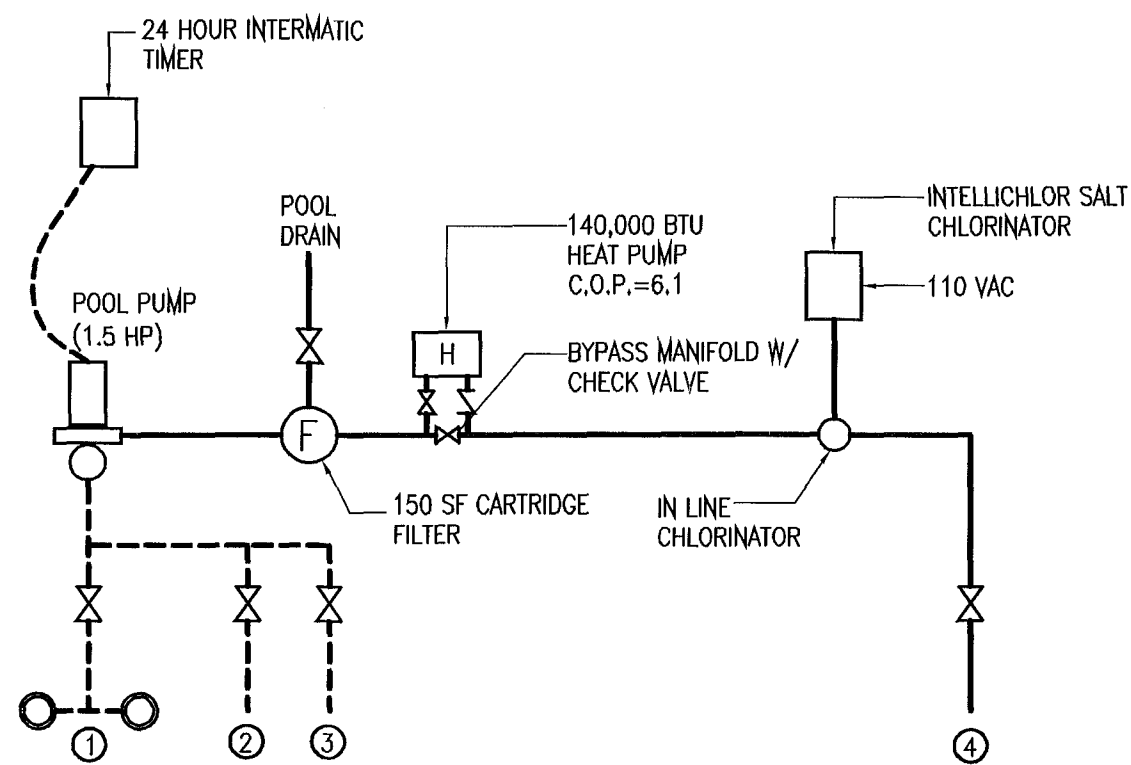
JOB No.	01-20-12
DATE	
DRAWN BY	D.W.
SCALE	AS NOTED
SHEET	SHEET 1 OF 5

Professional Engineer Seal
 No. 55839
 State of Florida
 Aquatic Construction Management, LLC

