

PENNSYLVANIA TOWNHOMES

1020 PENNSYLVANIA AVENUE. MIAMI BEACH, FLORIDA. 33139

NEW MULTI-FAMILY DWELLING WITH UNDERSTORY



FINAL SUBMITTAL

HPB24-0618 / 02.02.2025

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SECTIONS

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P 305 576 8063

FL. LIC: AR 0016966

FL. LIC: AA 26000837

STATE OF FLORIDA

JOSE L. SANCHEZ

AR 10000

REGISTERED ARCHITECT

ADDRESS & OWNER

NEW MULTI-FAMILY RESIDENCE

1020 PENNSYLVANIA AVE

MIAMI BEACH, FL. 33139

OWNER: 1020 PENNSYLVANIA INVESTMENT LLC

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COVER SHEET / INDEX OF DRAWINGS

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NEIGHBORHOOD AERIAL VIEW



AERIAL LOCATION MAP



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NEIGHBORHOOD
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1 1044 PENNSYLVANIA AVE
EXISTING TWO-STORY BUILDING



2 1034 PENNSYLVANIA AVE
EXISTING ONE-STORY BUILDING



3 1026 PENNSYLVANIA AVE
EXISTING TWO-STORY BUILDING



4 1020 PENNSYLVANIA AVE
VACANT LOT



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PROPERTIES**

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5 1010 PENNSYLVANIA AVE
EXISTING TWO-STORY BUILDING



6 1004 PENNSYLVANIA AVE
EXISTING THREE-STORY BUILDING

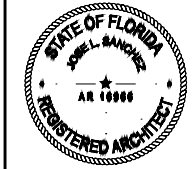


7 1003 PENNSYLVANIA AVE
EXISTING TWO-STORY BUILDING



8 1005 PENNSYLVANIA AVE
EXISTING TWO-STORY BUILDING

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9 1023 PENNSYLVANIA AVE
EXISTING TWO-STORY BUILDING



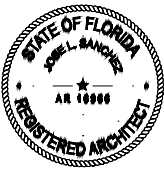
10 1027 PENNSYLVANIA AVE
EXISTING THREE-STORY BUILDING



11 1035 PENNSYLVANIA AVE
EXISTING TWO-STORY BUILDING



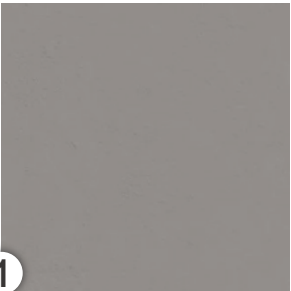
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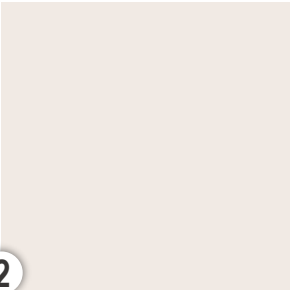


3D VIEW - FRONT ELEVATION (EAST)

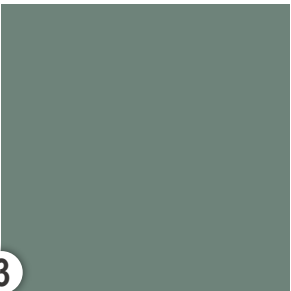
MATERIAL BOARD



PAINTED STUCCO
ACCENT COLOR
(BENJAMIN MOORE
STREET CHIC, CSP45)



PAINTED STUCCO
WALLS & CEILING
(BENJAMIN MOORE
CLOUD WHITE, OC-130)



PAINTED STUCCO
ACCENT COLOR
(BENJAMIN MOORE
CEDAR MOUNTAINS,
706)



CLEAR GLASS W/
BRONZE FRAMES.
(LOUVERS SAME
COLOR)



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WOOD PANEL.
(VINTAGE WOOD,
BARK)

