

PENNSYLVANIA TOWNHOMES

1020 PENNSYLVANIA AVENUE. MIAMI BEACH, FLORIDA. 33139
NEW MULTI-FAMILY DWELLING WITH UNDERSTORY



FINAL SUBMITTAL

HPB24-0618 / 05.16.2025

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FL. LIC: AA 26000837



ADDRESS & OWNER

NEW MULTI-FAMILY RESIDENCE
1020 PENNSYLVANIA AVE
MIAMI BEACH, FL. 33139
OWNER: 1020 PENNSYLVANIA INVESTMENT LLC

REVISION & DATE

DRAWING TITLE

COVER SHEET /
INDEX OF
DRAWINGS

SCALE: AS SHOWN
DATE: 06-16-2024

SHEET NUMBER

A-0.0

1020 Pennsylvania Requests

1. Modification of previously issued COA for the after-the-fact demolition to delete Condition C.1 of the Final Order
2. Certificate of Appropriateness for the construction of a multi-family residential building
3. Waiver of Section 7.1.2.2(c)(2)(A) to allow for a minimum height of 10 feet as opposed to 12 feet for the underside of the first slab

Proposed Modification to Previous Order

Page 2 of 4

HPB File No. 7431

Meeting Date: June 10, 2014

section 118-564 if the following conditions are met:

1. ~~Any future development on the site shall not exceed the total square footage of the previous structures.~~
2. A museum quality historic analysis and display of the existing structure, inclusive of a photographic and written description of the history and evolution of the original building and its changes of use over time, shall be submitted to and approved by staff, prior to the issuance of a Certificate of Occupancy or a Temporary Certificate of Occupancy for the new structure constructed on the site; such historic analysis shall be displayed prominently, in a location to be determined by staff.
3. A copy of all pages of the recorded Final Order shall be scanned into the plans submitted for building permit for the new structure constructed on the site, and shall be located immediately after the front cover page of the permit plans.
4. A revised landscape plan, prepared by a Professional Landscape Architect, registered in the State of Florida, and corresponding site plan, shall be submitted to and approved by staff. The species type, quantity, dimensions, spacing, location and overall height of all plant material shall be clearly delineated and subject to the review and approval of staff. At a minimum, such plan shall incorporate the following:

Modification of Previous Order

Previous Structure – 4,530 Square Feet

Proposed Structure – 8,662 Square Feet

Allowed by RM -1 Zoning – 8,750 Square Feet

a. The development regulations in the RM-1 residential multifamily, low density district are as follows:

DEVELOPMENT REGULATIONS TABLE (RM-1)	
Maximum FAR	1.25
west side of Collins Avenue between 76th and 79th Streets (MAP EXHIBIT-5)	1.4
Public and private institutions: Lot area equal to or less than 15,000 square feet	1.25
Public and private institutions: lot area greater than 15,000 square feet	1.4
Maximum Density (Dwelling Units per Acre)	60 DUA (80% bonus for workforce or affordable units)
MINIMUM UNIT SIZE (SQUARE FEET)	

Staff Report

Historic Preservation Board
HPB25-0647 a.k.a. HPB 7431 – 1020 Pennsylvania Avenue
June 17, 2025

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demolition permit was issued on March 25, 2014, and the buildings were subsequently demolished.

Pursuant to Section 2.13.1(d)(2)(A) of the Land Development Regulations, the previous property owner filed an After-the-Fact Certificate of Appropriateness for Demolition application. On June 10, 2014, the Board reviewed and approved the application, subject to conditions. Specifically, Condition C.1. of the final Order states: "Any future development on the site shall not exceed the total square footage of the previous structures" (approximately 4,530 sq. ft.).

The applicant, a new property owner, has submitted an application for a Certificate of Appropriateness (HPB24-0618) for the construction of a new 3-story, multi-family residential building on the site, which exceeds the total square footage of the previous structures by approximately 4,100 sq. ft. Consequently, the applicant is requesting to modify the final Order inclusive of the elimination of Condition C.1.

Staff believes that the proposed new architecture is appropriately scaled and massed in a manner consistent with the neighboring 2 and 3-story buildings and the surrounding historic district. Further, if condition C.1. remains, it may not be economically feasible to redevelop the site, as any new structure would be limited to approximately 50% of square footage permitted by Code. In light of the fact that the lot has remained vacant for over 10 years and has had an increasingly adverse impact on the surrounding historic district, staff has no objection to deletion of condition C.1. of the final Order.

RECOMMENDATION

In view of the foregoing analysis, staff recommends that the modification request for the previously granted After-the-Fact Certificate of Appropriateness be **approved**, subject to the conditions enumerated in the attached draft Order.

Understory Waiver

c. Understory Level Standards for Buildings

1. The use of the Understory shall be allowed in RS Districts for non-habitable purposes and subject to section 7.2.2.3 b.6. In RM Districts, in order to avoid the appearance of a dingbat, the following applies:
 - A. Where a commercial First Habitable Level (FHL) is allowed, the Understory Level (UL) shall be screened by non-residential uses according to section 7.1.6
 - B. For a multifamily building the Understory Level (UL) below the First Habitable Level (FHL) shall be screened by the lobby and other features described in section 7.1.6.
2. New Construction. In RM Districts, when parking or amenity areas are provided at the Understory Level (UL) below the First Habitable Level (FHL), the following requirements shall apply:
 - A. A minimum height of 12 feet shall be provided, as measured from Base Flood Elevation plus minimum Freeboard to the underside of the first floor slab. The design review board or historic preservation board, as applicable, may waive this height requirement by up to two feet, in accordance with the design review of certificate of appropriateness criteria, as applicable.
 - B. All ceiling and sidewall conduits shall be internalized or designed in such a manner as to be part of the architectural

Roof Overhang

- Reduced by two feet
- Max projection of 15%
- Previously projected 5 feet
- Code Allows for 25%/6 feet

7.5.3.2 Allowable encroachments within required yards for districts other than single-family districts.

o. *Projections.* Every part of a required yard shall be open to the sky, except as authorized by these land development regulations. The following may project into a required yard for a distance not to exceed 25 percent (25%) of the required yard up to a maximum projection of 6 feet, unless otherwise noted.

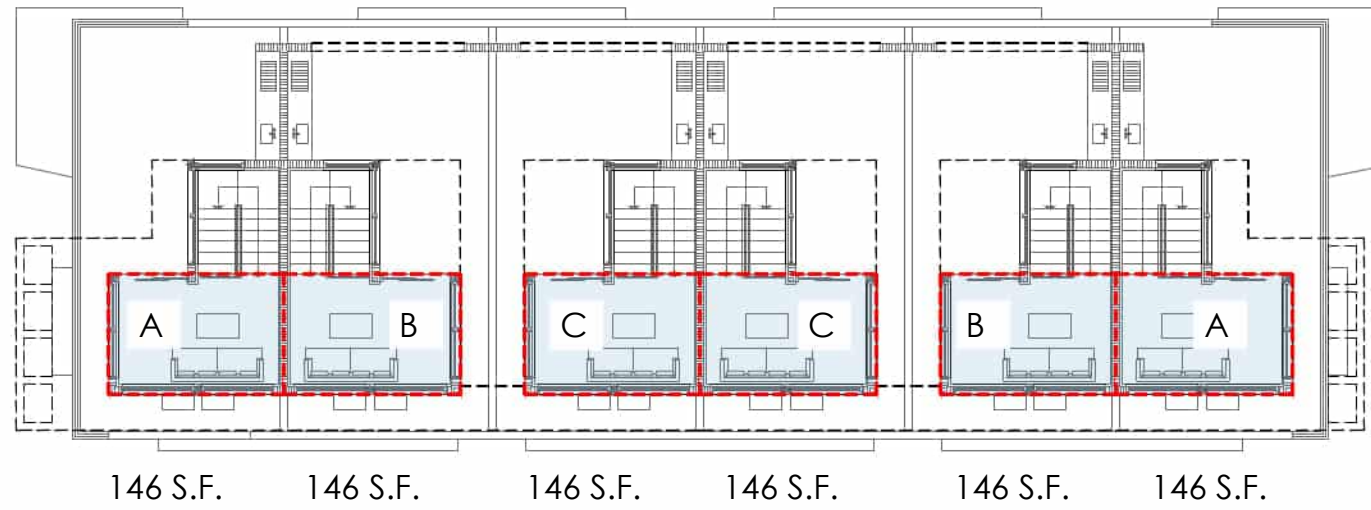
1. Belt courses.
2. Chimneys.
3. Cornices.
4. Exterior unenclosed private balconies.
5. Ornamental features.
6. Porches, platforms and terraces up to 30 inches above the adjusted grade elevation of the lot, as defined in [Chapter 1](#) of these Land Development Regulations.
7. Roof overhangs.
8. Sills.
9. Window or wall air conditioning units.
10. Bay windows (not extending floor slab).



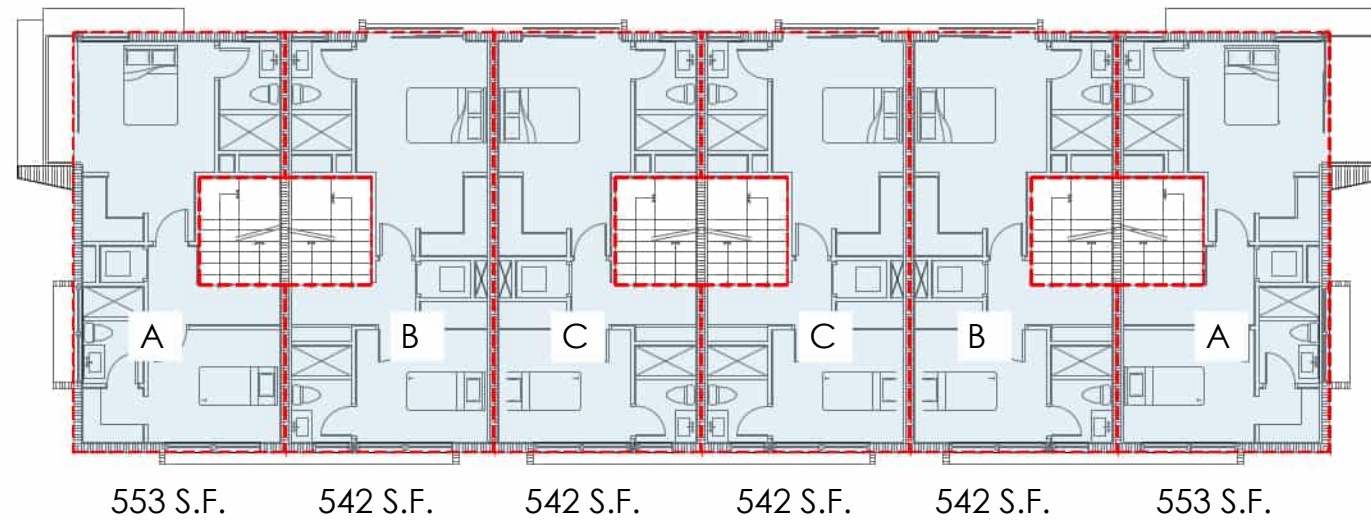
PREVIOUS VERSION



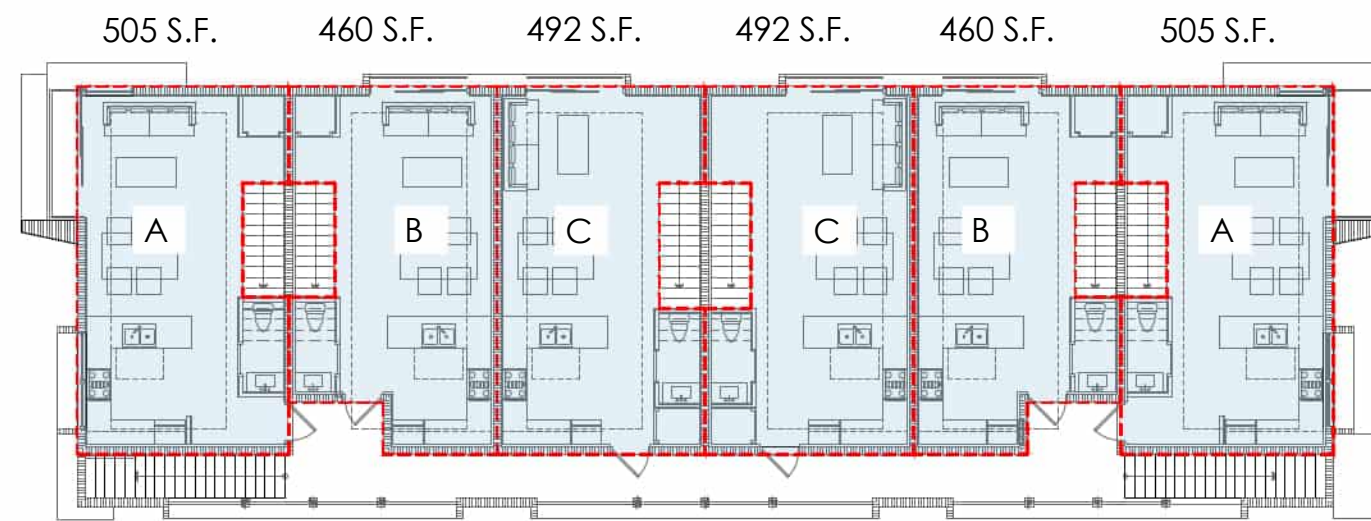
UPDATED VERSION



3 THIRD FLOOR UNIT SIZE
 1/16" = 1'-0" 



2 SECOND FLOOR UNIT SIZE
 1/16" = 1'-0" 



1 FIRST FLOOR UNIT SIZE
 1/16" = 1'-0" 

LIVING SPACE
 UNIT A = 1,204 S.F.
 UNIT B = 1,148 S.F.
 UNIT C = 1,180 S.F.

NOTES
 2- NOT INCLUDING STAIRS
 2- ALL UNITS
 2 -BR + 2.5 BATH + STUDY
 KITCHEN + LIVING RM



1 1044 PENNSYLVANIA AVE
EXISTING TWO-STORY BUILDING



2 1034 PENNSYLVANIA AVE
EXISTING ONE-STORY BUILDING



3 1026 PENNSYLVANIA AVE
EXISTING TWO-STORY BUILDING



4 1020 PENNSYLVANIA AVE
VACANT LOT



5 1010 PENNSYLVANIA AVE
EXISTING TWO-STORY BUILDING



6 1004 PENNSYLVANIA AVE
EXISTING THREE-STORY BUILDING



7 1003 PENNSYLVANIA AVE
EXISTING TWO-STORY BUILDING



8 1005 PENNSYLVANIA AVE
EXISTING TWO-STORY BUILDING



9 1023 PENNSYLVANIA AVE
EXISTING TWO-STORY BUILDING



10 1027 PENNSYLVANIA AVE
EXISTING THREE-STORY BUILDING



11 1035 PENNSYLVANIA AVE
EXISTING TWO-STORY BUILDING



12 1045 PENNSYLVANIA AVE
EXISTING TWO-STORY BUILDING



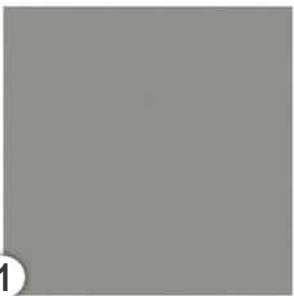
NEIGHBORHOOD AERIAL VIEW




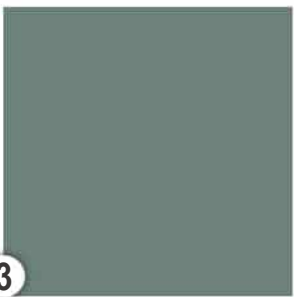



3D VIEW - FRONT


MATERIAL BOARD

- 

1 PAINTED STUCCO
ACCENT COLOR
(BENJAMIN MOORE
STREET CHIC, CSP45)
- 

2 PAINTED STUCCO
WALLS & CEILING
(BENJAMIN MOORE
CLOUD WHITE, OC-130)
- 

3 PAINTED STUCCO
ACCENT COLOR
(BENJAMIN MOORE
CEDAR MOUNTAINS,
706)
- 

4 CLEAR GLASS W/
BRONZE FRAMES.
(LOUVERS SAME
COLOR)
- 

5 NICHHA
ARCHITECTURAL
WOOD PANEL.
(VINTAGE WOOD,
BARK)



ADDRESS & OWNER

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REVISION & DATE

DRAWING TITLE

**3D VIEW &
MATERIALS**

SCALE: AS SHOWN

DATE: 06-16-2024

SHEET NUMBER

A-0.7

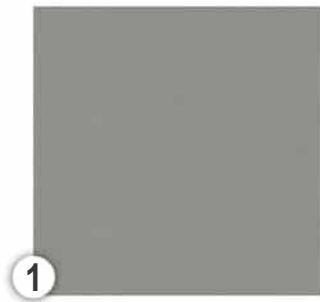


3D VIEW - SIDE ELEVATION (SOUTH)



3D VIEW - SIDE ELEVATION (NORTH)

MATERIAL BOARD



1
PAINTED STUCCO
ACCENT COLOR
(BENJAMIN MOORE
STREET CHIC, CSP45)



2
PAINTED STUCCO
WALLS & CEILING
(BENJAMIN MOORE
CLOUD WHITE, OC-130)



3
PAINTED STUCCO
ACCENT COLOR
(BENJAMIN MOORE
CEDAR MOUNTAINS,
706)



4
CLEAR GLASS W/
BRONZE FRAMES.
(LOUVERS SAME
COLOR)



5
NICHHA
ARCHITECTURAL
WOOD PANEL.
(VINTAGE WOOD,
BARK)



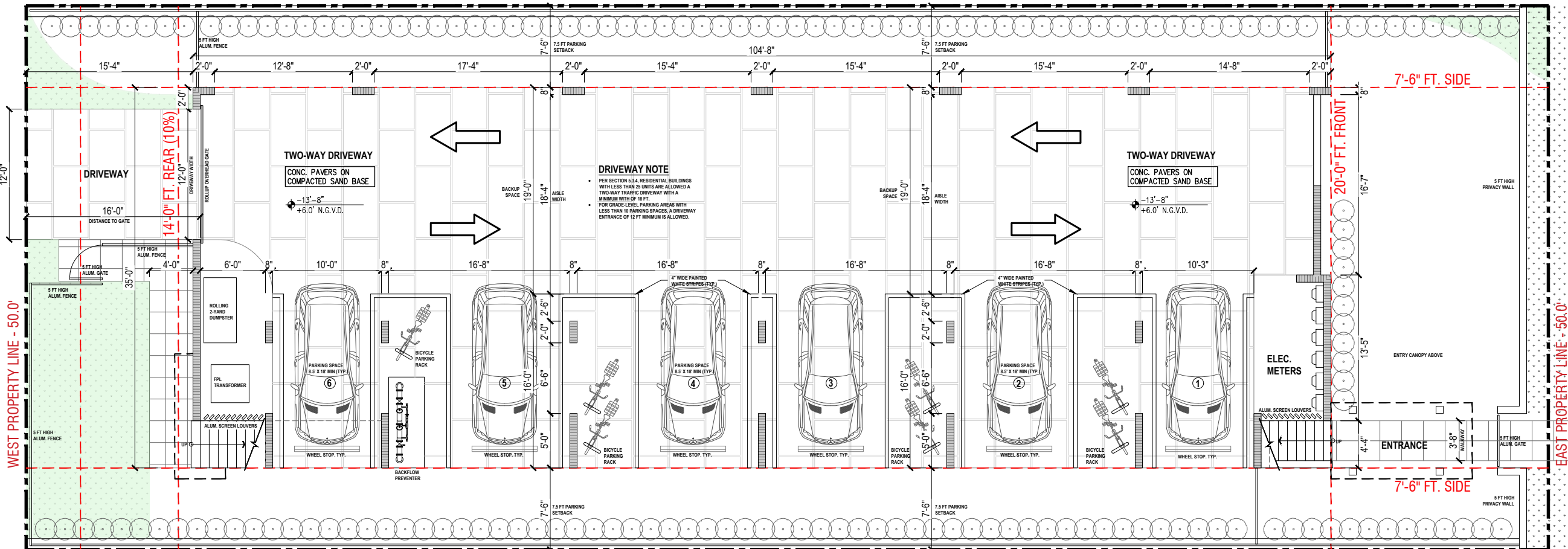
PENNSYLVANIA AVE.