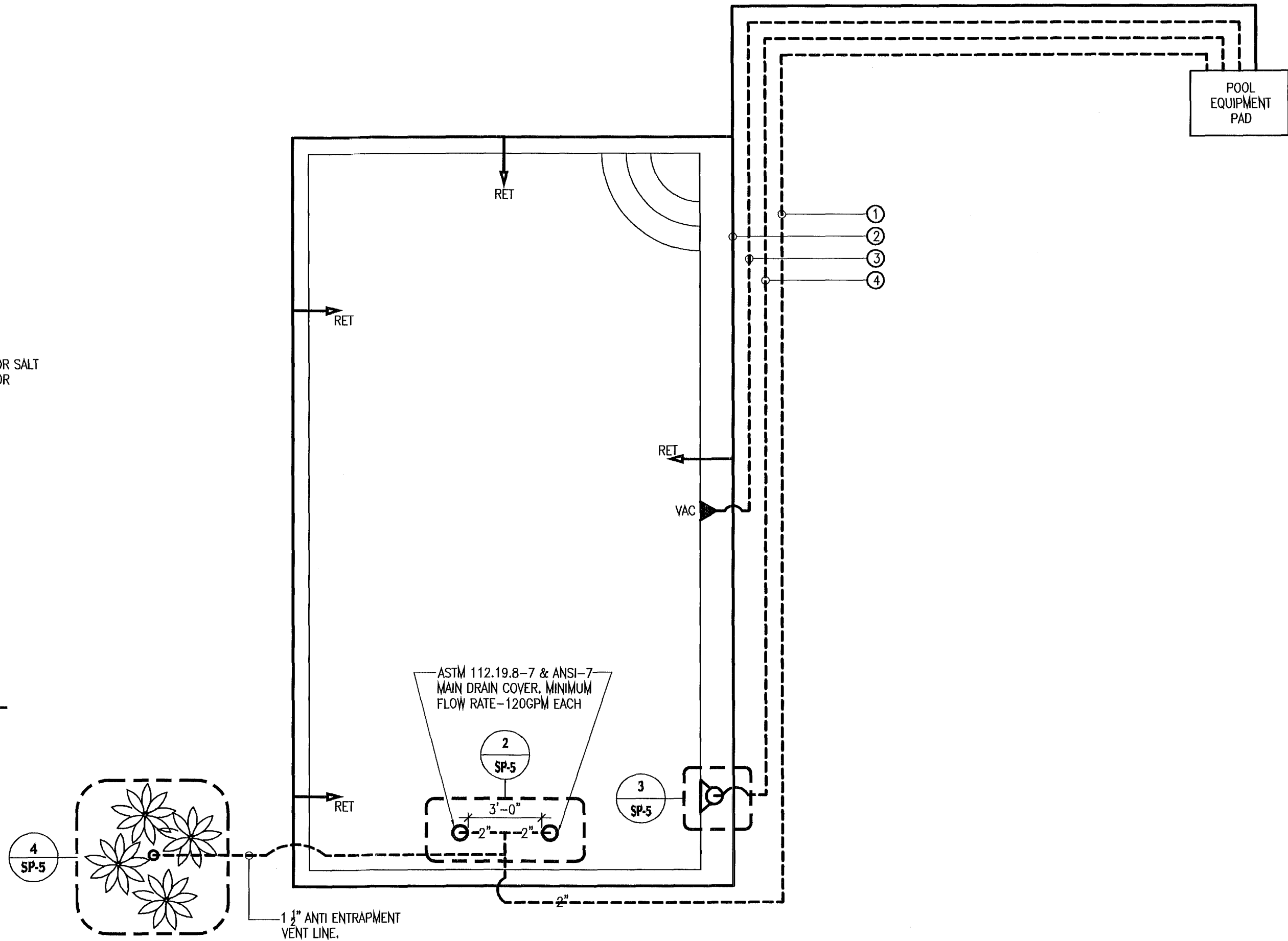
DRAWING NUMBER
 SP-1

PLAN LEGEND	
	PVC SCHEDULE 40 NSF APPVD. PIPE (SUPPLY LINE) MAX VELOCITY 10 F.P.S.
	PVC SCHEDULE 40 NSF APPVD. PIPE (SUCTION LINE) MAX VELOCITY 8 F.P.S.
	PVC SCHEDULE 40 NSF APPVD. PIPE (VENT LINE)
	SUCTION OUTLET COVER V.G.B SERIES ANSI/APSP-7 COMPLIANT
	2" VACUUM FITTING WITH VAC LOCK COVER
	TOP LOADING NSF APPROVED SURFACE SKIMMER
	1 1/2" ADJUSTABLE EYEBALL POOL RETURN FITTING

PIPING LEGEND		
I.D. No.	DESCRIPTION	SIZE
①	POOL MAIN DRAIN SUCTION	2"
②	POOL VACUUM LINE	2"
③	POOL SKIMMER LINE	2"
④	POOL MAIN RETURN LINE	2"



POOL FLOW DIAGRAM
SCALE: N.T.S.



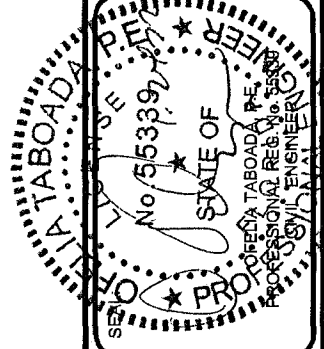
POOL PIPING PLAN
SCALE: 1/4"=1'-0"

AQUADYNAMICS
AQUATIC ENGINEERING CONSULTANTS
10000 SW 15th Avenue, Suite 102, Miami, Florida 33155
Phone: (305) 887-8878 Fax: (305) 887-1002
E-Mail: info@aquadynamics.biz Web Site: www.aquadynamics.biz

NOTICE TO BUILDER
TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE INFORMATION CONTAINED ON THESE DRAWINGS CONFORMS TO THE STANDARDS SET IN THE FLORIDA BUILDING CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS PRIOR TO THE START OF THE WORK AND NOTIFYING THE ENGINEER AT ONCE OF ANY AND ALL ERRORS, DISCREPANCIES, IRREGULARITIES, OMISSIONS, OR OBTUSIONS. SUCCESSFUL COMPLETION OF THE PROJECT IS INDICATED.

