



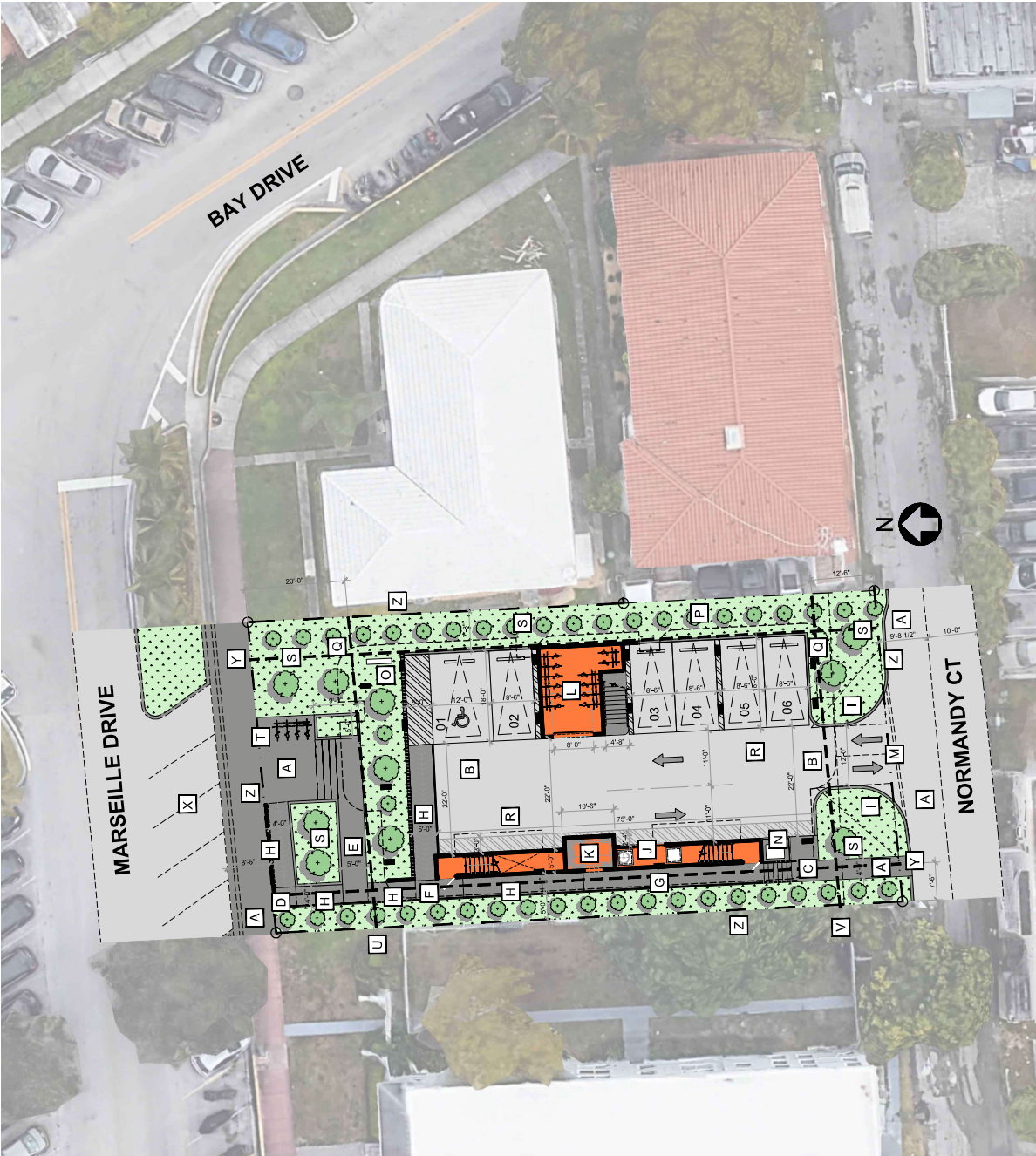
MARSEILLE RESIDENTIAL BUILDING
 914 MARSEILLE DRIVE, MIAMI BEACH, FLORIDA 33141

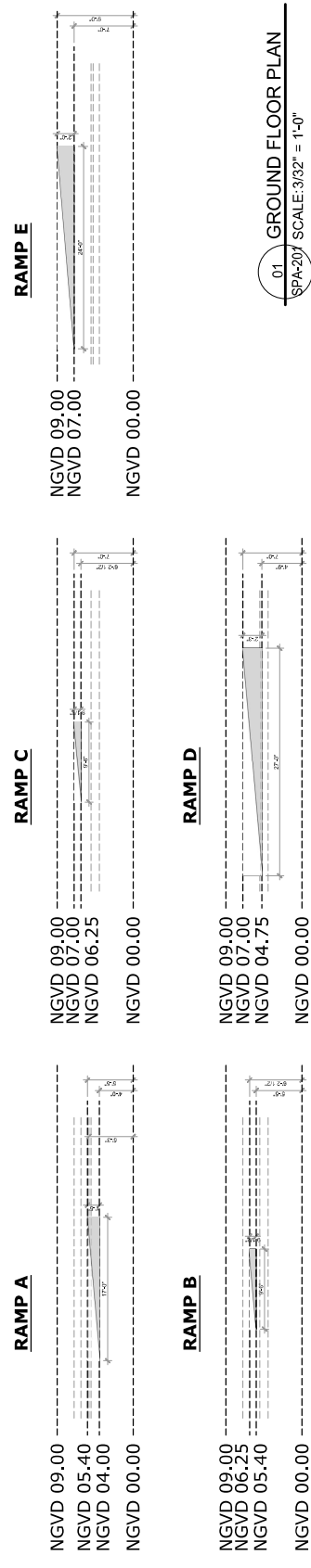
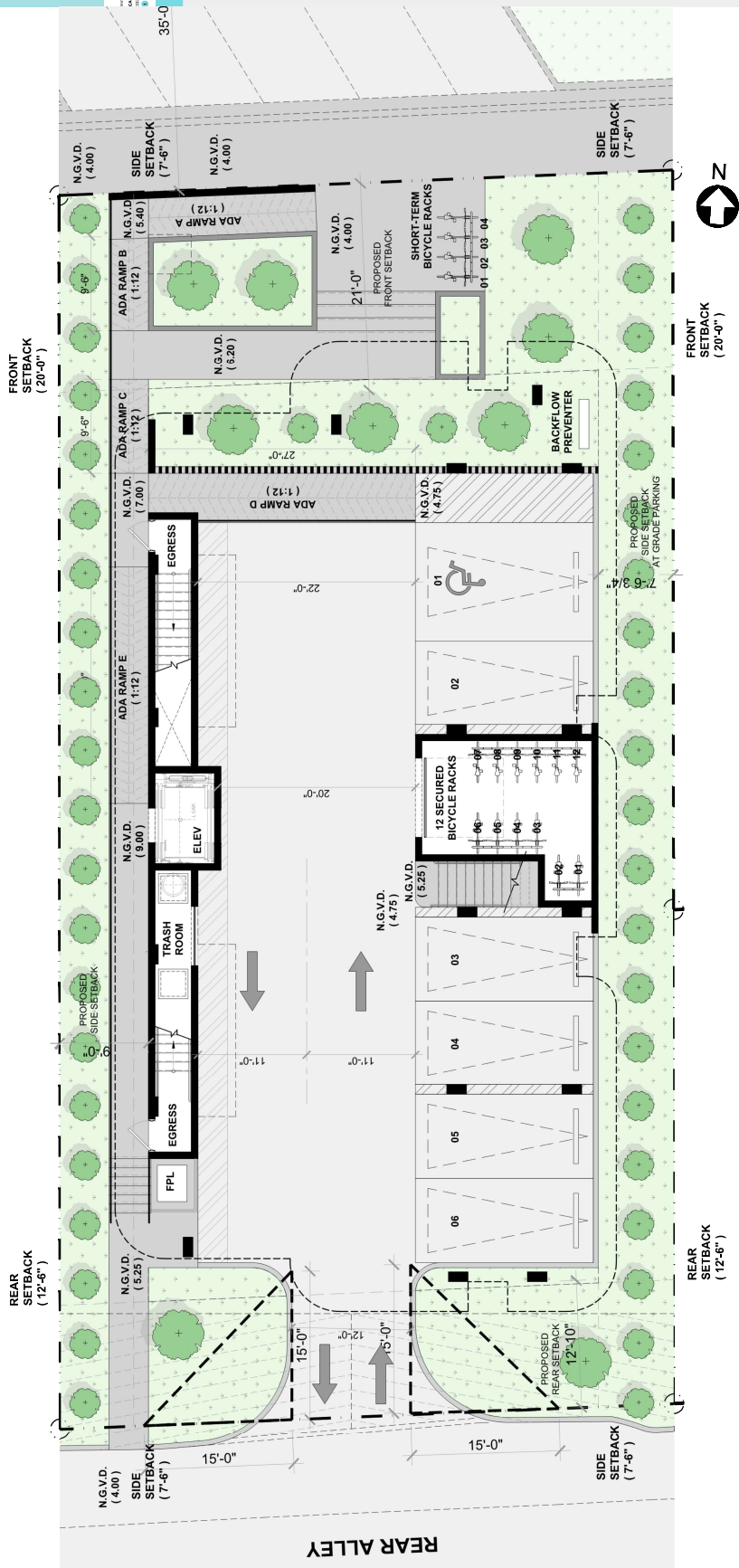
SPA-080

ISSUED FOR : HPB24-0629

SITE PLAN NOTES	
A	SPOT ELEVATION- N.G.V.D. 4.00
B	SPOT ELEVATION- N.G.V.D. 4.75
C	SPOT ELEVATION- N.G.V.D. 5.25
D	SPOT ELEVATION- N.G.V.D. 5.40
E	SPOT ELEVATION- N.G.V.D. 6.20
F	SPOT ELEVATION- N.G.V.D. 7.00
G	SPOT ELEVATION- N.G.V.D. 9.00
H	ADA RAMP SLOPE 1/2. SEE RAMP SECTION A-201
I	SIGHT TRIANGLE SEE LANDSCAPING PLAN 15' X 15'
J	TRASH ROOM WITH ROLLING DOOR
K	ELEVATOR (04' X 64" TO ACCESS LEVEL 24
L	SECURED BICYCLE STORAGE, 12 RACKS
M	VEHICULAR ENTRANCE / EXIT, 12 FEET WIDE
N	PPL TRANSFORMER, NOT IN SETBACK & SCREENED