EXISTING SIDEWALK

EXISTING PARKWAY

NORTH PROPERTY LINE - 140.0'

SOUTH PROPERTY LINE - 140.0'



DRIVEWAY NOTE
PER SECTION 5.1.4, RESIDENTIAL BUILDINGS WITH LESS THAN 25 UNITS ARE ALLOWED A TWO-WAY TRAFFIC DRIVEWAY WITH A MINIMUM WIDTH OF 18 FT. FOR GRADE-LEVEL PARKING AREAS WITH LESS THAN 10 PARKING SPACES, A DRIVEWAY ENTRANCE OF 12 FT. MINIMUM IS ALLOWED.

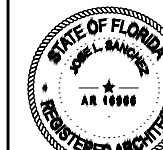
1 UNDERSTORY
3/32"=1'-0"

PENNSYLVANIA CT. (ALLEY)

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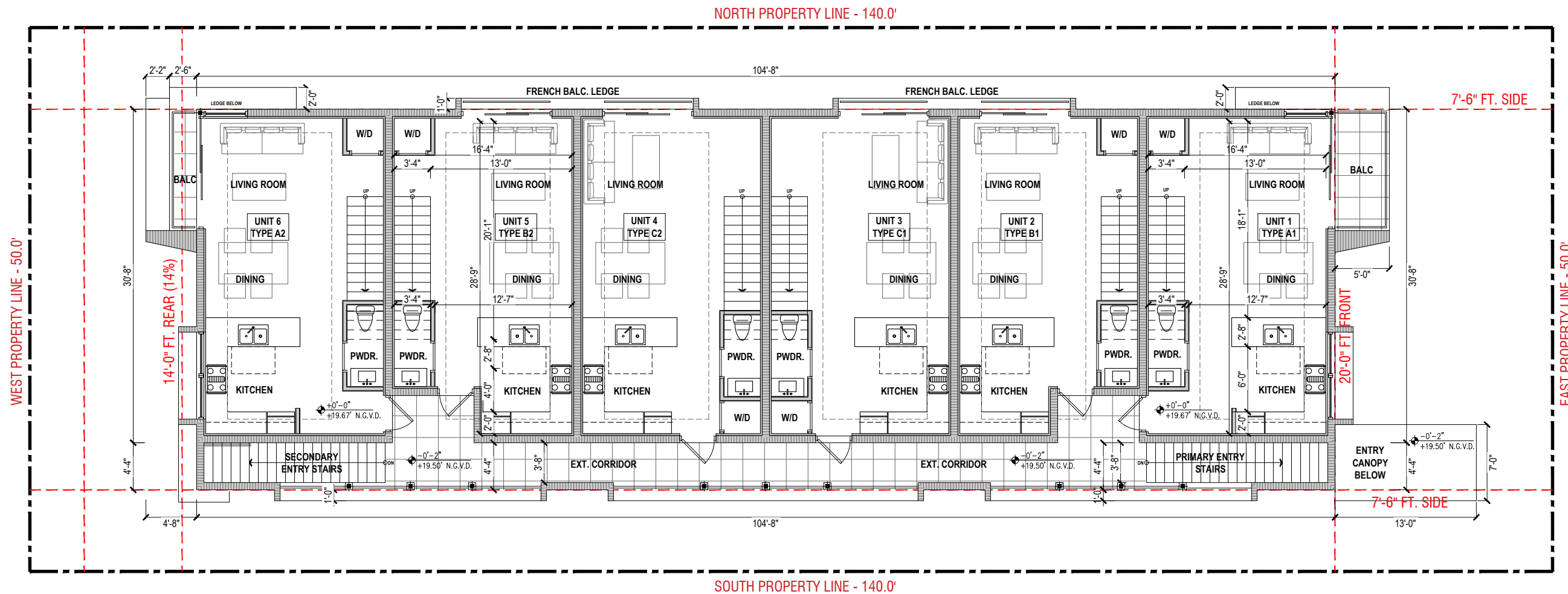
DRAWING TITLE

FIRST FLOOR PLAN

SCALE: AS SHOWN
DATE: 06-16-2024

SHEET NUMBER

A-2.2

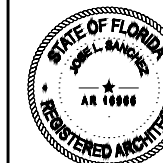


1 FIRST FLOOR PLAN
3/32"=1'-0"

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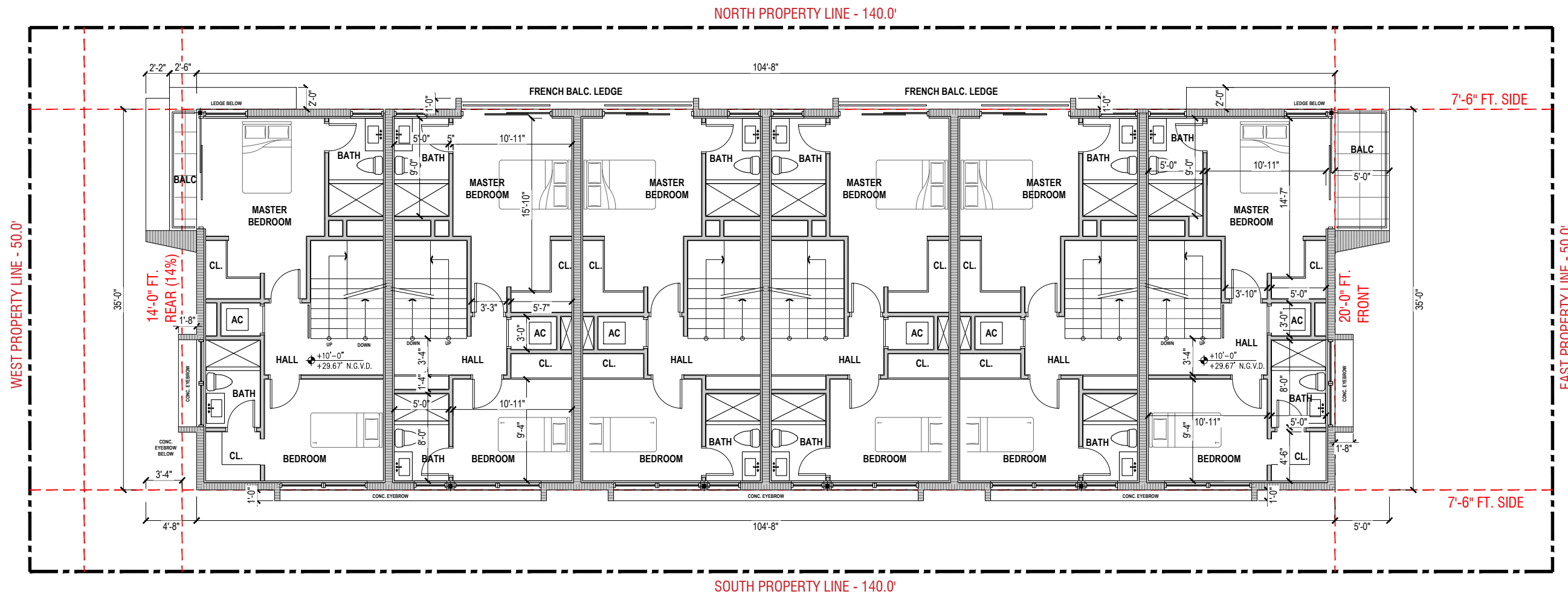
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SECOND FLOOR PLAN

SCALE: AS SHOWN
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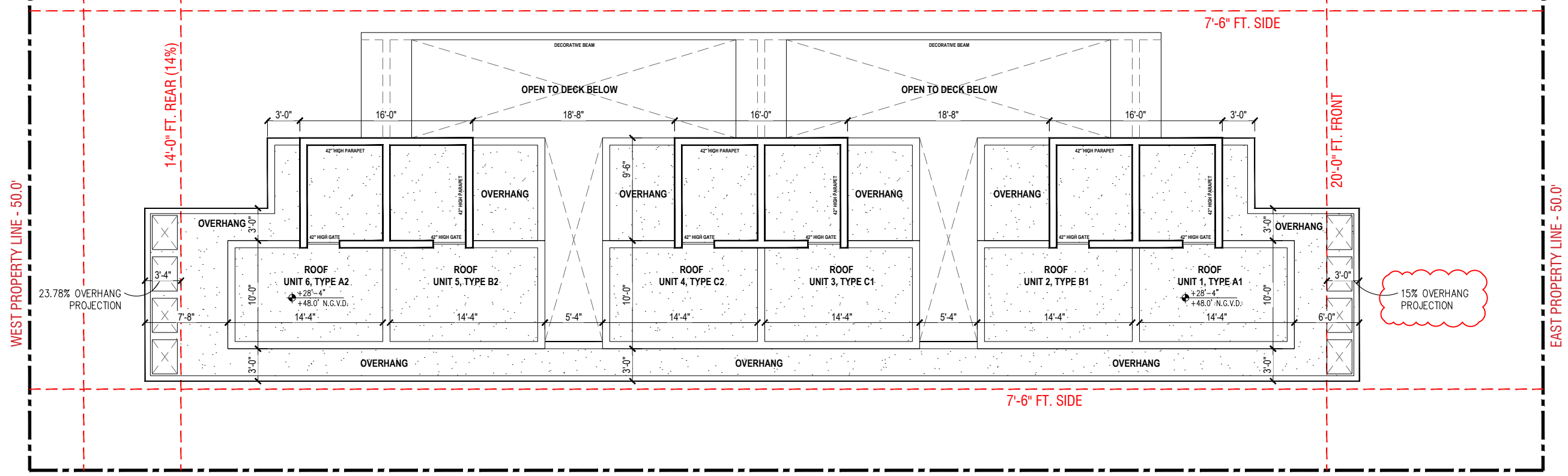
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A-2.3

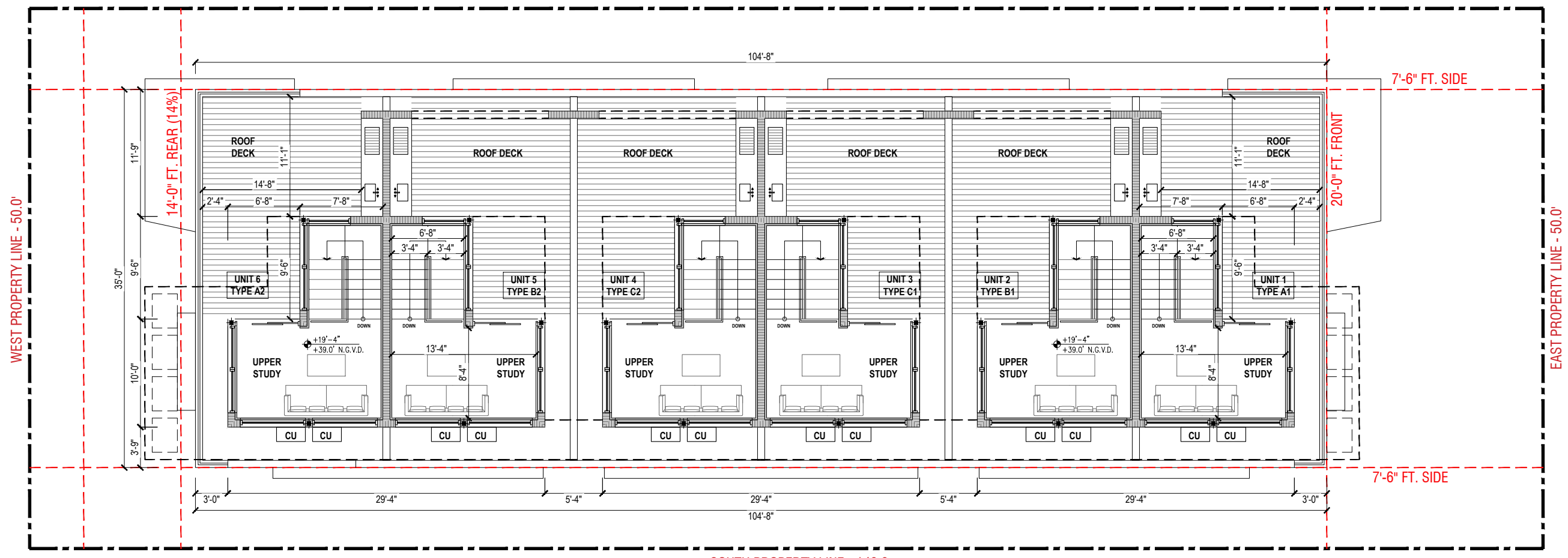


1 SECOND FLOOR PLAN

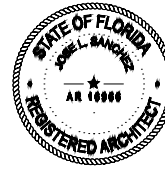
3/32"=1'-0"



2 ROOF PLAN
3/32"=1'-0"



1 THIRD FLOOR PLAN
3/32"=1'-0"



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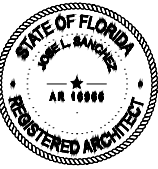
DRAWING TITLE

**THIRD FLOOR /
ROOF PLAN**

SCALE: AS SHOWN
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A-2.4



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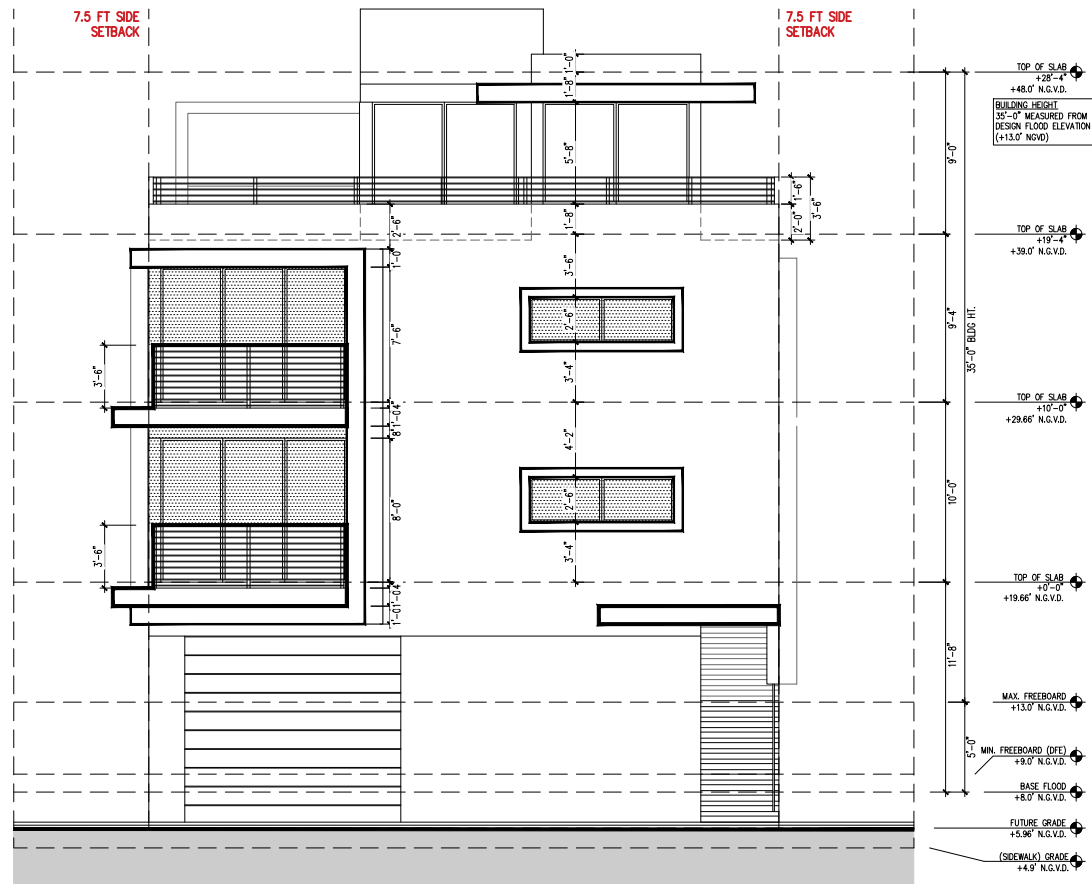
REVISION & DATE

DRAWING TITLE
EAST/WEST ELEVATIONS (FRONT/REAR)

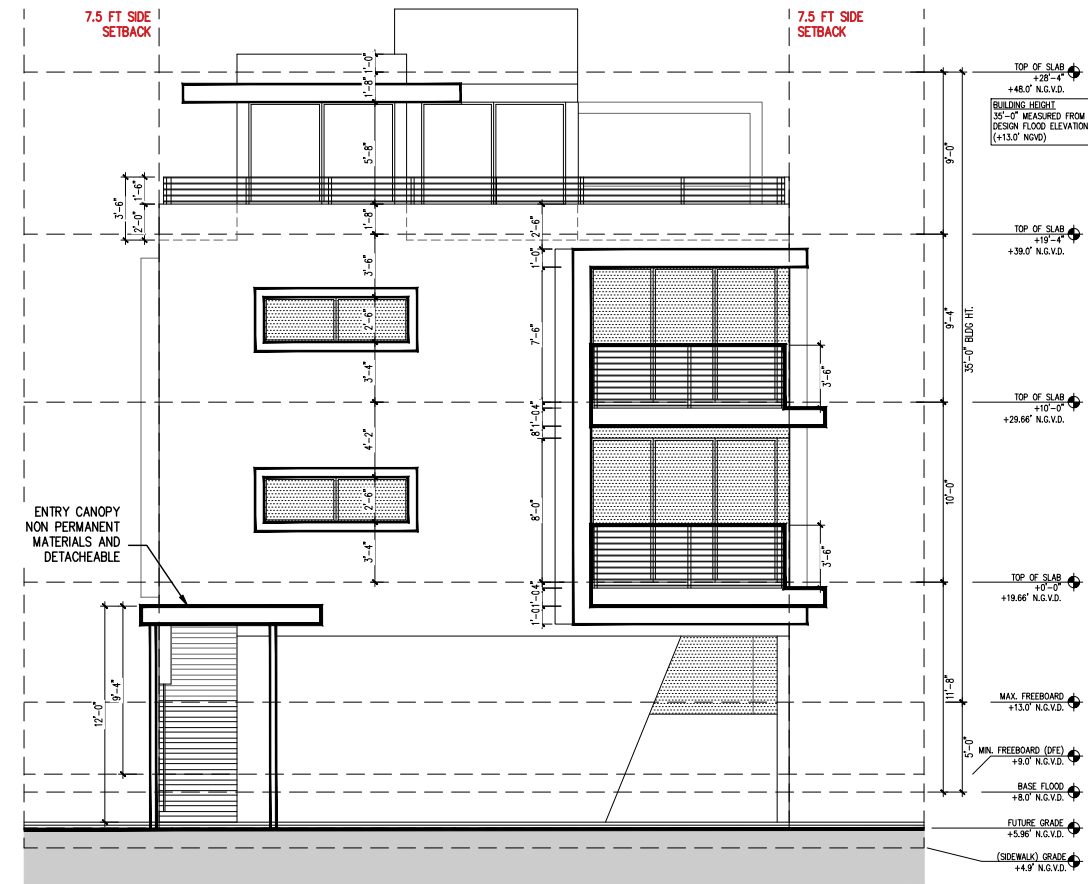
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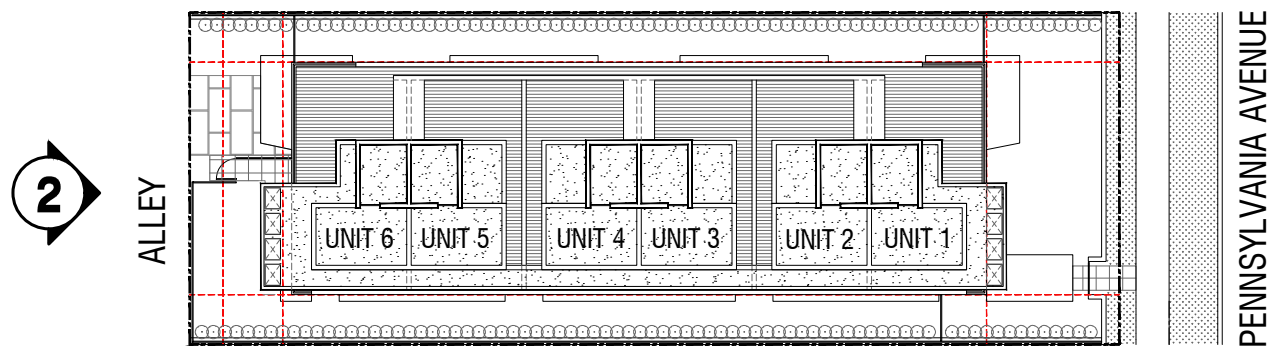
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2 WEST ELEVATION (REAR)
3/32"=1'-0"



1 EAST ELEVATION (FRONT)
3/32"=1'-0"



ELEVATION KEYPLAN
NOT TO SCALE

Conclusion

- Addressed staff's comments regarding canopy
- Reduced projection of the roof overhang
- Modification of previously issued COA for the after-the-fact demolition to delete Condition C.1 of the Final Order
- Certificate of Appropriateness for the construction of a multi-family residential building
- Waiver of Section 7.1.2.2(c)(2)(A) to allow for a minimum height of 10 feet as opposed to 12 feet for the underside of the first slab
- Modify condition C.1.A of new order to allow for the 3-foot projection of the roof overhang

Respectfully, requests approval of HPB25-0647 and HPB24-0618

400-840 sf.

