



MARSEILLE RESIDENTIAL BUILDING

ADDRESS : 914 MARSEILLE DRIVE, MIAMI BEACH, FLORIDA 33141
PROJECT NUMBER : 23-842
DATE OF ISSUE : 03-09-2025
Issued for: **HPB24-0629**

CLIENT



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ARCHITECT



IDEA ARCHITECT
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LANDSCAPE



GSLA DESIGN, INC.
17670 NW 78TH AVENUE, SUITE 214
CORAL SPRINGS, FL 33065
TEL: 305-392-1016

TRAFFIC STUDY



KIMLEY-HORN AND ASSOCIATES, INC.
2 ALHAMBRA PLAZA, SUITE 500
CORAL SPRINGS, FL 33064
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ATTORNEY



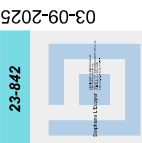
AKERMAN LLP
98 SE 7TH STREET, SUITE 1100
MIAMI BEACH, FL 33139
TEL: 305-464-2624

SCOPE OF WORK
THE DEVELOPMENT AND CONSTRUCTION OF A 4-STORY RESIDENTIAL BUILDING WITH 10 DWELLING UNITS, 6 PARKING SPACES IN AN UNDERSTORY LOCATED BELOW THE FIRST HABITABLE LEVEL, AND AN EXTERIOR ROOF TERRACE.

MARSEILLE RESIDENTIAL BUILDING
914 MARSEILLE DRIVE, MIAMI BEACH, FLORIDA 33141

ISSUED FOR : **HPB24-0629**

SPA-000

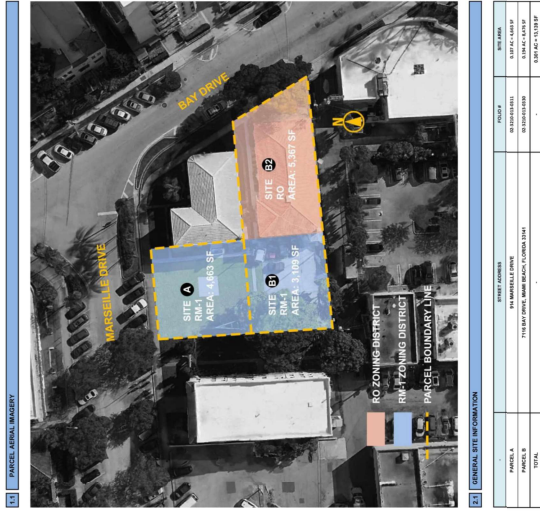
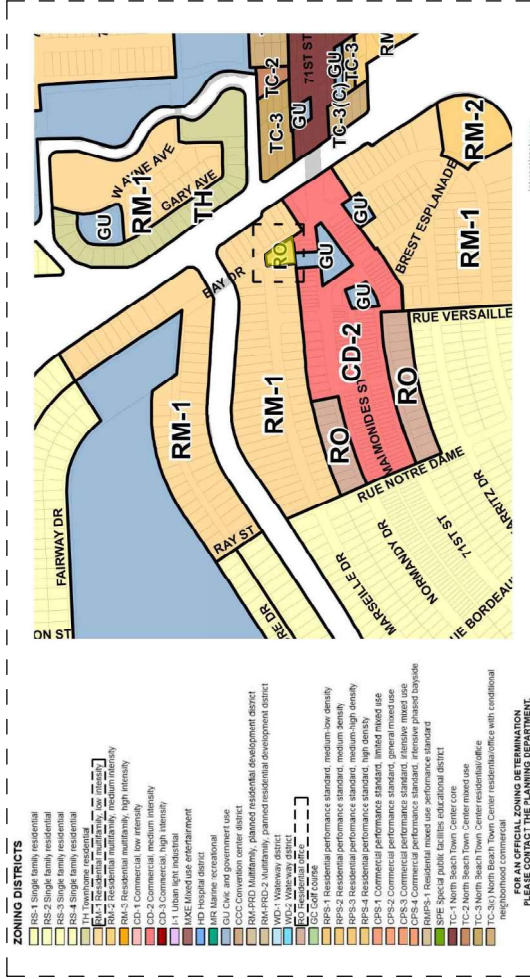
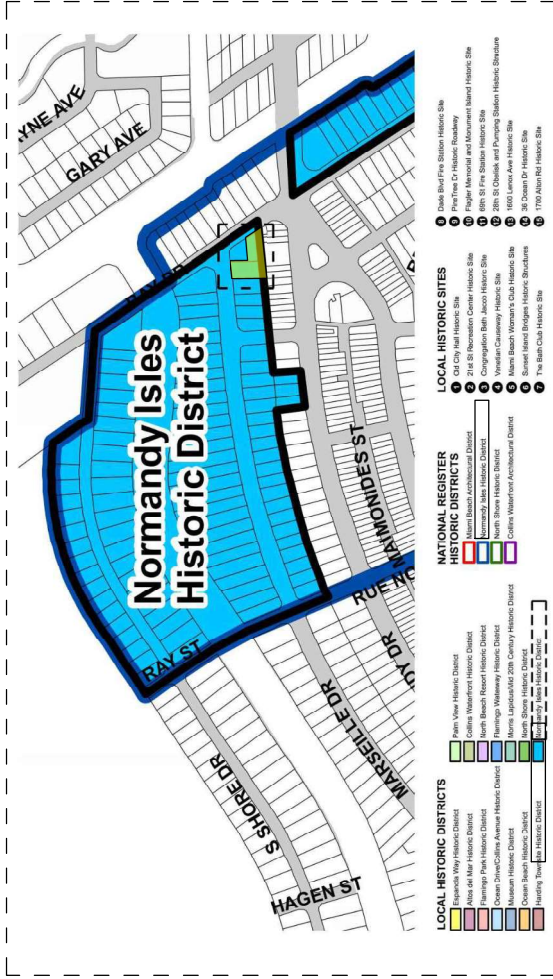