O	BACKFLOW PREVENTER, NOT LOCATED IN SETBACK AND SCREENED WITH VEGETATION. SEE LANDSCAPE
P	AT GRADE PARKING, NOT ENCROACHING IN SETBACK
Q	2ND FLOOR OUTLINE PERIMETER COVERED.
R	22 FEET WIDE ABLE FOR PARKING GARAGE
S	SEE LANDSCAPING PLAN FOR EXACT TREE DESIGN
T	4 SHORT-TERM BICYCLE PARKING
U	FRONT SETBACK 20 FEET, WITH NO ENCROACHMENTS
V	REAR SETBACK 12.5 FEET, WITH NO ENCROACHMENTS
W	22 FEET WIDE ABLE FOR PARKING GARAGE
X	ON-STREET PARKING, NOT COUNT IN CALCULATION
Y	SIDE SETBACK 7.5 FEET
Z	PROPERTY LINES
<p>IN ADDITION TO THE MINIMUM SETBACK REQUIREMENTS WHICH IS EQUAL TO 5 PERCENT OF THE TOTAL LOT AREA. LOT AREA = SITE A (4,663 SF) + SITE B1 (1,109 SF) + 7,772 SF = 38,6 SF REQUIRED 5% X 7,772 SF = 388.6 SF REQUIRED PROVIDING = 473 SF</p>	
<p>LANDSCAPED AREA</p>	
<p>SEWERWALK & CURBS AREA</p>	
<p>ACTUAL AREA</p>	
<p>BUILDING AREA ABOVE</p>	