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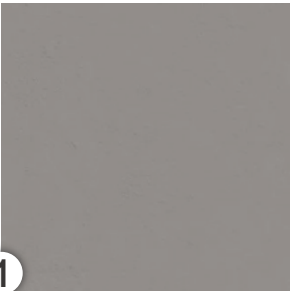
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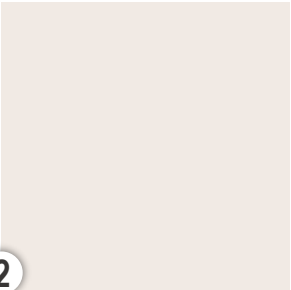


3D VIEW - REAR ELEVATION (WEST)

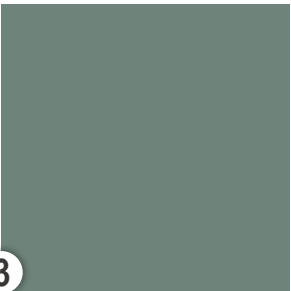
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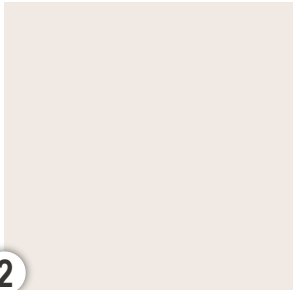


3D VIEW - FRONT

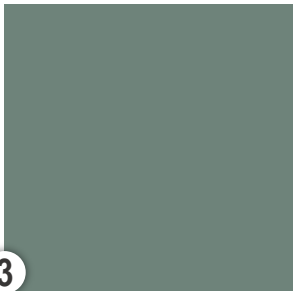
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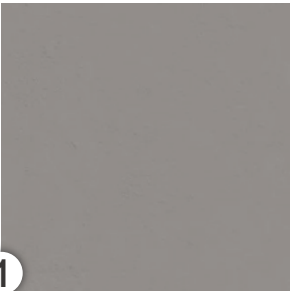


3D VIEW - SIDE ELEVATION (SOUTH)

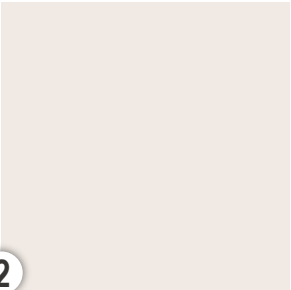


3D VIEW - SIDE ELEVATION (NORTH)

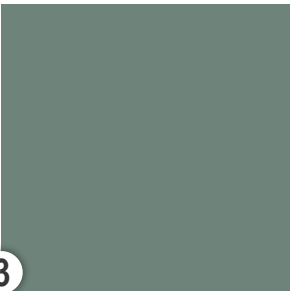
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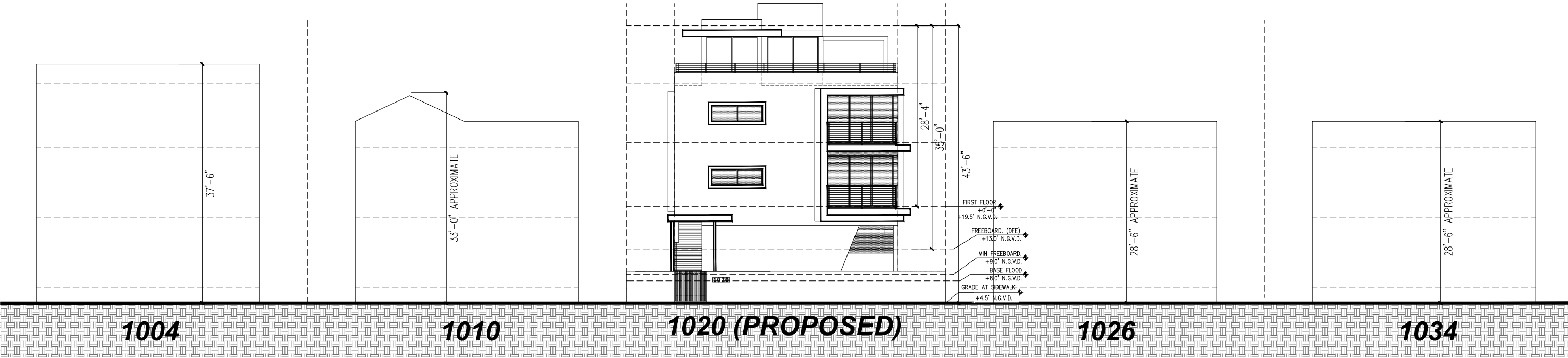
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1 CONTEXTUAL ELEVATIONS

