

RECREATION OF WASHINGTON FRONTAGE



SANBORN MAP 1491-1513-1523 WASHINGTON AVE. (1951 LIBRARY OF CONGRESS)



AT MIAMI BEACH, this new commercial building, containing nine store units, has just been completed at 15th st. and Washington ave. for Daniel I. Taradash. Constructed by the Leifer Construction Co. from plans drawn by Architect Albert Anis, the building front 140 feet on Washington ave. and extends 80 feet in depth. Management of the building is by Taradash Properties, 927 Lincoln rd.

HISTORIC CONTEXT: FACADE OF THE EXISTING BUILDING



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architect

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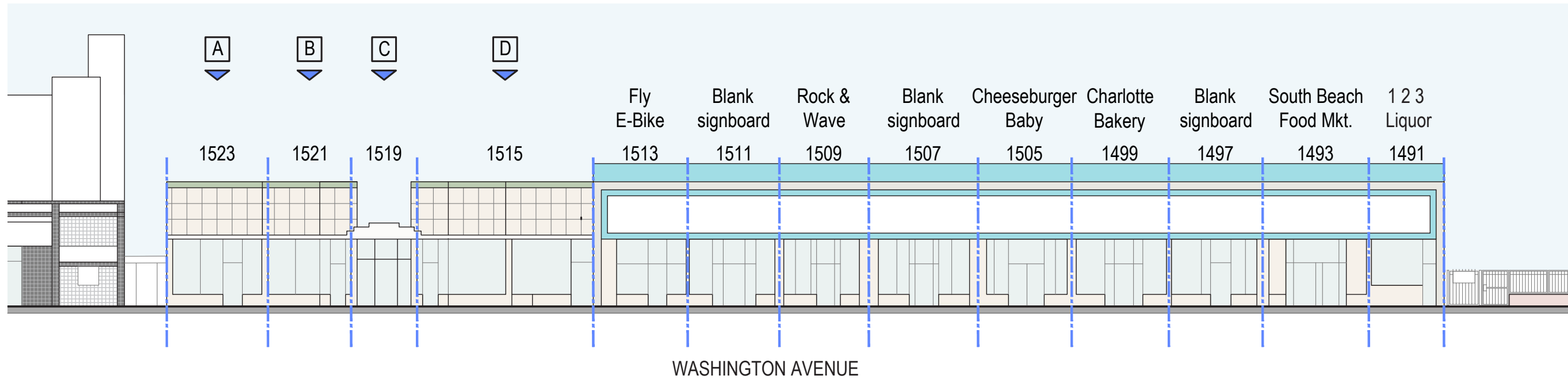
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TREEHOUSE HOTEL,
MIAMI BEACH

1500 COLLINS +
1509-1515 WASHINGTON
AVE, MIAMI BEACH, FL,
33139

HISTORIC PHOTOS



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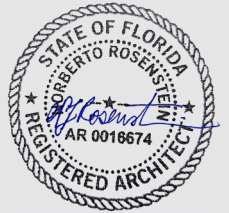
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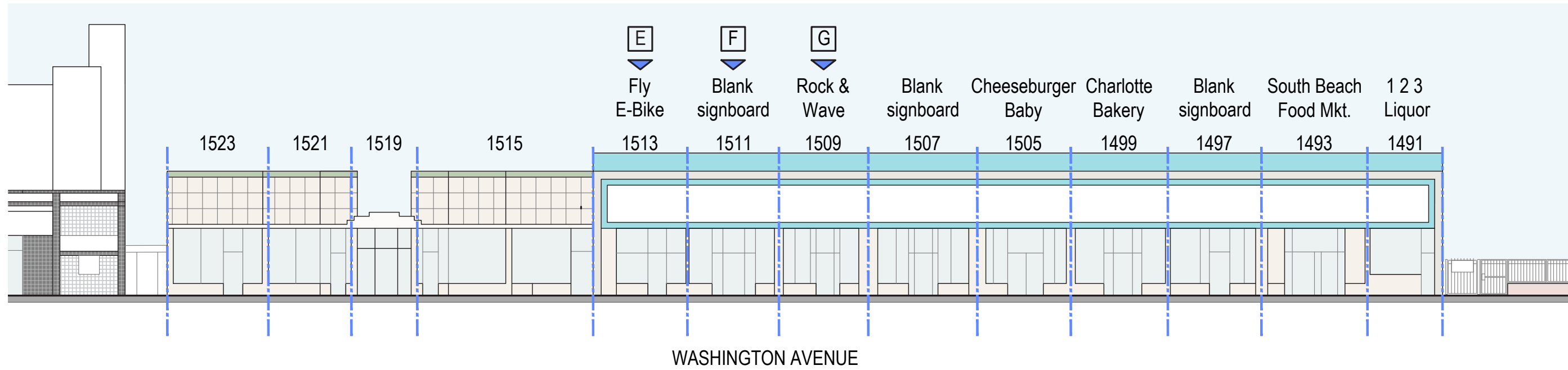
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 AVE, MIAMI BEACH, FL,
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EXISTING CONDITIONS
 A3-02



E



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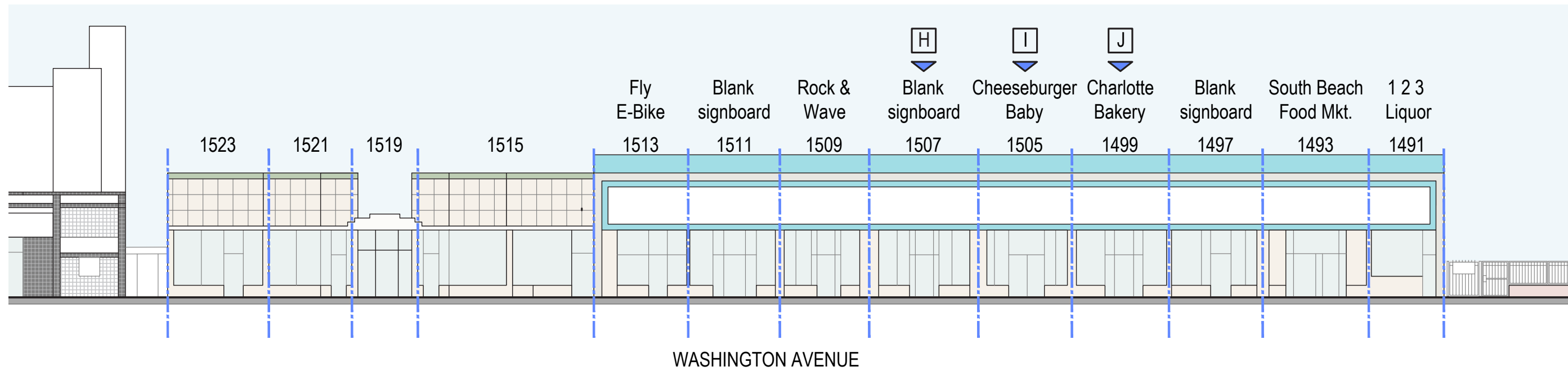
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EXISTING CONDITIONS



H



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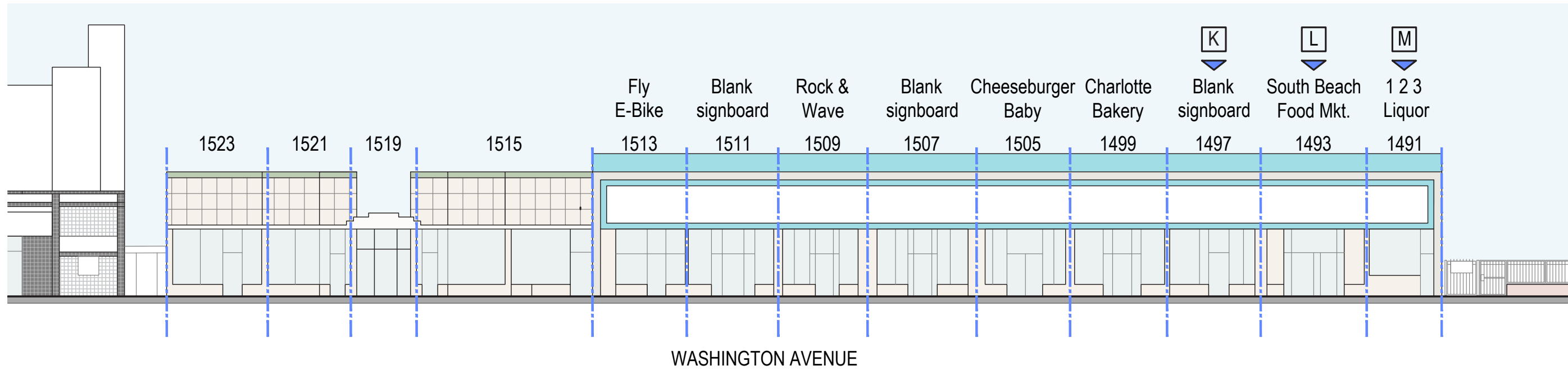
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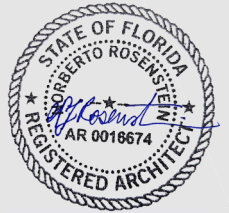
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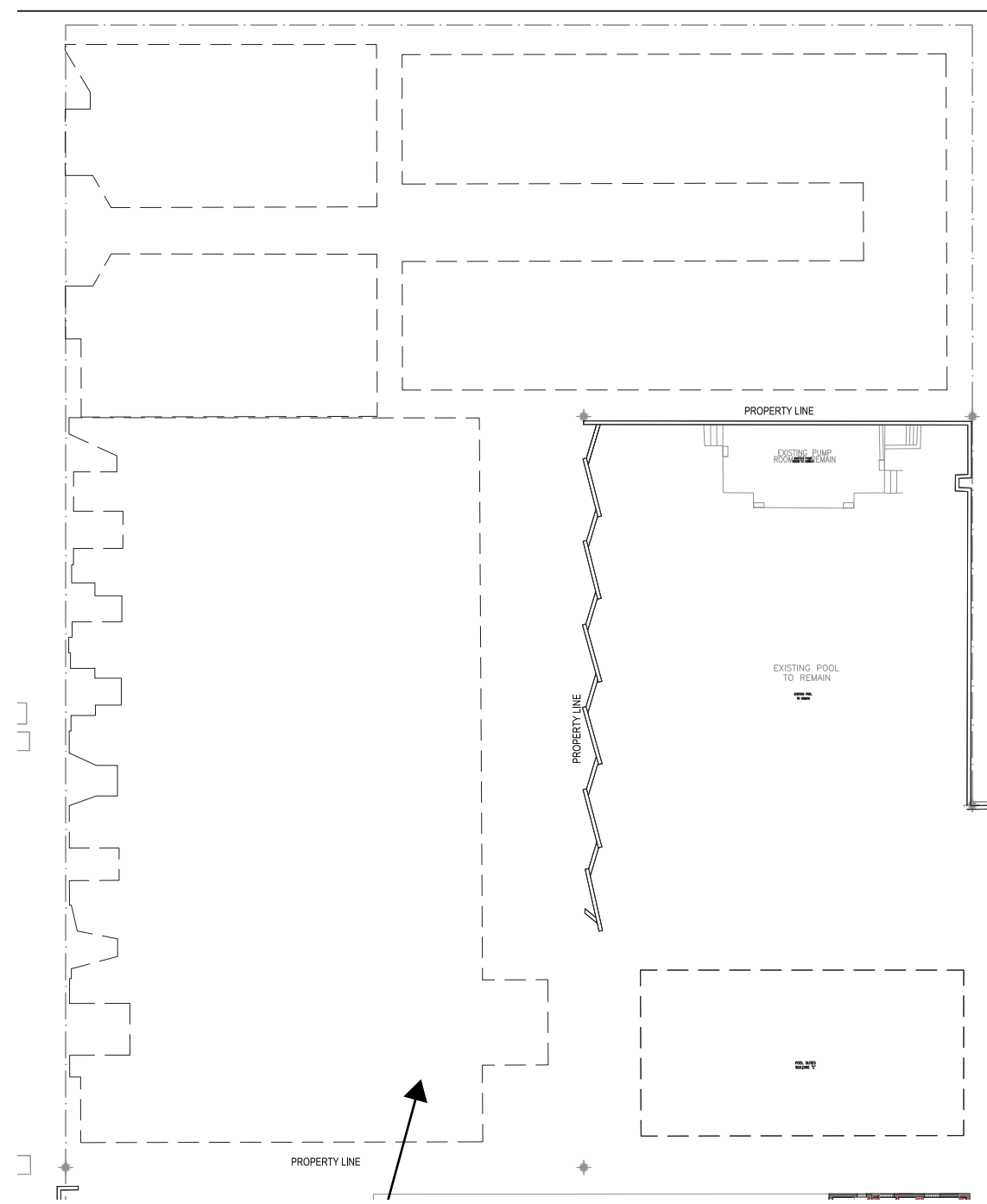
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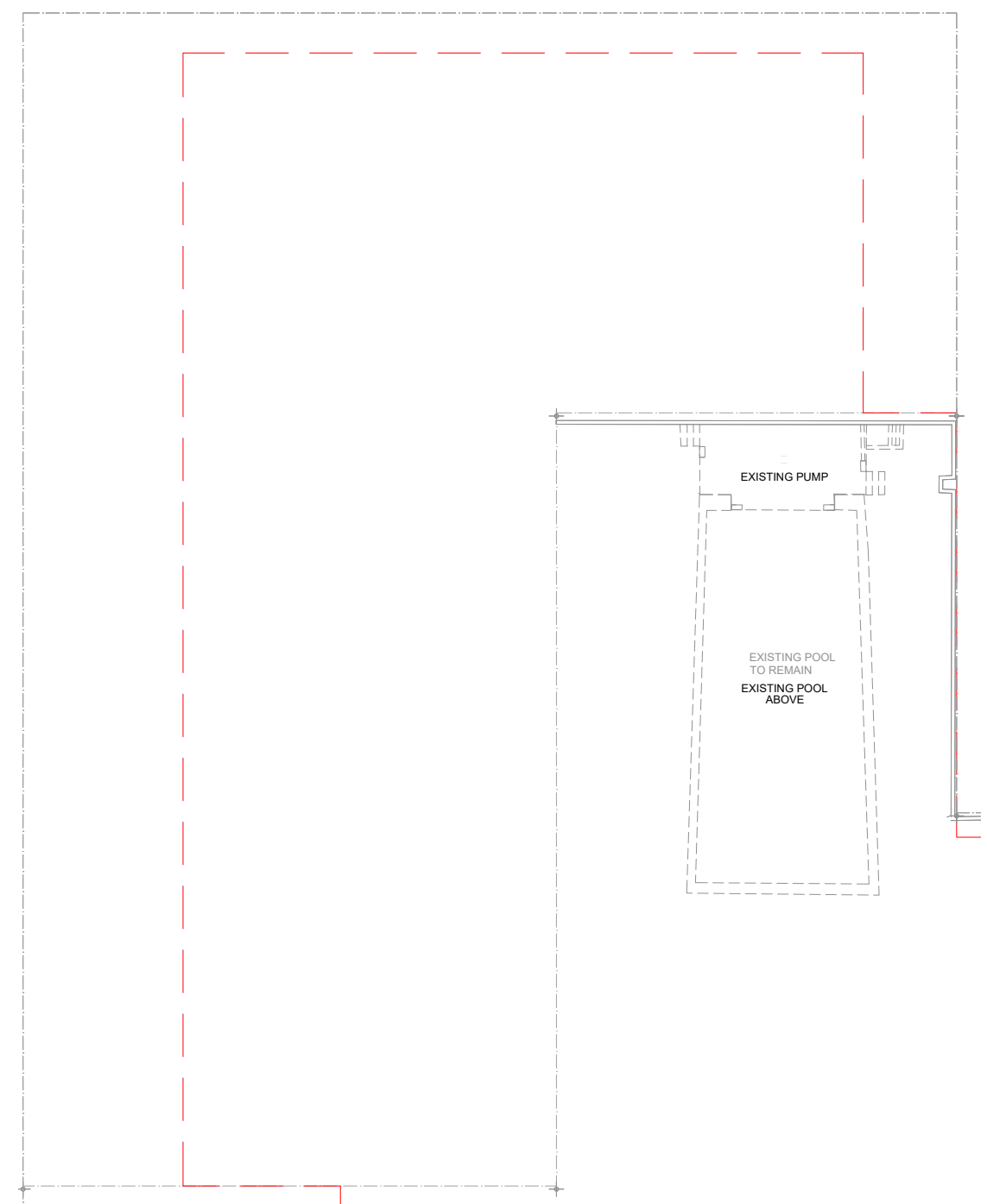
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**DEMOLITION / PROPOSED
- LEVEL 00**
A3-06



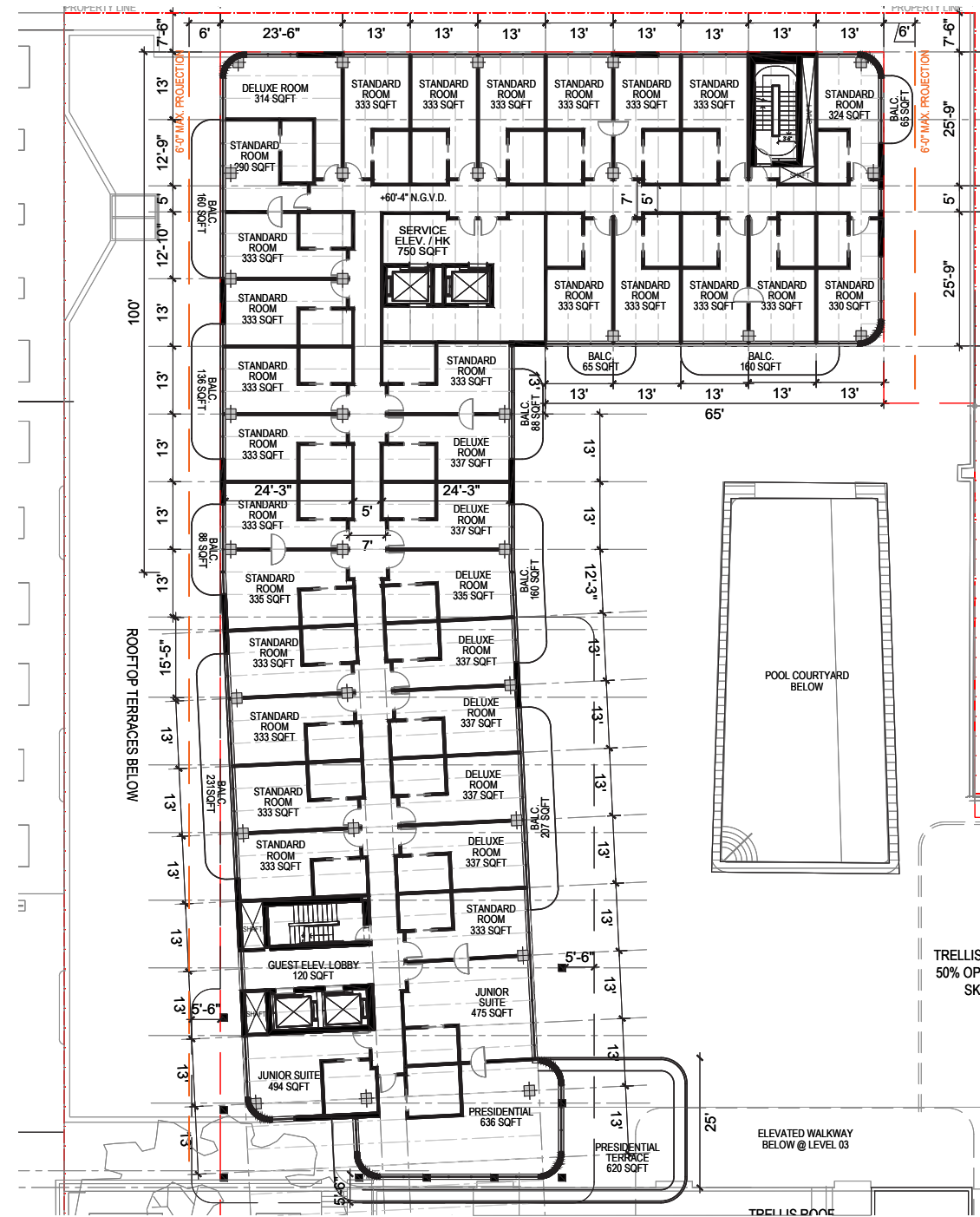
LEVEL 00: DEMOLITION



LEVEL 00: PROPOSED

SCALE: 1/32" = 1'-0"