01 SITE PLAN
 SPA-080 SCALE: 1" = 20'-0"





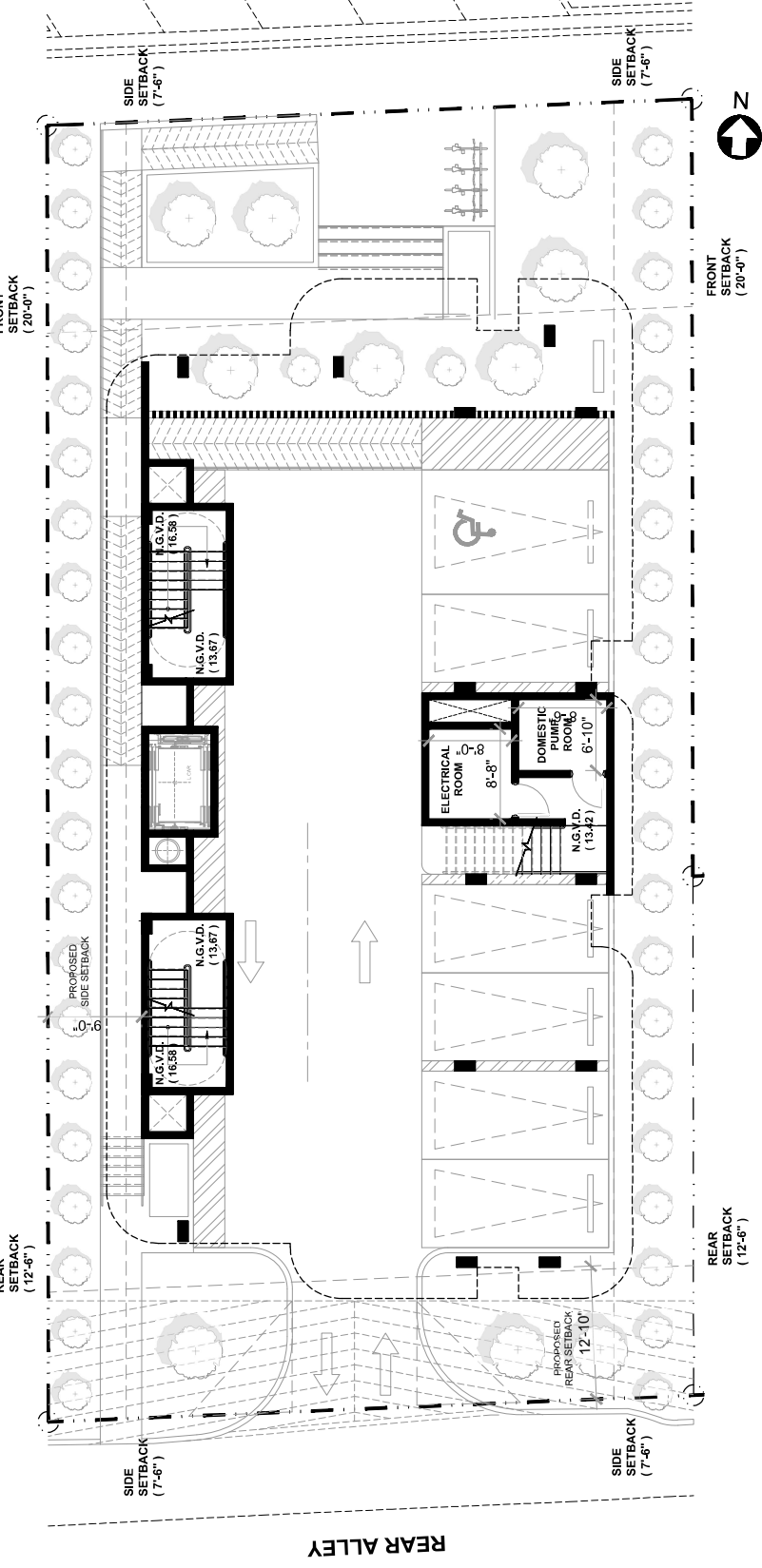
0.1 GROUND FLOOR PLAN
 SPA-201 SCALE: 3/32" = 1'-0"