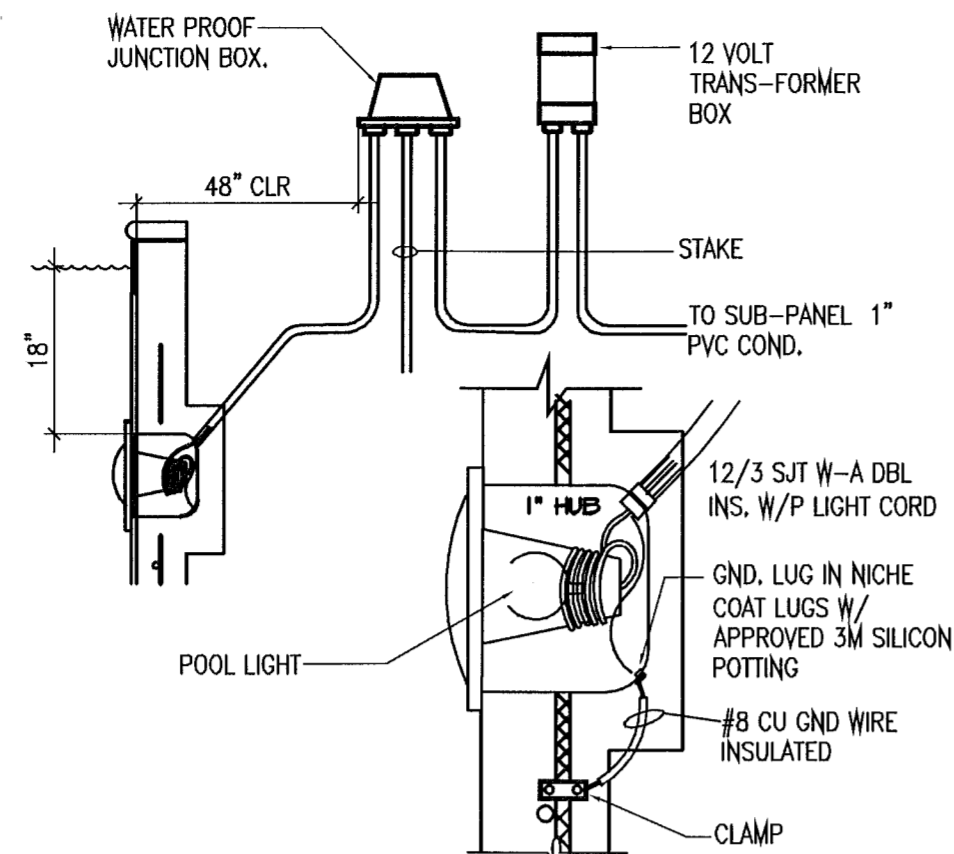
PROJECT NAME:
Swimming Pool
3193 ROYAL PALM AVENUE
MIAMI BEACH, FL

JOB No.	01-20-12
DATE	D.W
DRAWN BY	AS NOTED
SCALE	SHEET 4 OF 5
SHEET	

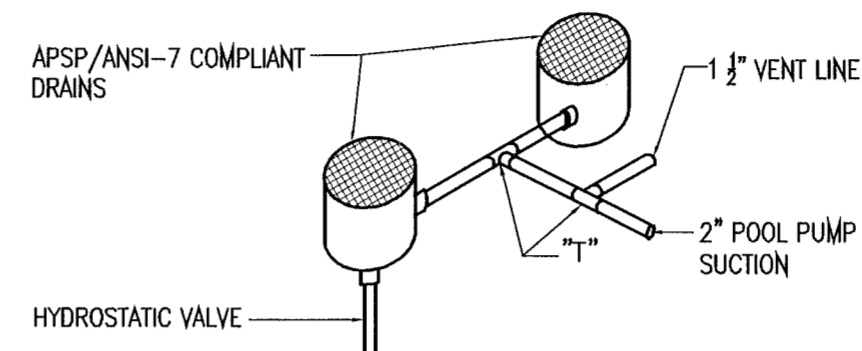


Aquatic Construction Management, LLC
Sid Sidan
260 Crandon Blvd. #32 PMB#132
Key Biscayne, FL 33149
Office (786) 228-8699