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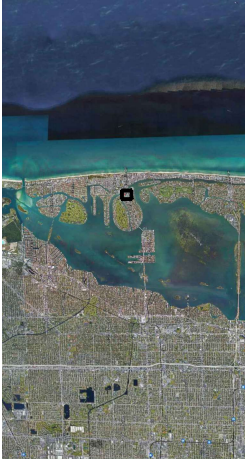
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idea
Architect

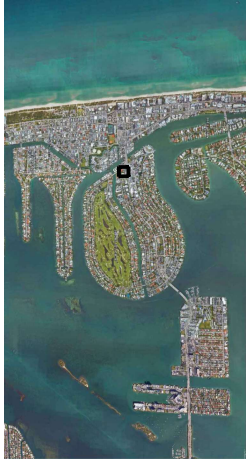
absolute-idea.com
10000 SW 15TH AVE, SUITE 100
MIAMI, FL 33187
TEL: 305.464.2624



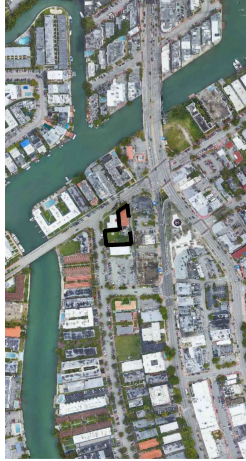
ARCHITECTURE	DRAWING INDEX	INITIAL SUBMITTAL	REVISED
SPA-000	Cover Sheet & Professionals	0	0
SPA-001	Drawing Index & Site Information	0	0
SPA-002	Property Overview (Maps & Aerials)	0	0
SPA-003	Existing Property Views (Photos)	0	0
SPA-004	Topographic Land Survey	0	0
SPA-005	Zoning Code Analysis	0	0
SPA-006	Floor Area Ratio Diagrams	0	0
SPA-007	Gross Floor Area Table & Units Matrix	0	0
SPA-008	Contributing Building Elevations & Plans	0	0
SPA-009	Conceptual Building Section	0	0
SPA-010	Enlarged Site Plan	0	0
SPA-201	Ground Floor Plan Layout	0	0
SPA-202	2nd Floor Plan Layout	0	0
SPA-203	3rd Floor Plan Layout	0	0
SPA-204	4th Floor Plan Layout	0	0
SPA-205	Roof Plan Layout	0	0
SPA-501	North Elevation	0	0
SPA-502	East Elevation	0	0
SPA-503	South Elevation	0	0
SPA-504	West Elevation	0	0
SPA-505	Contextual Street Elevation	0	0
SPA-601	Building Section - Longitudinal	0	0
SPA-602	Building Section - Transversal	0	0
SPA-901	3D Rendering - 01	0	0
SPA-902	3D Rendering - 02	0	0
SPA-903	3D Rendering - 03	0	0
SPA-904	3D Rendering - 04	0	0
SPA-905	3D Rendering - 05	0	0
SPA-906	3D Rendering - 06	0	0
SPA-907	3D Rendering - 07	0	0
SPA-908	Site Study 2D & 3D	0	0