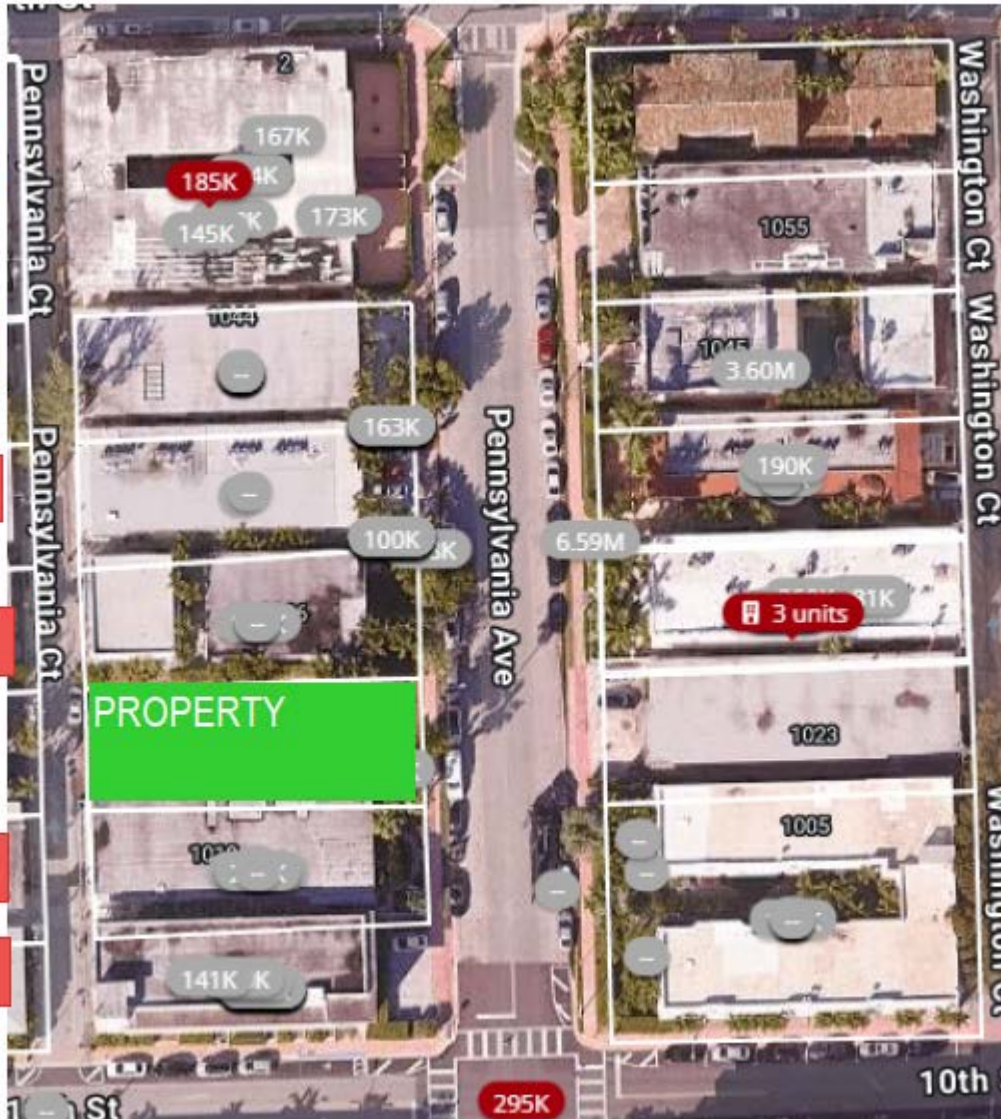
575 sf.

400-450 sf.

430 sf.

450-650 sf.

420-450 sf.



NO INFO

NO INFO

400-600 sf.

580-930 sf.

NO INFO

NO INFO

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- A-4.1 | SECTIONS

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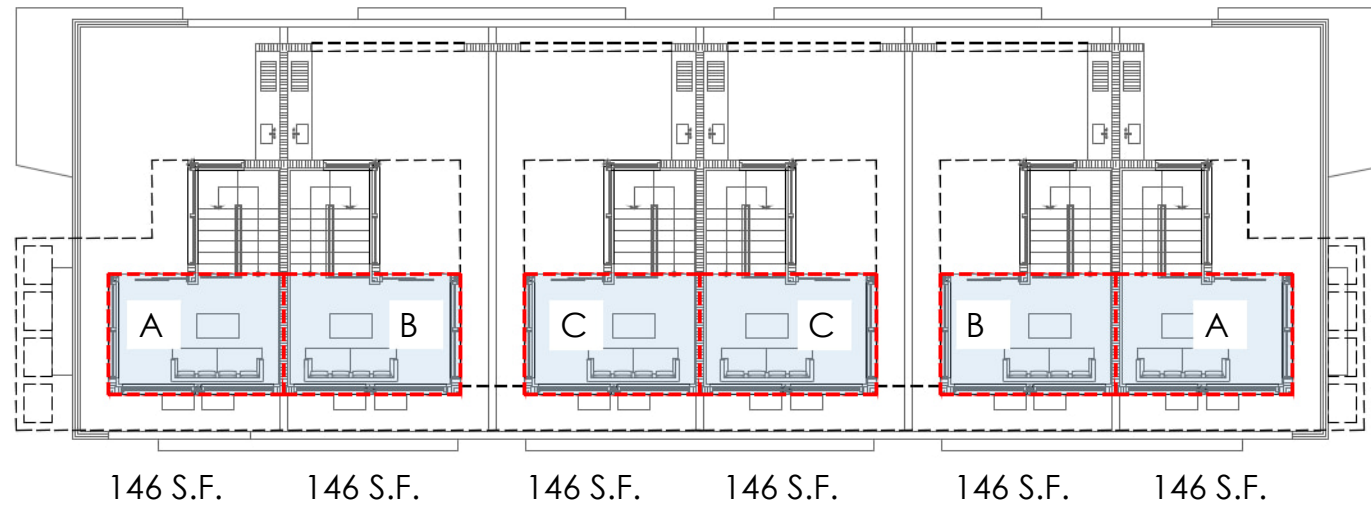
DRAWING TITLE

COVER SHEET /
INDEX OF
DRAWINGS

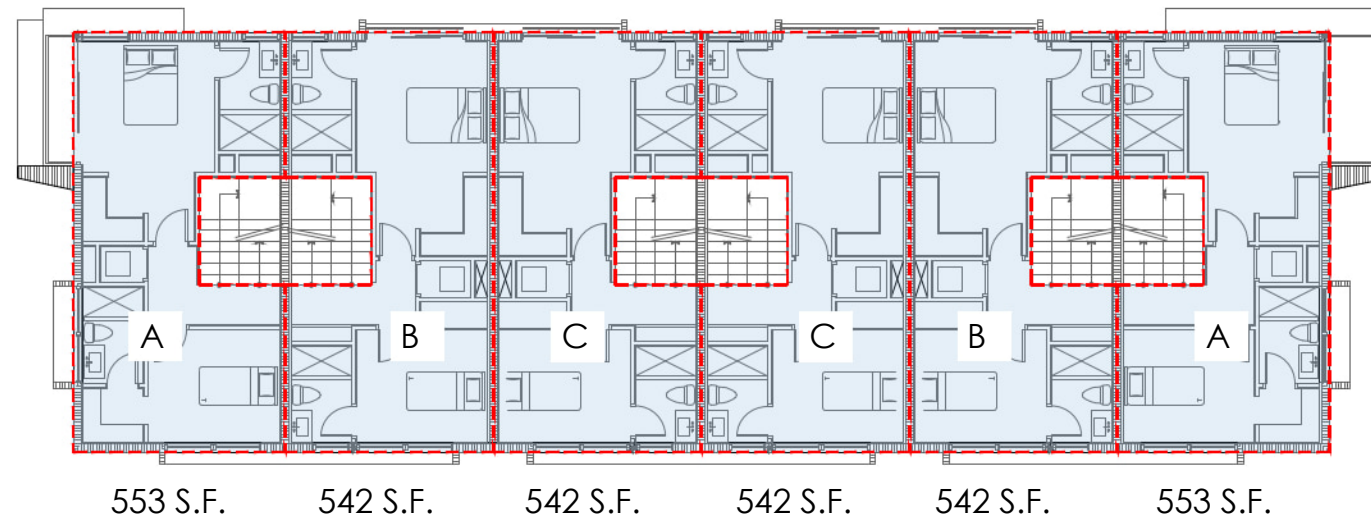
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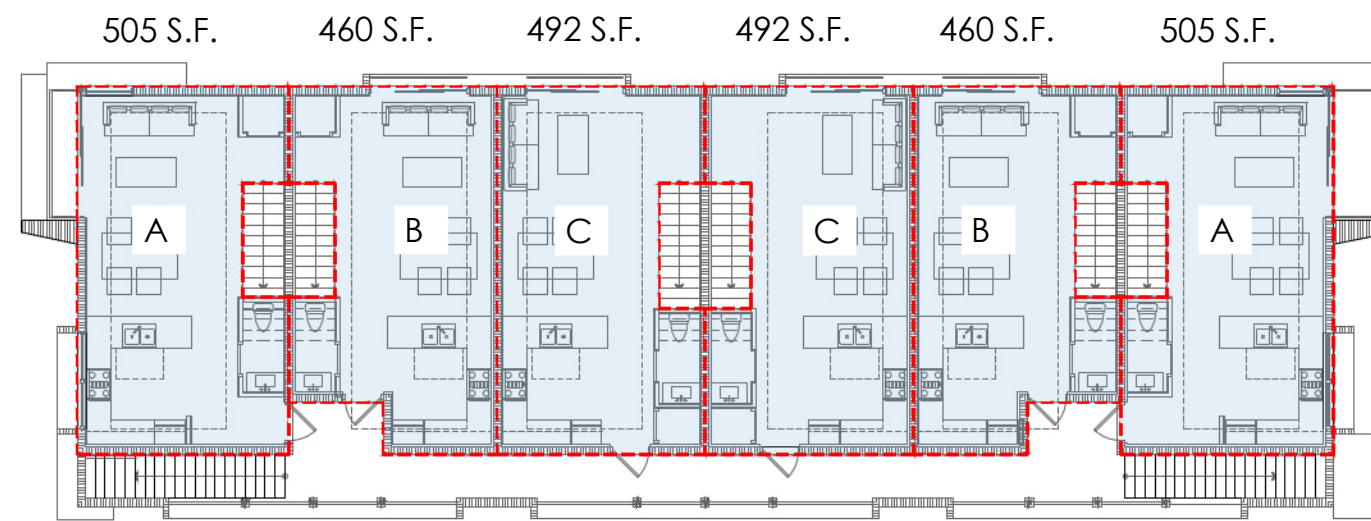
A-0.0



3 THIRD FLOOR UNIT SIZE
 1/16" = 1'-0"



2 SECOND FLOOR UNIT SIZE
 1/16" = 1'-0"



1 FIRST FLOOR UNIT SIZE
 1/16" = 1'-0"

LIVING SPACE
 UNIT A = 1,204 S.F.
 UNIT B = 1,148 S.F.
 UNIT C = 1,180 S.F.

NOTES
 2- NOT INCLUDING STAIRS
 2- ALL UNITS
 2 -BR + 2.5 BATH + STUDY
 KITCHEN + LIVING RM



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UNIT LIVEABLE SPACE

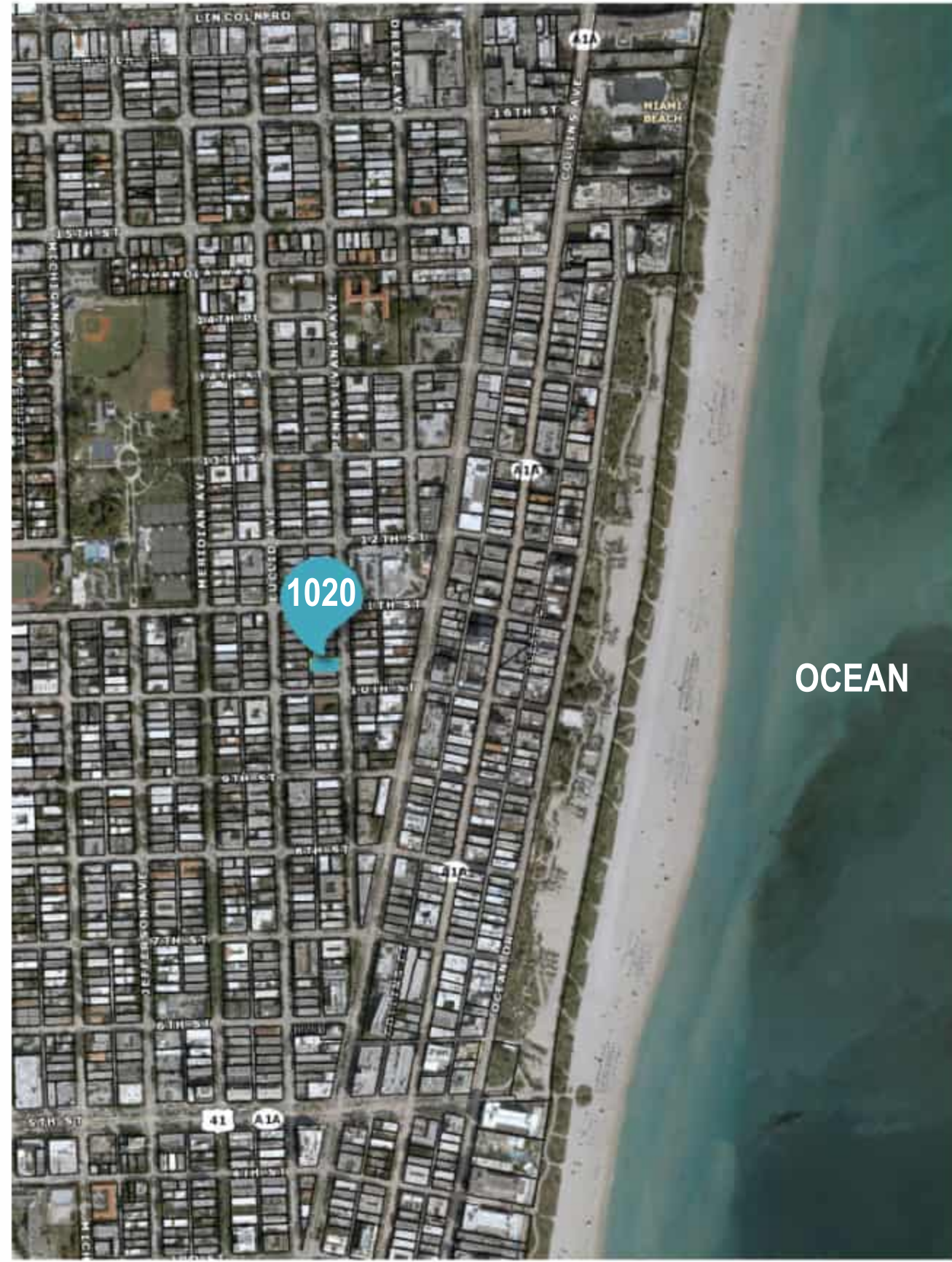
SCALE: AS SHOWN
 DATE: 06-16-2024

SHEET NUMBER

A-X



NEIGHBORHOOD AERIAL VIEW



AERIAL LOCATION MAP



ADDRESS & OWNER

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AERIAL VIEW

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1 1044 PENNSYLVANIA AVE
EXISTING TWO-STORY BUILDING



2 1034 PENNSYLVANIA AVE
EXISTING ONE-STORY BUILDING



3 1026 PENNSYLVANIA AVE
EXISTING TWO-STORY BUILDING



4 1020 PENNSYLVANIA AVE
VACANT LOT



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A-0.2



5 1010 PENNSYLVANIA AVE
EXISTING TWO-STORY BUILDING



6 1004 PENNSYLVANIA AVE
EXISTING THREE-STORY BUILDING



7 1003 PENNSYLVANIA AVE
EXISTING TWO-STORY BUILDING



8 1005 PENNSYLVANIA AVE
EXISTING TWO-STORY BUILDING



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SHEET NUMBER

A-0.3



9 1023 PENNSYLVANIA AVE
EXISTING TWO-STORY BUILDING



10 1027 PENNSYLVANIA AVE
EXISTING THREE-STORY BUILDING



11 1035 PENNSYLVANIA AVE
EXISTING TWO-STORY BUILDING



12 1045 PENNSYLVANIA AVE
EXISTING TWO-STORY BUILDING



ADDRESS & OWNER

NEW MULTI-FAMILY RESIDENCE
1020 PENNSYLVANIA AVE
MIAMI BEACH, FL. 33139
OWNER: 1020 PENNSYLVANIA INVESTMENT LLC

REVISION & DATE

DRAWING TITLE

SURROUNDING PROPERTIES

SCALE: AS SHOWN

DATE: 06-16-2024

SHEET NUMBER

A-0.4



3D VIEW - FRONT ELEVATION (EAST)

MATERIAL BOARD

<p>1</p>	<p>PAINTED STUCCO ACCENT COLOR (BENJAMIN MOORE STREET CHIC, CSP45)</p>
<p>2</p>	<p>PAINTED STUCCO WALLS & CEILING (BENJAMIN MOORE CLOUD WHITE, OC-130)</p>
<p>3</p>	<p>PAINTED STUCCO ACCENT COLOR (BENJAMIN MOORE CEDAR MOUNTAINS, 706)</p>
<p>4</p>	<p>CLEAR GLASS W/ BRONZE FRAMES. (LOUVERS SAME COLOR)</p>
<p>5</p>	<p>NICHIHA ARCHITECTURAL WOOD PANEL. (VINTAGE WOOD, BARK)</p>



ADDRESS & OWNER

NEW MULTI-FAMILY RESIDENCE
1020 PENNSYLVANIA AVE
MIAMI BEACH, FL. 33139
OWNER: 1020 PENNSYLVANIA INVESTMENT LLC

REVISION & DATE

DRAWING TITLE

**3D VIEW &
MATERIALS**

SCALE: AS SHOWN
DATE: 06-16-2024

SHEET NUMBER

A-0.5



3D VIEW - REAR ELEVATION (WEST)

MATERIAL BOARD

	<p>1 PAINTED STUCCO ACCENT COLOR (BENJAMIN MOORE STREET CHIC, CSP45)</p>
	<p>2 PAINTED STUCCO WALLS & CEILING (BENJAMIN MOORE CLOUD WHITE, OC-130)</p>
	<p>3 PAINTED STUCCO ACCENT COLOR (BENJAMIN MOORE CEDAR MOUNTAINS, 706)</p>
	<p>4 CLEAR GLASS W/ BRONZE FRAMES. (LOUVERS SAME COLOR)</p>
	<p>5 NICHIHA ARCHITECTURAL WOOD PANEL. (VINTAGE WOOD, BARK)</p>



3D VIEW - FRONT

MATERIAL BOARD

	<p>PAINTED STUCCO ACCENT COLOR (BENJAMIN MOORE STREET CHIC, CSP45)</p>
	<p>PAINTED STUCCO WALLS & CEILING (BENJAMIN MOORE CLOUD WHITE, OC-130)</p>
	<p>PAINTED STUCCO ACCENT COLOR (BENJAMIN MOORE CEDAR MOUNTAINS, 706)</p>
	<p>CLEAR GLASS W/ BRONZE FRAMES. (LOUVERS SAME COLOR)</p>
	<p>NICHIHA ARCHITECTURAL WOOD PANEL. (VINTAGE WOOD, BARK)</p>



ADDRESS & OWNER

NEW MULTI-FAMILY RESIDENCE
1020 PENNSYLVANIA AVE
MIAMI BEACH, FL. 33139
OWNER: 1020 PENNSYLVANIA INVESTMENT LLC

REVISION & DATE

DRAWING TITLE

**3D VIEW &
MATERIALS**

SCALE: AS SHOWN
DATE: 06-16-2024

SHEET NUMBER

A-0.7



3D VIEW - SIDE ELEVATION (SOUTH)



3D VIEW - SIDE ELEVATION (NORTH)

MATERIAL BOARD



1
PAINTED STUCCO
ACCENT COLOR
(BENJAMIN MOORE
STREET CHIC, CSP45)



2
PAINTED STUCCO
WALLS & CEILING
(BENJAMIN MOORE
CLOUD WHITE, OC-130)



3
PAINTED STUCCO
ACCENT COLOR
(BENJAMIN MOORE
CEDAR MOUNTAINS,
706)



4
CLEAR GLASS W/
BRONZE FRAMES.
(LOUVERS SAME
COLOR)



5
NICHHA
ARCHITECTURAL
WOOD PANEL.
(VINTAGE WOOD,
BARK)

PROPERTY ADDRESS:
1020 PENNSYLVANIA AVENUE MIAMI BEACH, FL. 33139

LEGAL DESCRIPTION:
LOT 6, BLOCK 43, OF "OCEAN BEACH, ADDITION No. 3", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, AT PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

FLOOD ZONE INFORMATION:
COMMUNITY NO. 120651 PANEL NO. 6319 SUFFIX: L
FIRM DATE: 09-11-2009 FLOOD ZONE: AE BASE FLOOD: 8.0'

SURVEYOR'S NOTES:
LEGAL DESCRIPTION WAS FURNISHED BY THE CLIENT.