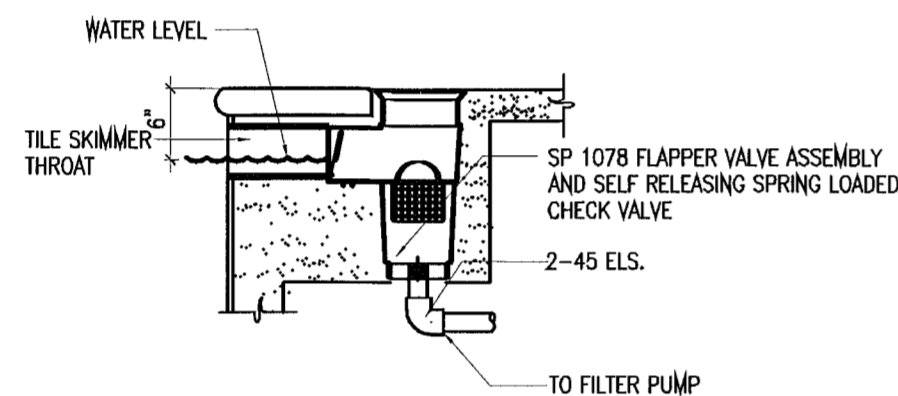
DRAWING NUMBER
SP-4



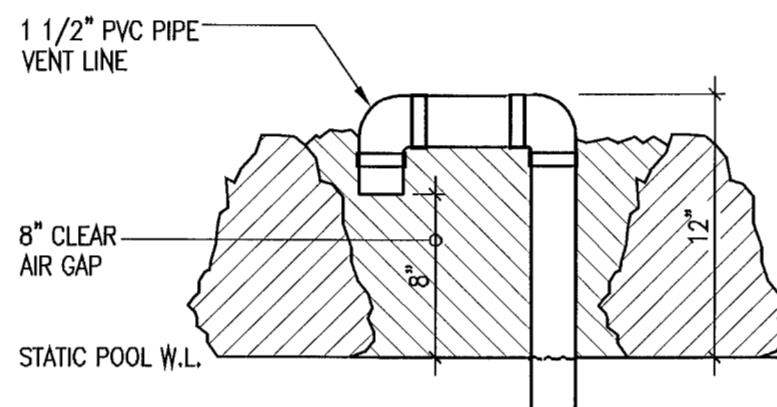
1 WET NICHE LIGHT DETAIL
SP-5 SCALE: N.T.S.



2 CONNECTION DETAIL
SP-5 SCALE: N.T.S. POOL DUAL MAIN DRAIN

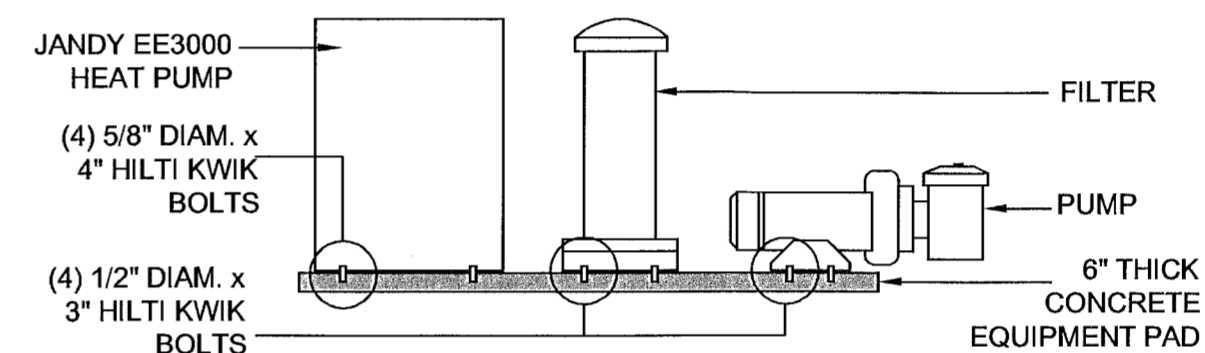


3 POOL SKIMMER DETAIL
SP-5 SCALE: N.T.S.



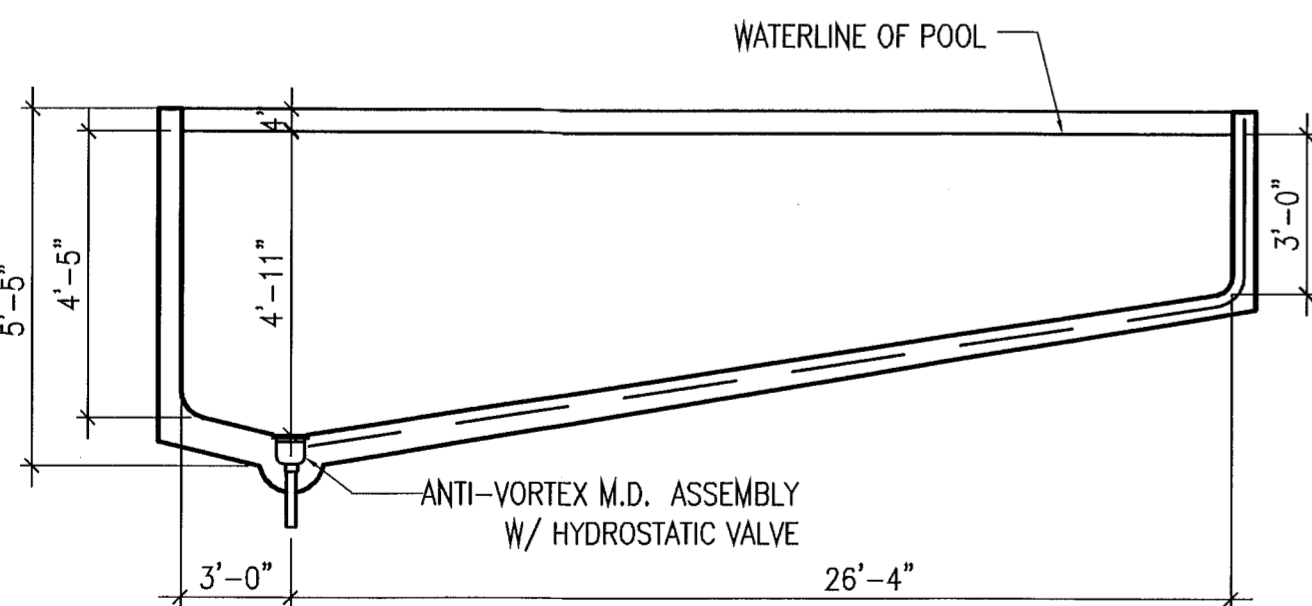
VENT LINE PIPE SHOULD BE LOCATED OUT OF DECK AREA IN A SECURE PLACE TO AVOID TRIP HAZARD