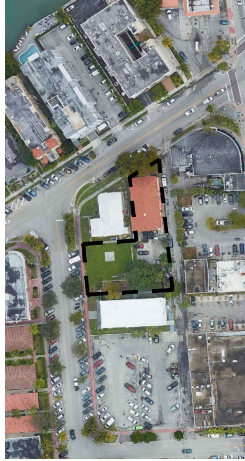
LOCATION PLAN 1 - (914 MARSEILLE DRIVE, MIAMI BEACH)



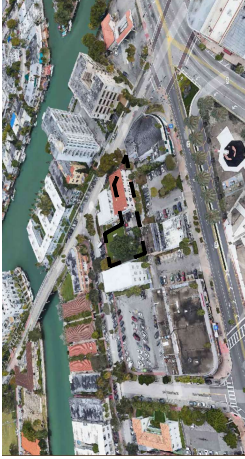
LOCATION PLAN 2 - (914 MARSEILLE DRIVE, MIAMI BEACH)



LOCATION PLAN 3 - (914 MARSEILLE DRIVE, MIAMI BEACH)



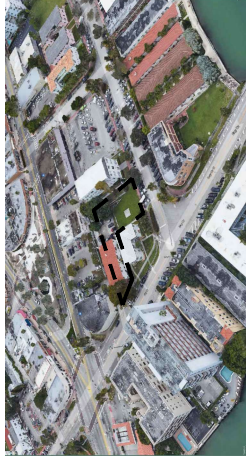
LOCATION PLAN 4 - (914 MARSEILLE DRIVE, MIAMI BEACH)



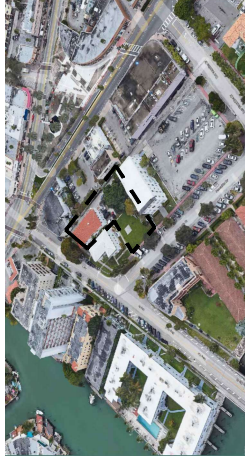
AERIAL 3D - 1 (FROM NORMANDY CT.)



AERIAL 3D - 2 (CORNER OF BAY DRIVE E / NORMANDY CT.)



AERIAL 3D - 3 (CORNER OF MARSEILLE DRIVE / BAY DRIVE E)



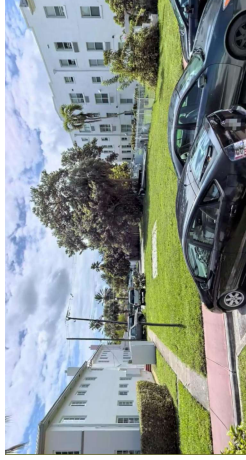
AERIAL 3D - 4 (FROM MARSEILLE DRIVE)



STREET VIEW - 1 (CORNER OF MARSEILLE DRIVE / BAY DRIVE E)



STREET VIEWS - 2 (MARSEILLE DRIVE)



STREET - 3 (CORNER OF MARSEILLE DRIVE / BAY DRIVE E)



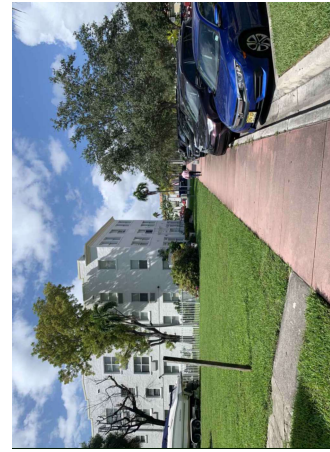
STREET - 4 (MARSEILLE DRIVE)