LEVEL 06: PROPOSED

SCALE: 1/32" = 1'-0"



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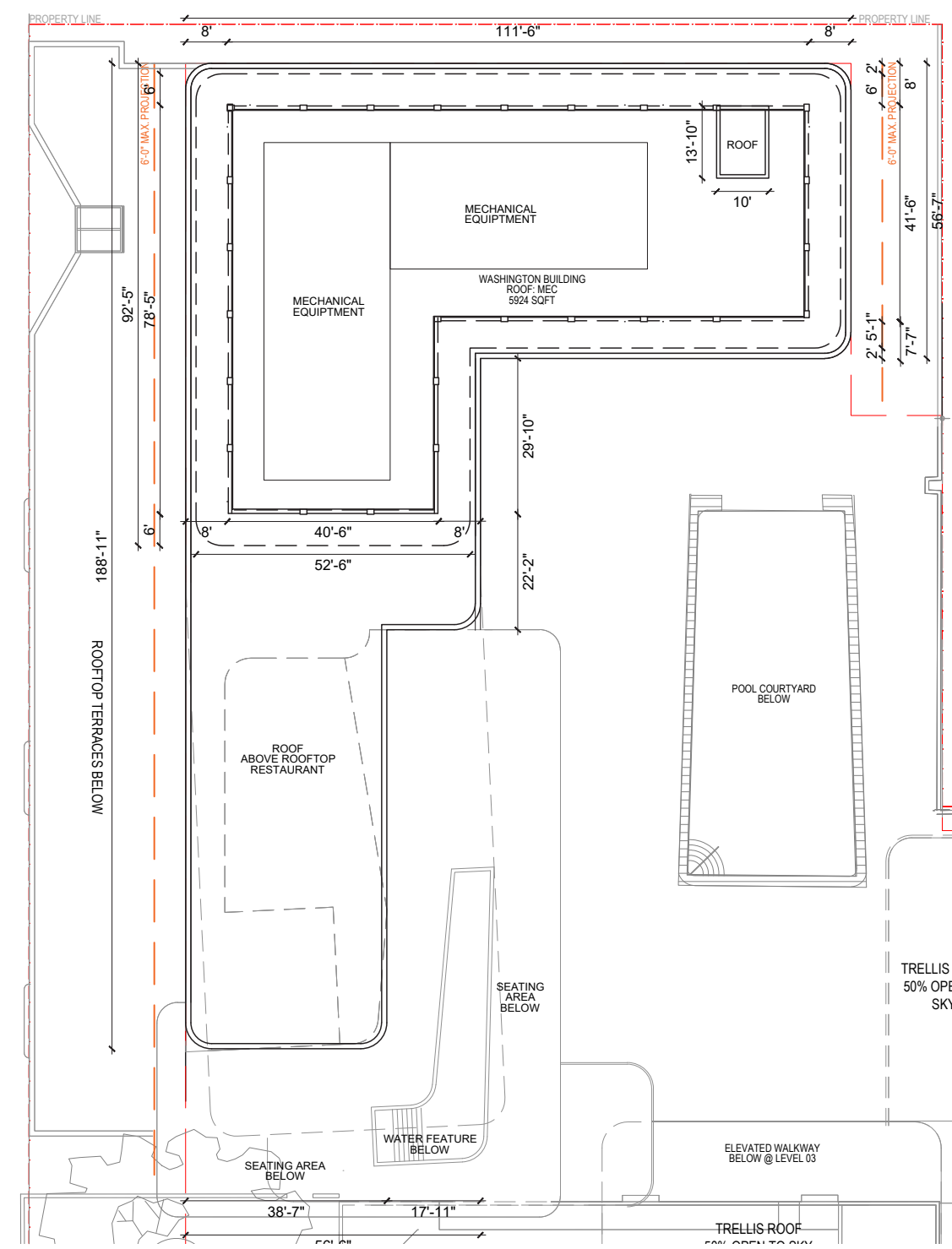
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PROPOSED PLAN
- LEVEL 06

A3-12



LEVEL 08: PROPOSED

SCALE: 1/32" = 1'-0"



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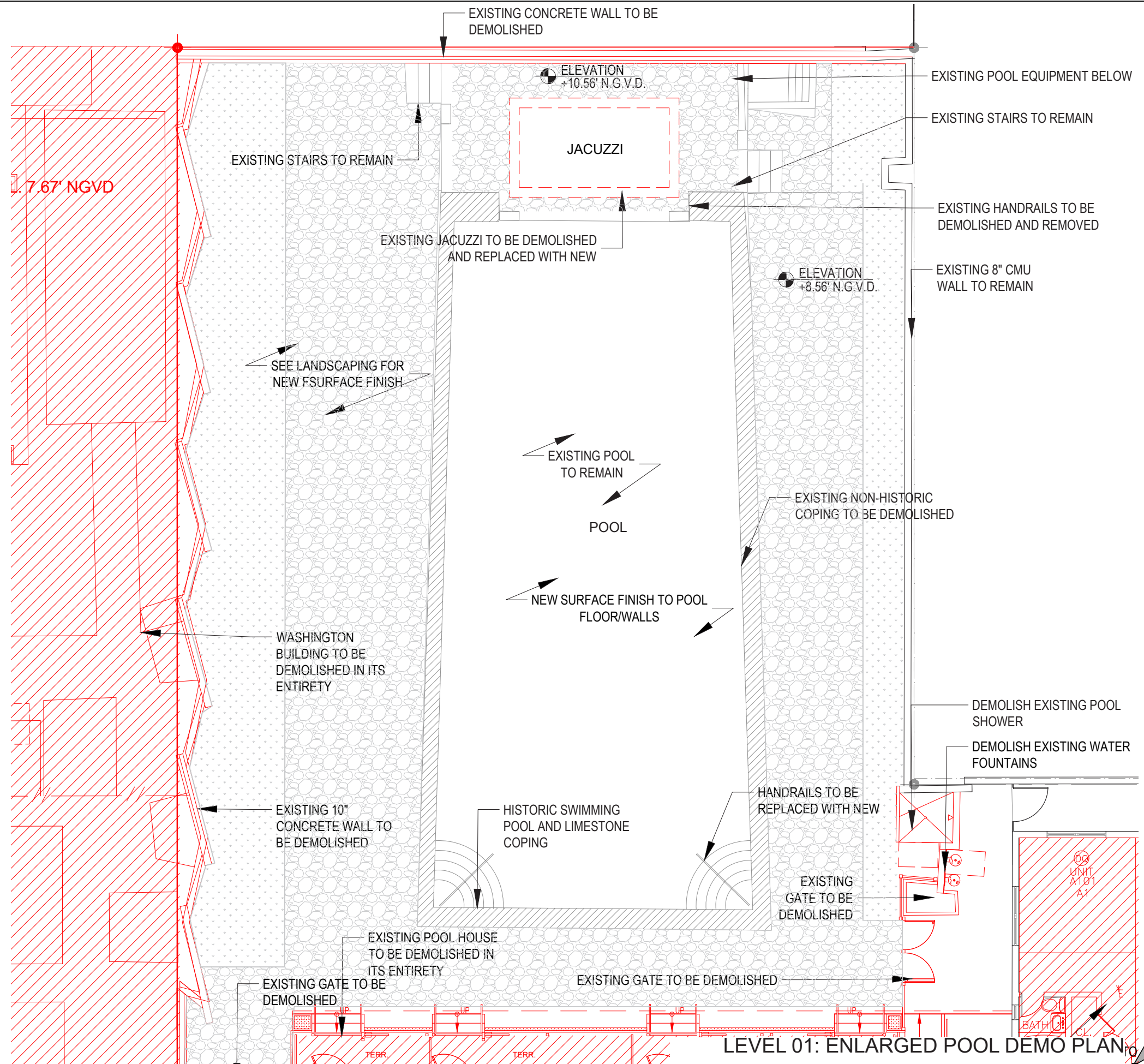
PROPOSED PLAN - LEVEL 08
A3-14

LEGEND

- EXISTING STRUCTURE TO BE DEMOLISHED IN ITS ENTIRETY
- EXISTING FLOOR TO BE DEMOLISHED
- EXISTING STRUCTURE TO REMAIN, PRESERVE AND PROTECT

GENERAL NOTES

1. ALL SIGNIFICANT ORIGINAL ARCHITECTURAL FEATURES ARE TO BE RESTORED, PRESERVED AND RETAINED.
2. PROJECT DESIGN MAINTAINS EXISTING FLOOR FINISHES AND VOLUMETRIC INTENT OF ANCILLARY PUBLIC SPACES IN HADDON HALL.
3. EXISTING DOORS AND WINDOWS TO BE REMOVED AND REPLACED WITH NEW TO MEET HURRICANE CODE REQUIREMENTS. PROJECT DESIGN WILL PRESERVE AND RESTORE ALL HISTORICAL ELEMENTS TO GENERAL OF EXTERIOR FACADE, HISTORIC LOBBY, WALLS, CEILING AND PORCH UNLESS STATED OTHERWISE.
5. ALL EXTERIOR WALLS MUST BE PROPERLY SHORED DURING AND AFTER DEMOLITION. REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR ADDITIONAL DETAIL.
6. ALL BUILDING STUCCO EXTERIORS TO BE RESTORED AND REPAINTED TO MATCH EXISTING



LEVEL 01: ENLARGED POOL DEMO PLAN

SCALE: 3/32" = 1'-0" N



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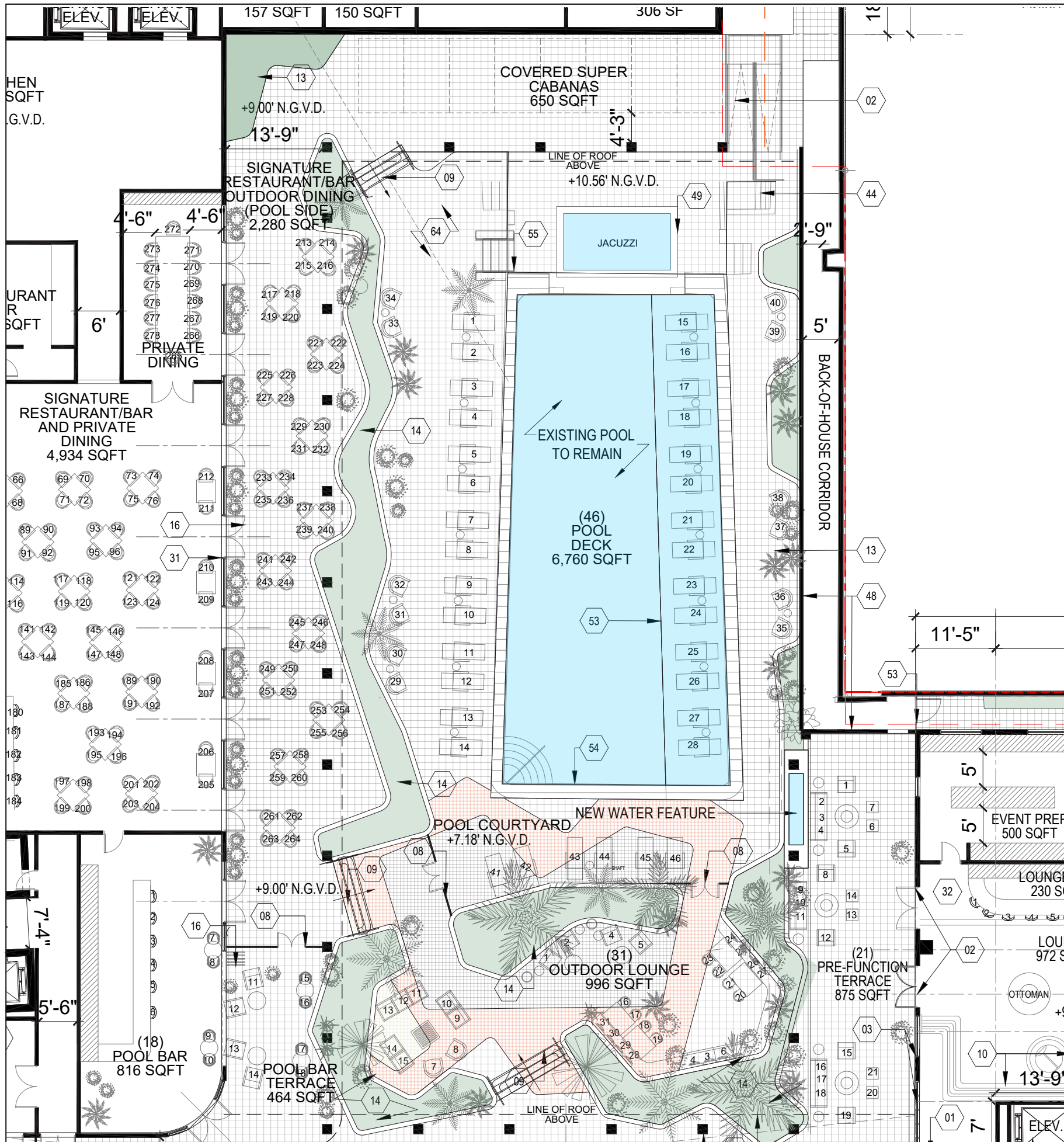
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 ENLARGED PLAN - POOL DECK DEMOLITION
 A3-15



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KEYNOTES

- 01 EXISTING DOOR/WINDOW TO REMAIN
- 02 NEW DOORS
- 03 NEW ENLARGED WINDOWS (REFERENCE ELEVATIONS)
- 04 EXISTING HISTORICAL PLANTER TO REMAIN
- 05 EXISTING TERRACE AND TERRAZZO TO REMAIN
- 06 EXISTING HISTORICAL ARCHITECTURAL DETAIL TO REMAIN
- 07 RECONSTRUCTED CONCRETE COLUMN IN WHITE STUCCO FINISH
- 08 NEW LIFE SAFETY GATE
- 09 CONCRETE STAIRS WITH STAINED CONCRETE TILE RISERS
- 10 PRESERVED AND RESTORED HISTORICAL TERRAZZO DETAIL
- 11 NEW PAIR OF DOORS IN EXISTING WINDOW OPENING. ENLARGE OPENING TO EXTEND TO THE EXISTING TERRACE.
- 12 NEW RAMP
- 13 GARDEN BED WITH INTEGRATED IRRIGATION
- 14 ELEVATED STUCCO PLANTER WITH INTEGRATED IRRIGATION AND DRAINAGE
- 15 PLANTER BEDS WITH INTEGRATED IRRIGATION AND DRAINAGE
- 16 OPERABLE GLASS DOORS
- 17 LINE OF ELEVATED OPEN AIR WALKWAY
- 18 LINE OF TRELLIS PROJECTION ABOVE @ 50% OPEN TO SKY
- 19 GUEST ELEVATOR
- 20 SERVICE ELEVATOR
- 41 PAINTED STAINLESS STEEL TRELLIS WITH INTEGRATED PLUMBING AND UP-LIGHTING; 50% OPEN TO SKY
- 42 18" ELEVATED COPING @ WATER FEATURE
- 43 OPERABLE PARTITIONS
- 44 EXISTING BASEMENT LEVEL ENTRY
- 45 EXISTING HISTORIC ADDRESS MONUMENT SIGN TO BE PRESERVED
- 46 EXISTING HISTORIC FRIEZE TO REMAIN
- 47 EXISTING HISTORIC STATUE AND FOUNTAIN TO REMAIN, NEW MOSAIC TILE ON BASE AND INSIDE HISTORIC BASIN
- 48 NEW BREEZE BLOCK GREEN WALL
- 49 NEW HOT TUB IN EXISTING LOCATION CONSTRUCTED 18" ABOVE FINISH FLOOR
- 50 NEW WROUGHT IRON FENCE
- 51 EXISTING LIMESTONE GARDENWALL
- 52 EXISTING CAMPTON ENTRY GATE TO BE PRESERVED
- 53 NEW IN-POOL WATER LEDGE WITH CUSTOM MOSAIC TILE
- 54 NEW POOL COPING
- 55 NEW STAIRS AND STONE GUARDRAIL
- 56 EXISTING FIREPLACE TO REMAIN AND BE PRESERVED
- 57 EXISTING H AND RE DDI

- 21 PRESERVED HISTORICAL EYEBROW BELOW WITH UNDERSIDE PAINTED IN STREAMLINE MODERN PINK, TYP.
- 22 NEW EGRESS STAIRS
- 23 EXISTING EGRESS STAIRS
- 24 NEW STAIRS
- 25 MECHANICAL/SHAFT VAULTS
- 26 TYP. BALCONY PROJECTION: GLASS RAILING WITH STAINLESS STEEL SHOE AND TOP RAIL
- 27 FLUTED WHITE STUCCO COLUMN, TYP.
- 28 FLUTED STUCCO PANEL: ARCHITECTURAL DETAIL, TYP.
- 29 SERVICE DOOR
- 30 GLAZING SYSTEM TYP.
- 31 STOREFRONT FACADE
- 32 NEW TERRAZZO TO COORDINATE BUT DIFFERENTIATE
- 33 GUEST SUITE GARDEN GATE CONNECTOR
- 34 DOOR AT CONNECTIONS BETWEEN GUESTROOMS
- 35 LINE OF HISTORICAL HADDON HALL CANOPY AND SIGNAGE BELOW
- 36 RECONSTRUCTED HISTORICAL WASHINGTON FACADE BELOW
- 37 PARAPET PLANTERS WITH INTEGRATED IRRIGATION AND DRAINAGE
- 38 PROPOSED WINDOW INFILL WITH BRICKS AND PAINTED TO MATCH STUCCO
- 39 PROJECTING CONCRETE BALCONY WITH WHITE STUCCO; GLASS GUARDRAIL WITH STAINLESS STEEL SHOE AND TOP CAP.
- 40 NEW EGRESS EXIT
- 58 COLUMN OF PAINTED STAINLESS STEEL TRELLIS WITH INTEGRATED PLUMBING AND UP-LIGHTING; 50% OPEN TO SKY
- 60 LOCATION FOR SIGNAGE
- 61 EXISTING LANDSCAPE TO REMAIN
- 62 NEW HARDSCAPE (REF. LANDSCAPE)
- 63 WALK-UP WINDOW AND COUNTER
- 64 EXISTING LIMESTONE POOL DECK TO REMAIN
- 65 PROPOSED DOOR @ LEVEL 03 TO CONNECT TO ARCHITECTURAL BREEZEWAY/ELEVATED WALKWAY
- 66 NEW ROOF SYSTEM
- 67 BACKLIT TERRACOTTA BREEZE BLOCK MECHANICAL SCREENING
- 68 POWDER COATED STEEL GUARDRAIL
- 69 EXISTING COLUMN TO REMAIN