4 ANTI-ENTRAPMENT VENT LINE DETAIL
SP-5 SCALE: N.T.S.



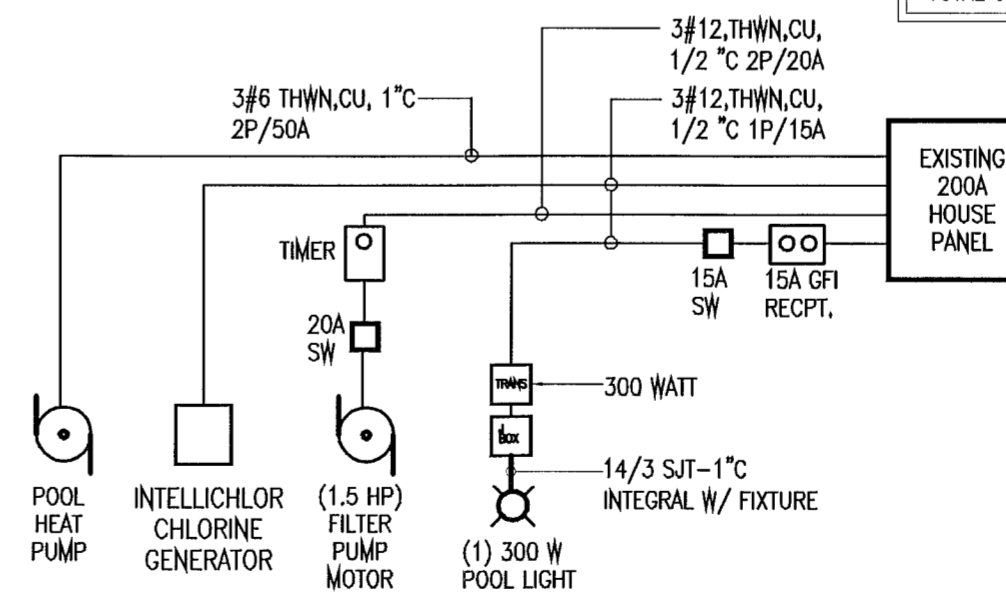
GENERAL NOTES:
1. POOL MECHANICAL EQUIPMENT ANCHORAGE HAS BEEN DESIGNED TO COMPLY WITH F.B.C. SECT. 301.12 AND WIND LOADS OF 150 MPH.
2. ALL EQUIPMENT SHALL BE PLACED ON A SINGLE EQUIPMENT SLAB. SEPARATE SLABS ARE NOT PERMITTED.

PUMP ANCHORAGE DETAIL
SCALE: N.T.S. FILTER/ PUMP/ HEATER



POOL PROFILE DETAIL
SCALE: N.T.S.

UPLIFT DATA	
TOP OF POOL WALL ELEVATION	+5.89'
BOTTOM SLAB ELEVATION	+0.48'
COUNTY FLOOD CRITERIA	+5.89'
DEDUCT BOTTOM SLAB ELEVATION	+0.48'
POOL UPLIFT FORCE	+5.41'
DEDUCT 2.00' ALLOWED FOR USE OF 2" HYDROSTATIC PRESSURE RELIEF VALVE (-2.00')	(-) 2.00'
RESULTANT UPLIFT FORCE	+3.41'
SLAB THICKNESS REQUIRED	SEE CALCULATIONS"



POOL & SPA ELECTRICAL SCHEMATIC
SCALE: N.T.S.

POOL LOAD CALCULATION	
POOL FILTER PUMP 1 AT 100% =	2,300 WATTS
POOL LIGHTS 1 AT 100% =	300 WATTS
INTELLICHLOR CHLORINE GENERATOR =	150 WATTS
HEAT PUMP 1 AT 100% =	8,880 WATTS
SUB-TOTAL =	11,630 WATTS
TOTAL DEMAND 11,630 WATTS / 240 V = 48.45 AMPS.	
FACTOR OF SAFETY = 1.25	
TOTAL CURRENT DEMAND: 60.31 AMPS.	

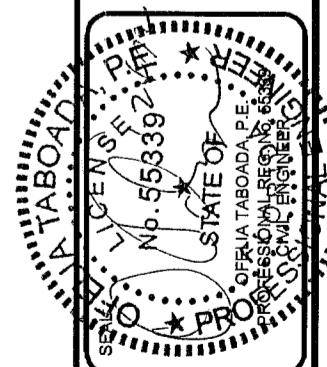
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PROJECT NAME: Swimming Pool
3193 ROYAL PALM AVENUE
MIAMI BEACH, FL