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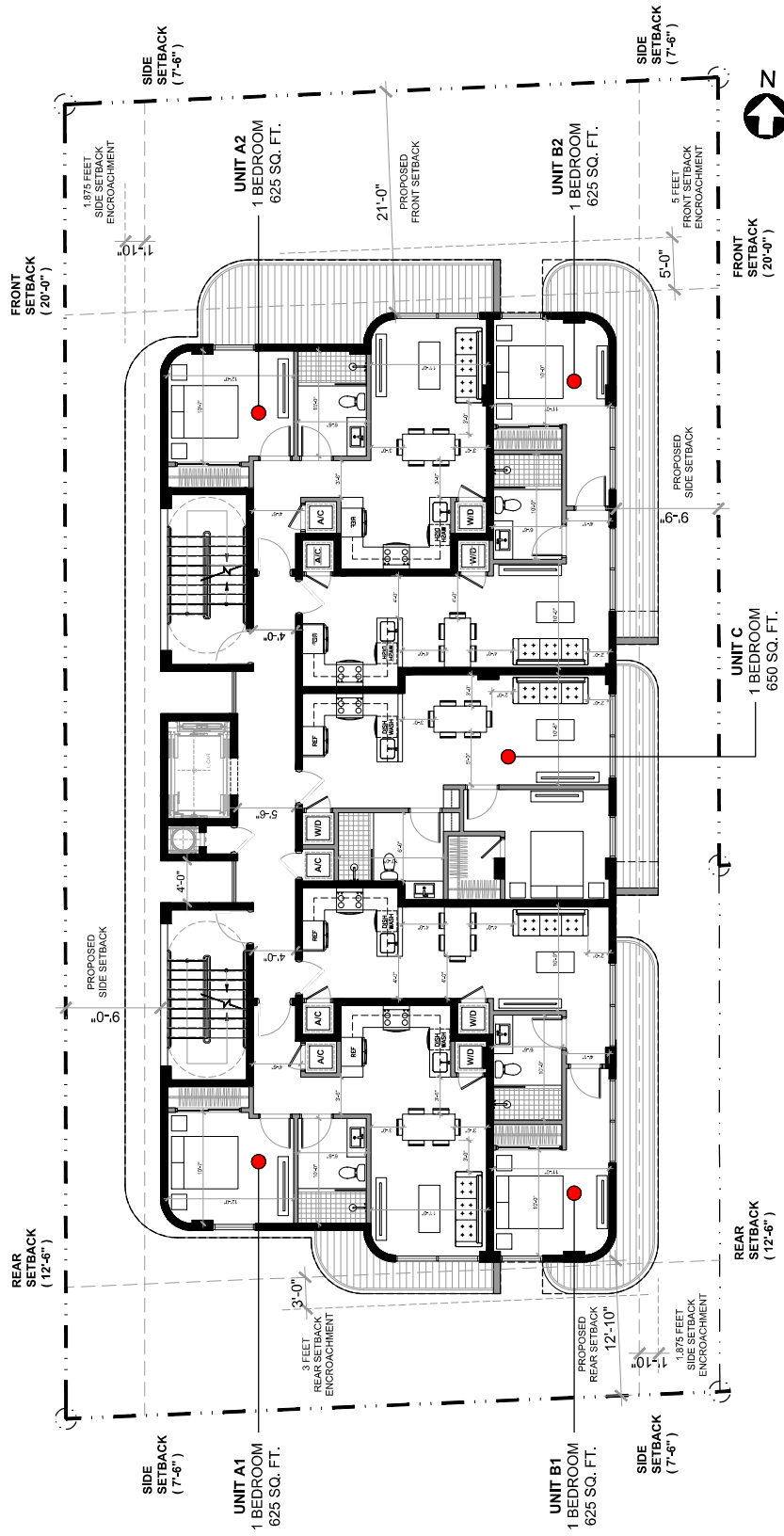
SPA-202



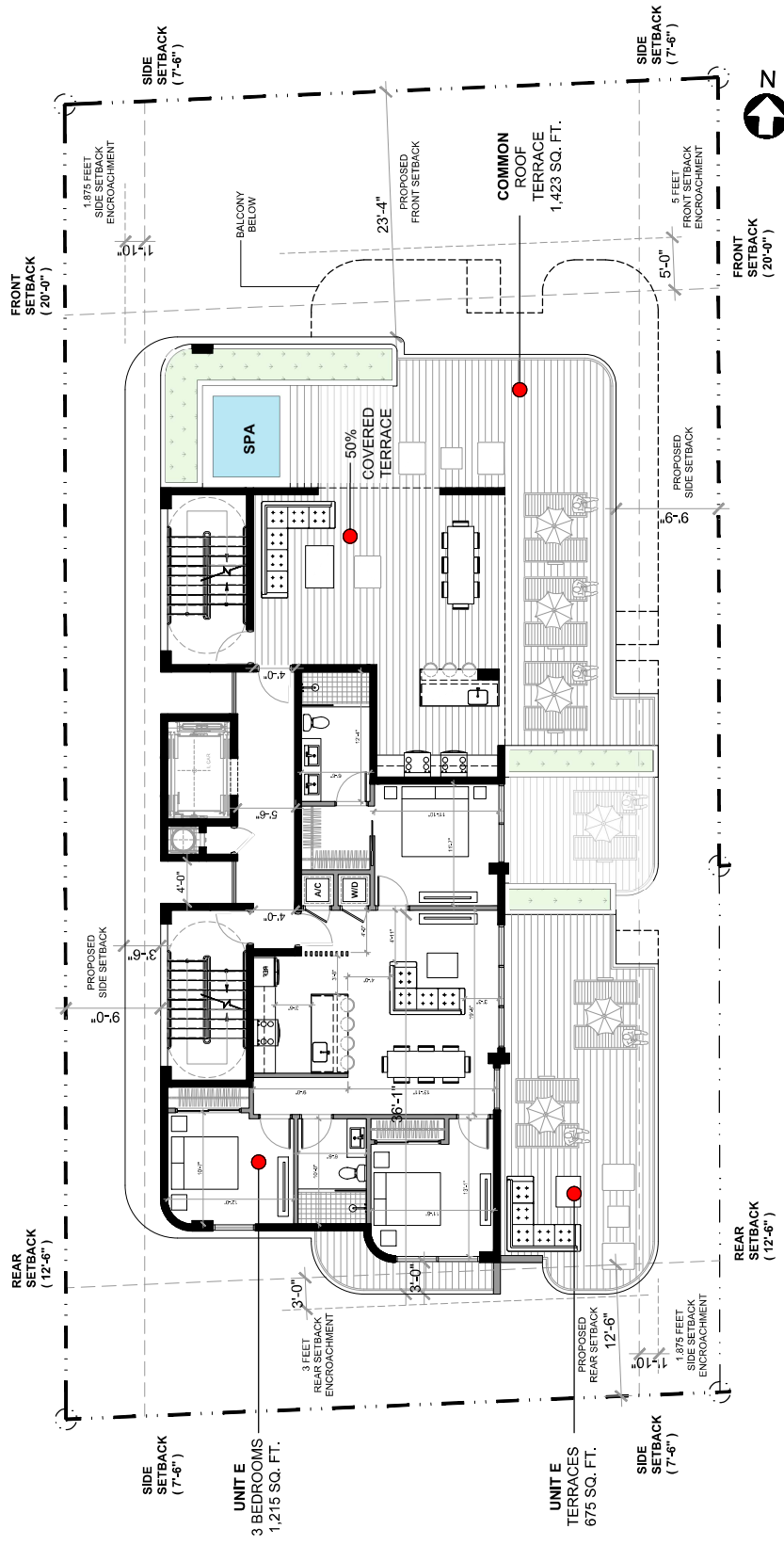
01 MEZZANINE FLOOR PLAN
SPA-202 SCALE: 3/32" = 1'-0"