MARSEILLE RESIDENTIAL BUILDING

914 MARSEILLE DRIVE, MIAMI BEACH, FLORIDA 33141

SPA-002

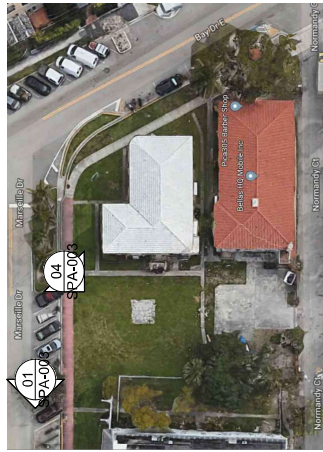
ISSUED FOR : HPB24-0629



01 LOOKING WEST
VIEW FROM SIDEWALK
SPA-003 SCALE: NTS



04 VIEW FROM
SIDEWALK LOOKING SOUTH WEST
SPA-003 SCALE: NTS



07 KEY PLAN
SPA-003 SCALE: NTS



02 VIEW FROM
SIDEWALK LOOKING EAST
SPA-003 SCALE: NTS



05 VIEW OF EAST NEIGHBOR PROPERTY
SPA-003 SCALE: NTS



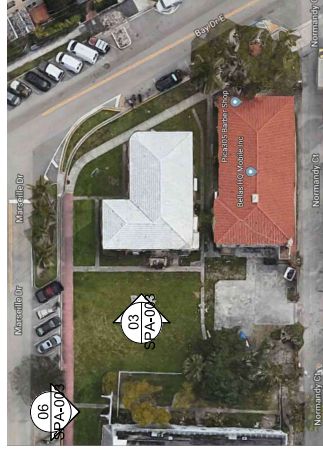
08 KEY PLAN
SPA-003 SCALE: NTS



03 VIEW FROM CENTER OF
THE PROPERTY LOOKING EAST
SPA-003 SCALE: NTS



06 VIEW OF WEST PROPERTY
SPA-003 SCALE: NTS



09 KEY PLAN
SPA-003 SCALE: NTS

MARSEILLE RESIDENTIAL BUILDING

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ISSUED FOR : HPB24-0629

SPA-003

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ZONING DESIGNATION		ZONING MAP		ALLOWED RESOURCES	PROVIDED
CODE	DESCRIPTION	CITY OF WAHIA BEACH		DM-4 RESIDENTIAL MEDIUM DENSITY (INTENSITY)	DM-4 RESIDENTIAL MEDIUM DENSITY (INTENSITY)

HISTORIC ZONING DISTRICTS	ZONING MAP		ALIGNED / REQUIRED	PROPOSED
	CODE ELECTION	CITY OF BAHAM BACH		
NEIGHBORHOOD OF LITTLE GREEN THE PURPOSE OF THE LITTLE GREEN DISTRICT IS TO PRESERVE THE HISTORIC AND ARCHITECTURAL CHARACTER OF THE DISTRICT, TO MAINTAIN THE HISTORIC CHARACTER OF THE DISTRICT, AND TO PRESERVE THE HISTORIC CHARACTER OF THE DISTRICT. (1) TO PRESERVE THE HISTORIC CHARACTER OF THE DISTRICT, TO MAINTAIN THE HISTORIC CHARACTER OF THE DISTRICT, AND TO PRESERVE THE HISTORIC CHARACTER OF THE DISTRICT. (2) TO PRESERVE THE HISTORIC CHARACTER OF THE DISTRICT, TO MAINTAIN THE HISTORIC CHARACTER OF THE DISTRICT, AND TO PRESERVE THE HISTORIC CHARACTER OF THE DISTRICT. (3) TO PRESERVE THE HISTORIC CHARACTER OF THE DISTRICT, TO MAINTAIN THE HISTORIC CHARACTER OF THE DISTRICT, AND TO PRESERVE THE HISTORIC CHARACTER OF THE DISTRICT.			NORMANBY EILES HISTORIC DISTRICT	NORMANBY EILES HISTORIC DISTRICT

LOT OCCUPATION	CODE SECTION	MAJOR BEACH FRONT LOT CODE	BIC 7.2.4.3	ALLOWED (REQUIRED)	PROVIDED
LOT AREA MEANS THE TOTAL HORIZONTAL AREA WITHIN THE LOT LINE OF THE LOT. LOT WIDTH MEANS THE TOTAL HORIZONTAL DISTANCE BETWEEN THE LOT LINE OF THE LOT AND PARALLEL TO THE LOT FRONT LINE.				MIN. LOT AREA 6,000 SF	13,139 SF
				MIN. LOT WIDTH N/A	N/A

LOT COVERAGE	WAVE BEACH RESERVOIR CODE		ALREADY REQUIRED	PROPOSED
	CODE SECTION	SEC. 7-2.4.3		
LOT COVERAGE MAY NOT EXCEED 5% OF THE LOT COVERED BY ALL PERMANENT LANDSCAPING INCLUDING VISUAL AREA COVERED BY THE ROOFS OF SUCH BUILDINGS, BUT NOT LIMITED TO COVERED PORCHES, COVERED TERRACES, AND COVERED PATIOS. *IN ADDITION TO THE BUILDING AREAS INCLUDED IN LOT COVERAGE, AS DEFINED IN SECTION 7.1, IMPERVIOUS PARKING AREAS AND IMPERVIOUS DRIVEWAYS SHALL ALSO BE INCLUDED IN THE LOT COVERED SECTION.			N/A	EXISTING BUILDINGS 3,885 SF (22.8%) + NEW BUILDINGS = 4,050 BUILDINGS (24.3%) 7,935 SF (47.1%)