JOB No.	01-20-12
DATE	D.W
DRAWN BY	AS NOTED
SCALE	SHEET
SHEET	SHEET 5 OF 5

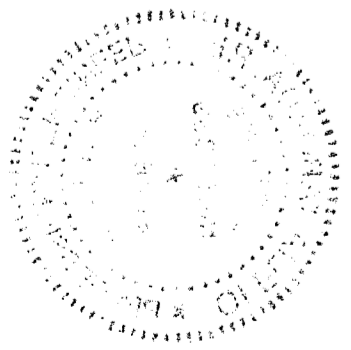
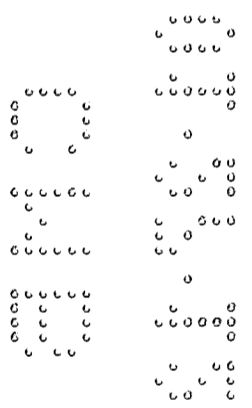
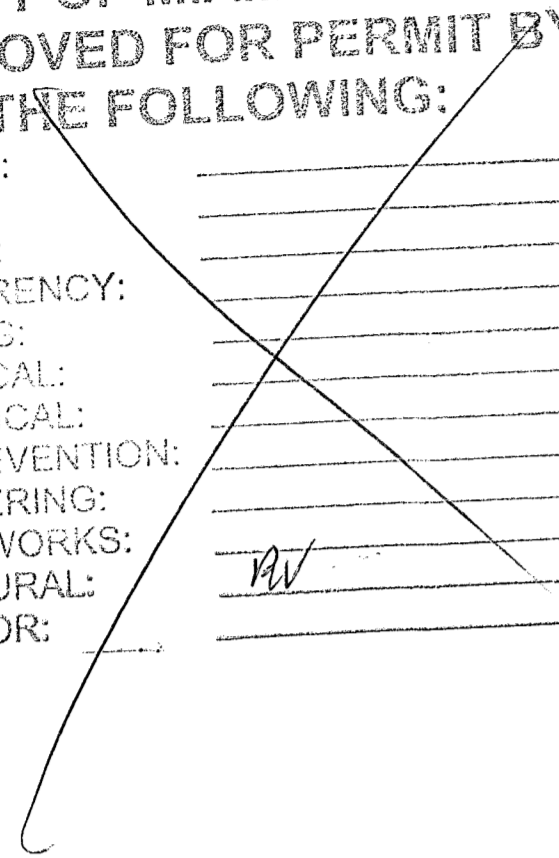


DRAWING NUMBER
SP-5

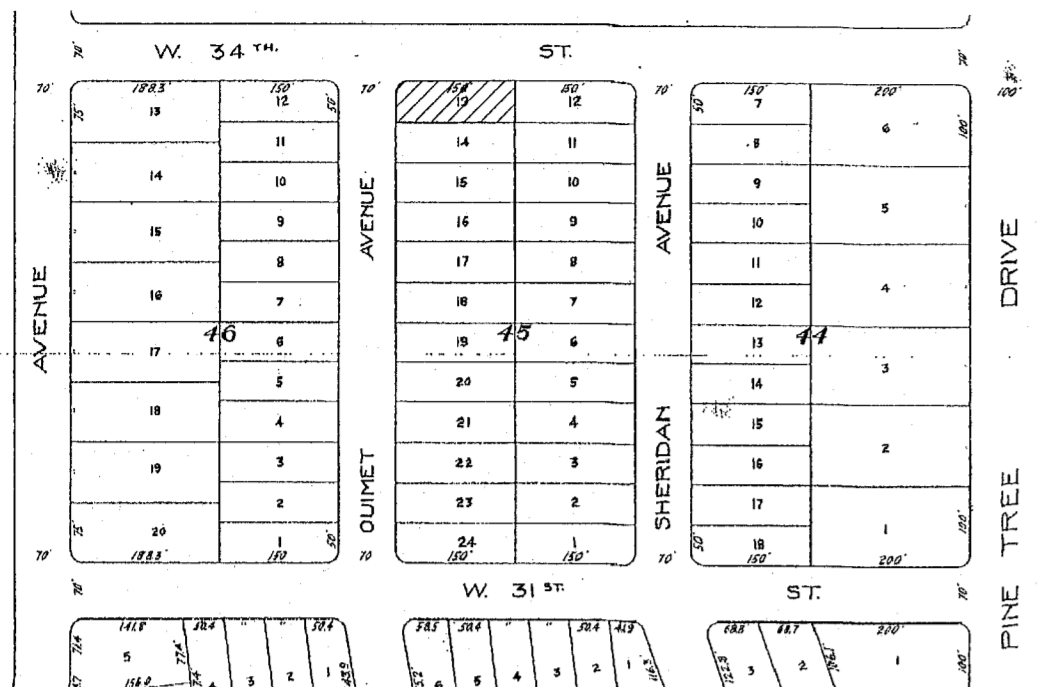
Handwritten initials/signature.