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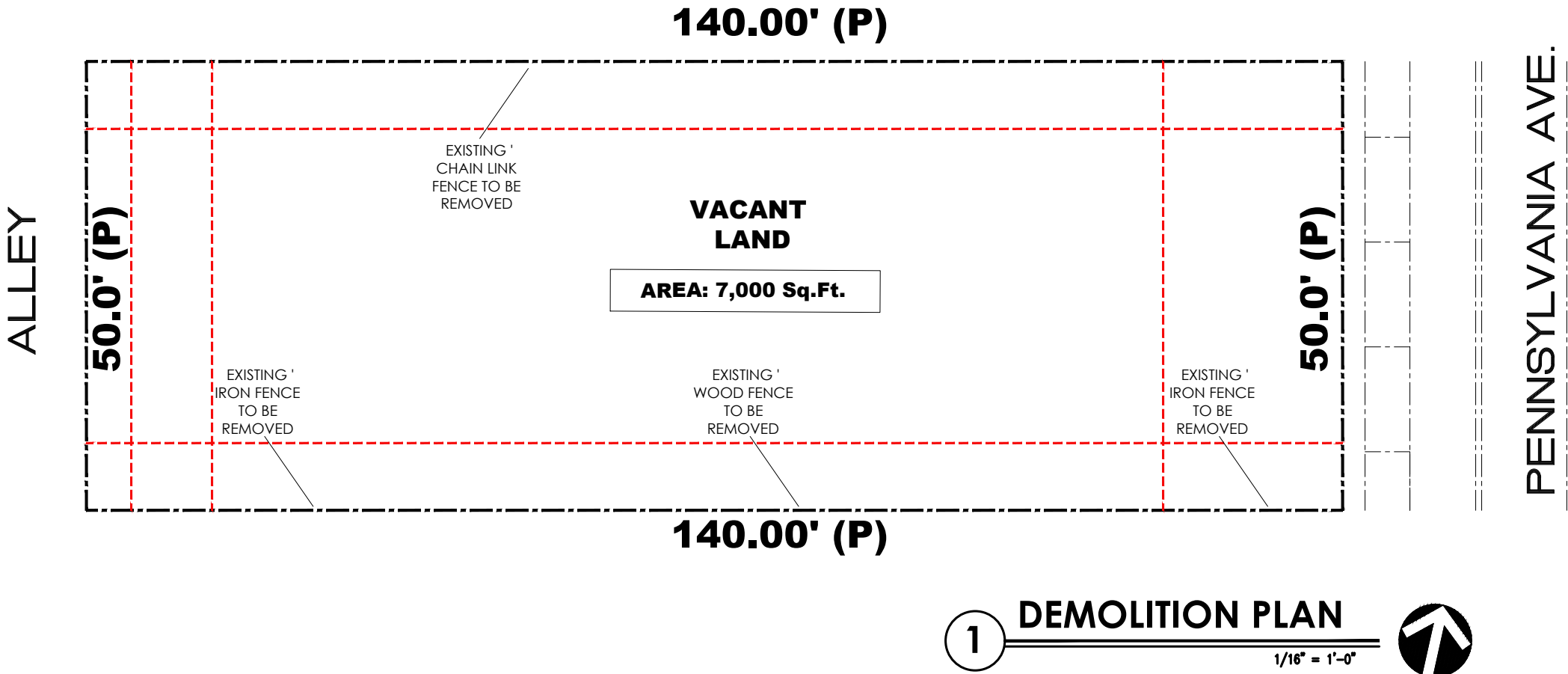
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SCOPE OF WORK