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01 2ND FLOOR PLAN
SPA-203 SCALE: 3/32" = 1'-0"



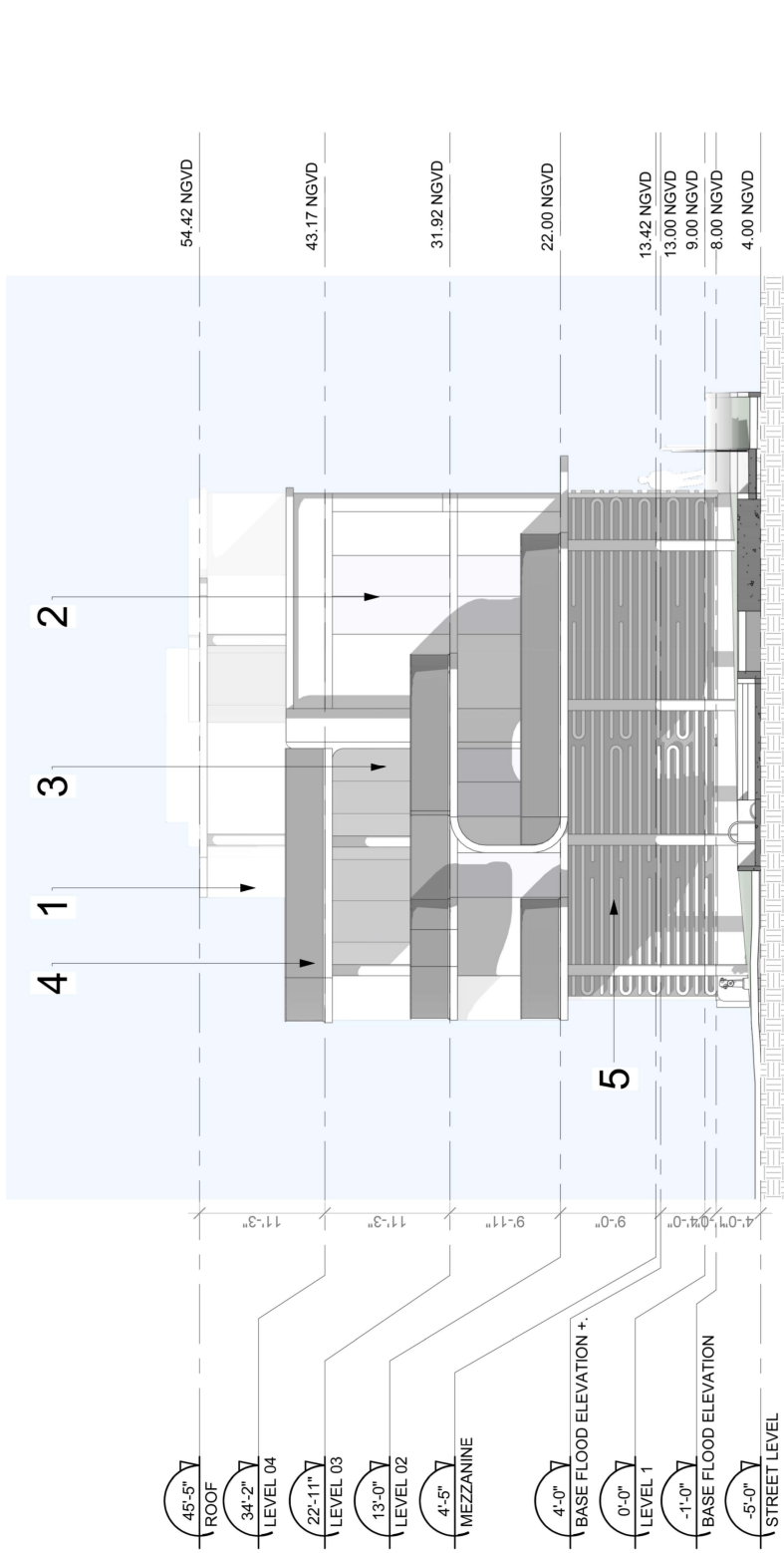
01 4TH FLOOR PLAN
SPA-205 SCALE: 3/32" = 1'-0"