LEVEL 01: ENLARGED POOL PLAN

SCALE: 1/16" = 1'-0"



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33139

ENLARGED PLAN - POOL DECK PROPOSED
A3-16

LEGEND

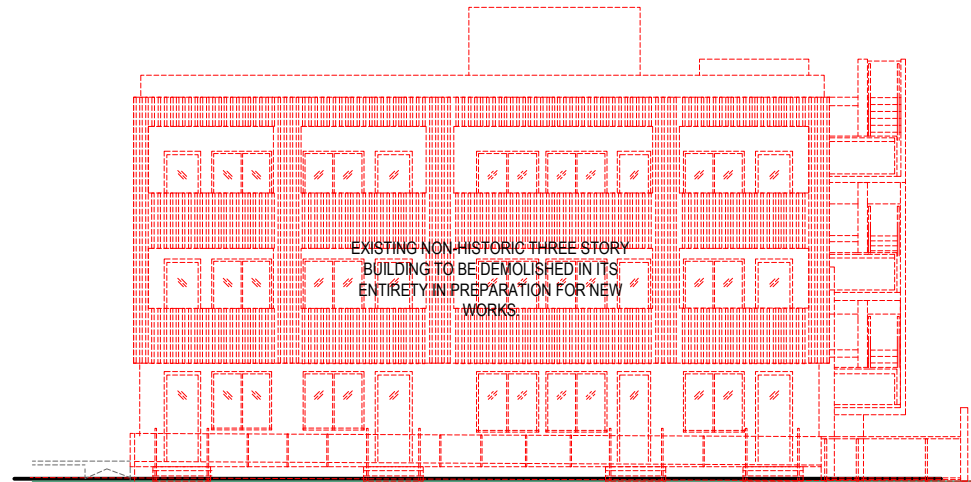
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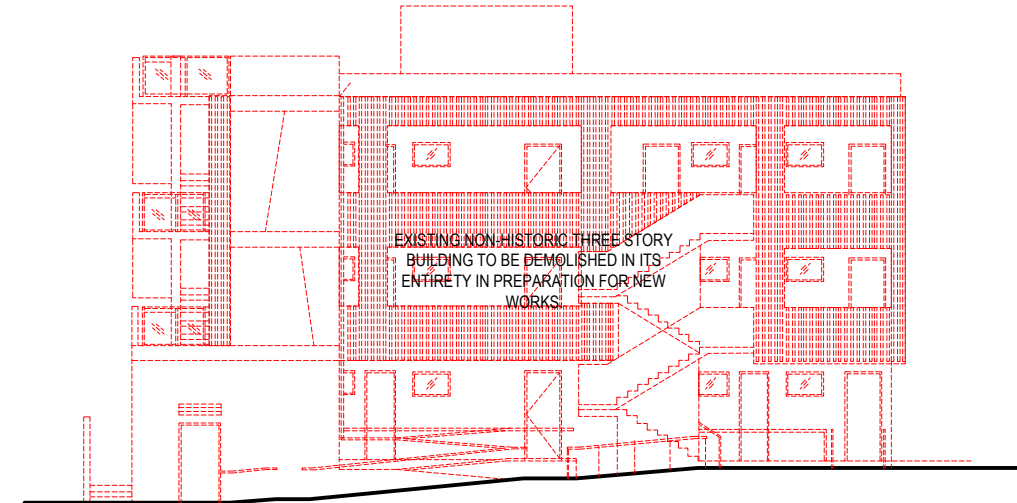
KEYNOTES

- 01 EXISTING DOOR/WINDOW TO REMAIN
- 02 EXISTING DOOR/WINDOW TO BE REPLACED
- 03 EXISTING TERRAZZO FLOOR TO BE REMOVED AND REPLACED WITH SIMILAR
- 04 EXISTING FINISH FLOOR ABOVE TERRAZZO TO BE REMOVED, TERRAZZO TO BE RESTORED
- 05 EXISTING TERRAZZO FLOOR DETAIL TO BE REPAIRED, RESTORED AND PRESERVED
- 06 EXISTING COLUMNS TO BE REMOVED
- 07 FLOORING TO BE DEMOLISHED, AND TO RECEIVE NEW STRUCTURE
- 08 HISTORIC FOUNTAIN LOCATION TO REMAIN, PRESERVED AND RETAINED
- 09 EXISTING HISTORIC DOORS AND FRAMES TO REMAIN
- 10 ROOFING TO BE REMOVED AND REDONE
- 11 EXISTING EXTERIOR AND ON-GRADE PAVING TO BE REMOVED FOR NEW BREEZEWAY
- 12 EXISTING OVERHANG TO REMAIN
- 13 EXISTING PAVING TO BE REMOVED



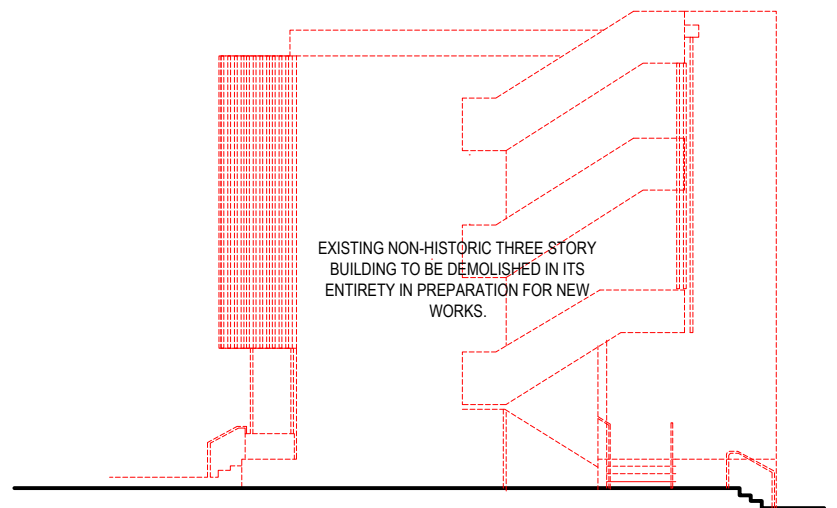
1 | DEMOLITION POOL HOUSE NORTH ELEVATION

SCALE: 1/16"=1'-0"



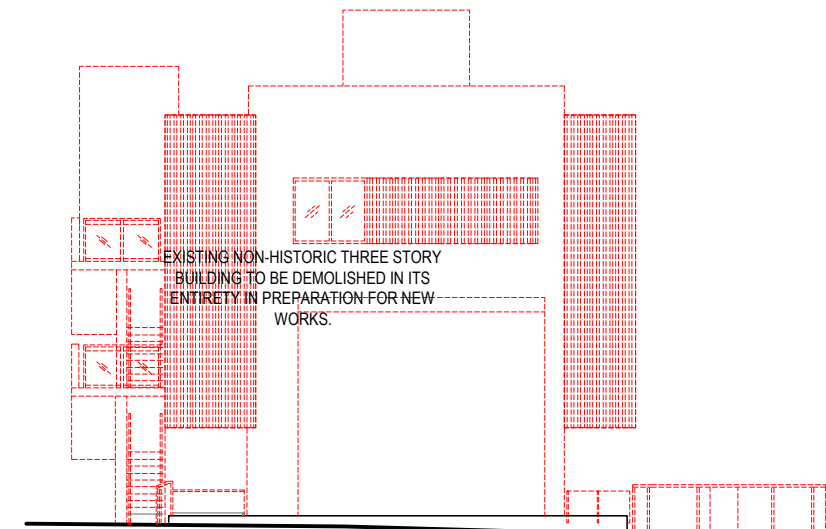
2 | DEMOLITION POOL HOUSE WEST ELEVATION

SCALE: 1/16"=1'-0"



3 | DEMOLITION POOL HOUSE EAST ELEVATION

SCALE: 1/16"=1'-0"



4 | DEMOLITION POOL HOUSE WEST ELEVATION

SCALE: 1/16"=1'-0"



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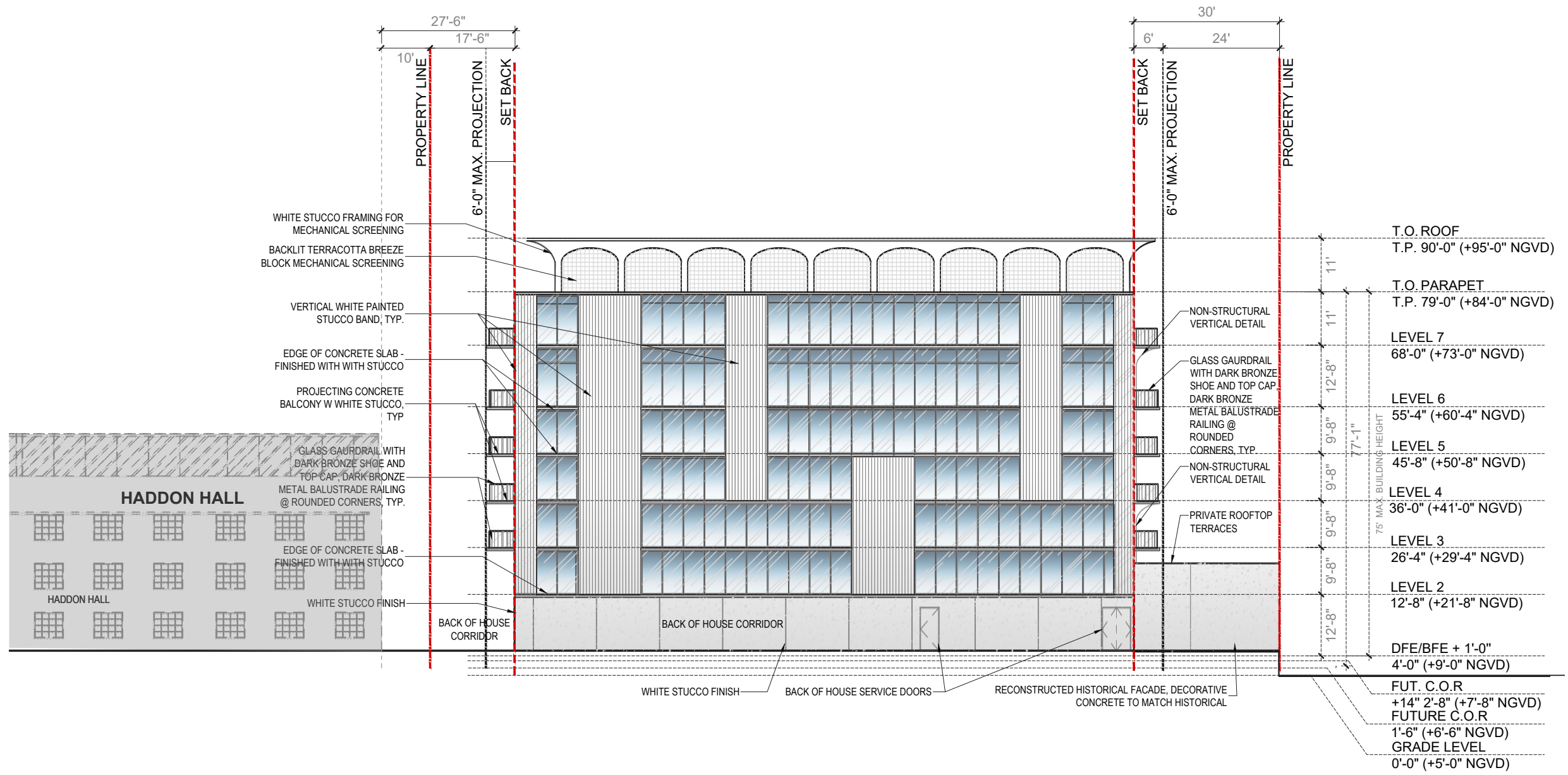
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POOL DECK ELEVATION

A3-17

POOL HOUSE DEMO ELEVATIONS

SCALE: 1/16" = 1'-0"



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128 S. FEDERAL HIGHWAY SUITE #202
DANIA BEACH, FLORIDA 33004
P: (954) 922-4551
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WWW.ROSENSTEINARCHITECT.COM

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COMM.	DATE

TREEHOUSE HOTEL, MIAMI BEACH

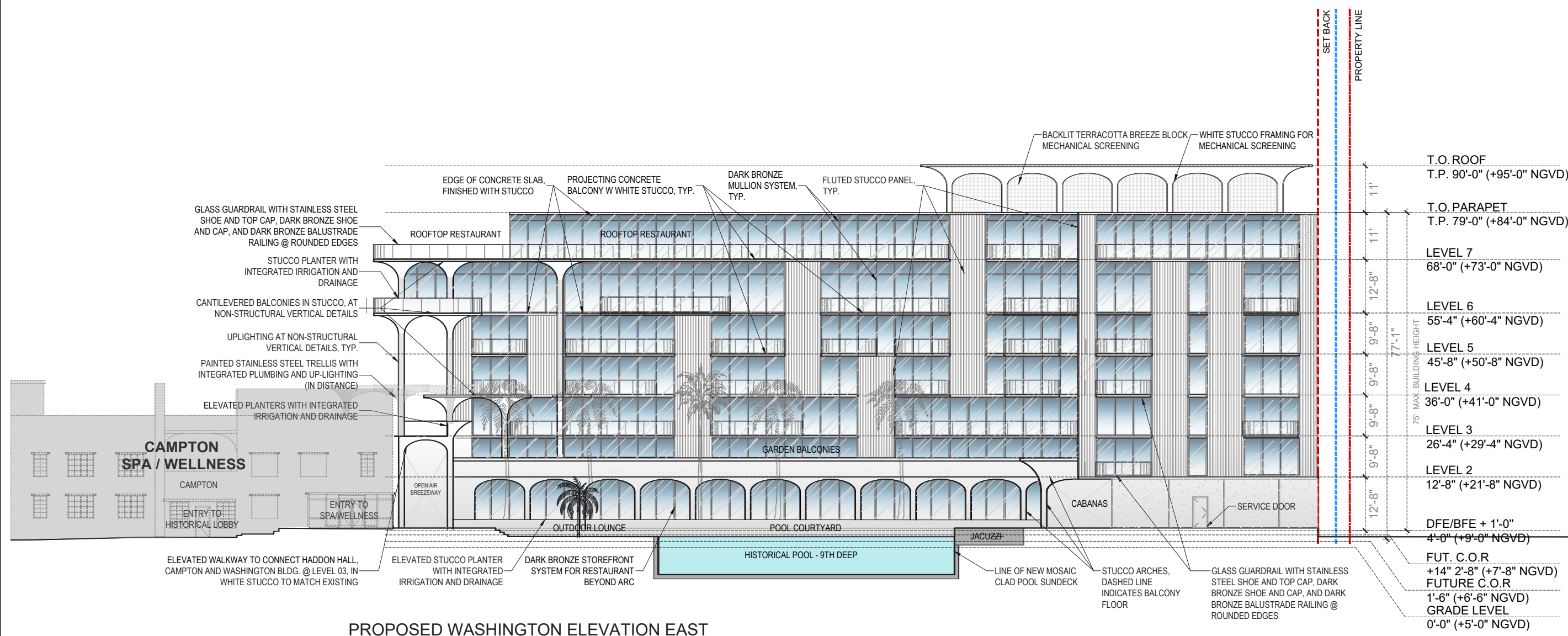
1500 COLLINS +
1509-1515 WASHINGTON
AVE, MIAMI BEACH, FL,
33139

DEMOLITION / PROPOSED NORTH ELEVATION

A3-18

WASHINGTON NORTH FACADE ELEVATION

SCALE: 1/25" = 1'-0"



PROPOSED WASHINGTON ELEVATION EAST

SCALE: 1 / 25" = 1'-0"

- T.O. ROOF
T.P. 90'-0" (+95'-0" NGVD)
- T.O. PARAPET
T.P. 79'-0" (+84'-0" NGVD)
- LEVEL 7
68'-0" (+73'-0" NGVD)
- LEVEL 6
55'-4" (+60'-4" NGVD)
- LEVEL 5
45'-8" (+50'-8" NGVD)
- LEVEL 4
36'-0" (+41'-0" NGVD)
- LEVEL 3
26'-4" (+29'-4" NGVD)
- LEVEL 2
12'-8" (+21'-8" NGVD)
- DFE/BFE + 1'-0"
4'-0" (+9'-0" NGVD)
- FUT. C.O.R.
+14" 2'-8" (+7'-8" NGVD)
- FUTURE C.O.R.
1'-6" (+6'-6" NGVD)
- GRADE LEVEL
0'-0" (+5'-0" NGVD)