LEGAL DESCRIPTION SUBJECT TO ANY DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR RECORDED EASEMENTS.

THERE MAY BE LEGAL RESTRICTIONS ON THE SUBJECT PROPERTY THAT ARE NOT SHOWN ON THE MAP OF SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, OR THE RECORDS OF ANY OTHER PUBLIC AND PRIVATE ENTITIES AS THEIR JURISDICTIONS MAY APPEAR.

THE ELEVATIONS OF WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED VERTICAL POSITIONAL ACCURACY OF 0.2 FOOT FOR NATURAL GROUND SURFACES AND 0.1 FOOT FOR HARDSCAPE SURFACES, INCLUDING PAVEMENTS, CURBS AND OTHER MAN-MADE FEATURES AS MAY EXIST.

WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 0.1 FOOT UNLESS OTHERWISE SHOWN.

THE MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT THE STATED GRAPHIC SCALE IN ENGLISH UNITS OF MEASUREMENT. ATTENTION IS BROUGHT TO THE FACT THAT SAID DRAWING MAY BE ALTERED IN SCALE BY THE REPRODUCTION PROCESS.

ALL MEASUREMENTS SHOWN ARE IN THE UNITED STATES STANDARD FEET

REFERENCE D.O.T STATION (G.P.S.):
RefID=0601, RefLat=N25°46'57.83794", RefLon=W80°08'14.16798", RefHgt=-50.85'
SHOWN ELEVATIONS ARE REFERRED TO THE NORTH AMERICAN VERTICAL DATUM (N.A.V.D.)

THE SURVEYOR MAKES NO REPRESENTATION AS TO OWNERSHIP, POSSESSION OR OCCUPATION OF THE SUBJECT PROPERTY BY ANY ENTITY OR INDIVIDUAL.

SUBSURFACE IMPROVEMENTS AND/OR ENCROACHMENTS WITHIN, UPON, ACROSS, ABUTTING OR ADJACENT TO THE SUBJECT PROPERTY WERE NOT LOCATED AND ARE NOT SHOWN.

NOT VALID WITHOUT THE ELECTRONIC SIGNATURE AND DIGITAL SEAL AND/OR THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS AND DELETIONS TO THIS MAP OF SURVEY BY OTHER THAN THE SIGNING PARTY ARE PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY.

THIS MAP OF SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREIN AND THE CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTY.

CERTIFY TO:
1020 PENNSYLVANIA INVESTMENT LLC, A FLORIDA LIMITED LIABILITY COMPANY
R&S INTERNATIONAL LAW GROUP, LLP
FIRST AMERICAN TITLE INSURANCE COMPANY

SURVEYOR'S CERTIFICATION:
IN MY PROFESSIONAL OPINION, THIS "BOUNDARY SURVEY" IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND IT MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER SJ-17.05 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

360° SURVEYING AND MAPPING, LLC
FLORIDA CERTIFICATE OF AUTHORIZATION NO. LB 6356

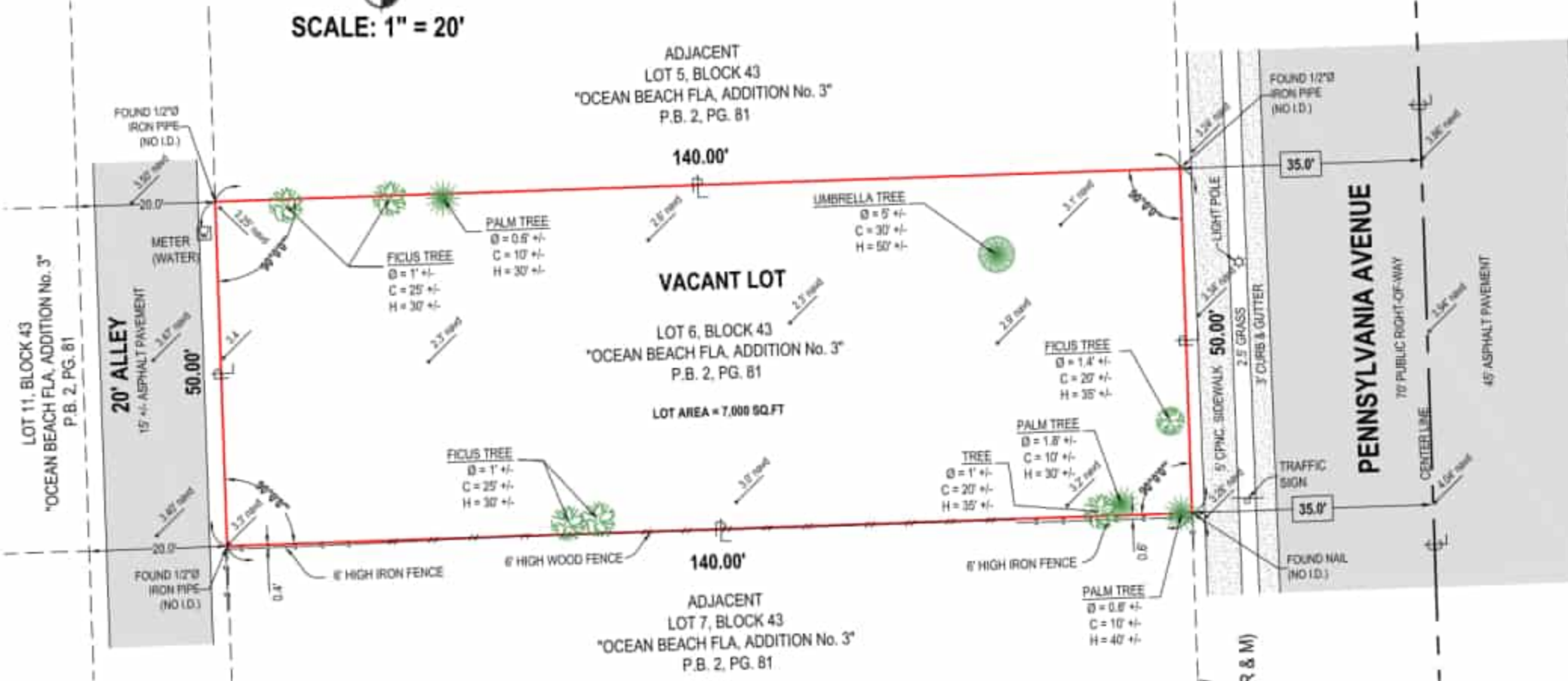
OSCAR E. BAEZ-CUSIDO, P.L.S.
REGISTERED SURVEYOR AND MAPPER NO. 5034
STATE OF FLORIDA.



N
SCALE: 1" = 20'

MAP OF SURVEY

SHEET
1/1



LEGEND OF SURVEY ABBREVIATIONS

SYMBOL	DESCRIPTION
(Symbol)	1/2" IRON PIPE (NO I.D.)
(Symbol)	3" CPVC SIDEWALK
(Symbol)	3" CURB & GUTTER
(Symbol)	TRAFFIC SIGN
(Symbol)	FOUND NAIL (NO I.D.)
(Symbol)	6' HIGH IRON FENCE
(Symbol)	6' HIGH WOOD FENCE
(Symbol)	UMBRELLA TREE
(Symbol)	FICUS TREE
(Symbol)	PALM TREE
(Symbol)	TREE
(Symbol)	100.0' (R & M) WEST RIGHT OF WAY LINE
(Symbol)	70' PUBLIC RIGHT-OF-WAY
(Symbol)	45' ASPHALT PAVEMENT
(Symbol)	15' ASPHALT PAVEMENT
(Symbol)	METER (WATER)
(Symbol)	3.5' SLOPE
(Symbol)	3.0' SLOPE
(Symbol)	2.5' SLOPE
(Symbol)	2.0' SLOPE
(Symbol)	1.5' SLOPE
(Symbol)	1.0' SLOPE
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(Symbol)	3.5' SLOPE
(Symbol)	4.0' SLOPE
(Symbol)	4.5' SLOPE
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(Symbol)	5.5' SLOPE
(Symbol)	6.0' SLOPE
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(Symbol)	7.0' SLOPE
(Symbol)	7.5' SLOPE
(Symbol)	8.0' SLOPE
(Symbol)	8.5' SLOPE
(Symbol)	9.0' SLOPE
(Symbol)	9.5' SLOPE
(Symbol)	10.0' SLOPE
(Symbol)	10.5' SLOPE
(Symbol)	11.0' SLOPE
(Symbol)	11.5' SLOPE
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(Symbol)	43.5' SLOPE
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(Symbol)	45.0' SLOPE
(Symbol)	45.5' SLOPE
(Symbol)	46.0' SLOPE
(Symbol)	46.5' SLOPE
(Symbol)	47.0' SLOPE
(Symbol)	47.5' SLOPE
(Symbol)	48.0' SLOPE
(Symbol)	48.5' SLOPE
(Symbol)	49.0' SLOPE
(Symbol)	49.5' SLOPE
(Symbol)	50.0' SLOPE

REVISIONS AND/OR UP-DATES	360° SURVEYING AND MAPPING, LLC Land Surveyors - Land Planners P.O. BOX 558981 MIAMI, FLORIDA 33255-8981 PHONE: (305) 265-1002	ORIGINAL FIELD DATE: 07-18-2023
		JOB NO. 2307-0049

praxis.
architecture . design
PRAXISARCH.COM

JOSE L. SANCHEZ
AIA, LEED AP
278 NW 37TH ST.
MIAMI, FL. 33127
P. 305 576 8063
FL. LIC: AR 001696
FL. LIC: AA 26000837



ADDRESS & OWNER

NEW MULTI-FAMILY RESIDENCE
1020 PENNSYLVANIA AVE
MIAMI BEACH, FL. 33139
OWNER: 1020 PENNSYLVANIA INVESTMENT LLC

REVISION & DATE

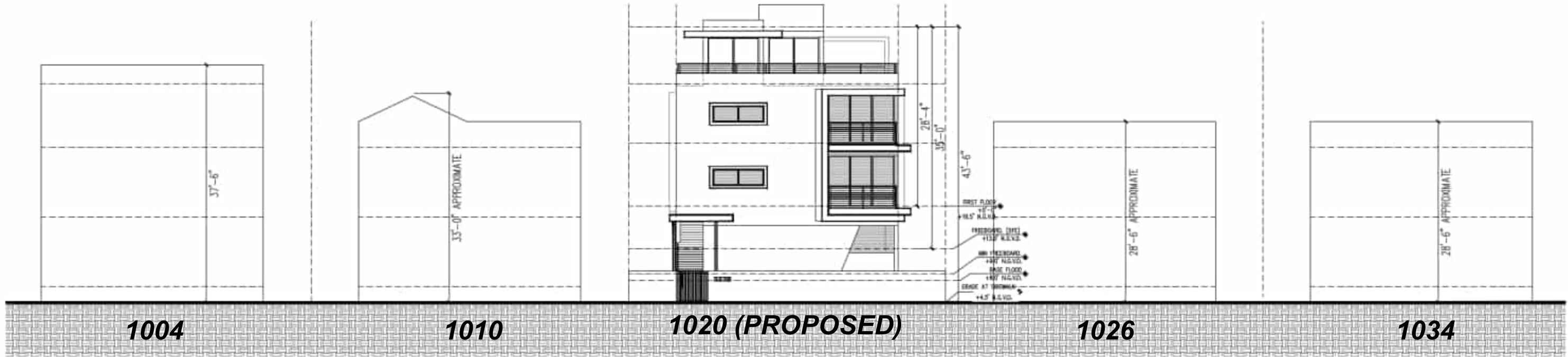
DRAWING TITLE

SURVEY

SCALE: AS SHOWN
DATE: 06-16-2024

SHEET NUMBER

A-0.9



1 CONTEXTUAL ELEVATIONS



ADDRESS & OWNER

NEW MULTI-FAMILY RESIDENCE
1020 PENNSYLVANIA AVE
MIAMI BEACH, FL. 33139
OWNER: 1020 PENNSYLVANIA INVESTMENT LLC

REVISION & DATE

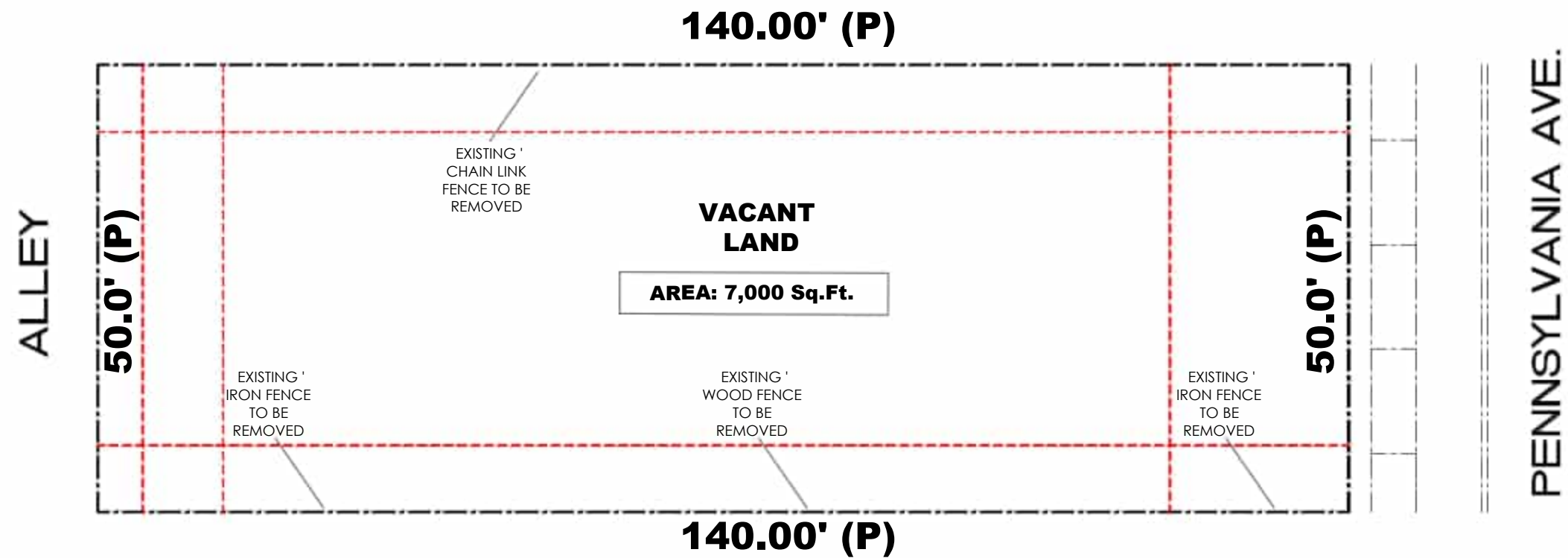
DRAWING TITLE

CONTEXTUAL ELEVATIONS

SCALE: AS SHOWN
DATE: 06-16-2024

SHEET NUMBER

A-0.10



1 DEMOLITION PLAN

1/16" = 1'-0"

SCOPE OF WORK

- SCOPE OF DEMOLITION FENCE REMOVAL IF REQUIRED.
- REMOVE WALKWAYS, CONCRETE OR TILED PATIO, PRIVACY WALLS, DECKS, DRIVEWAYS AND FENCES AS INDICATED ON PLANS.
- MAINTAIN OR REMOVAL OF PROTECT EXISTING TREES PER TREE DISPOSITION PLAN.

GENERAL DEMOLITION NOTES

- CONTRACTOR SHALL NOTIFY ALL UTILITIES FOR PROPER DISCONNECTION PRIOR TO DEMOLITION ACTIVITIES.
- CONTRACTOR SHALL PERFORM AND OBTAIN ALL PERMITS WITH CITY OF MIAMI BEACH & COMPLY WITH ALL NECESSARY REQUIREMENTS. CONTRACTOR SHALL PROVIDE NOTIFICATIONS AS REQUIRED AND COMPLY WITH LOCAL ORDINANCES.
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ACCIDENTAL DAMAGE TO ADJACENT PROPERTIES AND EXISTING ITEMS TO REMAIN. RESPONSIBILITY MEANS REPLACEMENT OF OR RESTORATION TO ORIGINAL CONDITION OF ANY DAMAGED ITEMS.
- CONTRACTOR SHALL REMOVE ANY DECORATIVE ACCESSORIES AND LIGHT FIXTURES FROM WALLS, CEILINGS AND ELSEWHERE DIRECTED BY OWNER AND PROTECT SAME FROM POSSIBLE DAMAGE UNTIL INSPECTION FOR DISPOSITION IS MADE BY OWNER.
- CONTRACTOR SHALL PERFORM INSECT/RODENT EXTERMINATION AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- CONDUCT OPERATIONS SO AS NOT INTERFERE WITH ADJACENT ROADS, STREETS DRIVES, WALKS, SERVICE LINES AND THE LIKE.
- MAINTAIN BUILDING GROUNDS FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH. DISPOSE ALL MATERIALS IMMEDIATELY AFTER DEMOLITION.
- CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PREVENT AIRBORNE DUST TO SPREAD TO ADJACENT PROPERTIES. WATER SHALL BE APPLIED WHEREVER PRACTICAL TO SETTLE AND HOLD DUST TO A MINIMUM, PARTICULARLY DURING THE DEMOLITION & MOVING OF MATERIALS. PROVIDE DUMP CONTAINERS ON SITE FOR COLLECTION OF WASTE MATERIALS, RUBBISH AND DEBRIS FOR ALL TRADES.
- UPON COMPLETION OF DEMOLITION WORK, LEAVE THE PROPERTY AND ADJACENT AREAS CLEAN AND SATISFACTORY TO LOCAL AUTHORITIES AND THE ARCHITECT. BESIDES THE REMOVAL OF WASTE MATERIALS, THE ENTIRE SPACE SHALL BE LEFT IN A "BROOM CLEAN" CONDITION, WITH THE COMPLETE REMOVAL OF ALL ACCUMULATIONS OF DUST FROM ANY REMAINING SURFACES, STRUCTURAL ELEMENTS OR OTHERWISE.
- CONTRACTOR SHALL PERFORM ALL NECESSARY TESTING FOR ASBESTOS CONTAINING MATERIAL AND RETAIN A CERTIFIED ASBESTOS ABATEMENT COMPANY FOR REMOVAL OF ANY ASBESTOS CONTAINING MATERIAL PER STATE OF FLORIDA REGULATIONS.