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SPA-501

ISSUED FOR : HPR24-0629



01 NORTH ELEVATION
 SPA-501 SCALE: 3/32" = 1'-0"



1 | SMOOTH STUCCO FINISH
 AF-685 THUNDER
 BENJAMIN MOORE /
 OR EQUIVALENT
 APPROVED BY ARCHITECT



2 | ALUMINUM FRAME
 WHITE OPULENCE OC-69
 BENJAMIN MOORE /
 OR EQUIVALENT APPROVED
 BY ARCHITECT



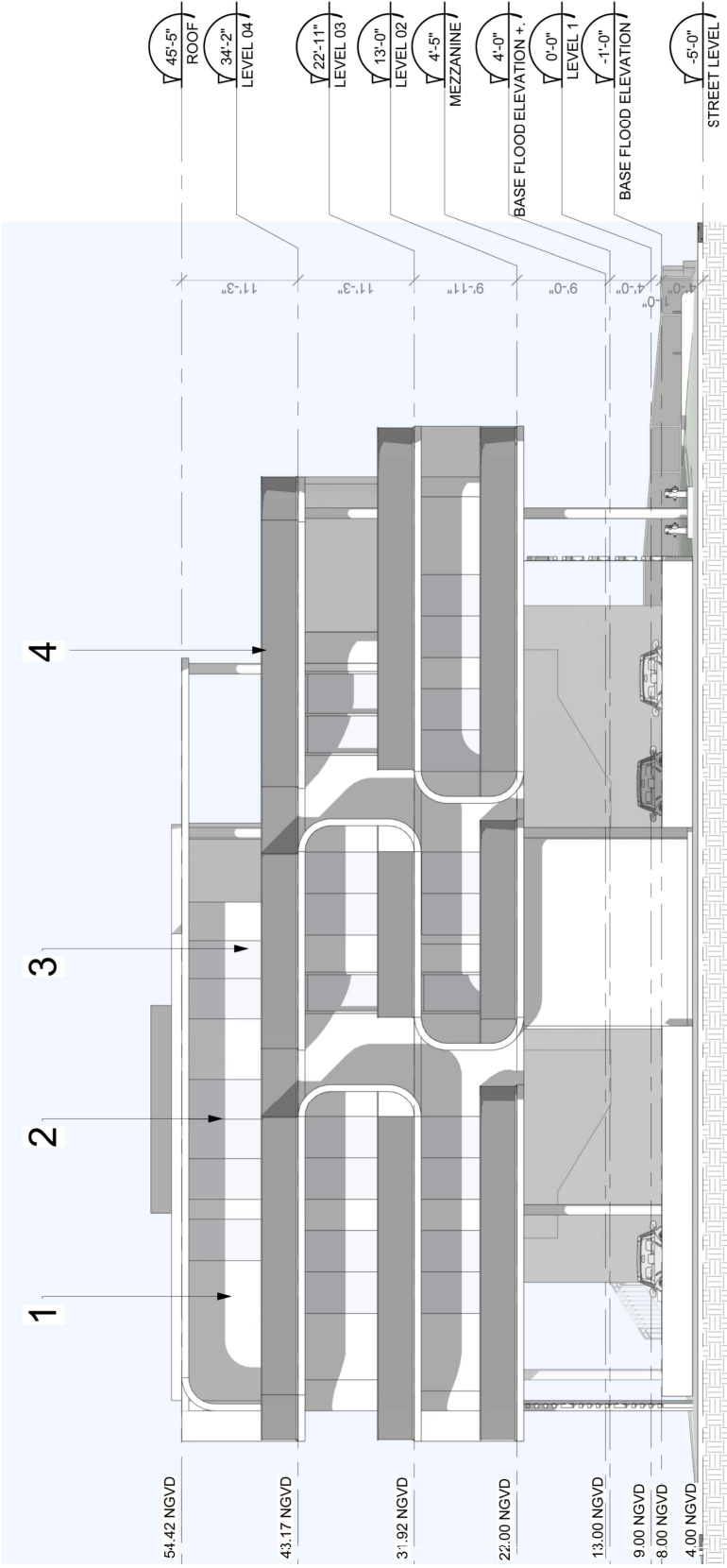
3 | TINTED GLASS FOR
 STOREFRONT /
 WINDOWS / DOORS
 VIRACON OPTIGRAY



4 | RAILING METAL INFILL



5 | WOOD SLATS WALL



5 | WOOD SLATS WALL



4 | RAILING METAL INFILL



3 | TINTED GLASS FOR SUN PROTECTION / WINDOW FILLS / VIRACON OPTIGRAY



2 | ALUMINUM FRAME / WHITE OR LIME / OC-69 / BENJAMIN MOORE / OR EQUIVALENT / APPROVED BY ARCHITECT



1 | SMOOTH STUCCO FINISH / 6885 THUNDER / BENJAMIN MOORE / OR EQUIVALENT / APPROVED BY ARCHITECT

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ISSUED FOR : HPB24-0629

SPA-502

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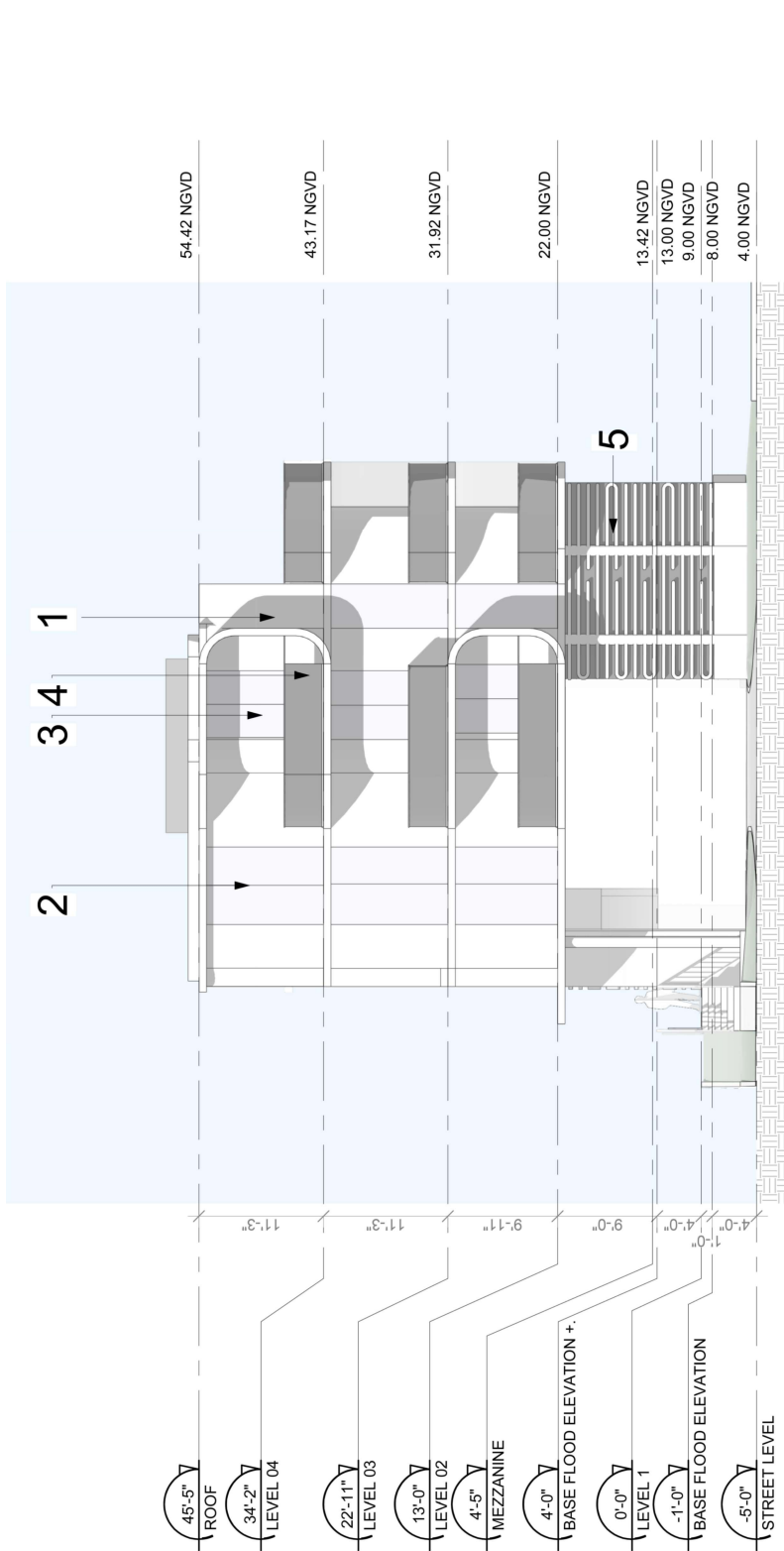
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SPA-503