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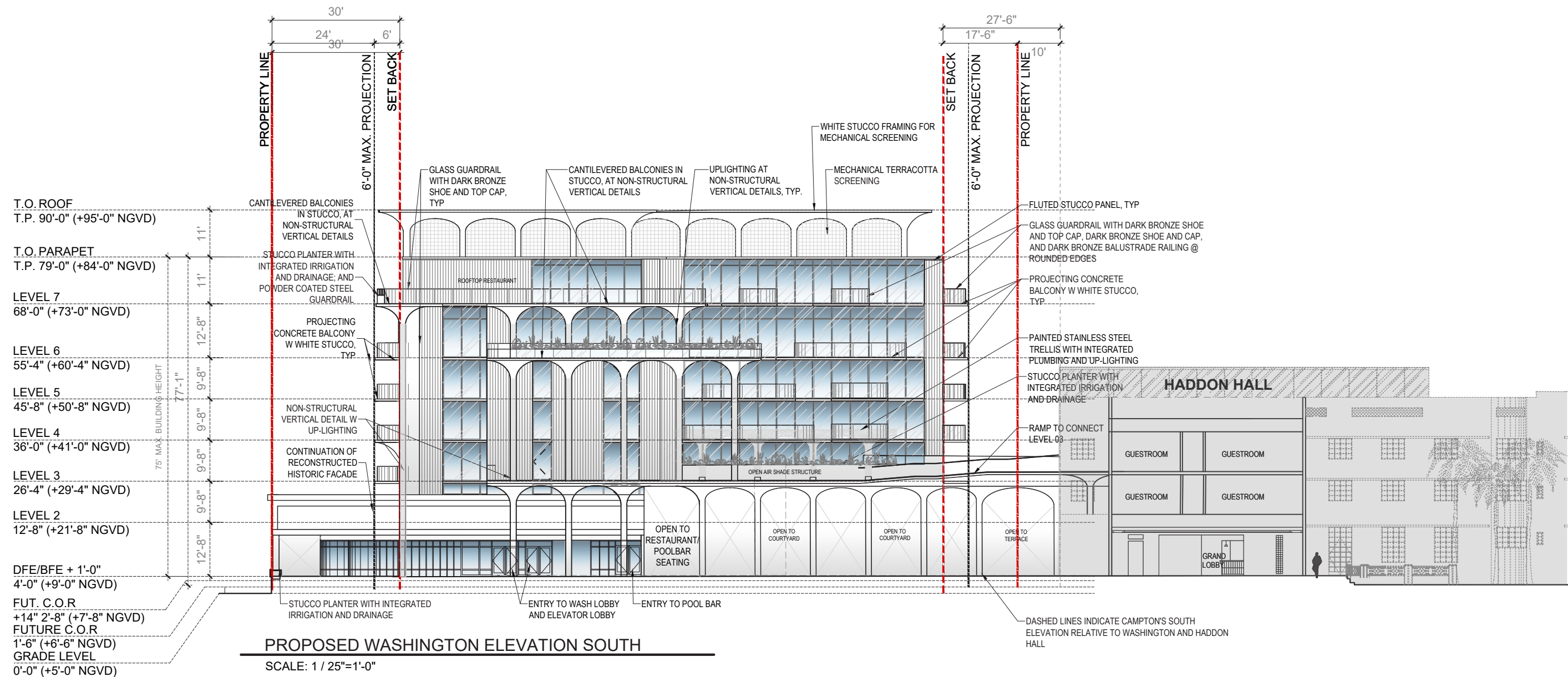
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DEMOLITION / PROPOSED EAST ELEVATION

A3-19

WASHINGTON EAST FACADE ELEVATION

SCALE: 1/25" = 1'-0"



WASHINGTON SOUTH FACADE ELEVATION

SCALE: 1/25" = 1'-0"



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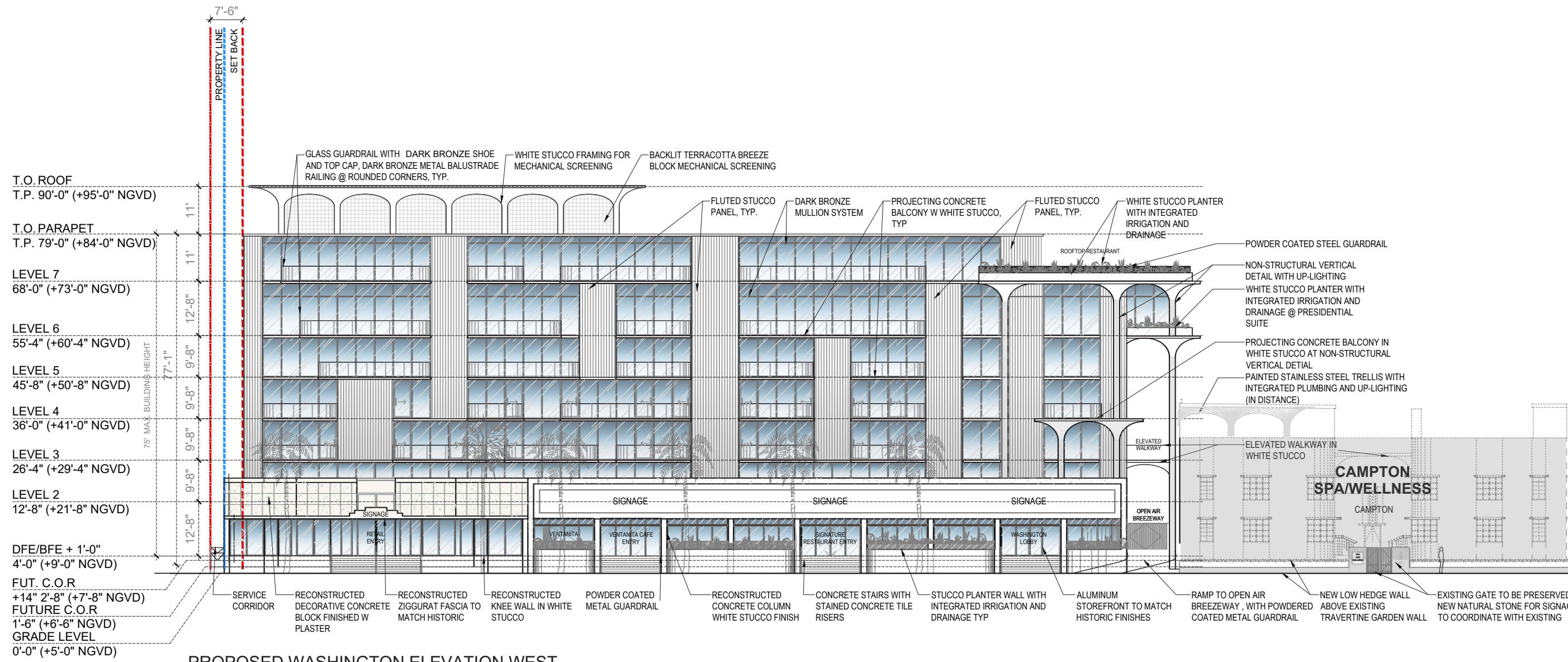
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33139

DEMOLITION / PROPOSED
SOUTH ELEVATION

A3-20



PROPOSED WASHINGTON ELEVATION WEST

SCALE: 1 / 25"=1'-0"

T.O. ROOF
T.P. 90'-0" (+95'-0" NGVD)

T.O. PARAPET
T.P. 79'-0" (+84'-0" NGVD)

LEVEL 7
68'-0" (+73'-0" NGVD)

LEVEL 6
55'-4" (+60'-4" NGVD)

LEVEL 5
45'-8" (+50'-8" NGVD)

LEVEL 4
36'-0" (+41'-0" NGVD)

LEVEL 3
26'-4" (+29'-4" NGVD)

LEVEL 2
12'-8" (+21'-8" NGVD)

DFE/BFE + 1'-0"
4'-0" (+9'-0" NGVD)

FUT. C.O.R
+14" 2'-8" (+7'-8" NGVD)

FUTURE C.O.R
1'-6" (+6'-6" NGVD)

GRADE LEVEL
0'-0" (+5'-0" NGVD)

SERVICE CORRIDOR RECONSTRUCTED DECORATIVE CONCRETE BLOCK FINISHED W PLASTER RECONSTRUCTED ZIGGURAT FASCIA TO MATCH HISTORIC RECONSTRUCTED KNEE WALL IN WHITE STUCCO POWDER COATED METAL GUARDRAIL RECONSTRUCTED CONCRETE COLUMN WHITE STUCCO FINISH CONCRETE STAIRS WITH STAINED CONCRETE TILE RISERS STUCCO PLANTER WALL WITH INTEGRATED IRRIGATION AND DRAINAGE TYP ALUMINUM STOREFRONT TO MATCH HISTORIC FINISHES RAMP TO OPEN AIR BREEZEWAY, WITH POWDERED COATED METAL GUARDRAIL NEW LOW HEDGE WALL ABOVE EXISTING TRAVERTINE GARDEN WALL EXISTING GATE TO BE PRESERVED, NEW NATURAL STONE FOR SIGNAGE TO COORDINATE WITH EXISTING

GLASS GUARDRAIL WITH DARK BRONZE SHOE AND TOP CAP, DARK BRONZE METAL BALUSTRADE RAILING @ ROUNDED CORNERS, TYP. WHITE STUCCO FRAMING FOR MECHANICAL SCREENING BACKLIT TERRACOTTA BREEZE BLOCK MECHANICAL SCREENING FLUTED STUCCO PANEL, TYP. DARK BRONZE MULLION SYSTEM PROJECTING CONCRETE BALCONY W WHITE STUCCO, TYP. FLUTED STUCCO PANEL, TYP. WHITE STUCCO PLANTER WITH INTEGRATED IRRIGATION AND DRAINAGE ROOFTOP RESTAURANT POWDER COATED STEEL GUARDRAIL NON-STRUCTURAL VERTICAL DETAIL WITH UP-LIGHTING WHITE STUCCO PLANTER WITH INTEGRATED IRRIGATION AND DRAINAGE @ PRESIDENTIAL SUITE PROJECTING CONCRETE BALCONY IN WHITE STUCCO AT NON-STRUCTURAL VERTICAL DETAIL PAINTED STAINLESS STEEL TRELLIS WITH INTEGRATED PLUMBING AND UP-LIGHTING (IN DISTANCE) ELEVATED WALKWAY IN WHITE STUCCO CAMPTON SPA/WELLNESS CAMPTON OPEN AIR BREEZEWAY



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COMM.	DATE

TREEHOUSE HOTEL,
MIAMI BEACH

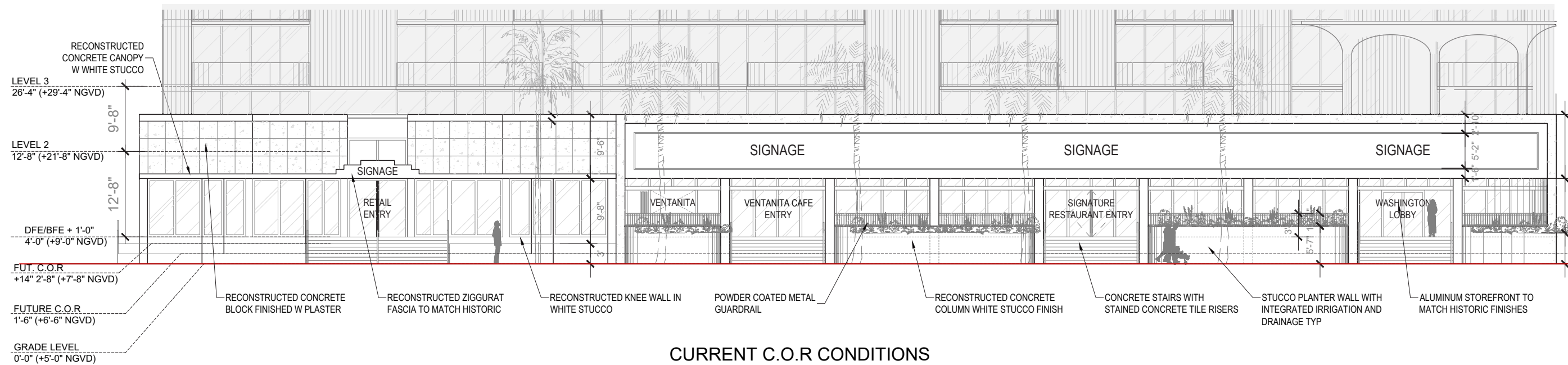
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DEMOLITION / PROPOSED
WEST ELEVATION

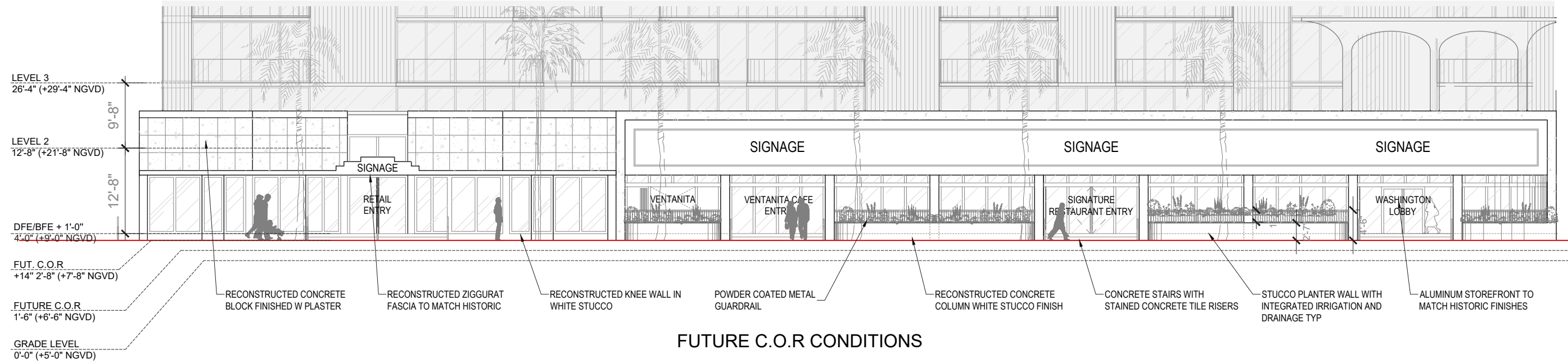
A3-21.A

WASHINGTON WEST FACADE ELEVATION (CURRENT COR)

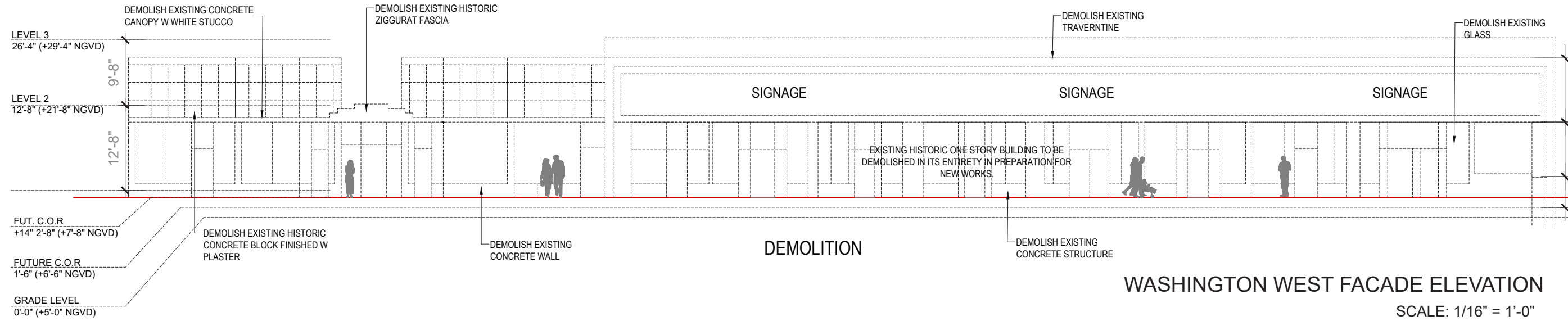
SCALE: 1/25" = 1'-0"



CURRENT C.O.R CONDITIONS



FUTURE C.O.R CONDITIONS



DEMOLITION

WASHINGTON WEST FACADE ELEVATION

SCALE: 1/16" = 1'-0"



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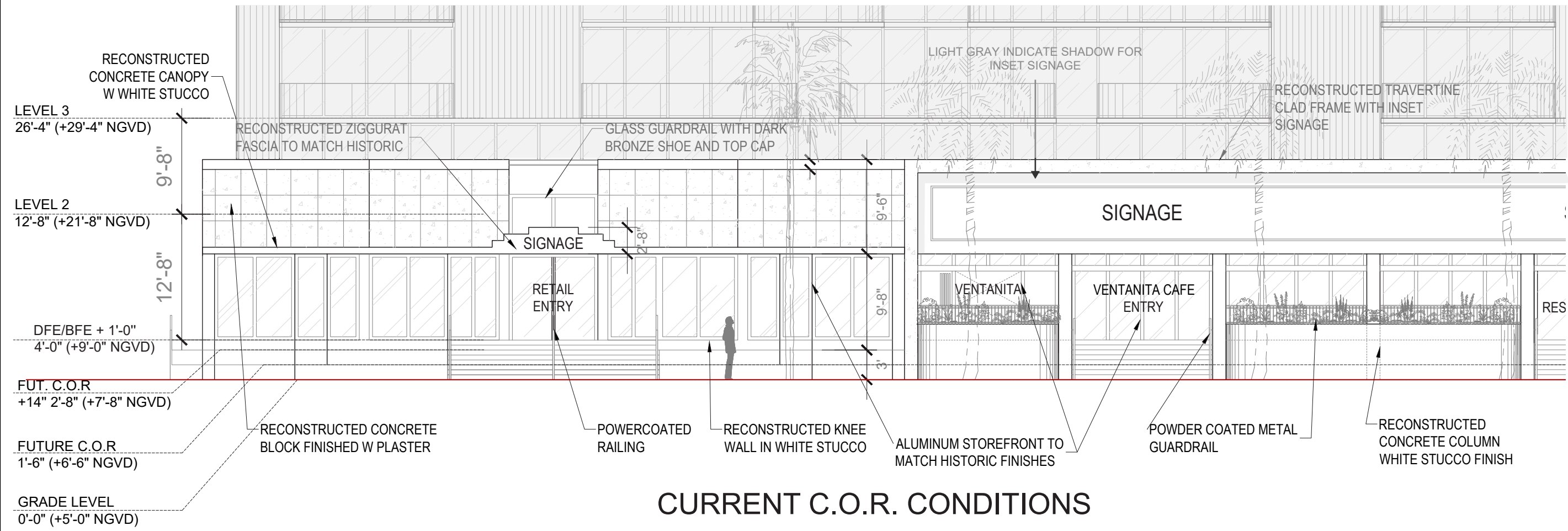
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DEMOLITION / PROPOSED WEST ELEVATION ENLG.
A3-22



CURRENT C.O.R. CONDITIONS

WASHINGTON WEST FACADE ELEVATION

SCALE: 3/32" = 1'-0"



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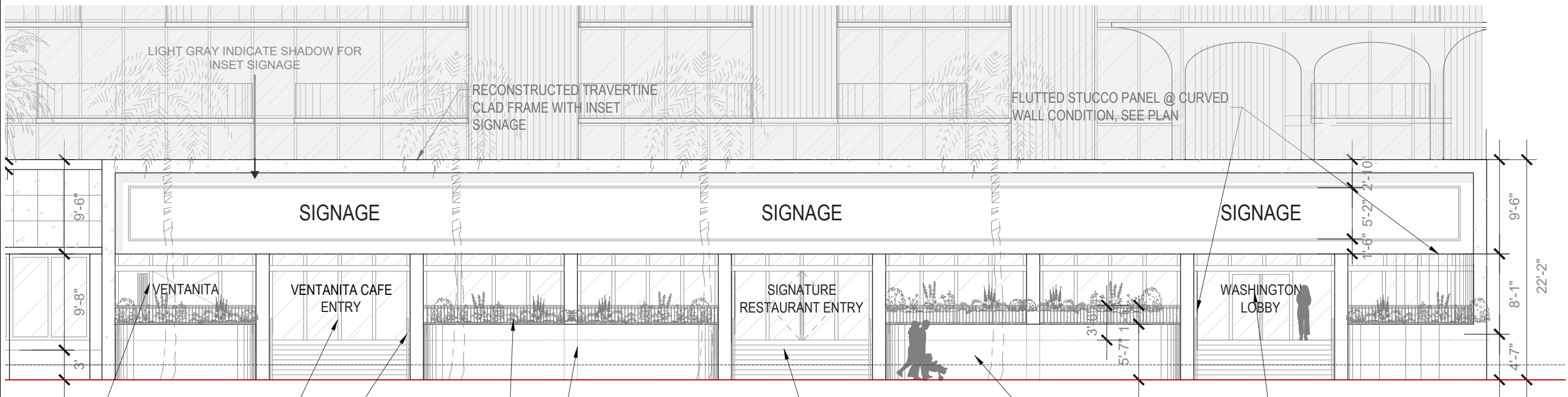
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COMM.	DATE