[illegible]

MAXIMUM DENSITY		SEC 7.2.4.3		ALIGNED REQUIRE		PROPOSED
CODE SECTION	WAVE BEACH PRESERVE CODE	RM 1	RM 2	AREA 1 TOTAL AC AREA 2 TOTAL AC TOTAL = 10.76 AC	AREA 1 TOTAL AC AREA 2 TOTAL AC TOTAL = 4.80 AC	6 PROPOSED DWELLING UNITS CONVERTED FOR BUILDING 13 PROPOSED DWELLING UNITS
MAXIMUM DENSITY: MAXIMUM ALLOWED NUMBER OF DWELLING UNITS PER ACRE. AVERAGE DENSITY PER ACRE (DENSITY) = (TOTAL DWELLING UNITS) DIVIDED BY (TOTAL ACRES)						
					TOTAL	17.56 DW

MINIMUM UNIT SIZE		ALLOWED / REQUIRED	PROVIDED
CODE SECTION	MINIMUM BEACH RESILIENCY CODE		
SEC. 7.2.4.3(b)			
FOR NEW CONSTRUCTION, THE MINIMUM UNIT SIZE IS 550 SF.		400 SF	115 SF

MINIMUM AVERAGE UNIT SIZE		ALLOWED / REQUIRED	PROVIDED
CODE SECTION	MINIMUM BEACH RESILIENCY CODE		
SEC. 7.2.4.13:			
FOR NEW CONSTRUCTION, THE AVERAGE UNIT SIZE IS 800 SF.		600 SF	719 SF

MAX. BUILDING HEIGHT	SEC. 7.2.4.3.1		ALLOWED REQUIRED	PROVIDED
	CODE SECTION	MINIMUM BEACH INTERLUDE CODE		
HEIGHT OF BUILDING MEASURES THE VERTICAL DISTANCE FROM THE GROUND FLOOR ELEVATION (MP + FREEBOARD) TO THE HIGHEST POINT OF A BUILDING			50 FEET	4'0" FEET (SEE SECTION 7.2.4.3.1, SUPPLEMENTAL SECTION PAGE SP-400)

PARKING SCREENING STANDARDS	MUNI BEACH RESIDENCY CODE	SEC 71.4.2	ALLOWED / REQUIRED	PROVIDED
CODE SECTION				
WHERE PARKING IS NOT USED WITH HABITABLE SPACE IT SHOULD BE SCREENED BY FUNCTIONALITY, VEGTATION OR OTHER SUCH TREATMENT				PROVIDED

FRONT SETBACK		ALIGNED REQUIRE		PROPOSED	
CODE SECTION	REMARKS	POTENTIAL	TOWER	POTENTIAL	TOWER
REC. 72.4.3.a	YARD, FROM MAIN WALL EXTENDING THE FULL WIDTH OF THE LOT WITHIN THE MAIN BUILDING AND THE HEIGHT OF THE LOT.				
	POTENTIAL MINIMUM SETBACK OF 10 FEET FROM THE MAIN WALLS OF THE LOT. THE LOT HAS 20 FEET IN HEIGHT ABOVE EXISTING GROUND ELEVATION, THEREFORE, MINIMUM SETBACK IN FRONT REGULATION. TOWER HAS THAT PORTION OF A BUILDING OR STRUCTURE WHICH MEETS 10 FEET IN HEIGHT ABOVE EXISTING GROUND ELEVATION THAT IS NOT IN HEIGHT ABOVE EXISTING REGULATION.	20 FEET	NA	21 FEET	NA

SIDE SETBACK (WEST)		ALIGNED REQUIREMENTS		PROPOSED
CODE SECTION	MINIMUM REACH REQUIREMENT CODE	PERMITTED	TOWER	PERMITTED
WALKING SURFACE WIDTH REQUIRES THE MINIMUM TOP OF THE CURB AND OUTSTANDING FROM THE ROW YIELD TO THE ROAD AND PARKING. PERMITTED: ANY PORTION OF A BUILDING OR STRUCTURE WHICH IS EQUAL TO OR LESS THAN SIX FEET IN HEIGHT ABOVE THE FINISHED GRADE. PROPOSED: ANY PORTION OF A BUILDING OR STRUCTURE WHICH EXCEEDS SIX FEET IN HEIGHT ABOVE FINISHED GRADE SHALL BE SET BACK A MINIMUM OF SIX FEET FROM THE ROW YIELD.	SEC. 72.4.3.A		NA	9 FEET