TREE PROTECTION NOTE

PROVIDE 8'X8' PROTECTION BARRIER FOR TREES LESS THAN 18" IN DIAMETER AND 12'X12' PROTECTION BARRIER FOR TREES 18" IN DIAMETER AND GREATER.



ADDRESS & OWNER

NEW MULTI-FAMILY RESIDENCE
1020 PENNSYLVANIA AVE
MIAMI BEACH, FL. 33139
OWNER: 1020 PENNSYLVANIA INVESTMENT LLC

REVISION & DATE	
DRAWING TITLE	DEMOLITION PLAN
SCALE:	AS SHOWN
DATE:	06-16-2024
SHEET NUMBER	A-0.11

ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies
36	Side Setback:			N/A	
37	Side Setback facing street:			N/A	
38	Rear Setback:			N/A	
	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district				
40	Total # of parking spaces			N/A	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)			N/A	
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)			N/A	
43	Parking Space Dimensions			N/A	
44	Parking Space configuration (45o,60o,90o,Parallel)			90°	
45	ADA Spaces				
46	Tandem Spaces			N/A	
47	Drive aisle width			N/A	
48	Valet drop off and pick up			N/A	
49	Loading zones and Trash collection areas			N/A	
50	Bicycle parking, location and Number of racks			N/A	
	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use	no		N/A	
52	Total # of seats	no		N/A	
53	Total # of seats per venue (Provide a separate chart for a breakdown calculation)	no		N/A	
54	Total occupant content	N/A		N/A	
55	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A		N/A	
56	Is this a contributing building?	No		NO	
57	Located within a Local Historic District?	No		FLAMINGO PARK	

Notes:

If not applicable write N/A

All other data information may be required and presented like the above format.

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information				
1	Address:	1020 PENNSYLVANIA AVE			
2	Board and file numbers :	HPB24-0618			
3	Folio number(s):	02-4203-009-1160			
4	Year constructed:	VACANT LOT	Zoning District:	RM-1	
5	Based Flood Elevation:	8' NGVD	Grade value in NGVD:	4.9' NGVD	
6	Adjusted grade (Flood+Grade/2):	6.45'	Lot Area:	7,000 SF	
7	Lot width:	50 FT	Lot Depth:	140 FT	
8	Minimum Unit Size		Average Unit Size	1,373 SF (AVG, 6 UNITS)	
9	Existing use:	MULTI-FAMILY	Proposed use:	MULTI-FAMILY	
	Maximum	Existing	Proposed	Deficiencies	
10	Height	35		35'-0" FT	
11	Number of Stories			3 FLOORS W/ UNDERSTORY	
12	FAR				
12a	Allowable Floor Area	8,750 SF (125%)		8,662 SF (123.74%)	
13	Gross square footage			8,662 SF	
14	Square Footage by use	N/A		N/A	
15	Number of units Residential	N/A		6	
16	Number of units Hotel	N/A		N/A	
17	Number of seats	N/A		N/A	
18	Occupancy load	N/A		N/A	
	Setbacks	Required	Existing	Proposed	Deficiencies
Subterranean:					
19	Front Setback:	N/A		N/A	
20	Side Setback:	N/A		N/A	
21	Side Setback:	N/A		N/A	
22	Side Setback facing street:	N/A		N/A	
23	Rear Setback:	N/A		N/A	
At Grade Parking:					
24	Front Setback:	20'-0"		20'-0"	
25	Side Setback:	7'-6"		7'-6"	
26	Side Setback:	7'-6"		7'-6"	
27	Side Setback facing street:				
28	Rear Setback:	14'-0"		15'-4"	
Pedestal:					
29	Front Setback:	N/A		N/A	
30	Side Interior Setback:	N/A		N/A	
31	Side Interior Setback:	N/A		N/A	
32	Side Setback facing street:	N/A		N/A	
33	Rear Setback:	N/A			
Tower:					
34	Front Setback:	N/A		N/A	
35	Side Setback:	N/A		N/A	



LOCATION PLAN

NOT TO SCALE



SCOPE OF WORK

- NEW 6 UNITS MULTI-FAMILY BUILDING WITH PARKING AT UNDERSTORY LEVEL ON VACANT LOT.

WAIVER(S) REQUESTED

1. HEIGHT OF UNDERSTORY PARKING AREA REDUCED BY 2 FT, FROM 12 FT TO 10 FT, PER SECTION 7.1.2.2 (b)(2)(A) - SEE SHEET A-4.1

APPLICABLE CODES

- FLORIDA BUILDING CODE 2023, 8TH EDITION - BUILDING
- CITY OF MIAMI BEACH LOCAL ORDINANCE (RM-1)

LEGAL DESCRIPTION

LOT 16, BLOCK 43, OF "OCEAN BEACH ADDITION NO.3", ACCORDING TO THE PAT THEREOF, AS RECORDED IN PLAT BOOK 2, AT PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

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architecture . design
PRAXISARCH.COM

JOSE L. SANCHEZ
AIA, LEED AP

278 NW 37TH ST.
MIAMI, FL. 33127
P 305 576 8063

FL LIC: AR 0016966
FL LIC: AA 26000837



ADDRESS & OWNER

NEW MULTI-FAMILY RESIDENCE
1020 PENNSYLVANIA AVE
MIAMI BEACH, FL. 33139
OWNER: 1020 PENNSYLVANIA INVESTMENT LLC

REVISION & DATE

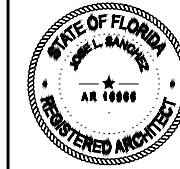
DRAWING TITLE

ZONING DATA
/ LOCATION
PLAN

SCALE: AS SHOWN
DATE: 06-16-2024

SHEET NUMBER

A-1.0



ADDRESS & OWNER

NEW MULTI-FAMILY RESIDENCE
1020 PENNSYLVANIA AVE
MIAMI BEACH, FL. 33139
OWNER: 1020 PENNSYLVANIA INVESTMENT LLC

REVISION & DATE

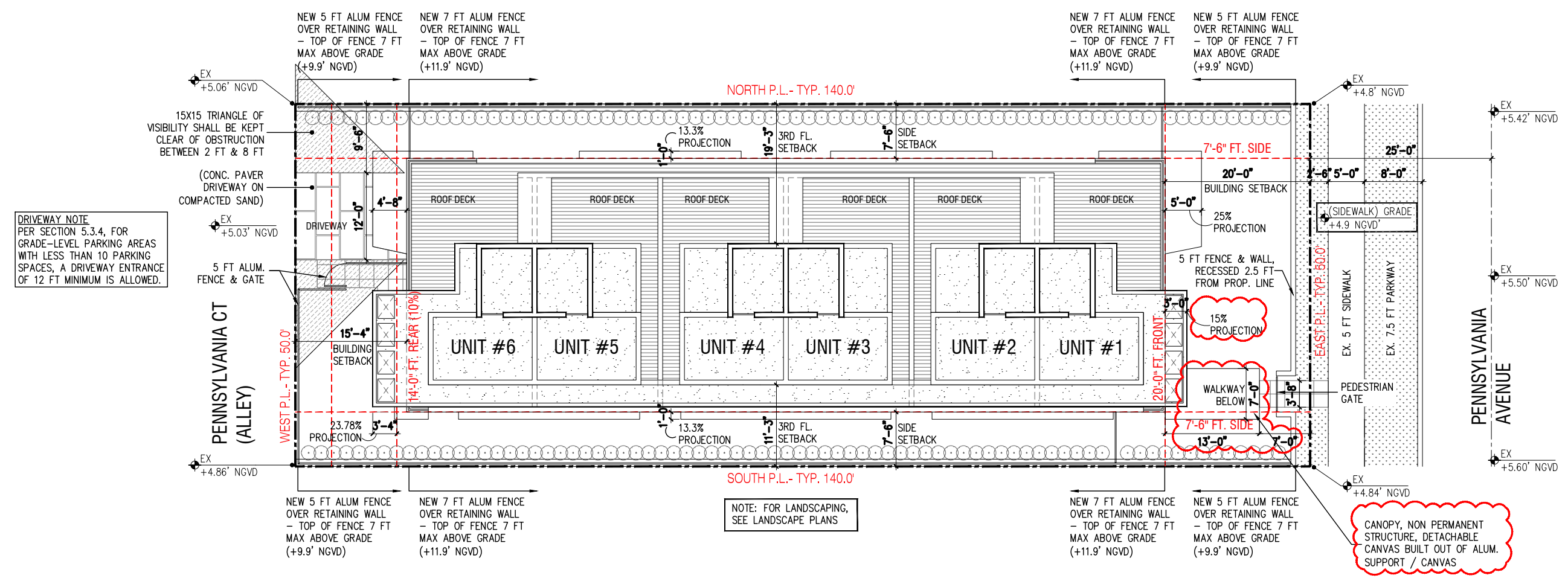
DRAWING TITLE

SITE PLAN

SCALE: AS SHOWN
DATE: 06-16-2024

SHEET NUMBER

A-1.1

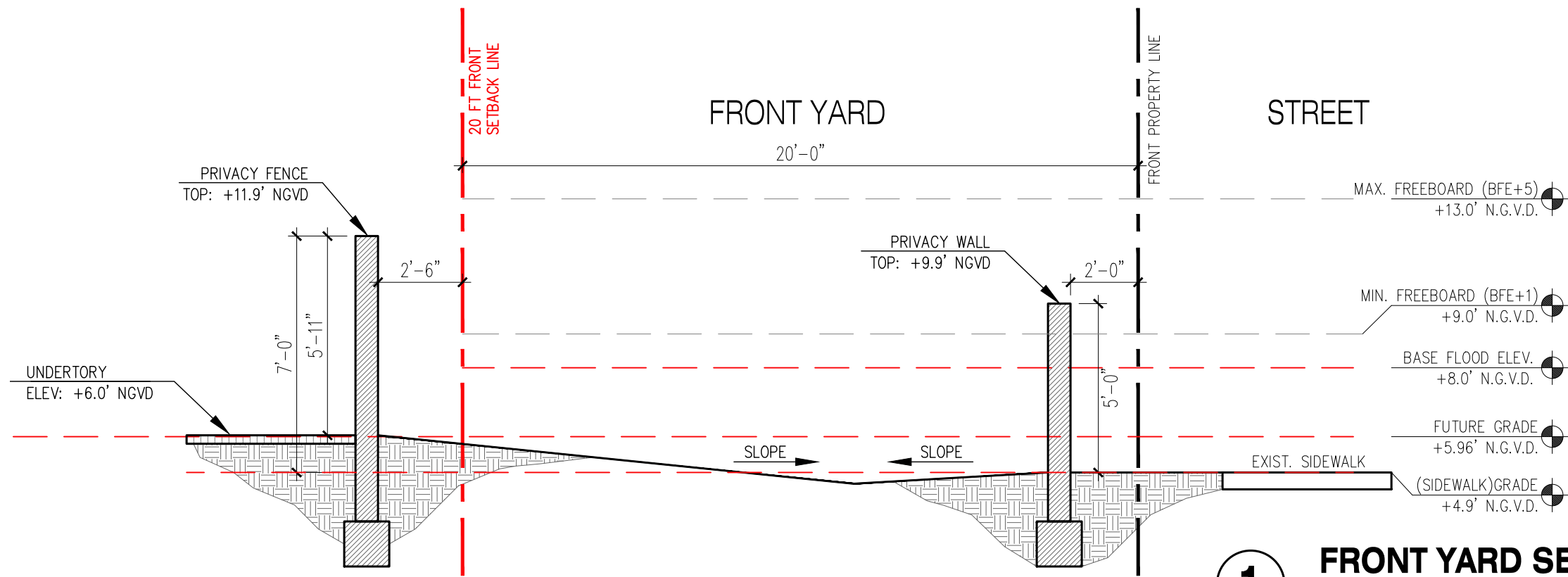


DRIVEWAY NOTE
PER SECTION 5.3.4, FOR GRADE-LEVEL PARKING AREAS WITH LESS THAN 10 PARKING SPACES, A DRIVEWAY ENTRANCE OF 12 FT MINIMUM IS ALLOWED.

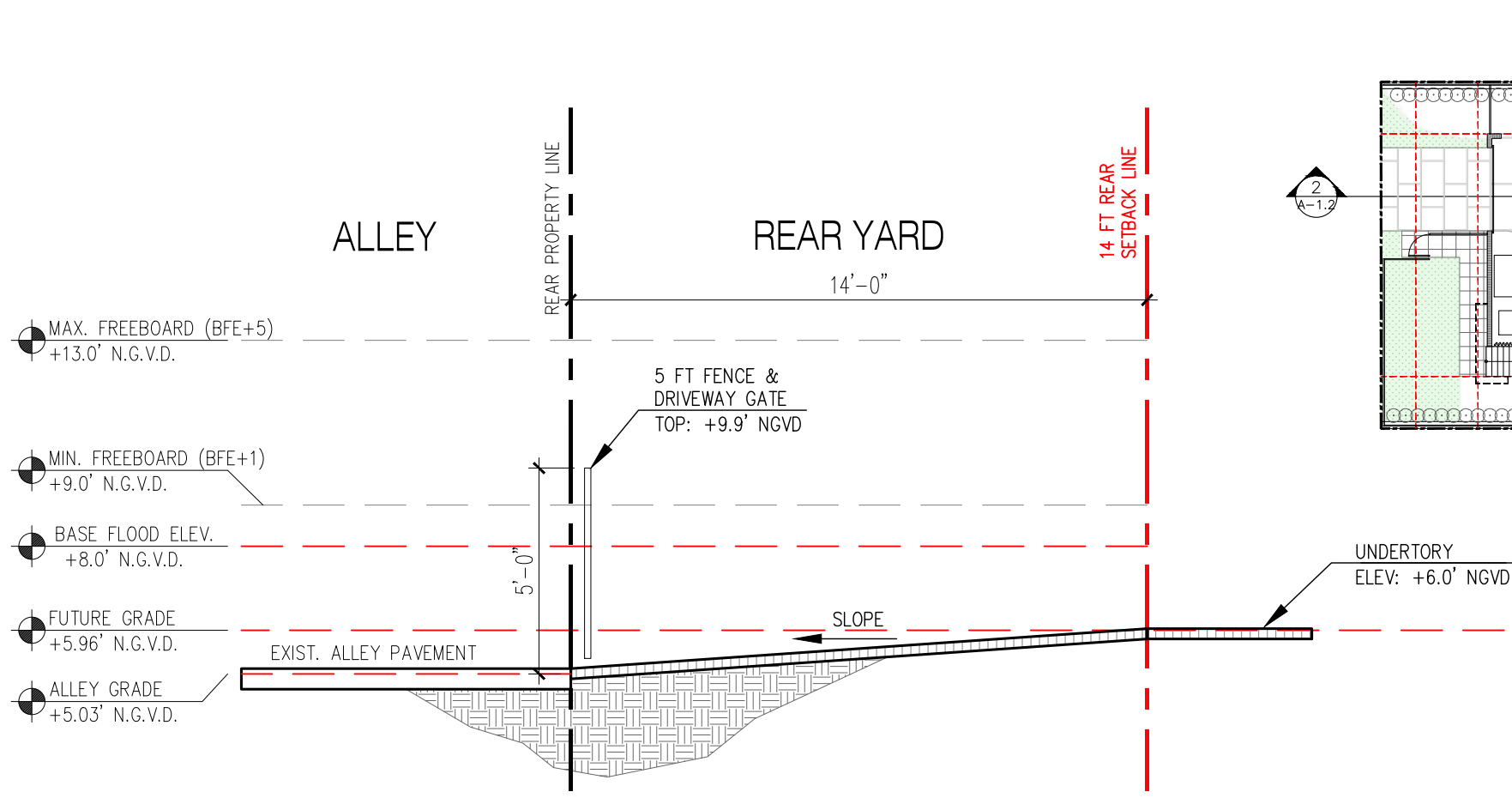
NOTE: FOR LANDSCAPING, SEE LANDSCAPE PLANS

CANOPY, NON PERMANENT STRUCTURE, DETACHABLE CANVAS BUILT OUT OF ALUM. SUPPORT / CANVAS

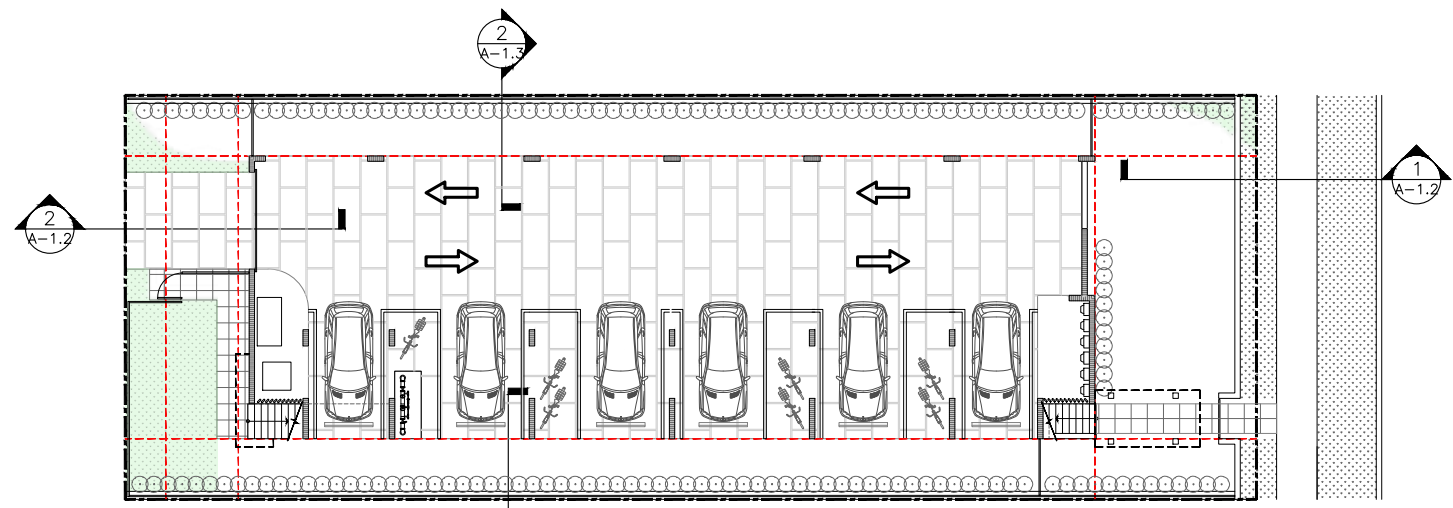
1 SITE PLAN
1/16"=1'-0"



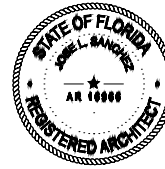
1 FRONT YARD SECTION
1/4" = 1'-0"