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

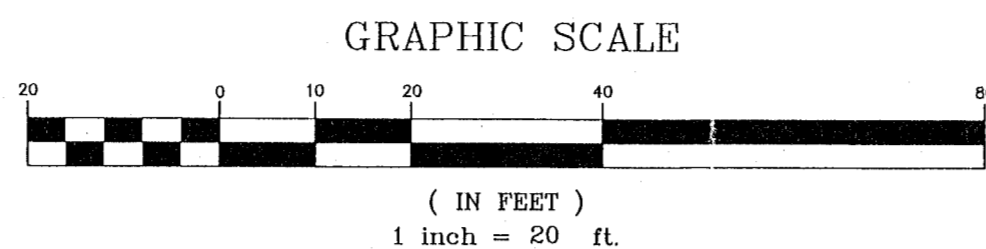
BUILDING: _____
ZONING: _____
DRB/HPB: _____
CONCURRENCY: _____
PLUMBING: _____
ELECTRICAL: _____
MECHANICAL: _____
FIRE PREVENTION: _____
ENGINEERING: _____
PUBLIC WORKS: _____
STRUCTURAL: *AV* _____
ELEVATOR: _____



BOUNDARY SURVEY



LOCATION SKETCH
NOT TO SCALE



LEGAL DESCRIPTION: Lot 13, Block 45, PLAT OF ORCHARD SUBDIVISION NO. 1, according to the Plat thereof, as recorded in Plat Book 6 at Page 111 of the Public Records of Dade County, Florida, now known as Miami-Dade County, Florida.

SURVEY FOR: 3193 ROYAL PALM AVENUE, LLC
3193 ROYAL PALM AVENUE
MIAMI BEACH, FLORIDA 33140

I HEREBY CERTIFY: That the SKETCH OF SURVEY of the above captioned property was completed under my supervision and/or direction, to the best of my knowledge and belief. This survey meets or exceeds the Minimum Technical Standards set forth by the Florida Board of Land Surveyors in Chapter 5J-17 Florida Administrative Code. Pursuant to Section 472.027, Florida Statutes.

DELTA SURVEYORS, INC.
13052 SW 133RD COURT
MIAMI, FLORIDA 33186

DELTA SURVEYORS, INC.
Waldo F. Paez
WALDO F. PAEZ DATE SIGNED: 12-28-11
PROFESSIONAL SURVEYOR AND MAPPER
NO. 3284
STATE OF FLORIDA