SIDE RETRACTION (CONT.)			ALIGNED / REQUIRED		PROVIDED
CODE SECTION	MAIN REACH RESILIENCY CODE	REC. 7.2.4.3.A	FEDERAL	TOWNER	FEDERAL / TOWNER
WATER MAINS: THE DISTANCE BETWEEN THE STRUCTURE AND THE ADJACENT SIDE OF THE LOT AND EXTENDING FROM THE FRONT YARD TO THE ALIAS AND THEREAFTER. PERFECT: MAINS THAT PORTION OF A BUILDING OR STRUCTURE WHICH IS EQUAL TO OR LESS THAN 60 FEET IN HEIGHT ABOVE THE FINISHED GRADE SHALL BE CONSIDERED TO BE A BUILDING OR STRUCTURE WHICH EXCEEDS 60 FEET IN HEIGHT ABOVE FINISHED GRADE. TOWNER: MAINS THAT PORTION OF A BUILDING OR STRUCTURE WHICH EXCEEDS 60 FEET IN HEIGHT ABOVE FINISHED GRADE SHALL BE CONSIDERED TO BE A BUILDING OR STRUCTURE WHICH EXCEEDS 60 FEET IN HEIGHT ABOVE FINISHED GRADE. ELEVATION: THE DISTANCE BETWEEN THE STRUCTURE AND THE ADJACENT SIDE OF THE LOT AND EXTENDING FROM THE FRONT YARD TO THE ALIAS AND THEREAFTER.			FEDERAL	TOWNER	PROVIDED
				7.5 FEET	NA
				7.5 FEET	330 FEET
				7.5 FEET	NA

REAR SETBACK		ALLOWED REQUIRED		PROVIDED	
CODE SECTION	MAX REAR SETBACK	PIEDestal	TOWER	PIEDestal	TOWER
NAME: LISA MARY A AND EXTENDING THE FULL WIDTH OF THE MAIN BUILDING AND THE REAR LOT LINE. PEREGRALS AGAINST THE PORTION OF A BUILDING OR STRUCTURE WHICH EXCEEDS 10 OR LESS FEET IN HEIGHT ABOVE THE MAIN ROOF LINE. TOWER: MAXIMUM PORTION OF A BUILDING OR STRUCTURE WHICH EXCEEDS 50 FEET IN HEIGHT ABOVE DESIGN FLOOD ELEVATION (FLE), EXCEPT AS OTHERWISE SHOWN IN A DEDICATED REGULATION.	SEC 72.4.3.A	MIN OF LOT DEPTH + 13.8 FEET	N/A	13.8 FEET	N/A

[illegible]

4	PARKING AND LOADING REQUIREMENTS		NUMBER OF REQUIRED PARKING SPACES	ALLOWED	PROHIBITED
	CODE SECTION	2024 BEACH RESILIENCY CODE	BSC 5.2.4.1		
	ADVANTAGE PARKING IS REQUIRED FOR ALL TRUCKS, TRAILERS, AND BUSES. THERE SHALL BE NO PARKING EQUIPMENT PROVIDED FOR TEMPORARY TRANSPORTATION SUCH AS SCOOTER, BICYCLE, AND MOTORCYCLE AT BEACHES.				
				NOT REQUIRED	88 SPACES

CODE SECTION		MAIR BEACH RESILIENCY CODE	SEC. 5.2.8
FOR ANY RESIDENTIAL BUILDING OR HOTEL BUILDING OVER 30 UNITS BUT NOT MORE THAN 50 UNITS, ONE SPACE.			