ISSUED FOR : HPR24-0629



01 SOUTH ELEVATION
 SPA-503 SCALE: 3/32" = 1'-0"



1 | SMOOTH STUCCO FINISH
 AF-685 THUNDER
 BENJAMIN MOORE /
 OR EQUIVALENT
 APPROVED BY ARCHITECT



2 | ALUMINUM FRAME
 WHITE OPULENCE OC-69
 BENJAMIN MOORE /
 OR EQUIVALENT APPROVED
 BY ARCHITECT



3 | TINTED GLASS FOR
 STOREFRONT /
 WINDOWS / DOORS
 VIRACON OPTIGRAY



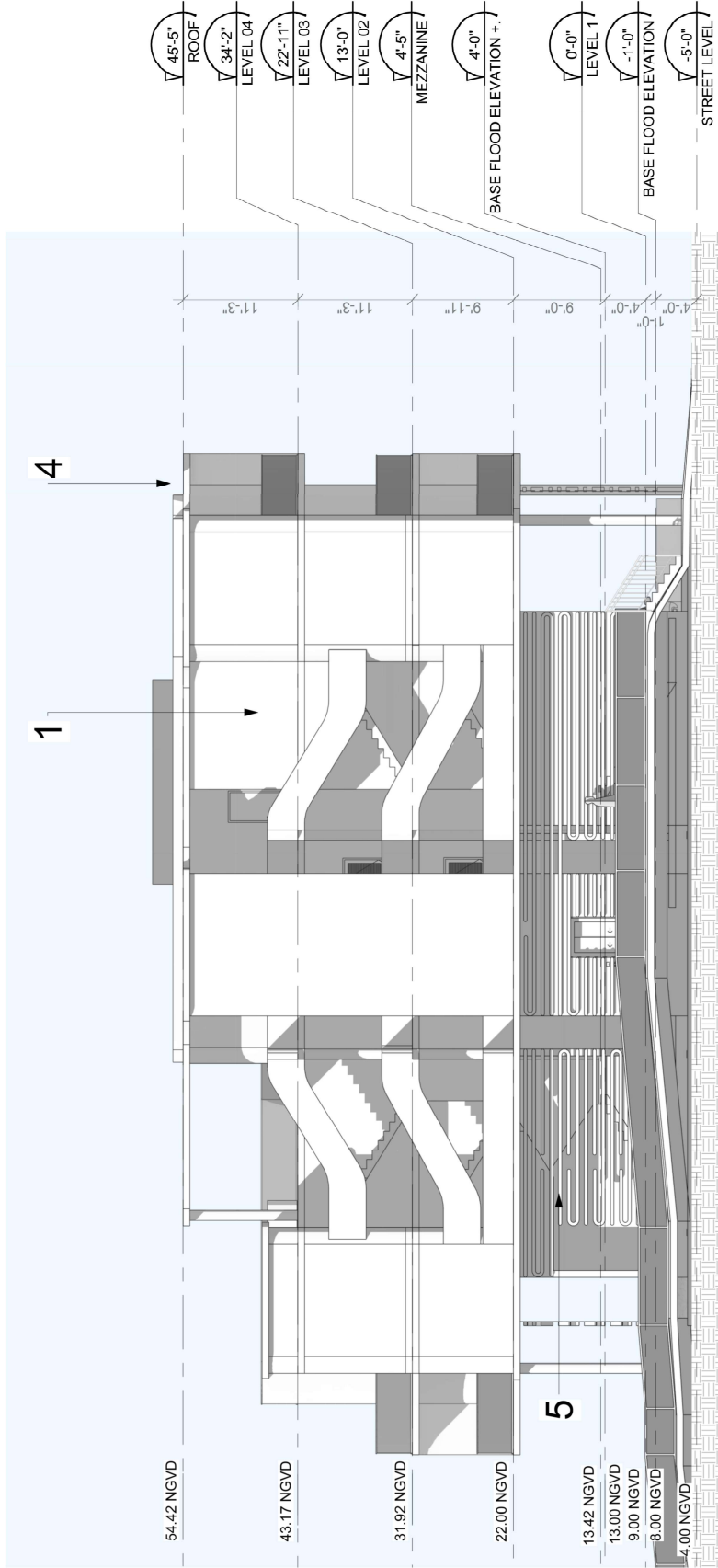
4 | RAILING METAL INFILL



5 | WOOD SLATS WALL



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01 WEST ELEVATION
SPA-504 SCALE: 3/32" = 1'-0"