**TREEHOUSE HOTEL,
MIAMI BEACH**

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1509-1515 WASHINGTON
AVE, MIAMI BEACH, FL,
33139

PROPOSED WEST
ELEVATION ENLG. PART A
A3-22.A



TED KNEE STUCCO
 ALUMINUM STOREFRONT TO MATCH HISTORIC FINISHES
 POWDER COATED METAL GUARDRAIL
 RECONSTRUCTED CONCRETE COLUMN WHITE STUCCO FINISH
 CONCRETE STAIRS WITH STAINED CONCRETE TILE RISERS
 STUCCO PLANTER WALL WITH INTEGRATED IRRIGATION AND DRAINAGE TYP
 ALUMINUM STOREFRONT TO MATCH HISTORIC FINISHES

CURRENT C.O.R. CONDITIONS

WASHINGTON WEST FACADE ELEVATION

SCALE: 3/32" = 1'-0"



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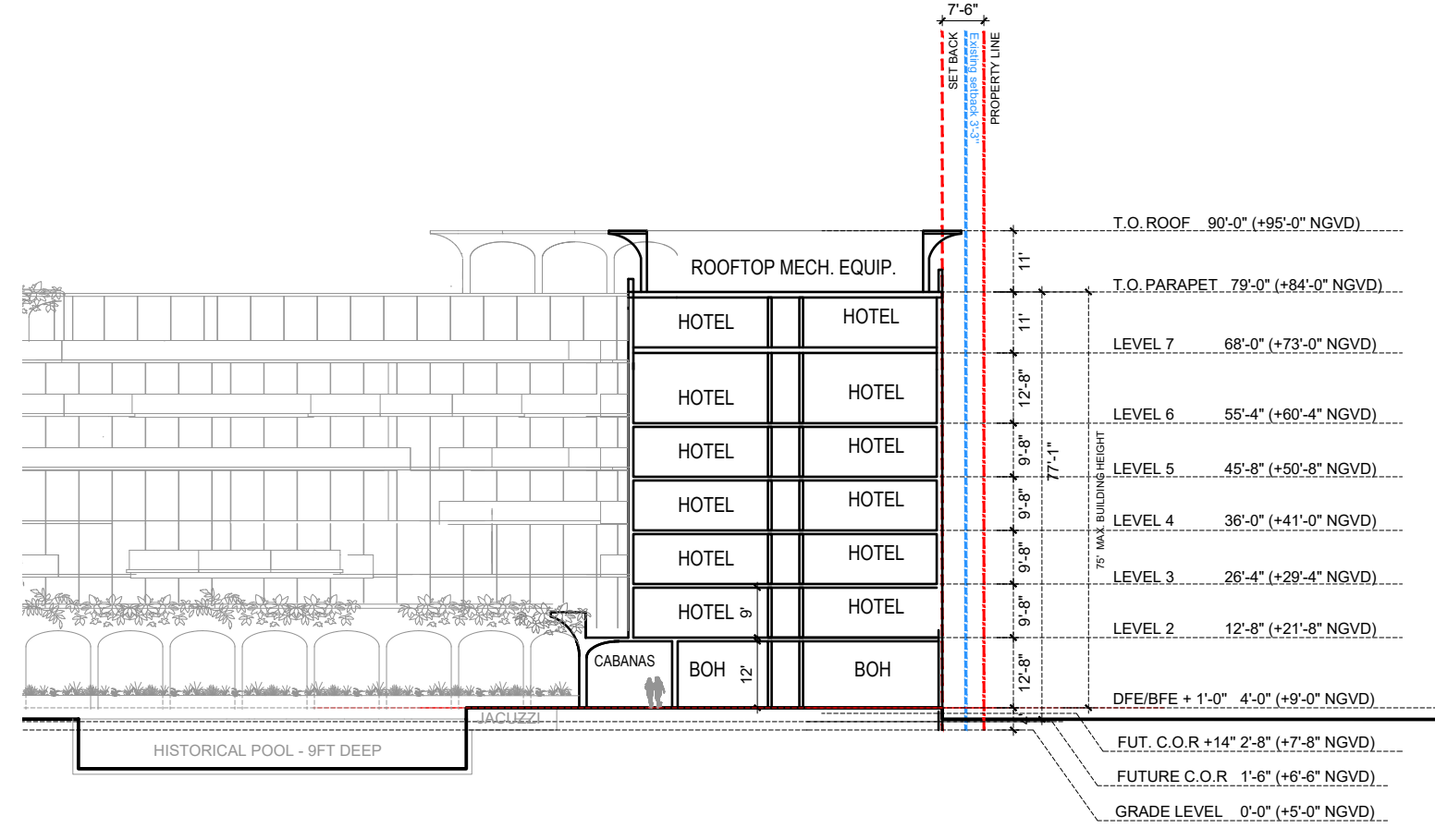
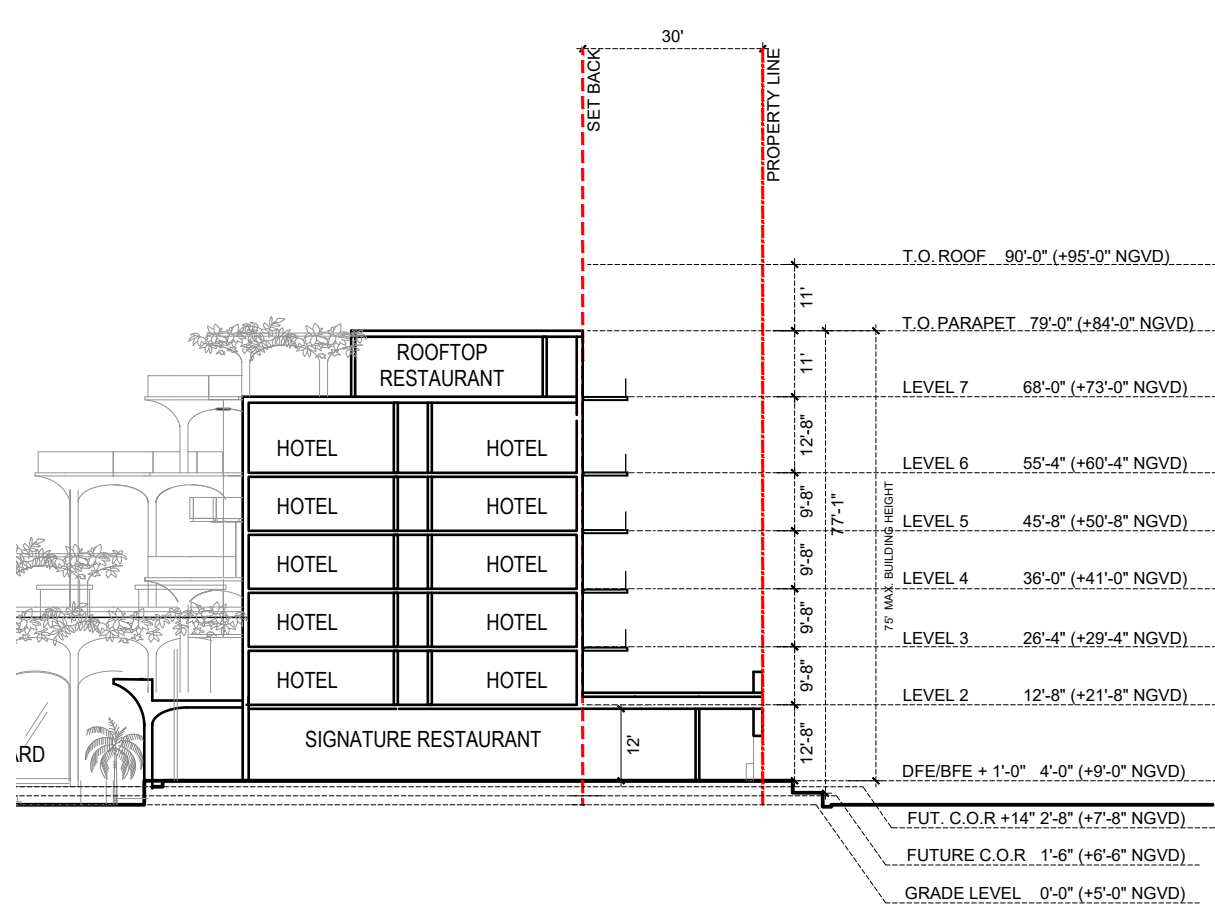
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 AVE, MIAMI BEACH, FL,
 33139
 PROPOSED WEST
 ELEVATION ENLG. PART B
 A3-22.B



WASHINGTON SECTION CUTS
SCALE: 1/32" = 1'-0"



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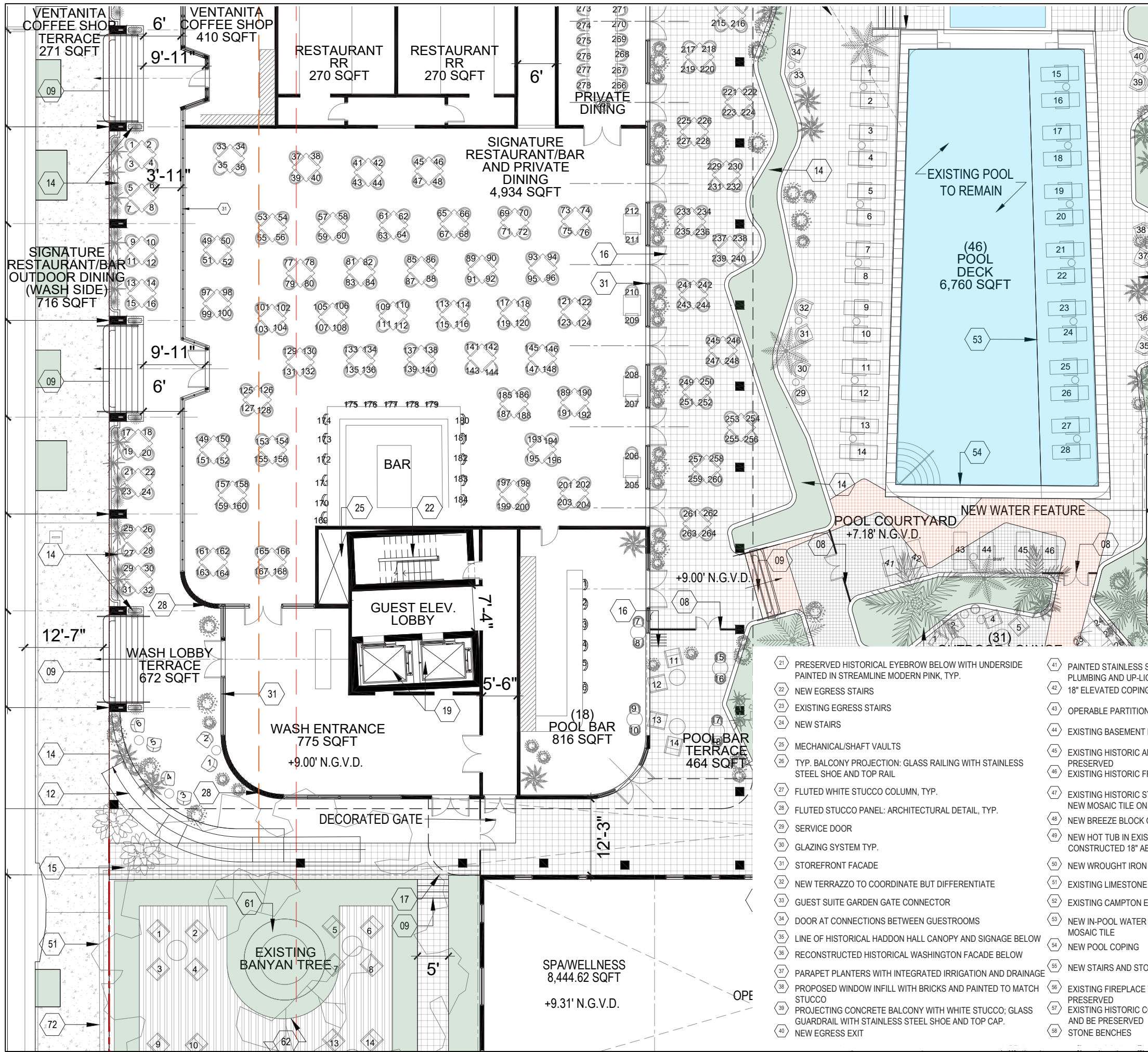
NO.	DESCRIPTION	DATE

REVISIONS	
COMM.	DATE

TREEHOUSE HOTEL,
MIAMI BEACH

1500 COLLINS +
1509-1515 WASHINGTON
AVE, MIAMI BEACH, FL,
33139

SECTIONS AT
WASHINGTON
A3-23



GENERAL NOTES

1. ALL SIGNIFICANT ORIGINAL ARCHITECTURAL FEATURES ARE TO BE RESTORED, PRESERVED AND RETAINED.
2. PROJECT DESIGN MAINTAINS EXISTING FLOOR FINISHES AND VOLUMETRIC INTENT OF ANCILLARY PUBLIC SPACES IN HADDON HALL.
3. EXISTING DOORS AND WINDOWS TO BE REMOVED AND REPLACED WITH NEW TO MEET HURRICANE CODE REQUIREMENTS. PROJECT DESIGN WILL PRESERVE AND RESTORE ALL HISTORICAL ELEMENTS TO GENERAL OF EXTERIOR FACADE, HISTORIC LOBBY, WALLS, CEILING AND PORCH UNLESS STATED OTHERWISE.
4. ALL EXTERIOR WALLS MUST BE PROPERLY SHORED DURING AND AFTER DEMOLITION. REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR ADDITIONAL DETAIL.
5. ALL BUILDING STUCCO EXTERIORS TO BE RESTORED AND REPAINTED TO MATCH EXISTING

KEYNOTES

- 01 EXISTING DOOR/WINDOW TO REMAIN
- 02 NEW DOORS
- 03 NEW ENLARGED WINDOWS (REFERENCE ELEVATIONS)
- 04 EXISTING HISTORICAL PLANTER TO REMAIN
- 05 EXISTING TERRACE AND TERRAZZO TO REMAIN
- 06 EXISTING HISTORICAL ARCHITECTURAL DETAIL TO REMAIN
- 07 RECONSTRUCTED CONCRETE COLUMN IN WHITE STUCCO FINISH
- 08 NEW LIFE SAFETY GATE
- 09 CONCRETE STAIRS WITH STAINED CONCRETE TILE RISERS
- 10 PRESERVED AND RESTORED HISTORICAL TERRAZZO DETAIL
- 11 NEW PAIR OF DOORS IN EXISTING WINDOW OPENING. ENLARGE OPENING TO EXTEND TO THE EXISTING TERRACE.
- 12 NEW RAMP
- 13 GARDEN BED WITH INTEGRATED IRRIGATION
- 14 ELEVATED STUCCO PLANTER WITH INTEGRATED IRRIGATION AND DRAINAGE
- 15 PLANTER BEDS WITH INTEGRATED IRRIGATION AND DRAINAGE
- 16 OPERABLE GLASS DOORS
- 17 LINE OF ELEVATED OPEN AIR WALKWAY
- 18 LINE OF TRELLIS PROJECTION ABOVE @ 50% OPEN TO SKY
- 19 GUEST ELEVATOR
- 20 SERVICE ELEVATOR

- 21 PRESERVED HISTORICAL EYEBROW BELOW WITH UNDERSIDE PAINTED IN STREAMLINE MODERN PINK, TYP.
- 22 NEW EGRESS STAIRS
- 23 EXISTING EGRESS STAIRS
- 24 NEW STAIRS
- 25 MECHANICAL/SHAFT VAULTS
- 26 TYP. BALCONY PROJECTION: GLASS RAILING WITH STAINLESS STEEL SHOE AND TOP RAIL
- 27 FLUTED WHITE STUCCO COLUMN, TYP.
- 28 FLUTED STUCCO PANEL: ARCHITECTURAL DETAIL, TYP.
- 29 SERVICE DOOR
- 30 GLAZING SYSTEM TYP.
- 31 STOREFRONT FACADE
- 32 NEW TERRAZZO TO COORDINATE BUT DIFFERENTIATE
- 33 GUEST SUITE GARDEN GATE CONNECTOR
- 34 DOOR AT CONNECTIONS BETWEEN GUESTROOMS
- 35 LINE OF HISTORICAL HADDON HALL CANOPY AND SIGNAGE BELOW
- 36 RECONSTRUCTED HISTORICAL WASHINGTON FACADE BELOW
- 37 PARAPET PLANTERS WITH INTEGRATED IRRIGATION AND DRAINAGE
- 38 PROPOSED WINDOW INFILL WITH BRICKS AND PAINTED TO MATCH STUCCO
- 39 PROJECTING CONCRETE BALCONY WITH WHITE STUCCO; GLASS GUARDRAIL WITH STAINLESS STEEL SHOE AND TOP CAP.
- 40 NEW EGRESS EXIT
- 41 PAINTED STAINLESS STEEL TRELLIS WITH INTEGRATED PLUMBING AND UP-LIGHTING; 50% OPEN TO SKY
- 42 18" ELEVATED COPING @ WATER FEATURE
- 43 OPERABLE PARTITIONS
- 44 EXISTING BASEMENT LEVEL ENTRY
- 45 EXISTING HISTORIC ADDRESS MONUMENT SIGN TO BE PRESERVED
- 46 EXISTING HISTORIC FRIEZE TO REMAIN
- 47 EXISTING HISTORIC STATUE AND FOUNTAIN TO REMAIN, NEW MOSAIC TILE ON BASE AND INSIDE HISTORIC BASIN
- 48 NEW BREEZE BLOCK GREEN WALL
- 49 NEW HOT TUB IN EXISTING LOCATION CONSTRUCTED 18" ABOVE FINISH FLOOR
- 50 NEW WROUGHT IRON FENCE
- 51 EXISTING LIMESTONE GARDENWALL
- 52 EXISTING CAMPTON ENTRY GATE TO BE PRESERVED
- 53 NEW IN-POOL WATER LEDGE WITH CUSTOM MOSAIC TILE
- 54 NEW POOL COPING
- 55 NEW STAIRS AND STONE GUARDRAIL
- 56 EXISTING FIREPLACE TO REMAIN AND BE PRESERVED
- 57 EXISTING HISTORIC COUNTER TO REMAIN AND BE PRESERVED
- 58 STONE BENCHES
- 59 COLUMN OF PAINTED STAINLESS STEEL TRELLIS WITH INTEGRATED PLUMBING AND UP-LIGHTING; 50% OPEN TO SKY
- 60 LOCATION FOR SIGNAGE
- 61 EXISTING LANDSCAPE TO REMAIN
- 62 NEW HARDSCAPE (REF. LANDSCAPE)
- 63 WALK-UP WINDOW AND COUNTER
- 64 EXISTING LIMESTONE POOL DECK TO REMAIN
- 65 PROPOSED DOOR @ LEVEL 03 TO CONNECT TO ARCHITECTURAL BREEZEWAY/ELEVATED WALKWAY NEW ROOF SYSTEM
- 66 BACKLIT TERRACOTTA BREEZE BLOCK MECHANICAL SCREENING
- 67 POWDER COATED STEEL GUARDRAIL
- 68 EXISTING COLUMN TO REMAIN
- 69 NON-STRUCTURAL VERTICAL DETAIL
- 70 SLIDING DOOR GLAZING SYSTEM