2 REAR YARD SECTION
1/4" = 1'-0"



YARD SECTION KEYPLAN
NOT TO SCALE



ADDRESS & OWNER

NEW MULTI-FAMILY RESIDENCE
1020 PENNSYLVANIA AVE
MIAMI BEACH, FL 33139
OWNER: 1020 PENNSYLVANIA INVESTMENT LLC

REVISION & DATE

DRAWING TITLE

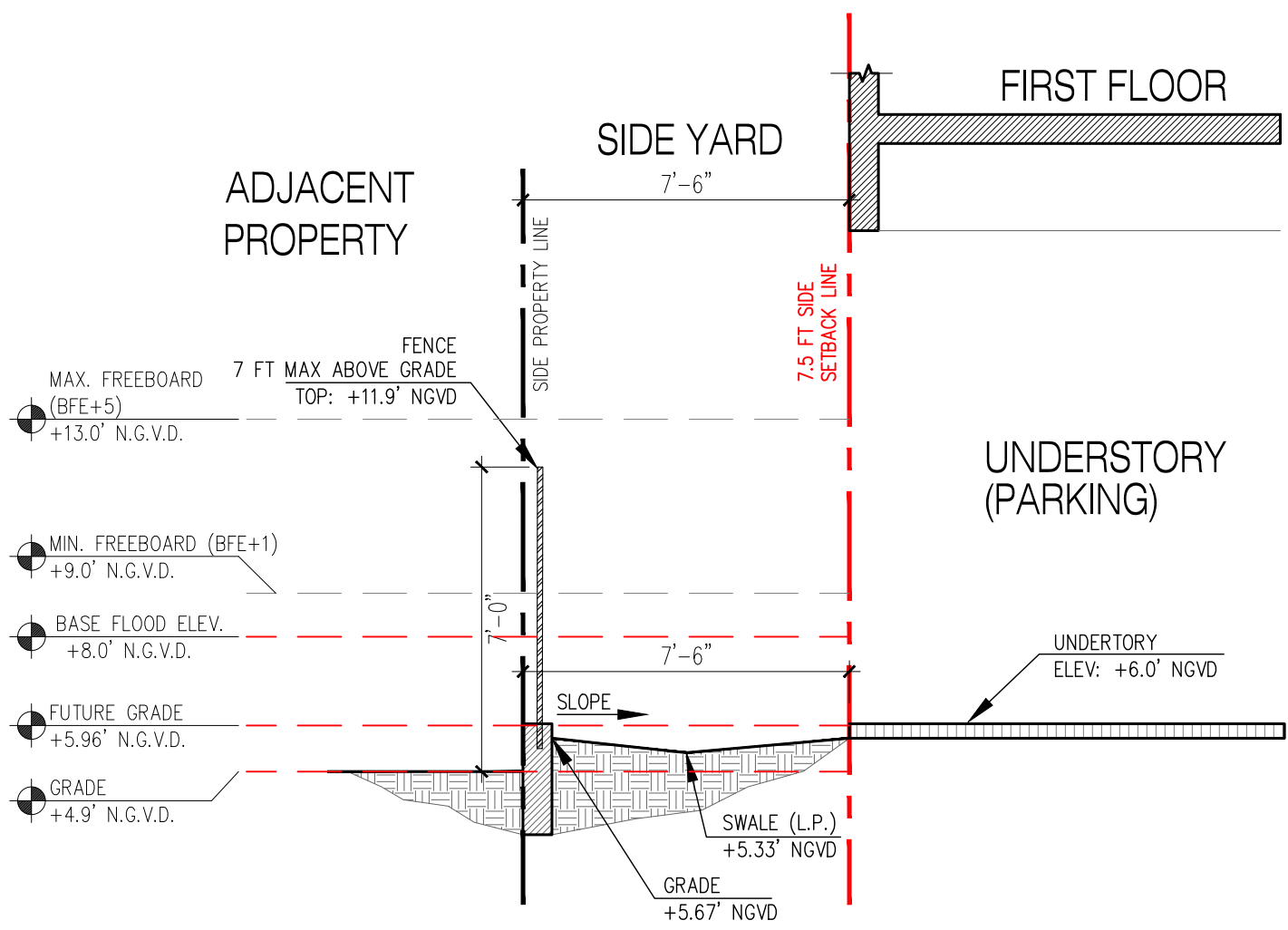
YARD SECTIONS

SCALE: AS SHOWN
DATE: 06-16-2024

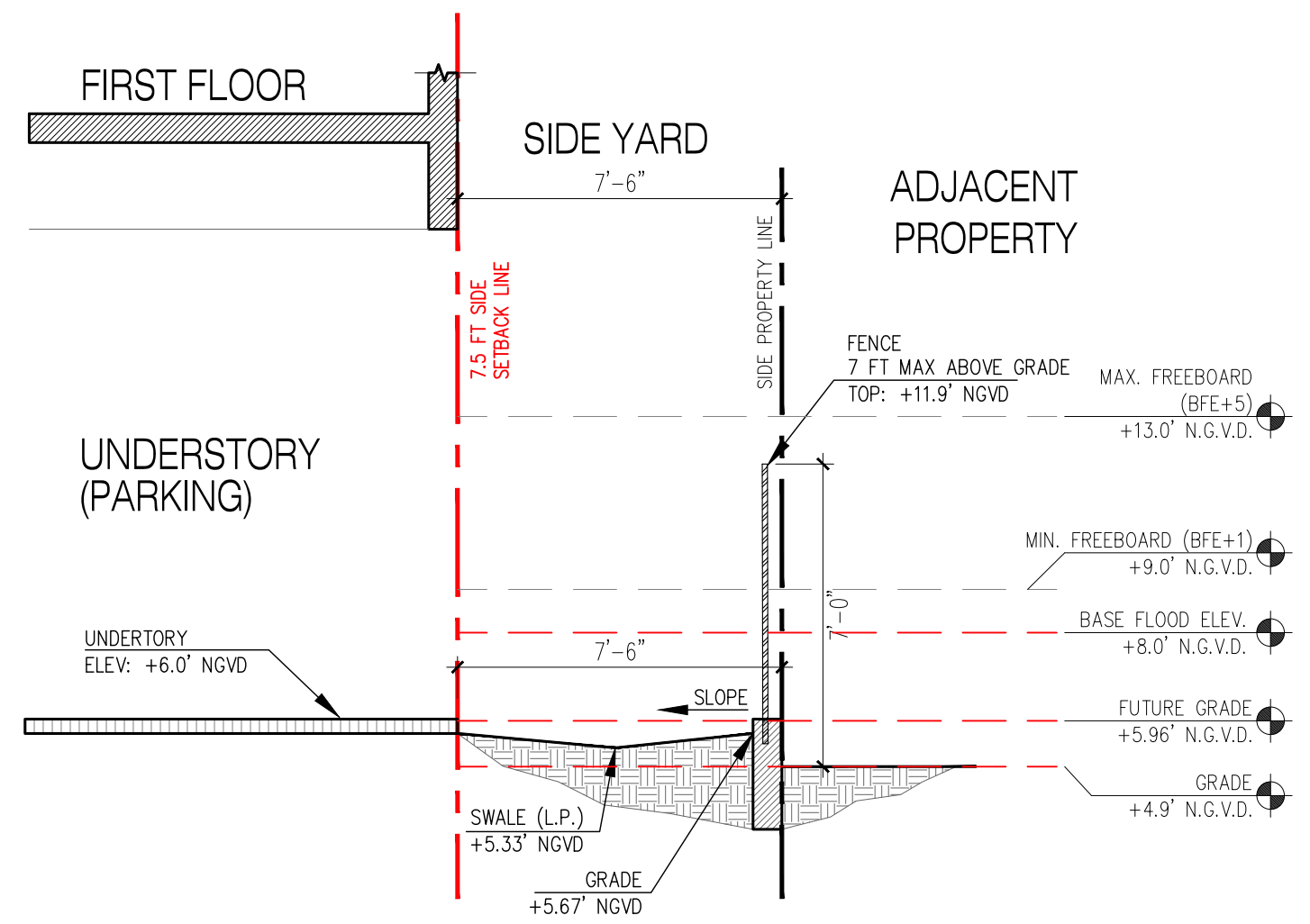
SHEET NUMBER

A-1.2

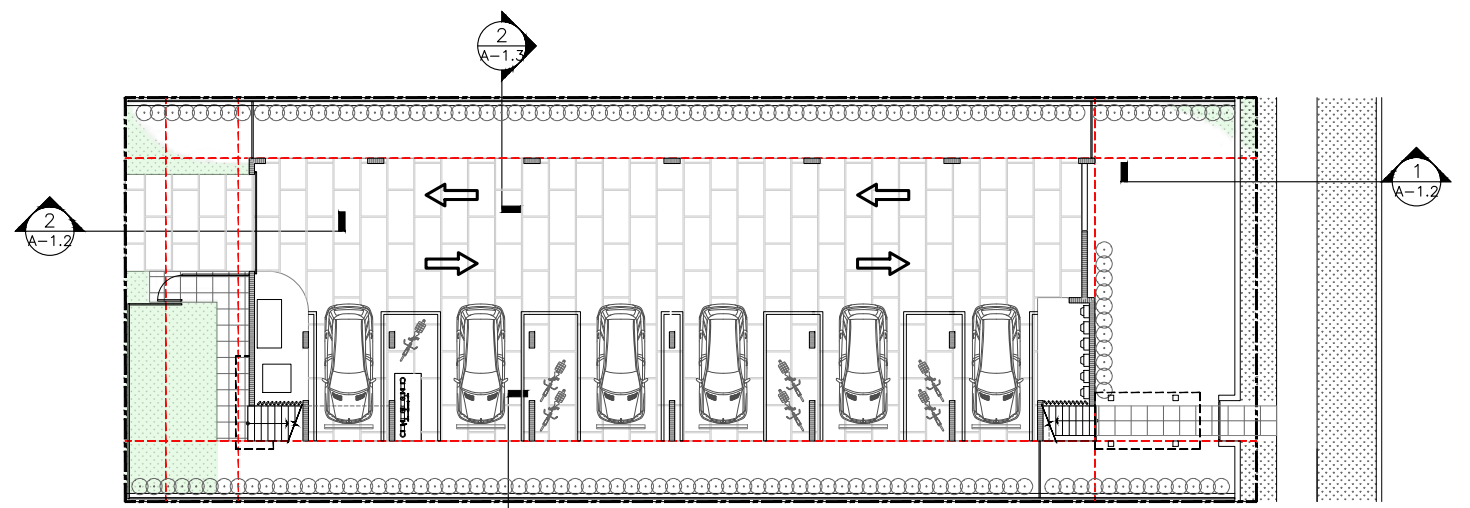
REVISION & DATE
DRAWING TITLE
YARD SECTIONS
SCALE: AS SHOWN DATE: 06-16-2024
SHEET NUMBER
A-1.3



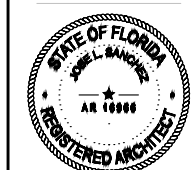
2 **INTERIOR SIDE YARD SECTION**
1/4" = 1'-0"



1 **INTERIOR SIDE YARD SECTION**
1/4" = 1'-0"



YARD SECTION KEYPLAN
NOT TO SCALE



ADDRESS & OWNER

NEW MULTI-FAMILY RESIDENCE
1020 PENNSYLVANIA AVE
MIAMI BEACH, FL. 33139
OWNER: 1020 PENNSYLVANIA INVESTMENT LLC

REVISION & DATE

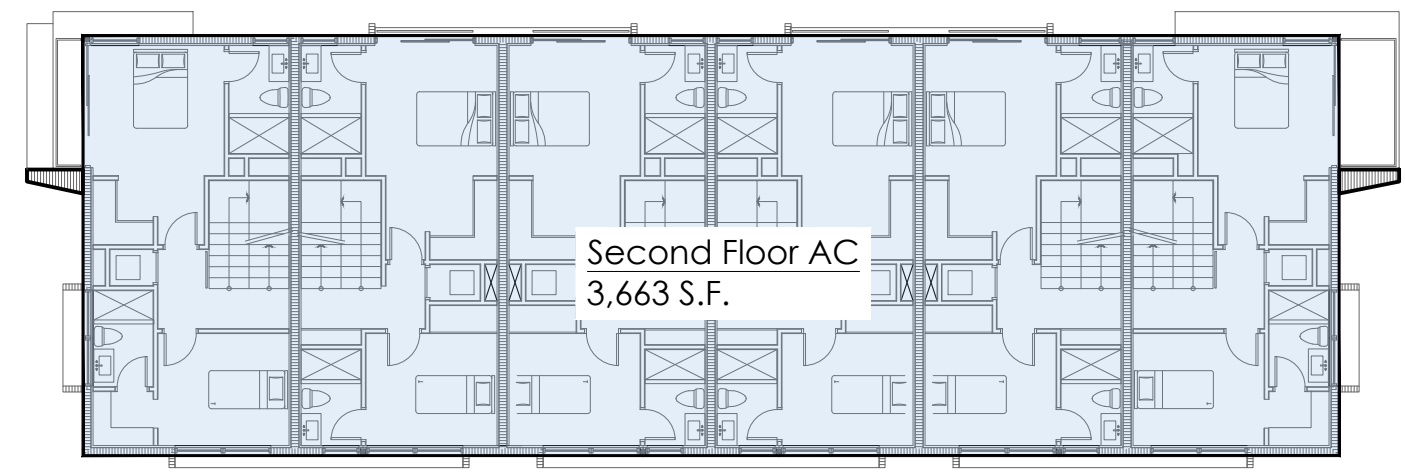
DRAWING TITLE

**UNIT SIZE
DIAGRAM**

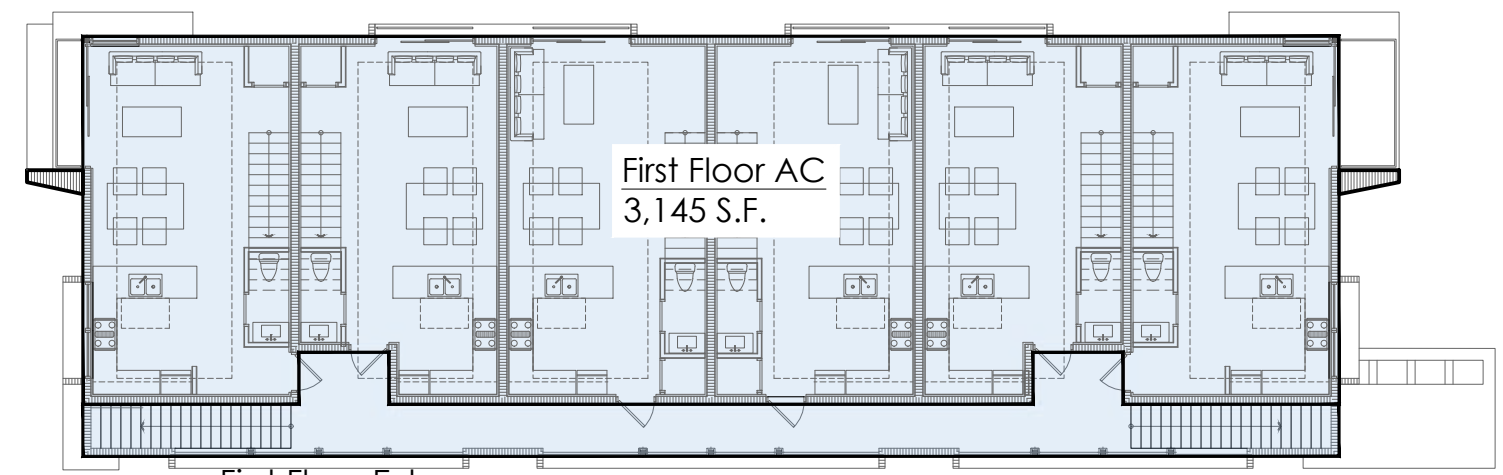
SCALE: AS SHOWN
DATE: 06-16-2024

SHEET NUMBER

A-1.4

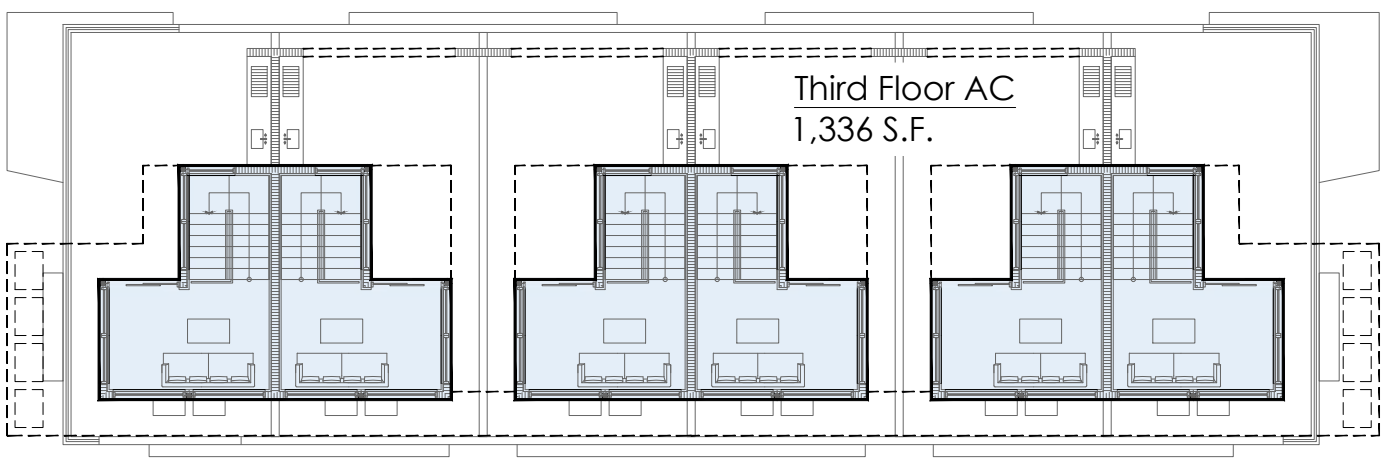


3 SECOND FLOOR UNIT SIZE
1/16" = 1'-0" ↑

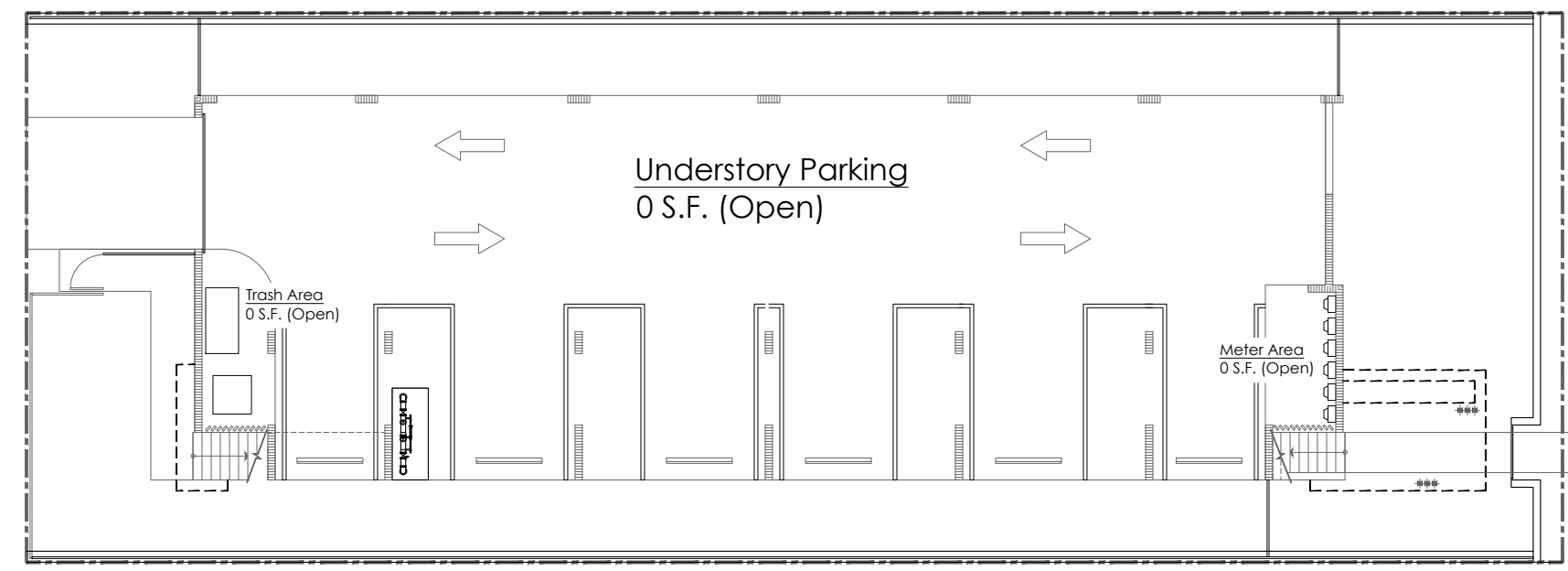


2 FIRST FLOOR UNIT SIZE
1/16" = 1'-0" ↑

First Floor Ext.
518 S.F.