CERTIFICATE OF AUTHORIZATION
L.B. NO. 3386
STATE OF FLORIDA

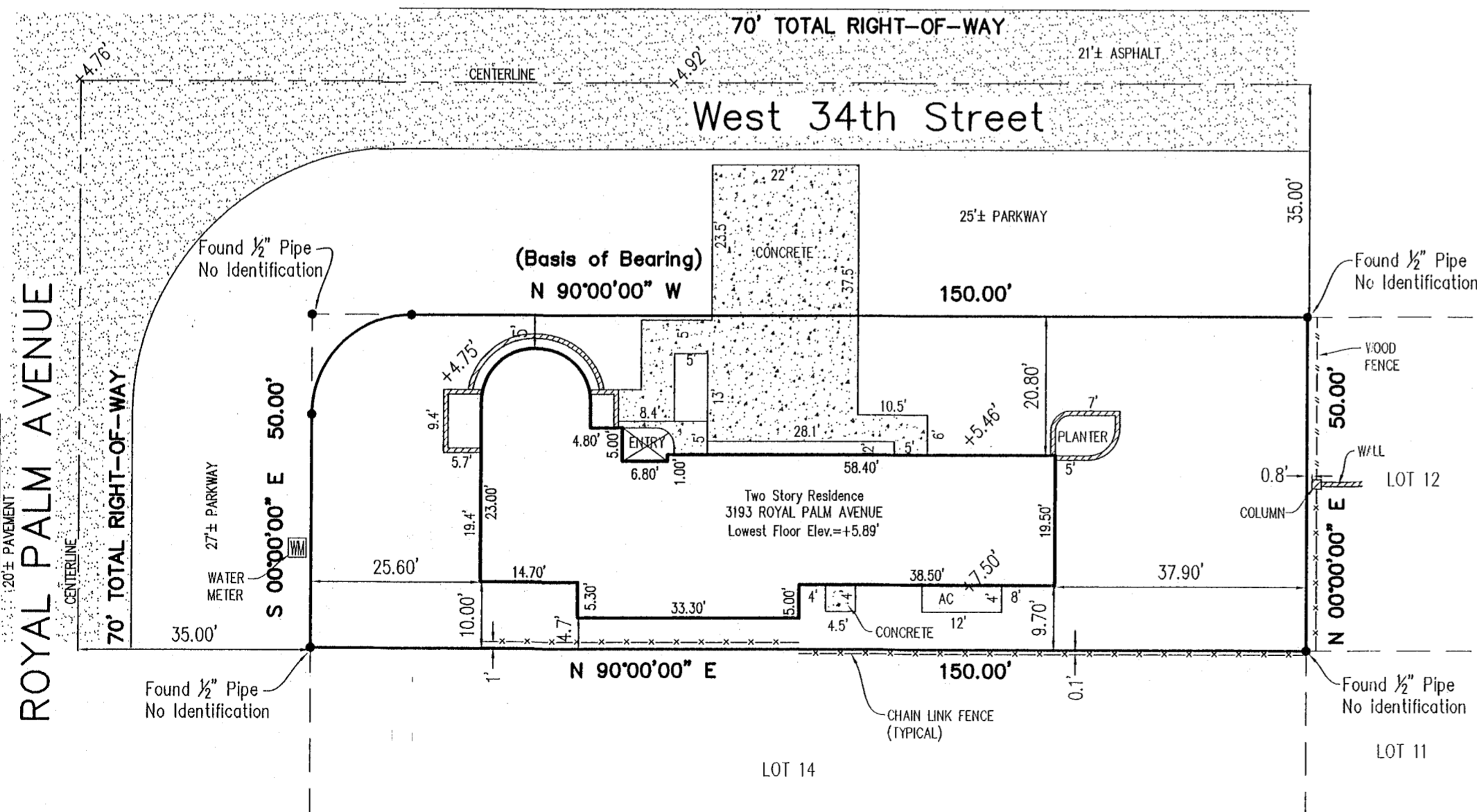
305-253-0909
FAX: 305-253-0933

- 1) FLOOD ZONE: AE BASE: +8.0' PANEL NO. 12086C0317 L COMMUNITY NO. 120651 DATE OF MAP: 9-11-09
- 2) THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY
- 3) EXAMINATION OF ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING PROPERTY
- 4) THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED, IT IS NOT A CERTIFICATION OF TITLE, ZONING, EASEMENTS, OR FREEDOM OF ENCUMBRANCES. ABSTRACT NOT REVIEWED
- 5) LOCATION AND IDENTIFICATION OF UTILITIES, IF ANY ARE SHOWN IN ACCORDANCE WITH RECORDED PLAT
- 6) OWNERSHIP IS SUBJECT TO OPINION OF TITLE
- 7) TYPE OF SURVEY: BOUNDARY SURVEY
- 8) THE HEREIN CAPTIONED PROPERTY WAS SURVEYED AND DESCRIBED BASED ON THE SHOWN LEGAL DESCRIPTION: PROVIDED BY CLIENT
- 9) SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID AND FOR REFERENCE ONLY, UNLESS SIGNED AND SEALED WITH THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER
- 10) THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON. THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTIES
- 11) UNDERGROUND UTILITIES ARE NOT DEPICTED HEREON, CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK OR CONSTRUCTION ON THE PROPERTY HEREIN DESCRIBED. SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVIATION FROM UTILITIES SHOWN HEREON.
- 12) THE SURVEYOR OF RECORD DOES NOT DETERMINE OWNERSHIP OF FENCES. MEASUREMENTS SHOWN HEREON DEPICT PHYSICAL LOCATION OF FENCE
- 13) ACCURACY: THE EXPECTED USE OF LAND AS CLASSIFIED IN THE MINIMUM TECHNICAL STANDARDS (5J-17 FAC), IS "SUBURBAN". THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THE TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 7500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THIS REQUIREMENT
- 14) IN SOME INSTANCES, GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE RELATIONSHIPS BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. IN ALL CASES, DIMENSIONS SHOWN SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.
- 15) NO ATTEMPT HAS BEEN MADE TO LOCATE ANY FOUNDATION BENEATH THE SURFACE OF THE GROUND.
- 16) CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK ON THE HEREIN DESCRIBED PARCEL FOR BUILDING AND ZONING INFORMATION.
- 17) ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES

IF ELEVATIONS ARE SHOWN, THEY ARE BASED ON A CLOSED LEVEL LOOP USING THIRD ORDER PROCEDURE AND ARE RELATIVE TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929.
0.0 DENOTES EXISTING ELEVATION
ELEVATION REFERS TO THE NATIONAL GEODETIC VERTICAL DATUM OF MEAN SEA LEVEL OF 1929
BENCHMARK: D-131 ELEVATION: +8.73'
LOCATOR INDEX: 3234 NE

BEARINGS HEREON ARE REFERRED TO AN ASSUMED VALUE OF NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST FOR THE SOUTH RIGHT-OF-WAY LINE OF WEST 34TH STREET

FIELD SURVEY DATE: 12-27-11 SCALE: 1" = 20'
DRAWING DATE: 12-28-11 FB: SKETCH DRAWN BY: M.A.B. DRAWING NO.: 11-0691



LOT 14

LOT 11



Delta Surveyors, Inc.
EST. 1975
13052 SW 133RD COURT MIAMI, FL 33186
PHONE: (305) 253-0909 E-MAIL: DELTAPAEZ@AOL.COM



BOUNDARY SURVEY

REVISIONS	DATE	REMARKS

DATE: 12-23-2011

SCALE: 1" = 20'

DRAWN BY: M.A.B.

DRAWING NO: 11-0691 Y



OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY
THE FOLLOWING:

- BUILDING: [Signature] 1/31/12
- ZONING: [Signature] 1/27/12 [Signature] 1/30/12
- DRB/HPB: _____
- CONCURRENCY: _____
- PLUMBING: [Signature] 1/29/12
- ELECTRICAL: [Signature] 1/27/12
- MECHANICAL: [Signature] 01/27/12
- FIRE PREVENTION: _____
- ENGINEERING: _____
- PUBLIC WORKS: [Signature] 1/30/12
- STRUCTURAL: [Signature] 01/27/12
- ELEVATOR: _____