LEVEL 01
SCALE: 1/16" = 1'-0"



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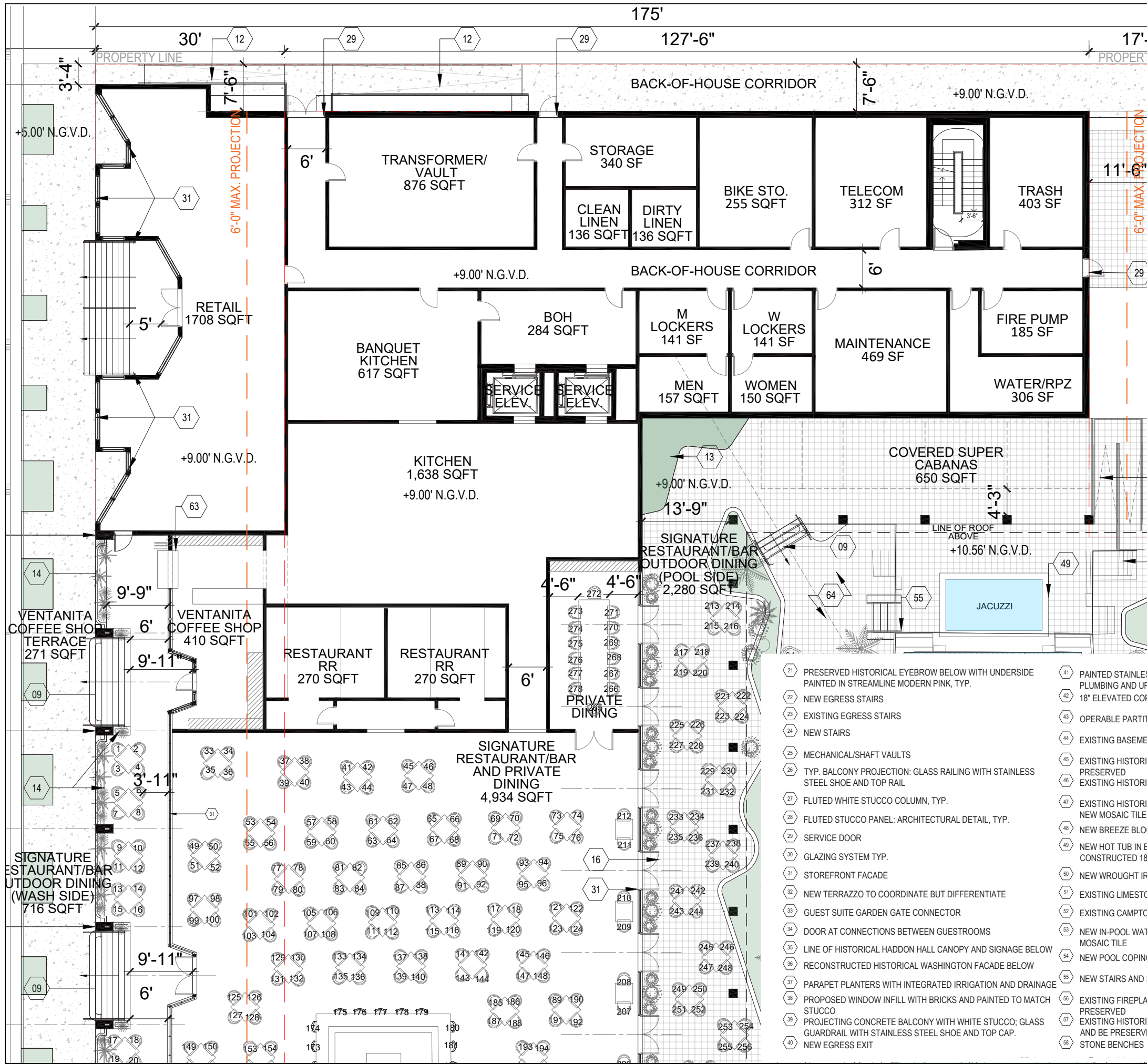
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COMM.	DATE

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ENLARGED PLAN - WASH. LEVEL 01 PART A
A3-24



GENERAL NOTES

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- PROJECT DESIGN MAINTAINS EXISTING FLOOR FINISHES AND VOLUMETRIC INTENT OF ANCILLARY PUBLIC SPACES IN HADDON HALL.
- EXISTING DOORS AND WINDOWS TO BE REMOVED AND REPLACED WITH NEW TO MEET HURRICANE CODE REQUIREMENTS. PROJECT DESIGN WILL PRESERVE AND RESTORE ALL HISTORICAL ELEMENTS TO GENERAL OF EXTERIOR FACADE, HISTORIC LOBBY, WALLS, CEILING AND PORCH UNLESS STATED OTHERWISE.
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- ALL BUILDING STUCCO EXTERIORS TO BE RESTORED AND REPAINTED TO MATCH EXISTING

KEYNOTES

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- 16 OPERABLE GLASS DOORS
- 17 LINE OF ELEVATED OPEN AIR WALKWAY
- 18 LINE OF TRELLIS PROJECTION ABOVE @ 50% OPEN TO SKY
- 19 GUEST ELEVATOR
- 20 SERVICE ELEVATOR



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DESIGNED	DRAWN	CHECKED

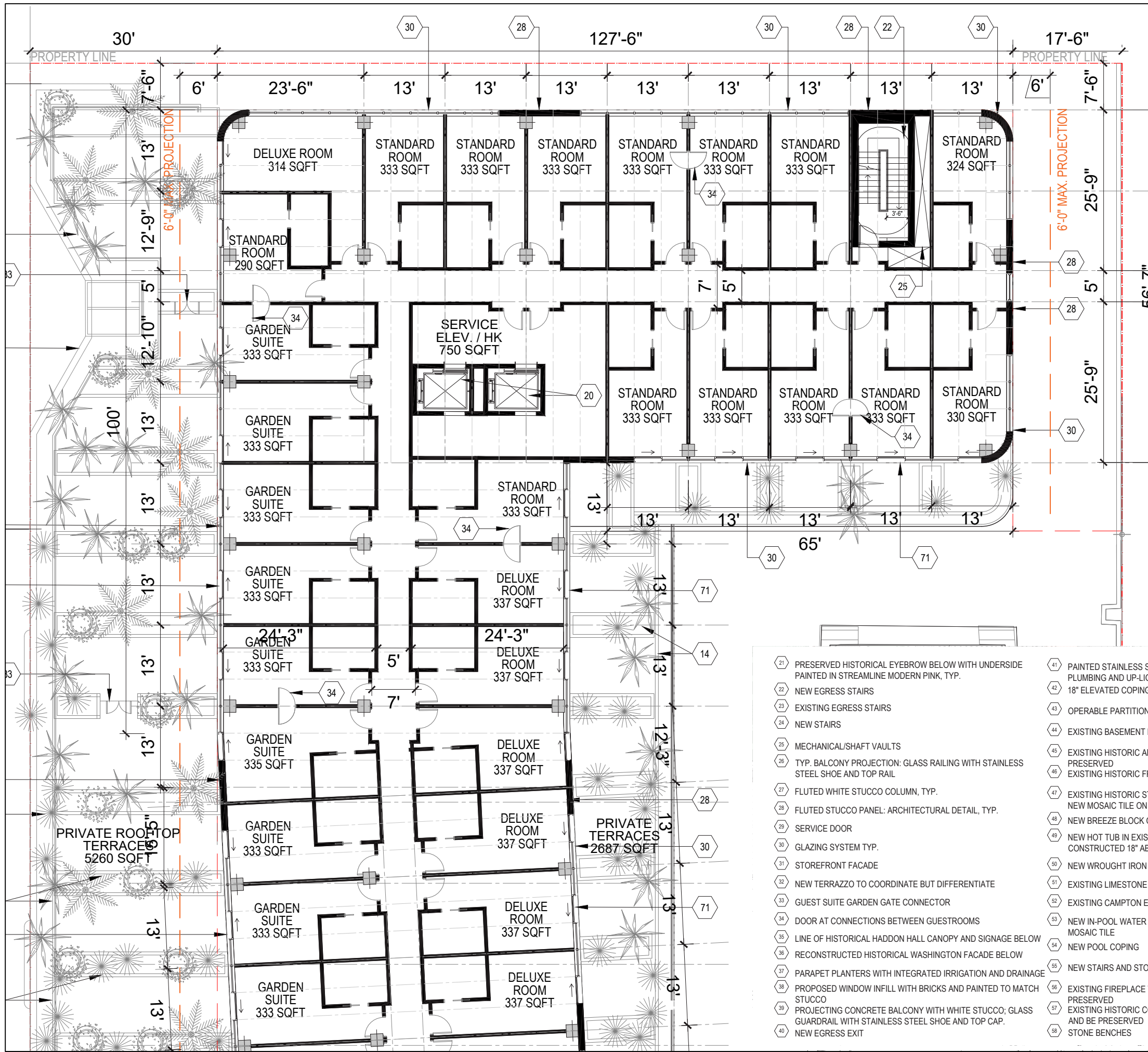
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REVISIONS	
COMM.	DATE

TREEHOUSE HOTEL, MIAMI BEACH
1500 COLLINS +
1509-1515 WASHINGTON
AVE, MIAMI BEACH, FL,
33139

ENLARGED PLAN -
WASH. LEVEL 01 PART B
A3-25

LEVEL 01
SCALE: 1/16" = 1'-0"



GENERAL NOTES

1. ALL SIGNIFICANT ORIGINAL ARCHITECTURAL FEATURES ARE TO BE RESTORED, PRESERVED AND RETAINED.
2. PROJECT DESIGN MAINTAINS EXISTING FLOOR FINISHES AND VOLUMETRIC INTENT OF ANCILLARY PUBLIC SPACES IN HADDON HALL.
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- 04 EXISTING HISTORICAL PLANTER TO REMAIN
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- 06 EXISTING HISTORICAL ARCHITECTURAL DETAIL TO REMAIN
- 07 RECONSTRUCTED CONCRETE COLUMN IN WHITE STUCCO FINISH
- 08 NEW LIFE SAFETY GATE
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- 13 GARDEN BED WITH INTEGRATED IRRIGATION
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- 17 LINE OF ELEVATED OPEN AIR WALKWAY
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- 19 GUEST ELEVATOR
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- 48 NEW BREEZE BLOCK GREEN WALL
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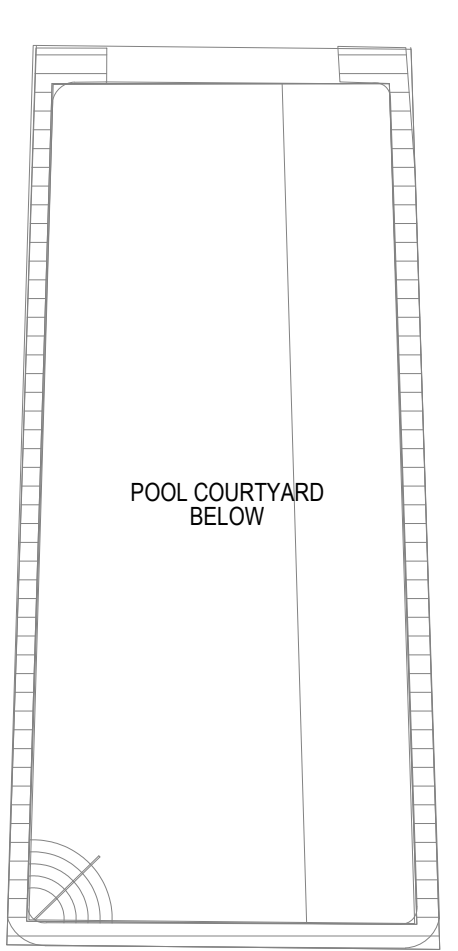
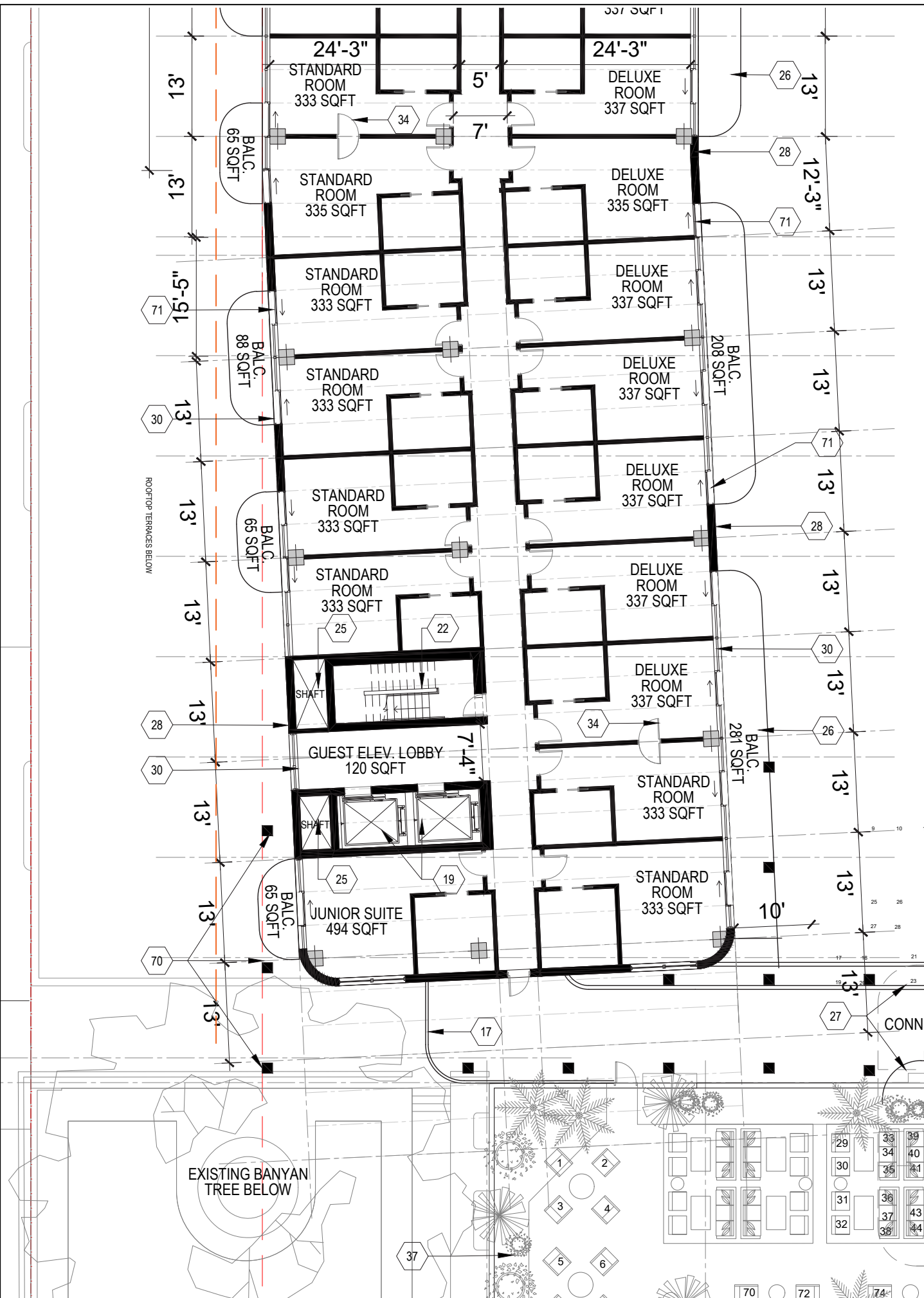
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TREEHOUSE HOTEL, MIAMI BEACH
1500 COLLINS + 1509-1515 WASHINGTON AVE, MIAMI BEACH, FL, 33139

ENLARGED PLAN - WASH. LEVEL 02 PART B
A3-27

LEVEL 02
SCALE: 1/16" = 1'-0"



ROOF OF TRELLIS PROJECTION BELOW @ LEVEL 01, AND 03 (50% OPEN TO SKY)

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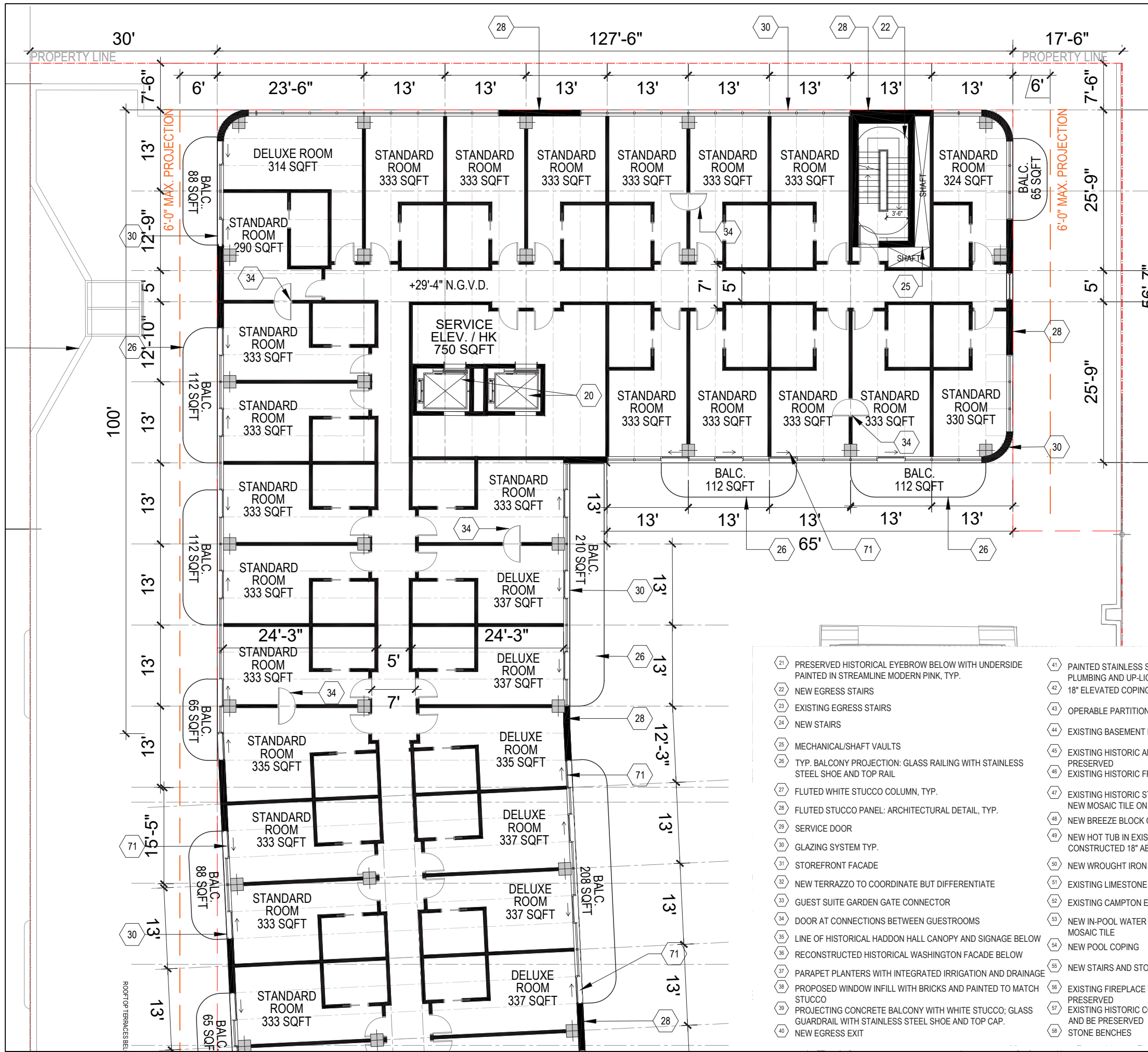
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TREEHOUSE HOTEL, MIAMI BEACH
1500 COLLINS + 1509-1515 WASHINGTON AVE, MIAMI BEACH, FL, 33139