4 THIRD FLOOR UNIT SIZE
1/16" = 1'-0" ↑



1 UNDERSTORY
1/16" = 1'-0" ↑

UNIT SIZE CALCULATION	
LOT AREA	7,000 S.F.
MAX ALLOWED (125%)	8,750 S.F.
UNDERSTORY	0 S.F.
FIRST FL. AC	3,145 S.F.
FIRST FL. EXTERIOR	518 S.F.
SECOND FL. AC	3,663 S.F.
THIRD FL. AC	1,336 S.F.
TOTAL UNIT SIZE	8,662 S.F.
	123.74%

AREA COUNTED IN UNIT SIZE



ADDRESS & OWNER

NEW MULTI-FAMILY RESIDENCE
1020 PENNSYLVANIA AVE
MIAMI BEACH, FL. 33139
OWNER: 1020 PENNSYLVANIA INVESTMENT LLC

REVISION & DATE

DRAWING TITLE

UNDERSTORY

SCALE: AS SHOWN
DATE: 06-16-2024

SHEET NUMBER

A-2.1

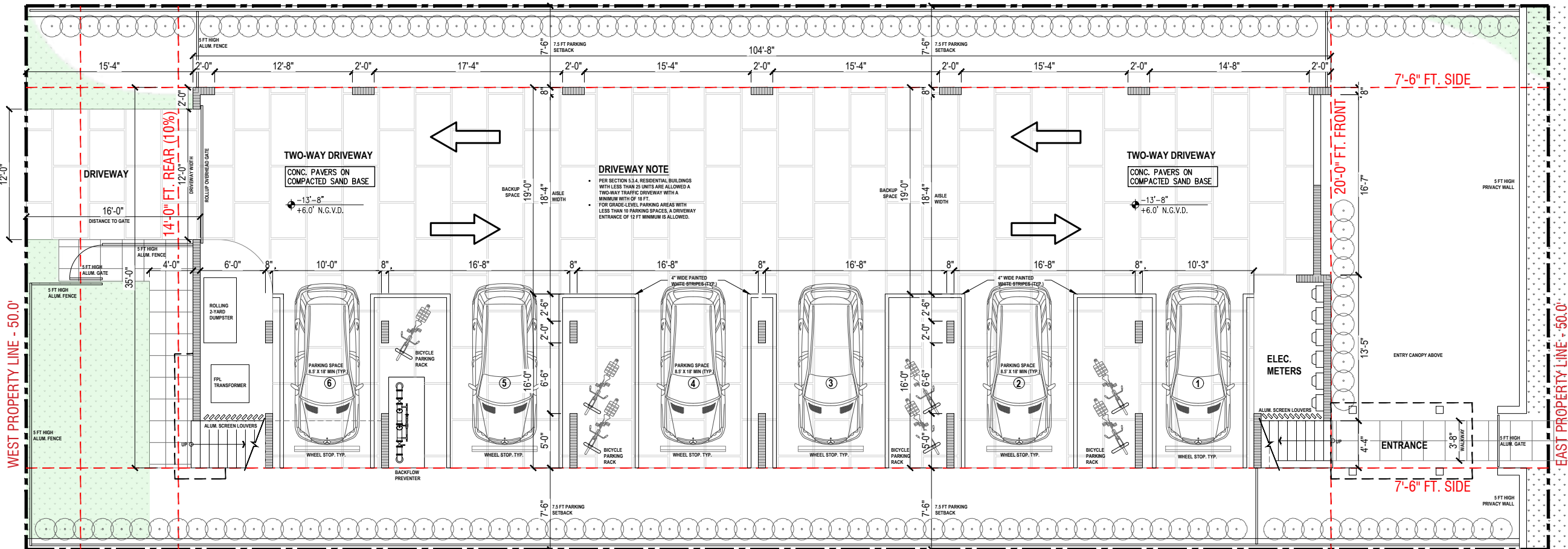
PENNSYLVANIA AVE.

EXISTING SIDEWALK

EXISTING PARKWAY

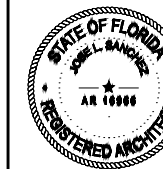
NORTH PROPERTY LINE - 140.0'

SOUTH PROPERTY LINE - 140.0'



1 UNDERSTORY
3/32"=1'-0"

PENNSYLVANIA CT. (ALLEY)



ADDRESS & OWNER

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REVISION & DATE

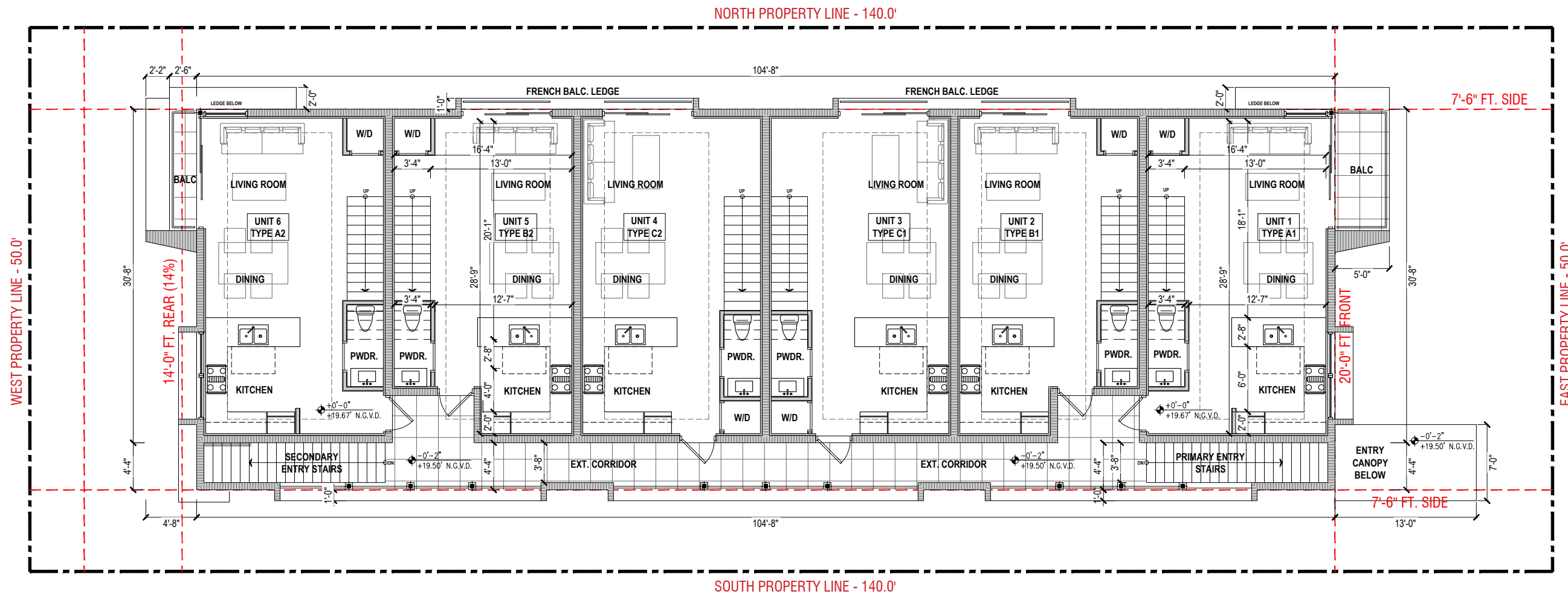
DRAWING TITLE

FIRST FLOOR PLAN

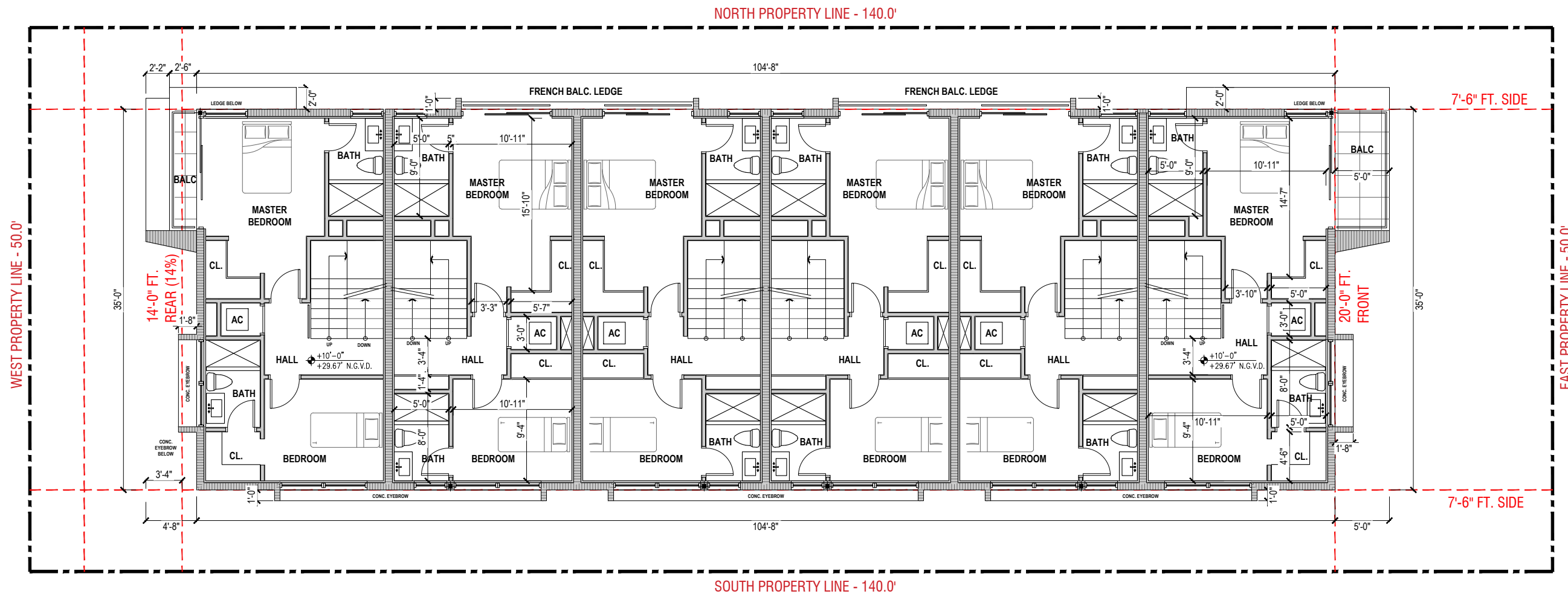
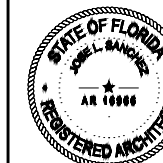
SCALE: AS SHOWN
DATE: 06-16-2024

SHEET NUMBER

A-2.2

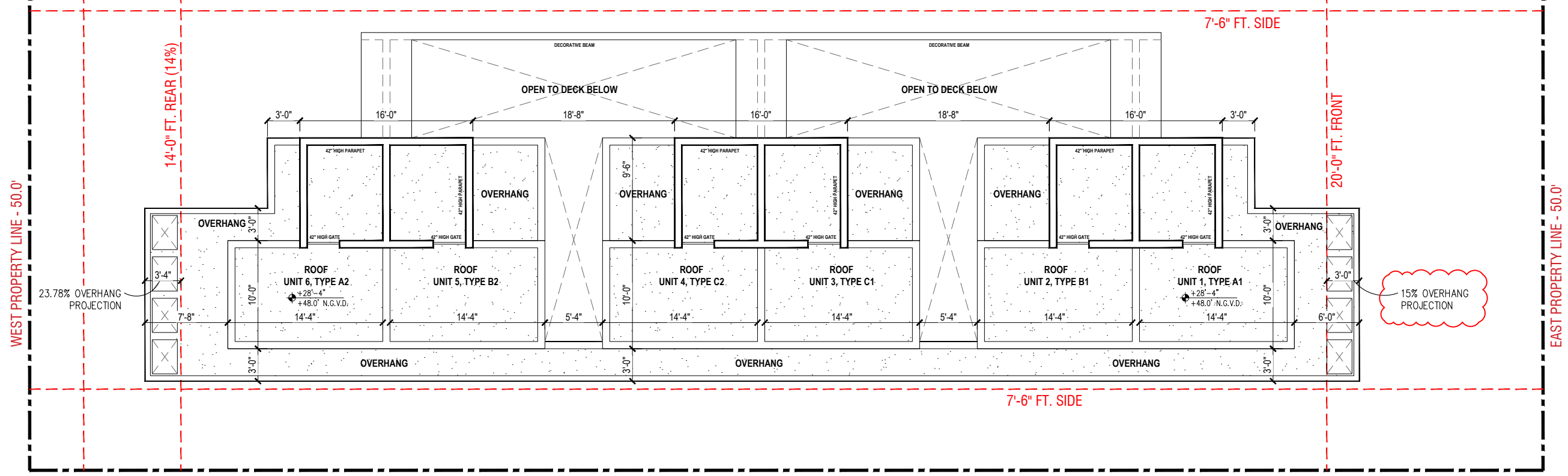


1 **FIRST FLOOR PLAN** $3/32"=1'-0"$

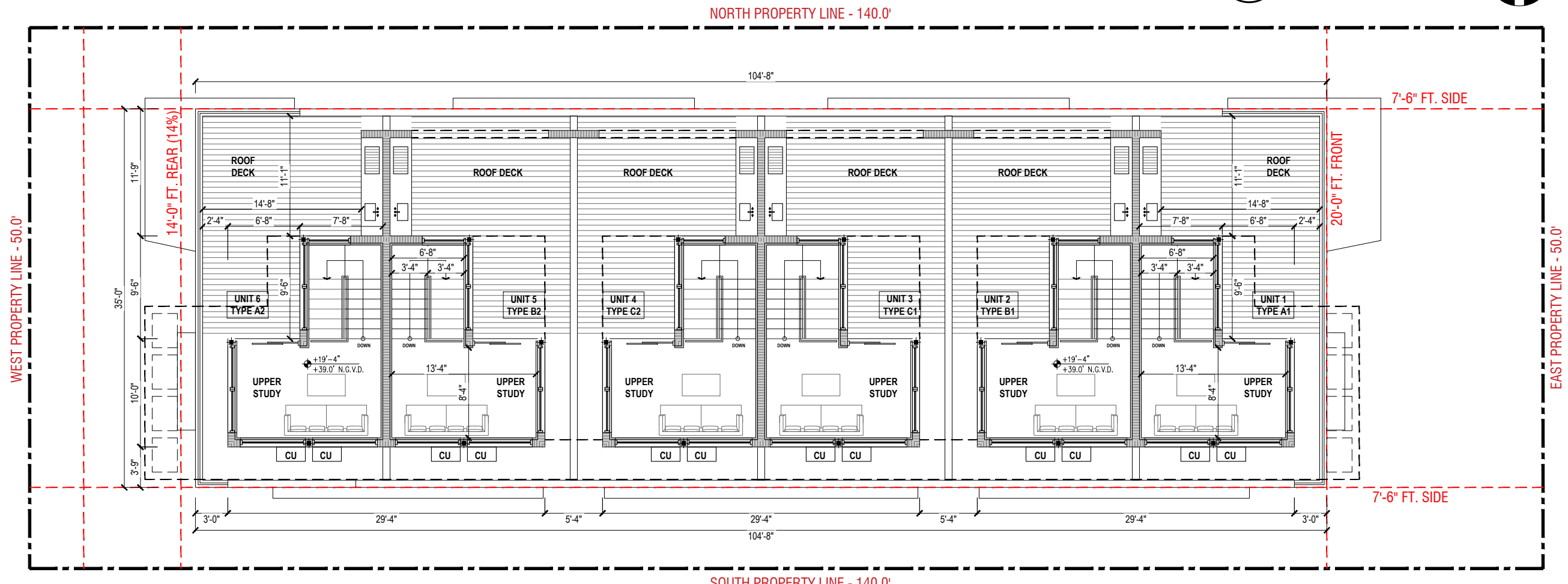


1 SECOND FLOOR PLAN

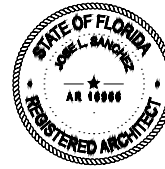
3/32"=1'-0"



2 ROOF PLAN
3/32"=1'-0"



1 THIRD FLOOR PLAN
3/32"=1'-0"



ADDRESS & OWNER

NEW MULTI-FAMILY RESIDENCE
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REVISION & DATE

DRAWING TITLE

**THIRD FLOOR /
ROOF PLAN**

SCALE: AS SHOWN
DATE: 06-16-2024

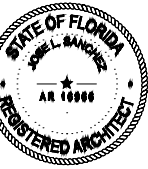
SHEET NUMBER

A-2.4

JOSE L. SANCHEZ
AIA, LEED AP

278 NW 37TH ST.
MIAMI, FL. 33127
P 305 576 8043

FL. LIC: AR 0016966
FL. LIC: AA 26000837



ADDRESS & OWNER

NEW MULTI-FAMILY RESIDENCE
1020 PENNSYLVANIA AVE
MIAMI BEACH, FL. 33139
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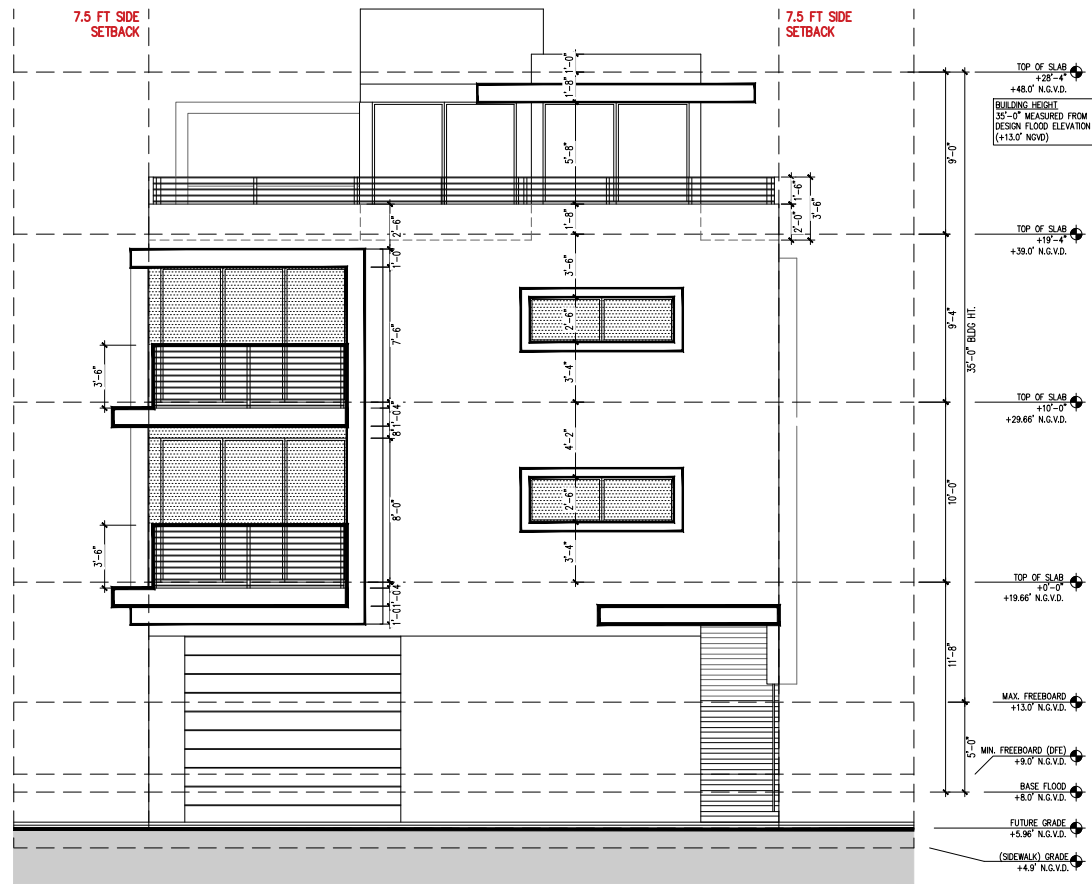
REVISION & DATE