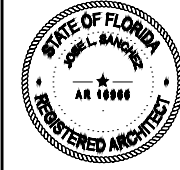
- SCOPE OF DEMOLITION FENCE REMOVAL IF REQUIRED.
- REMOVE WALKWAYS, CONCRETE OR TILED PATIO, PRIVACY WALLS, DECKS, DRIVEWAYS AND FENCES AS INDICATED ON PLANS.
- MAINTAIN OR REMOVAL OF PROTECT EXISTING TREES PER TREE DISPOSITION PLAN..

GENERAL DEMOLITION NOTES

- CONTRACTOR SHALL NOTIFY ALL UTILITIES FOR PROPER DISCONNECTION PRIOR TO DEMOLITION ACTIVITIES.
- CONTRACTOR SHALL PERFORM AND OBTAIN ALL PERMITS WITH CITY OF MIAMI BEACH & COMPLY WITH ALL NECESSARY REQUIREMENTS. CONTRACTOR SHALL PROVIDE NOTIFICATIONS AS REQUIRED AND COMPLY WITH LOCAL ORDINANCES.
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ACCIDENTAL DAMAGE TO ADJACENT PROPERTIES AND EXISTING ITEMS TO REMAIN. RESPONSIBILITY MEANS REPLACEMENT OF OR RESTORATION TO ORIGINAL CONDITION OF ANY DAMAGED ITEMS.
- CONTRACTOR SHALL REMOVE ANY DECORATIVE ACCESSORIES AND LIGHT FIXTURES FROM WALLS, CEILINGS AND ELSEWHERE DIRECTED BY OWNER AND PROTECT SAME FROM POSSIBLE DAMAGE UNTIL INSPECTION FOR DISPOSITION IS MADE BY OWNER.
- CONTRACTOR SHALL PERFORM INSECT/RODENT EXTERMINATION AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- CONDUCT OPERATIONS SO AS NOT INTERFERE WITH ADJACENT ROADS, STREETS DRIVES, WALKS, SERVICE LINES AND THE LIKE.
- MAINTAIN BUILDING GROUNDS FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH. DISPOSE ALL MATERIALS IMMEDIATELY AFTER DEMOLITION.
- CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PREVENT AIRBORNE DUST TO SPREAD TO ADJACENT PROPERTIES. WATER SHALL BE APPLIED WHEREVER PRACTICAL TO SETTLE AND HOLD DUST TO A MINIMUM, PARTICULARLY DURING THE DEMOLITION & MOVING OF MATERIALS. PROVIDE DUMP CONTAINERS ON SITE FOR COLLECTION OF WASTE MATERIALS, RUBBISH AND DEBRIS FOR ALL TRADES.
- UPON COMPLETION OF DEMOLITION WORK, LEAVE THE PROPERTY AND ADJACENT AREAS CLEAN AND SATISFACTORY TO LOCAL AUTHORITIES AND THE ARCHITECT. BESIDES THE REMOVAL OF WASTE MATERIALS. THE ENTIRE SPACE SHALL BE LEFT IN A "BROOM CLEAN" CONDITION, WITH THE COMPLETE REMOVAL OF ALL ACCUMULATIONS OF DUST FROM ANY REMAINING SURFACES, STRUCTURAL ELEMENTS OR OTHERWISE.
- CONTRACTOR SHALL PERFORM ALL NECESSARY TESTING FOR ASBESTOS CONTAINING MATERIAL AND RETAIN A CERTIFIED ASBESTOS ABATEMENT COMPANY FOR REMOVAL OF ANY ASBESTOS CONTAINING MATERIAL PER STATE OF FLORIDA REGULATIONS.

TREE PROTECTION NOTE

PROVIDE 8'X8' PROTECTION BARRIER FOR TREES LESS THAN 18" IN DIAMETER AND 12'X12' PROTECTION BARRIER FOR TREES 18" IN DIAMETER AND GREATER.



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