ENLARGED PLAN - WASH. LEVEL 03 PART A
A3-28

LEVEL 03
SCALE: 1/16" = 1'-0"



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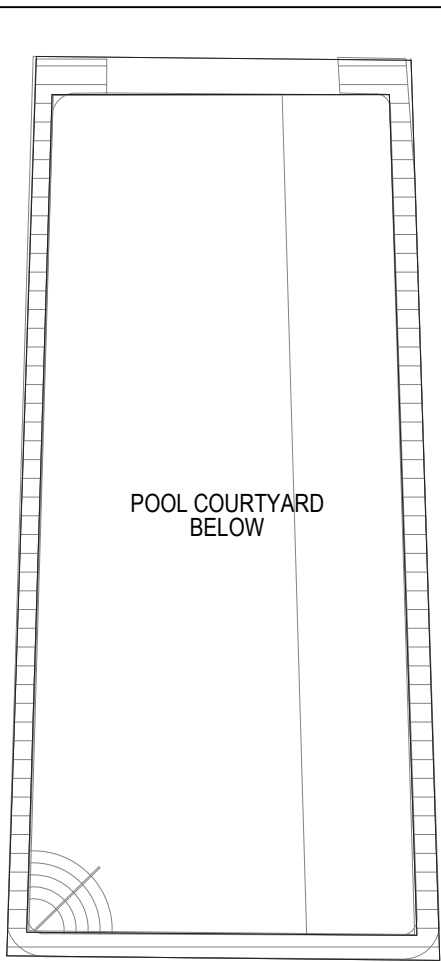
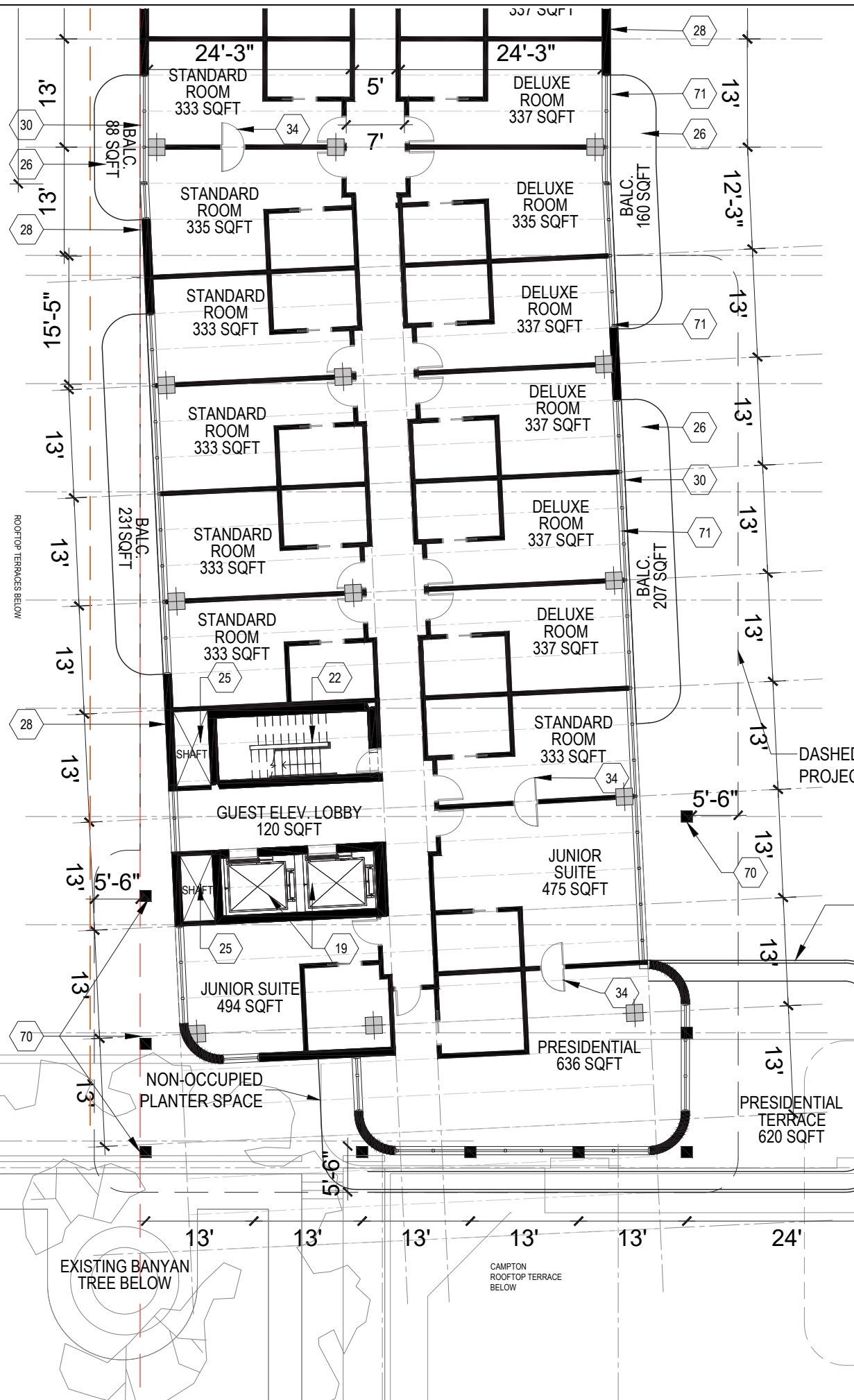
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ENLARGED PLAN - WASH. LEVEL 03 PART B
A3-29

LEVEL 03
SCALE: 1/16" = 1'-0"
N



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- 70 SLIDING DOOR GLAZING SYSTEM

DASHED LINE INDICATES BALCONY PROJECTION ON LEVEL 07



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AVE, MIAMI BEACH, FL,
33139

ENLARGED PLAN -
WASH. LEVEL 06 PART A
A3-30

LEVEL 06
SCALE: 1/16" = 1'-0"



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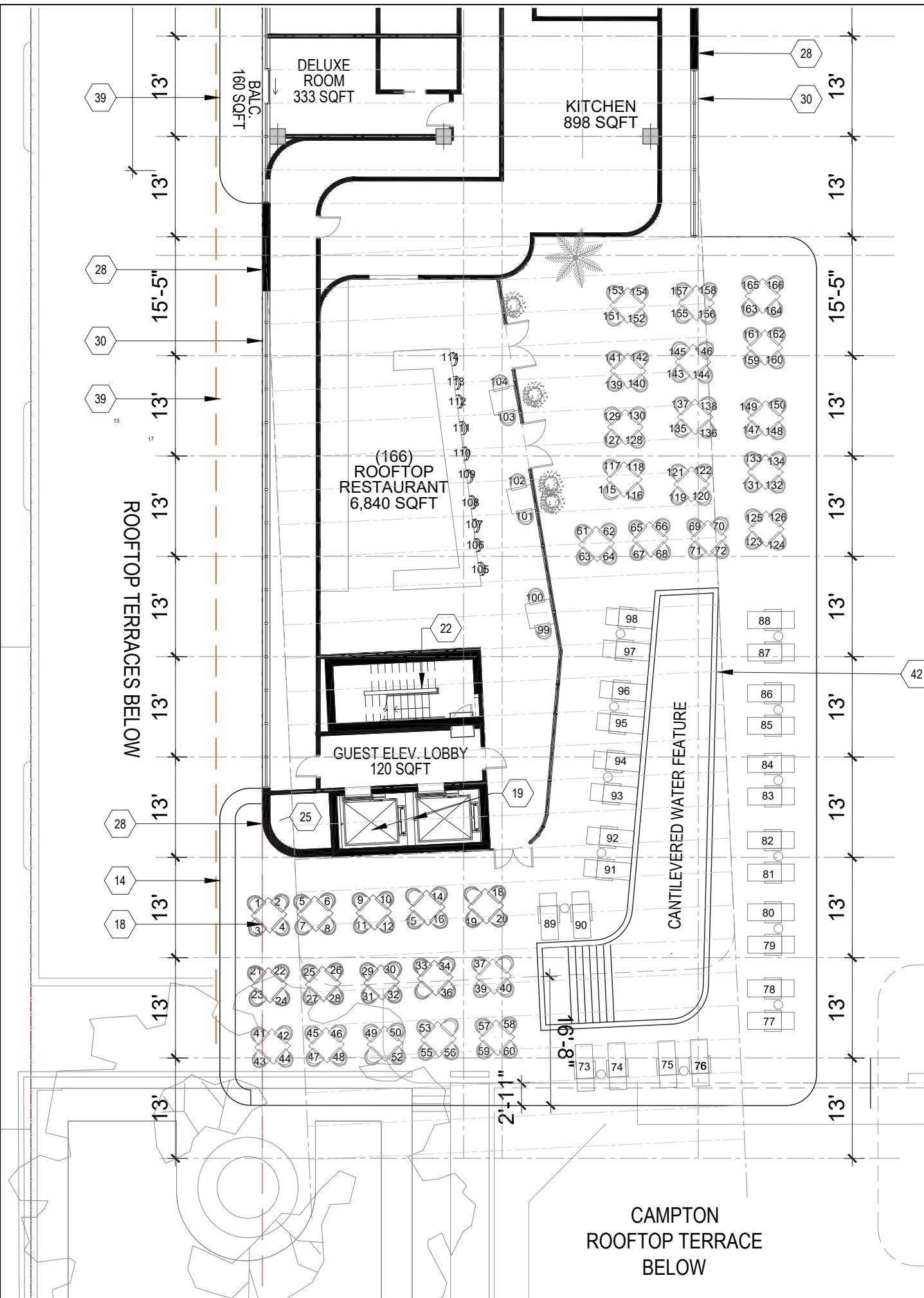
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ENLARGED PLAN - WASH. LEVEL 06 PART B
A3-31

LEVEL 06
SCALE: 1/16" = 1'-0"
N



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TRELLIS RC
50% OPEN
SKY

LEVEL 07

SCALE: 1/16" = 1'-0"



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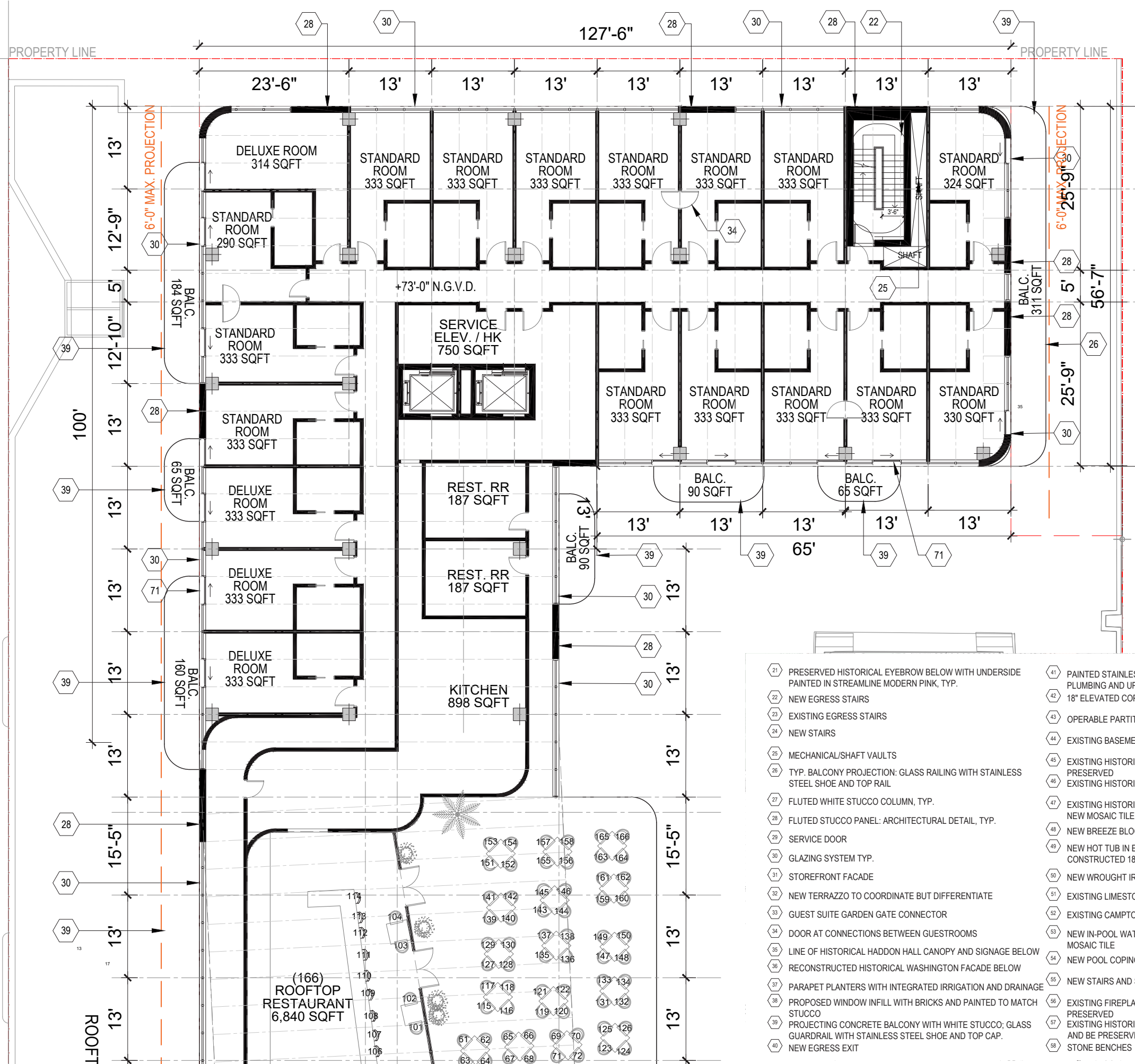
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ENLARGED PLAN -
WASH. LEVEL 07 PART A
A3-32



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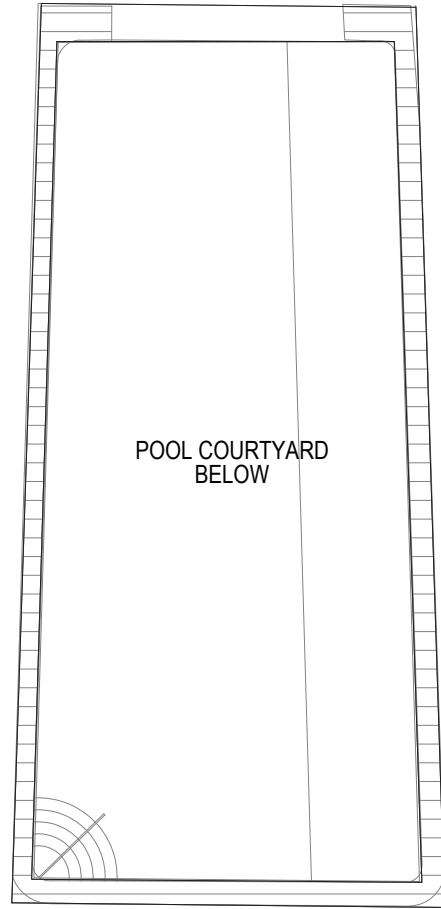
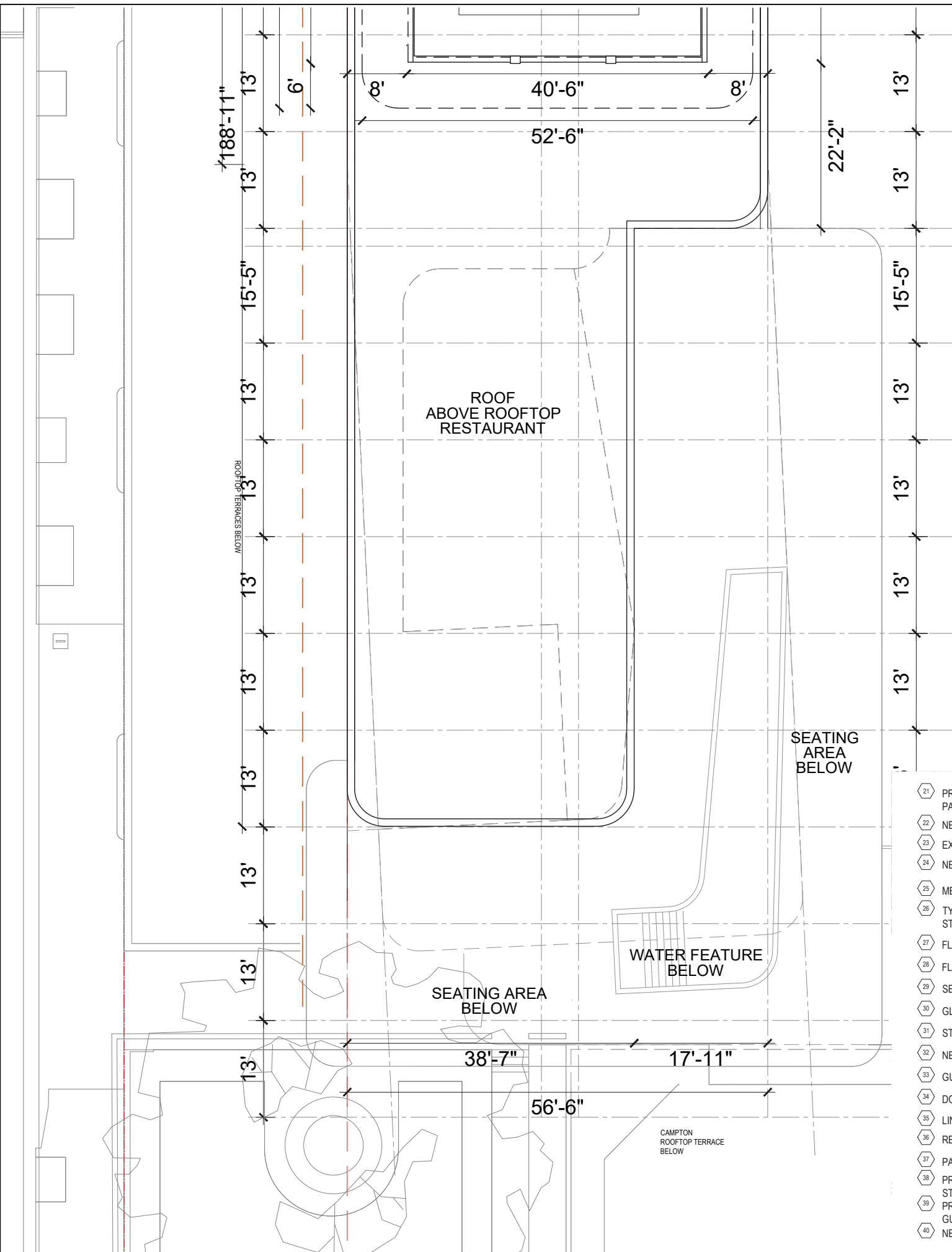
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ENLARGED PLAN - WASH. LEVEL 07 PART B
A3-33