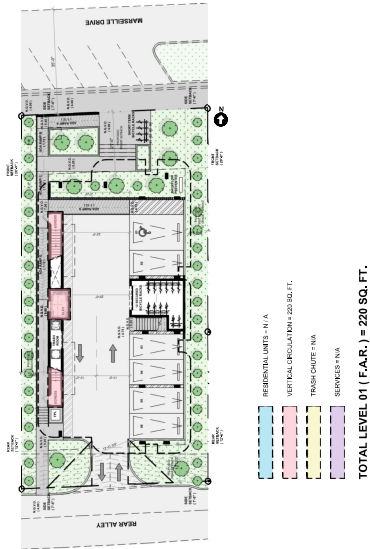
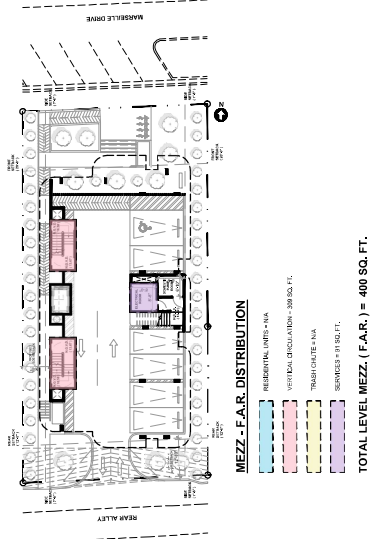
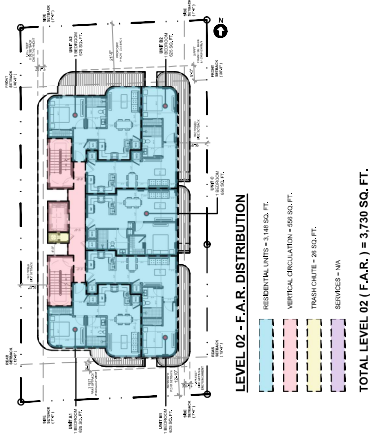
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CODE SECTION	MAIN BRANCH RESIDENCY CODE	SEC. 5.3.3
90' PARKING—22 FEET WITH COLUMNS PARALLEL TO THE INTERIOR DRIVE ON EACH SIDE OF THE REQUIRED DRIVE. SET BACK AN ADDITIONAL ONE FOOT SIX INCHES MEASURED FROM THE EDGE OF THE REQUIRED INTERIOR DRIVE TO THE FACE OF THE COLUMN.		
		22 FEET

CODE SECTION	MAINT BEACH RESILIENCY CODE	SEC. 5.3.4
PILES SHALL HAVE A MINIMUM SPACING OF 22 FEET FOR TWO-WAY TRAFFIC AND 11 FEET FOR ONE-WAY TRAFFIC. SUBSTRUCTURES FOR CONDUITS, OVERHEAD LINES, OR OTHER UTILITIES, INCLUDING CULVERTS, SHALL HAVE A MINIMUM WIDTH OF 38 FEET FOR TWO-WAY TRAFFIC.		
		ONE-WAY
		TWO-WAY
		11 FEET
		18 FEET
		12 FEET

CODE SECTION	MAIN BRANCH RESUBSIDIARY CODE	SPEC. 3.3.13
FOR THE PURPOSE OF THESE REGULATIONS A LOADING SPACE IS A SPACE WITHIN THE MAIN BUILDING OR ON THE SAME LOT, LOCALLY AND CONVENIENTLY LOCATED FOR BELA POOLS AND DELIVERIES, SCALED TO DELIVER VEHICLES EXPECTED TO BE USED BUT NOT MORE THAN TEN FEET BY 20 FEET, AND ACCESSIBLE TO SUCH VEHICLES WHEN REQUIRED OFF-STREET PARKING SPACES ARE FILLED.		
		19' 0" X 20' 0"
		NA

CODE SECTION	MAINE BEACH RESILIENCY CODE	SBC 5.2.4.1
APARTMENT BUILDINGS IN RMA-1 OR RMA-2 ZONING DISTRICTS ON LOTS THAT ARE 60 FEET IN WIDTH OR LESS; THERE SHALL BE NO PERMITTED SECURE STORAGE FOR ALTERNATIVE TRANSPORTATION SUCH AS SCOOTERS, BIKES, AND MOTORCYCLES, IN THE FRONT YARD		N/A



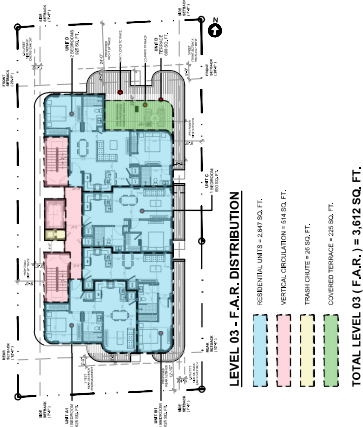
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TOTAL F.A.R. CALCULATION