5 | WOOD SLATS WALL



4 | RAILING METAL INFILL



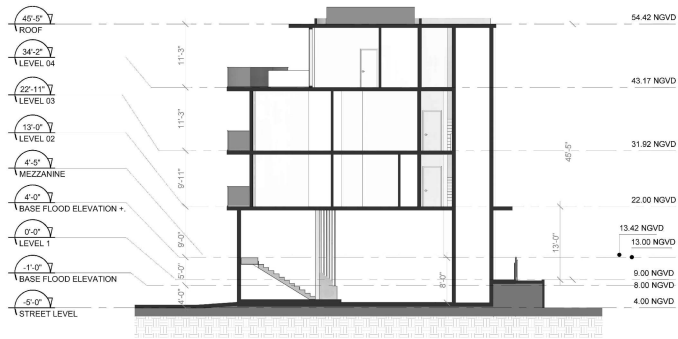
3 | TINTED GLASS FOR STOREFRONT / WINDOWS / DOORS VIRACON OPTIGRAY



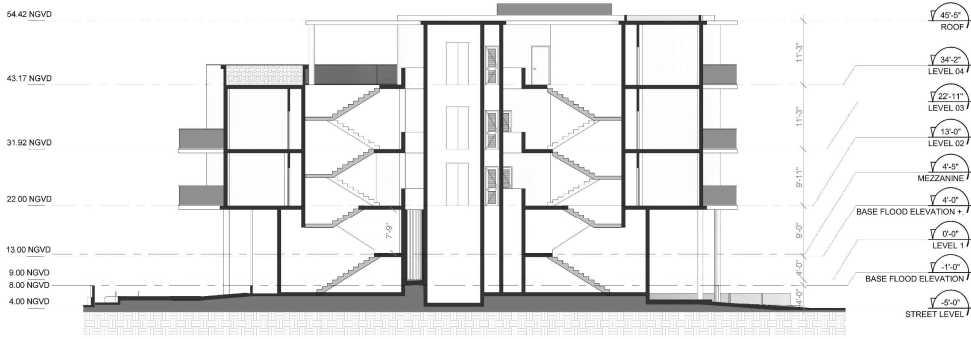
2 | ALUMINUM FRAME WHITE OPULENCE OC-89 BENJAMIN MOORE / OR EQUIVALENT APPROVED BY ARCHITECT



1 | SMOOTH STUCCO FINISH AF-685 THUNDER BENJAMIN MOORE / OR EQUIVALENT APPROVED BY ARCHITECT



01 SECTION A (SOUTH)
SPA-601 SCALE: 1/16" = 1'-0"



02 SECTION B (EAST)
SPA-601 SCALE: 1/16" = 1'-0"

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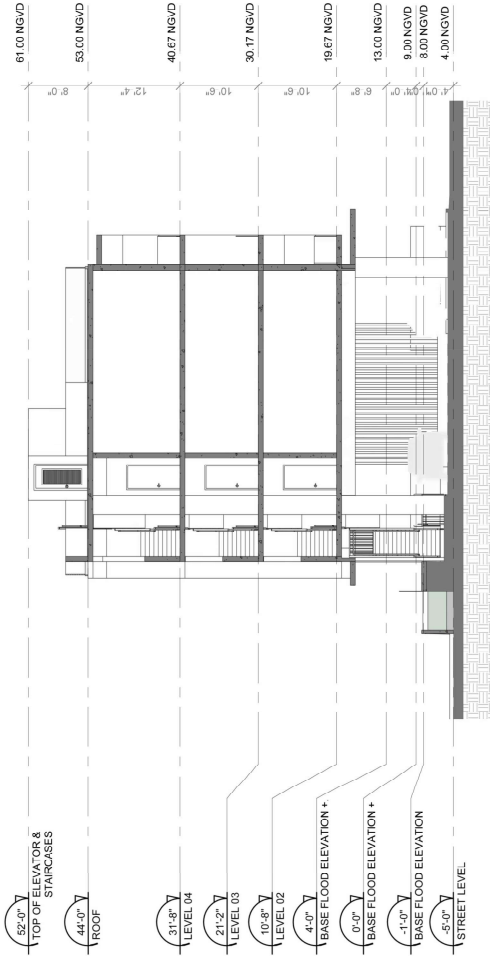
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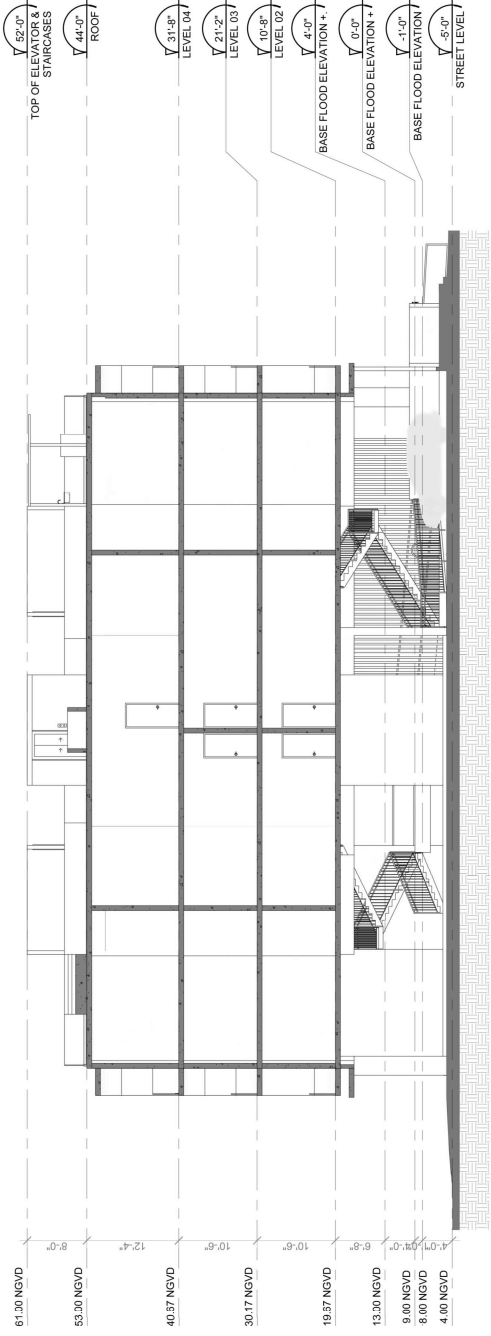
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ISSUED FOR : HPB24-0629

SPA-601



01 SECTION C (NORTH)
SPA-602 SCALE: 1/16" = 1'-0"



02 SECTION D (WEST)
SPA-602 SCALE: 1/16" = 1'-0"

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SPA-602