LEVEL 07
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- 68 EXISTING COLUMN TO REMAIN
- 69 NON-STRUCTURAL VERTICAL DETAIL
- 70 SLIDING DOOR GLAZING SYSTEM



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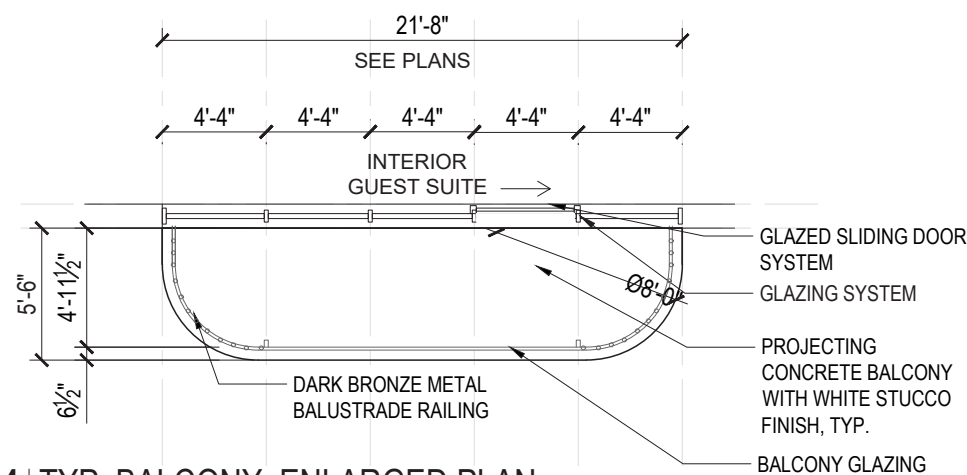
TREEHOUSE HOTEL, MIAMI BEACH
1500 COLLINS + 1509-1515 WASHINGTON AVE, MIAMI BEACH, FL, 33139

ENLARGED PLAN - WASH. LEVEL 08 PART A
A3-34

LEVEL 08 (ROOF)

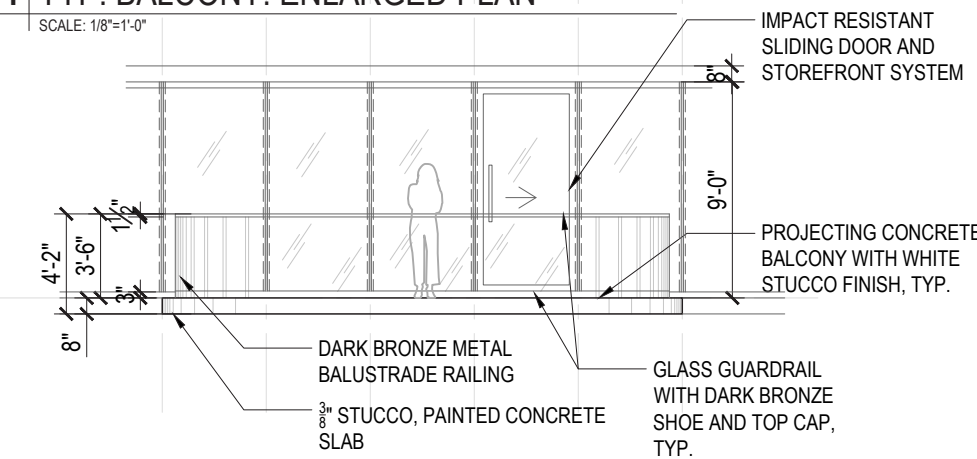
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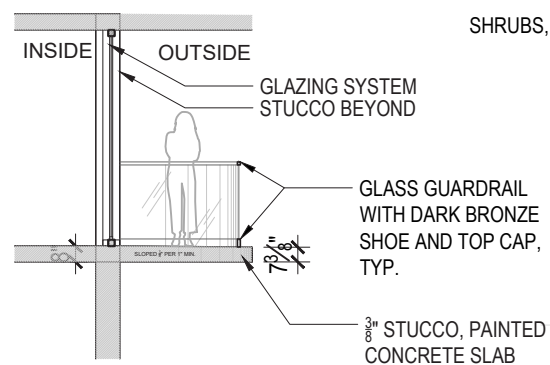
D4 TYP. BALCONY: ENLARGED PLAN

SCALE: 1/8"=1'-0"



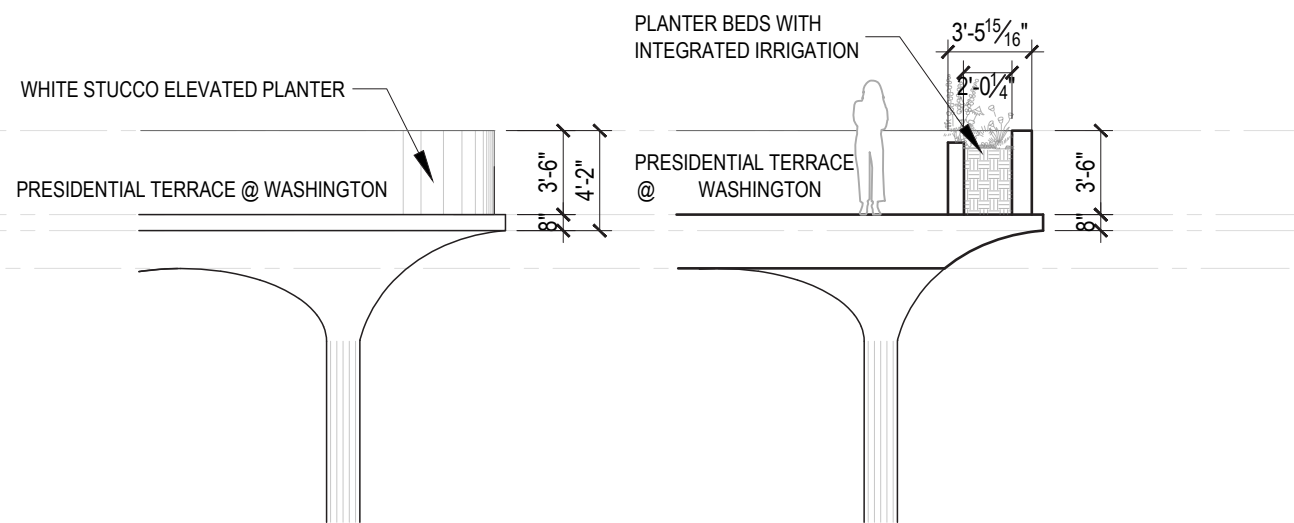
C4 TYP. BALCONY: FRONT ELEVATION

SCALE: 1/8"=1'-0"



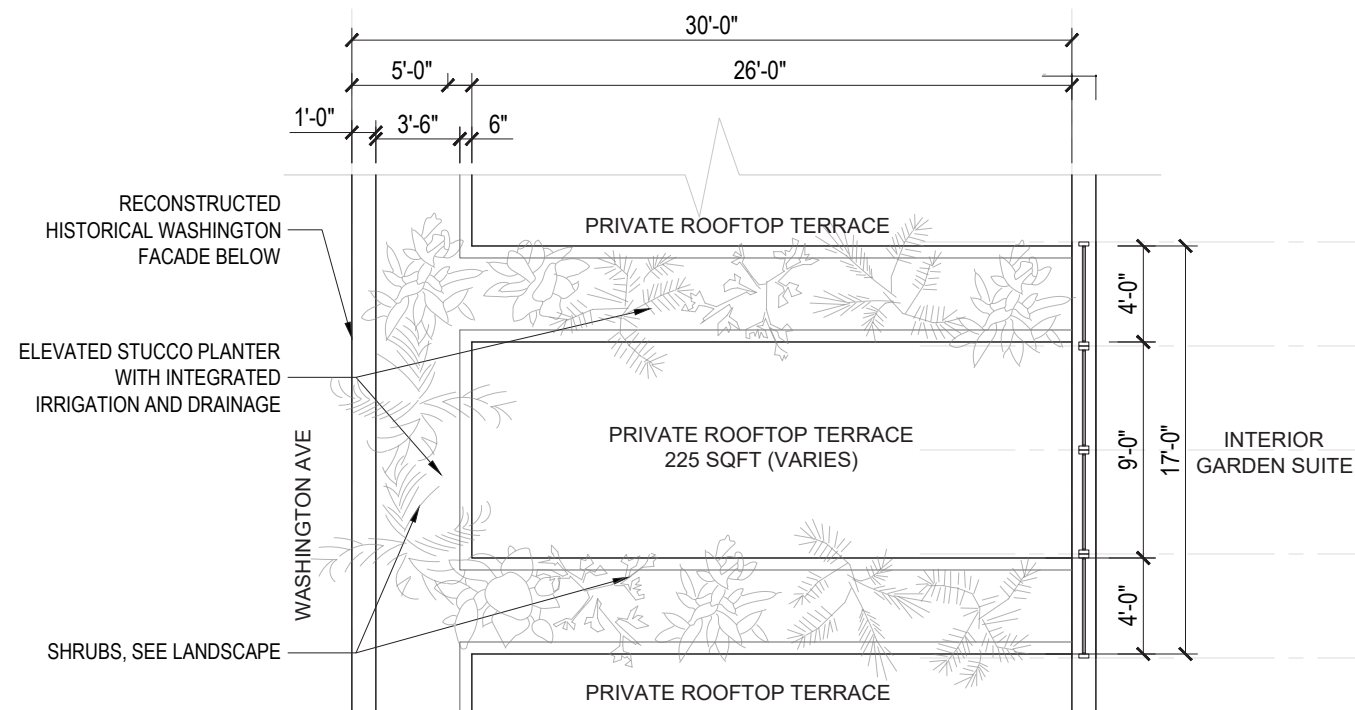
C3 TYP. BALCONY: SECTION

SCALE: 1/8"=1'-0"



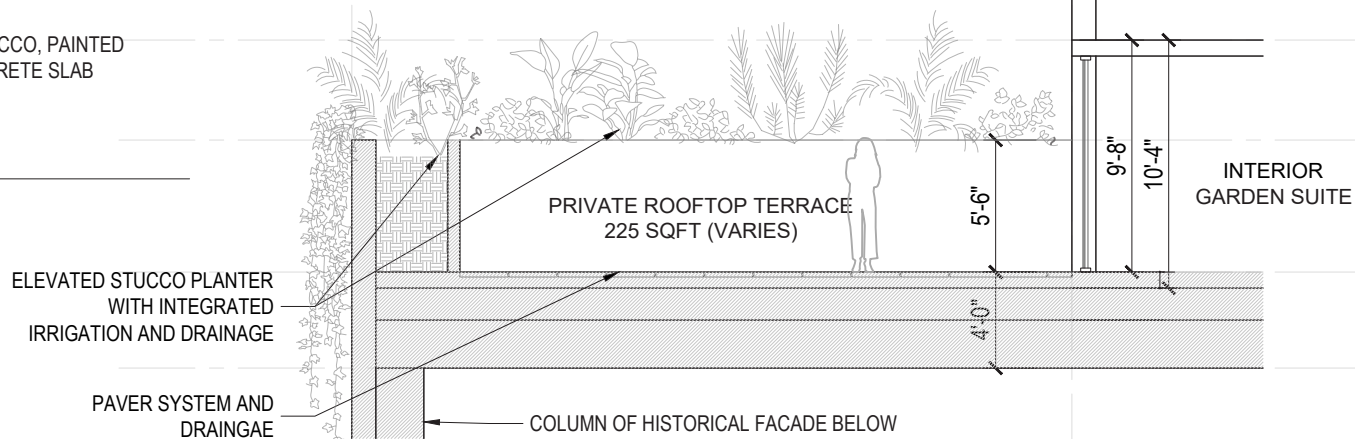
A4 BALCONY DETAIL @ NON STRUCTURAL VERTICAL DETAILS

SCALE: 1/8"=1'-0"



C2 PRIVATE ROOFTOP TERRACE SECTION TYP.

SCALE: 1/8"=1'-0"



B2 PRIVATE ROOFTOP TERRACE SECTION TYP.

SCALE: 1/8"=1'-0"



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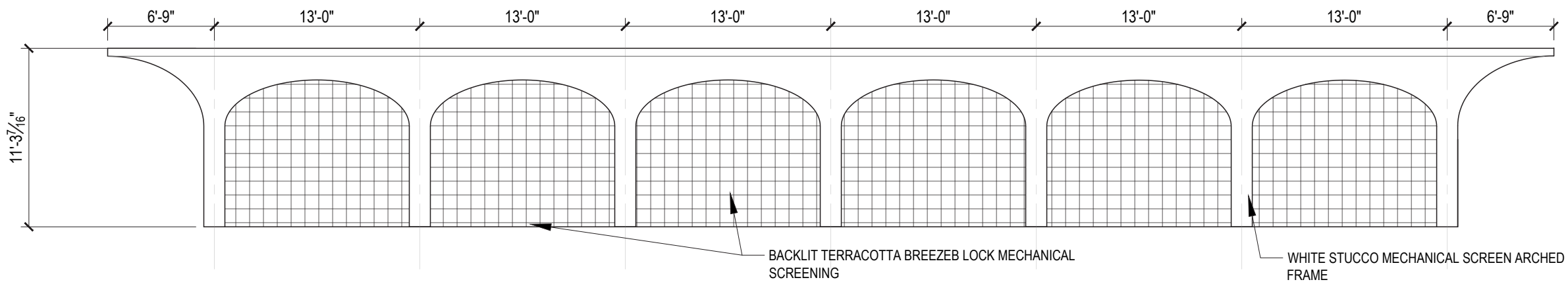
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33139

BALCONY DETAILS
AT WASHINGTON

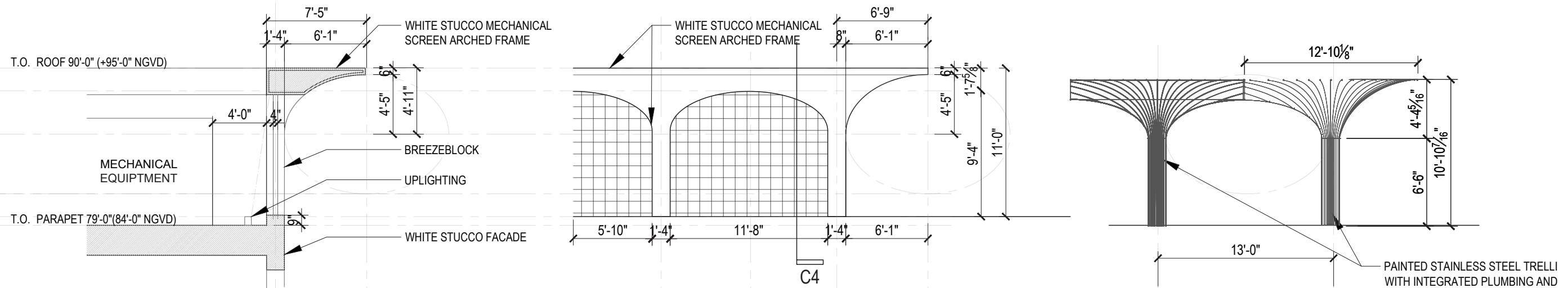
A3-34

SCALE: 1/8" = 1'-0"



D4 WASHINGTON MECHANICAL SCREENING: WEST ELEVATION

SCALE: 1/8"=1'-0"

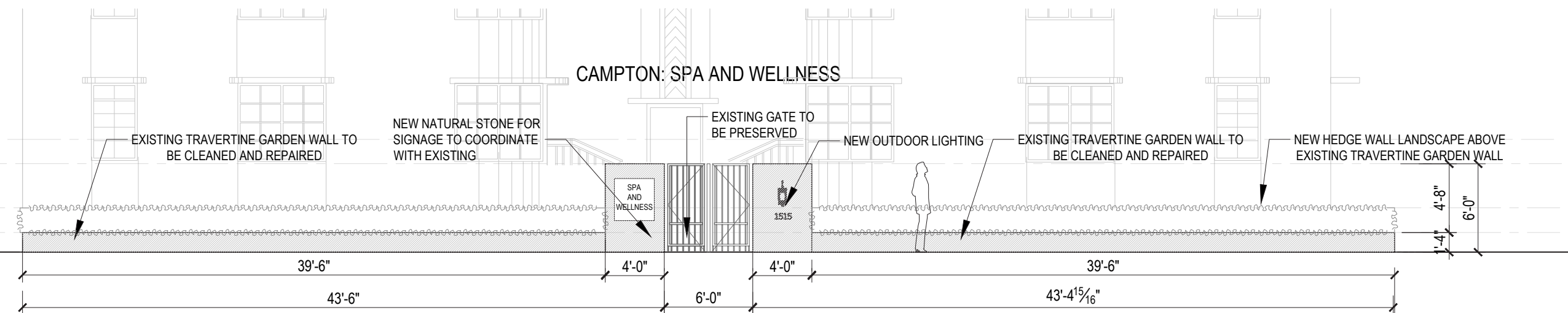


C4 WASHINGTON MECHANICAL SCREENING SECTION AND ELEVATION

SCALE: 1/8"=1'-0"

C2 TRELLIS DETAIL: ELEVATION

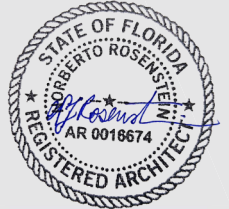
SCALE: 1/8"=1'-0"



A4 CAMPTON SPA AND WELLNESS GATE: ELEVATION

SCALE: 1/8"=1'-0"

SCALE: 1/8" = 1'-0"



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**MECHANICAL SCREENING
DETAILS AT WASHINGTON**

A3-35