DRAWING TITLE
**EAST/WEST
ELEVATIONS
(FRONT/REAR)**

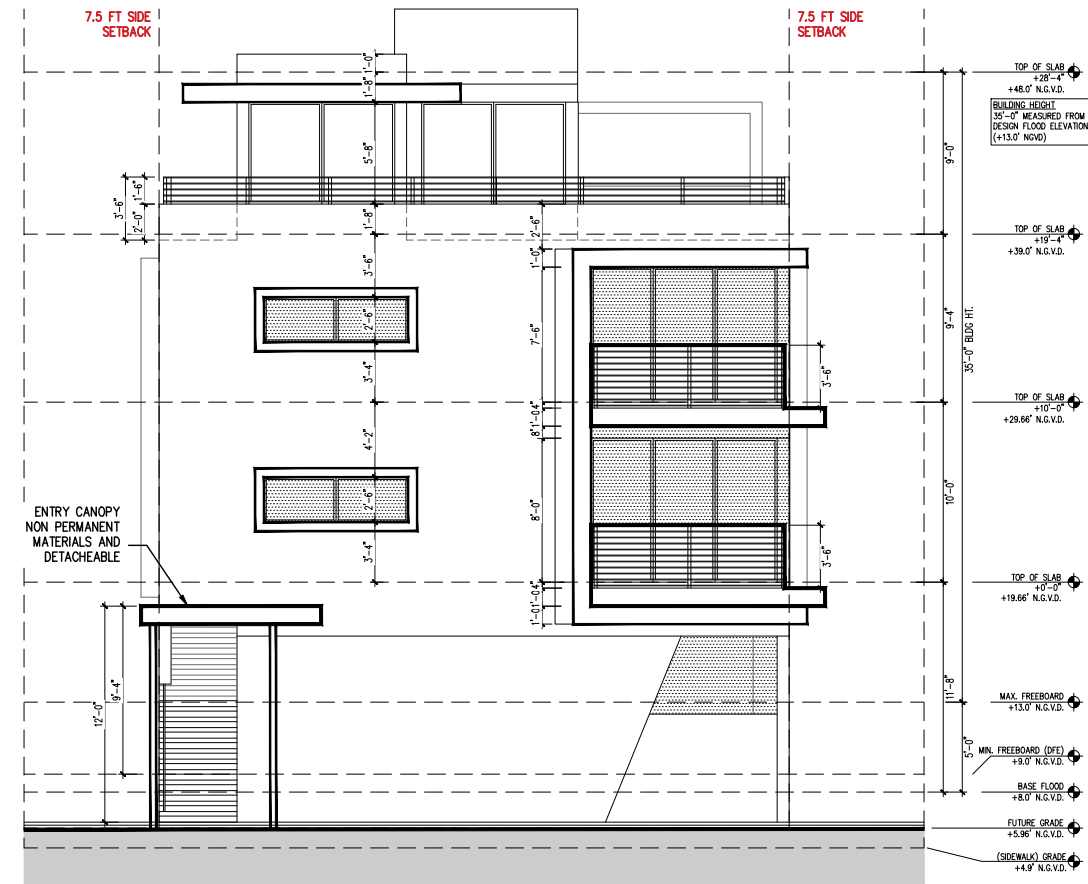
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DATE: 06-16-2024

SHEET NUMBER

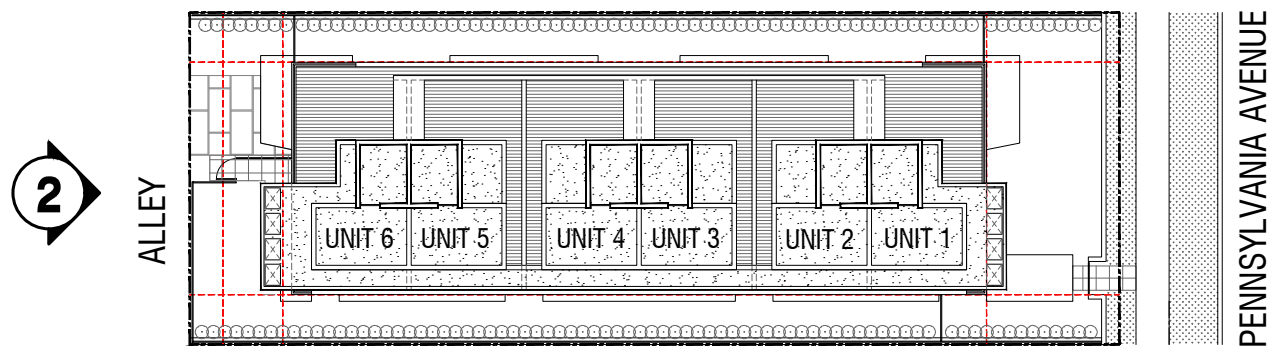
A-3.1



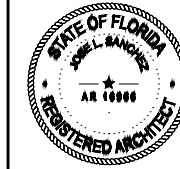
2 WEST ELEVATION
(REAR) 3/32"=1'-0"



1 EAST ELEVATION
(FRONT) 3/32"=1'-0"



ELEVATION KEYPLAN
NOT TO SCALE



ADDRESS & OWNER

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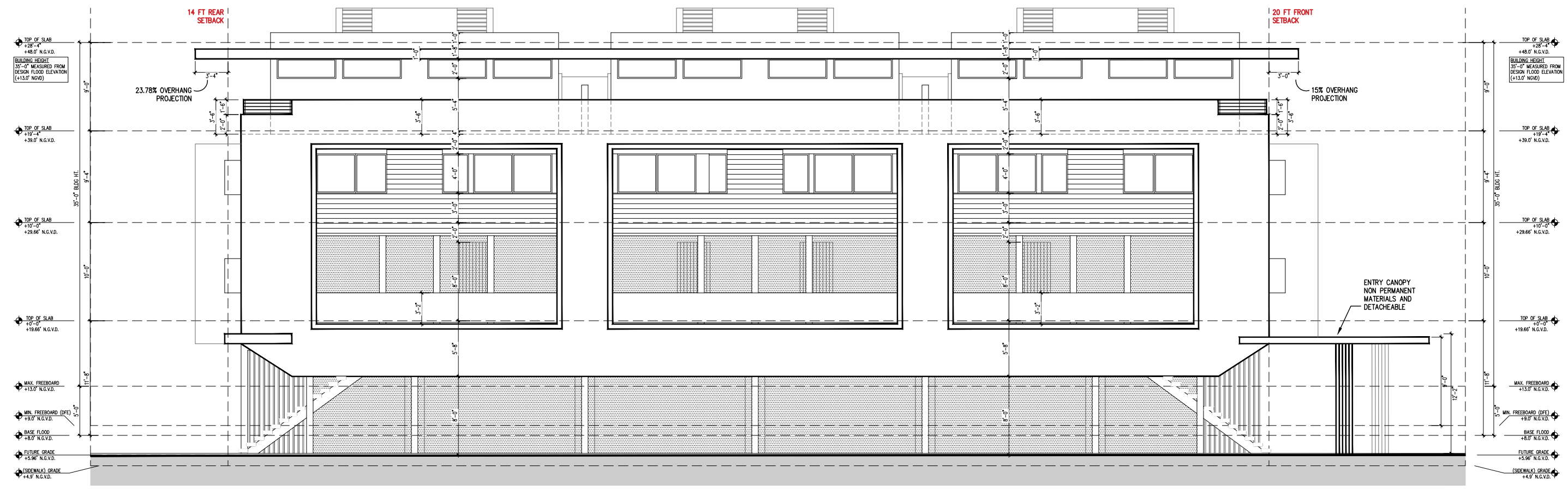
REVISION & DATE

DRAWING TITLE
SOUTH ELEVATION (SIDE)

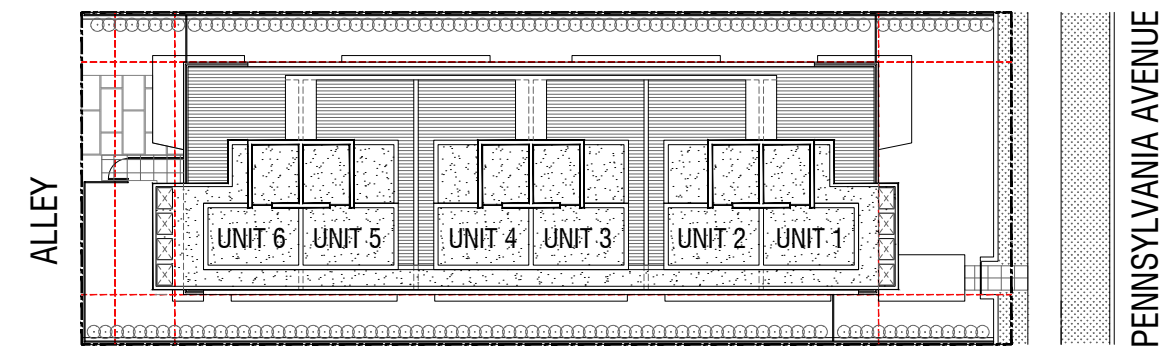
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DATE: 06-16-2024

SHEET NUMBER

A-3.2



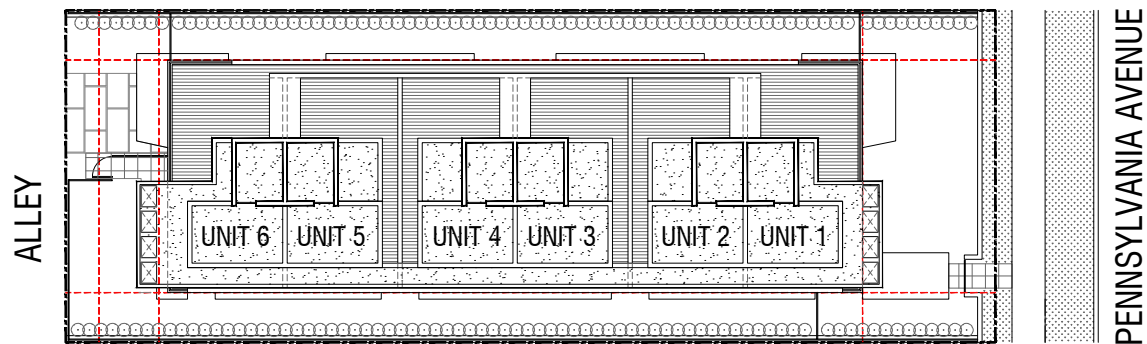
1 SOUTH ELEVATION (SIDE)
3/32"=1'-0"



1 ELEVATION KEYPLAN
NOT TO SCALE



1 NORTH ELEVATION
(SIDE) 3/32"=1'-0"



ELEVATION KEYPLAN

NOT TO SCALE

JOSE L. SANCHEZ
 AIA, LEED AP
 278 NW 37TH ST.
 MIAMI, FL. 33127
 P 305 576 8063
 FL. LIC: AR 0016966
 FL. LIC: AA 2600837



ADDRESS & OWNER

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1020 PENNSYLVANIA AVE
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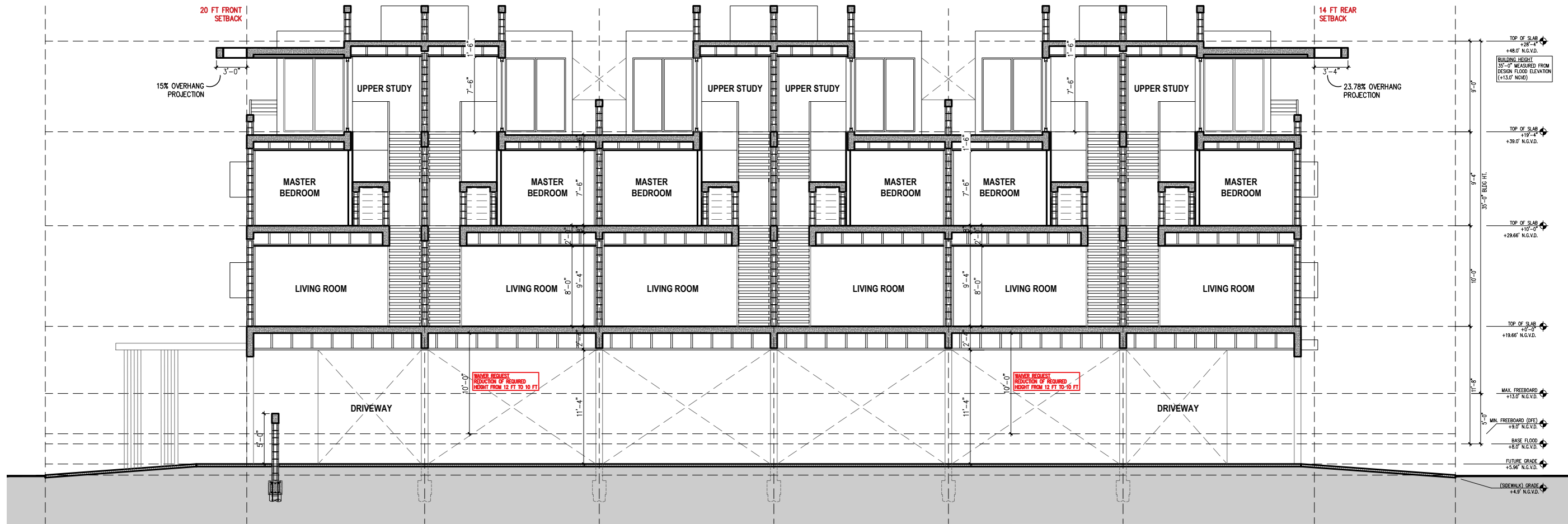
REVISION & DATE

DRAWING TITLE
NORTH ELEVATION (SIDE)

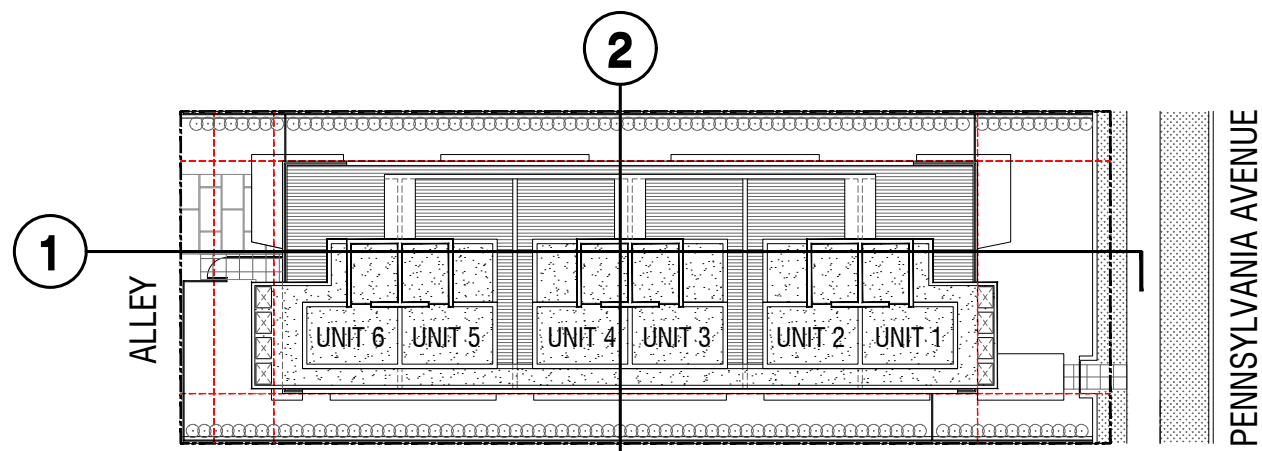
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SHEET NUMBER

A-3.3

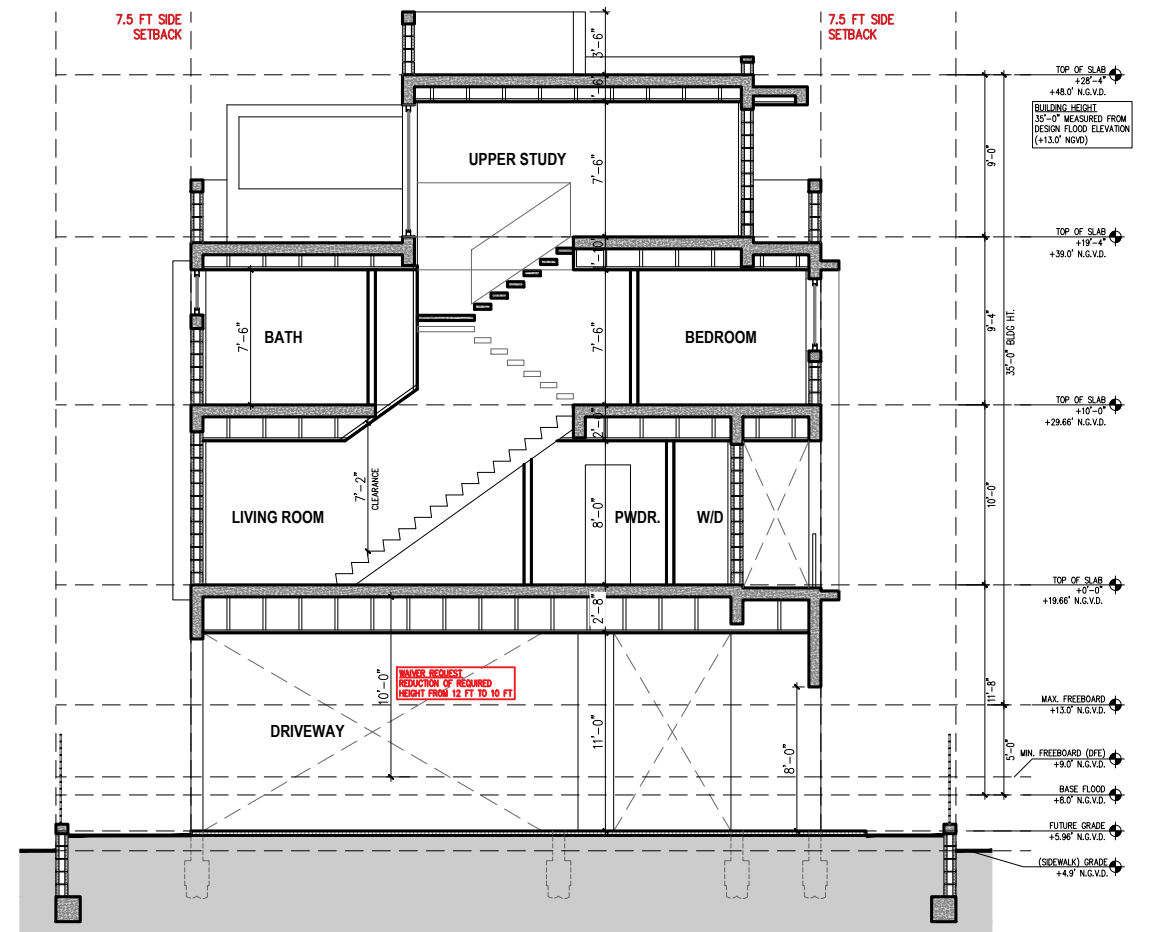


1 SECTION
3/32"=1'-0"

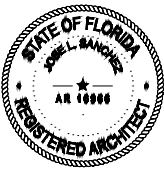


ELEVATION KEYPLAN

NOT TO SCALE



2 SECTION
3/32"=1'-0"



ADDRESS & OWNER

NEW MULTI-FAMILY RESIDENCE
1020 PENNSYLVANIA AVE
MIAMI BEACH, FL. 33139
OWNER: 1020 PENNSYLVANIA INVESTMENT LLC

REVISION & DATE

DRAWING TITLE

SECTIONS

SCALE: AS SHOWN
DATE: 06-16-2024

SHEET NUMBER

A-4.1