LEVEL 1 = 220 SF
LEVEL 1.5 = 400 SF
LEVEL 2 = 3,730 SF
LEVEL 3 = 3,612 SF
LEVEL 4 = 1,751 SF

TOTAL F.A.R. = 9,713 SF



SPA-007 SCALE: NTS

MARSEILLE RESIDENTIAL BUILDING

914 MARSEILLE DRIVE, MIAMI BEACH, FLORIDA 33141

SPA-008

ISSUED FOR : HPB24-0629



1



2



3



4



5



6



7



8

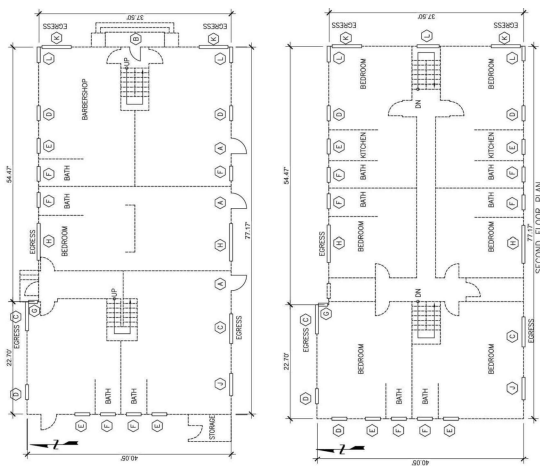


9

CONTRIBUTING BUILDING EXISTING PICTURES

01

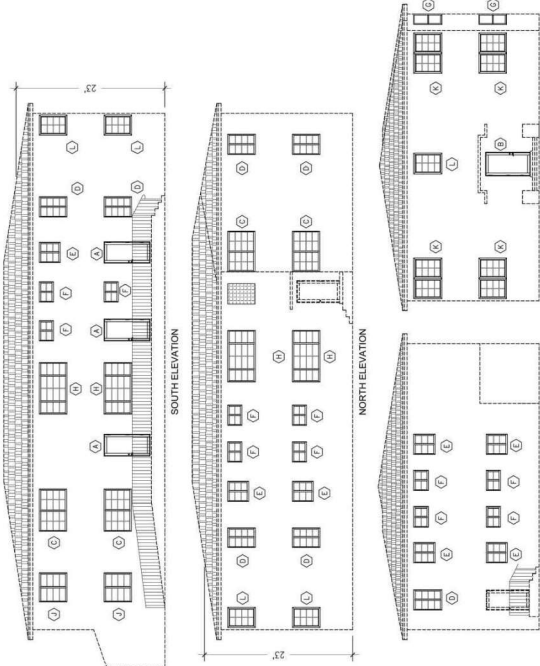
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CONTRIBUTING BUILDING FLOOR PLANS

03

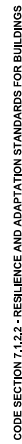
SPA-008 SCALE: N.T.S.



CONTRIBUTING BUILDING EXTERIOR ELEVATIONS

02

SPA-008 SCALE: N.T.S.



Understory means the non-air-conditioned space(s) located below the First Habitable Level (FHL). Notwithstanding the foregoing access to the First Habitable Level (FHL) may be air-conditioned.

The Understory ground level should not be lower than the Future Crown of the Road for single-family residential structures and Base Flood Elevation (BFE) plus minimum Freeboard for multi-family residential structures.



FOLLOWING REQUIREMENTS SHALL APPLY:

- A minimum height of 7' feet shall be provided based on Base Floor Elevation plus minimum Freeboard to the underside of the first floor slab. **APPLICABLE**
- The design wind speed, as applicable, may show this height requirement by up to two feet, in accordance with the design review of certificate of appropriateness criteria; as applicable. **NOT APPLICABLE**
- All ceiling and soffit/corbel shall be internalized or designed in such a manner as to be part of the architectural language of the building in accordance with the design review or certificate of appropriateness criteria; as applicable. **APPLICABLE**
- All parking and driveways shall substantially consist of permeable materials. **APPLICABLE**
- All new buildings shall be sited at least 10 feet from the adjacent lot line at the ground level, in accordance with the design review or certificate of appropriateness criteria; as applicable. **APPLICABLE**
- At least one wall shall be visible and accessible from the building's main lobby (whether interior or exterior), shall provide access to all upper floors, shall be substantially transparent at the ground level and shall be located before access to elevators from the main lobby. **APPLICABLE**
- All walls shall be additional to all specified forms shall be additional to all specified forms. Single-story detached houses are exempt from this requirement. **APPLICABLE**